

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: mainold

GENERAL CONSTRUCTION NOTES:

1. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS UNLESS PRIOR APPROVAL BY THE ENGINEER.
2. THE CONTRACTOR SHALL BE FAMILIAR WITH AND AT ALL TIMES SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS, BYLAWS, SAFETY LAWS, BUILDING AND CONSTRUCTION CODES, AND ORDINANCES AND REGULATIONS IN ANY MANNER AFFECTING THE CONDUCT OF THE WORK.
3. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FIELD SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC. DATED 9/27/16 AND UPDATED ON 6/15/17. KIMLEY-HORN DOES NOT GUARANTEE THE INFORMATION PROVIDED BY THE SURVEYOR. ELEVATION DATA SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) UNLESS OTHERWISE SPECIFIED AND BASED ON A N.G.S BENCHMARK #A 715, ELEVATION 7.74' (NAVD 1988).
4. ALL CLEARING AND GRUBBING DEBRIS TO BE BURNED OR REMOVED FROM SITE AND IS PART OF CLEARING AND GRUBBING ITEM.
5. IT IS THE INTENT OF THE OWNER THAT CERTAIN TREES BE DESIGNATED TO BE SAVED AND PROTECTED BY THE CONTRACTOR. IT IS ASSUMED THESE TREES ARE HEALTHY AND ARE EXPECTED TO BE PART OF THE LANDSCAPE DEVELOPMENT. THEREFORE, IF ANY TREE(S) DAMAGED BY CONSTRUCTION OPERATION OR BY OTHER MEANS (EXCLUDING LIGHTNING, WINDSTORM AND OTHER ACTS OF GOD) PERISH WITHIN THE CONSTRUCTION PERIOD, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISPOSE OF THEM AS PART THEIR CONTRACT. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER FOR THE LABOR, MATERIAL OR MACHINERY REQUIRED TO REMOVE SAID TREE(S).
6. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES, THE CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE THE ROOT SYSTEMS. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF THE TREES TO REMAIN AND PRESERVED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF THEIR EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.
7. LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, POND SLOPES, AND 2' WIDE STRIP ADJACENT TO ALL CURBING, AND AS DIRECTED BY THE ENGINEER. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISHED EARTHWORK GRADING WILL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOD THICKNESS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST. ALL EROSION SILTATION AND MAINTAINING GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PROJECT IS COMPLETE AND ACCEPTED BY OWNER.
8. "CALL SUNSHINE" (811), FLORIDA POWER & LIGHT, COMCAST CABLE, SPRINT PHONE COMPANY, TECO GAS, VERIZON PHONE COMPANY, LONGBOAT KEY PUBLIC WORKS PRIOR TO CONSTRUCTION AND CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE.
9. ALL UTILITY LINES, STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO: MANHOLES, CLEANOUTS, SEWER AND WATER SERVICES, VALVES, FIRE HYDRANTS AND INLETS WILL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
10. CLEARING, GRUBBING, STRIPPING, AND COMPACTING WILL BE INSPECTED BY THE ENGINEER PRIOR TO FILLING.
11. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, PRESERVE AREAS WITHIN AND ADJOINING THE AREA OF CONSTRUCTION ACTIVITY SHALL BE PROTECTED BY ERECTION OF TREE PROTECTION BARRICADES AND/OR SILT BARRIERS. TREE PROTECTION SHALL MEET THE STANDARDS OF LONGBOAT KEY. SILT BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE GUIDELINES AND THE BMP DETAILS SHOWN ON SHEETS B-1 AND B-2 OF THESE PLANS. THE ENGINEER WILL DETERMINE THE EXTENT AND TYPE OF PROTECTIVE MEASURES TO BE CONSTRUCTED FOR PROTECTION OF PRESERVE AREAS. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S PERMIT AND THE ENVIRONMENTAL RESOURCE PERMIT. THE ENGINEER SHALL BE NOTIFIED WHEN PRESERVE AREA BARRICADES AND BARRIERS ARE IN PLACE.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT THE RUNOFF OF ERODED SOIL MATERIAL FROM LEAVING THE CONSTRUCTION SITE AND BEING DEPOSITED OUTSIDE OF THE PERMITTED CONSTRUCTION AREA.
13. THE BEST MANAGEMENT PRACTICES (BMPs) MANUAL SHALL GOVERN THE ASPECTS OF DEVELOPMENT ACTIVITY THROUGHOUT ALL THE PHASES OF THIS PROJECT.
14. ALL DETAILS AND SPECIFICATIONS SHALL ADHERE TO MANATEE COUNTY STANDARDS, LATEST REVISION.
15. ALL STREETS ARE TO BE PRIVATE (OWNED AND MAINTAINED BY PROPERTY OWNER) DESIGNED TO MANATEE COUNTY STANDARDS.
16. POTABLE WATER AND WASTEWATER UTILITIES SHALL BE CONSTRUCTED TO MANATEE COUNTY UTILITY STANDARDS AND ARE TO BE PRIVATELY OWNED AND MAINTAINED BEYOND THE POINTS OF CONNECTION.
17. A WATER WELL CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION OF ANY PROPOSED WELLS.
18. ABANDONED SEPTIC TANKS SHALL BE PUMPED OUT, BOTTOMS RUPTURED, AND FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL. A PERMIT IS REQUIRED FROM THE FLORIDA DEPARTMENT OF HEALTH UNLESS WORK IS APPROVED BY LONGBOAT KEY PUBLIC WORKS.
19. THE PROJECT WILL BE SERVED BY LONGBOAT KEY FOR POTABLE WATER AND WASTEWATER.
20. LONGBOAT KEY PUBLIC WORKS UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER AND/OR WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL ON THESE PLANS CONFLICT WITH THE LONGBOAT KEY PUBLIC WORKS UTILITY STANDARDS THE MORE STRINGENT INTERPRETATION, AS DETERMINED BY THE TOWN INFRASTRUCTURE INSPECTOR, SHALL BE APPLIED.
21. THE CONTRACTOR SHALL INSURE THAT ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE PROJECT WILL REQUIRE AT A MINIMUM THE FOLLOWING PERMITS RELATED TO SITE WORK: AN ENVIRONMENTAL RESOURCE PERMIT FROM FDEP, DRIVEWAY CONNECTION, DRAINAGE CONNECTION AND UTILITY PERMITS FROM FDOT, WATER AND WASTEWATER CONSTRUCTION PERMITS FROM FDEP, AND COASTAL CONSTRUCTION CONTROL LINE PERMIT FOR CONSTRUCTION FROM THE BEACHES AND COASTAL SYSTEM PROGRAM OF FDEP.

FDOT CONSTRUCTION NOTES:

1. AT LEAST 72 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL CONTACT THE LOCAL FDOT MAINTENANCE ENGINEER'S OFFICE TO SECURE GENERAL USE PERMITS AND/OR OTHER PERMITS AS REQUIRED FOR WORK WITHIN THE DEPARTMENT'S RIGHT-OF-WAY.
2. THE PLANS FOR WORK WITHIN THE DEPARTMENT'S RIGHT-OF-WAY HAVE BEEN PREPARED IN ACCORDANCE WITH AND ARE GOVERNED BY THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (DATED 2017) AND DESIGN STANDARDS BOOKLET (DATED 2017). FOR DESIGN STANDARDS REVISIONS, CLICK ON "DESIGN STANDARDS AT THE FOLLOWING WEBSITE: <http://www.fdot.gov/roadway/>.

GENERAL NOTE:

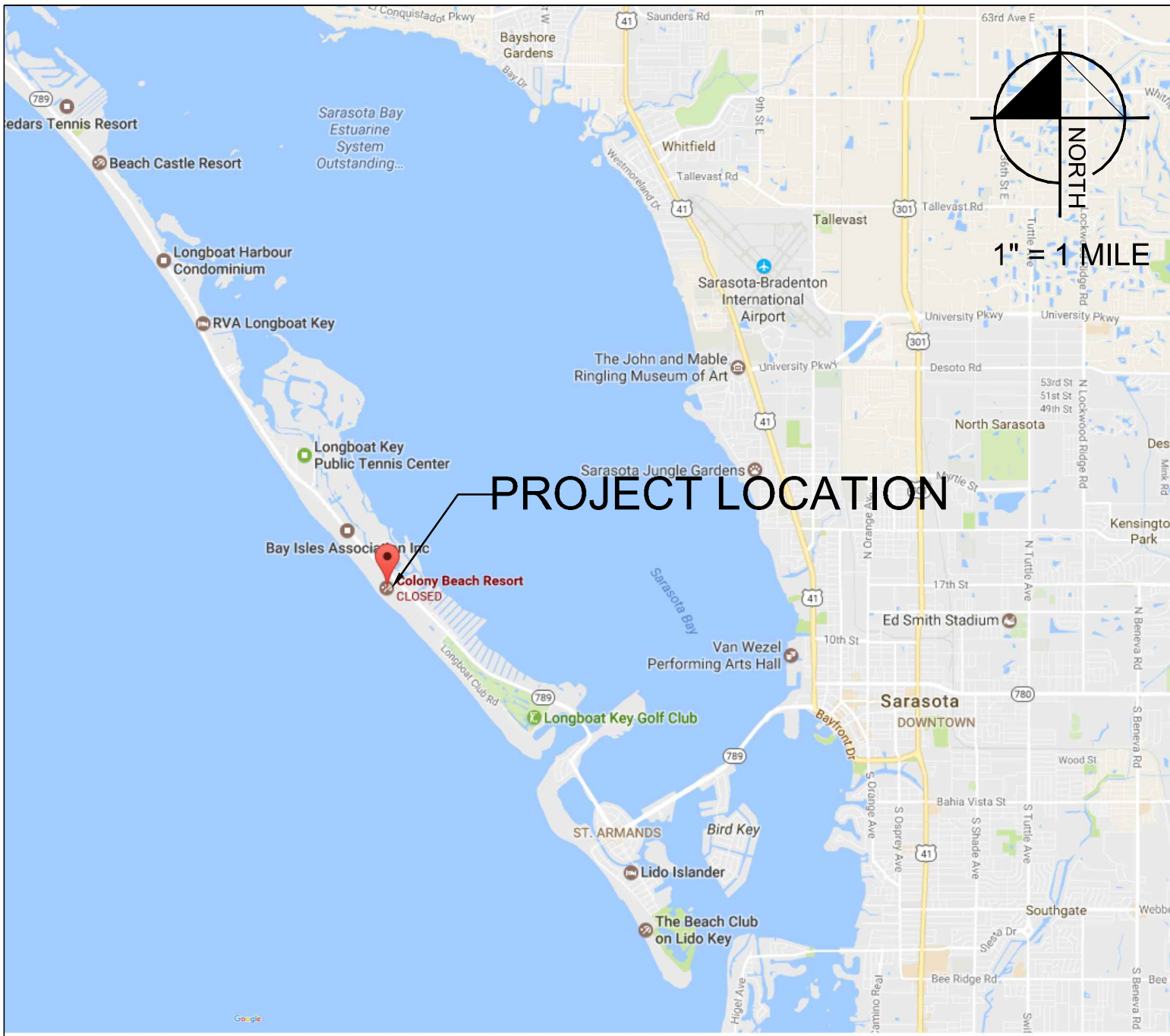
DRAWINGS ARE PRELIMINARY AND MAY BE SUBJECT TO REVISION AT THE TIME OF FINAL CONSTRUCTION PLAN AND BUILDING PERMIT SUBMITTAL BASED ON FINAL ENGINEERING AND DESIGN REQUIREMENTS FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE, 7TH EDITION AND APPLICABLE REGULATIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FLORIDA DEPARTMENT OF TRANSPORTATION.

SITE DEVELOPMENT PLANS FOR LONGBOAT KEY HOTEL AND RESIDENCES

LONGBOAT KEY, FLORIDA

1620 GULF OF MEXICO DRIVE
LONGBOAT KEY, FLORIDA 34228
TOWN OF LONGBOAT KEY, FLORIDA

MARCH 2021



LOCATION MAP

N.T.S.

PROJECT CONTACTS

DEVELOPER:

UNICORP ACQUISITIONS, LLC

7940 VIA DELLAGIO, SUITE 200
ORLANDO, FL 32819
PHONE: 407-999-9985

ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
1777 MAIN STREET, SUITE 200
SARASOTA, FL 34236
PHONE: 941-379-7600

ARCHITECT:

SB ARCHITECTS
2333 PONCE DE LEON BOULEVARD, SUITE 1000
CORAL GABLES, FL 33134
PHONE: 350-856-2021

LANDSCAPE ARCHITECT:

ENEA GARDEN DESIGN

7500 NE 4TH COURT, SUITE 104
MIAMI, FL 33138
PHONE: 305-576-6702

ENVIRONMENTAL CONSULTANT:

KIMLEY-HORN AND ASSOCIATES, INC.
1615 S. CONGRESS AVENUE, SUITE 201
DELRAY BEACH, FL 33445
PHONE: 941-379-7600

SURVEYOR:

STRAYER SURVEYING AND MAPPING, INC.
742 SHAMROCK BOULEVARD
VENICE, FL 34293
PHONE: 941-496-9488

UTILITY PROVIDERS

WATER/WASTEWATER

PUBLIC WORKS UTILITIES DEPT.
600 GENERAL HARRIS ST.
LONGBOAT KEY, FL 34228
(941) 228-0079

TELEPHONE:

FRONTIER COMMUNICATIONS
1701 RINGLING BLVD.
SARASOTA, FL 34236
(941) 906-6711

ELECTRIC:

FLORIDA POWER & LIGHT
ERNESTO DOMINGUEZ
(305) 219-6483

NATURAL GAS

TECO PEOPLE'S GAS
8261 VICO CT
SARASOTA, FL 34240
DANNY SHANAHAN
(941) 342-4006

CATV:

COMCAST CABLE
5205 FRUITVILLE RD.
SARASOTA, FL 34232
GONZALO ROJAS
(941) 342-3578

PREPARED BY

Kimley»Horn

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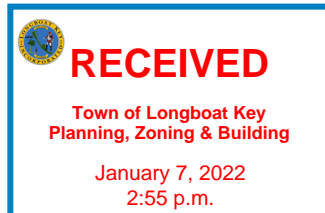
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I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO SUBSECTIONS 335.075(1) AND (4), FLORIDA STATUTES AND TOWN OF LONGBOAT KEY LAND DEVELOPMENT REGULATIONS.

BRITT L. STEPHENS, P.E.
FLA. REGISTERED ENGINEER
#71465
CA 00000696

DATE



Plotted By: Hanks, Mett. Street Set: Unicorp. Longboat Key Hotel and Residences. LDYOU: A-3 AERIAL SITE PLAN. December 02, 2021. 11:44:24am. K:\SAR-Civil\149581008 Colony Landboat Key\CAD\PlanSheets\A-3 AERIAL SITE PLAN.dwg
Reviewed: mamod 01/25/2022
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RECEIVED
Town of Longboat Key
Planning, Zoning & Building
January 7, 2022
2:55 p.m.

AERIAL IMAGERY NOTE:
AERIAL IMAGERY PROVIDED BY NEARMAP
(www.nearmap.com.) AND IS DATED MAY 7, 2017.

Kimley»Horn
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GRAPHIC SCALE IN FEET
0 30 60 120

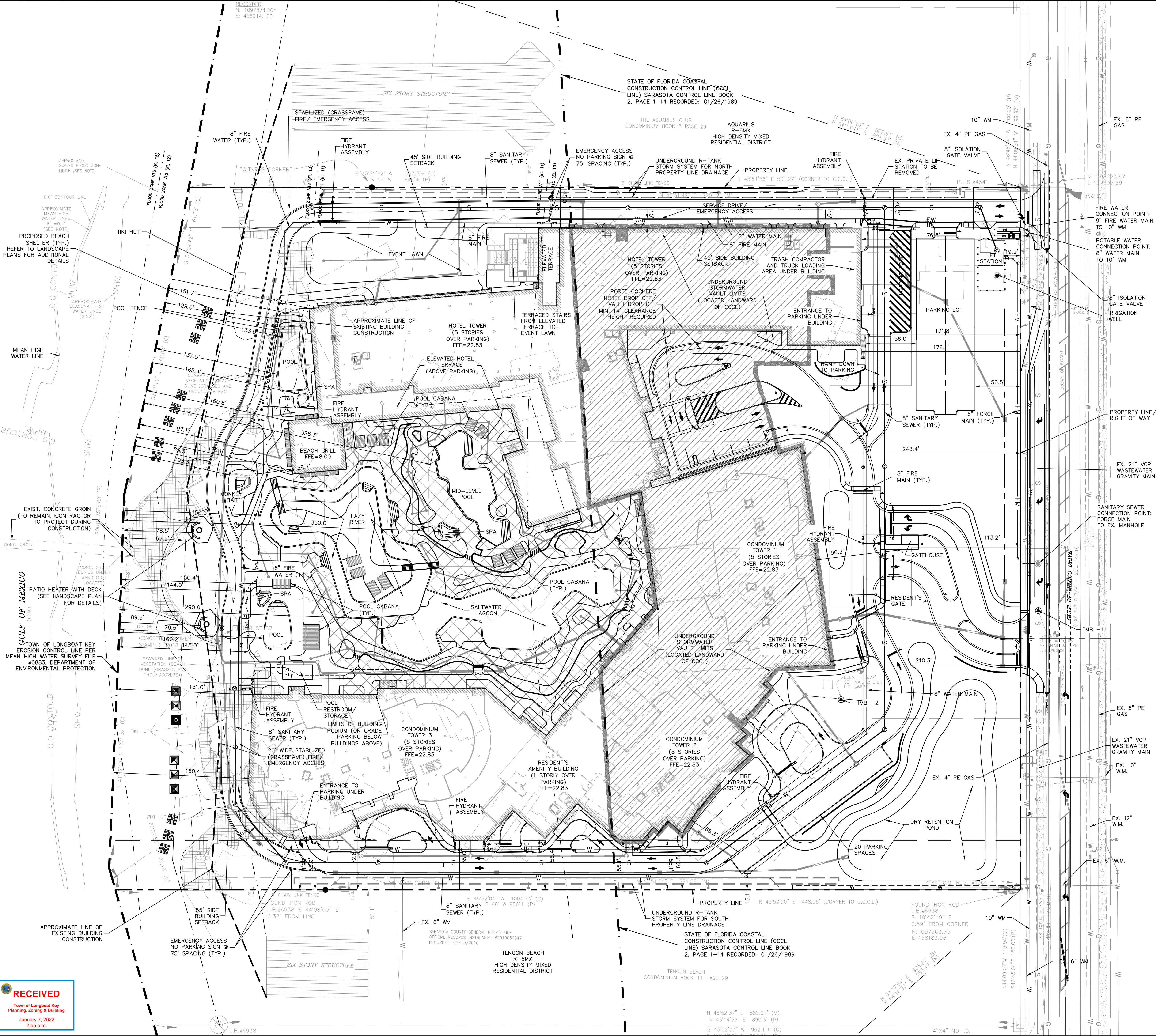
NORTH

LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC LONGBOAT KEY FLORIDA	SHEET NUMBER A-3	AERIAL SITE PLAN				LICENSED PROFESSIONAL	FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION				
		KHA PROJECT 149581008		DATE MAR. 2021		BRIIT L. STEPHENS, P.E.					
		SCALE AS SHOWN		DESIGNED BY TEG		FLORIDA LICENSE NUMBER 71465					
		DRAWN BY JAS		CHECKED BY DLP		DATE: -----					
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						Kimley»»Horn					

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

01/25/2022
Reviewer: mamod

Plotted By: Lugo, Carlos
Town of Longboat Key
Planning, Zoning & Building
January 7, 2022
2:55 p.m.



ZONING INFORMATION		T-6 ZONING	
LOT AREA:		767,339.5 SF	17.6± ACRES
DENSITY: (158.009(R))		ALLOWED: 67 RES. UNITS/1 CONDO TOWERS 6 D.U./AC X 17.6 AC. = 105 (5.97 UNITS PER AC.)	PROPOSED: 2 TOURISM UNITS IN CONDO TOWERS 166 HOTEL/TOURISM UNITS 235 (13.35 UNITS PER AC.)
HEIGHT: (158.145) (MEASURED FROM LOWEST HABITABLE FFE = 22.83 NAVD)		ALLOWED: 5 STORIES/ 65' MAX.	PROPOSED: 5 STORY/ 65' + 1.6' W/ SPECIAL EXCEPTION RES. TOWER 5 STORIES/ 65' MAX. 5 STORY/ 65' + 9.4' W/ SPECIAL EXCEPTION
VISIBLE HEIGHT MEASURED FROM LOWEST VISIBLE PORTION OF BUILDING PER SEC. 158.102(L)(2) = HOTEL BUILDING = 70.0' RESIDENTIAL TOWER #3 = 78.25'			
FLOOR AREA: (158.102(C))		T-6 ZONE: 0.32 MAX	245,548 S.F.=(0.32) 537,858 S.F.=(0.701) (VALUE PROVIDED BY ARCH.)
LOT COVERAGE: (158.145)		T-6 ZONE: 40% MAX (W/ ODP)	306,935.8 S.F.=(40%) 288,956 S.F.=(0.376) (VALUE PROVIDED BY ENEA)
OPEN SPACE: (158.102(F)) (VALUES PROVIDED BY ENEA)		OS = 0.2(NRA) + 0.5(RA)	252,344.9 S.F. 308,469.5 S.F.=(0.402)
LAND USE INTENSITY: (158.102(C)(2))		REQUIRED	PROVIDED (VALUES PROVIDED BY ENEA)
OPEN SPACE RATIO (FAR x 2.2)		1,183,287.6 S.F.	478,383.5 S.F.
LIVING SPACE RATIO (FAR x 1.5)		806,787 S.F.	497,226.5 S.F.
RECREATIONAL SPACE RATIO (FAR x 0.15)		80,678.7 S.F.	99,275.7 S.F.
SETBACKS: (158.145) & (158.102(L))		REQUIRED	PROVIDED
FRONT: GATEHOUSE		50'	113.2'
HOTEL TOWER		140' (2 X 70')	171.8'
CONDOMINIUM TOWERS		156.5' (2 X 78.25')	210.3'
SIDE: SIDE PER 158.102(L)(2) (NORTH):		49.0' (0.7 X 70')	45'
SIDE PER 158.102(L)(2) (SOUTH):		54.8' (0.7 X 78.25')	55'
REAR/WATERFRONT:		150'	150'
DISTANCE BETWEEN BUILDINGS: SEE PLANS FOR DISTANCES BETWEEN BUILDINGS.			
PARKING: (158.128(D))		REQUIRED: 1.5 PER UNITS PLUS 1 SPACE PER 5 UNITS 1.5 X 69 UNITS + (69/5). INCLUDES 2 UNITS THAT MAY BE DESIGNATED AS TOURISM UNITS. 104 + 14 = 118 SPACES	PROVIDED: 343 UNDER BLDG 62 MECHANICAL LIFT 63 OUTSIDE OF BLDG TOTAL= 468 SPACES
+ REQUIRED HOTEL/TOURISM PARKING		1 PER ROOM + 50% OF REQUIRED PARKING FOR ANCILLARY HOTEL USES	
1 X 166 ROOMS +		50% X SPA (14,092 SF) X 1 SPACE /250 SF = 29 SPACES	
50% X THREE MEAL RESTAURANT (100 SEAT) X 1 SPACE /4 SEATS = 13 SPACES		50% X SPECIALTY RESTAURANT (120 SEAT) X 1 SPACE /4 SEATS = 15 SPACES	
50% X BEACH GRILL (AT P1 LEVEL) (40 SEAT) X 1 SPACE /4 SEATS = 5 SPACES		50% X TERRACE BAR (12 SEAT) X 1 SPACE /4 SEATS = 2 SPACES	
50% X LOBBY LOUNGE & ST. REGIS BAR (40 SEAT) X 1 SPACE /4 SEATS=5 SPACES		50% X MONKEY BAR (20 SEAT) X 1 SPACE /4 SEATS = 3 SPACES	
50% X BALLROOM (425 SEAT) X 1 SPACE /4 SEATS = 54 SPACES		50% X MEETING ROOM (250 SEATS) X 1 SPACE /4 SEATS = 32 SPACES	
50% X BOARDROOM (50 SEATS) X 1 SPACE /4 SEATS = 7 SPACES		TOTAL = 331 SPACES	
LOADING SPACES		REQUIRED: 2	PROVIDED: 2
FLOODPLAIN ELEVATION INFORMATION			
PER FEMA PANEL NO. 1211500126F			
FEMA ZONE		BASE FLOOD ELEVATION (NAVD 88)	
AE 10		10.0	
AE 11		11.0	
VE 12		12.0	
VE 15		15.0	
BFE FOR PROJECT IS 12.0 (NAVD 88) BASED ON ELEVATION OF MOST RESTRICTIVE FLOOD ZONE WHICH BUILDING LIES WITHIN.			
COASTAL CONSTRUCTION CONTROL LINE			
WAVE CREST HEIGHT = ELEV. 19.4 (NGVD 29) = ELEV. 18.36 (NAVD 88)			
MINIMUM ELEVATION OF LOWEST STRUCTURAL MEMBER OF LOWEST HABITABLE FLOOR IS 18.36 (NAVD88).			
LOWEST HABITABLE FLOOR ELEVATION IS ELEV. 22.83 (NAVD 88).			
GENERAL NOTES:			
1. SITE EXCAVATION AND GRADING SHALL CONFORM TO SECTION 158.156 OF THE TOWN ZONING CODE.			
2. EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 158.102(B)(5), ARRANGING THE LIGHTING TO SHIELD OR DEFLECT THE LIGHT FROM ADJOINING PROPERTIES. ALL EXTERIOR LIGHTING TO BE IN COMPLIANCE WITH CHAPTER 100 SEA TURTLES, OF THE TOWN CODE.			
3. PARKING OF CONSTRUCTION-RELATED VEHICLES SHALL BE PROHIBITED ALONG GULF OF MEXICO DRIVE.			
4. A CONSTRUCTION FENCE SHALL BE PROVIDED TO SECURE THE CONSTRUCTION SITE. AT A MINIMUM, A SILT FENCE WILL BE USED DURING CONSTRUCTION TO CONTROL ANY SILT AND EROSION FROM LEAVING THE SITE.			
5. SITE SIGNAGE WILL BE IN ACCORDANCE WITH ALL TOWN OF LONGBOAT KEY CODES AND REGULATIONS.			
6. PROPOSED UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE SPECIFIED IN THESE PLANS.			
7. ELEVATIONS BASED ON NAVD 1988 AND ARE BASED ON A N.G.S. BENCHMARK #A 715, ELEVATION 7.74' (NAVD 1988). CONVERSION TO NGVD 1929 = +1.04.			
8. FLOOD ZONES SHOWN ARE APPROXIMATE AND SCALED FROM THE TOWN OF LONGBOAT KEY, FLORIDA FLOOD INSURANCE RATE MAP 1211500126F DATED 11/4/16. THE FLOOD DATA SHOULD BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT BEFORE ANY CONSTRUCTION.			
9. THE SLOPE OF ALL GRADED AREAS ON THE SITE SHALL NOT EXCEED A RATIO OF 4:1 (4 FEET HORIZONTAL TO 1 FOOT VERTICAL). PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT AN "AS-BUILT" GRADING PLAN FOR APPROVAL BY THE TOWN PLANNING, ZONING & BUILDING DEPARTMENT.			
10. DRAWINGS MAY BE SUBJECT TO REVISION AT THE TIME OF FINAL BUILDING PERMIT SUBMITTAL BASED ON FINAL ENGINEERING AND DESIGN REQUIREMENTS FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE, 7TH EDITION AND APPLICABLE REGULATIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FLORIDA DEPARTMENT OF TRANSPORTATION.			

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LICENSED PROFESSIONAL

BRITT L STEPHENS, P.E.
FLORIDA LICENSE NUMBER
71465

KHA PROJECT
149581008

DATE
MAR. 2021

SCALE
AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

OVERALL SITE
DEVELOPMENT PLAN

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

FLORIDA

SHEET NUMBER
A-6

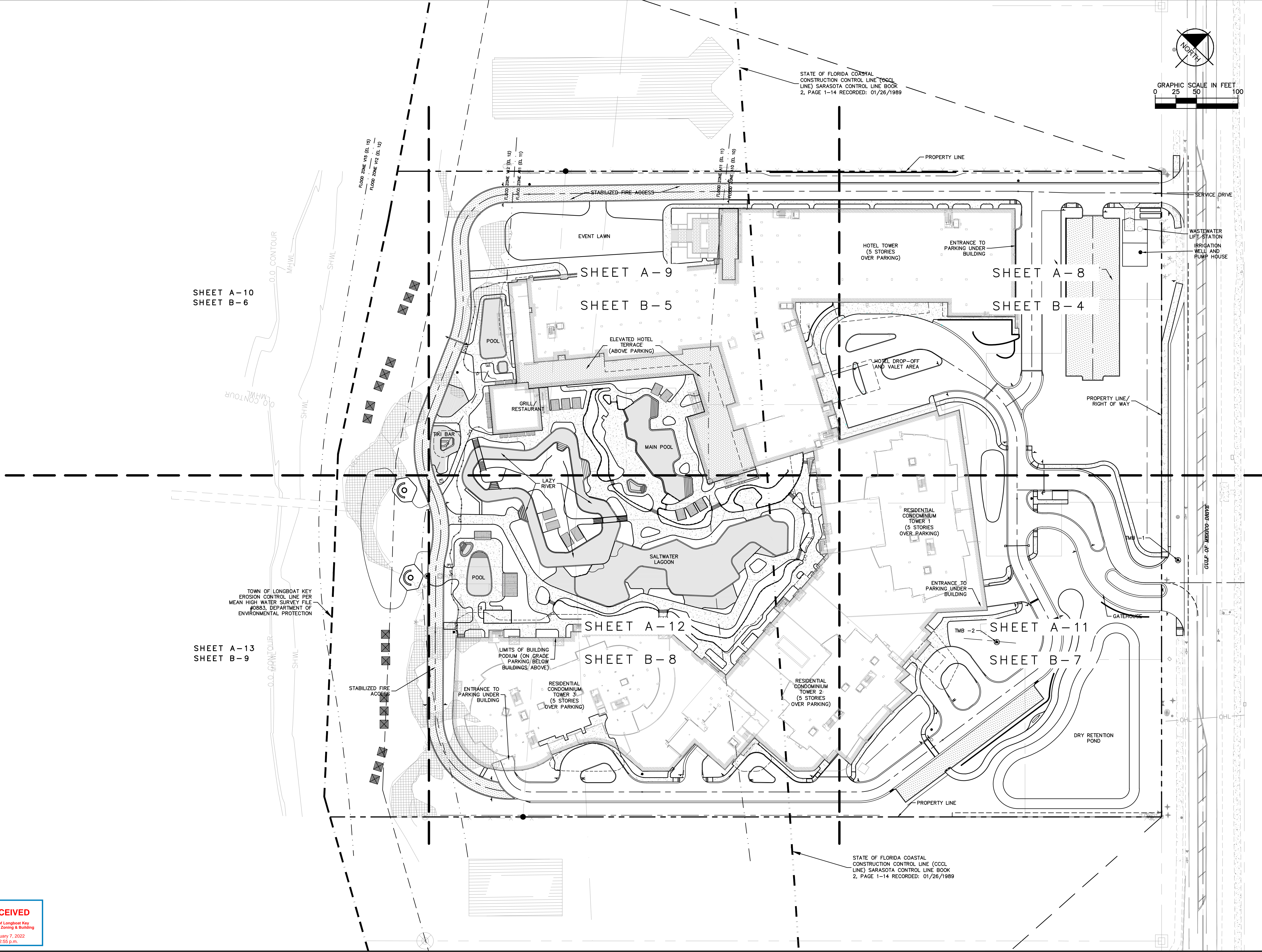
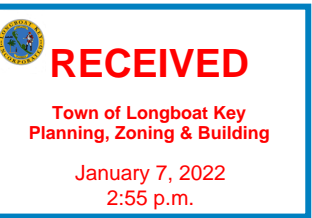
10/20/21

REVISIONS

DATE

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

Plotted By: Hanks, Matt L. Street Set: Unicorp. Longboat Key Hotel and Residences. Layout: A-7 INDEX PLAN. December 02, 2021. 11:56:18 AM. K:\SAR-Civil\149581008 Colcoy Longboat Key\CAD\PlanSheets\A-7 INDEX PLAN.dwg
Reviewed: mamold 01/25/2022
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LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA	
SHEET NUMBER A-7			
INDEX PLAN			
KHA PROJECT 149581008		LICENSED PROFESSIONAL	
DATE MAR. 2021		BRITT L. STEPHENS, P.E.	
SCALE AS SHOWN		FLORIDA LICENSE NUMBER 71465	
DESIGNED BY TEG		DATE: _____	
DRAWN BY JAS		CHECKED BY DLP	
FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION		Kimley»Horn	
FINAL SITE PLAN COMPLIANCE REVIEW		© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696	
REVISIONS		10/20/21	
No.		DATE	
BY		BY	

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

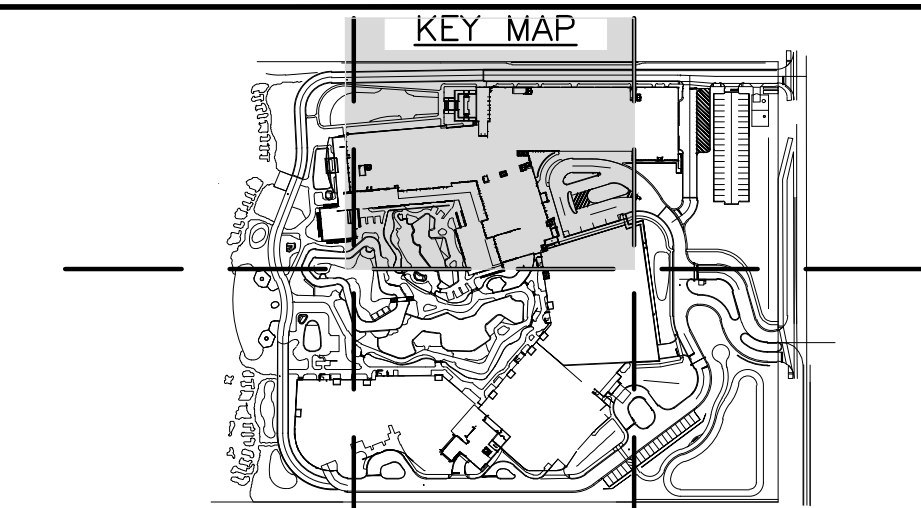
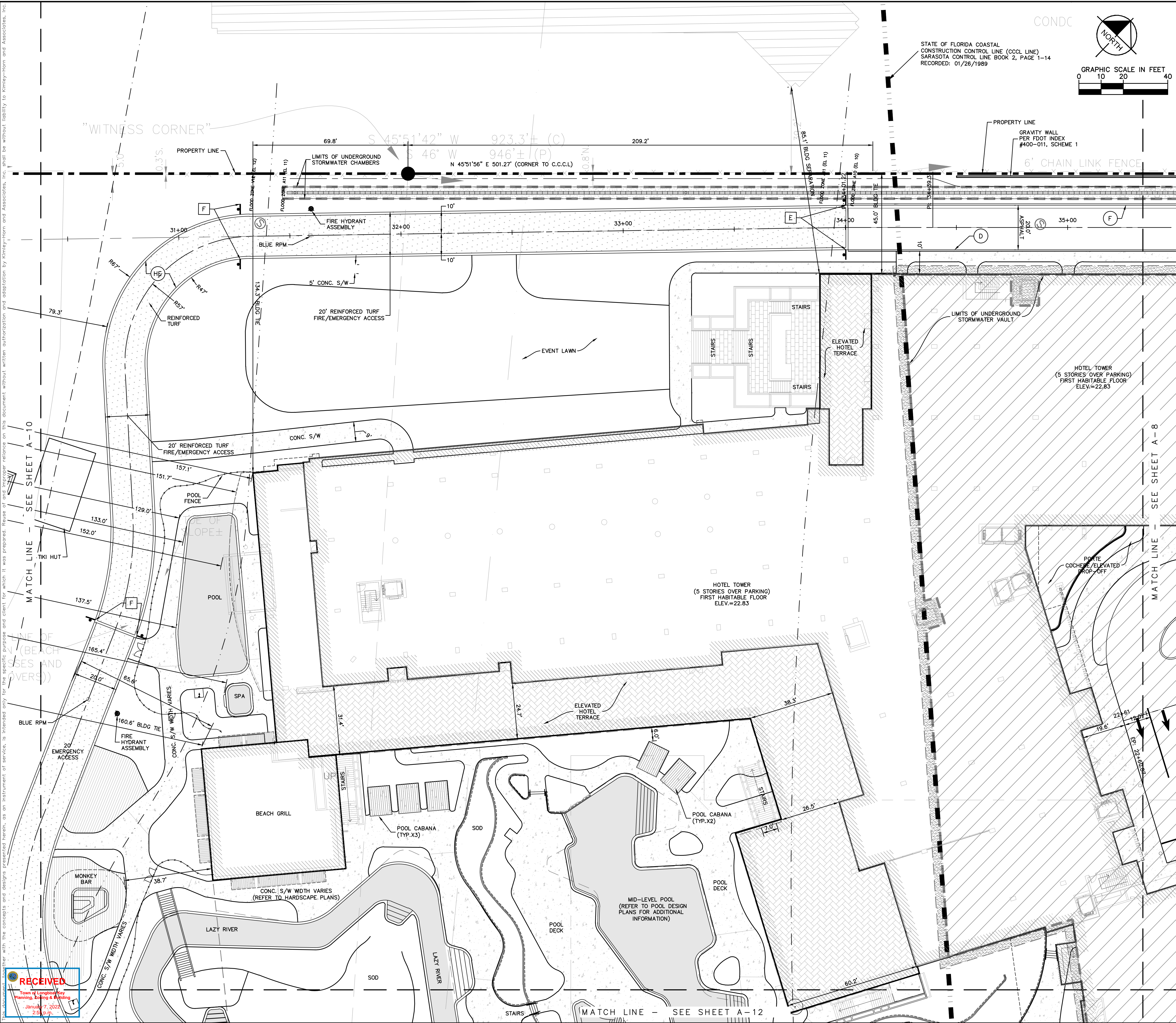
Reviewer: marnold
01/25/2022








Reviewer: marnold












Plotted By Hanks, Matt Sheet Set: Unicorp Longboat Key Hotel and Residences Layout: A-9 SITE DEVELOPMENT PLAN December 02, 2021 12:01:32pm K:\SAR_Civil\49581008 Colony Longboat Key\CAD\PlanSheets\A-9 SITE DEVELOPMENT PLAN.dwg

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RECEIVED
Town of Longboat Key
Planning, Zoning & Building
January 7, 2022
2:55 p.m.



- | LEGEND | |
|---|--------------------------------------|
|  | STANDARD DUTY CONCRETE PAVEMENT |
|  | ASPHALT PAVEMENT |
|  | WATER SURFACE |
|  | VEHICULAR PAVER |
|  | 16' REINFORCED TURF EMERGENCY ACCESS |
|  | ELEVATED HOTEL TERRACE |
|  | WOOD DECK |

- ### CURB LEGEND
- | | |
|---|--|
|  | 16" TYPE "F" MODIFIED CURB |
|  | 16" REVOLVED TYPE "F" MODIFIED CURB |
|  | 24" VALLEY CURB |
|  | 36" VALLEY GUTTER |
|  | 8" TYPE "D" CURB |
|  | 24" TYPE "F" CURB |
|  | HEADER CURB |
|  | INTEGRAL CURB AND SIDEWALK |
|  | CURB RAMP |
|  |  5' TRANSITION BETWEEN TWO TYPES OF CURBS |

- | SIGNAGE & PAVEMENT MARKING LEGEND | |
|-----------------------------------|---|
| A | "STOP" SIGN & POST (R1-1, W/R, 30"x30") |
| B | HANDICAP PARKING SIGN AND POST (R7-B) |
| C | 25 M.P.H. SPEED LIMIT SIGN & POST (R2-1, B/W, 24"x30") |
| D | PEDESTRIAN CROSSING (W11-2, B/W, 30"x30") |
| E | EMERGENCY ACCESS ONLY (BY-OTHERS) |
| F | NO PARKING FIRE DEPARTMENT EMERGENCY ACCESS (BY-OTHERS) |
| G | DO NOT ENTER (R5-1, W/R, 30"x30") |

- | | |
|---|---|
| 1 | 12" WIDE SOLID WHITE LINE (STANDARD CROSSWALK, PAINT) |
| 2 | 24" WIDE SOLID WHITE LINE (STOP LINE, PAINT) |
| 3 | 6" WIDE SOLID WHITE LINE (PARKING STRIPE, PAINT) |
| 4 | TURN LANE-DIRECTIONAL ARROW (TYP ALL, PAINT) |

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 3. STRIPING AND SIGNAGE SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE F.D.O.T. STANDARD INDEX NO. 17346 PER SECTION 100.00, 706 AND 711 OF THE F.D.O.T. STANDARD SPECIFICATIONS EXCEPT THOSE PARTS PERTAINING TO METHOD OF MEASUREMENT AND BASIS OF PAYMENT.
 4. ALL PAVEMENT MARKINGS AND TRAFFIC STRIPING SHALL BE "ALKYD" THERMOPLASTIC CERTIFIED LEAD FREE, 90 MILS MINIMUM THICKNESS, OTHER THAN EDGE LINES, WHICH ARE TO BE 60 MILS AND THE BICYCLE AND SYMBOLS WHICH SHALL BE 30 MILS, PARKING STALLS SHALL BE PAINT.
 5. ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET THE SPECIFICATIONS OF THE TOWN OF LONGBEAT KEY, MUTCD CURRENT EDITION AND FDOT CURRENT DESIGN STANDARDS.
 6. TRAFFIC SIGN POSTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE 2" SQUARE TUBE POSTS WITH PERFORATED/PUNCHED HOLES EVERY 1" ON CENTER.
 7. ALL PROPOSED SIGNS SHALL BE DESIGNED FOR 90 MPH WIND LOADING.
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PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

BRITT L. STEPHENS, P.E.

KHA PROJECT 149581008	DATE MAR. 2021
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SITE DEVELOPMENT PLAN

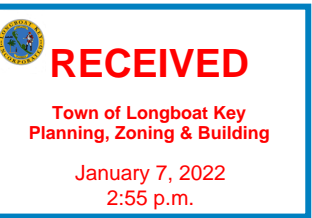
LONGBOAT KEY HOTELL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

A-9

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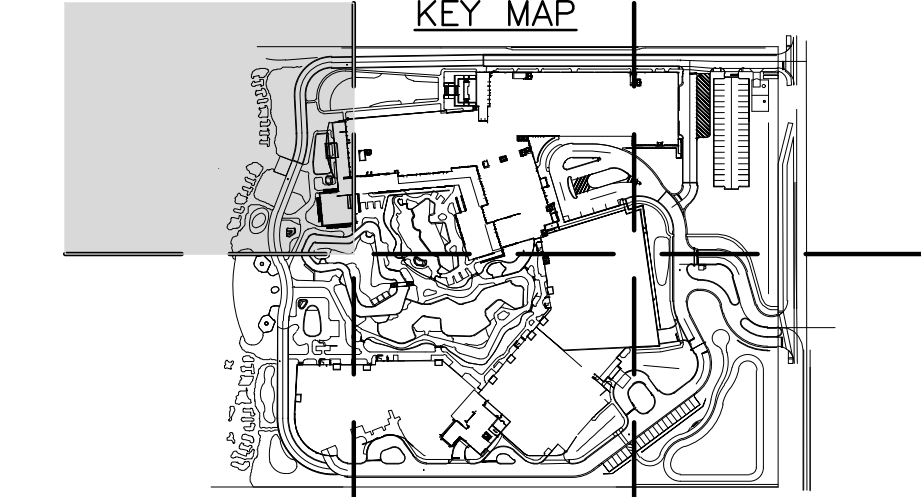
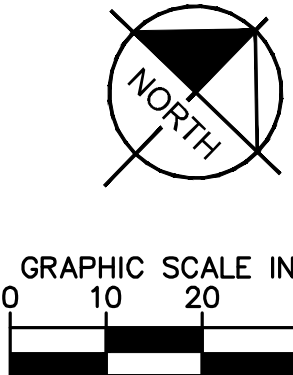
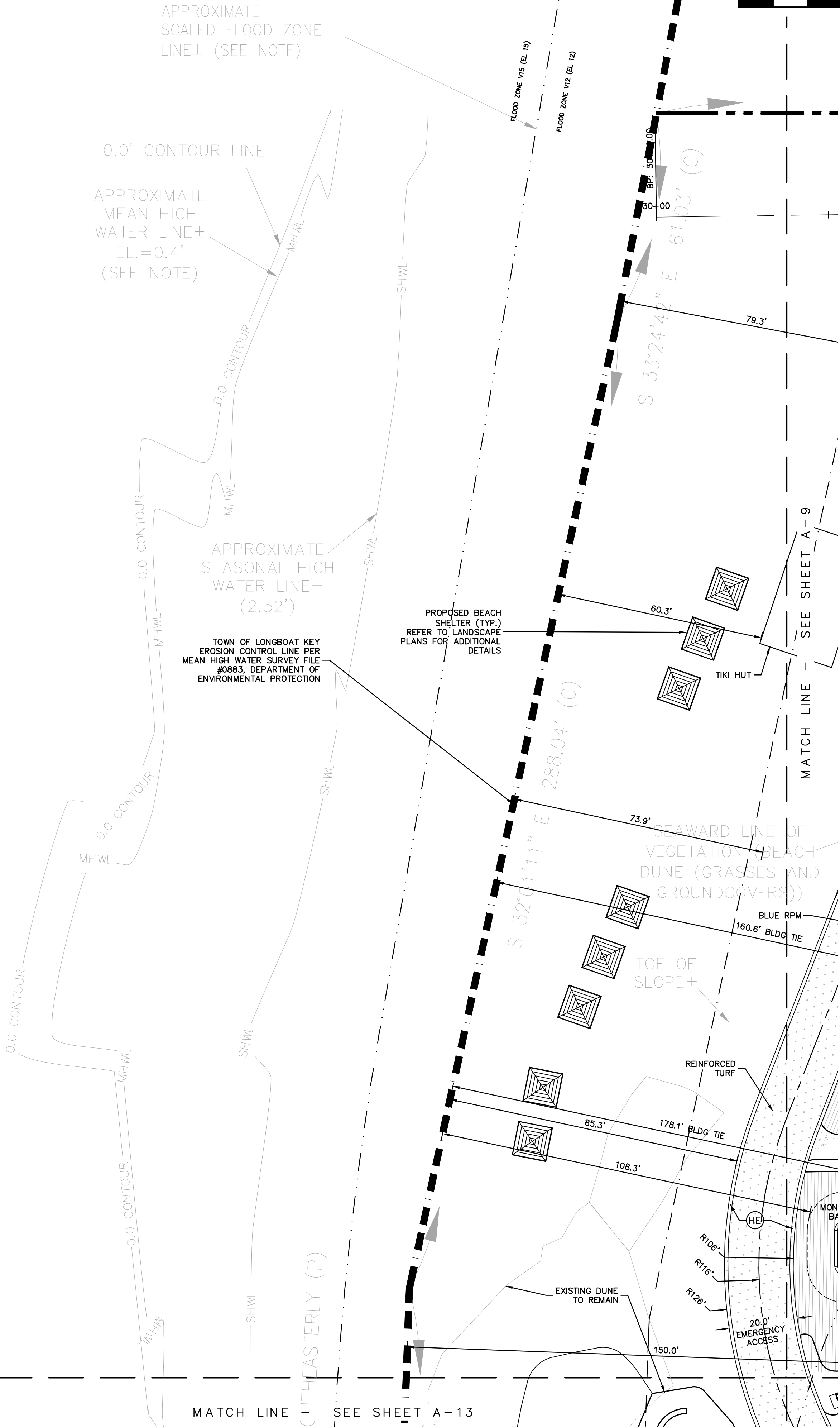
No.	REVISIONS	DATE	BY
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XICO

GULF OF MEXICO



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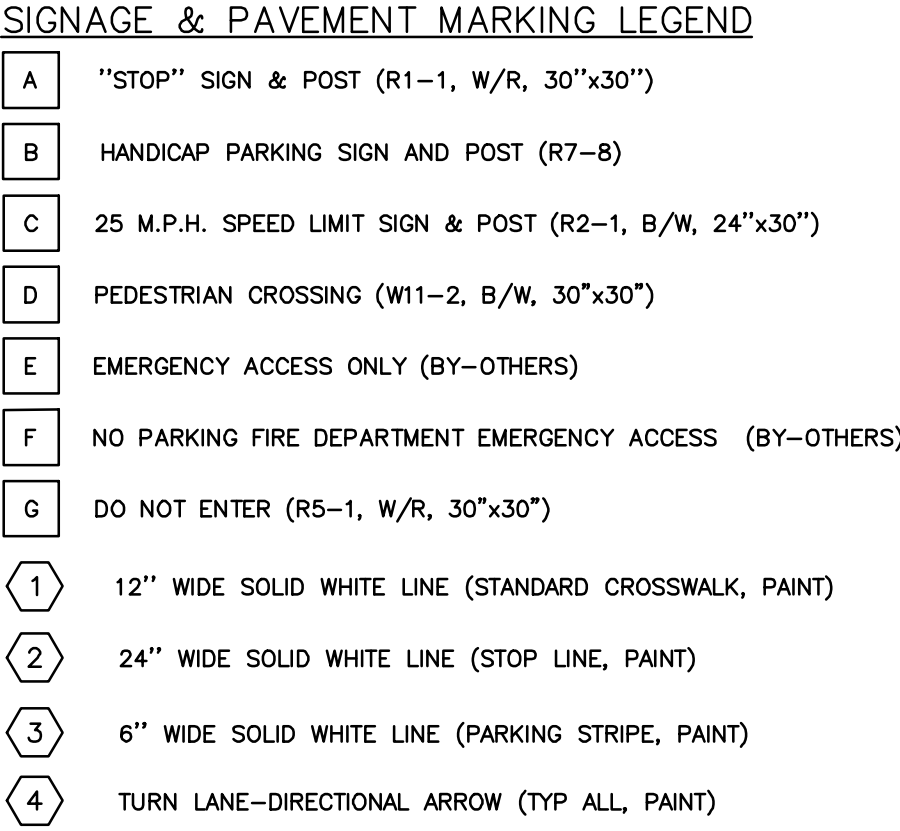
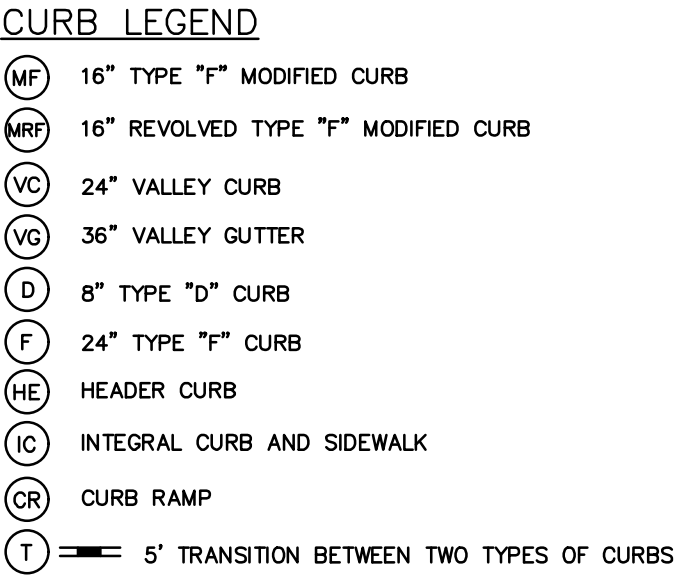
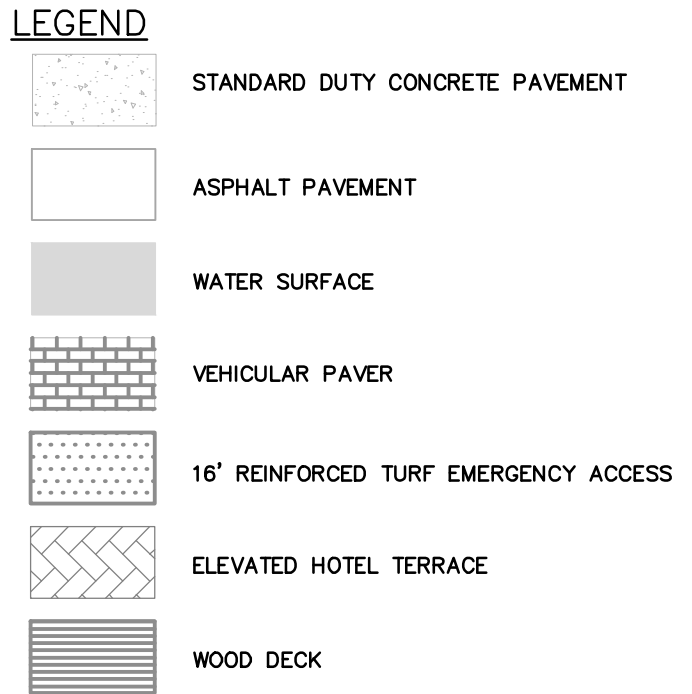
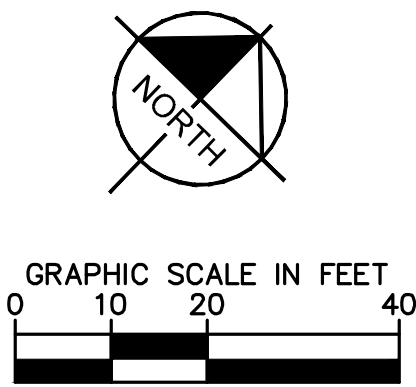
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SHEET NUMBER		LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		LONGBOAT KEY		FLORIDA	
A-10		SITE DEVELOPMENT PLAN		KHA PROJECT 149581008		LICENSED PROFESSIONAL	
				DATE MAR. 2021		BRITT L. STEPHENS, P.E.	
				SCALE AS SHOWN			
				DESIGNED BY TEC		FLORIDA LICENSE NUMBER	
				DRAWN BY CLL		71465	
				CHECKED BY		DATE:	
				DLP		10/20/21	
						REVISIONS	
						BY	
						DATE	
						No.	
						FINAL SITE PLAN COMPLIANCE REVIEW	
						10/20/21	
						FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	



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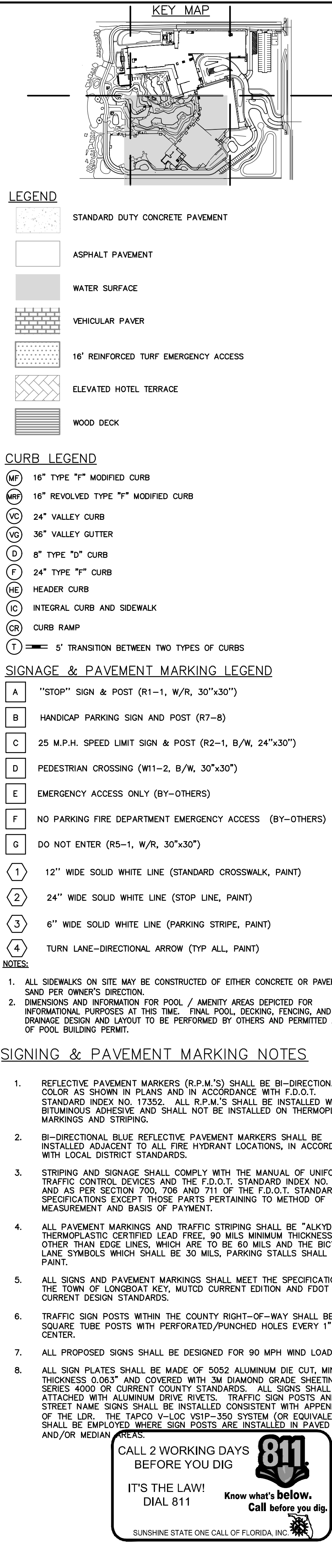
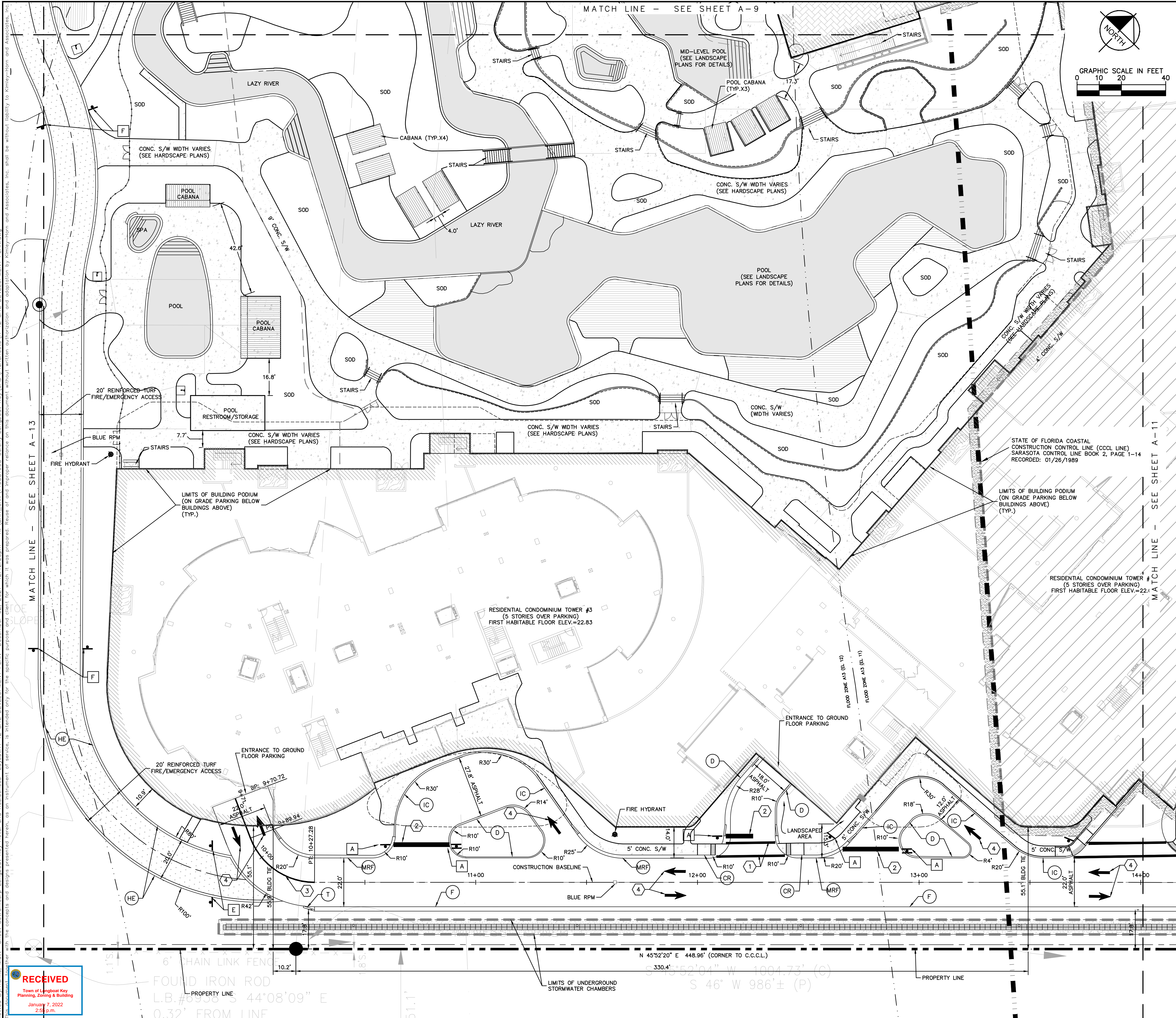
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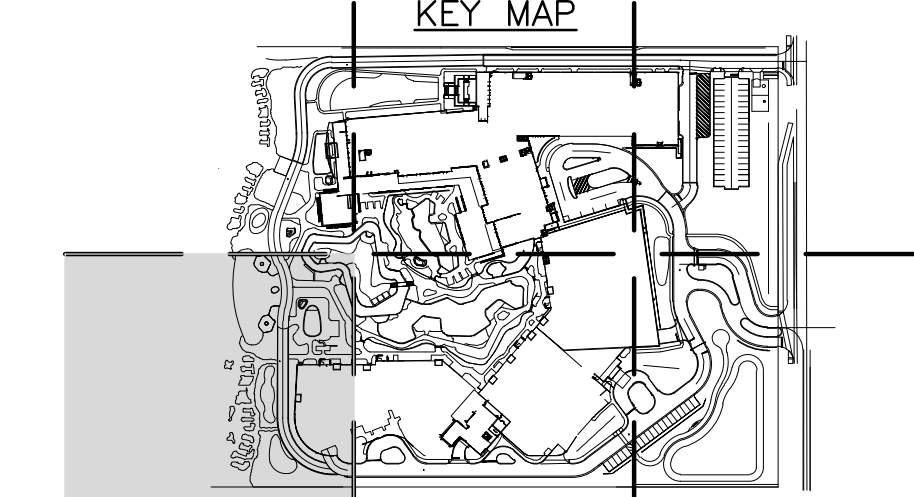
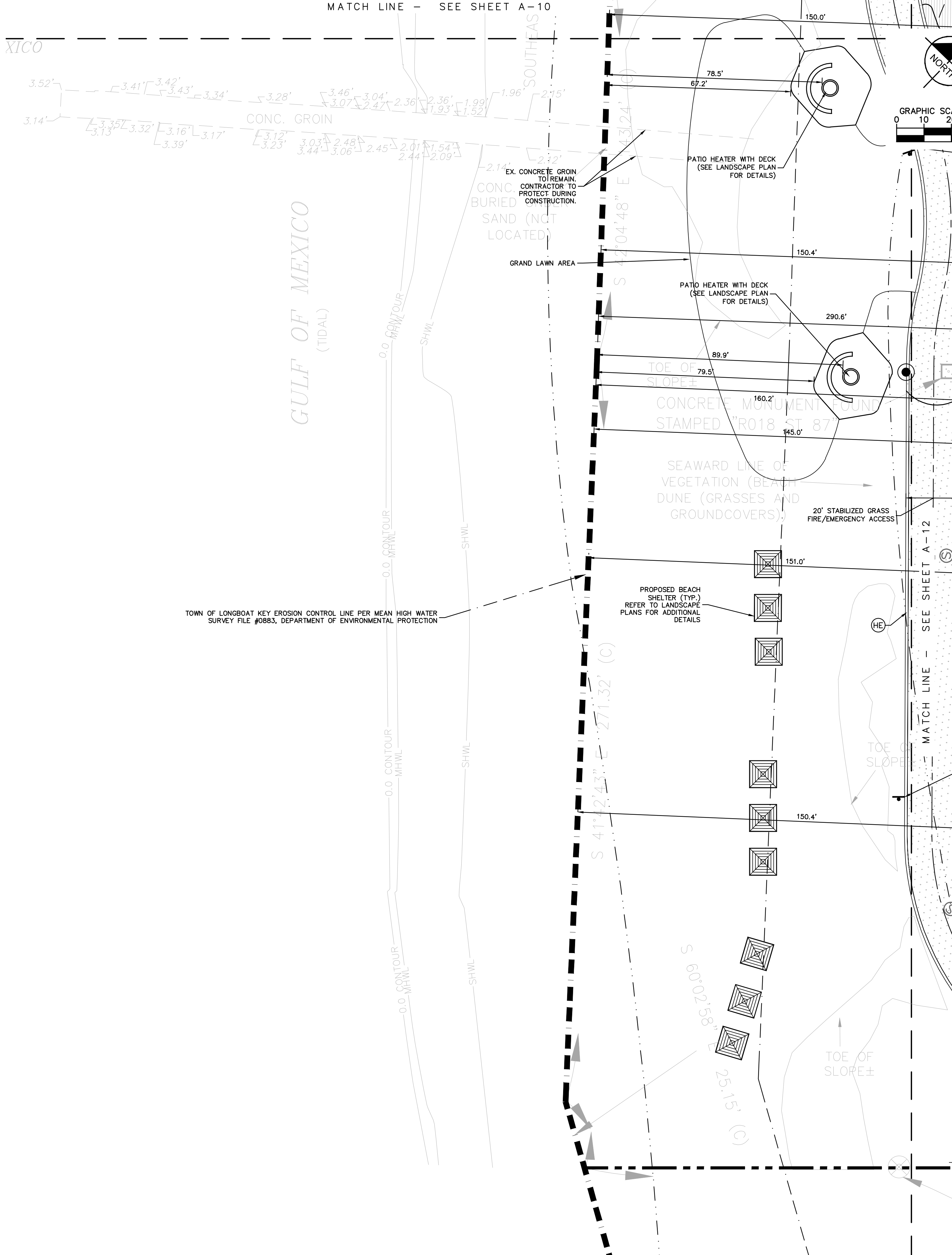
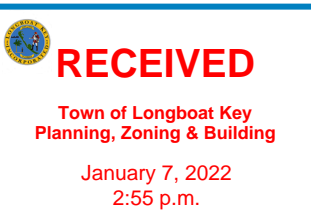
Project Name	Reviewer	Review Date	Review Time	Review Status	Review Comments
Key Hotel and Residences	marmold	December 02, 2021	12:12:23pm	Completed	Site Development Plan.dwg

Reviewer: manold
Date: 01/25/2022



LONGBOAT KEY HOTEL AND RESIDENCES						SHEET NUMBER					
PREPARED FOR UNICORP ACQUISITIONS, LLC						A-12					
LONGBOAT KEY FLORIDA						SITE DEVELOPMENT PLAN					
KHA PROJECT 149581008			DATE MAR., 2021			LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E.			<div>Kimley»Horn</div> <div>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696</div>		
SCALE AS SHOWN						FLORIDA LICENSE NUMBER 71465					
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FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION						NO. REVISIONS DATE BY					

Plotted By: Hanks, Matt, Street Set: Unicorp Longboat Key Hotel and Residences, L05001A-13 SITE DEVELOPMENT PLAN, December 02, 2021, 11:54:03am, k:\SAR_Civil\149581008 Colony Longboat Key\CAD\PlanSheets\A-13 SITE DEVELOPMENT PLAN.dwg, Reviewer: mamold, 01/25/2022, This document is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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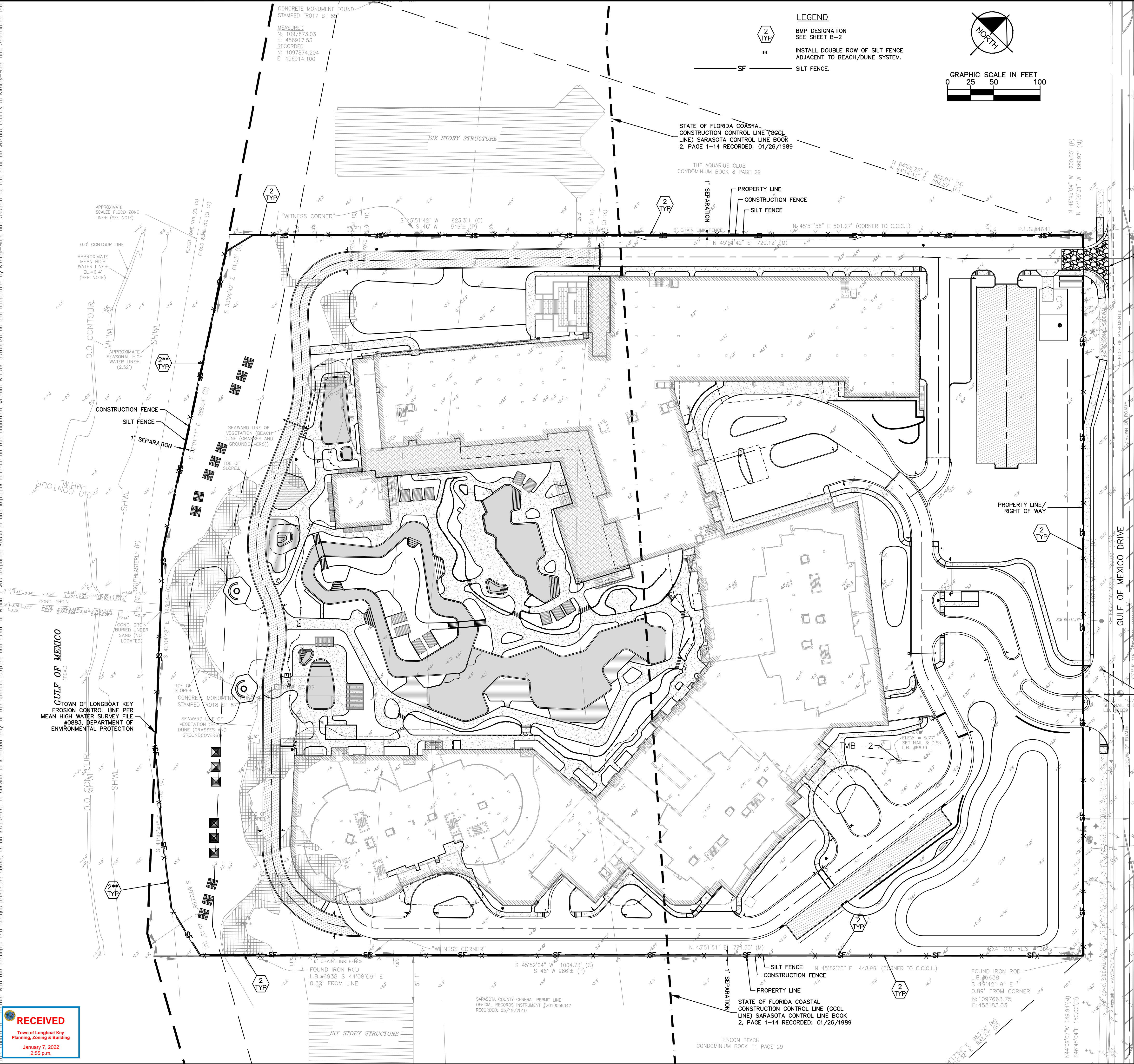
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SCALE AS SHOWN				No.			
DESIGNED BY TEG				No.			
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DATE ---				No.			
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LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC				No.			
LONGBOAT KEY				No.			
FLORIDA				No.			
10/20/21				No.			
COMPLIANCE REVIEW				No.			
REVISIONS				No.			
DATE				No.			
BY				No.			

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Resolution 2021-21

Reviewed: mamod
01/25/2022

Plotted By: Hanks, Mett. Street Set: Unicorp. Longboat Key Hotel and Residences. LAYOUT: B-1 EROSION AND SEDIMENT CONTROL PLAN. December 02, 2021. 12:18:49pm. K:\SAR-Civil\149581008 Colony Longboat Key\CAD\PlanSheets\B-1 EROSION AND SEDIMENT CONTROL PLAN.dwg
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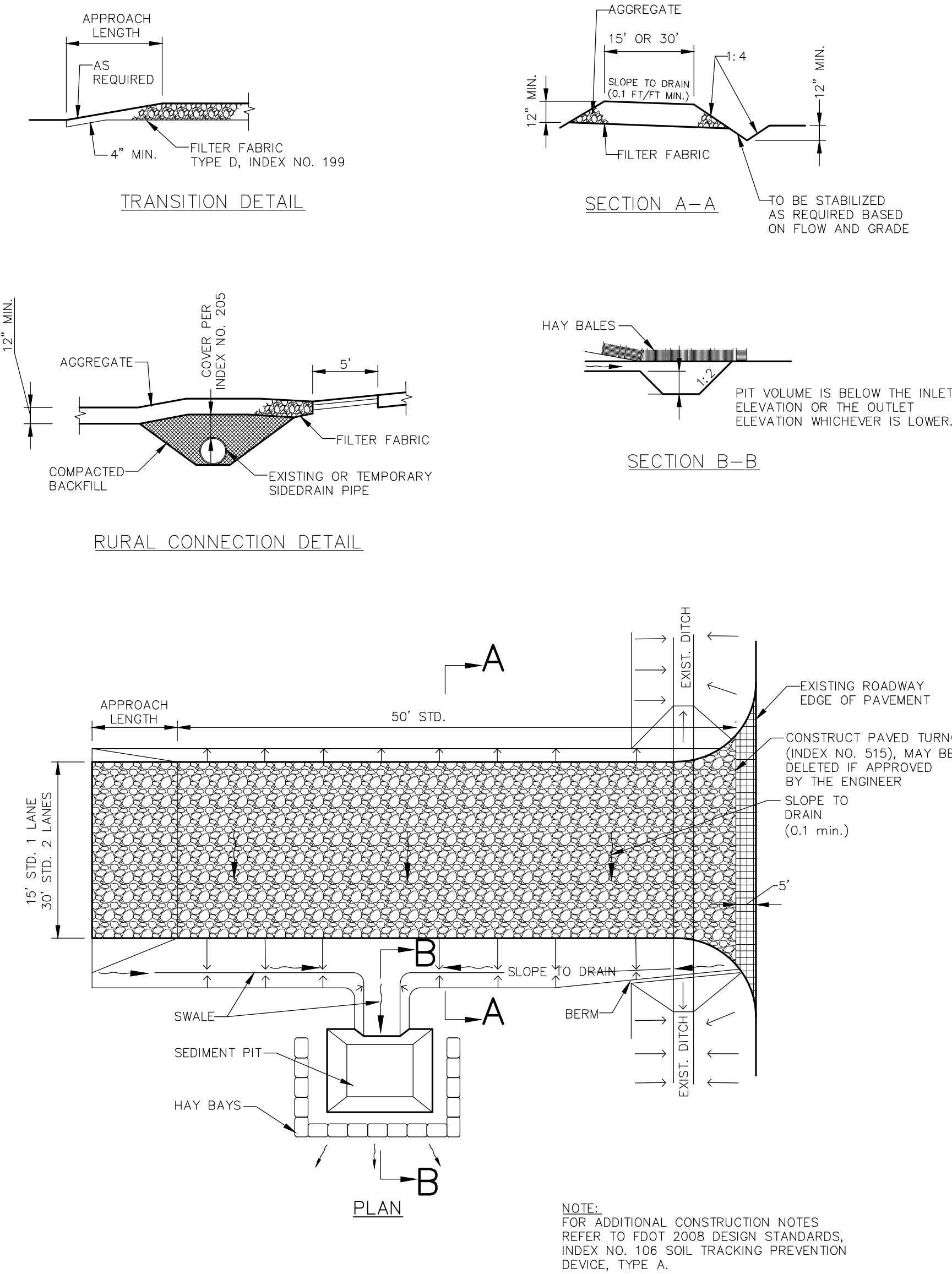
NOTES:

- LOCATION OF SILT SCREEN FENCE IS SCHEMATIC AND NOT TO BE USED FOR STAKE OUT PURPOSES.
- SEE PLANS AND SECTIONS FOR TERMINATION OF ALL PROPOSED SLOPES TO DETERMINE LOCATIONS OF SILT FENCES.
- ANY CONSTRUCTION ADJACENT TO A PRESERVE AREA SHALL BE PERFORMED FROM THE UPLAND SIDE OF THE AREA. CONSTRUCTION ENROACHMENT INTO A PRESERVE AREA IS NOT ALLOWED UNLESS PERMITTED BY SWFMD OR TOWN OF LONGBOAT KEY.
- SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED ALONG THE WETLAND BUFFER LINE. IF THERE IS A WETLAND BUFFER IMPACT, ALL SILT FENCE SHALL BE INSTALLED 2' WATER WARD OF THE TOE OF SLOPE AS SHOWN ON THESE PLANS. NO SILT FENCE SHALL BE INSTALLED IN PRESERVED WETLANDS OR UPLANDS EXCEPT AS PROTECTION AROUND TEMPORARY IMPACTS.
- ALL CURBING, EDGE OF PAVEMENT WHERE CURB IN NOT PRESENT SHALL HAVE A 2' WIDE STRIP OF SOD.
- ALL DRAINAGE STRUCTURES SHALL BE SODDED ALONG THE EDGE OF THE STRUCTURE 2' MINIMUM SOD WIDTH.
- ALL DRAINAGE SWALES SHALL BE SODDED TO 2' BACK OF TOP OF BANK.
- CONTRACTOR TO INSPECT AND REPAIR ALL BMP'S ON A DAILY BASIS. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE AND BE AVAILABLE FOR INSPECTION UPON REQUEST.
- ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OR IDENTIFICATION OF THE NEED OF SUCH CORRECTION.
- RECOMMEND LOCATIONS OF THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCES HAVE BEEN SHOWN ON THE PLANS. ALTERNATE LOCATIONS CAN BE PROPOSED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE TOWN OF LONGBOAT KEY AND FDOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING TEMPORARY GRAVEL CONSTRUCTION ENTRANCES PER THE DETAIL PROVIDED ON THE SHEET B-2 FOR ENTRANCES TO THE PROJECT.
- AREAS OF THE SITE THAT ARE TO BE USED FOR UNDERGROUND RETENTION OR DRY POND, SHOULD NOT BE USED FOR DEWATERING AREAS. IF THEY ARE, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND RESTORING THE PERMEABILITY OF THE SOIL TO THE PREDEVELOPMENT INFILTRATION RATES DESCRIBED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT.

BEST MANAGEMENT PRACTICES (BMP) GUIDELINES:

- ALL BMP LOCATIONS SHOWN ARE FOR GRAPHIC DEPICTION AND GENERAL LOCATION ONLY. ITEMS ARE TO BE INSTALLED PER DETAILS ON PLAN SET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGH THE DURATION OF ALL CONSTRUCTION OPERATIONS IN ACCORDANCE WITH THE N.P.D.E.S. PROGRAM.
- PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL ALL REQUIRED BMP DEVICES PER MANATEE COUNTY. ALL BMP DEVICES SHALL BE LOCATED AS SHOWN ON THE PLANS.
- ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE COMPLETION OF FINAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE APPROPRIATE AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE APPROPRIATE AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
- THE SILT FENCING AND OTHER BMP DEVICES SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER.
- DURING DEWATERING ACTIVITIES, SEMI-HYDRATED GEL POLYACRYLAMIDE BLOCKS SHALL BE USED TO ALLOW COLLOIDAL CLAY PARTICLES TO SETTLE WHEN REACHING THE RETENTION FACILITIES.
- POLYACRYLAMIDE SHALL BE APPLIED TO THE SOIL SURFACE OF ALL THE AREAS WHERE THE GROUND HAS BEEN DISTURBED. THE POLYACRYLAMIDE SHALL BE APPLIED AS EARLY AS PRACTICAL AND AT THE LATEST, MUST BE APPLIED IN CONJUNCTION WITH TEMPORARY OR PERMANENT SEEDING.
- BEST MANAGEMENT PRACTICES NOTES:
- BMP MEASURES SHOWN ARE A MINIMUM.
- BEST MANAGEMENT PRACTICES SHOWN FOR OPEN THROAT AND GRATED SWALE INLETS SHALL BE INSTALLED AS APPROPRIATE FOR VARIOUS PROJECT PHASES.
- ALL PONDS SHALL BE SOD FROM BOTTOMW TO 2' BACK OF TOP OF BANK.
- THE PROJECT OPERATOR/RESPONSIBLE AUTHORITY SHALL BE RESPONSIBLE FOR THE ROUTINE INSPECTION, MAINTENANCE, REPAIR AND REMOVAL OF BMP DEVICES IN ACCORDANCE WITH CURRENT RULES AND REGULATIONS OF LONGBOAT KEY, THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT PROGRAM.
- *ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION ENVIRONMENTAL RESOURCE PERMIT.
- DEWATERING NOTES:
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ARRANGEMENT, LOCATION AND DEPTHS OF THE DEWATERING SYSTEM NECESSARY TO ACCOMPLISH THE WORK DESCRIBED ON THESE PLANS.
- THE CONTRACTOR, IF REQUIRED, IS RESPONSIBLE FOR SUBMITTING TO THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR REVIEW A DEWATERING PLAN AND SUPPORTING CALCULATIONS. THIS PLAN SHALL DETAIL THE DEWATERING METHODS PROPOSED, THE DURATION OF DEWATERING, FLOW PATHS, AND POINTS OF DISCHARGE.
- ALL WATER REMOVED FROM THE EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL NOT ENDANGER PUBLIC HEALTH, DAMAGE PUBLIC OR PRIVATE PROPERTY, OR AFFECT ADVERSELY ANY PORTION OF THE WORK UNDER CONSTRUCTION OR COMPLETED.
- PUBLIC RIGHTS-OF-WAY AND PROPERTIES SHALL BE UTILIZED FOR THE DISPOSAL OF WATER REMOVED FROM THE GROUND BY THE DEWATERING PROCESS.
- THE METHODS AND PROVISIONS UTILIZED TO PREVENT SILTATION AND EROSION SHALL CONFORM TO CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRACTICES AND REGULATIONS AND ANY OTHER LOCAL LEGAL PROVISIONS WHICH MAY APPLY. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE STRICTER REQUIREMENTS SHALL APPLY.
- THE PUMPING RATE SHALL BE MONITORED AND ADJUSTED, IF NECESSARY IN ORDER TO PREVENT THE DISCHARGE OF TURBID WATER INTO THE PUBLIC RIGHTS-OF-WAY OR EXISTING WETLANDS.
- NO DIRECT PUMPING DISCHARGE IS PERMITTED INTO ANY EXISTING WETLANDS.
- DEWATERING CONTAINMENT AND ISOLATION SHALL BE IN ACCORDANCE WITH BMP DETAILS SHEET, B-3.
- DEWATERING SYSTEM SHALL BE IN PLACE PRIOR TO EXCAVATION.
- ALL EXCAVATED MATERIAL IS EXPECTED TO BE UTILIZED AS FILL MATERIAL ON SITE.
- DEVIATIONS FROM PROPOSED DEWATERING SUMP LOCATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD.
- CONTROL STRUCTURES MUST BE IN PLACE BEFORE LOWER LEVEL LAKES AND LAKES ADJACENT TO WETLANDS CAN BE USED AS SUMPS.
- STANDARD DEWATERING SUMP SIZES HAVE BEEN PROVIDED ON THIS PLAN. CONTRACTOR SHALL UTILIZE SUMP SIZES SHOWN OR PROVIDE SUPPORTING CALCULATIONS FOR A SPECIFIC DEWATERING RATE.
- NO DEWATERING SHALL GO TO THE POND OR UNDERGROUND STORAGE SYSTEM.

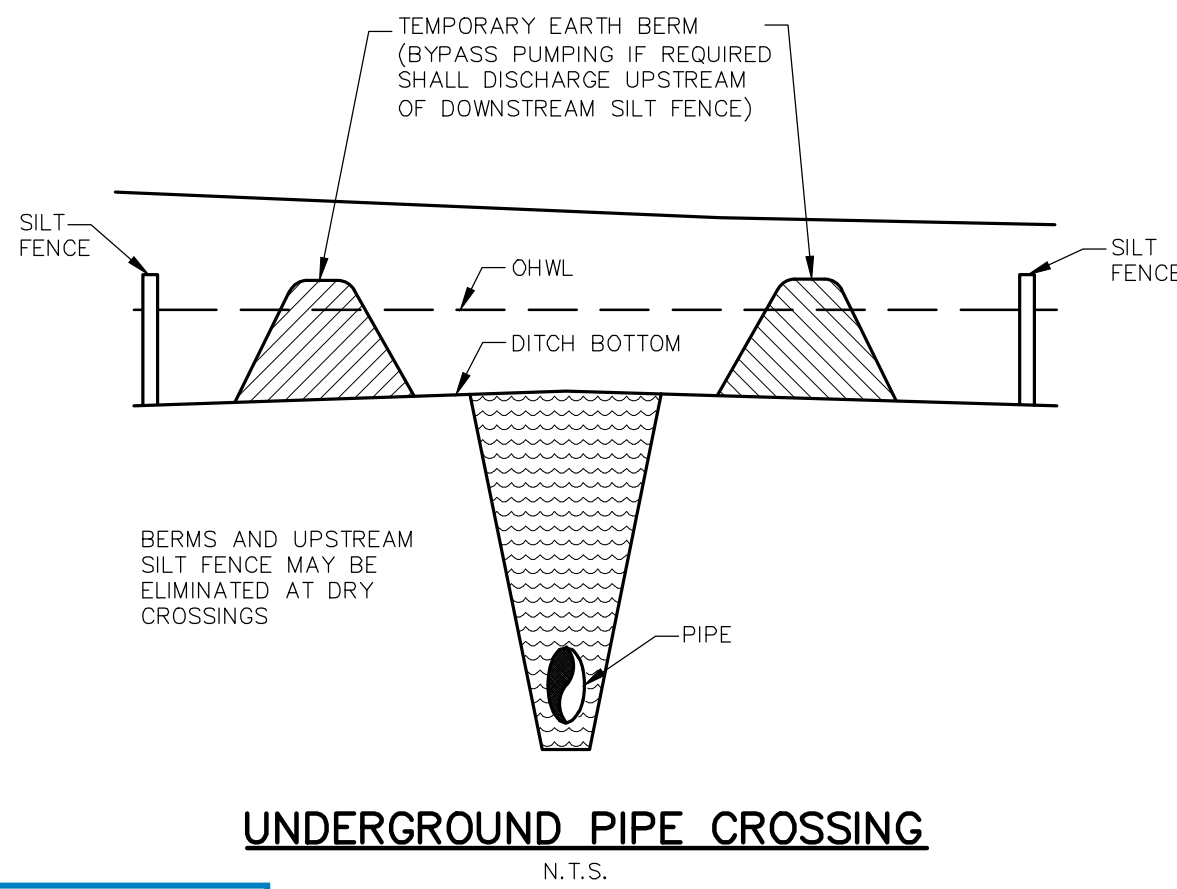
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KHA PROJECT 149581008		DATE MAR. 2021		SCALE AS SHOWN		DESIGNED BY TEG	
DRAWN BY CLL		CHECKED BY DLP		DATE -----		BY	
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA		SHEET NUMBER B-1		NO.	



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

N.T.S.

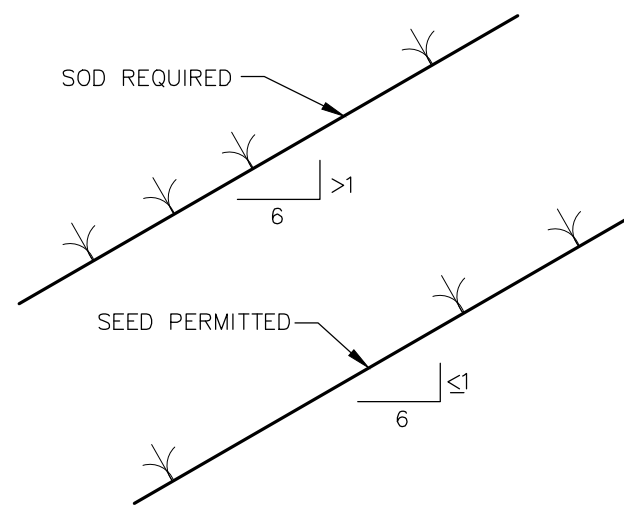
FIGURE 1



UNDERGROUND PIPE CROSSING

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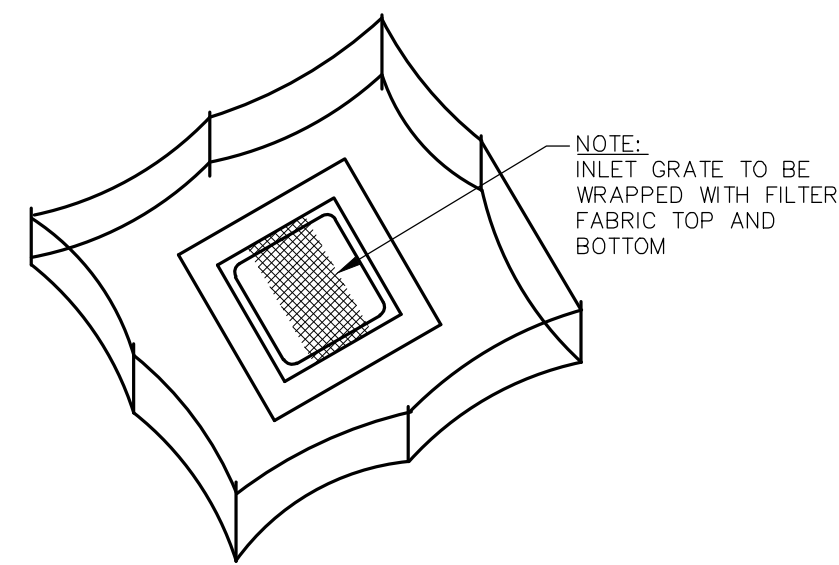
FIGURE 12



GRASS SLOPES

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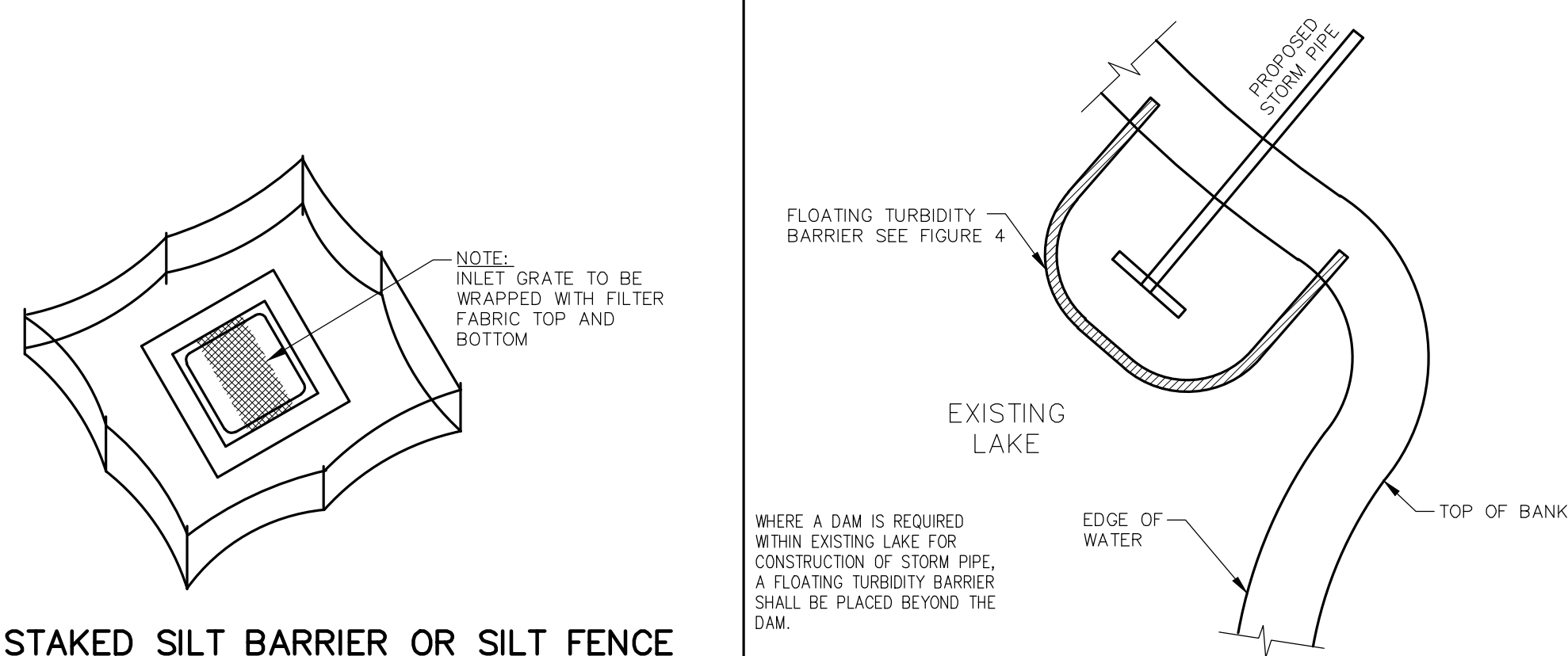
FIGURE 13



STAKED SILT BARRIER OR SILT FENCE
PROTECTION AROUND DITCH BOTTOM INLETS

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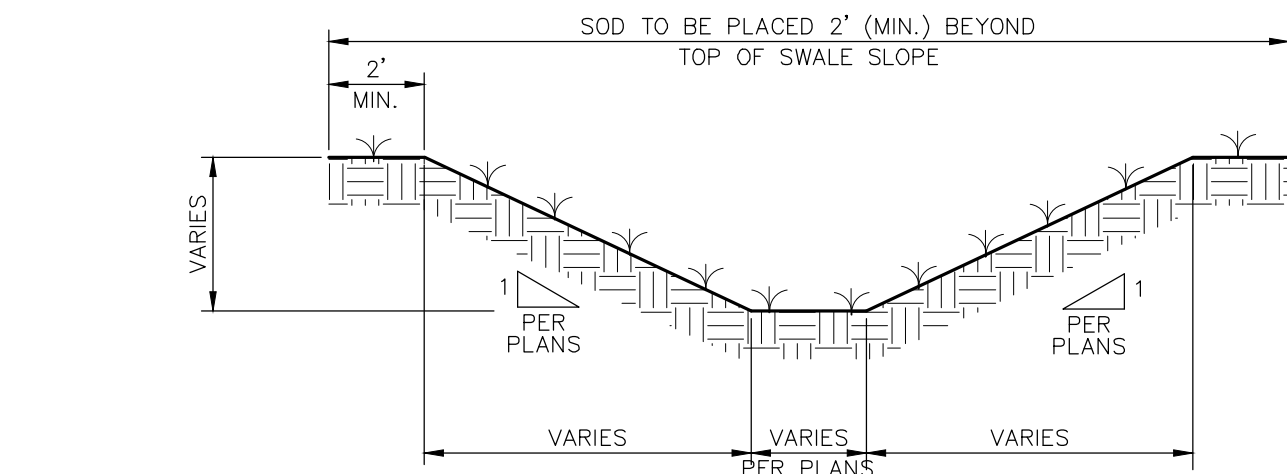
FIGURE 8



FLOATING TURBIDITY BARRIER AT CONNECTION
OF STORM PIPE TO EXISTING LAKE

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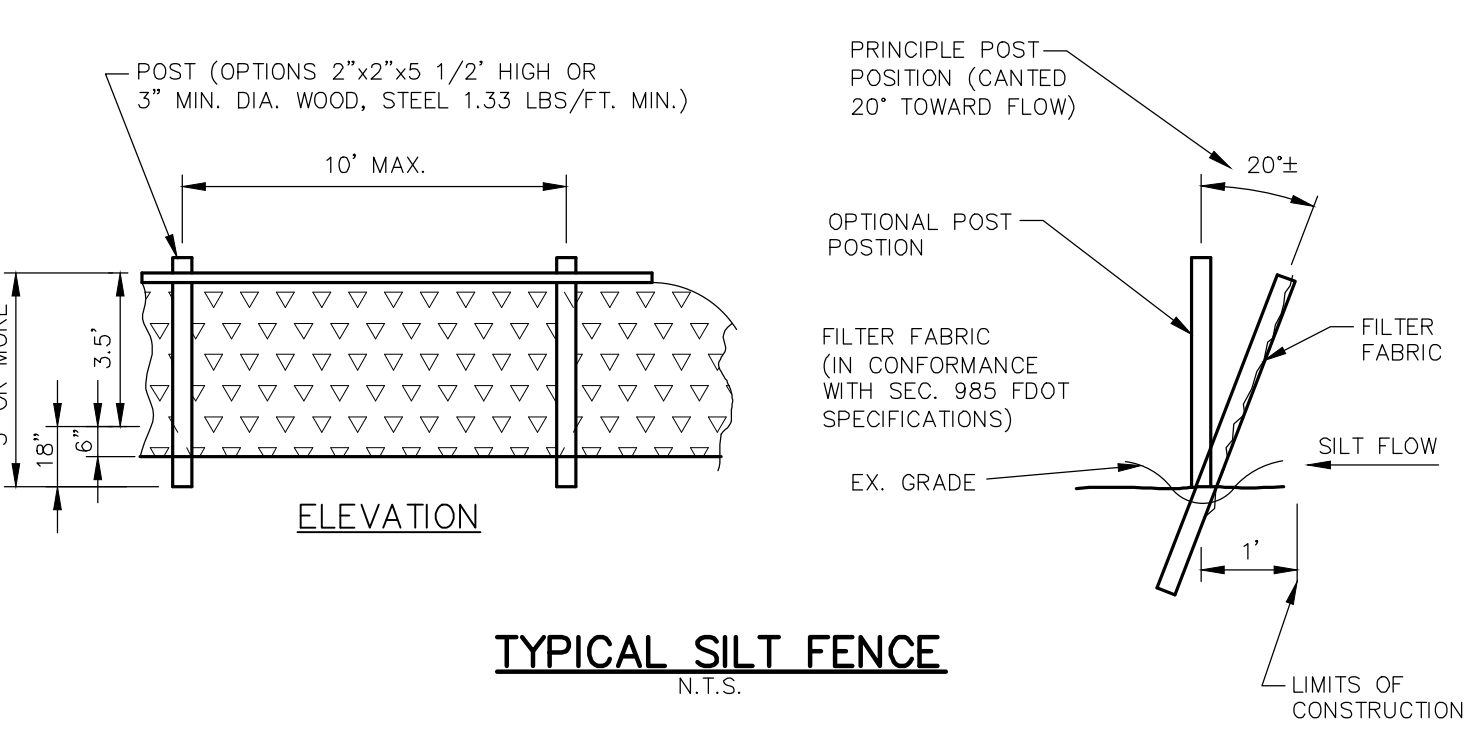
FIGURE 9



TYPICAL SWALE SECTION

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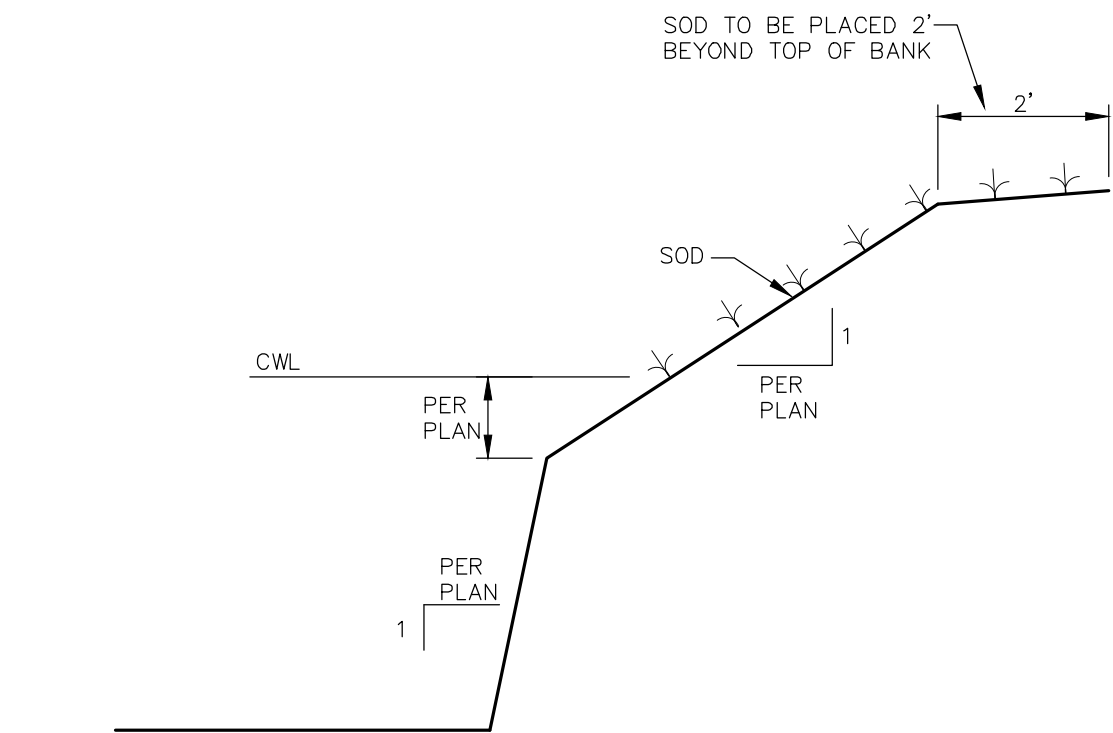
FIGURE 5



TYPICAL SILT FENCE

N.T.S.

FIGURE 2



TYPICAL RETENTION/DETENTION POND SECTION

N.T.S.

FIGURE 6

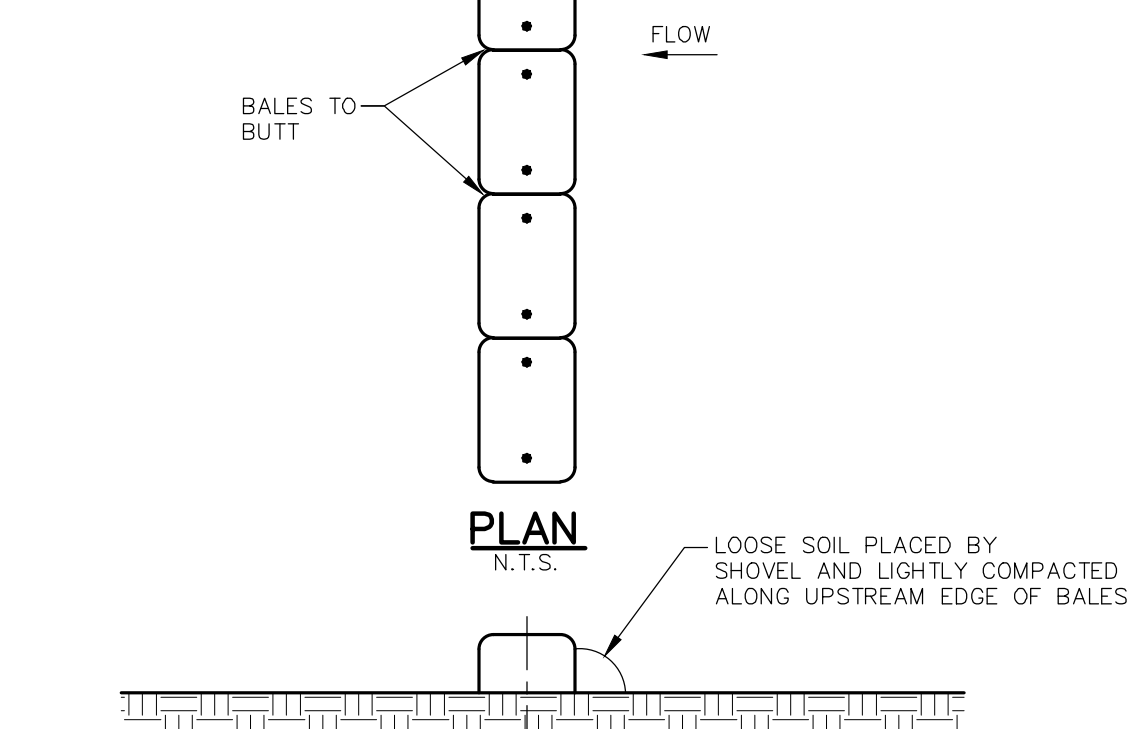
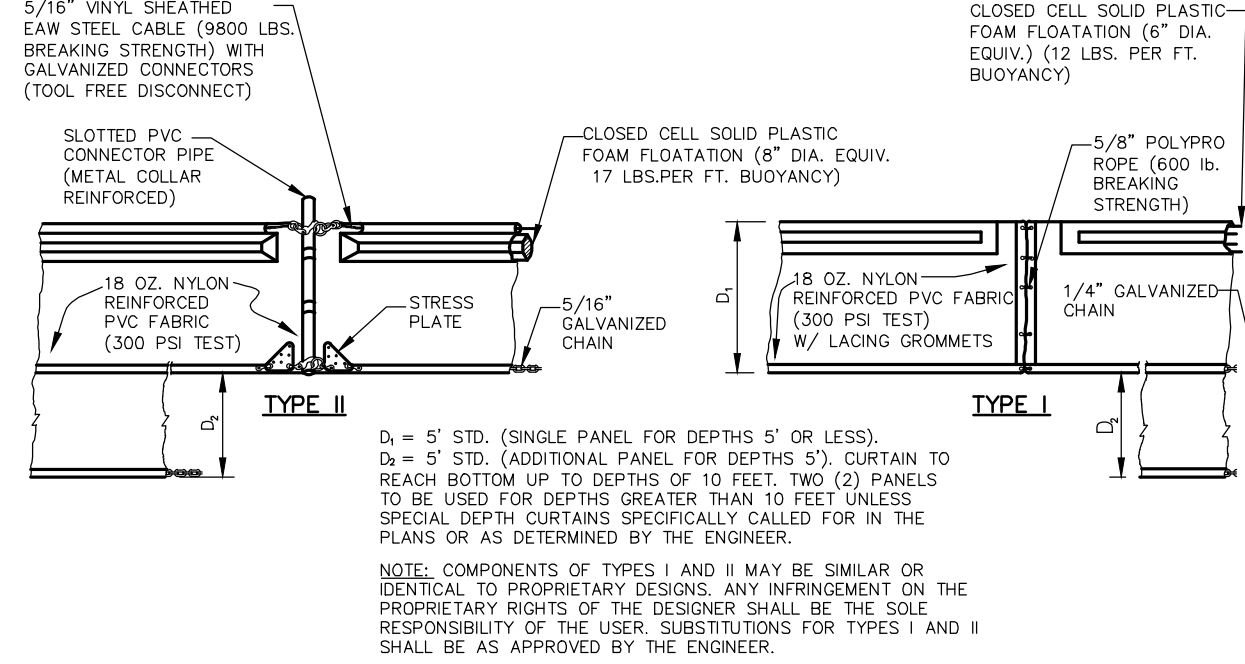


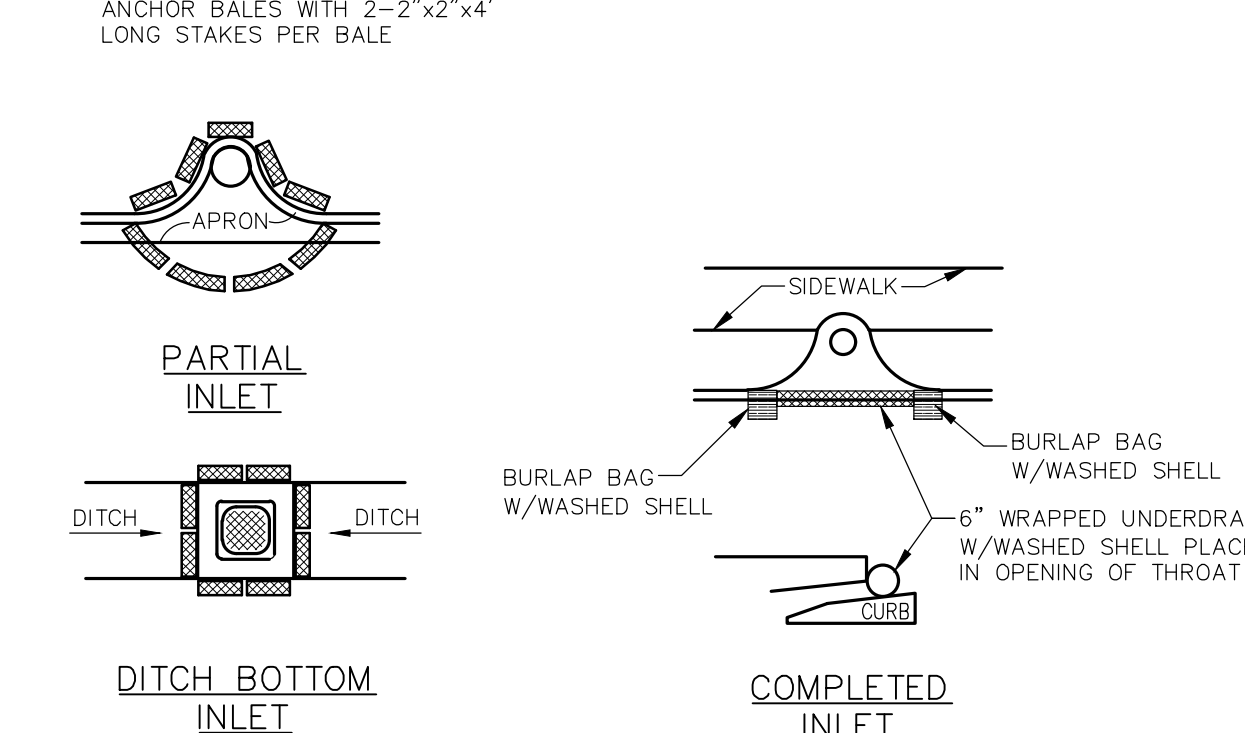
FIGURE 3



FLOATING TURBIDITY BARRIERS

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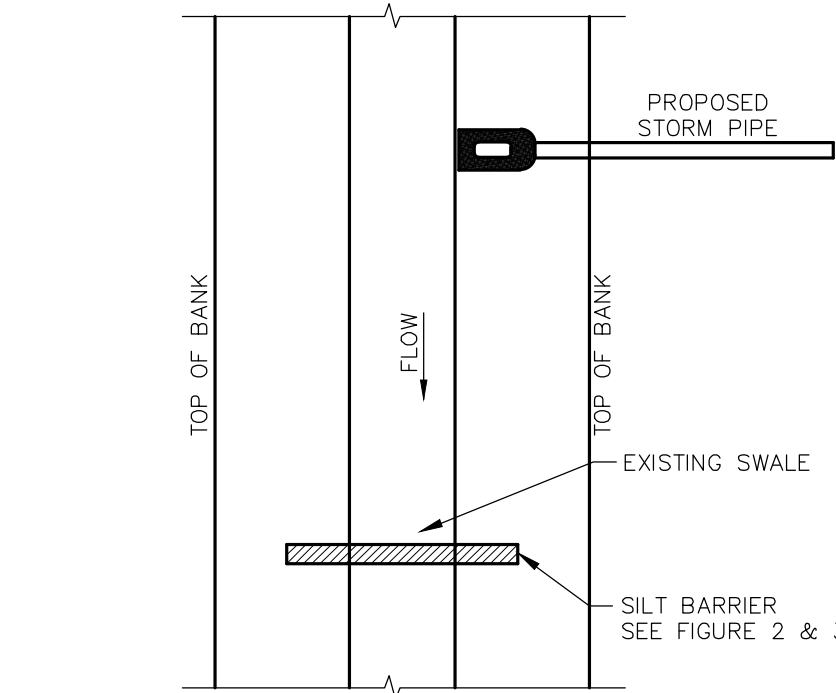
FIGURE 4



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

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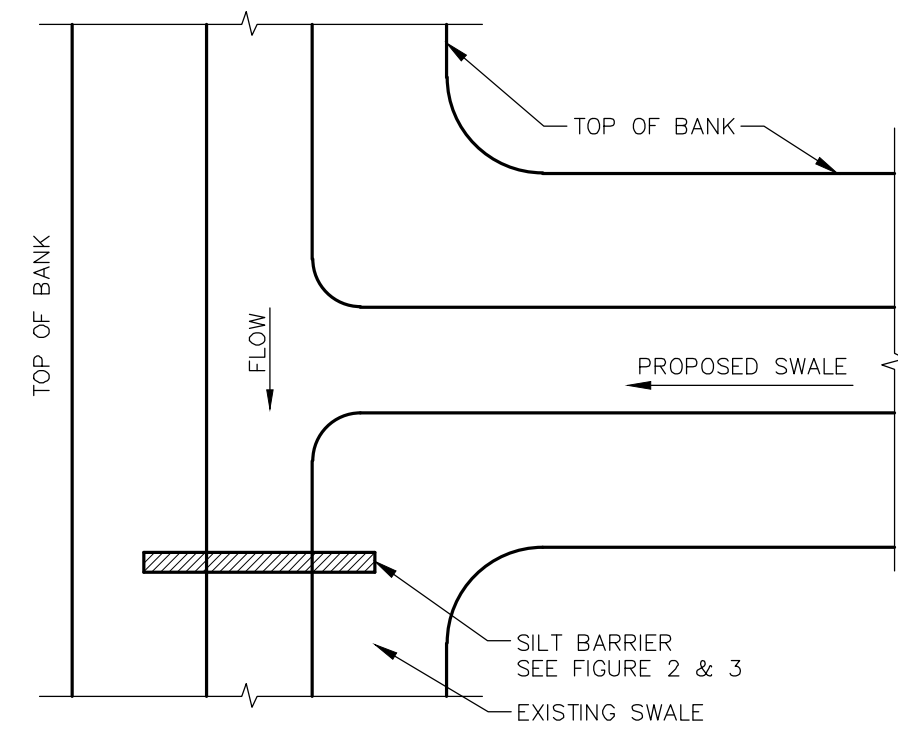
FIGURE 7



SILT BARRIER AT CONNECTION
OF STORM PIPE TO EXISTING SWALE

N.T.S.

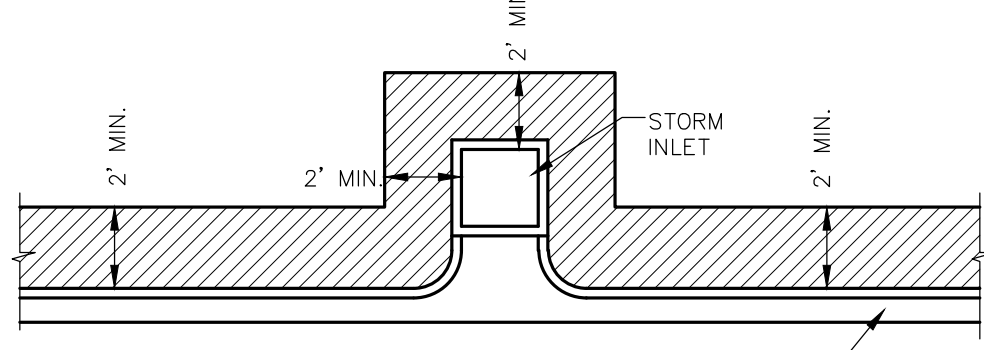
FIGURE 10



SILT BARRIER AT CONNECTION OF
SWALE TO EXISTING SWALE

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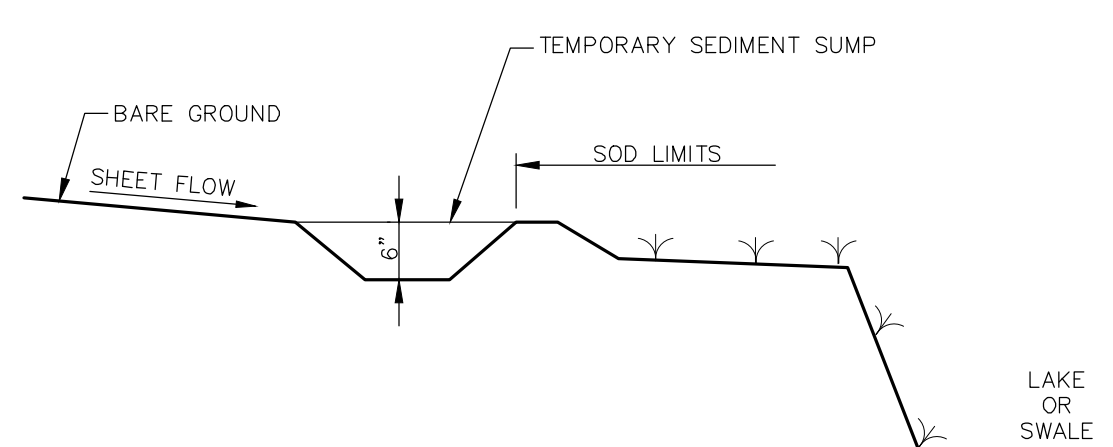
FIGURE 11



SOD ALONG CURB AND AROUND INLET

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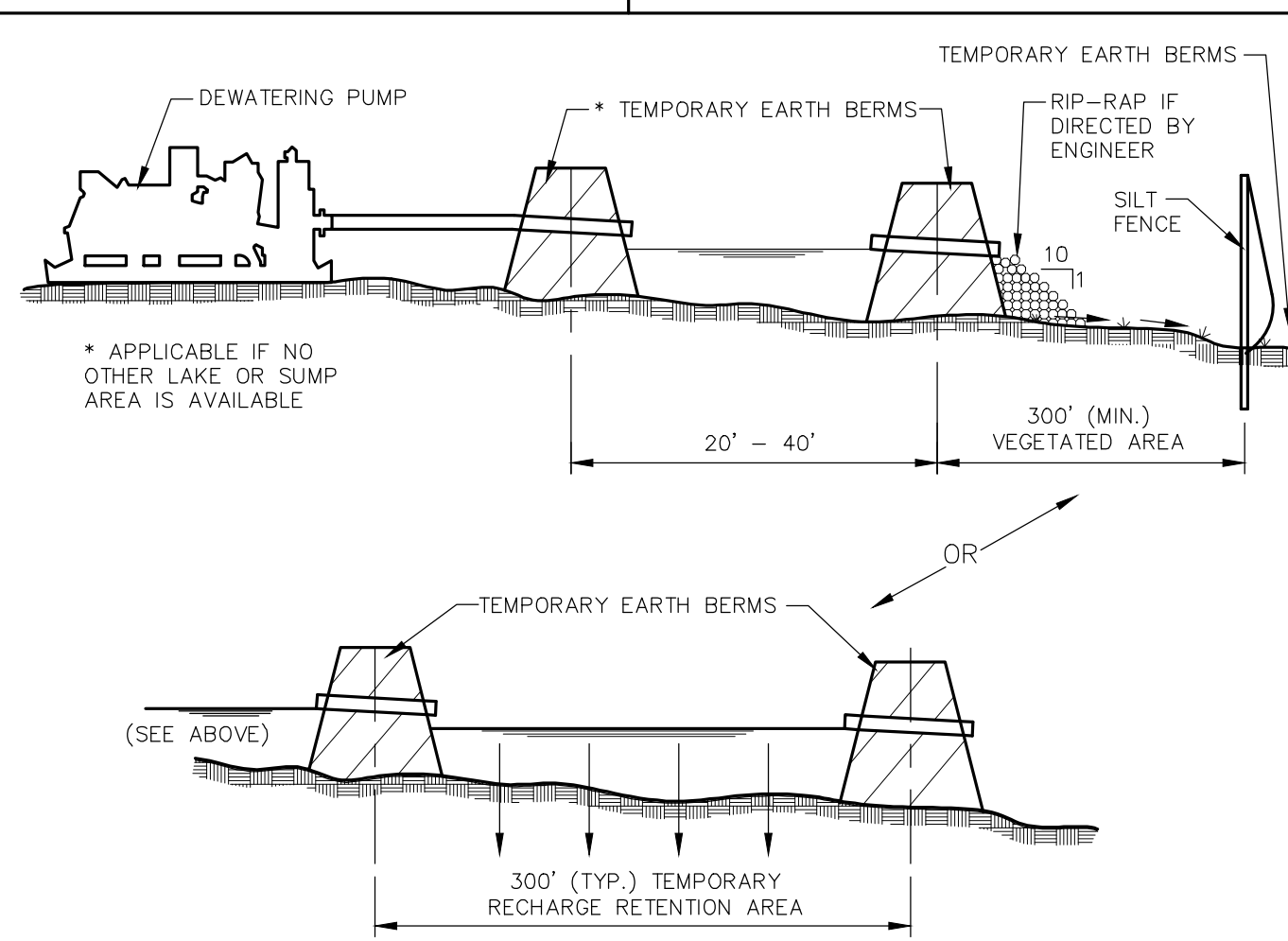
FIGURE 14



TEMPORARY SEDIMENT SUMP

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FIGURE 15



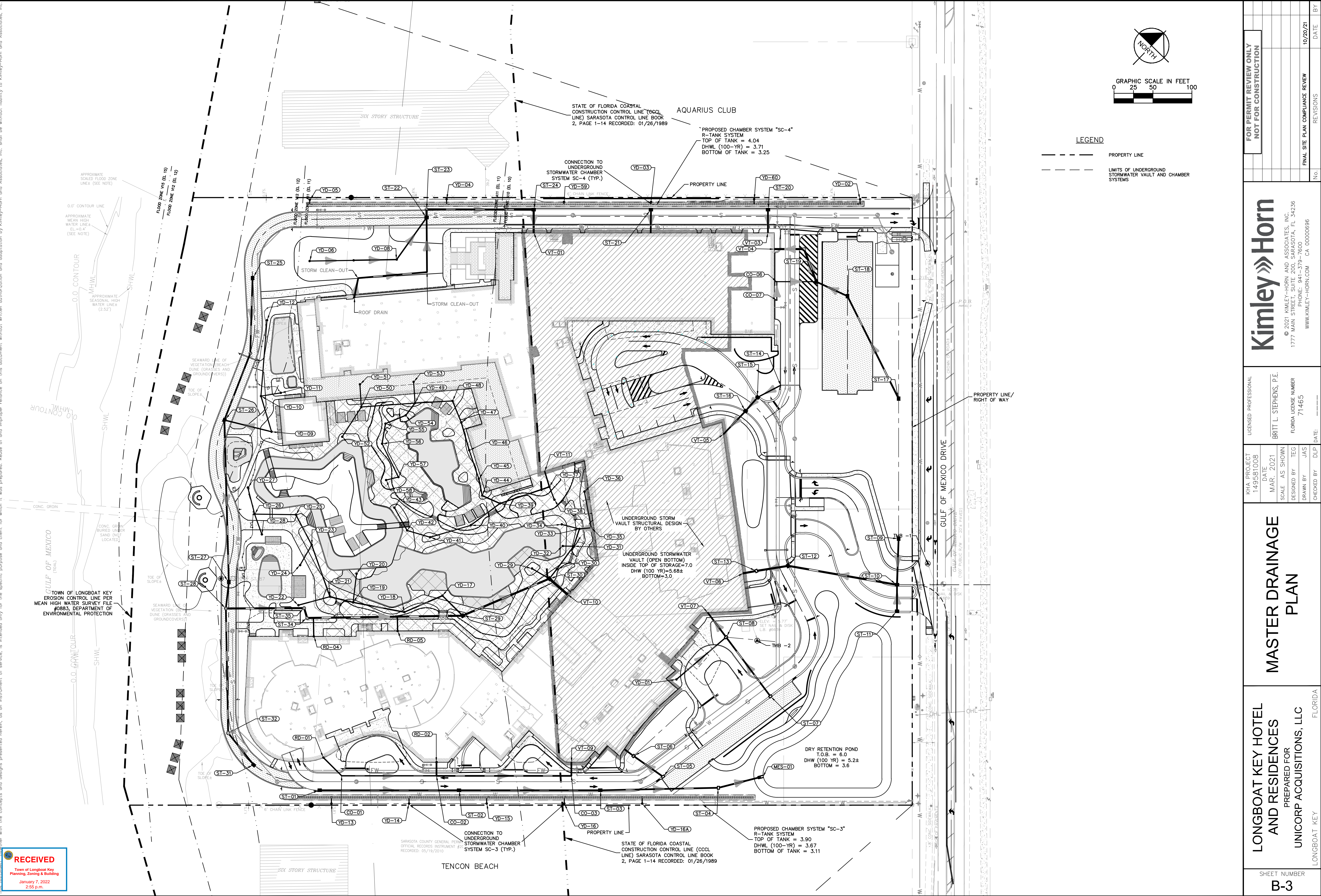
TYPICAL DEWATERING DISCHARGE PLAN

N.T.S.

FIGURE 16

APPROVED FOR ZONING
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01/25/2022
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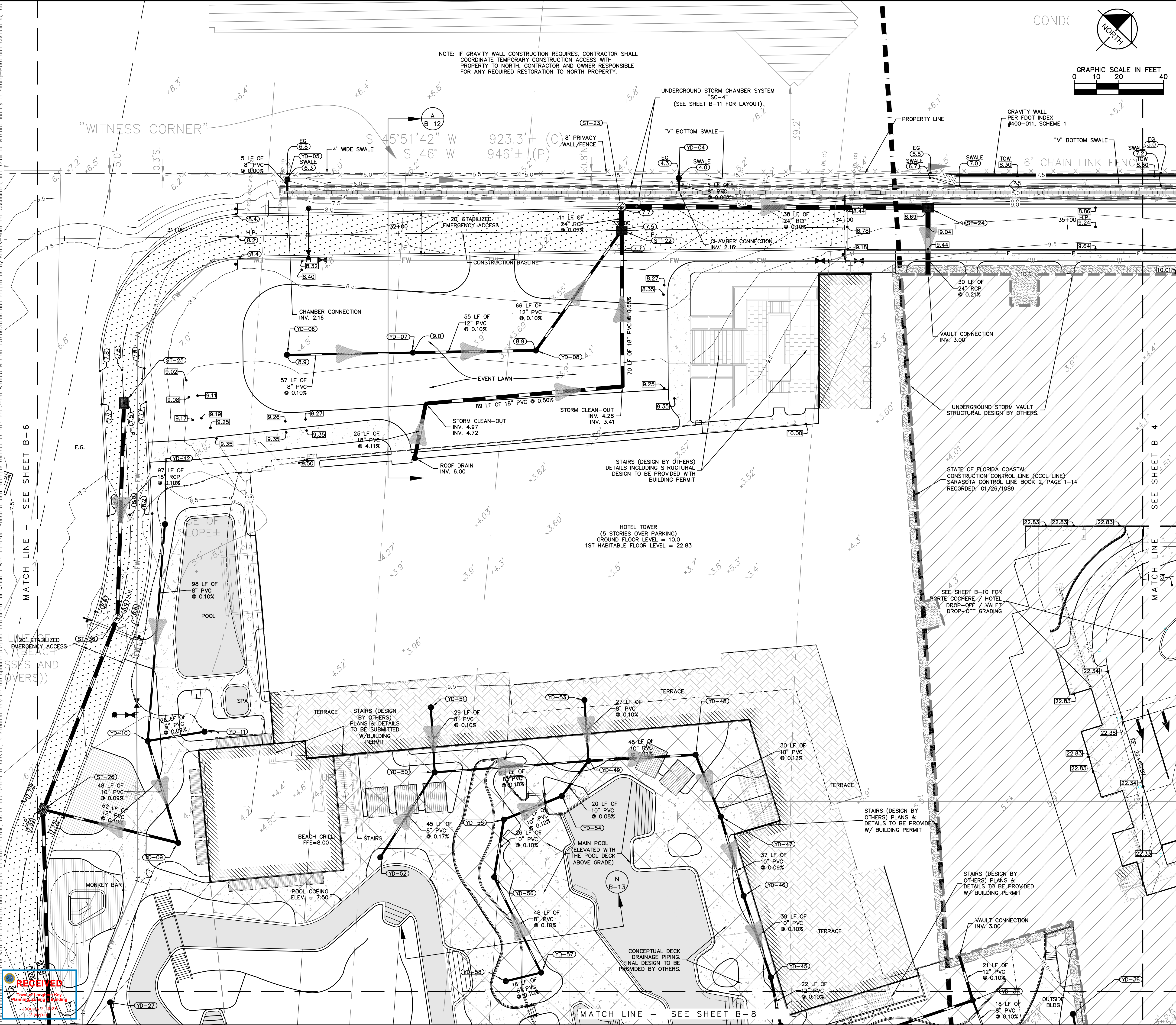


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DATE MAR. 2021		DATE MAR. 2021		BRITT L. STEPHENS, P.E.		© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696		REVISIONS		DATE		BY	
SCALE AS SHOWN		DESIGNED BY TEG		FLORIDA LICENSE NUMBER 71465									
DRAWN BY JAS		CHECKED BY DLP		DATE									
SHEET NUMBER B-3		LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA									

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

01/25/2022
Reviewer: mamold

Plotted by: hanks, Mott, Street Set/Unicorp Longboat Key Hotel and Residences, December 02, 2021 12:30:11pm K:\SAR-GIV\149581008_Colony Longboat Key\CAD\PlanSheets\B-5 PAVING GRADING AND DRAINAGE PLAN.dwg



LEGEND

- STANDARD DUTY CONCRETE PAVEMENT
- 6" HEAVY DUTY CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- WATER SURFACE
- PROPOSED SWALE
- INLET STORM SEWER
- EXISTING GROUND ELEVATION
- MINIMUM FINISH FLOOR ELEVATION
- PROPOSED PAVEMENT ELEVATION
- PROPOSED GROUND ELEVATION
- PROPOSED CONTOURS

CURB LEGEND

- 8" TYPE "D" CURB
- 24" TYPE F CURB
- INTERIOR CURB AND SIDEWALK
- 16" MODIFIED TYPE "F" CURB
- 16" MODIFIED REVOLVED TYPE "F" CURB

NOTES:

- ELEVATIONS BASED ON NAVD 1988 AND ARE BASED ON A N.G.S. BENCHMARK #A 715, ELEVATION 7.74' (NAVD 1988). CONVERSION TO NGVD 1929 = +1.04'
- FLOOD ZONES SHOWN ARE APPROXIMATE AND SCALED FROM THE TOWN OF LONGBOAT KEY, FLORIDA FLOOD INSURANCE RATE MAP 12115C0126F DATED 11/4/16. THE FLOOD DATA SHOULD BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT BEFORE ANY CONSTRUCTION.
- THE SLOPE OF ALL GRADED AREAS ON THE SITE SHALL NOT EXCEED A RATIO OF 4:1 (4 FEET HORIZONTAL TO 1 FOOT VERTICAL). PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT AN "AS-BUILT" GRADING PLAN FOR APPROVAL BY THE TOWN PLANNING, ZONING & BUILDING DEPARTMENT.
- ALL FILL MATERIAL TO BE PLACED ON THE PROJECT SEAWARD OF THE FDEP COASTAL CONSTRUCTION CONTROL LINE MUST COMPLY WITH FDEP REQUIREMENTS FOR BEACH QUALITY SAND INCLUDING BUT NOT LIMITED TO GRAIN SIZE, ANGULARITY, COLOR, MATERIAL COMPOSITION, ETC.
- ALL SIDEWALKS/PATHS AND POOL DECK/AMENITY AREAS OF PAVEMENT MAY BE CONSTRUCTED WITH CONCRETE PAVING, PAVERS ON SAND BEDDING, WOOD/COMPOSITE WOOD DECKING, OR OTHER SUITABLE MATERIALS AS DIRECTED BY THE OWNER AND LANDSCAPE ARCHITECT. CONTRACTOR TO REFER TO HARDSCAPE PLAN OR POOL DECK DESIGN FOR SPECIFICATIONS OF MATERIALS AND DETAILS FOR CONSTRUCTION.
- ALL RETAINING WALLS ARE TO BE DESIGNED BY THE STRUCTURAL ENGINEER AND ARE DEPICTED ON THIS PLAN FOR PURPOSES OF DEPICTING SITE GRADING ONLY. ALL DETAILS, SPECIFICATIONS, AND STRUCTURAL DESIGN INFORMATION RELATIVE TO RETAINING WALLS IS INCLUDED WITH THE STRUCTURAL DESIGN BY OTHERS. THE RETAINING WALL ADJACENT TO THE PROPOSED BUILDING IS THE BE COMPLETELY STRUCTURALLY INDEPENDENT OF THE BUILDING.
- ALL INLETS AND YARD DRAINS ARE TO BE SUMPED 18" AND HAVE AN OPEN BOTTOM.
- FINAL DESIGN AND CALCULATIONS FOR INLETS AND PIPING WITHIN THE POOL DECK MUST BE SUBMITTED TO APPROPRIATE REVIEWERS FOR APPROVAL PRIOR TO CONSTRUCTION.

ROOF DRAIN / FLOOR DRAIN NOTE:

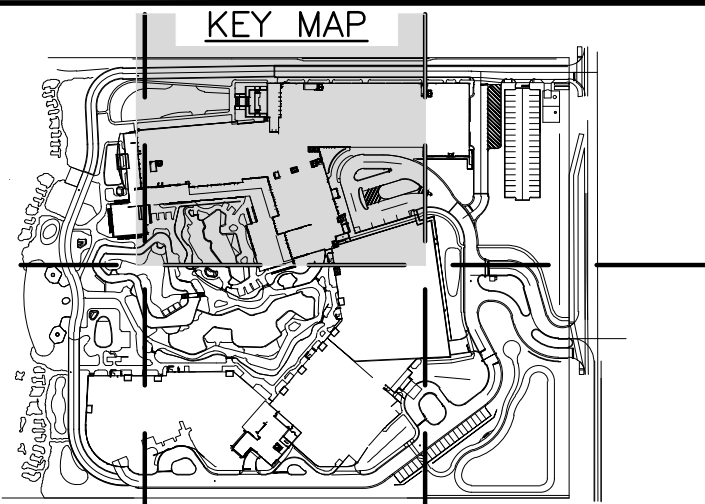
ALL ROOF DRAINS FROM TOWERS AND FROM LOBBY LEVEL OF PODIUM (ABOVE PARKING) AND FLOOR DRAINS FROM PARKING AREA WITHIN BUILDING ARE TO BE ROUTED TO THE UNDERGROUND STORMWATER VAULT THROUGH INTERNAL ROOF LEADERS WITHIN THE BUILDING. FINAL LOCATIONS OF THE-INS TO BE COORDINATED WITH STORMWATER VAULT DESIGN PRIOR TO CONSTRUCTION TO ENSURE ADEQUATE MEASURES ARE PROVIDED FOR MAINTENANCE OF STORMWATER VAULT.

POOL / RESORT AMENITY AREAS NOTE:

GRADING AND DRAINAGE INLETS/PIPING INFORMATION SHOWN WITHIN THE POOL AND RESORT AMENITY AREAS IS CONCEPTUAL IN NATURE AND PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT DISPLAYS THE GENERAL GRADING INTENT, THE DESIGN OF THE FINAL GRADING OF THE POOLS, POOL DECKS, LANDSCAPE BEDS, ETC. IS TO BE PROVIDED BY THE POOL DESIGN CONSULTANT AND THE LANDSCAPE ARCHITECT. THIS DESIGN DETAIL WILL BE PROVIDED WITH THE POOL/AMENITY BUILDING CONSTRUCTION PERMIT AFTER SITE PLAN APPROVAL. THE INTENT OF THE STORMWATER DESIGN IS THAT THE DRAINAGE /STORMWATER RUNOFF FROM THE POOL AND RESORT AMENITY AREAS IS TO BE ROUTED TO THE UNDERGROUND STORMWATER VAULT. YARD DRAINS, DECK DRAINAGE, PIPING DETAILS AND SPECIFICATIONS INCLUDING MATERIALS, INVERTS, GRATE/RIM ELEVATIONS ARE TO BE PROVIDED BY THE POOL DESIGNER.

ELEVATION INFORMATION SHOWN ON THESE PLANS IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). CONVERSION FACTOR : NAVD 1988 +1.04 FT = NGVD 1929

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DIAL 811
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PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

LONGBOAT KEY HOTEL AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

PAVING GRADING AND DRAINAGE PLAN

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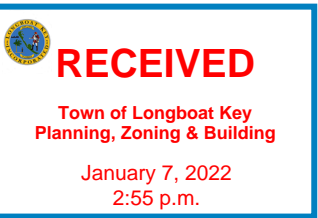
REVISIONS

No.	REVISIONS	DATE	BY
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/21	

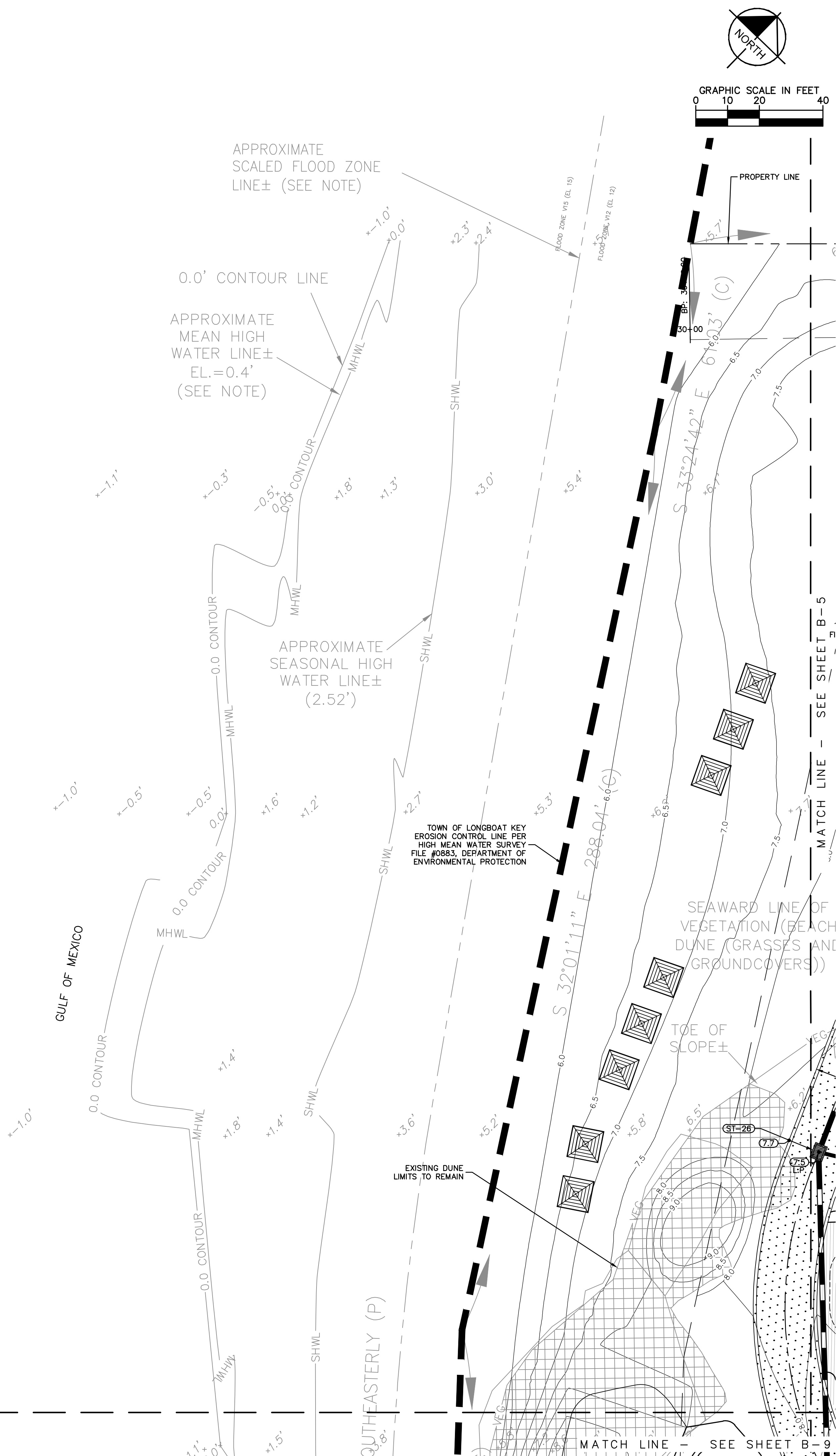
SHEET NUMBER
B-5

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

Plotted By: Hanks, Matt. Street Set: Unicorp Longboat Key Hotel and Residences. LAYOUT: B-6 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:23:14pm. K:\SAR-Civil\149581008 Colony Longboat Key\CAD\PlanSheets\B-6 PAVING GRADING AND DRAINAGE PLAN.dwg
Reviewed: mamold 01/25/2022
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XICO



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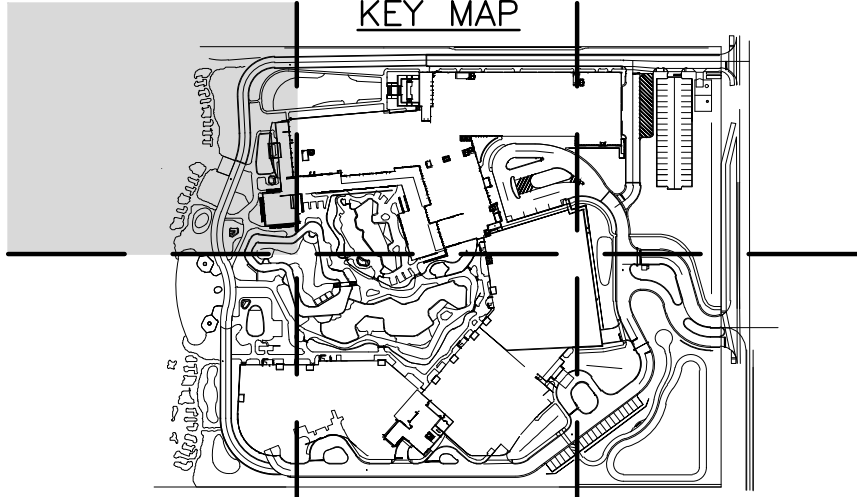
ROOF DRAIN / FLOOR DRAIN NOTE:

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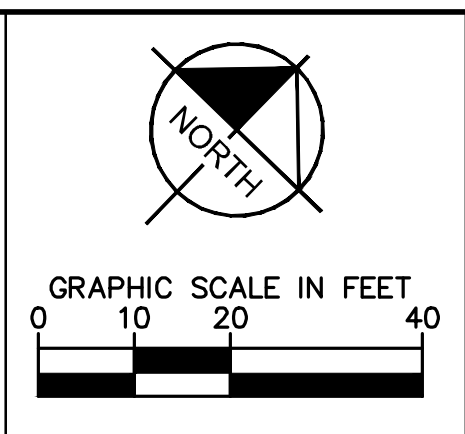
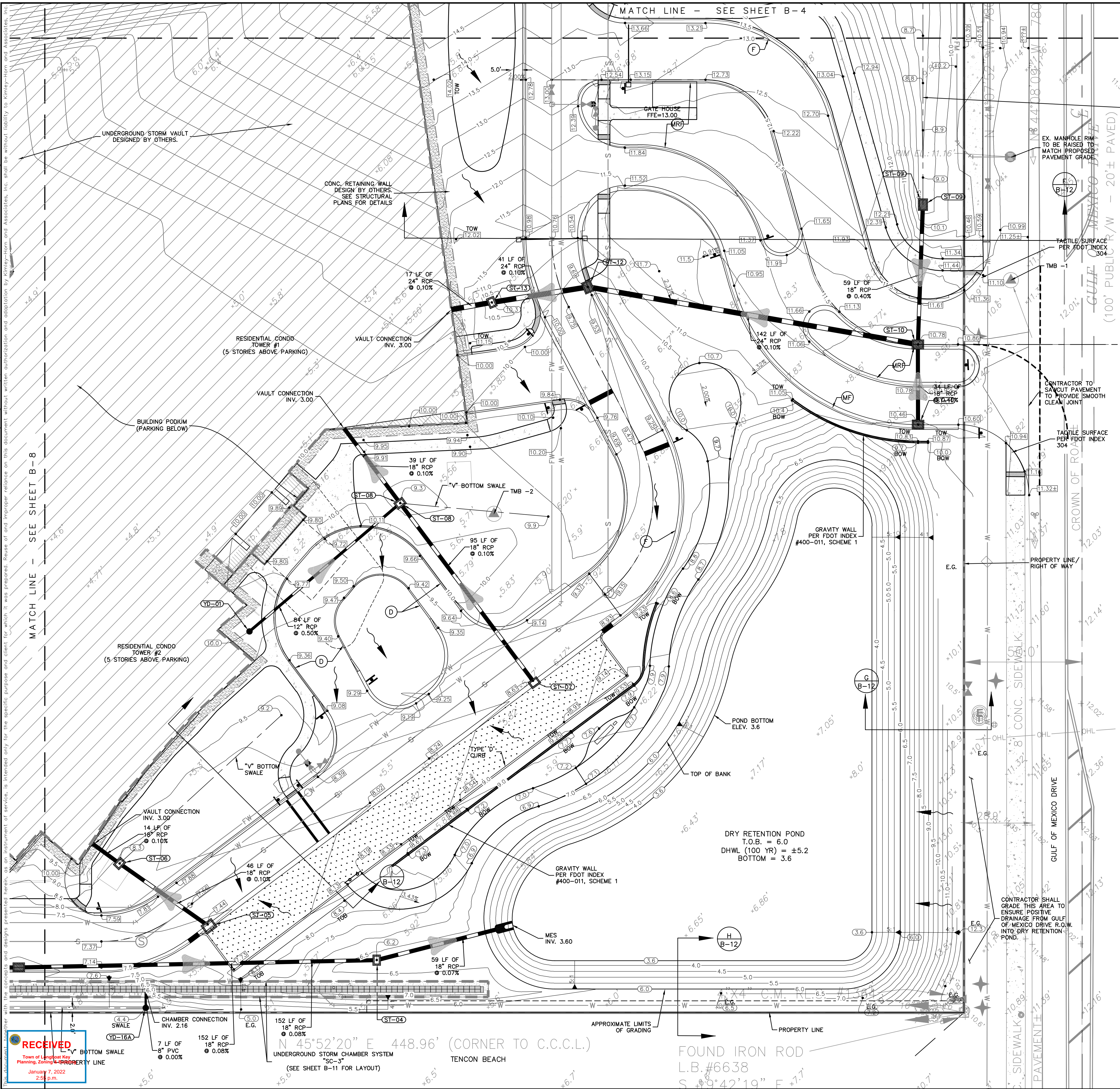
ELEVATION INFORMATION SHOWN ON THESE PLANS IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). CONVERSION FACTOR : NAVD 1988 +1.04 FT = NGVD 1929



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		LISCENSED PROFESSIONAL		BRITT L. STEPHENS, P.E.	
		KHA PROJECT 149581008		DATE MAR. 2021	
		SCALE AS SHOWN		DESIGNED BY TEG	
				DRAWN BY JAS	
				CHECKED BY DLP	
				DATE ----	
		PAVING GRADING AND DRAINAGE PLAN		FLORIDA	
		LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		SHEET NUMBER B-6	
				FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21	
				REVISIONS	
				No.	
				DATE	
				BY	

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

Plotted By: Hank, Mett. Street Set: Unicorp Longboat Key Hotel and Residences. Layout: B-7 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:37:35pm. K:\SAR-Civil\14951008 Colony Longboat Key\CAD\PlanSheets\B-7 PAVING GRADING AND DRAINAGE PLAN.dwg
Reviewed: mamod 01/25/2022
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KEY MAP

LEGEND

- STANDARD DUTY CONCRETE PAVEMENT
- 6" HEAVY DUTY CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- WATER SURFACE
- PROPOSED SWALE
- INLET STORM SEWER
- EXISTING GROUND ELEVATION
- MINIMUM FINISH FLOOR ELEVATION
- PROPOSED PAVEMENT ELEVATION
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- 8" TYPE "D" CURB
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PHONE: 941-379-7600
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LONGBOAT KEY HOTEL AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

PAVING GRADING AND DRAINAGE PLAN

LONGBOAT KEY FLORIDA

RECEIVED
Town of Longboat Key
Planning, Zoning & Development
January 7, 2022
2:58 p.m.

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BRITT L. STEPHENS, P.E.
LICENSED PROFESSIONAL
KHA PROJECT 149581008
DATE MAR. 2021
SCALE AS SHOWN
DESIGNED BY TEG
DRAWN BY JAS
CHECKED BY DLP
DATE: ---

10/20/21
FINAL SITE PLAN COMPLIANCE REVIEW
REVISIONS
DATE
BY

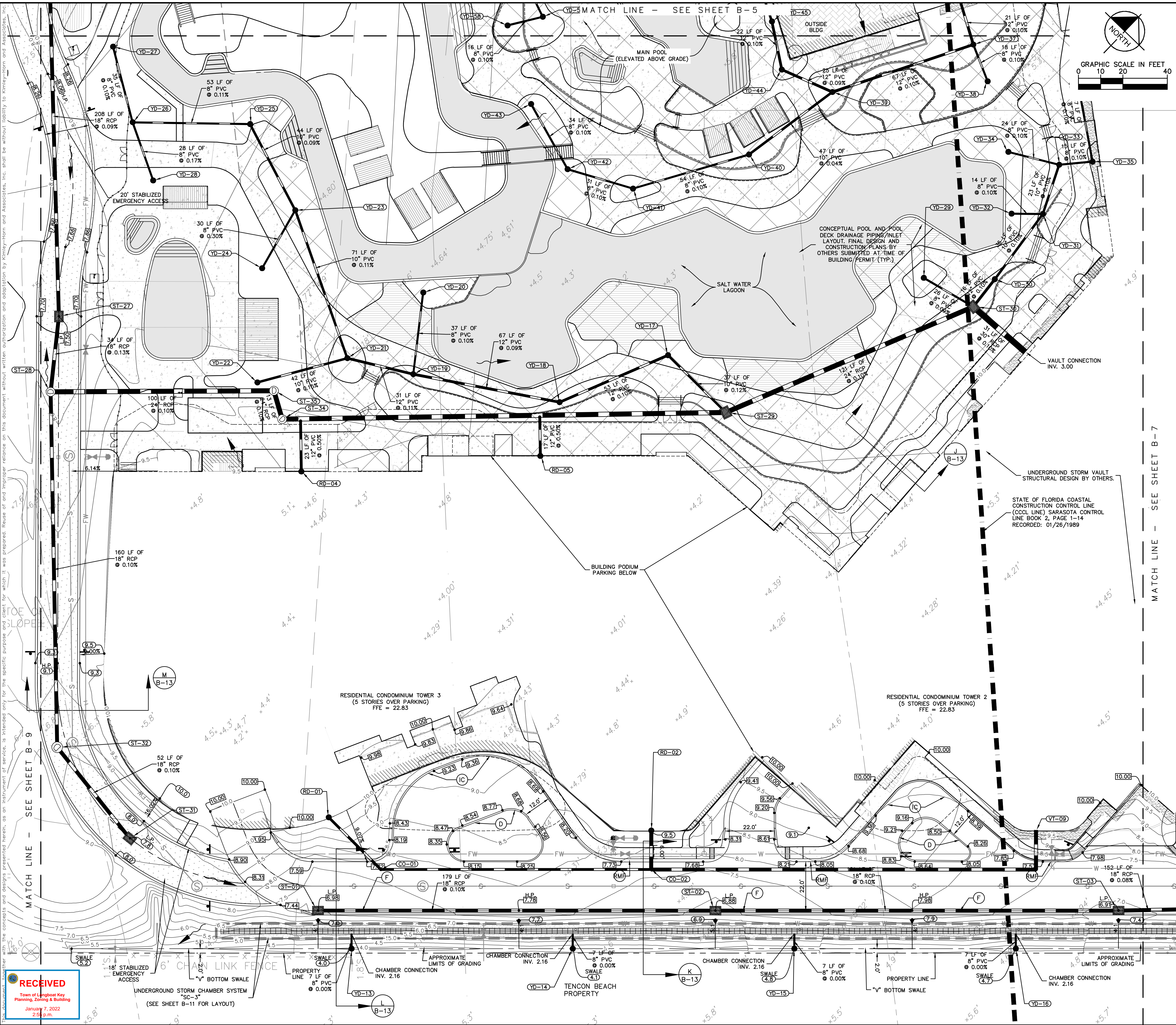
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SHEET NUMBER B-7

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

01/25/2022
Reviewer: mamold

Plotted By: Hank, Mett Street Set: Unicorp Longboat Key Hotel and Residences. Layout: B-8 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:41:04pm K:\SAR-Civil\149581008 Colony Longboat Key\PlanSheets\B-8 PAVING GRADING AND DRAINAGE PLAN.dwg



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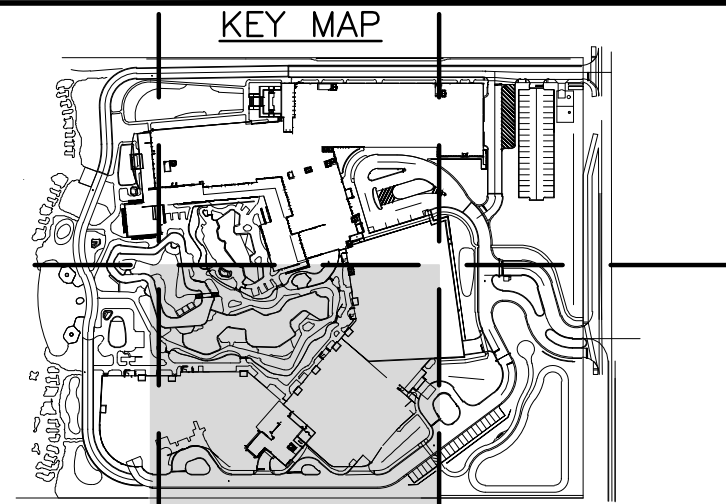
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LICENSED PROFESSIONAL
KHA PROJECT 149581008
DATE MAR. 2021
SCALE AS SHOWN
DESIGNED BY JAS
DRAWN BY JAS
CHECKED BY DLP

BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER 71465

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
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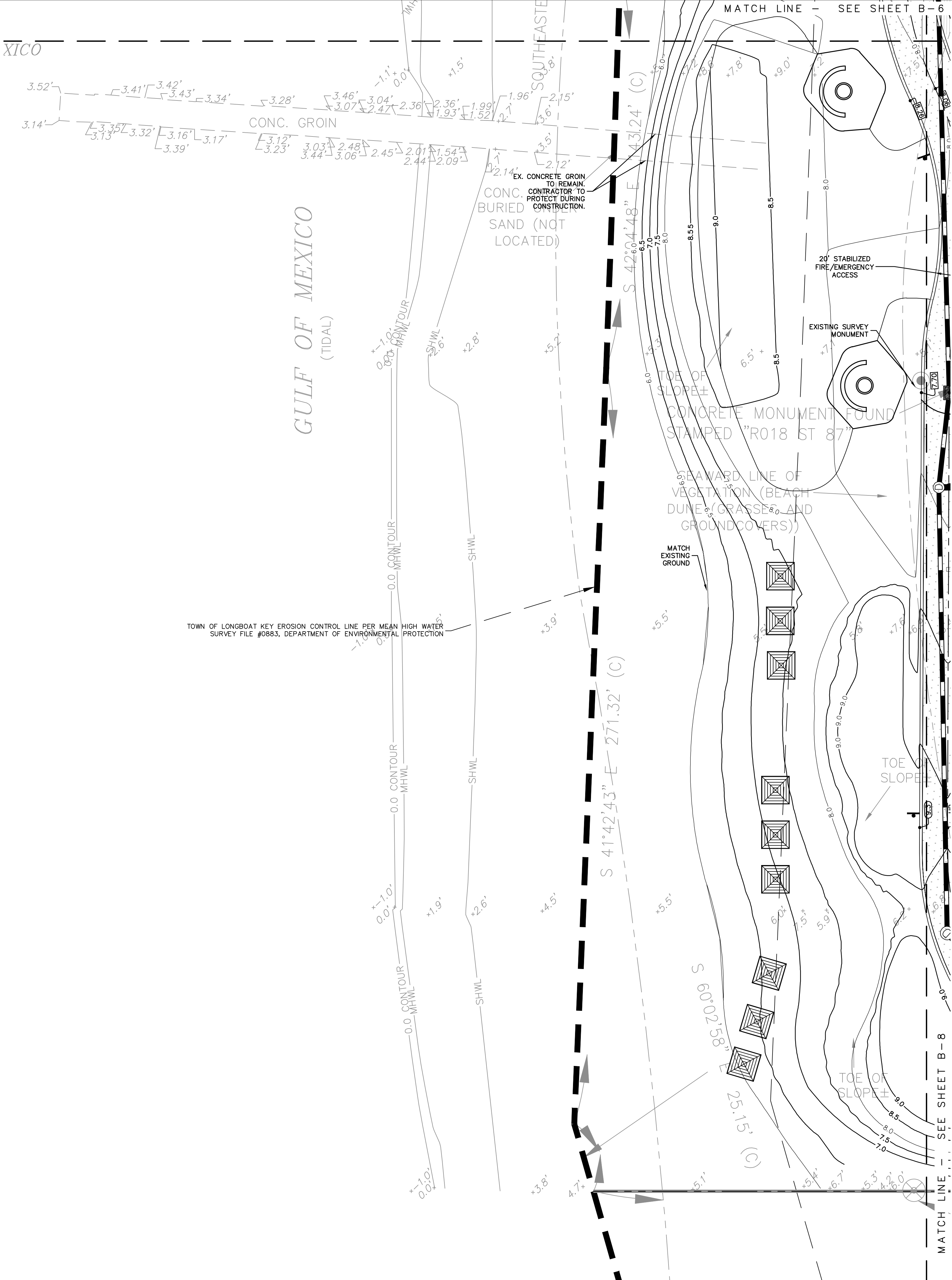
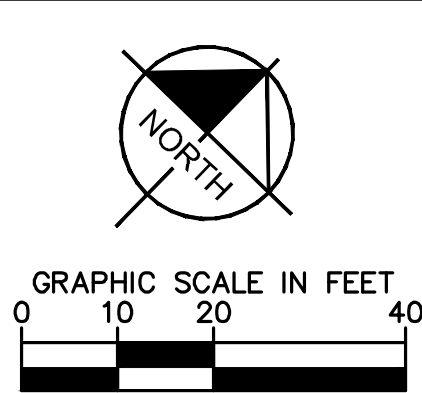
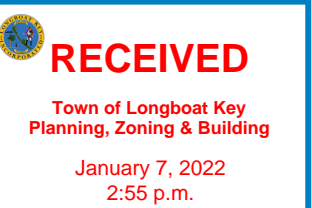
FLORIDA
LONGBOAT KEY

SHEET NUMBER
B-8

REVISIONS

NO.	REVISIONS	DATE
10/20/21 <td>FINAL SITE PLAN COMPLIANCE REVIEW<td></td></td>	FINAL SITE PLAN COMPLIANCE REVIEW <td></td>	

Plotted By: Hanks, Matt. Street Set: Unicorp. Longboat Key Hotel and Residences. LAYOUT: B-9 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:34:41pm. K:\SAR Civil\149581008 Colony Longboat Key\CAD\Plan\Sheet\B-9 PAVING GRADING AND DRAINAGE PLAN.dwg
Reviewed: mamold 01/25/2022
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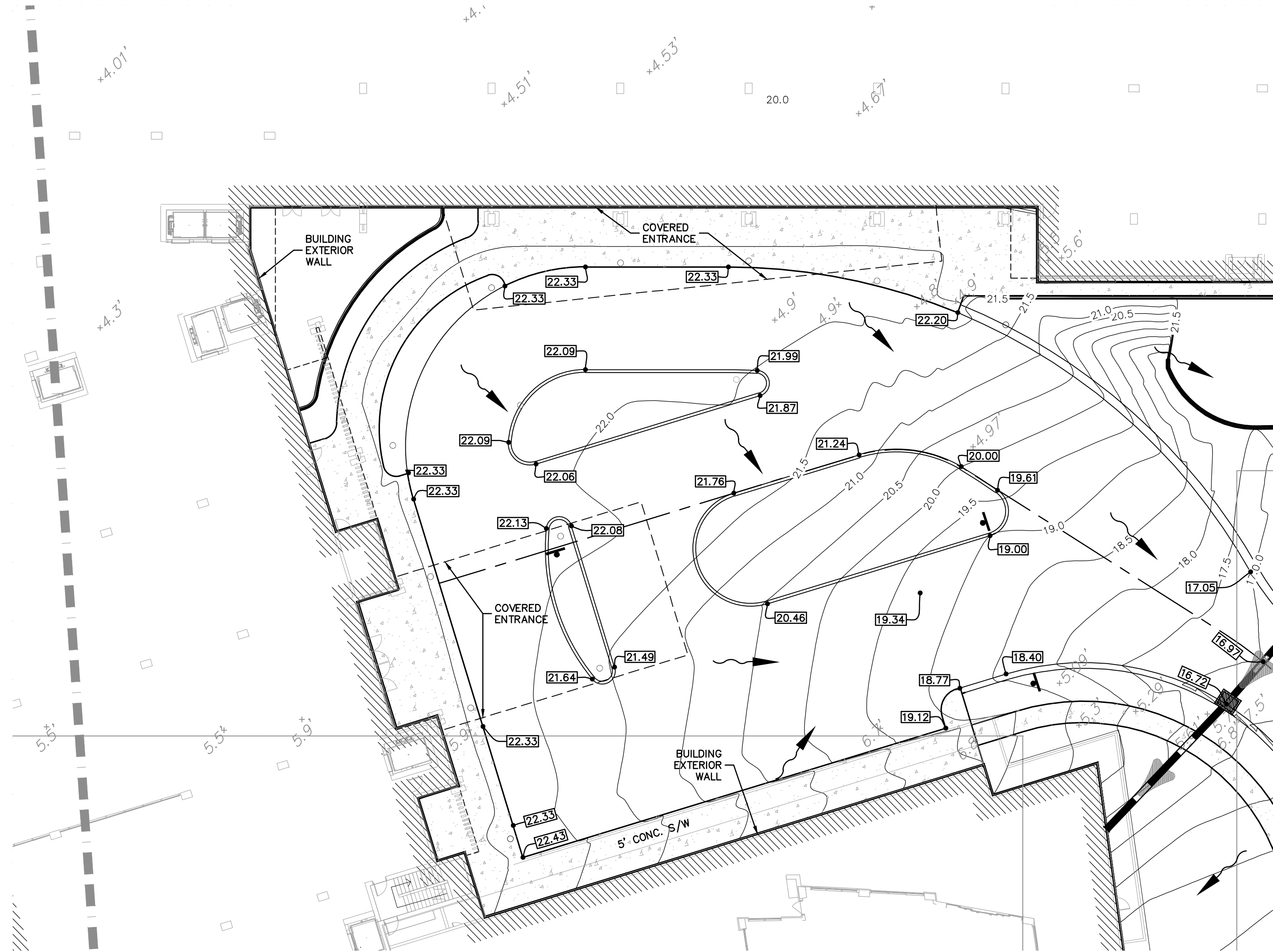
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LICENCED PROFESSIONAL BRITT L. STEPHENS, P.E.				FLORIDA LICENSE NUMBER 71465				CHECKED BY DLP				DATE ---				BY			
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC				FLORIDA				SHEET NUMBER B-9				LONGBOAT KEY							
Kimley»Horn				© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696															

Plotted By: Hanks, Matt | Street Set: Unicorp Longboat Key Hotel and Residences | L:\00\B-10 PORTE-COCHERE PAVING GRADING AND DRAINAGE PLAN.dwg | K:\SAR-CAD\149581008 Colony Longboat Key\CAD Plans\Sheets\B-10 PORTE-COCHERE PAVING GRADING AND DRAINAGE PLAN.dwg | 01/25/2022 12:47:16pm | Reuse of and Improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Reviewer: mamold



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- ALL FILL MATERIAL TO BE PLACED ON THE PROJECT SEAWARD OF THE FDEP COASTAL CONSTRUCTION CONTROL LINE MUST COMPLY WITH FDEP REQUIREMENTS FOR BEACH QUALITY SAND INCLUDING BUT NOT LIMITED TO GRAIN SIZE, ANGULARITY, COLOR, MATERIAL COMPOSITION, ETC.
- ALL SIDEWALKS/PATHS AND POOL DECK/AMENITY AREAS OF PAVEMENT MAY BE CONSTRUCTED WITH CONCRETE PAVING, PAVERS ON SAND BEDDING, WOOD/COMPOSITE WOOD DECKING, OR OTHER SUITABLE MATERIALS AS DIRECTED BY THE OWNER AND LANDSCAPE ARCHITECT. CONTRACTOR TO REFER TO HARDSCAPE PLAN OR POOL DECK DESIGN FOR SPECIFICATIONS OF MATERIALS AND DETAILS FOR CONSTRUCTION.
- ALL RETAINING WALLS ARE TO BE DESIGNED BY THE STRUCTURAL ENGINEER AND ARE DEPICTED ON THIS PLAN FOR PURPOSES OF DEPICTING SITE GRADING ONLY. ALL DETAILS, SPECIFICATIONS, AND STRUCTURAL DESIGN INFORMATION RELATIVE TO RETAINING WALLS IS INCLUDED WITH THE STRUCTURAL DESIGN BY OTHERS. THE RETAINING WALL ADJACENT TO THE PROPOSED BUILDING IS TO BE COMPLETELY STRUCTURALLY INDEPENDENT OF THE BUILDING.
- ALL INLETS AND YARD DRAINS ARE TO BE SUMPED 18" AND HAVE AN OPEN BOTTOM.

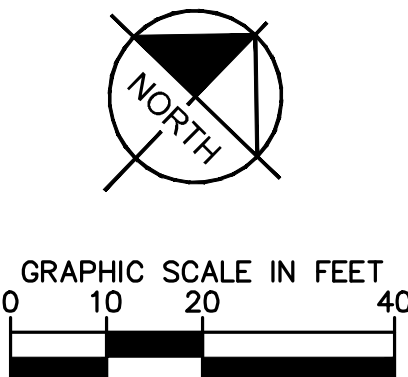
ROOF DRAIN / FLOOR DRAIN NOTE:

ALL ROOF DRAINS FROM TOWERS AND FROM LOBBY LEVEL OF PODIUM (ABOVE PARKING) AND FLOOR DRAINS FROM PARKING AREA WITHIN BUILDING ARE TO BE ROUTED TO THE UNDERGROUND STORMWATER VAULT THROUGH INTERNAL ROOF LEADERS WITHIN THE BUILDING. FINAL LOCATIONS OF TIE-INS TO BE COORDINATED WITH STORMWATER VAULT DESIGN PRIOR TO CONSTRUCTION TO ENSURE ADEQUATE MEASURES ARE PROVIDED FOR MAINTENANCE OF STORMWATER VAULT.

POOL / RESORT AMENITY AREAS NOTE:

GRADING AND DRAINAGE INLETS/PIPING INFORMATION SHOWN WITHIN THE POOL AND RESORT AMENITY AREAS IS CONCEPTUAL IN NATURE AND PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT DISPLAYS THE GENERAL GRADING INTENT. THE DESIGN OF THE FINAL GRADING OF THE POOLS, POOL DECKS, LANDSCAPE BEDS, ETC. IS TO BE PROVIDED BY THE POOL DESIGN CONSULTANT AND THE LANDSCAPE ARCHITECT. THIS DESIGN DETAIL WILL BE PROVIDED WITH THE POOL/AMENITY BUILDING CONSTRUCTION PERMIT AFTER SITE PLAN APPROVAL. THE INTENT OF THE STORMWATER DESIGN IS THAT THE DRAINAGE /STORMWATER RUNOFF FROM THE POOL AND RESORT AMENITY AREAS IS TO BE ROUTED TO THE UNDERGROUND STORMWATER VAULT. YARD DRAINS, DECK DRAINAGE PIPING DETAILS AND SPECIFICATIONS INCLUDING MATERIALS, INVERTS, GRATE/RIM ELEVATIONS ARE TO BE PROVIDED BY THE POOL DESIGNER.

ELEVATION INFORMATION SHOWN ON THESE PLANS IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). CONVERSION FACTOR : NAVD 1988 +1.04 FT = NGVD 1929



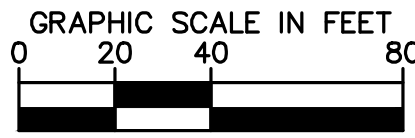
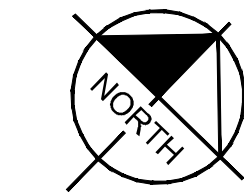
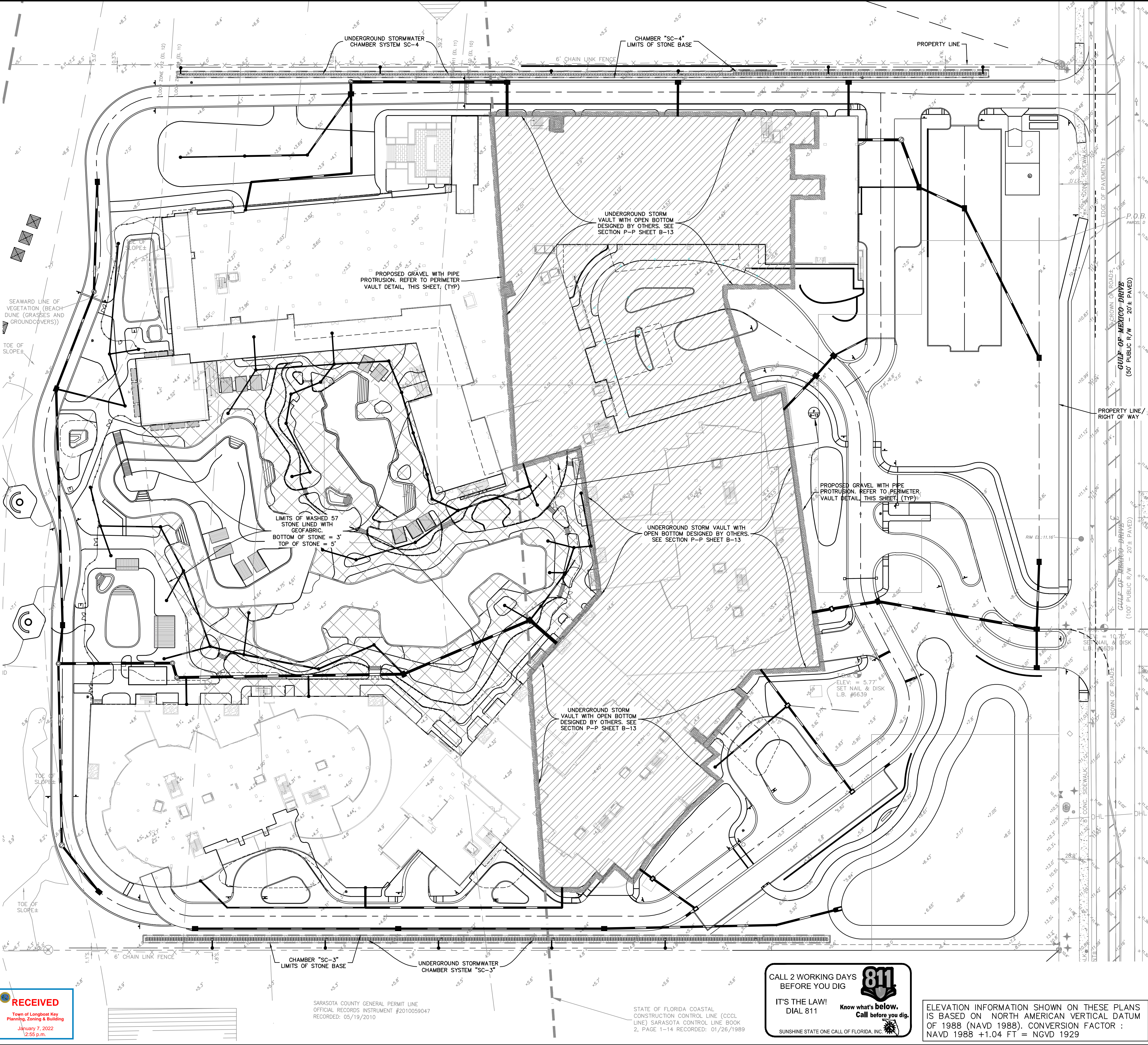
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC	FLORIDA	SHEET NUMBER B-10	FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION		BY DATE
KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696		Kimley»Horn		10/20/21	
KHA PROJECT 149581008		LISCENSED PROFESSIONAL BRITT L. STEPHENS, P.E.		FINAL SITE PLAN COMPLIANCE REVIEW	
DATE MAR. 2021		FLORIDA LICENSE NUMBER 71465		REVISIONS	
SCALE AS SHOWN		DESIGNED BY		10/20/21	
DRAWN BY		CHECKED BY		DATE	

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

01/25/2022
Reviewer: mamod

Plotted By: hanks, Matt. Street Set: Unicorp Longboat Key Hotel and Residences. Layout: B-11 UNDERGROUND STORMWATER DETENTION CHAMBER PLAN. December 02, 2021. 12:43:14pm. K:\SAR-COA\149581008 Colony Longboat Key\CAD\PlanSheets\B-11 UNDERGROUND STORMWATER DETENTION CHAMBER PLAN.dwg

Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. for any and all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be incurred by the Town of Longboat Key in connection with the use of the plans, specifications, or reports prepared by Kimley-Horn and Associates, Inc. for the project.



LEGEND

- 10.8 EXISTING GROUND ELEVATION
- PROPOSED R-TANK SD SYSTEM

PROPOSED CHAMBER SYSTEMS

CHAMBER SYSTEM "SC-3"

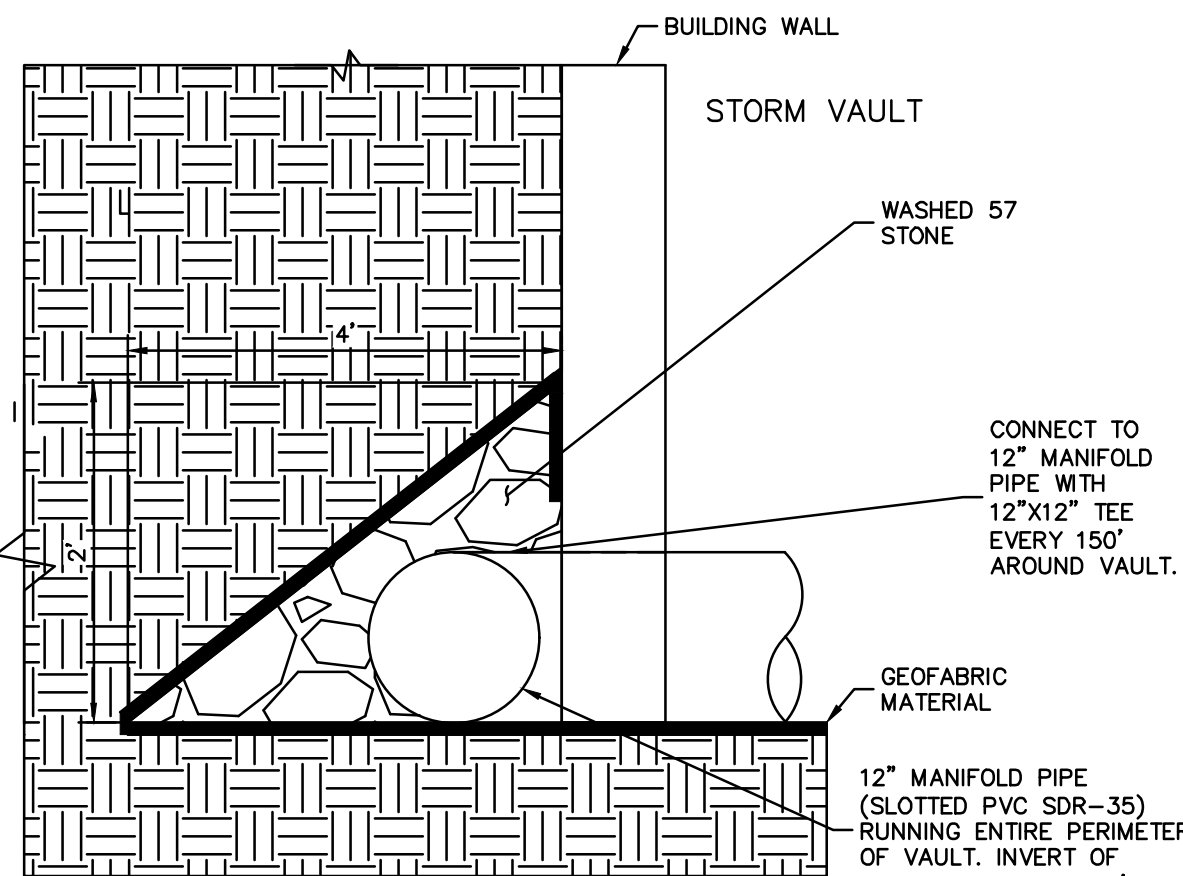
R-TANK [®] QUANTITIES	
R-TANK [®] MODULE TYPE	SINGLE
# OF SINGLE R-TANKS	512
R-TANK STORAGE VOLUME	1,178 CF
SAND BED FOOTPRINT	4,007 SF
SAND QUANTITY	256 CY
8 OZ. NON-WOVEN GEOTEXTILE TANK WRAP	4,719 SF (524 SY)
ACF BX-12 GEOGRID	8,868 SF (985 SY)
12" MAINTENANCE PORTS	6
PIPE BOOTS (UNKNOWN SIZE)	5
NOTE: SAND QUANTITY INCLUDES 12" OF COVER AND 3" OF BASE. NOTE: GEOTEXTILE / LINER QUANTITIES INCLUDE A 15% WASTE FACTOR.	

R-TANK [®] MODULE TYPE	SINGLE
TRAFFIC LOAD	HS-20
# OF SINGLE R-TANKS	303
R-TANK STORAGE VOLUME	697 CF
TOP OF COVER SAND ELEV. (12")	5.04
ACF BX-12 GEOGRID ELEV.	5.04
TOP OF R-TANK ELEV.	4.04
TANK INVERT	3.25
INVERT OF SAND BASE (3")	3.00
MIN. SAND PERIMETER WIDTH	2.0 FT

CHAMBER SYSTEM "SC-4"

R-TANK [®] QUANTITIES	
R-TANK [®] MODULE TYPE	SINGLE
# OF SINGLE R-TANKS	398
R-TANK STORAGE VOLUME	915 CF
SAND BED FOOTPRINT	3,798 SF
SAND QUANTITY	251 CY
8 OZ. NON-WOVEN GEOTEXTILE TANK WRAP	4,111 SF (457 SY)
ACF BX-12 GEOGRID	9,728 SF (1,081 SY)
12" MAINTENANCE PORTS	5
PIPE BOOTS (UNKNOWN SIZE)	4
NOTE: SAND QUANTITY INCLUDES 12" OF COVER AND 3" OF BASE. NOTE: GEOTEXTILE / LINER QUANTITIES INCLUDE A 15% WASTE FACTOR.	

R-TANK [®] MODULE TYPE	SINGLE
TRAFFIC LOAD	HS-20
# OF SINGLE R-TANKS	398
R-TANK STORAGE VOLUME	915 CF
TOP OF COVER SAND ELEV. (12")	5.04
ACF BX-12 GEOGRID ELEV.	5.04
TOP OF R-TANK ELEV.	4.04
TANK INVERT	3.25
INVERT OF SAND BASE (3")	3.00
MIN. SAND PERIMETER WIDTH	2.0 FT



PERIMETER VAULT DETAIL
NOT TO SCALE

NOTES

- IN THE AREAS OF THE PROPOSED UNDERGROUND STORMWATER CHAMBER SYSTEMS, THE CONTRACTOR SHALL PREPARE THE IN-SITU SOILS TO A MIN. DEPTH OF 3 FEET BELOW THE BOTTOM OF STONE ELEVATION OR AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER IN THE FIELD. SOIL PREPARATION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL ENGINEER TO ENSURE THAT THE SOILS ARE NOT OVERLY COMPACTED DURING CONSTRUCTION AND THAT THE SOILS PROVIDE AN INFILTRATION RATE OF AT LEAST 20 IN/HR. INFILTRATION TESTS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER BEFORE AND AFTER SOILS PREPARATION. INFILTRATION TESTS SHALL BE PERFORMED FOR EVERY 5,000 SQUARE FEET OF STORMWATER CHAMBER SYSTEM TO BE INSTALLED.
- INLETS, ROOF DRAINS, AND FLOOR DRAINS WITHIN THE GARAGE FLOOR ARE TO BE CONNECTED DIRECTLY TO UNDERGROUND STORMWATER VAULT.

CALL 2 WORKING DAYS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811



SUNSHINE STATE ONE CALL OF FLORIDA, INC.

ELEVATION INFORMATION SHOWN ON THESE PLANS IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). CONVERSION FACTOR : NAVD 1988 +1.04 FT = NGVD 1929

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PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

BRITT L. STEPHENS, P.E.

FLORIDA LICENSE NUMBER

71465

DATE: _____

KHA PROJECT

149581008

DATE

MAR. 2021

SCALE

AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

UNDERGROUND
STORMWATER
DETENTION
CHAMBER PLAN

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

LONGBOAT KEY FLORIDA

SHEET NUMBER

B-11

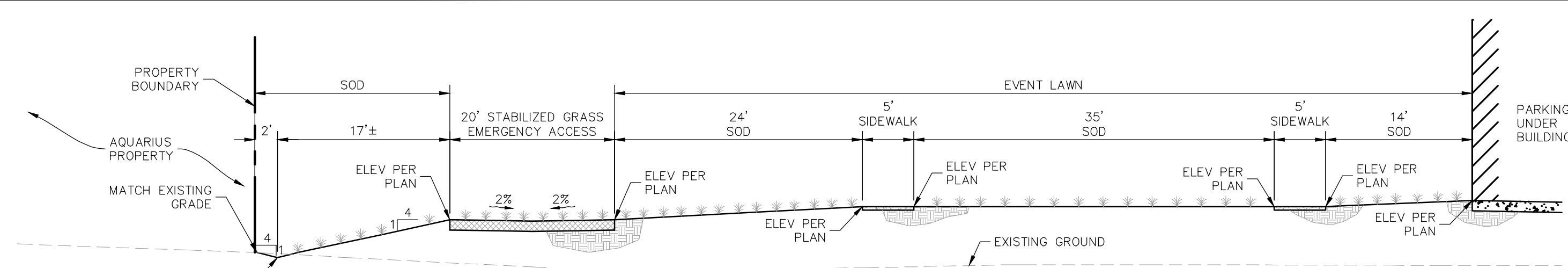
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BY

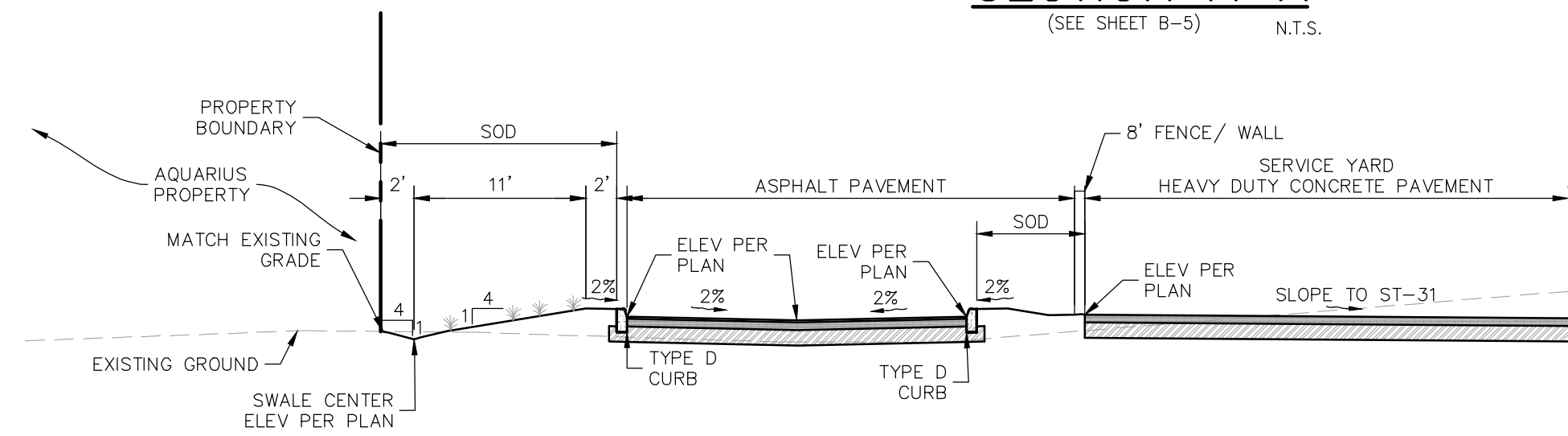
APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

01/25/2022
Reviewer: mamod

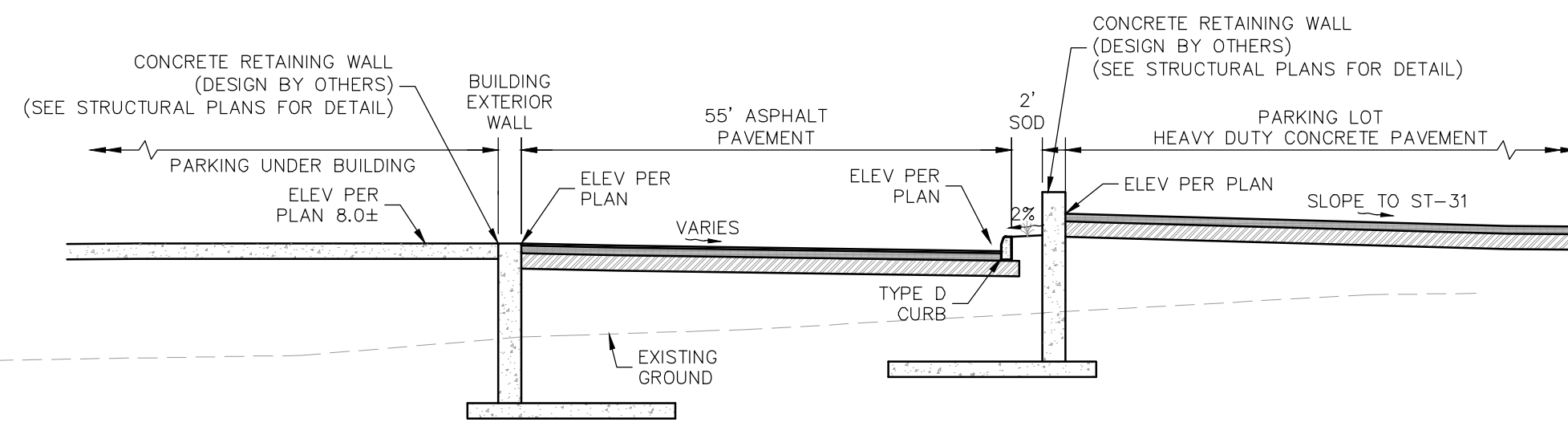
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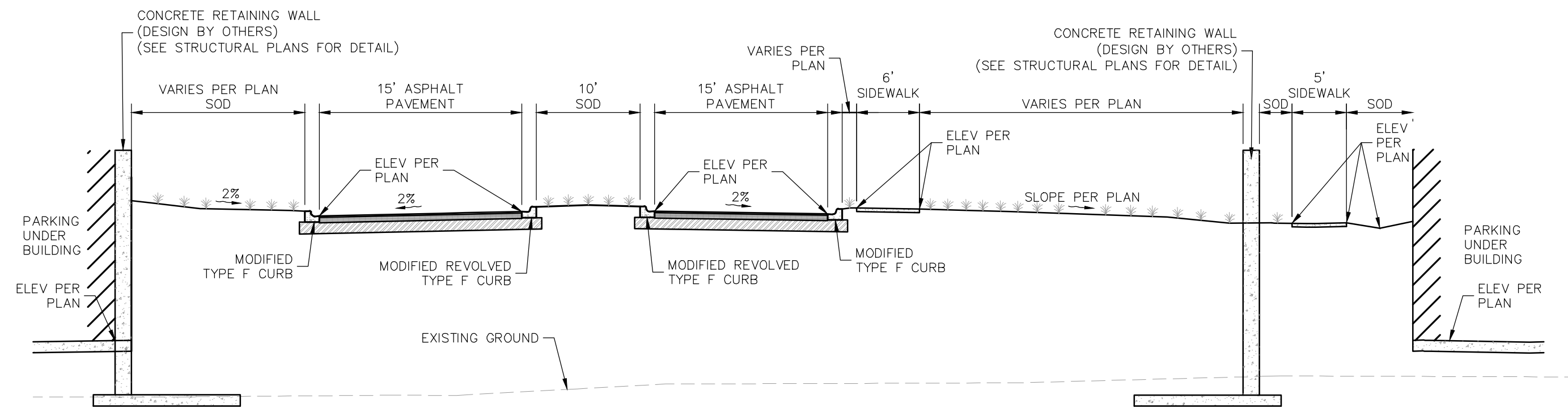
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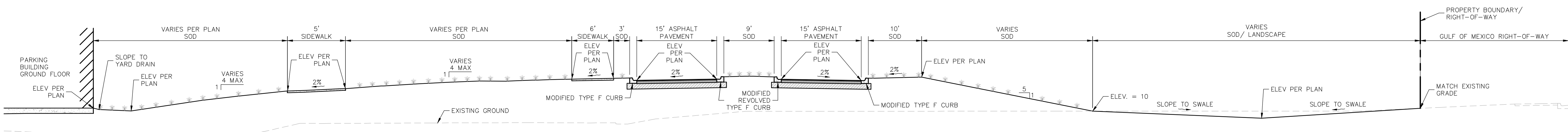
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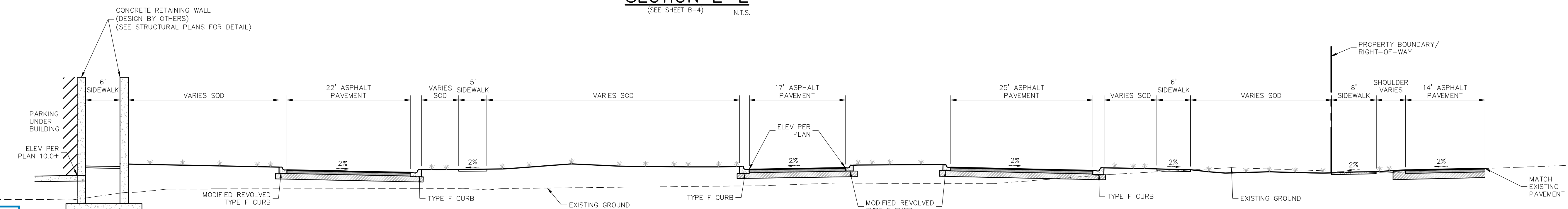
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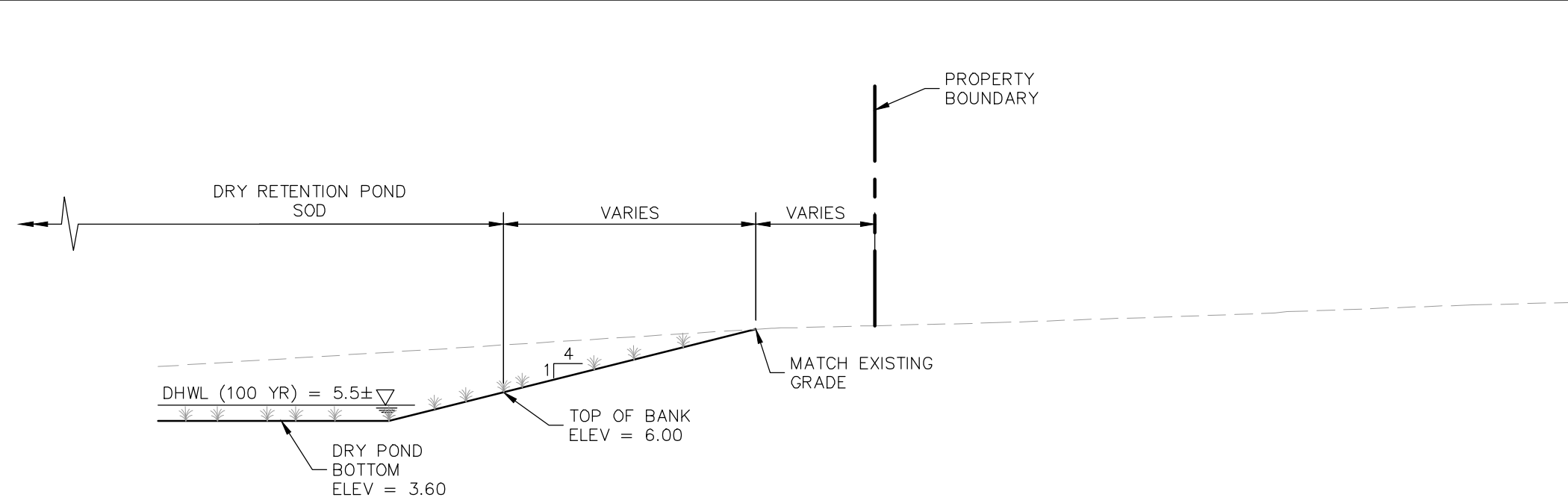
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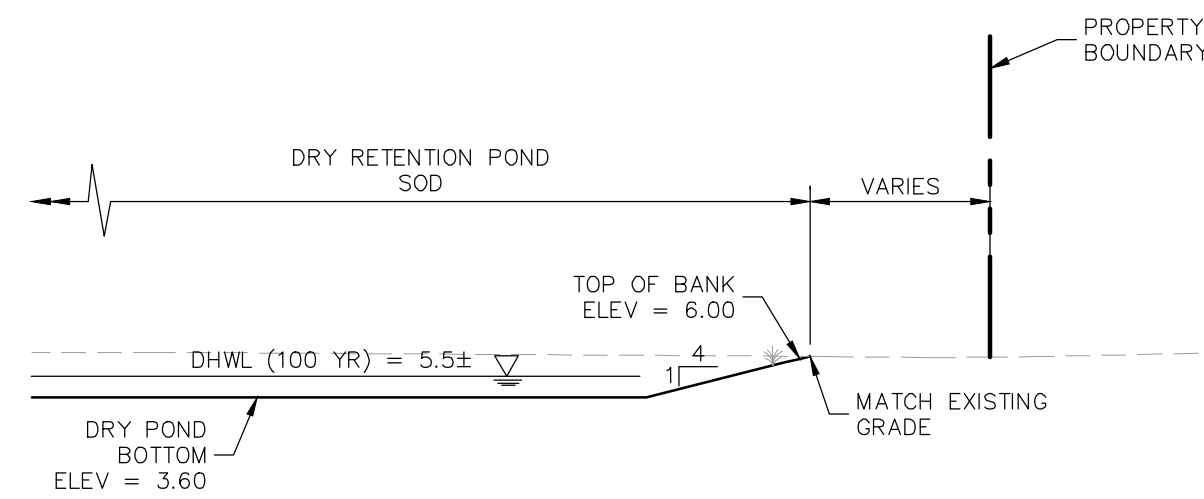
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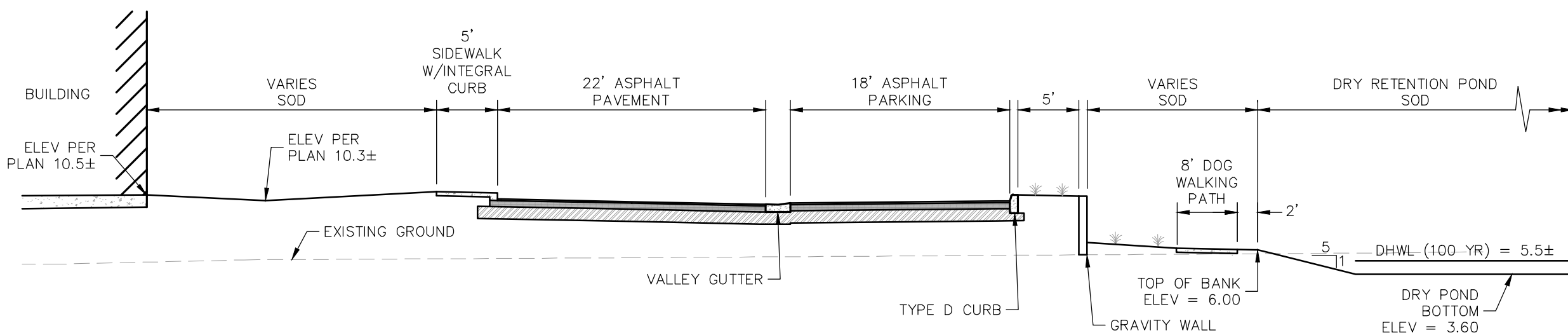
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(SEE SHEET B-4) N.T.S.



SECTION G-G
(SEE SHEET B-7) N.T.S.



SECTION H-H
(SEE SHEET B-7) N.T.S.



SECTION I-I
(SEE SHEET B-7) N.T.S.



FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION		No.		BY	
				DATE	
				10/20/21	
				REVISIONS	
				FINAL SITE PLAN COMPLIANCE REVIEW	

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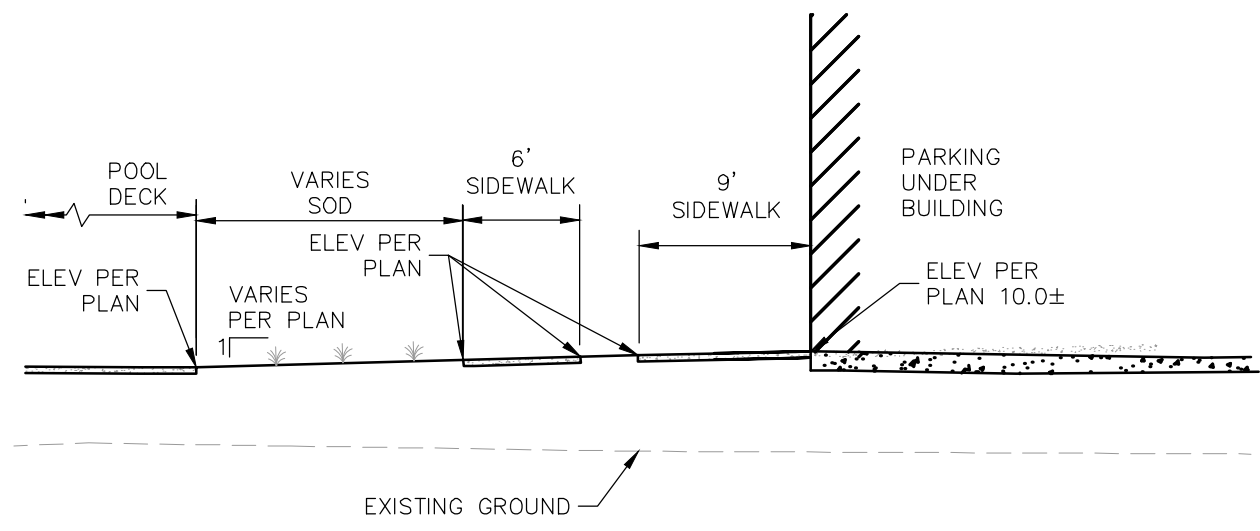
LICENSED PROFESSIONAL	BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER	71465
DATE:	----
KHA PROJECT	DATE: MAR. 2021
SCALE: AS SHOWN	DESIGNED BY: ----
DRAWN BY: ----	CHECKED BY: ----

GRADING SECTIONS

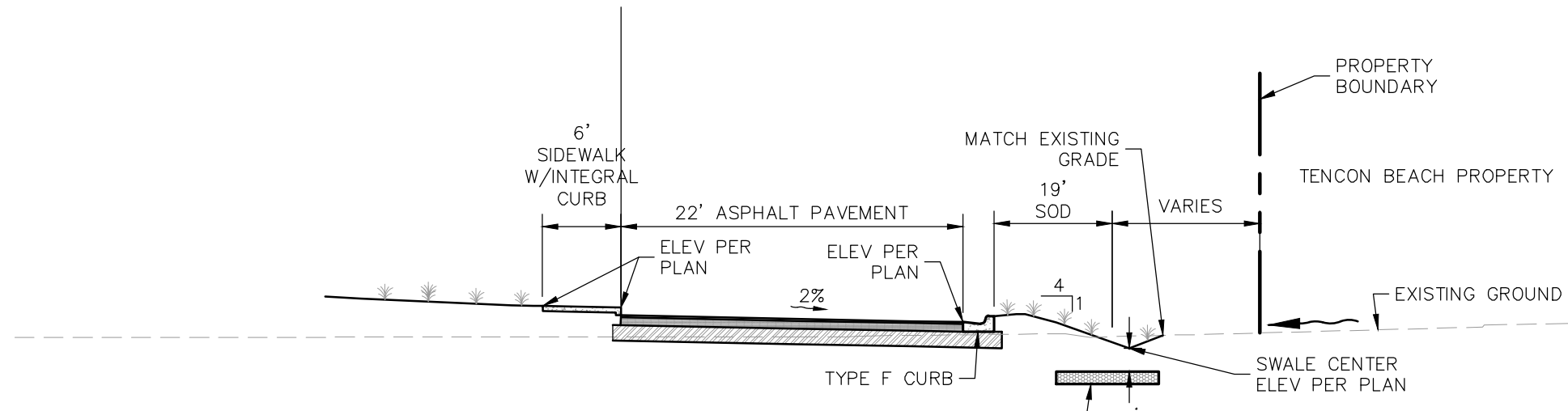
LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC
FLORIDA
LONGBOAT KEY

SHEET NUMBER
B-12

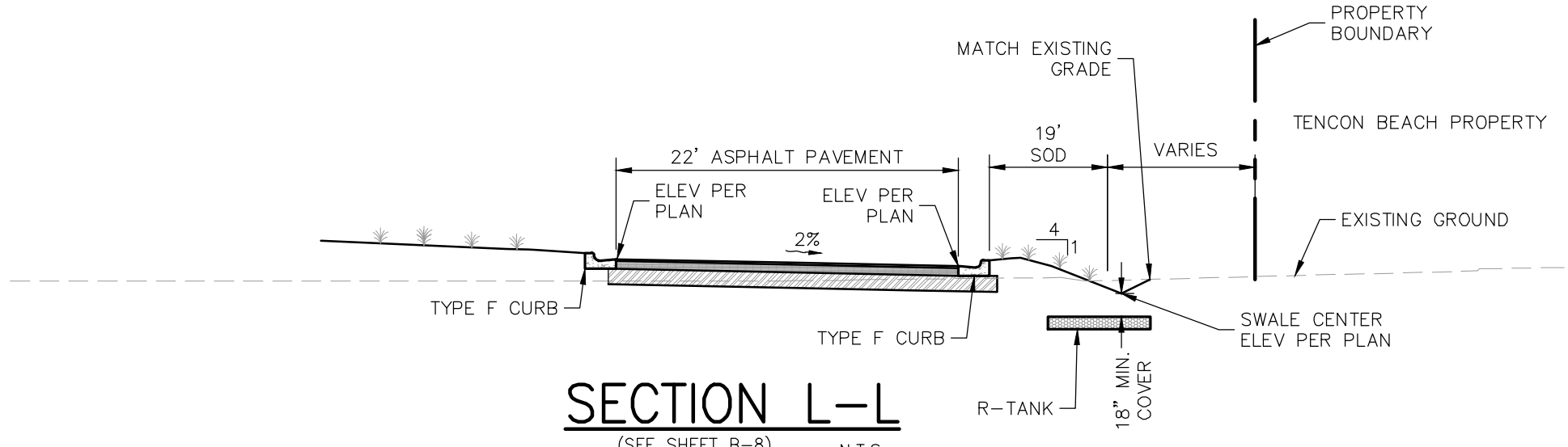
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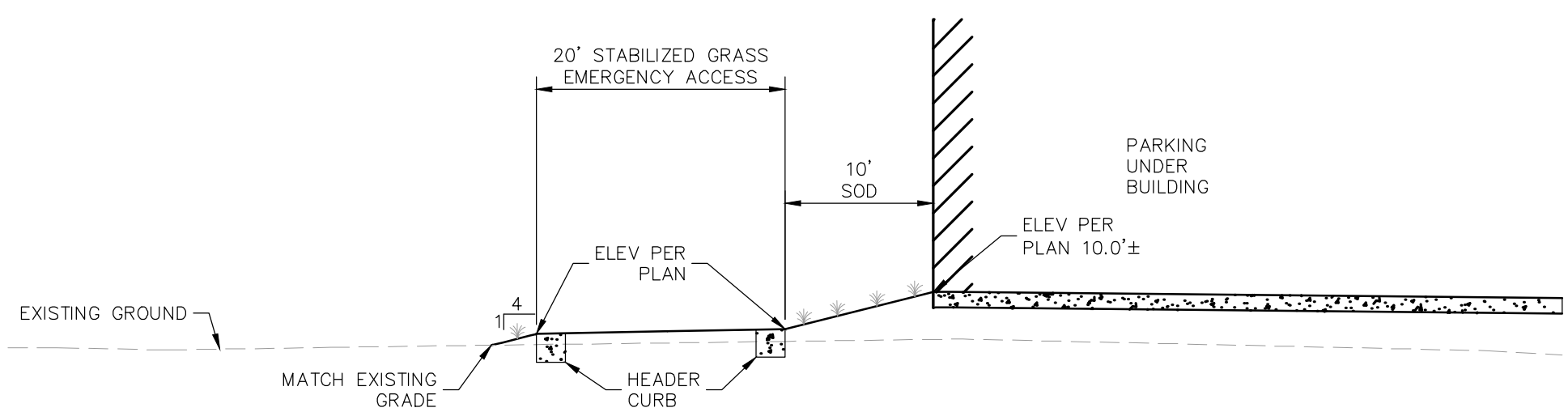
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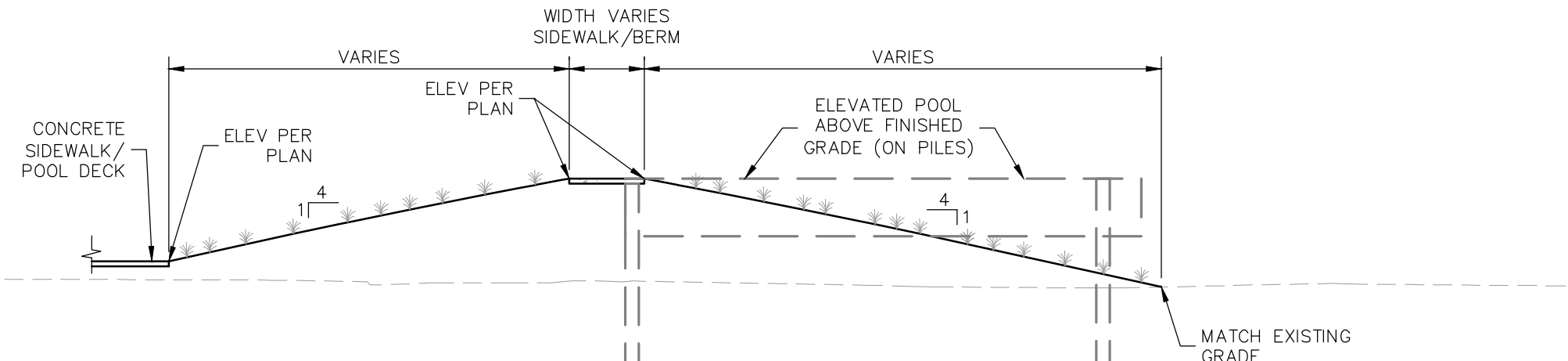
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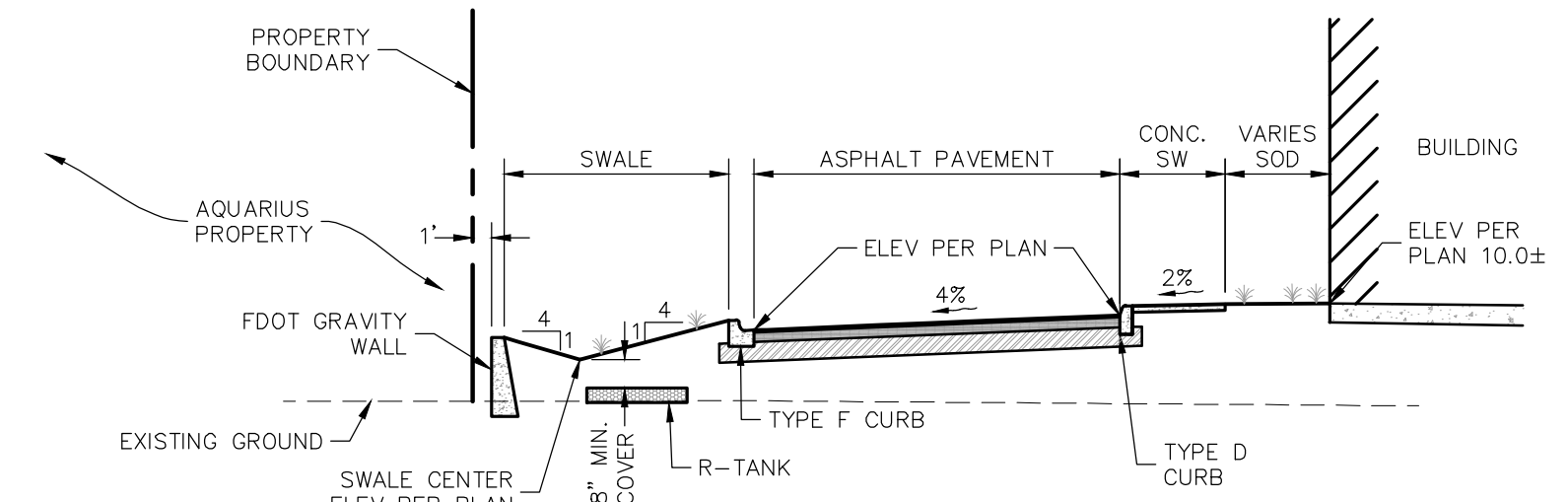
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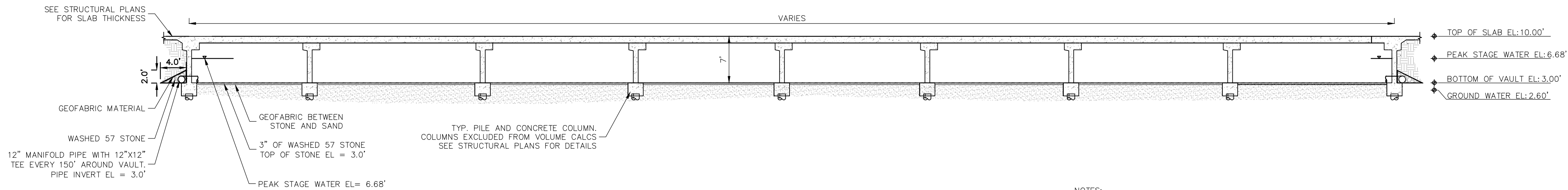
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SECTION N-N
(SEE SHEET B-5) N.T.S.



SECTION O-O
(SEE SHEET B-4) N.T.S.



SECTION P-P
(SEE SHEET B-11) 1\"/>

NOTES:

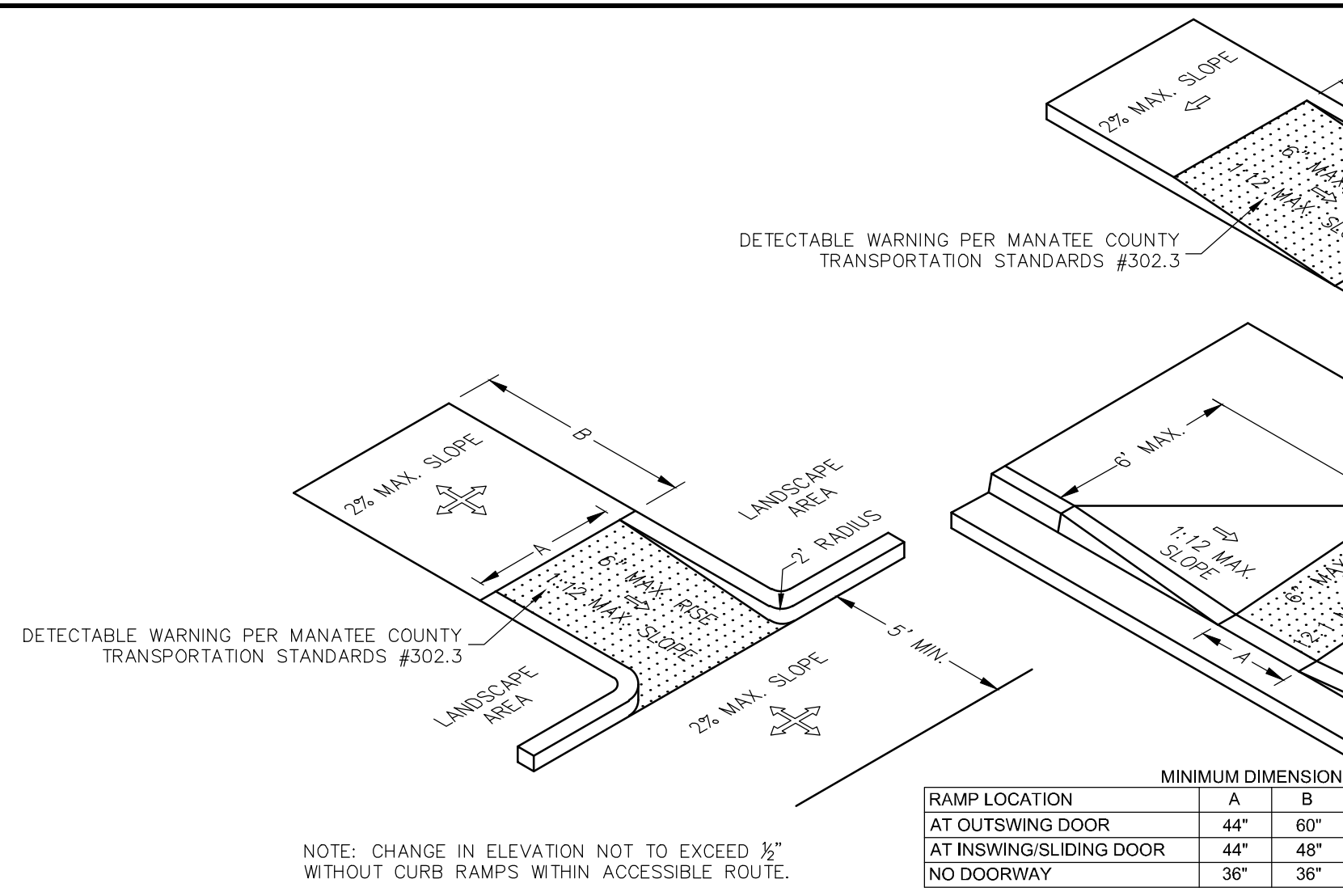
1. THE CONTRACTOR SHALL PREPARE THE IN-SITU SOILS TO A MIN. DEPTH OF 3 FEET BELOW THE BOTTOM OF STONE ELEVATION OR AS DIRECTED BY THE PROJECT ENGINEER IN THE FIELD. SOIL PREPARATION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL ENGINEER TO ENSURE THAT THE SOILS ARE NOT OVERLY COMPACTED DURING CONSTRUCTION AND THAT THE SOILS PROVIDE AN INFILTRATION RATE OF AT LEAST 20 IN/HR. INFILTRATION TESTS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER BEFORE AND AFTER SOILS PREPARATION. INFILTRATION TESTS SHALL BE PERFORMED FOR EVERY 5,000 SQUARE FEET OF STORMWATER CHAMBER SYSTEM TO BE INSTALLED.
2. INLETS, ROOF DRAINS, AND FLOOR DRAINS WITHIN THE GARAGE FLOOR ARE TO BE CONNECTED DIRECTLY TO UNDERGROUND STORMWATER VAULT.

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION				No.				REVISIONS				10/20/21				BY			
KHA PROJECT				DATE				LISCENSED PROFESSIONAL				BRITT L. STEPHENS, P.E.				© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696			
MAR. 2021				SCALE AS SHOWN				DESIGNED BY				TEG				DRAWN BY			
CLL				CHECKED BY				DLP				DATE: ---				FLORIDA			
GRADING SECTIONS				LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC				SHEET NUMBER B-13				LONGBOAT KEY							

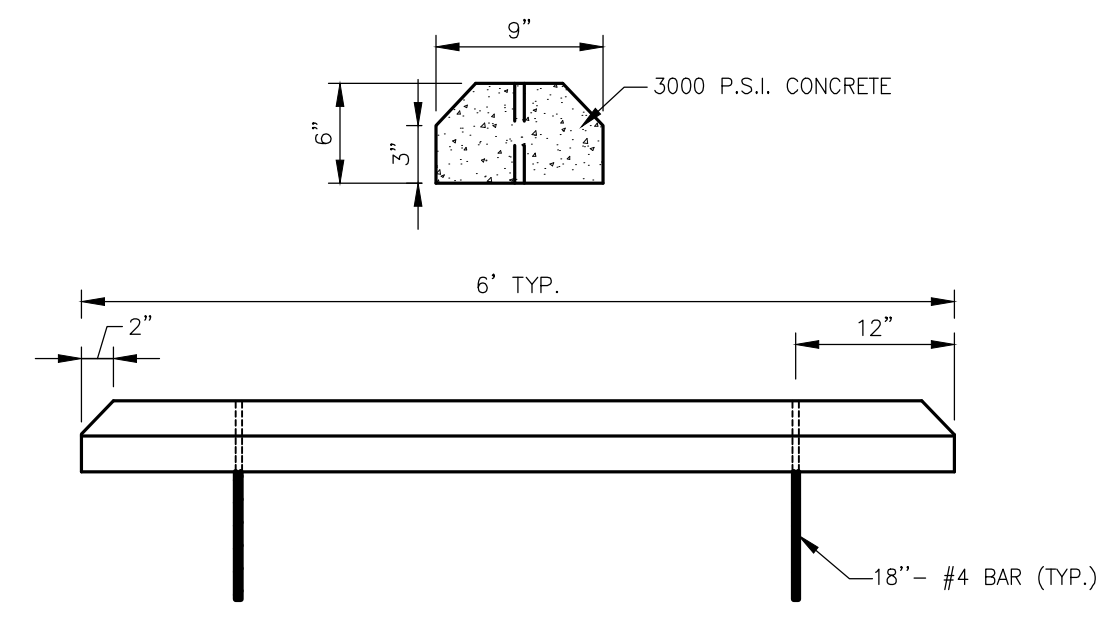
APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21

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Reviewed: mamod 01/25/2022
December 02, 2021 12:55:15pm
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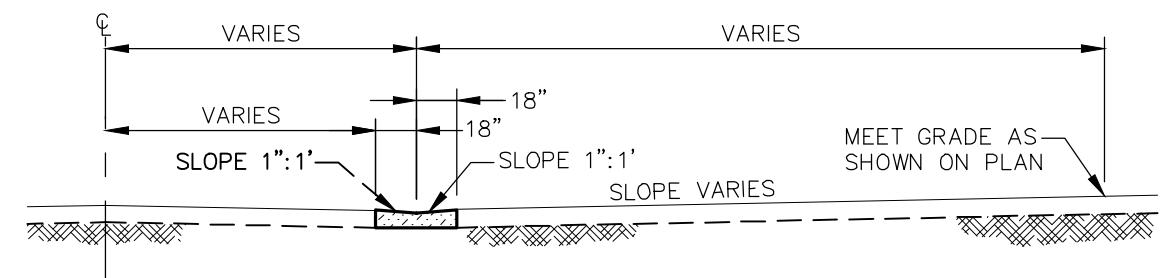
RECEIVED
Town of Longboat Key
Planning, Zoning & Building
January 7, 2022
2:55 p.m.



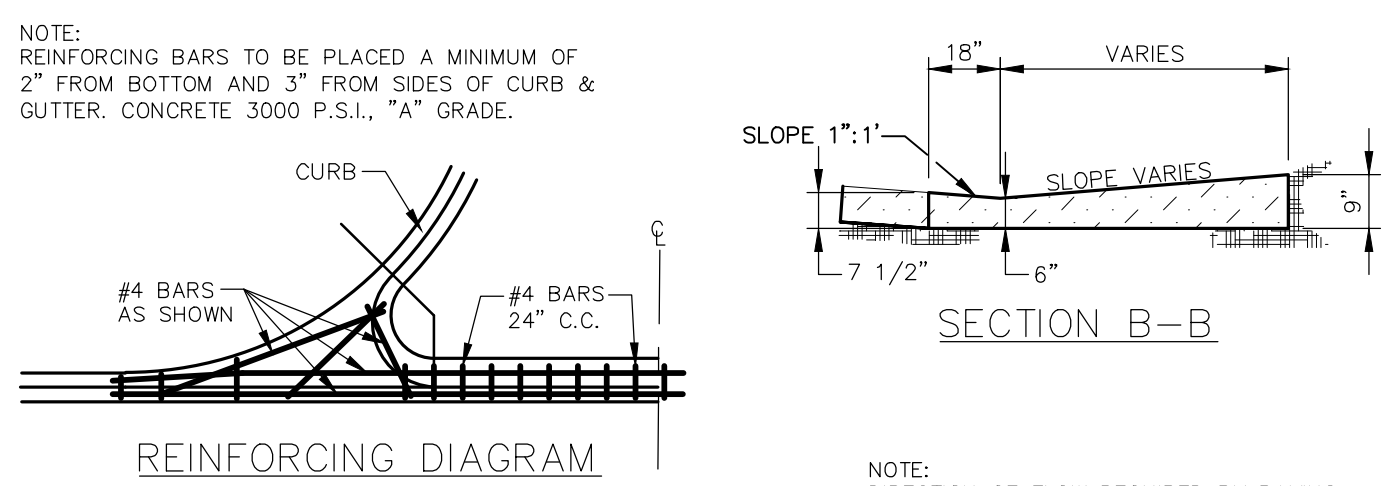
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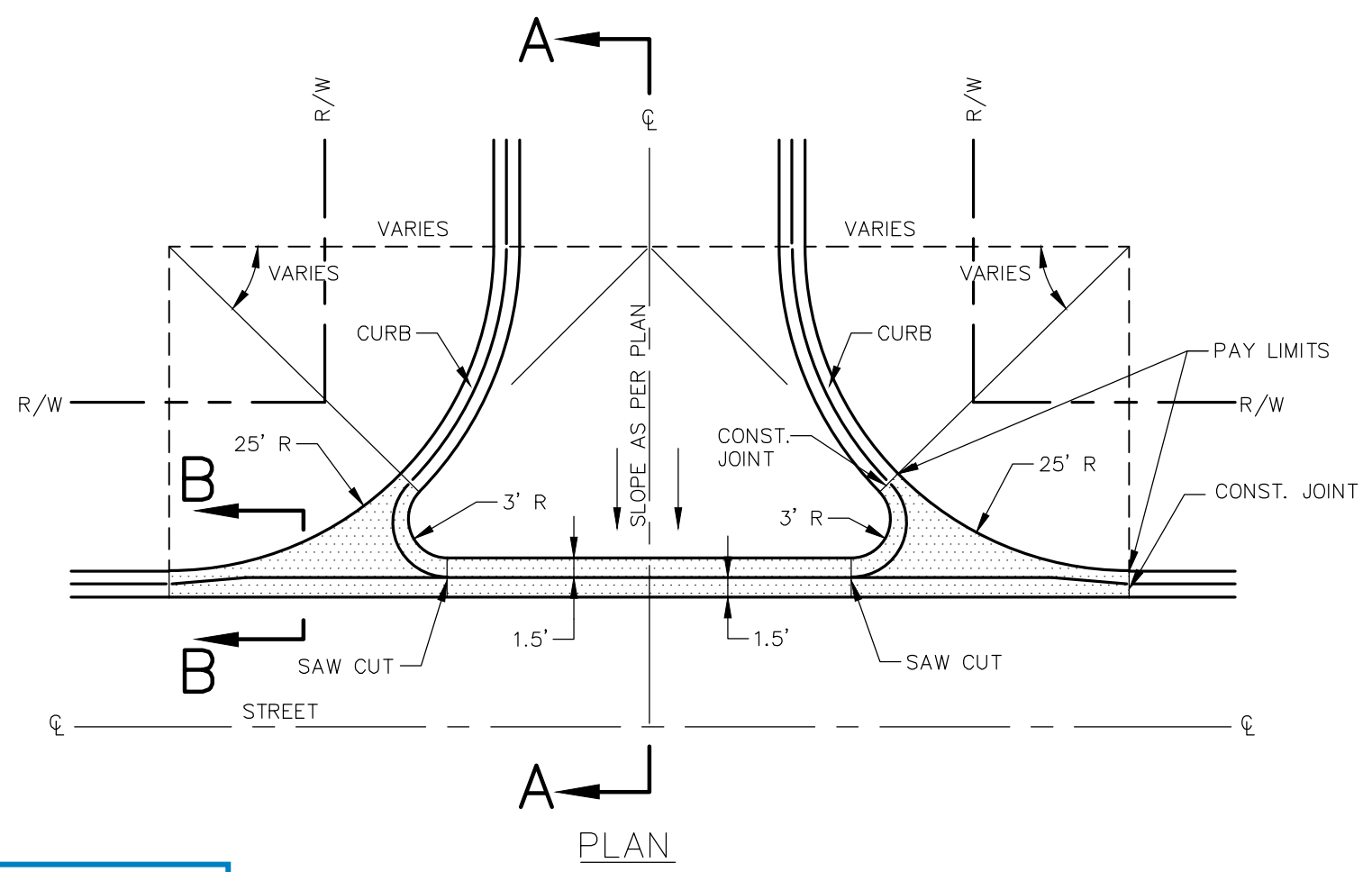
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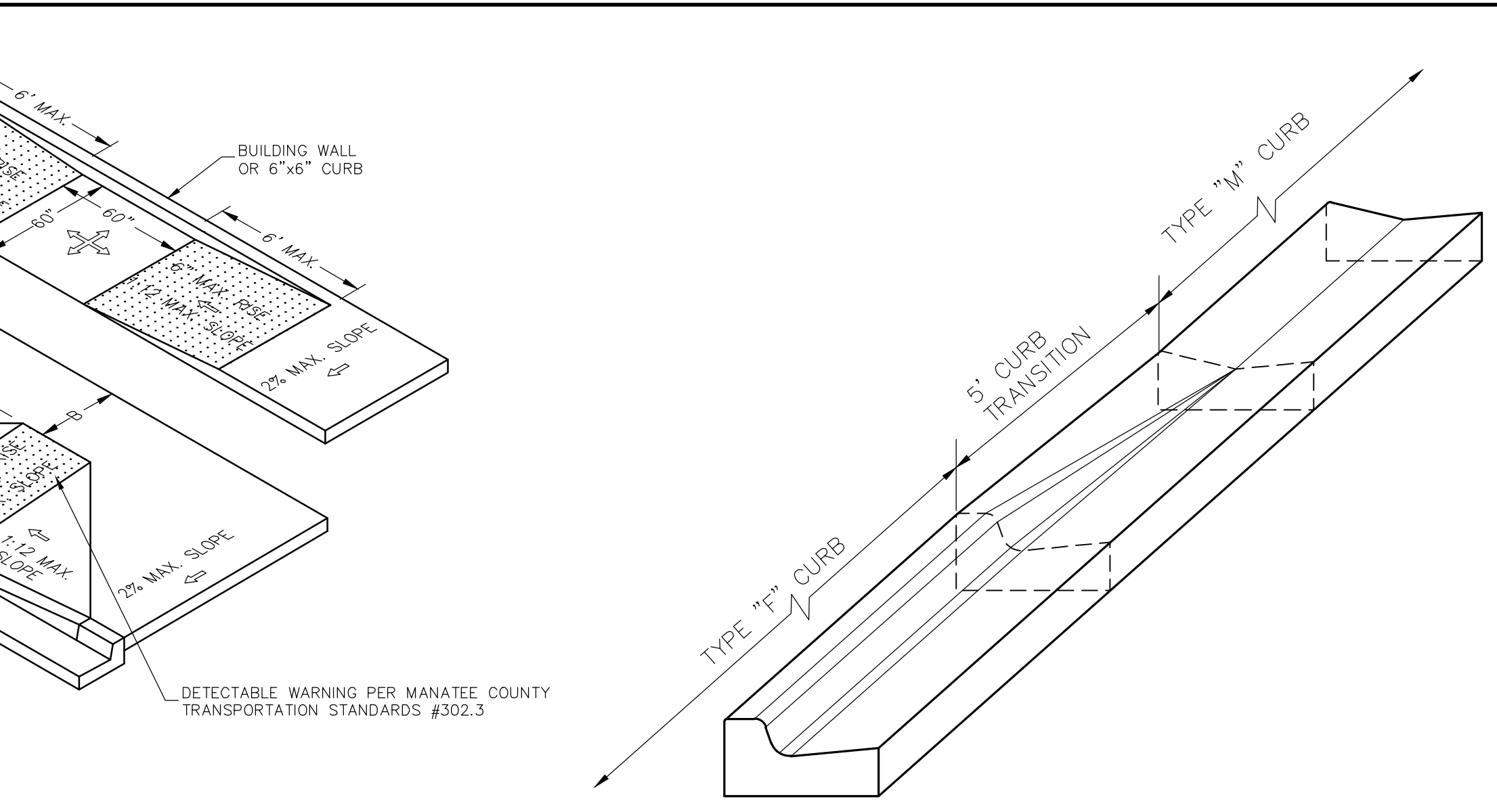
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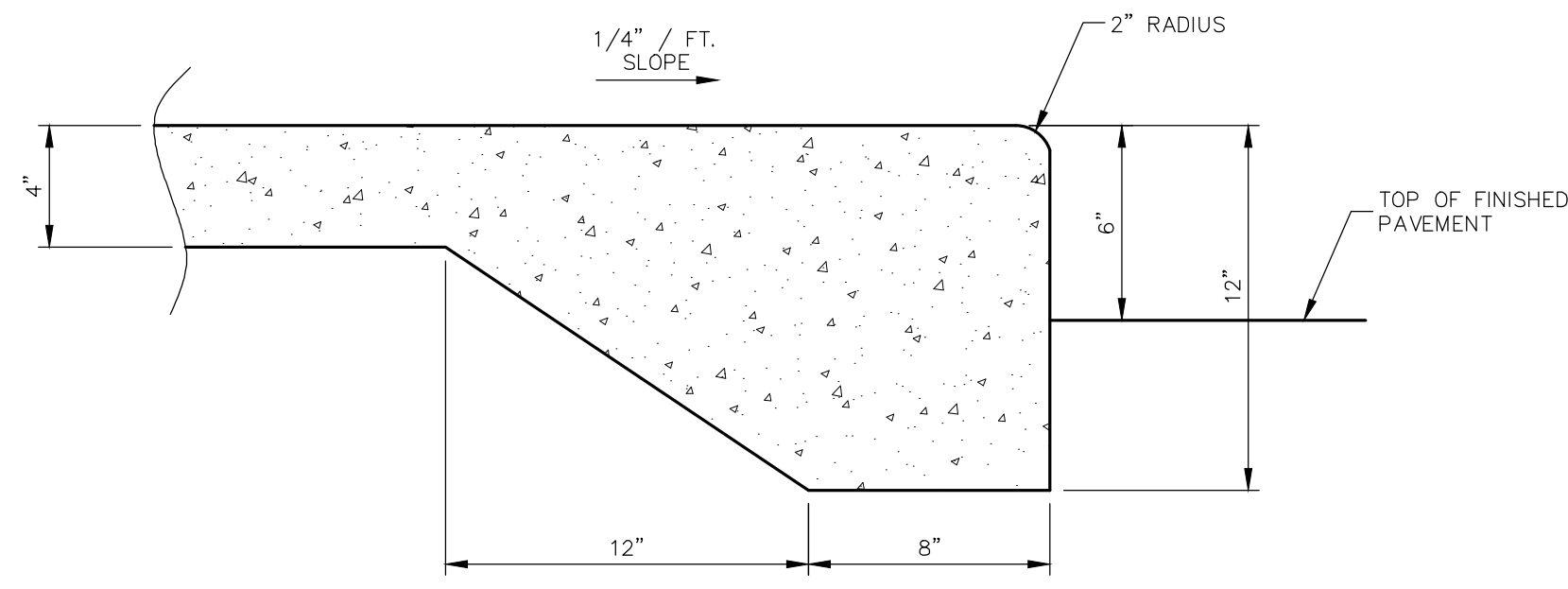
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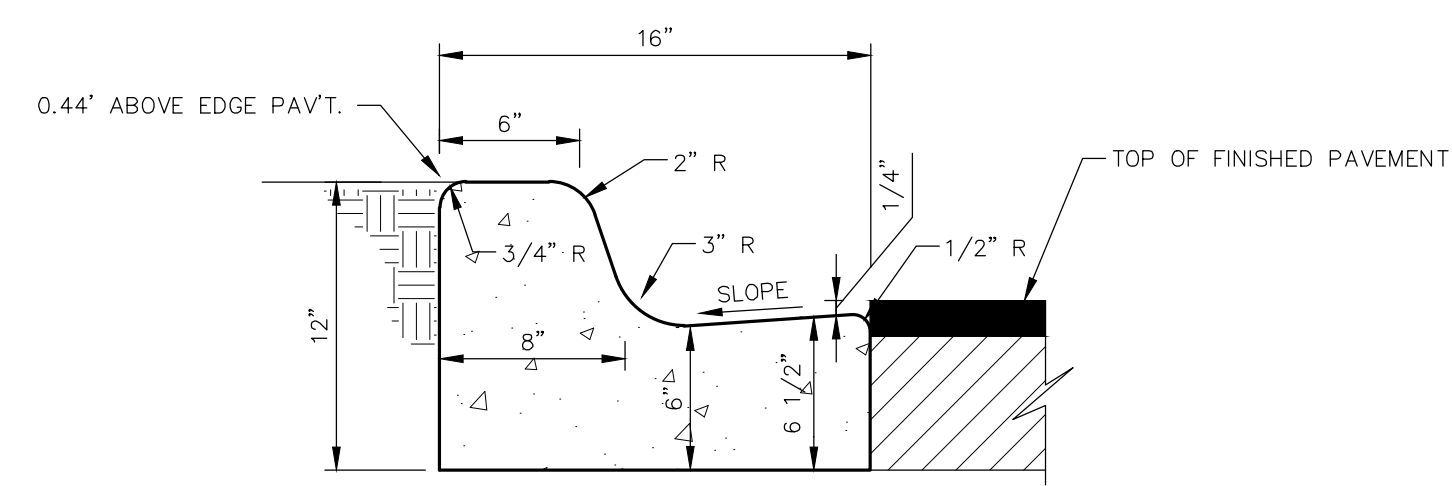
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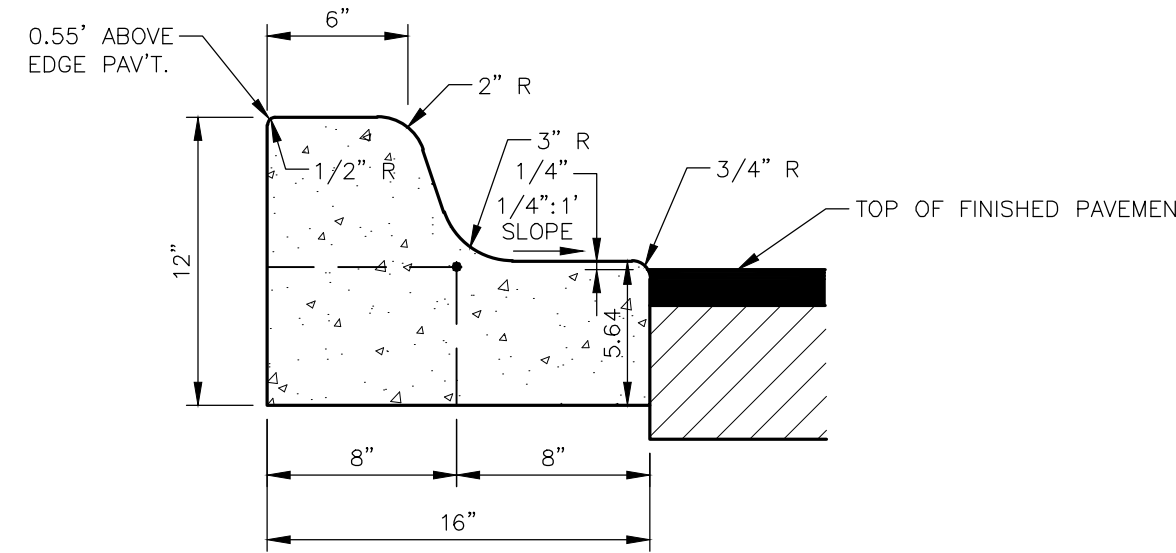
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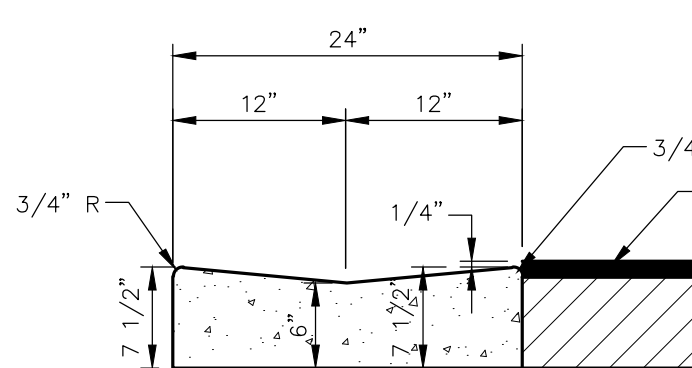
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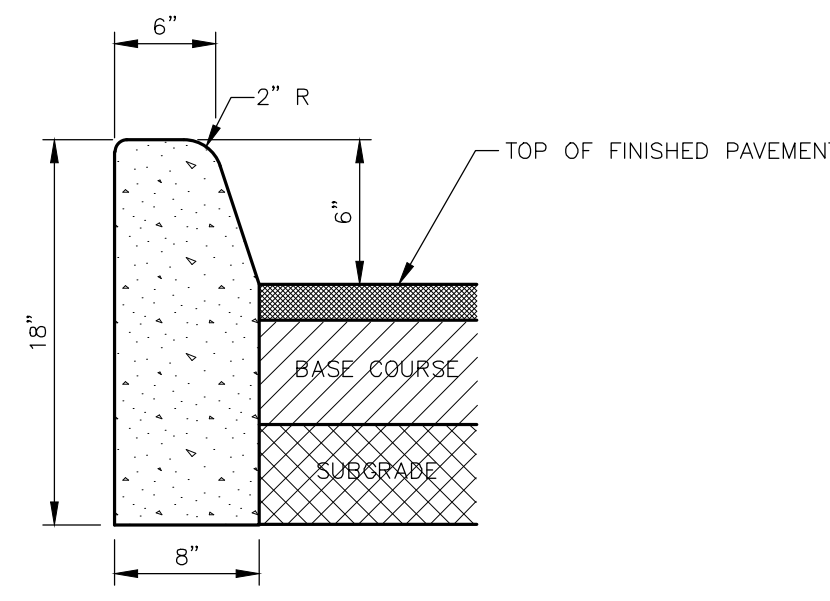
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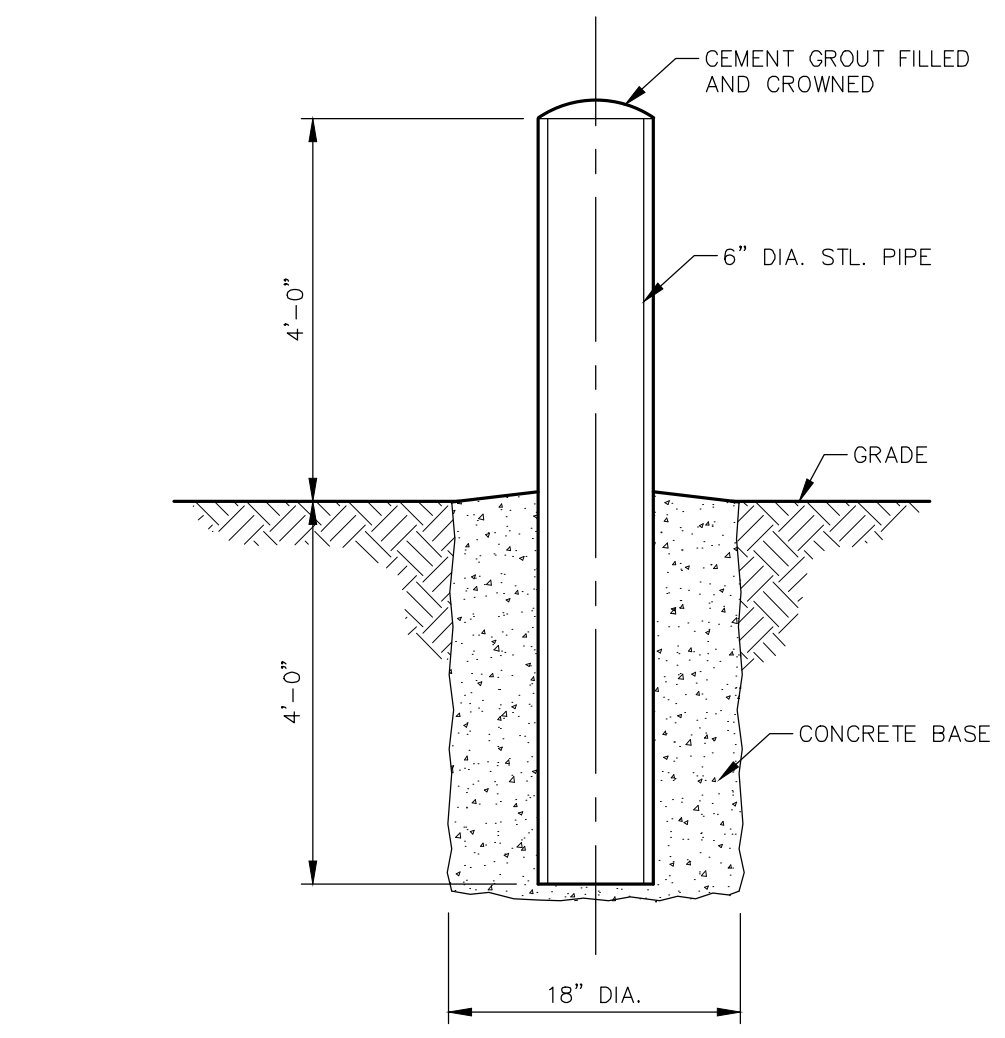
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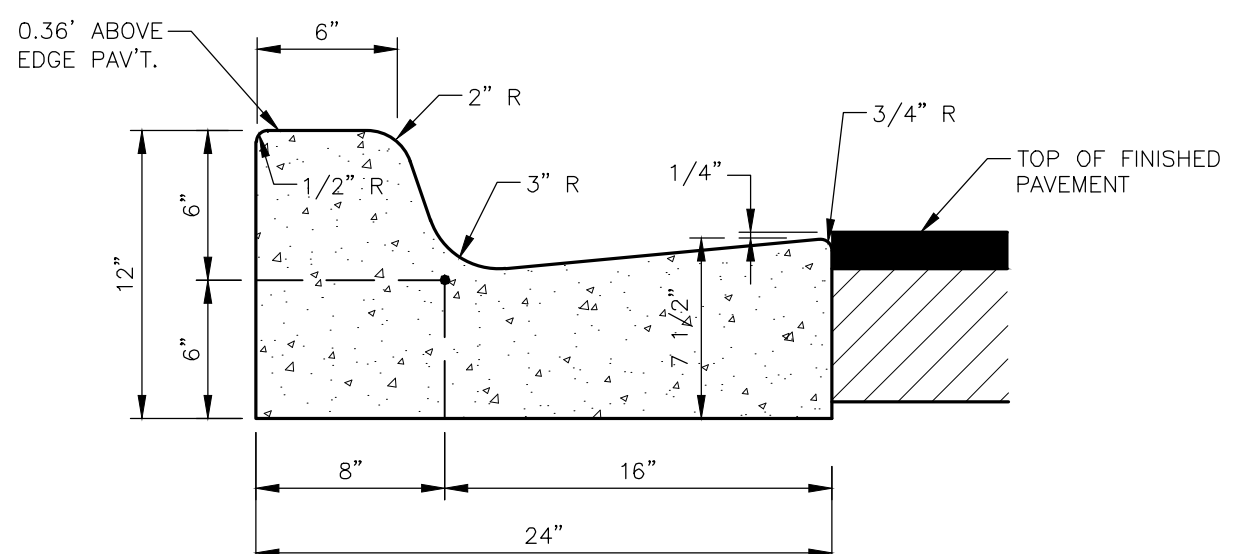
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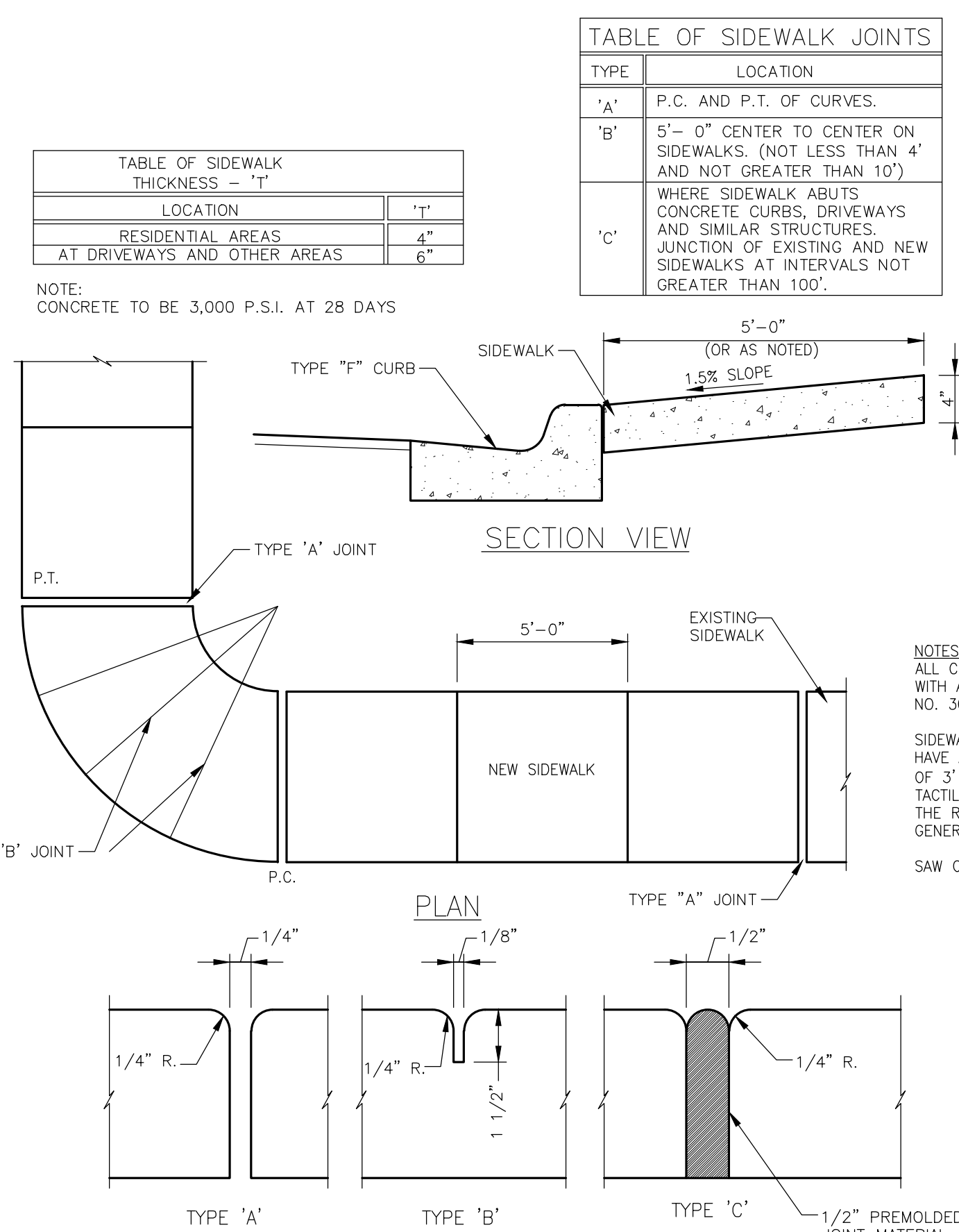
TYPE "D" CURB (D) N.T.S.



BOLLARD DETAIL N.T.S.



TYPE "F" CURB (E) N.T.S.



SIDEWALK CONSTRUCTION N.T.S.

SIDEWALK JOINTS

TABLE OF SIDEWALK THICKNESS - "T"	
LOCATION	"T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

NOTE: CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS (NOT LESS THAN 4' AND NOT GREATER THAN 10')
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES; JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'

NOTES:
ALL CURB RAMPS SHALL BE EMBOSSED WITH A TACTILE SURFACE PER FDOT INDEX NO. 304, SHT. 1
SIDEWALKS CROSSING STREETS SHALL HAVE A TACTILE SURFACE FOR A MINIMUM OF 3' ADJACENT TO EACH CROSSING. TACTILE SURFACES SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE GENERAL NOTES ON FDOT INDEX NO. 304.
SAW CUTTING WILL NOT BE ACCEPTED.

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1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236
PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 0000696

LICENSED PROFESSIONAL
DATE
MAR. 2021

BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER
71465

SCALE
AS SHOWN

DESIGNED BY
DRAWN BY
CHECKED BY

TYPICAL ROADWAY SECTION AND DETAILS

LONGBOAT KEY HOTEL AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

FLORIDA
LONGBOAT KEY

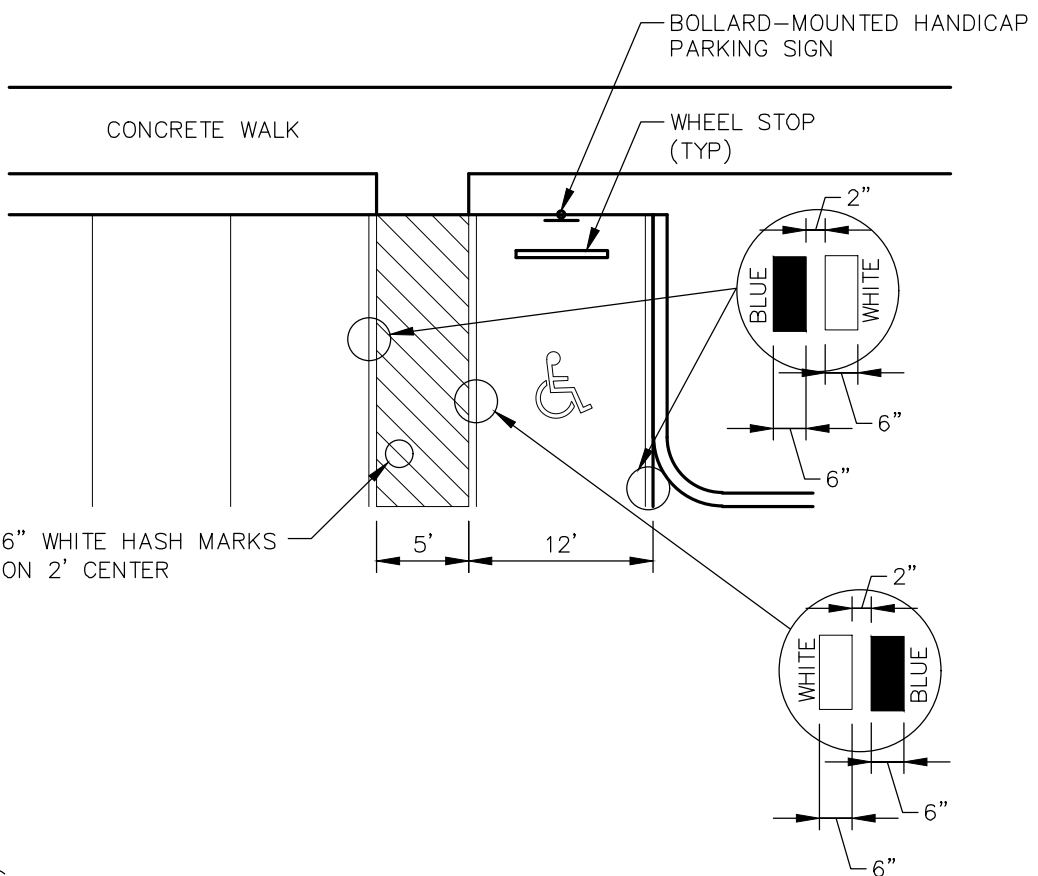
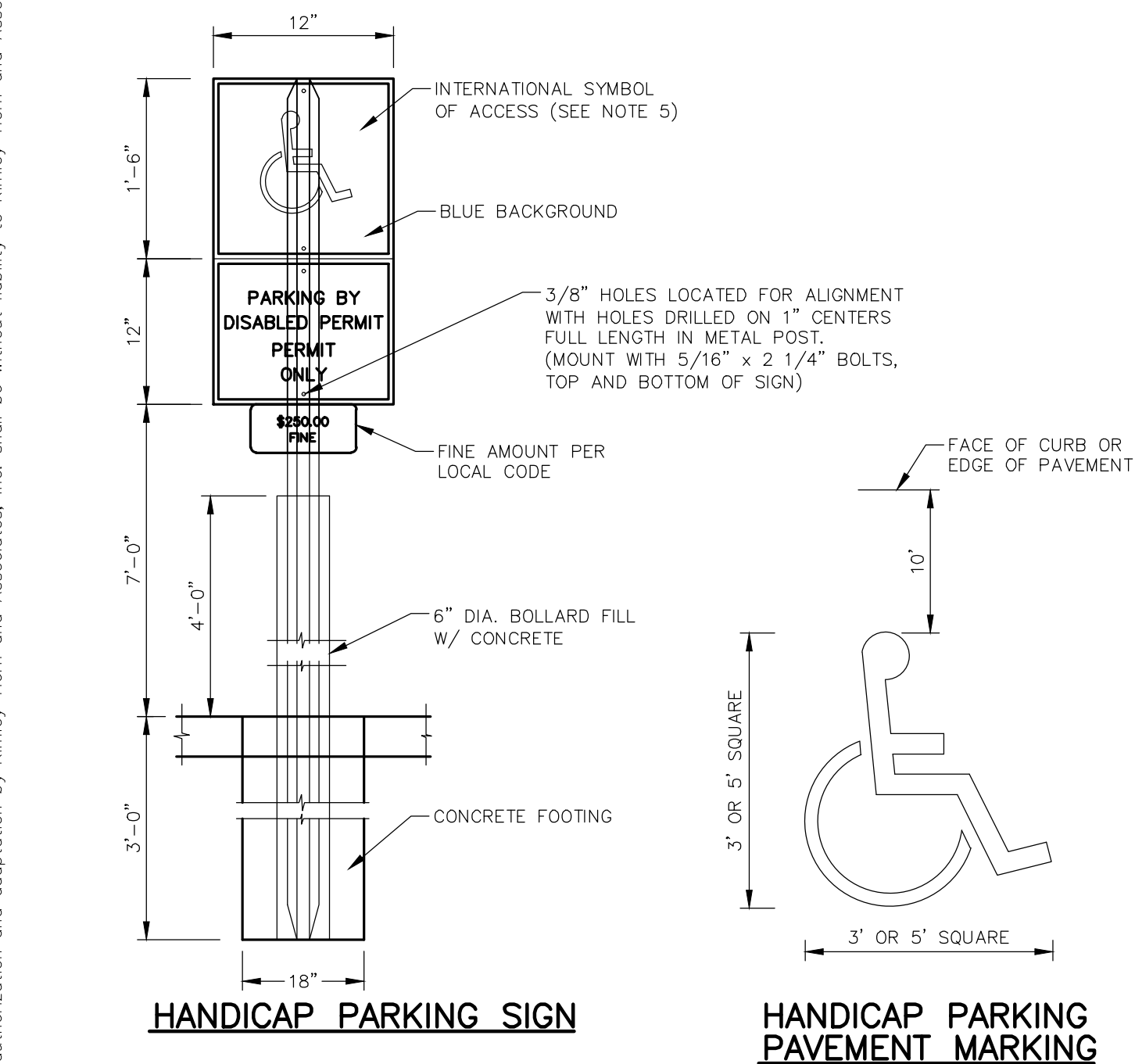
SHEET NUMBER
B-16

10/20/21

REVISIONS

DATE

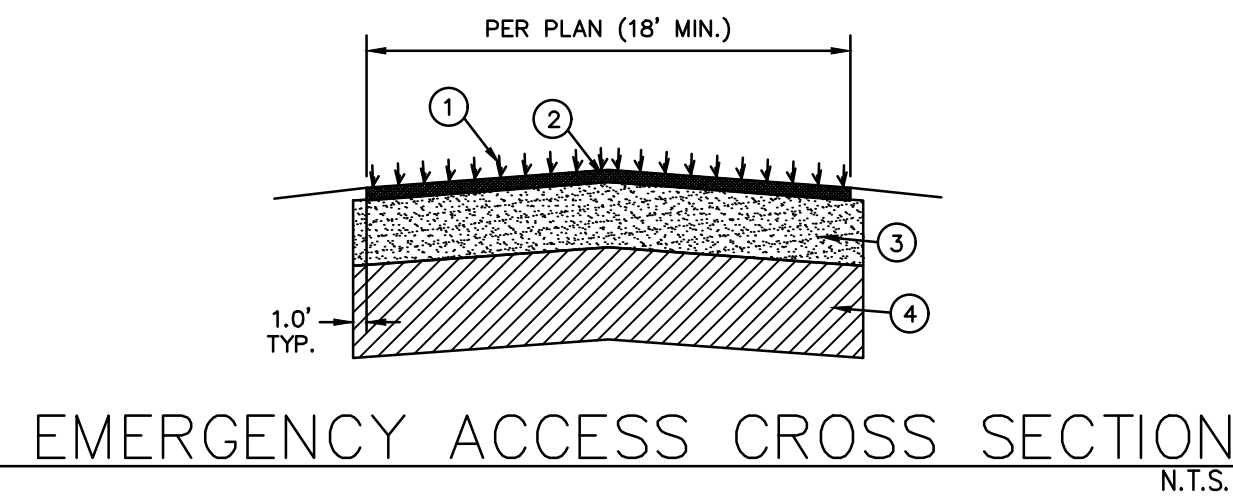
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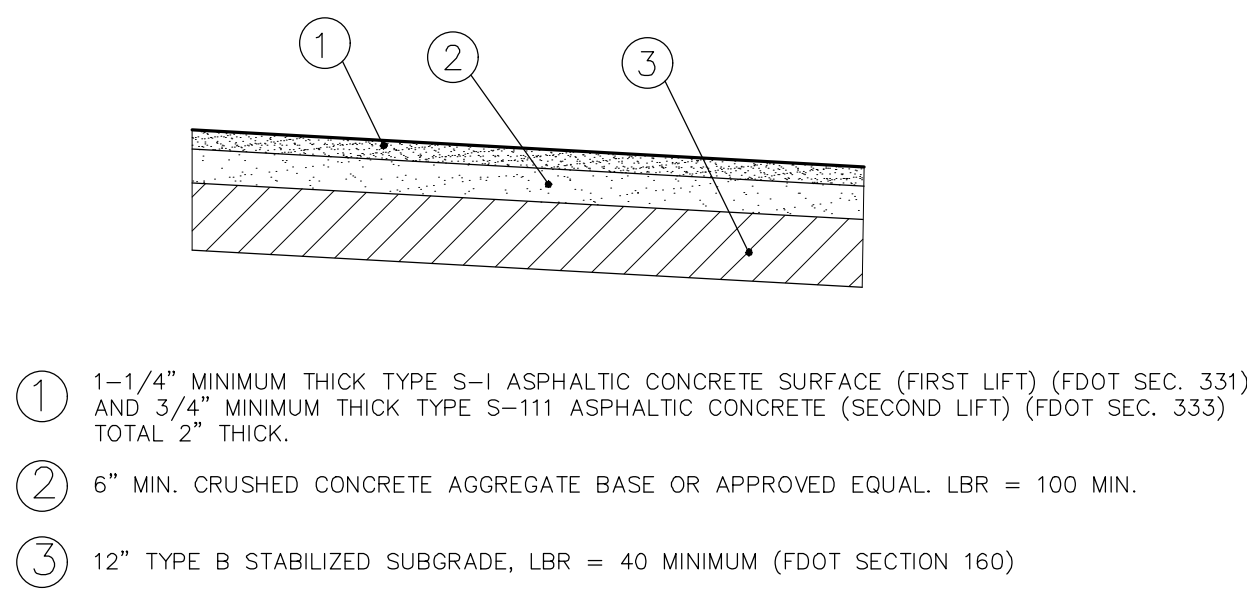
- NOTES:**
- METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.
 - CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 p.s.i.
 - SIGNS WILL BE FABRICATED BY USING REFLECTING COATING IN THE SYMBOL, MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (.080) IN THICKNESS.
 - MESSAGE LETTERING SHALL BE UPPER CASE (WHITE)(SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE SYMBOL IS COMPOSED OF TWO ELEMENTS, A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595a, COLOR #15180).
 - SIGN POST SHALL BE MIN. 2'-0" CLEAR FROM BACK OF CURB.
 - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.

HANDICAPPED PARKING/MARKING DETAIL

N.T.S.

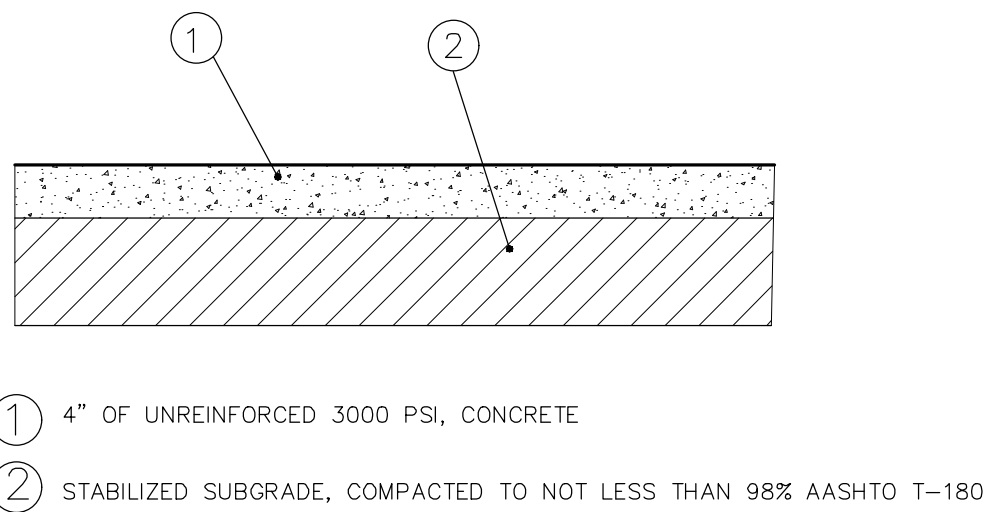


- NOTES:**
- SOD REFER TO LANDSCAPE PLANS FOR SPECIFICATIONS
 - GRASSPAVE SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO HARDSCAPE PLANS FOR SPECIFICATIONS
 - 12" THICK GRADED AGGREGATE BASE (FDOT SECTION 204) OR CRUSHED CONCRETE, LBR=100 MIN.; OR APPROVED EQUAL.
 - 12" TYPE B STABILIZED SUBGRADE, LBR = 40 MINIMUM (FDOT SECTION 160)



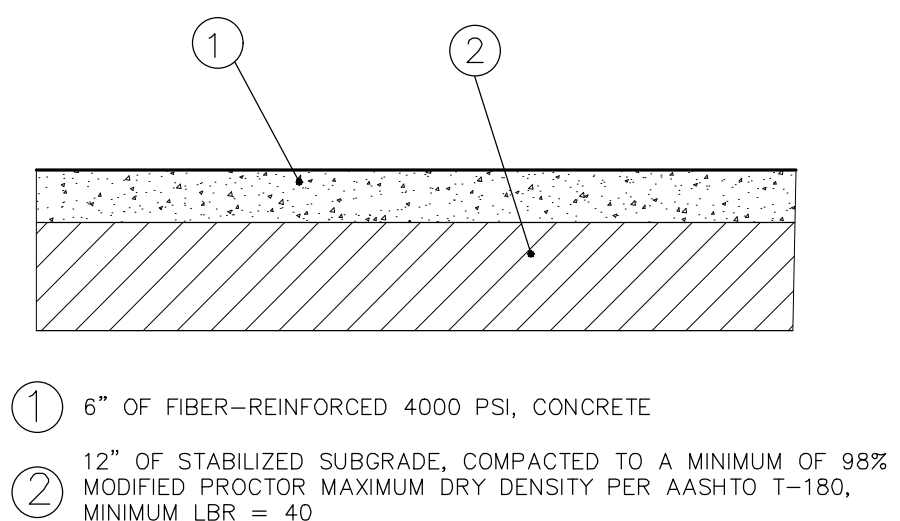
ASPHALT PAVEMENT

N.T.S.



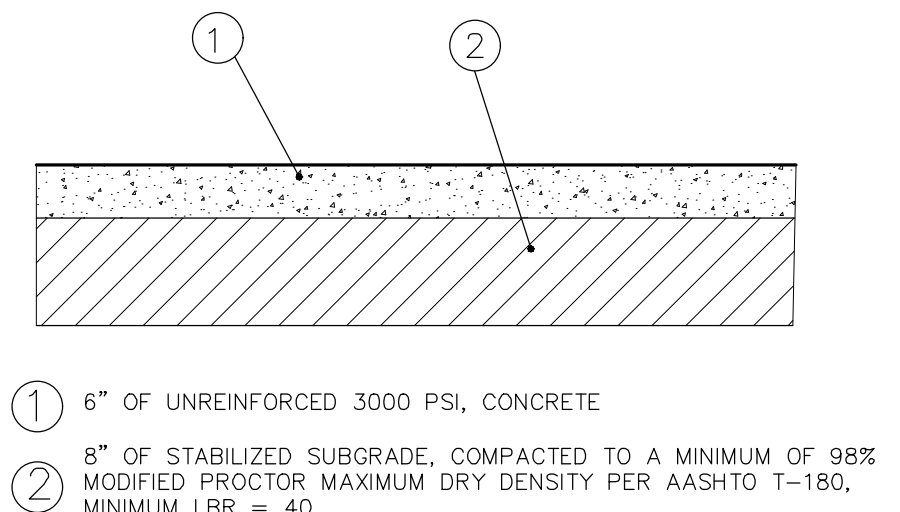
STANDARD DUTY CONCRETE (SIDEWALKS)

N.T.S.



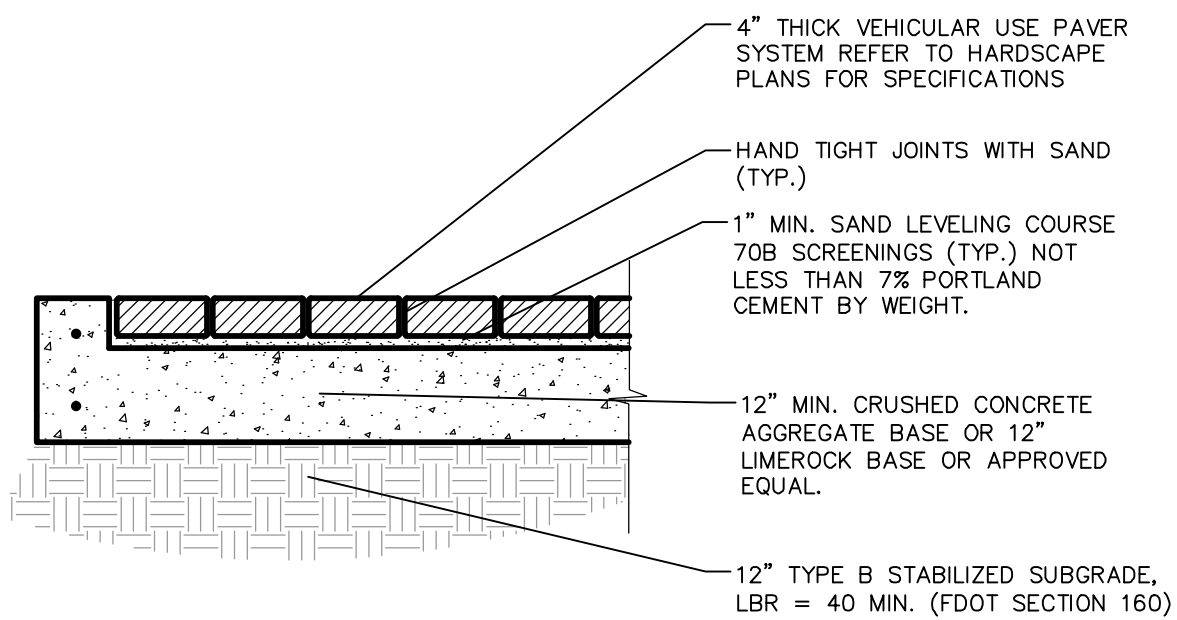
HEAVY DUTY CONCRETE PAVEMENT

N.T.S.



HEAVY DUTY CONCRETE SIDEWALK (WITHIN EMERGENCY ACCESS)

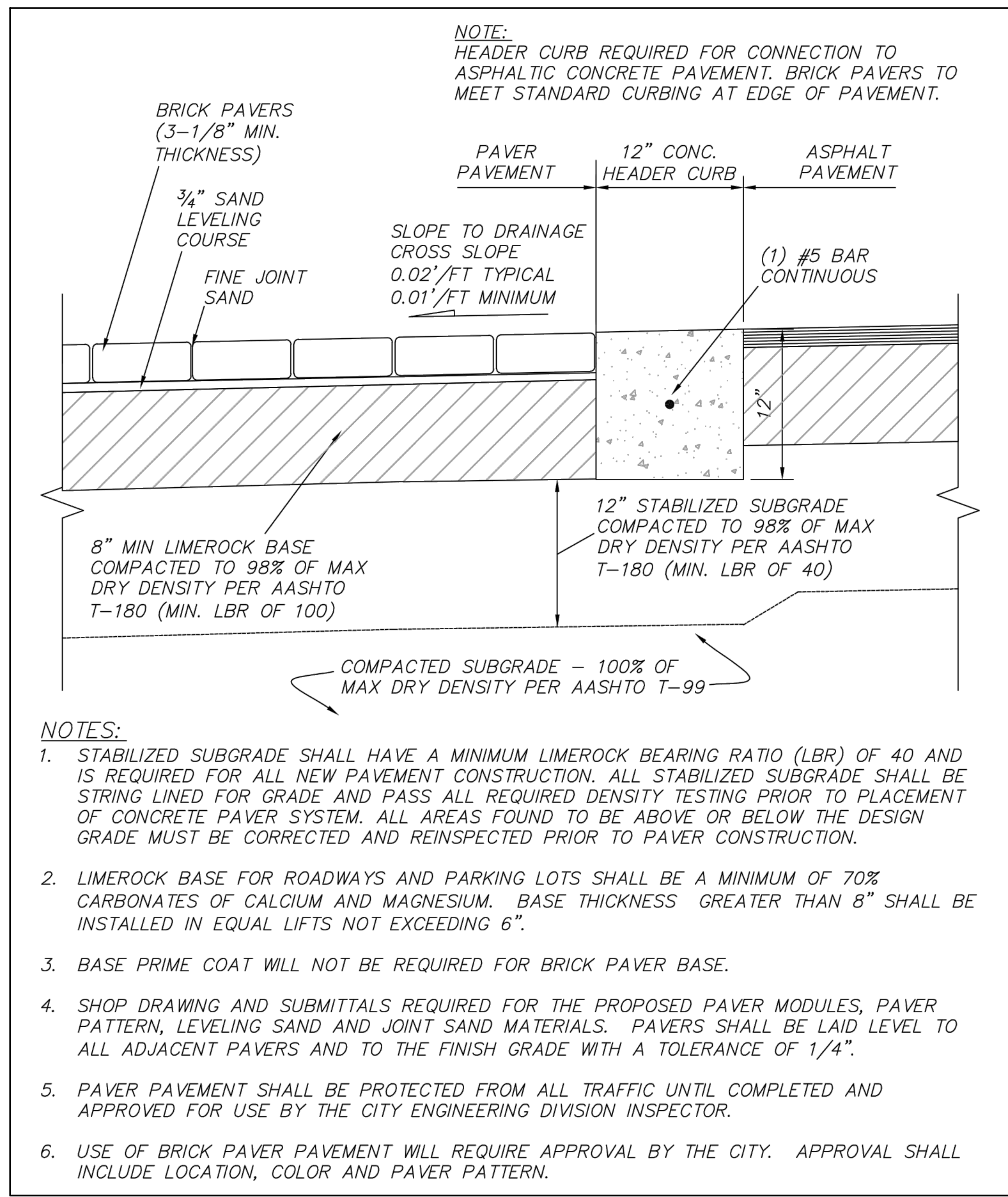
N.T.S.




- NOTES:**
- CONTRACTOR TO INSTALL ALL PAVERS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL PAVERS USED WITHIN FDOT RIGHT-OF-WAY MUST COMPLY TO THE FDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 526.
 - ALL AREAS OF PAVERS, AS SHOWN ON THE PLANS SHALL BE SET WITH FLUSH TOP SURFACE AND SHALL MAINTAIN A MINIMUM SLOPE OF 0.5%, UNLESS OTHERWISE NOTED ON THE PLANS OR DETAILS.
 - BEDDING SAND SHALL CONFORM TO THE GRADING REQUIREMENTS OF ASTM C33. MASON SAND IS NOT ACCEPTABLE. ALL BEDDING SAND SHALL BE SCREENED TO AN EVEN THICKNESS.
 - ALL AREAS OF PAVERS SHALL COMPLY WITH CURRENT ADA (AMERICANS WITH DISABILITIES ASSOCIATION) REQUIREMENTS FOR ACCESSIBLE ROUTES.
 - ALL PAVER "CUTS" SHALL BE MADE WITH A SPLITTER OR MASONRY SAW.

TYPICAL VEHICULAR PAVER

N.T.S.

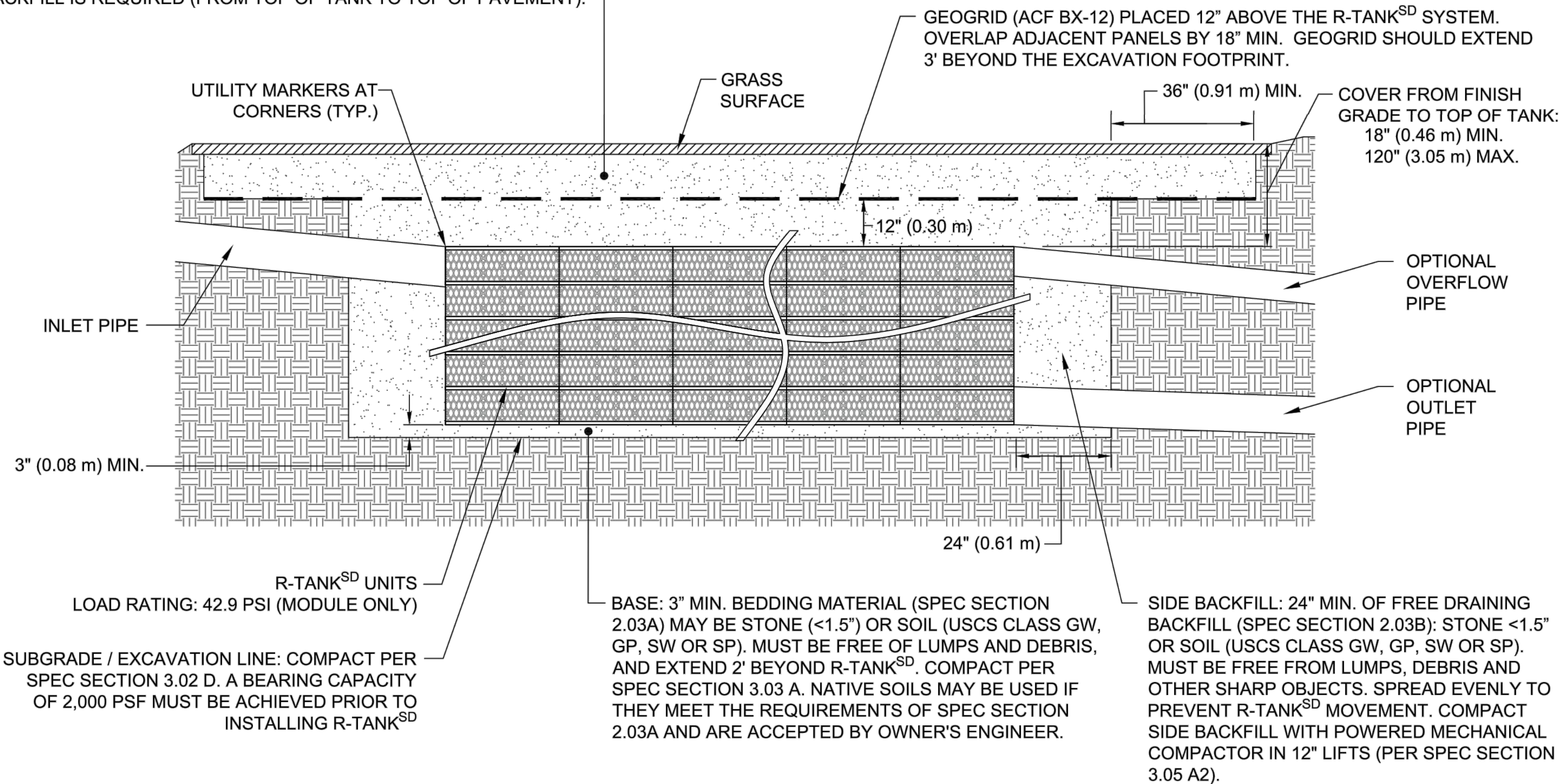


 **RECEIVED**
Town of Longboat Key
Planning, Zoning & Building
January 7, 2022
2:55 p.m.

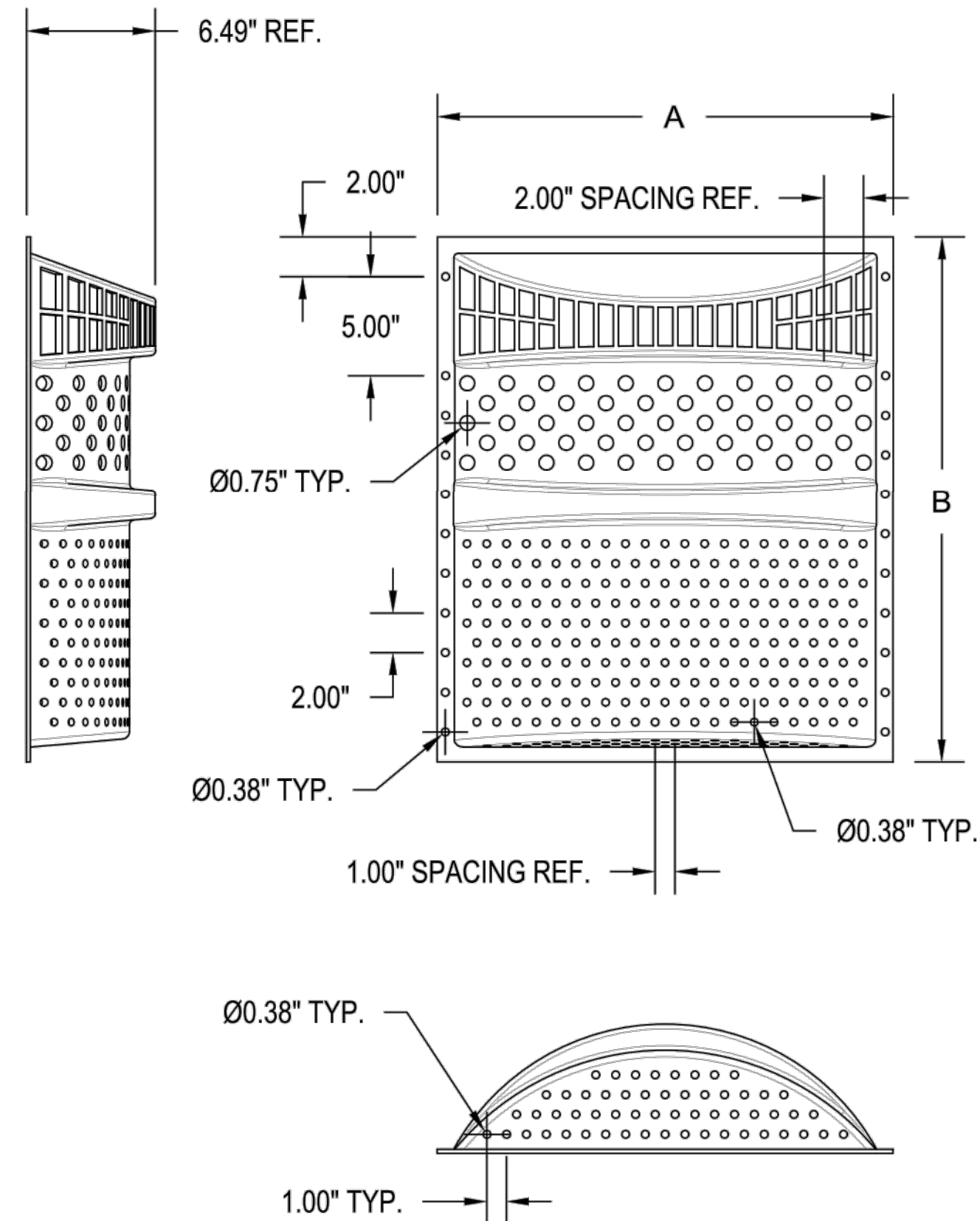
TOTAL COVER: 18" MINIMUM AND 120" MAXIMUM. FIRST 12" MUST BE FREE DRAINING BACKFILL (SPEC SECTION 2.03B): STONE <1.5" OR SOIL (USCS CLASS GW, GP, SW OR SP). ADDITIONAL FILL MAY BE STRUCTURAL FILL (SPEC SECTION 2.03C): STONE OR SOIL (USCS CLASS SM, SP, SW, GM, GP OR GW) WITH MAX CLAY CONTENT<10%, MAX 25% PASSING NO. 200 SIEVE, AND MAX PLASTICITY INDEX OF 4. A MIN. 12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK™ SYSTEM AT ALL TIMES. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 10'. CONTACT ACF ENVIRONMENTAL IF MORE THAN 10' OR LESS THAN 18" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO TOP OF PAVEMENT).

NOTES:

1. FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK^{SD} MODULE SHEET .
2. INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF HL-93 LOADING PER THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, CUSTOMARY U.S. UNITS, 7TH EDITION, 2014 WITH 2015 AND 2016 INTERIM REVISIONS.
3. PRE-TREATMENT STRUCTURES NOT SHOWN.
4. FOR INFILTRATION APPLICATIONS, GEOTEXTILE ENVELOPING R-TANK SHALL BE ACF M200 (PER SPEC SECTION 2.02A) AND BASE SHALL BE 4" MIN. UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03A) TO PROVIDE A LEVEL BASE. SURFACE MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2' BEYOND R-TANK^{SD} FOOTPRINT.



R-TANK^{SD} & H-20 LOADS - SECTION VIEW



SIZE	A	B
23" x 24"	23"	26.51"
28" x 30"	28"	33.15"
34" x 36"	34"	38.69"

±0.25" TOLERANCE ON DIMENSIONS

TRASHGUARD PLUS PRETREATMENT DETAIL



ENGINEER OF
RECORD TO
REVIEW, APPROVE
AND ENDORSE
FINAL SITE
SPECIFIC DESIGN.

FOR ADDITIONAL INFORMATION PLEASE CONTACT:
ACF ENVIRONMENTAL 1-800-448-3636
www.acfenvironmental.com



R-TANK^{SD} SYSTEM DETAILS
LONGBOAT KEY HOTEL & RESIDENCES
LONGBOAT KEY, FL
SITE DESIGNATION: BASIN 3 - SOUTH SWALE
ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

LONGBOAT KEY, FL
SITE DESIGNATION: BASIN 3 - SOUTH SWALE
ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

DRAWN BY
EDQ
DATE
4/01/21
SHEET NO.

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC

LONGBOAT KEY

B-19

R-TANK SD DETAILS

KHA PROJECT	DATE
	MAR. 2021
SCALE	AS SHOWN
DESIGNED BY	TE
DRAWN BY	CL
CHECKED BY	DI

Kimley»» Horn

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1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236
PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

**FOR PERMIT REVIEW ONLY
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	NC
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FINAL SITE PLAN COMPLIANCE REVIEW

BY

BY

Reviewer: mamold

01/25/2022

Plotted By: Hanks, Mott, Street Set: Unicorp Longboat Key Hotel and Residences, LYOULB-21 STORM STRUCTURE DATA TABLE, December 02, 2021 01:02:39pm, K:\SAR_GI\149581008 Colony Longboat Key\CAD\PlanSheets\B-21 STORM STRUCTURE DATA TABLE.dwg, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



STORM STRUCTURES

ST-01 TYPE 9 CURB INLET GRATE ELEV.: 7.34 INV OUT: 4.13	ST-24 TYPE F INLET USF 5130-6168 WITH RETICUTLINE GRATE GRATE ELEV.: 8.69 INV IN: 3.03 INV OUT: 3.06
ST-02 TYPE 9 CURB INLET GRATE ELEV.: 7.15 INV IN: 3.94 INV OUT: 3.94	ST-25 TYPE F INLET GRATE ELEV.: 8.09 INV OUT: 4.88
ST-03 TYPE 9 CURB INLET GRATE ELEV.: 6.97 INV IN: 3.76 INV OUT: 3.76	ST-26 TYPE F INLET GRATE ELEV.: 7.90 INV IN: 5.19 INV OUT: 4.69
ST-04 MH GRATE ELEV.: 6.20 INV IN: 3.64 INV OUT: 3.64	ST-27 TYPE F INLET GRATE ELEV.: 7.71 INV IN: 4.50 INV OUT: 4.50
ST-05 VALLEY CUTTER INLET GRATE ELEV.: 7.42 INV OUT: 3.06	ST-28 MH RIM: 7.73 INV IN: 3.96 INV IN: 4.46 INV OUT: 3.96
ST-06 FDOT TYPE C INLET GRATE ELEV.: 8.27 INV IN: 3.01 INV OUT: 3.01	ST-29 TYPE F INLET GRATE ELEV.: 8.17 INV IN: 3.65 INV IN: 4.82 INV OUT: 3.65
ST-07 VALLEY CUTTER INLET GRATE ELEV.: 8.59 INV OUT: 3.13	ST-30 TYPE F INLET GRATE ELEV.: 8.41 INV IN: 3.53 INV IN: 4.86 INV OUT: 3.03
ST-08 FDOT TYPE C INLET GRATE ELEV.: 9.30 INV IN: 3.04 INV IN: 6.04 INV OUT: 3.04	ST-31 TYPE F INLET GRATE ELEV.: 8.04 INV OUT: 4.18
ST-09 TYPE F INLET GRATE ELEV.: 9.10 INV OUT: 3.93	ST-32 MH RIM: 8.39 INV IN: 4.12 INV OUT: 4.12
ST-10 TYPE 9 CURB INLET GRATE ELEV.: 10.78 INV IN: 3.70 INV IN: 3.70 INV OUT: 3.20	ST-34 MH RIM: 9.60 INV IN: 3.85 INV OUT: 3.85
ST-11 TYPE 9 CURB INLET GRATE ELEV.: 10.46 INV OUT: 3.83	ST-35 MH RIM: 9.33 INV IN: 3.86 INV OUT: 3.86
ST-12 TYPE 9 CURB INLET GRATE ELEV.: 9.69 INV IN: 3.06 INV OUT: 3.06	ST-36 MH RIM: 8.43 INV IN: 4.79 INV OUT: 4.79
ST-13 FDOT TYPE C INLET GRATE ELEV.: 10.30 INV IN: 3.02 INV OUT: 3.02	
ST-14 12" TRENCH DRAIN GRATE ELEV.: 13.23 INV OUT: 12.00	
ST-15 TYPE 9 CURB INLET GRATE ELEV.: 16.74 INV IN: 11.85 INV OUT: 11.85	
ST-16 TYPE 9 CURB INLET GRATE ELEV.: 16.73 INV IN: 11.69 INV OUT: 3.04	
ST-17 TYPE F INLET GRATE ELEV.: 8.20 INV OUT: 3.27	
ST-18 TYPE F INLET GRATE ELEV.: 10.00 INV IN: 3.13 INV OUT: 3.13	
ST-19 TYPE 9 CURB INLET GRATE ELEV.: 7.41 INV IN: 3.08 INV IN: 3.58 INV OUT: 3.08	
ST-20 TYPE F INLET USF 5130-6168 WITH RETICUTLINE GRATE GRATE ELEV.: 8.63 INV OUT: 3.06	
ST-21 TYPE F INLET USF 5130-6168 WITH RETICUTLINE GRATE GRATE ELEV.: 8.63 INV OUT: 3.06	
ST-22 TYPE F INLET GRATE ELEV.: 7.50 INV IN: 3.84 INV IN: 2.96 INV OUT: 3.17	
ST-23 MH RIM: 7.54 INV IN: 3.16 INV OUT: 3.16	

YARD DRAIN

YD-01 YARD DRAIN GRATE: 10.02 INV OUT: 6.46	YD-24 YARD DRAIN GRATE: 8.00 INV OUT: 5.33
YD-02 24" YARD DRAIN GRATE: 7.50 INV OUT: 2.16	YD-25 YARD DRAIN GRATE: 7.94 INV IN: 5.29 INV OUT: 5.12
YD-03 24" YARD DRAIN GRATE: 7.05 INV IN: 5.33 INV OUT: 5.35	YD-26 YARD DRAIN GRATE: 7.94 INV IN: 5.35 INV IN: 5.33 INV OUT: 5.35
YD-04 24" YARD DRAIN GRATE: 4.35 INV OUT: 2.16	YD-27 YARD DRAIN GRATE: 8.06 INV OUT: 5.38
YD-05 24" YARD DRAIN GRATE: 6.42 INV OUT: 2.16	YD-28 YARD DRAIN GRATE: 7.87 INV OUT: 5.38
YD-06 YARD DRAIN GRATE: 8.53 INV OUT: 4.01	YD-29 YARD DRAIN GRATE: 7.86 INV OUT: 4.89
YD-07 YARD DRAIN GRATE: 8.95 INV IN: 3.96 INV OUT: 3.96	YD-30 YARD DRAIN GRATE: 8.01 INV IN: 4.71 INV OUT: 4.55
YD-08 YARD DRAIN GRATE: 8.99 INV IN: 3.90 INV OUT: 3.90	YD-31 YARD DRAIN GRATE: 7.93 INV IN: 4.75 INV IN: 4.92 INV OUT: 4.75
YD-09 YARD DRAIN GRATE: 7.84 INV IN: 5.42 INV OUT: 5.26	YD-32 YARD DRAIN GRATE: 8.00 INV OUT: 4.93
YD-10 YARD DRAIN GRATE: 7.85 INV IN: 5.63 INV IN: 5.63 INV OUT: 4.77	YD-33 YARD DRAIN GRATE: 8.02 INV OUT: 4.96
YD-11 YARD DRAIN GRATE: 8.20 INV OUT: 5.66	YD-35 YARD DRAIN GRATE: 9.43 INV IN: 4.95 INV OUT: 4.95
YD-12 YARD DRAIN GRATE: 8.21 INV OUT: 5.73	YD-36 24" YARD DRAIN GRATE: 9.01 INV OUT: 5.00
YD-13 24" YARD DRAIN GRATE: 4.41 INV OUT: 2.16	YD-37 YARD DRAIN GRATE: 10.03 INV IN: 3.02 INV IN: 3.35 INV OUT: 3.02
YD-14 24" YARD DRAIN GRATE: 4.35 INV OUT: 2.16	YD-38 YARD DRAIN GRATE: 8.59 INV OUT: 3.37
YD-15 24" YARD DRAIN GRATE: 5.36 INV OUT: 2.16	YD-39 YARD DRAIN GRATE: 9.70 INV IN: 3.09 INV IN: 3.25 INV OUT: 3.09
YD-16A 24" YARD DRAIN GRATE: 4.39 INV OUT: 2.16	YD-40 YARD DRAIN GRATE: 9.57 INV IN: 3.47 INV OUT: 3.27
YD-16 24" YARD DRAIN GRATE: 5.16 INV OUT: 2.16	YD-41 YARD DRAIN GRATE: 7.90 INV IN: 3.53 INV OUT: 3.53
YD-17 YARD DRAIN GRATE: 7.93 INV IN: 4.69 INV OUT: 4.86	YD-42 YARD DRAIN GRATE: 8.00 INV IN: 3.56 INV OUT: 3.56
YD-18 YARD DRAIN GRATE: 8.02 INV IN: 4.75 INV OUT: 4.75	YD-43 YARD DRAIN GRATE: 8.00 INV IN: 3.11 INV OUT: 3.11
YD-19 YARD DRAIN GRATE: 8.06 INV IN: 5.14 INV IN: 4.81 INV OUT: 4.81	YD-44 YARD DRAIN GRATE: 9.80 INV IN: 3.11 INV OUT: 3.11
YD-20 YARD DRAIN GRATE: 8.00 INV OUT: 5.18	YD-45 YARD DRAIN GRATE: 9.80 INV IN: 3.30 INV OUT: 3.13
YD-21 YARD DRAIN GRATE: 8.10 INV IN: 5.01 INV IN: 5.01 INV OUT: 4.84	YD-46 YARD DRAIN GRATE: 9.80 INV IN: 3.34 INV OUT: 3.34
YD-22 YARD DRAIN GRATE: 8.33 INV OUT: 5.07	YD-47 YARD DRAIN GRATE: 9.70 INV IN: 3.37 INV OUT: 3.37
YD-23 YARD DRAIN GRATE: 7.94 INV IN: 5.08 INV IN: 5.24 INV OUT: 5.08	

CHAMBER CONNECTION

CH-01 CHAMBER CONNECTION INV IN: 2.16	CH-02 CHAMBER CONNECTION INV IN: 2.16	CH-03 CHAMBER CONNECTION INV IN: 2.16	CH-04 CHAMBER CONNECTION INV IN: 2.16	CH-05 CHAMBER CONNECTION INV IN: 2.16	CH-06 CHAMBER CONNECTION INV IN: 2.16	CH-07 CHAMBER CONNECTION INV IN: 2.16	CH-08 CHAMBER CONNECTION INV IN: 2.16	CH-09 CHAMBER CONNECTION INV IN: 2.16
MES-01 MES RIM: 5.39 INV IN: 3.60								

MITERED END SECTION

CLEAN-OUT

CO-01 STORM CLEAN-OUT RIM: 7.67 INV IN: 2.25 INV OUT: 2.25	CO-02 STORM CLEAN-OUT RIM: 7.61 INV IN: 2.28 INV IN: 2.16 INV OUT: 2.28	CO-03 STORM CLEAN-OUT RIM: 7.58 INV IN: 2.16 INV OUT: 2.16	CO-04 STORM CLEAN-OUT RIM: 9.25 INV IN: 4.97 INV OUT: 4.72	CO-05 STORM CLEAN-OUT RIM: 9.26 INV IN: 4.28 INV OUT: 3.41	CO-06 STORM CLEAN-OUT RIM: 4.56 INV IN: 3.83 INV IN: 3.83 INV OUT: 3.83	CO-07 STORM CLEAN-OUT RIM: 4.68 INV IN: 3.95 INV OUT: 3.95	CO-08 STORM CLEAN OUT RIM: 6.96 INV IN: 5.89	CO-09 STORM CLEAN-OUT RIM: 6.99 INV IN: 5.91
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VAULT CONNECTION

VT-01 VAULT CONNECTION INV IN: 3.00	VT-02 VAULT CONNECTION INV IN: 3.00	VT-03 VAULT CONNECTION INV IN: 3.00	VT-04 VAULT CONNECTION INV IN: 3.00	VT-05 VAULT CONNECTION INV IN: 3.00	VT-06 VAULT CONNECTION INV IN: 3.00	VT-07 VAULT CONNECTION INV IN: 3.00	VT-08 VAULT CONNECTION INV IN: 3.00	VT-09 VAULT CONNECTION INV IN: 2.07	VT-10 VAULT CONNECTION INV IN: 3.00	VT-11 VAULT CONNECTION INV IN: 3.00
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ROOF DRAIN

RD-01 ROOF DRAIN GRATE: 10.00 INV OUT: 2.30	RD-02 ROOF DRAIN GRATE: 10.00 INV OUT: 2.30	RD-03 ROOF DRAIN GRATE: 10.00 INV OUT: 6.00	RD-04 ROOF DRAIN GRATE: 7.08 INV OUT: 6.00	RD-05 ROOF DRAIN GRATE: 7.08 INV OUT: 6.00
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CALL 2 WORKING DAYS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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Kimley»Horn
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1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236
PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER
71465

KHA PROJECT
149581008
DATE
MAR. 2021
SCALE AS SHOWN
DESIGNED BY TEC
DRAWN BY CLL
CHECKED BY DLF

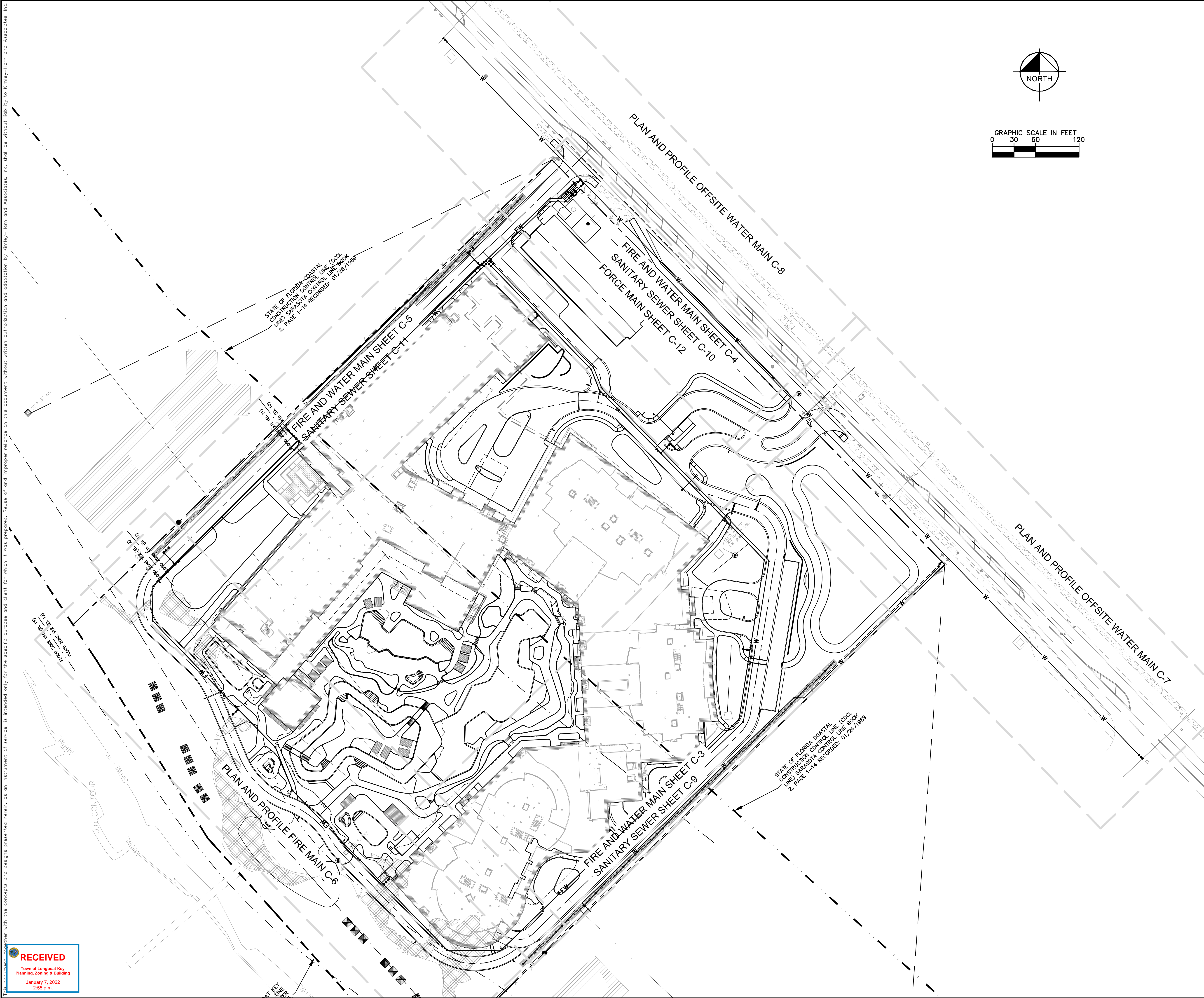
STORM STRUCTURE
DATA TABLE

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC
FLORIDA

SHEET NUMBER
B-21

10/20/21
FINAL SITE PLAN COMPLIANCE REVIEW
REVISIONS
DATE
BY

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: mamold



SHEET NUMBER C-2	LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC	FLORIDA	PROFILE INDEX PLAN	KHA PROJECT 149581008	LICENSED PROFESSIONAL	Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696	FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	
				DATE MAR. 2021				
				SCALE AS SHOWN				
				DESIGNED BY				
				DRAWN BY				
				CHECKED BY				
				DATE:				
				FLORIDA LICENSE NUMBER 71465	BRITT L. STEPHENS, P.E.			

[illegible]

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ALL PRESSURE MAINS SHALL HAVE A MINIMUM 3' OF COVER UNLESS OTHERWISE NOTED.

ALL WATER MAINS SHALL BE PVC, C-900, DR-18, UNLESS OTHERWISE NOTED.

ALL FIRE MAINS SHALL BE PVC, C-900, DR-14, UNLESS OTHERWISE NOTED.

ALL FORCE MAINS SHALL BE PVC, C-900, DR-25, UNLESS OTHERWISE NOTED.

SANITARY SEWER GRAVITY COLLECTION SYSTEM SHALL BE PVC, SDR-26, UNLESS OTHERWISE NOTED.

ALL GATE VALVES TO BE INSTALLED OUTSIDE OF ALL CURBS, SIDEWALKS AND HANDICAP RAMPS.

ALL FIRE HYDRANTS SHALL BE LOCATED 1' BACK OF R/W TYPICALLY, UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.

ALL PROFILES MAY BE ROTATED FOR CLARITY.

SEE UTILITY DETAILS FOR SERVICE TERMINATIONS.

GRAVITY SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF MANHOLES.

THE MAXIMUM ALLOWABLE PRESSURE PIPE DEFLECTION IS 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

FIELD DEFLECT WATER, IRRIGATION AND REUSE MAINS TO CLEAR BEHIND INLETS WHERE REQUIRED.

WATER MAINS, IRRIGATION AND REUSE MAINS SHALL BE BEHIND BACK OF CURB (TYPICAL), UNLESS OTHERWISE NOTED OR SHOWN.

RESTRAINED JOINT PIPE SHALL BE USED FOR THE WATER, IRRIGATION, REUSE AND FORCE MAINS AS PER DETAILS AND NOTES.

PROFILE GRADE IS GRADE ABOVE PIPES.

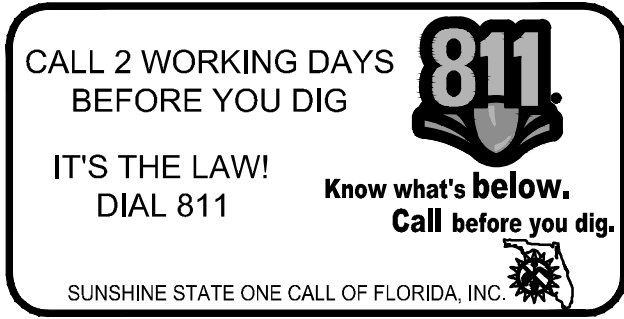
UTILITY SYMBOLS ON THE PLAN MAY APPEAR LARGER THAN ACTUAL SIZE OR MOVED FROM INTENDED LOCATION FOR CLARITY. UTILITY APPURTENANCES ARE TO BE INSTALLED PER DETAILS IN PLAN SET OR REFERENCED STANDARD DETAILS.

PRECAST MANHOLES TO BE INSTALLED PER MANATEE COUNTY STANDARD DETAIL.

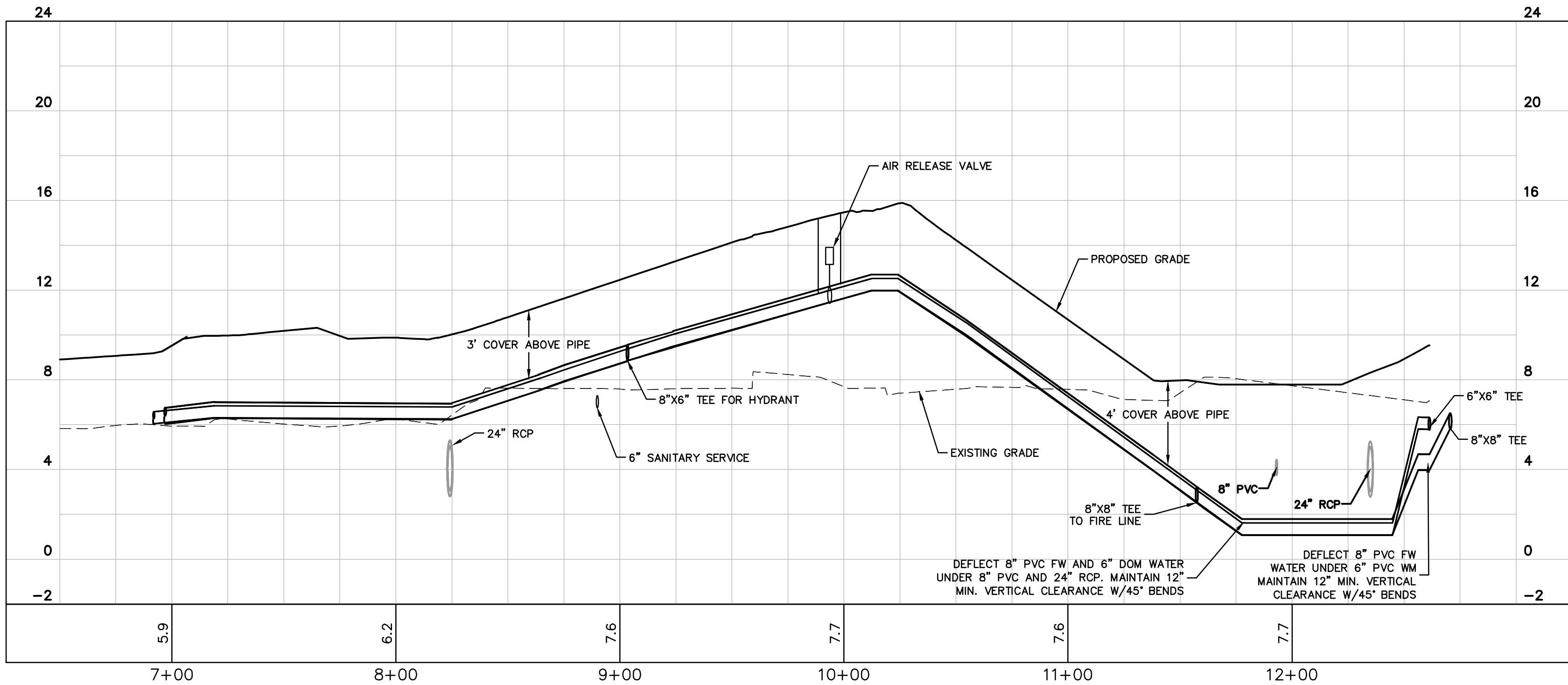
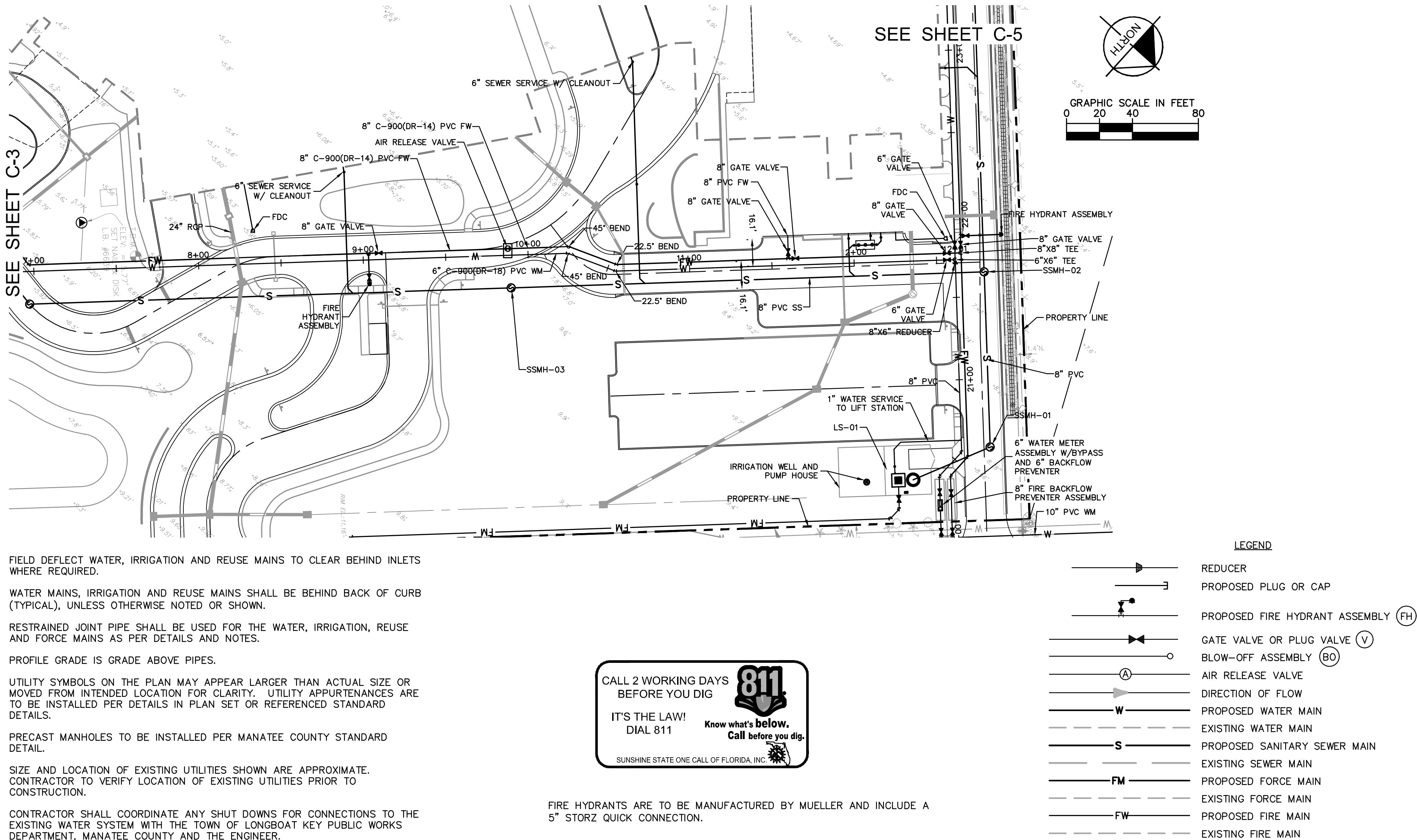
SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS FOR CONNECTIONS TO THE EXISTING WATER SYSTEM WITH THE TOWN OF LONGBOAT KEY PUBLIC WORKS DEPARTMENT, MANATEE COUNTY AND THE ENGINEER.

CONTRACTOR IS TO USE CAUTION TO PROTECT EXISTING 21" VCP WASTEWATER GRAVITY MAIN LOCATED IN GULF OF MEXICO DRIVE R.O.W. DAMAGE TO THIS MAIN RESULTING FROM CONSTRUCTION ACTIVITIES IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.



FIRE HYDRANTS ARE TO BE MANUFACTURED BY MUELLER AND INCLUDE A 5" STORZ QUICK CONNECTION.

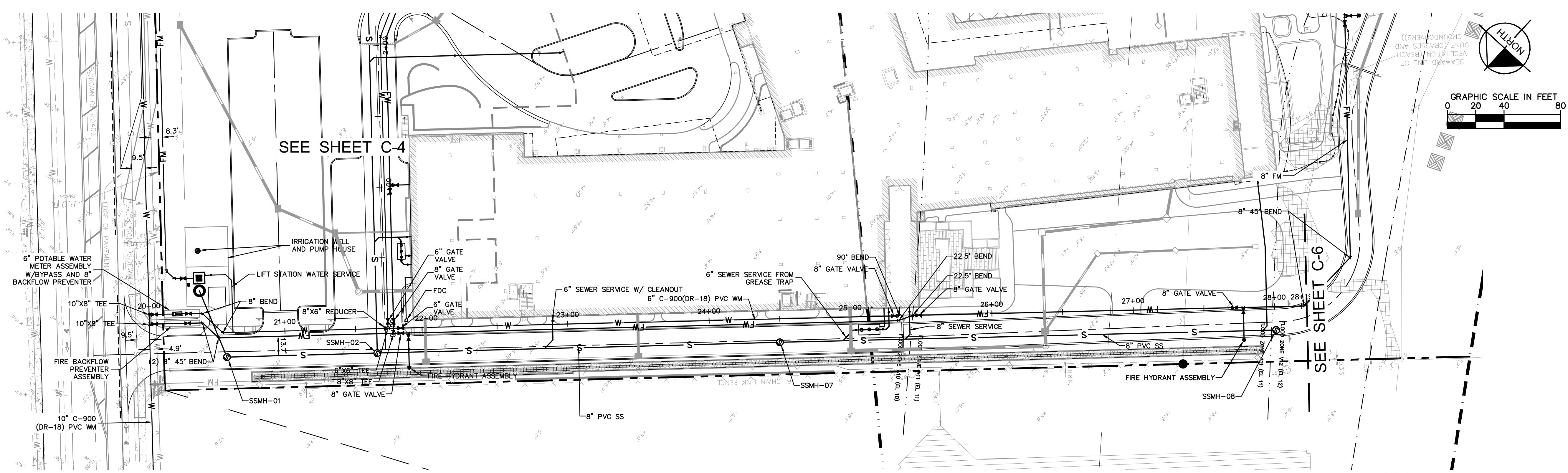
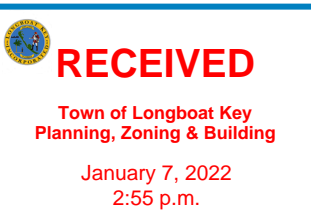


SCALE:
HORIZ: 1"=40'
VERT. 1"=4'

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 0000696		No.	REVISIONS	10/20/21	DATE	BY
KHA PROJECT 149581008		LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E.		DESIGNED BY 71465		DATE: ---		
DATE MAR. 2021		SCALE AS SHOWN		DRAWN BY		CHECKED BY		
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA		LONGBOAT KEY		SHEET NUMBER C-4		

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: mamold

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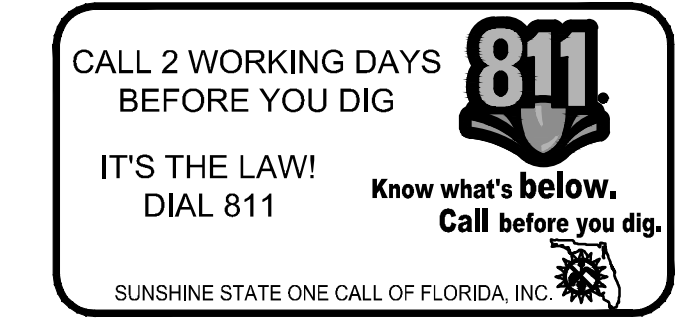
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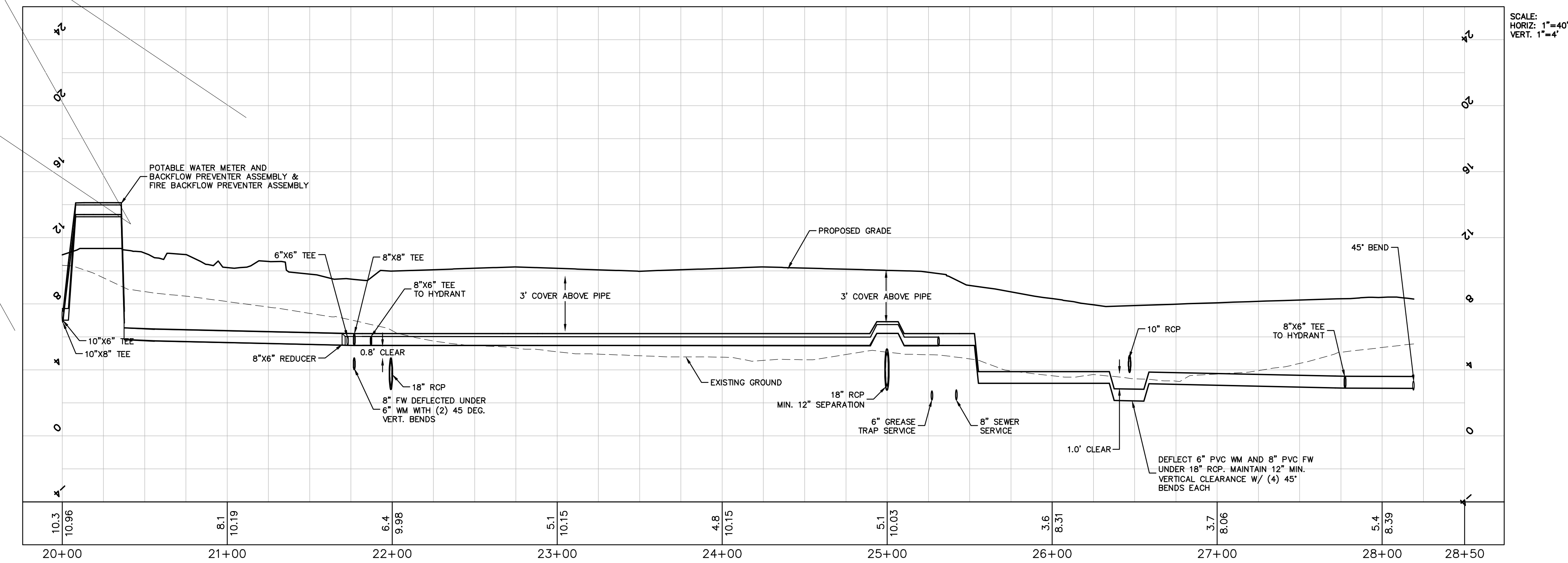
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PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 0000696

LICENSED PROFESSIONAL
BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER
71465

KHA PROJECT
149581008
DATE
MAR. 2021
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

DATE: ---

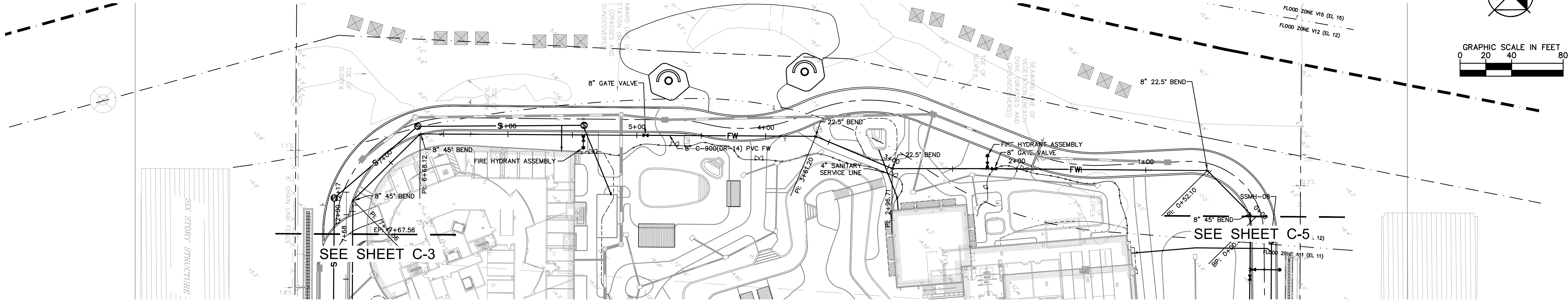
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FLORIDA
LONGBOAT KEY

SHEET NUMBER
C-5

FINAL SITE PLAN COMPLIANCE REVIEW
10/20/21
REVISIONS
BY
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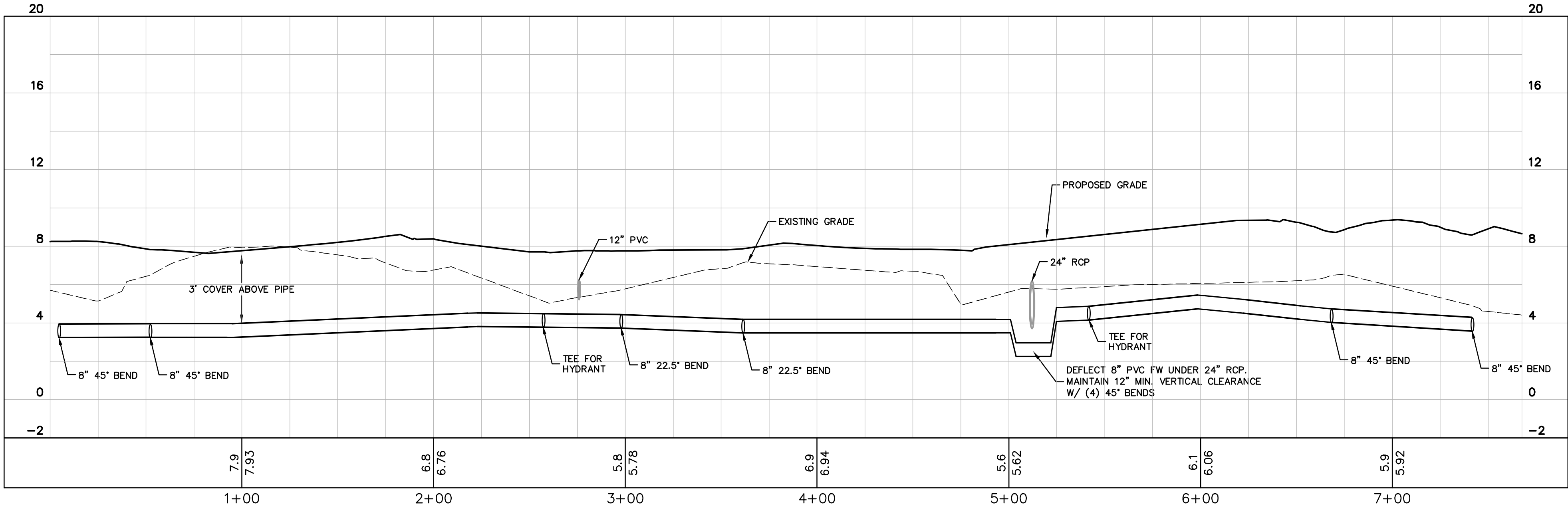
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NO.

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LICENSED PROFESSIONAL

BRITT L. STEPHENS, P.E.

FLORIDA LICENSE NUMBER
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DATE: ---

KHA PROJECT
149581008

DATE
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SCALE AS SHOWN

DESIGNED BY
TEG

DRAWN BY
CLL

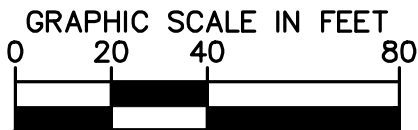
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DLP

LONGBOAT KEY HOTEL
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PREPARED FOR
UNICORP ACQUISITIONS, LLC

FLORIDA
LONGBOAT KEY

SHEET NUMBER
C-6

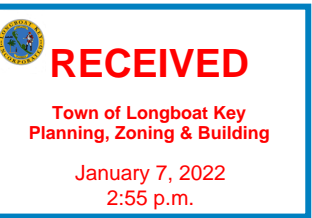
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No.	REVISIONS	DATE
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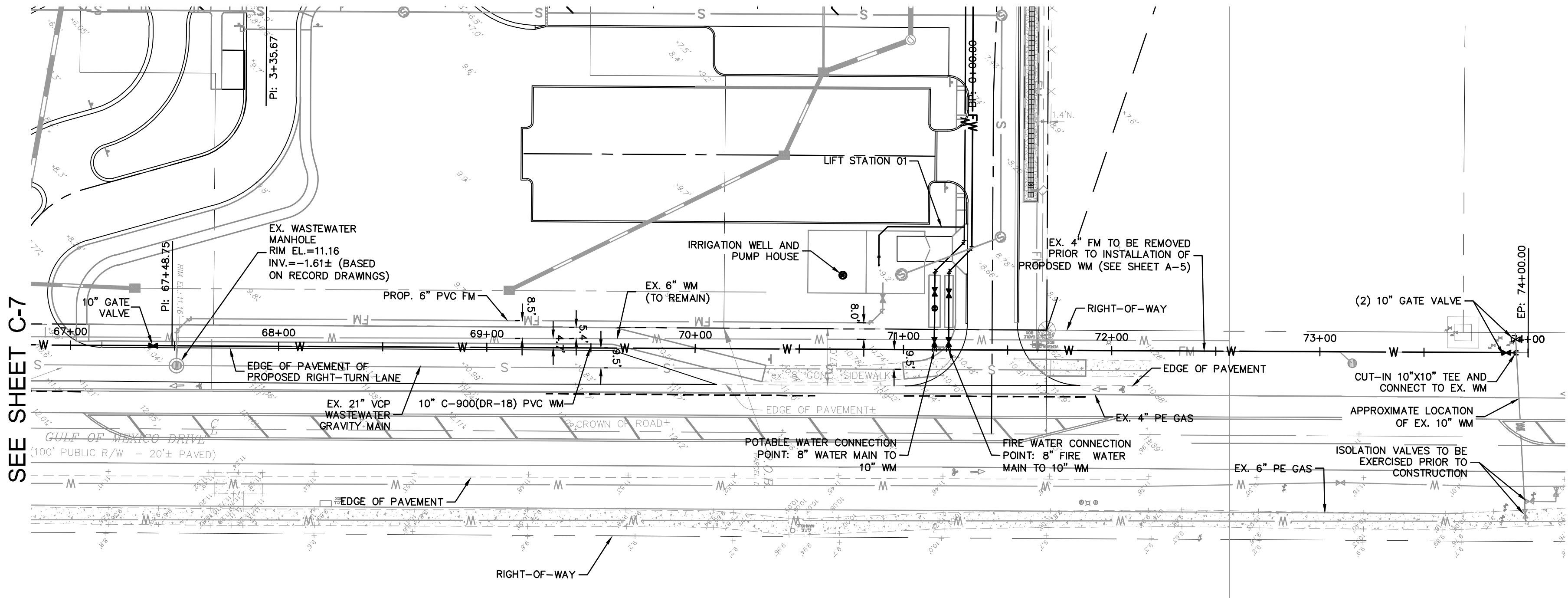
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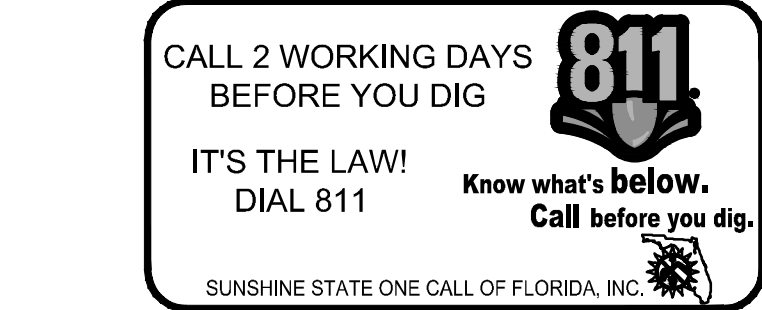
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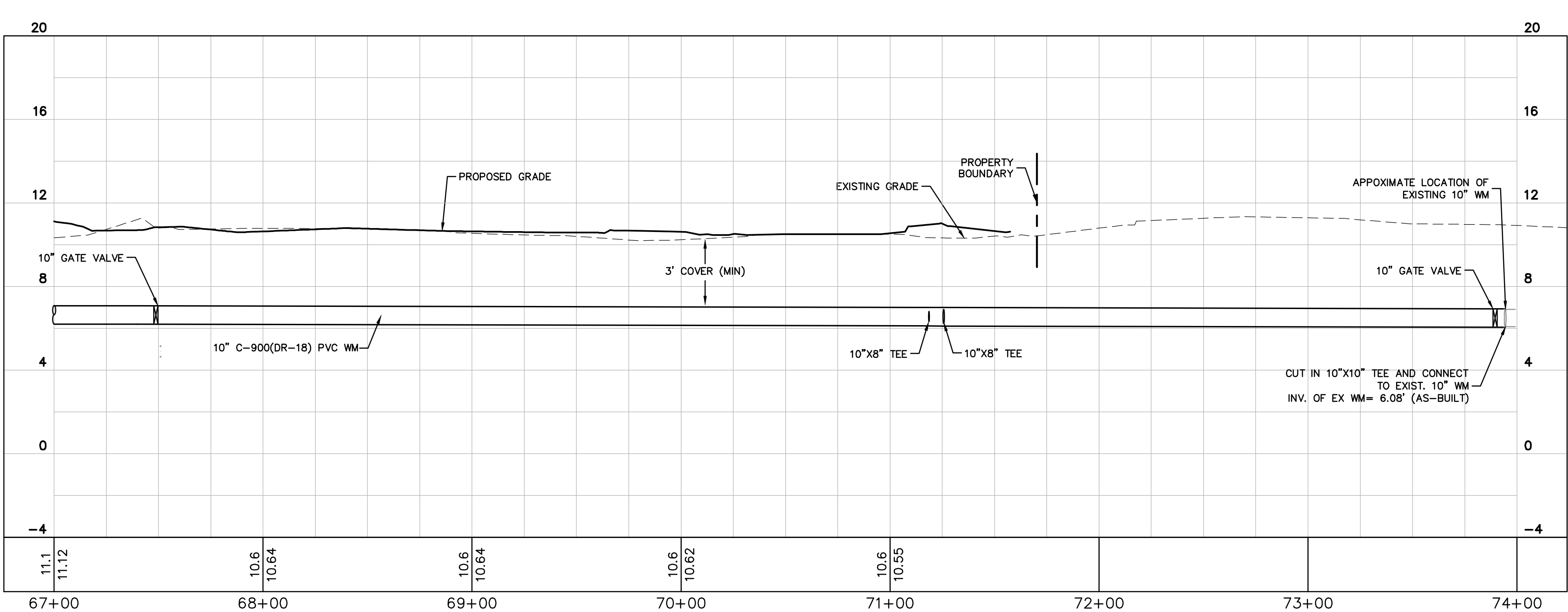


NOTE:
THERE IS NO GUARANTEE THAT EXISTING ISOLATION VALVES ON THE EXISTING WATER MAINS WILL NOT LEAK. THE CONTRACTOR SHALL BE PREPARED TO COLLECT, DECHLORINATE, AND DISPOSE OF LEAKAGE AS NEEDED. CONTRACTOR SHALL BE PREPARED TO TEMPORARILY PLUG AND/OR PROVIDE A LINE STOP.

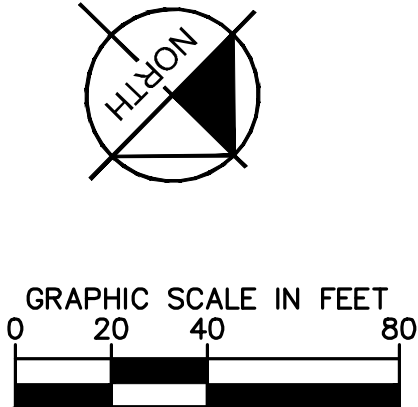
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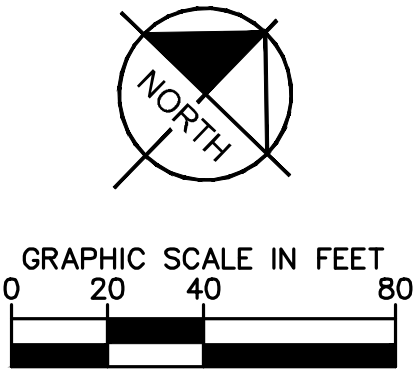
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DESIGNED BY TEG		FLORIDA LICENSE NUMBER 71465		REVISIONS	
DRAWN BY CLL		CHECKED BY DLP		No.	
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SHEET NUMBER C-8				BY	

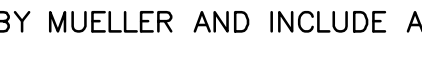
Reviewer: marnold
01/25/2022


RECEIVED
 Town of Longboat Key
 Planning, Zoning & Building
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 2:55 p.m.

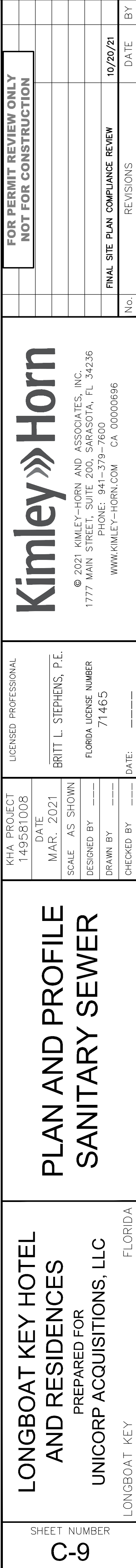


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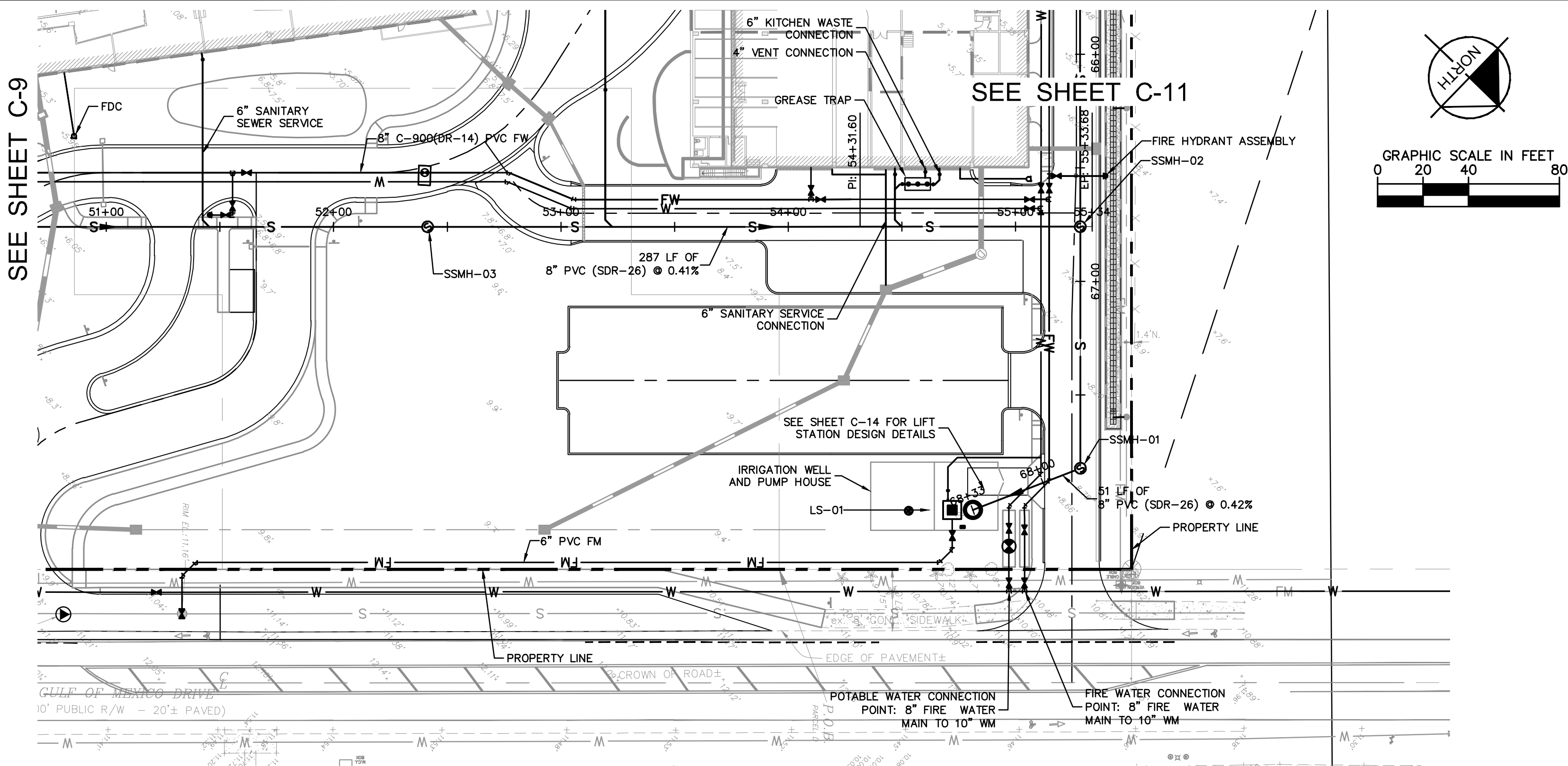
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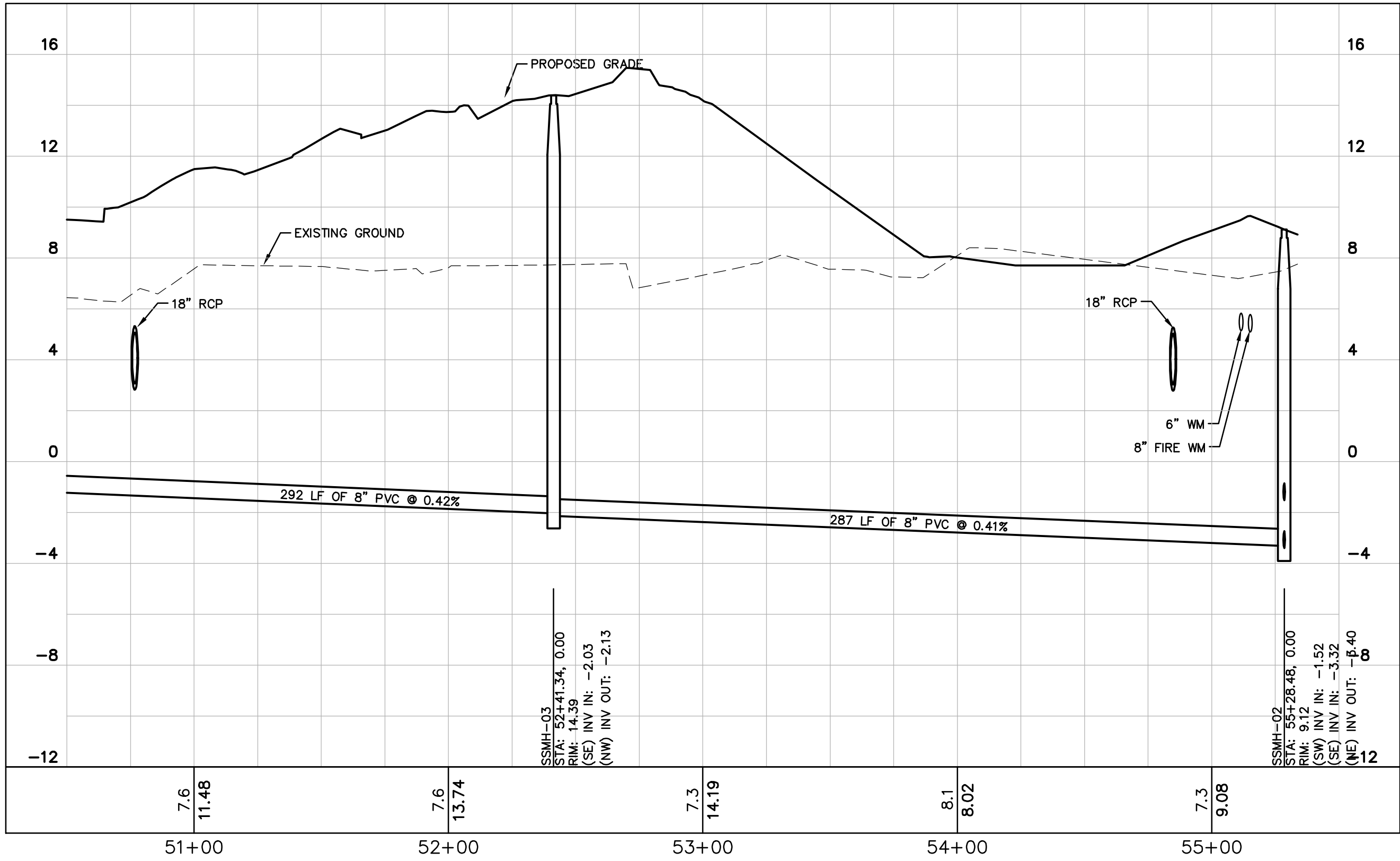
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REVISIONS

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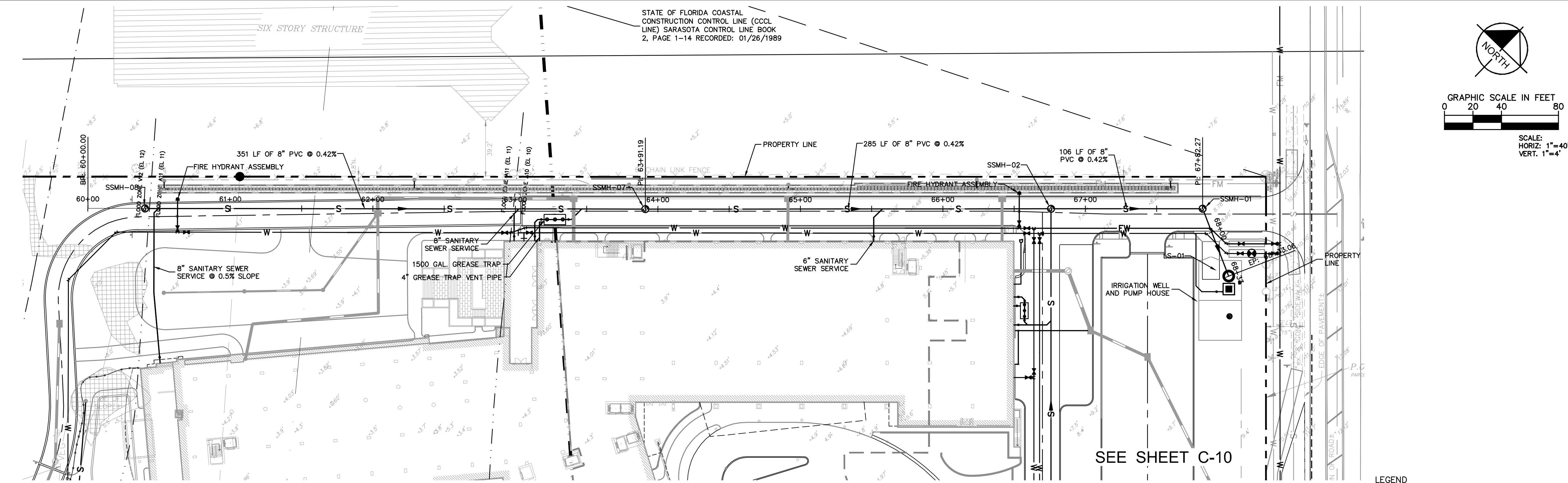
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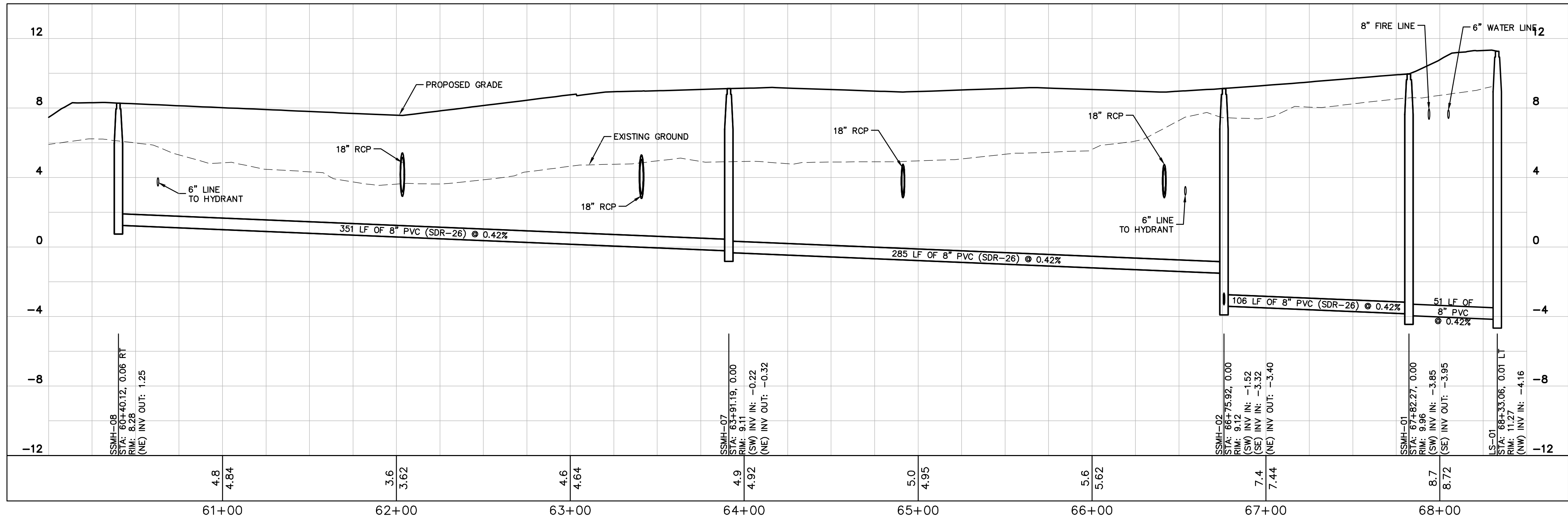
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FIRE HYDRANTS ARE TO BE MANUFACTURED BY MUELLER AND INCLUDE A 5" STORZ QUICK CONNECTION.

- LEGEND
- REDUCER
 - PROPOSED PLUG OR CAP
 - PROPOSED FIRE HYDRANT ASSEMBLY (FH)
 - GATE VALVE OR PLUG VALVE (V)
 - BLOW-OFF ASSEMBLY (BO)
 - AIR RELEASE VALVE
 - DIRECTION OF FLOW
 - PROPOSED WATER MAIN
 - EXISTING WATER MAIN
 - PROPOSED SANITARY SEWER MAIN
 - EXISTING SEWER MAIN
 - PROPOSED FORCE MAIN
 - EXISTING FORCE MAIN
 - PROPOSED FIRE MAIN
 - EXISTING FIRE MAIN



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PHONE: 941-379-7600
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER
71465

KHA PROJECT
149581008
DATE
MAR. 2021
SCALE
AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

LONGBOAT KEY HOTEL
AND RESIDENCES
PREPARED FOR
UNICORP ACQUISITIONS, LLC
FLORIDA
LONGBOAT KEY

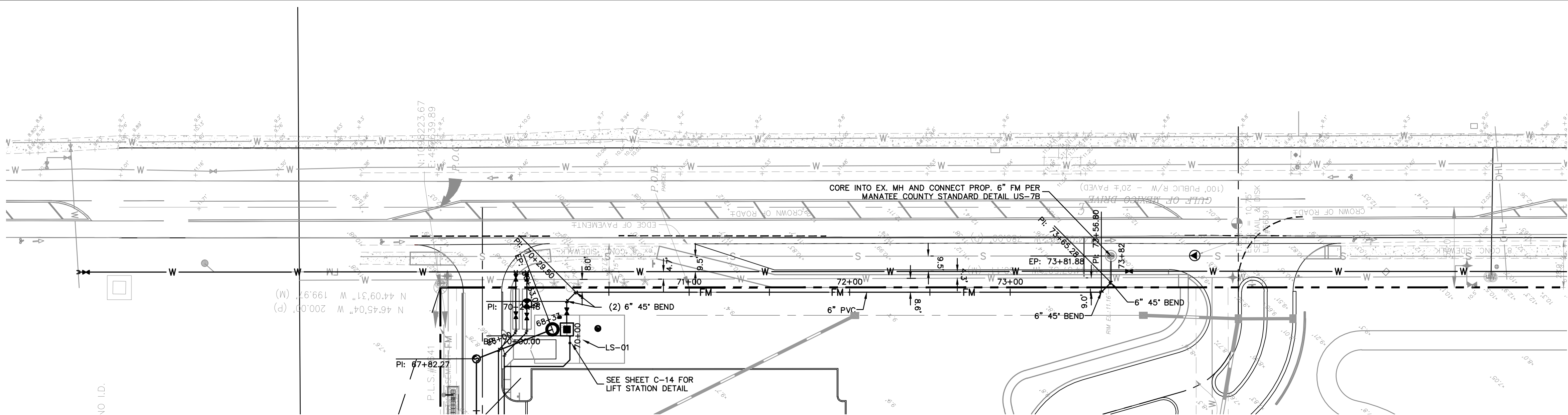
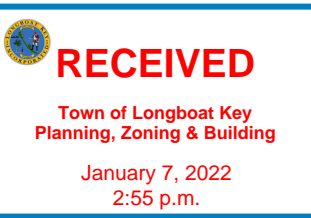
SHEET NUMBER
C-11

FINAL SITE PLAN COMPLIANCE REVIEW
10/20/21

REVISIONS

DATE
BY

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ALL PRESSURE MAINS SHALL HAVE A MINIMUM 3' OF COVER UNLESS OTHERWISE NOTED.

ALL WATER MAINS SHALL BE PVC, C-900, DR-18, UNLESS OTHERWISE NOTED.

ALL FIRE MAINS SHALL BE PVC, C-900, DR-14, UNLESS OTHERWISE NOTED.

ALL FORCE MAINS SHALL BE PVC, C-900, DR-25, UNLESS OTHERWISE NOTED.

SANITARY SEWER GRAVITY COLLECTION SYSTEM SHALL BE PVC, SDR-26, UNLESS OTHERWISE NOTED.

ALL GATE VALVES TO BE INSTALLED OUTSIDE OF ALL CURBS, SIDEWALKS AND HANDICAP RAMPS.

ALL FIRE HYDRANTS SHALL BE LOCATED 1' BACK OF R/W TYPICALLY, UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.

ALL PROFILES MAY BE ROTATED FOR CLARITY.

SEE UTILITY DETAILS FOR SERVICE TERMINATIONS.

GRAVITY SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF MANHOLES.

THE MAXIMUM ALLOWABLE PRESSURE PIPE DEFLECTION IS 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.

FIELD DEFLECT WATER, IRRIGATION AND REUSE MAINS TO CLEAR BEHIND INLETS WHERE REQUIRED.

WATER MAINS, IRRIGATION AND REUSE MAINS SHALL BE BEHIND BACK OF CURB (TYPICAL), UNLESS OTHERWISE NOTED OR SHOWN.

RESTRAINED JOINT PIPE SHALL BE USED FOR THE WATER, IRRIGATION, REUSE AND FORCE MAINS AS PER DETAILS AND NOTES.

PROFILE GRADE IS GRADE ABOVE PIPES.

UTILITY SYMBOLS ON THE PLAN MAY APPEAR LARGER THAN ACTUAL SIZE OR MOVED FROM INTENDED LOCATION FOR CLARITY. UTILITY APPURTENANCES ARE TO BE INSTALLED PER DETAILS IN PLAN SET OR REFERENCED STANDARD DETAILS.

PRECAST MANHOLES TO BE INSTALLED PER MANATEE COUNTY STANDARD DETAIL.

SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

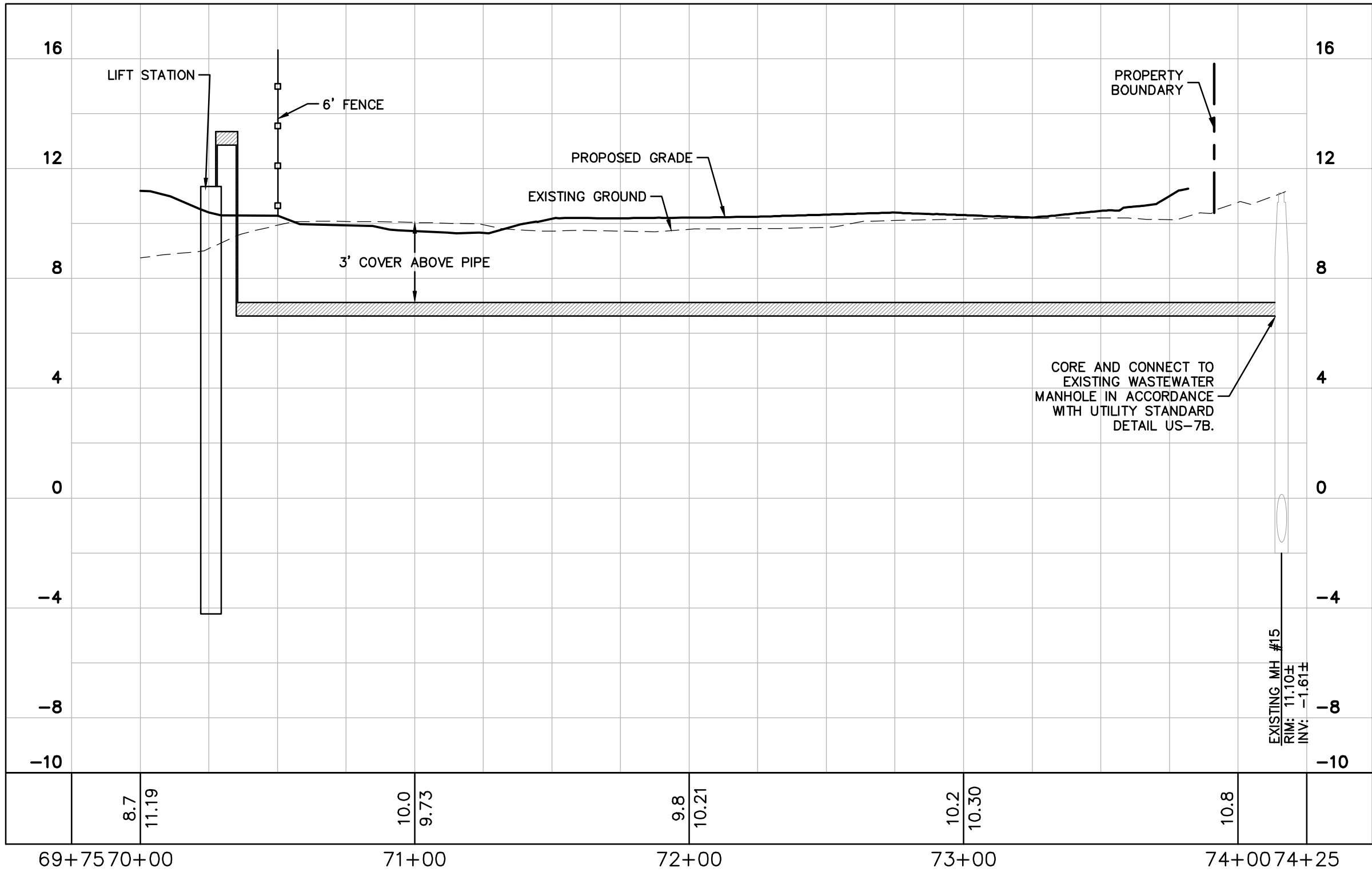
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 - EXISTING FORCE MAIN
 - PROPOSED FIRE MAIN
 - EXISTING FIRE MAIN



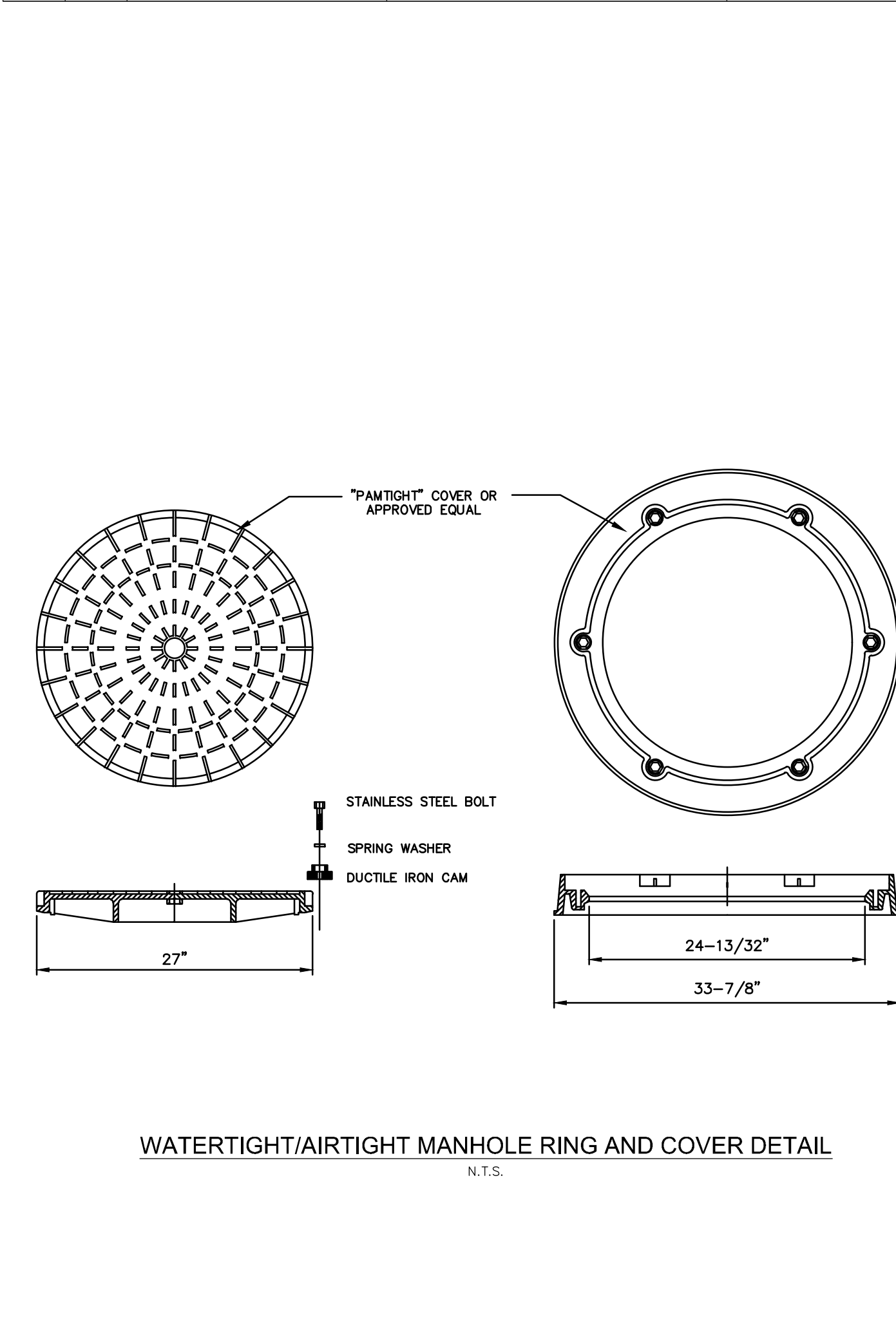
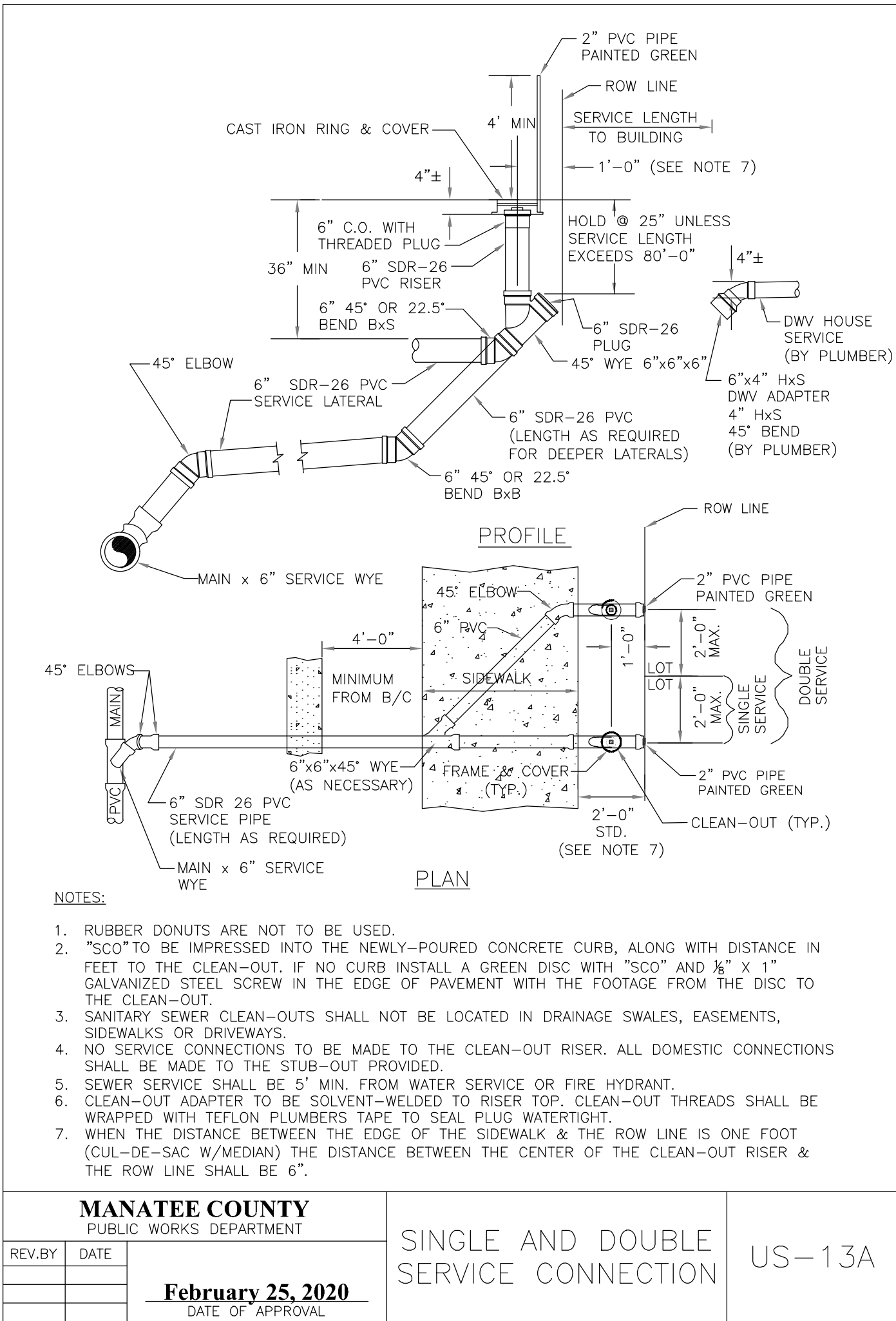
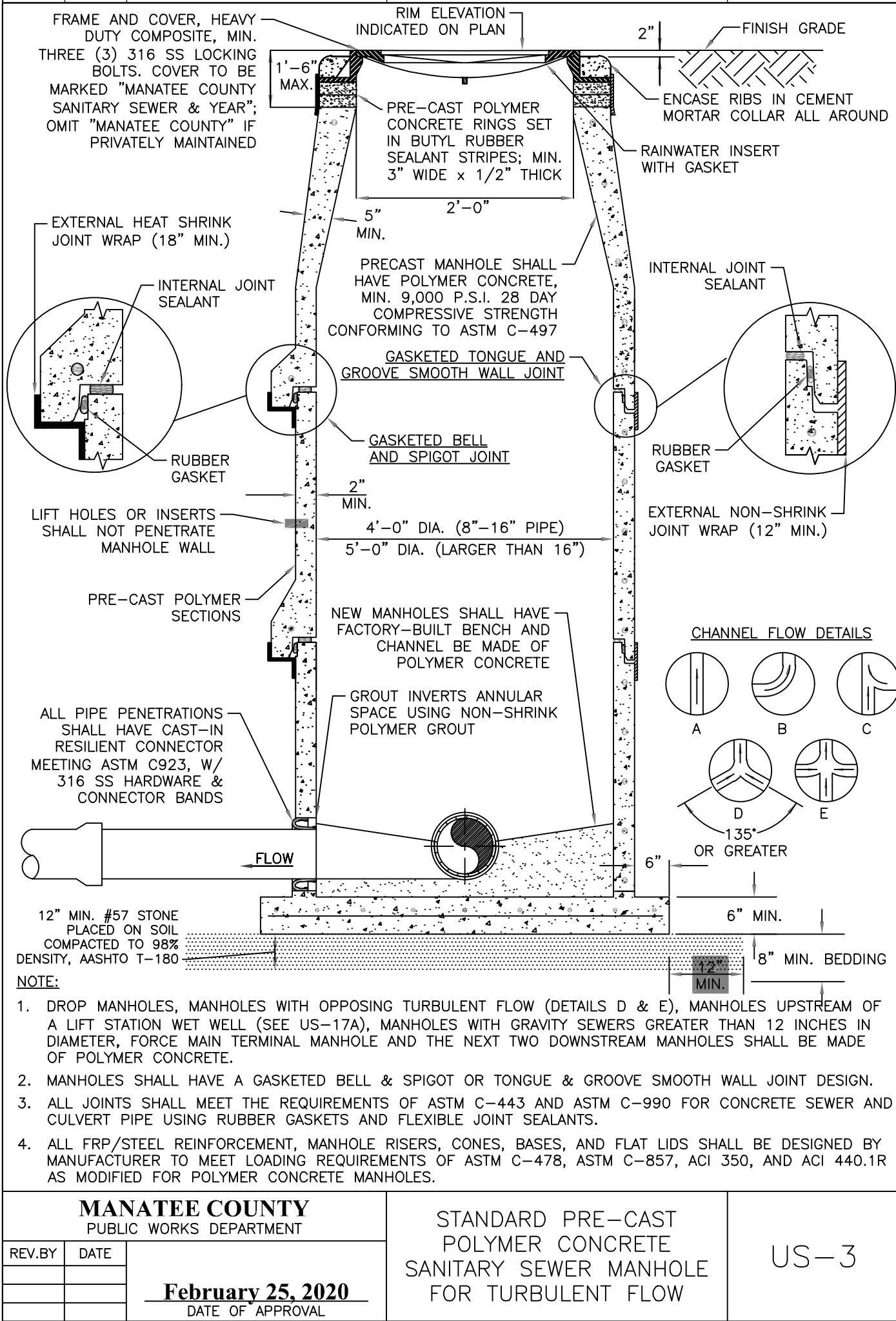
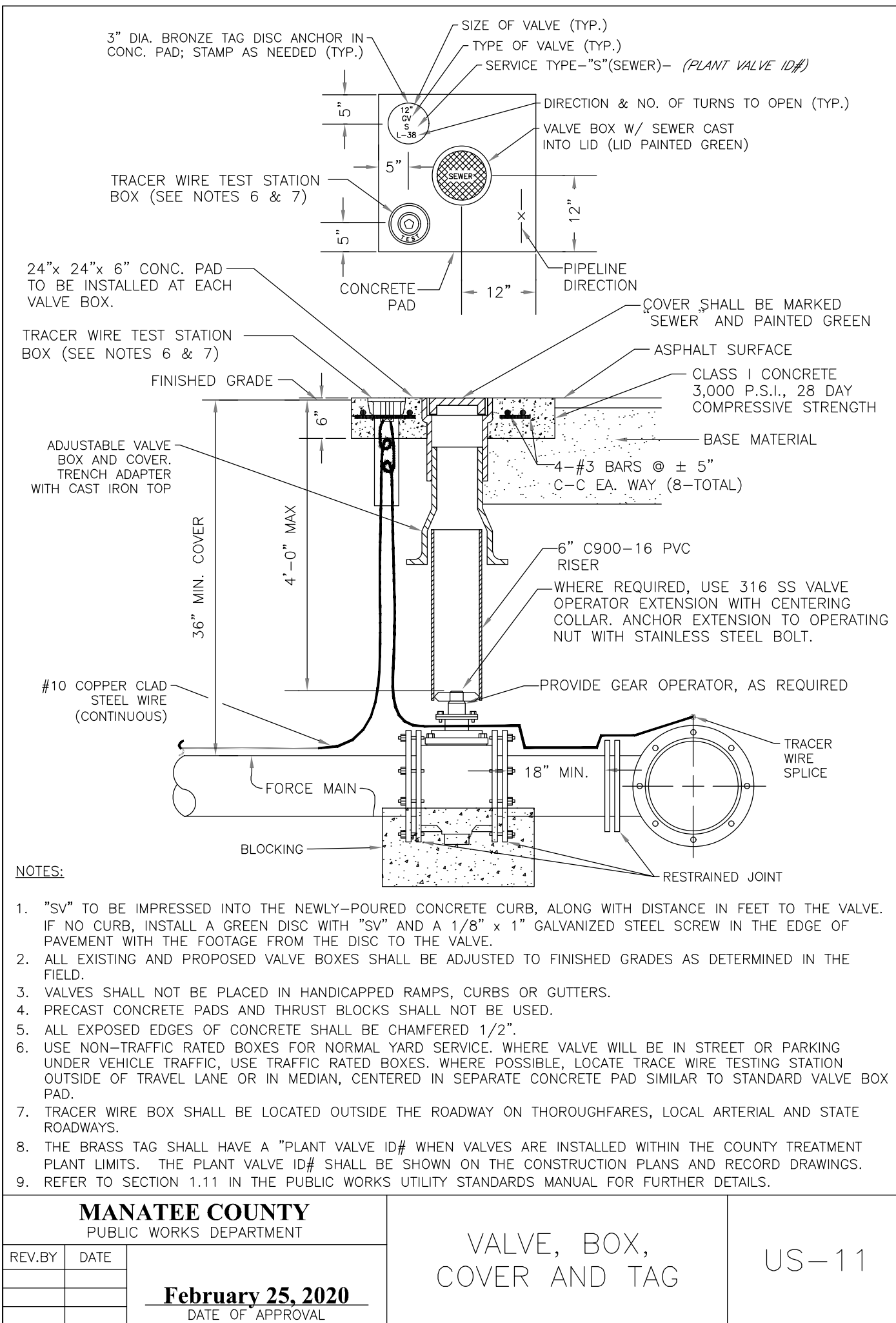
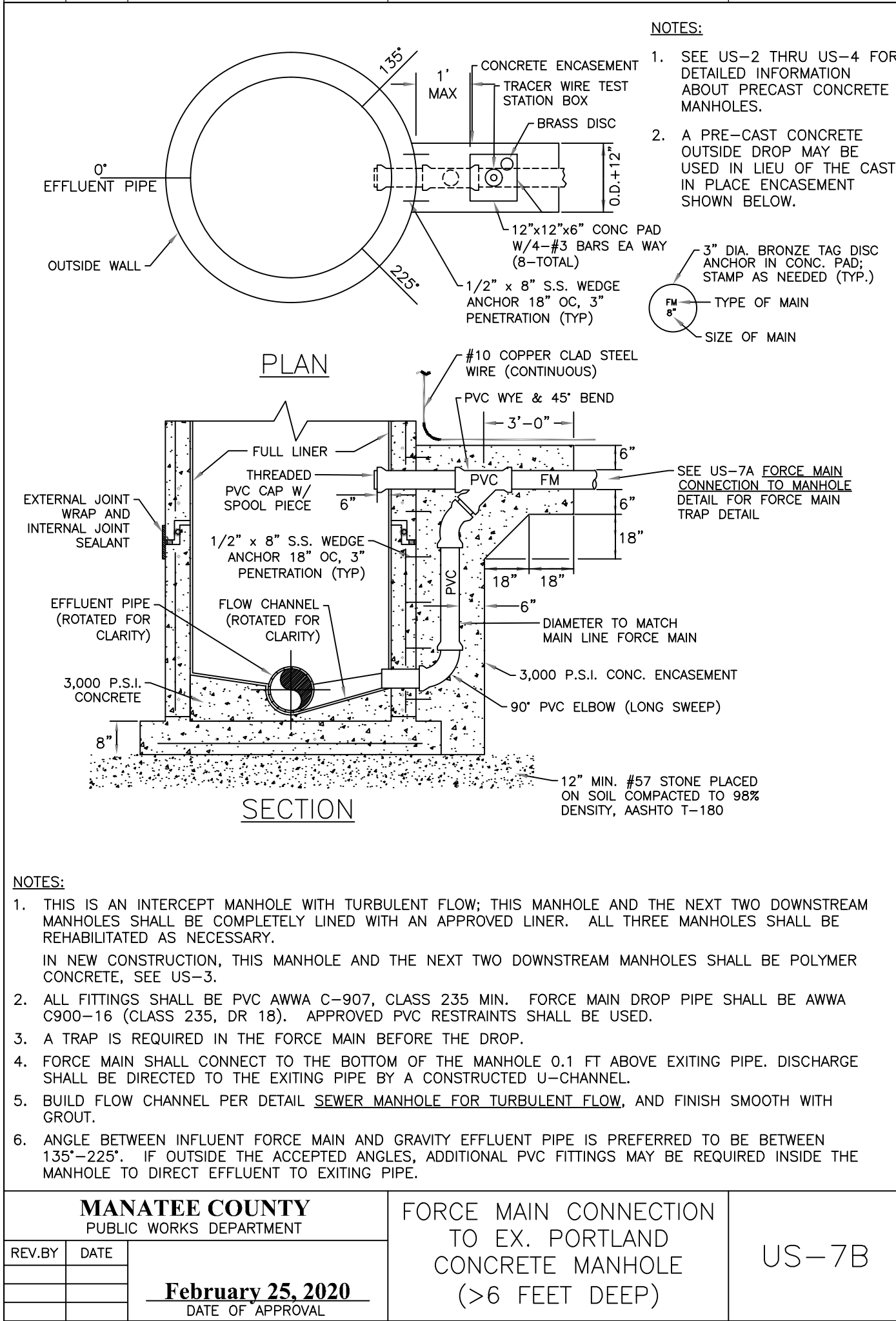
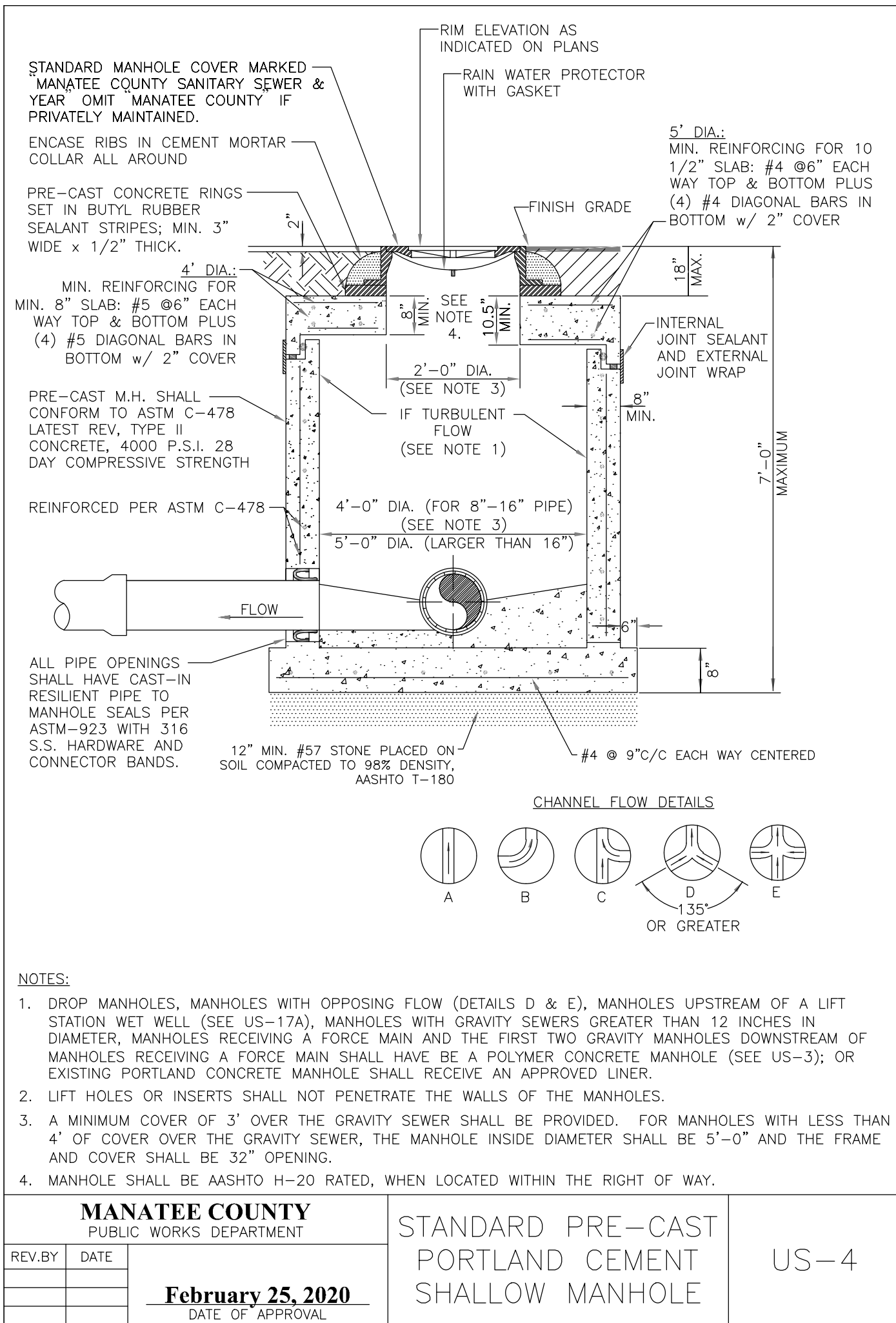
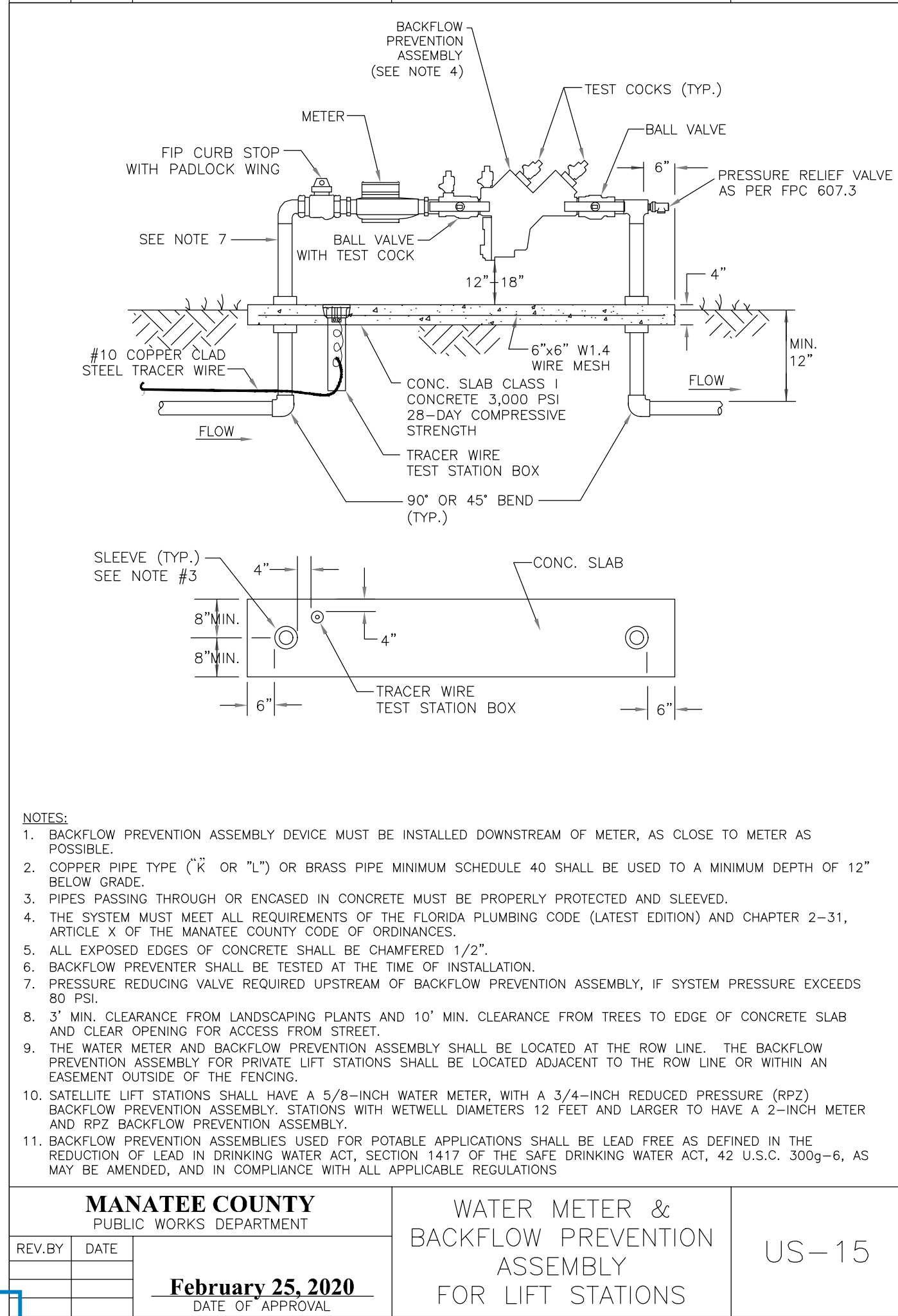
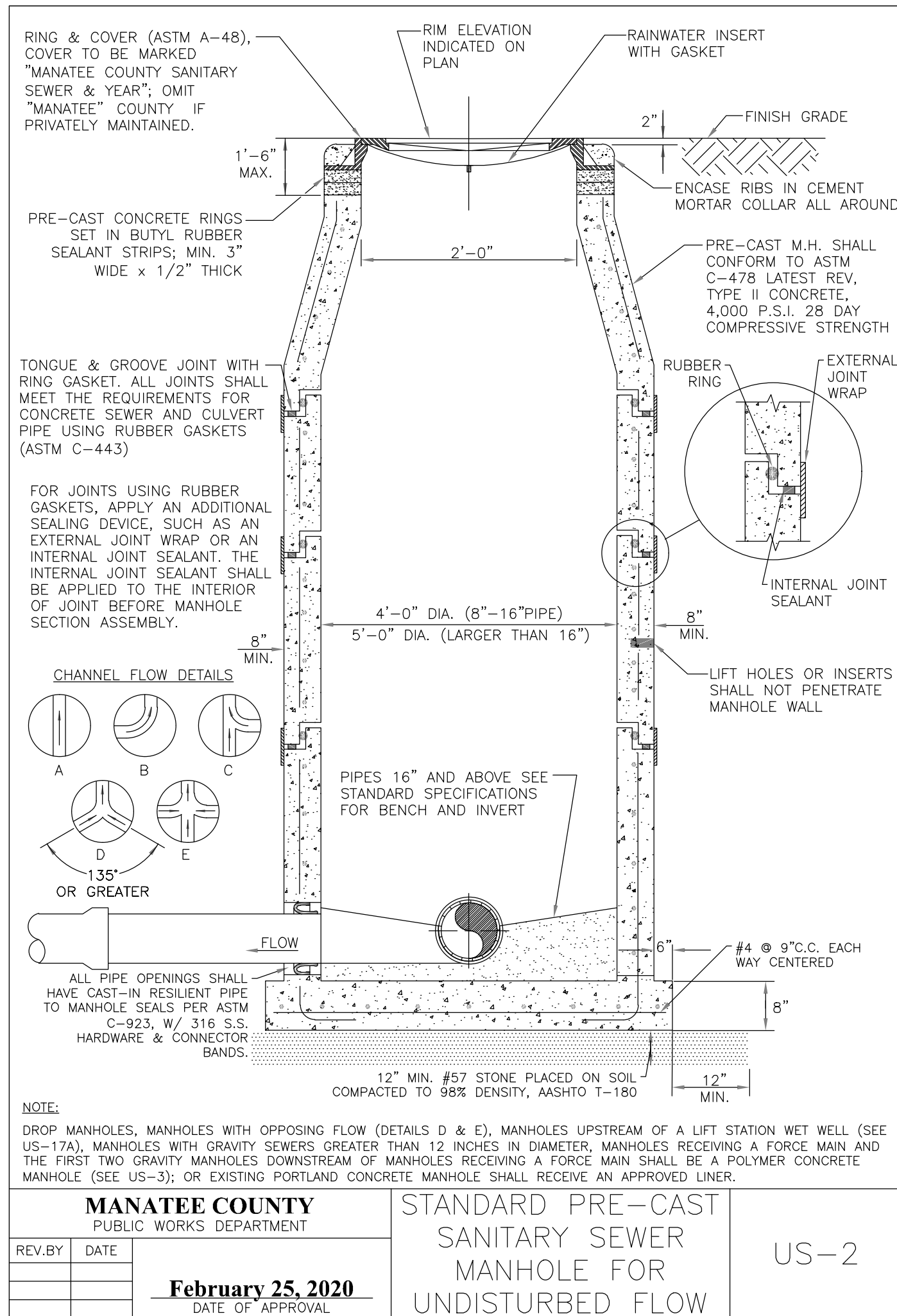
SCALE:
HORIZ: 1"=40'
VERT: 1"=4'

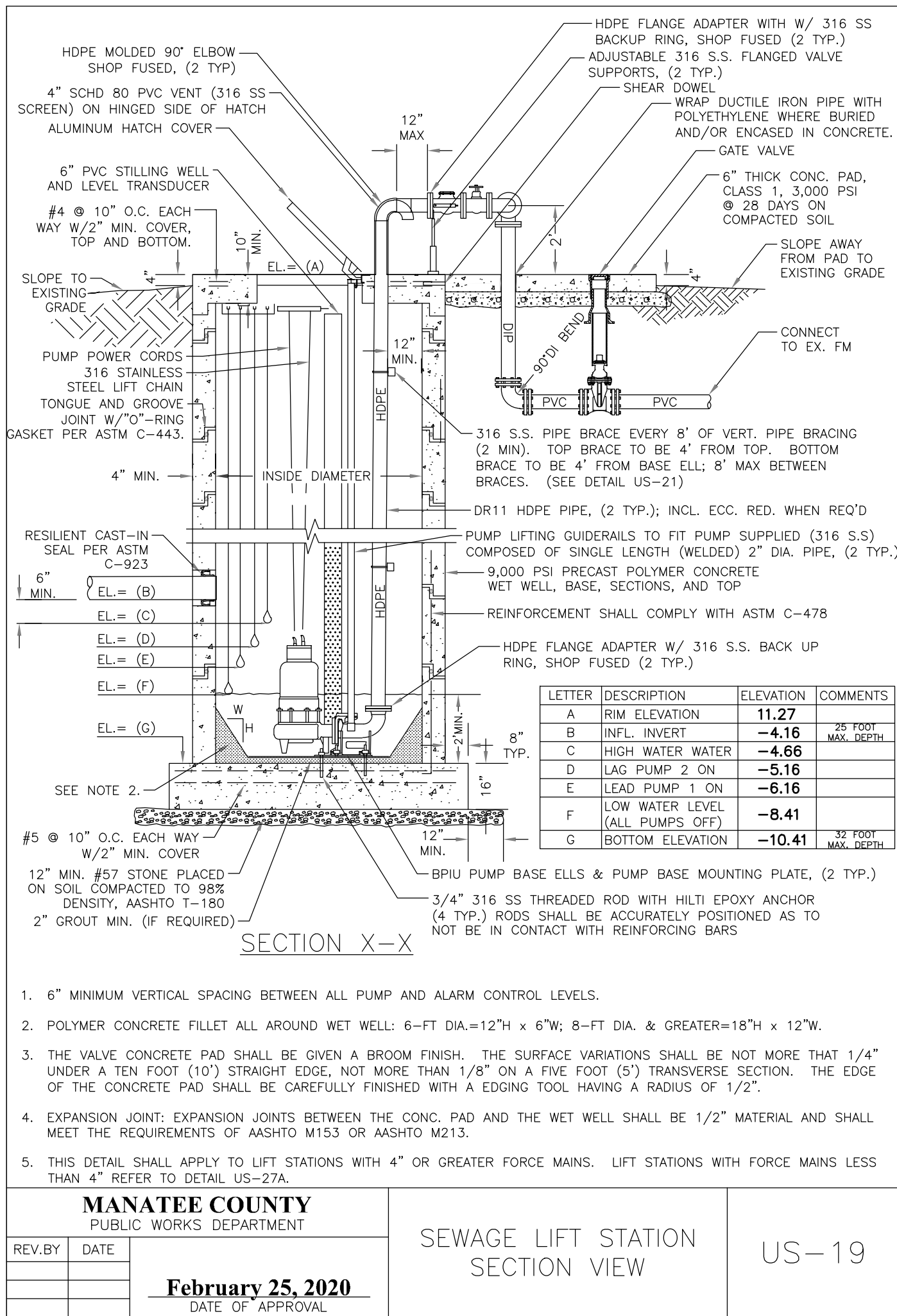
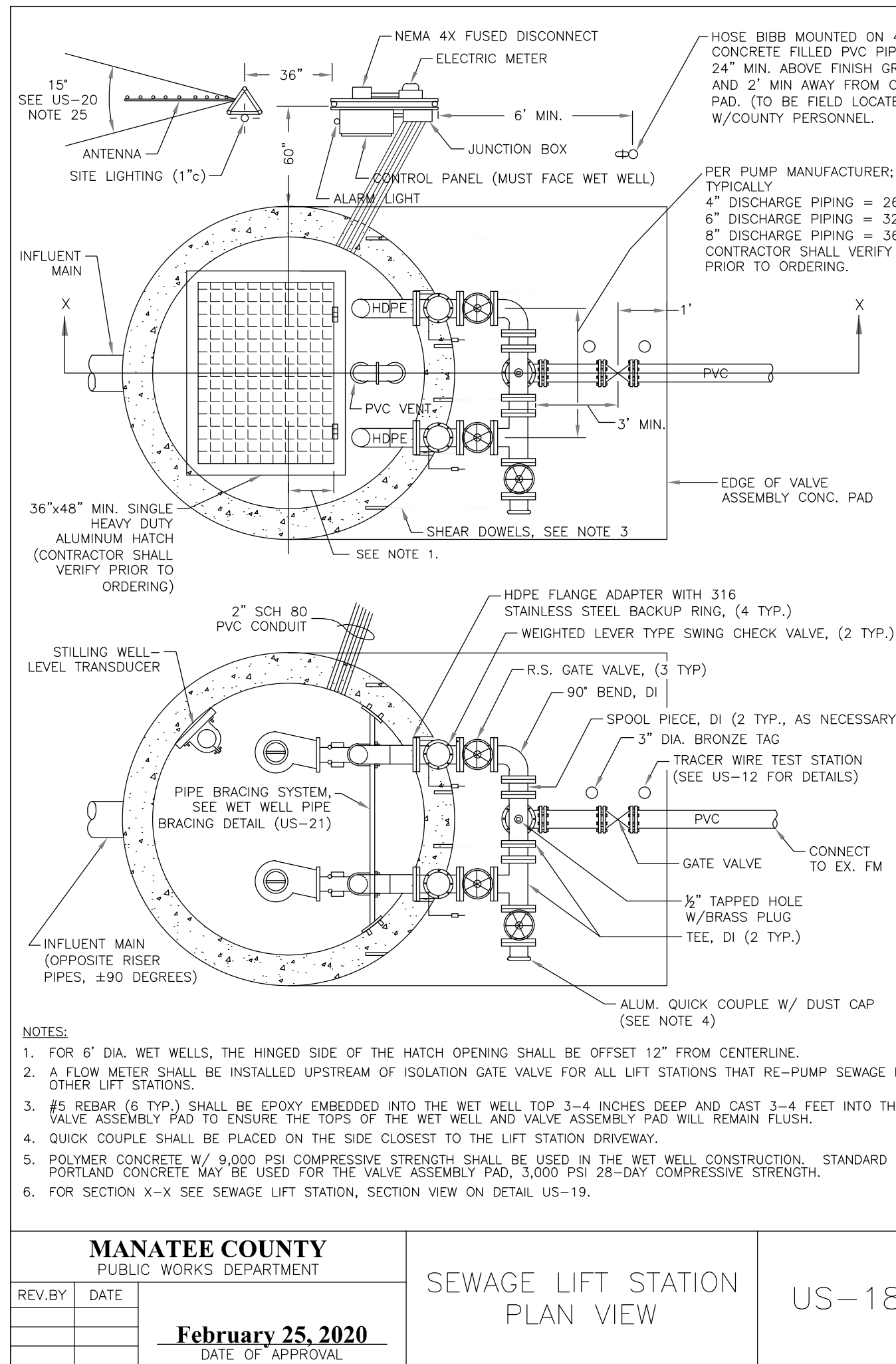
NOTE: THE FORCE MAIN CONNECTION REQUIRES CONNECTION MANHOLE AND NEXT TWO DOWNSTREAM MANHOLES TO BE COMPLETELY LINED WITH AN APPROVED LINER PER MANATEE COUNTY DETAIL US7B.

CLOSEST DOWNSTREAM MH (NORTH): 564 LF
NEXT DOWNSTREAM MH (NORTH): 1146 LF

M.O.T. PLAN TO BE PROVIDED BY THE CONTRACTOR FOR LINING ACTIVITIES.

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SHEET NUMBER C-12		LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA LONGBOAT KEY		DESIGNED BY AS SHOWN		REVISIONS	
10/20/21		10/20/21		10/20/21		10/20/21		BY	

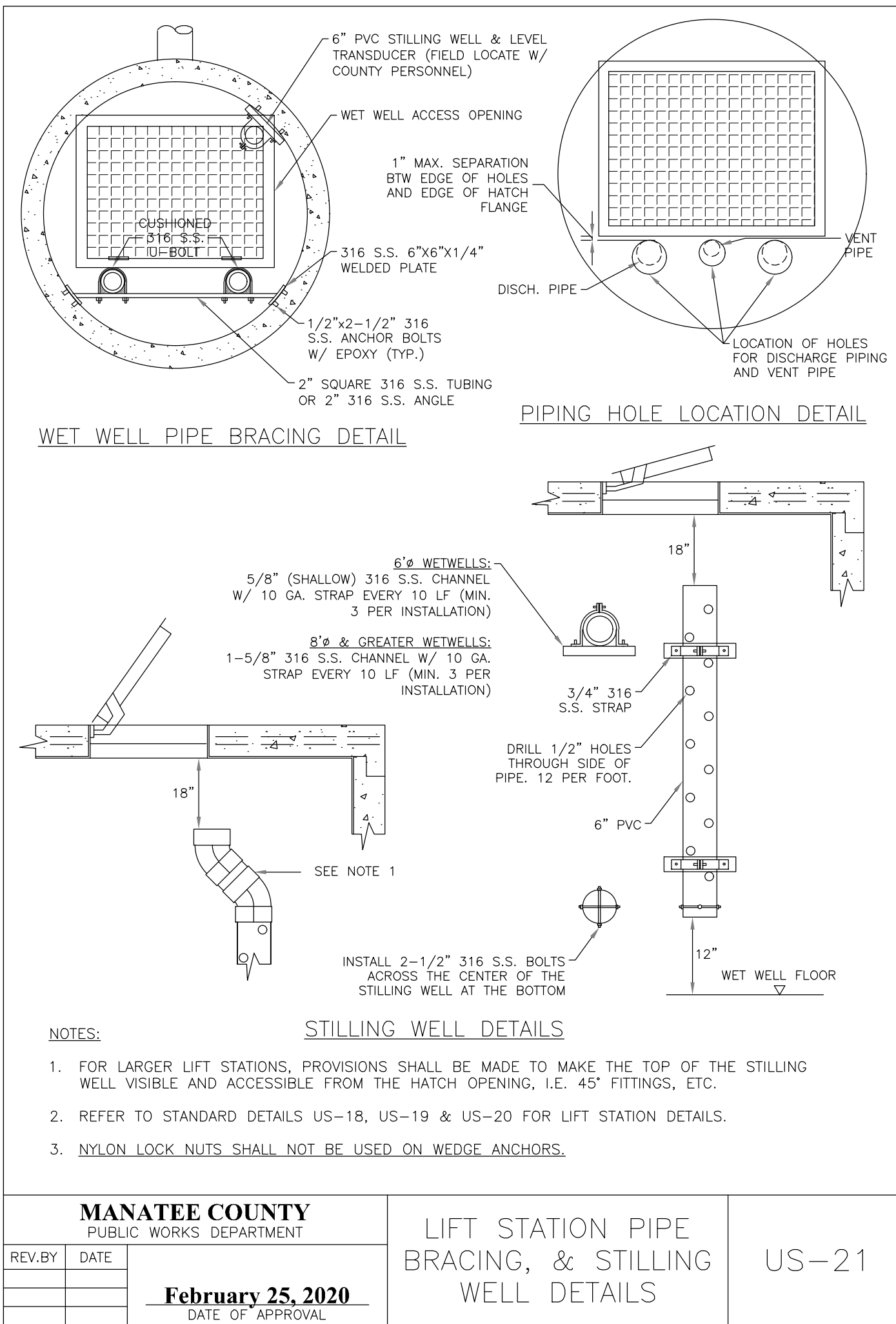
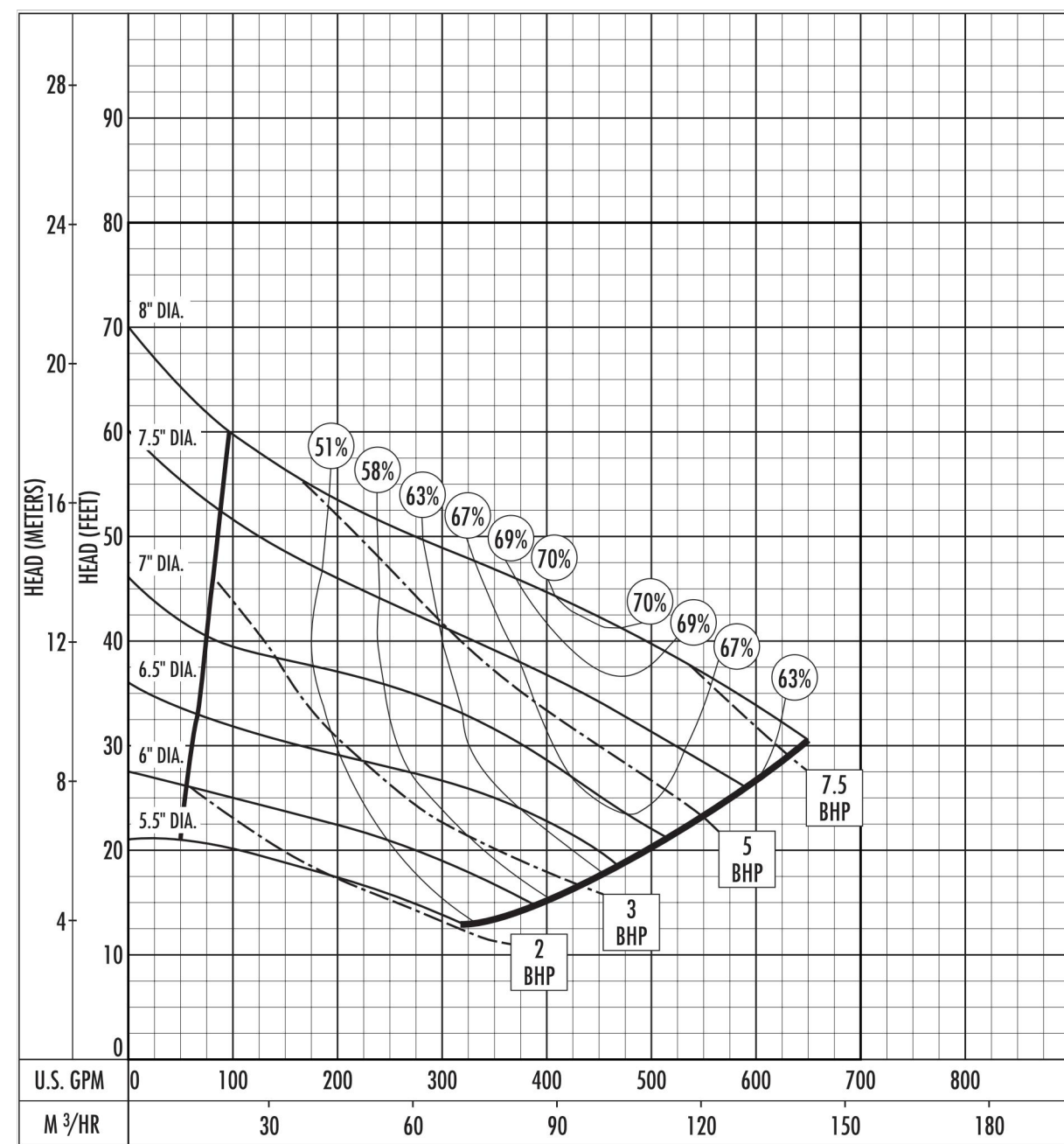




GENERAL LIFT STATION NOTES:

11. ALL ACCESS COVERS SHALL BE ALUMINUM, WITH 316 STAINLESS STEEL HARDWARE AND RATED FOR 300 PSI. LOADING. ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE SHALL HAVE 2 COATS BITUMASTIC EPOXY. TOTAL 16 MILS. DFT. ALL ACCESS COVERS SHALL BE EQUIPPED WITH A LOCKING STRAP OR BAR FOR USE WITH A PADLOCK. PADLOCKS FOR METWELL, FENCE GATE AND CONTROL PANELS OF PUBLICLY OWNED & MAINTAINED LIFT STATIONS SHALL BE FURNISHED BY THE MANATEE COUNTY WATER UTILITY. (021916)
12. INSTALL MET WELL VENT ON THE HINGED SIDE OF THE MET WELL HATCH COVER, BETWEEN DISCHARGE PIPING AND HATCH HEIGHT.
13. GROUND SHALL BE SLOPED AWAY FROM SLAB TO NATURAL GROUND ELEVATION IN ALL DIRECTIONS. A 4-INCH REVEAL SHALL BE PROVIDED AROUND THE STRUCTURE. SITE SHALL INCLUDE A WEED BARRIER FABRIC THAT IS COVERED WITH A 2-INCH THICK SHELL OR ROCK WITHIN LIFT STATION FENCINGS. SITE SHALL INCLUDE A WEED BARRIER FABRIC THAT IS COVERED WITH A 2-INCH THICK SHELL OR ROCK WITHIN THE SHRUBS AND UP TO OUTSIDE OF THE FENCE. WEED BARRIER FABRIC THAT IS COVERED WITH SHREDED WOOD-TYPE MULCH SHALL BE LOCATED UNDER THE TREES FOR A MINIMUM DISTANCE OF 3 FEET FROM THE TREE. SODDING OR SHREDED WOOD-TYPE MULCH SHALL BE INSTALLED ON THE REMAINDER OF THE SITE TO THE EXISTING EASEMENT LINE.
14. ALL FORCE MAIN PIPING AND FITTINGS FROM THE PUMP BASE ELBOW IN THE METWELL UP TO THE CHECK VALVE IN THE ABOVE GROUND VALVE ASSEMBLY, SHALL BE DR11 HOPE. THE HOPE FITTINGS SHALL BE MOLDED FITTINGS. ALL CONNECTIONS BETWEEN ABOVE GROUND VALVE ASSEMBLY AND THE SHRUBS AND UP TO THE CHECK VALVES SHALL BE MADE USING HOPE FLANGE ADAPTERS WITH 316 STAINLESS STEEL BACK RINGS. ALL HOPE CONNECTIONS SHALL BE THERMAL FUSED. ALL PIPING DOWNSTREAM OF THE VALVE ASSEMBLY TO THE FIRST BURIED FITTING SHALL BE DUCTILE IRON PIPE (CL-53). (021916)
15. ALL PIPING BELOW GROUND SHALL BE COLOR CODED IN ACCORDANCE WITH THESE STANDARDS. GREEN-RAIN SEWAGE, PURPLE-RECLAIMED, BLUE-POTABLE WATER.
16. ANCHORS & LIFTING DEVICES SHALL NOT PENETRATE THE WALLS OF THE WET WELL.
17. ALL TOP, SECTIONS, AND BASE SHALL BE PRECAST POLYMER CONCRETE, MIN. 8,000 PSI COMPRESSIVE STRENGTH. SEE SECTION 051000 FOR POLYMER CONCRETE SANITARY SEWER MANHOLE FOR TUBULES IN DETAIL.
18. ALL ABOVE-GROUND MANHOLE APPURTENANCES INCLUDING BOLTS, NUTS AND WASHERS SHALL BE 316 STAINLESS STEEL. BOLTS SHALL BE TREATED WITH NEVER-SEIZE PRODUCT TO ASSEMBLY.
19. ALL CLAMPED, RAIN SEWER, POTABLE WATER, AND SANITARY SEWER MANHOLES SHALL BE INSTALLED US-21. THE PIPE SHALL BE CLAMPED TO A SINGLE LENGTH OF 2" 316 SS TUBING (OR 2" 316 SS ANGLE) INSTALLED HORIZONTALLY. THE TUBE SHALL BE 6"x6"x6" PLATES WELDED TO EACH END AND ATTACH TO THE WALL BY 316 SS ANCHORS. THE PIPE SHALL BE CLAMPED TO THE TUBING USING 316 SS U-BOLTS.
20. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT FLOTATION.
21. TOP OF MET WELL AND VALVE ASSEMBLY SLAB SHALL BE AT THE SAME ELEVATION.
22. THE EXTERIOR SURFACES OF THE CONCRETE WET WELL AND VALVE ASSEMBLY PAD EXPOSED ABOVE GRADE SHALL BE COATED WITH A LEAST TWO COATS OF H&C SILICONE ACRYLIC CONCRETE STAIN, PATIO GREEN, MANUFACTURED BY FLINTKAMP, INC. TO PROTECT THE CONCRETE FROM STAINING AND DISCOLORATION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID OVER-SPLAT INTO THE VALVE ASSEMBLY CONCRETE PAD.
23. FOR 5/8" WATER METER, PROVIDE POTABLE WATER SERVICE CONNECTION WITH 3/4" BRASS HOSE MB. PROVIDE AN APPROVED BRASS HOSE END FITTING. PROVIDE 1/2" BRASS HOSE END FITTING. PROVIDE 1/2" BRASS HOSE END FITTING TO BE TYPE "Y" COPPER OR BRASS; 3/4" MIN. DIAMETER FOR 5/8" METER AND 2" MIN. DIAMETER PIPING FOR 2" METER.
24. LANDSCAPING SHALL BE MINIMUM OF NON-POTABLE WATER. A RAIN SENSOR SHALL BE FURNISHED AND INSTALLED.
25. HOSE BIB TO BE INSTALLED WITH 6 FEET FROM THE ELECTRICAL CONTROL PANEL, 24" ABOVE THE SURROUNDING FINISH GRADE, AND ANCHORED TO A 4" PVC CONCRETE FILLED PIPE. EXACT LOCATION TO BE DETERMINED IN THE FIELD BY W/COUNTY PERSONNEL.
26. WATER METER ASSEMBLY TO BE INSTALLED BY CONTRACTOR AS PART OF WATER SERVICE CONNECTION WITH FEES PAID BY THE DEVELOPER.
27. BASE AND FIRST WALL SECTION OF MET WELL SHALL BE MONOLITHIC.
28. EXISTING GROUND SHALL BE MAINTAINED. CONTRACTOR TO CONSTRUCT WATERRIGHT STRUCTURES WITH NO VISIBLE LEAKS. SELECTED STRUCTURES THAT ARE NOT WATERRIGHT AND DO NOT MEET THE REQUIREMENTS OF ASTM C-443 WILL BE REJECTED.
29. FLEXIBLE GASKET CONNECTIONS SHALL MEET THE REQUIREMENTS OF ASTM A-923 LATEST REVISION.
30. GATE AND PUMP SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 1. ELECTRICAL SERVICE SHALL BE 3 PHASE MINIMUM, UNLESS THE ELECTRICAL UTILITY PROVIDES CORRESPONDING STANDING THAT 3 PHASE SERVICE IS UNAVAILABLE.
 2. ELECTRICAL CONDUIT SHALL BE RUN BY THE SHORTEST ROUTE POSSIBLE FROM THE ELECTRICAL SOURCE TO THE CONTROL PANEL.
 3. A FLOW METER AND EMERGENCY BACKPUMP PUMP SHALL BE REQUIRED FOR ALL LIFT STATIONS THAT MEET THE CRITERIA LISTED IN SECTION 1.1.14.4 OF THE PUBLIC WORKS UTILITY STANDARDS MANUAL.
 4. THE CONTROL PANEL, HOSE BIB, EMERGENCY BACKPUMP PUMP, FUEL STORAGE TANK AND ANTENNA SHALL NOT BE LOCATED IN THE SAME WET WELL AS THE PUMP. IF THE PUMP IS LOCATED IN THE SAME WET WELL, THE PUMP SHALL BE LOCATED WITHIN 25 FEET OF THE EDGE OF THE LIFT STATION EASEMENT AT THE ROW LINE.
 5. THE ANTENNA FOR THE RADIO TELEMETRY UNIT REQUIRES DIRECT LINE-OF-SIGHT SIGNALING CAPABILITY TO THE UTILITIES' TELEMETRY STATION. THE ANTENNA SHALL BE LOCATED AT AN ELEVATION OF 15 FEET ABOVE THE FINISH GRADE AND FIFTEEN (15) DEGREES FROM THE ANTENNA MAST (7.5 DEGREES ON BOTH SIDES OF THE DIRECT LINE-OF-SIGHT AZIMUTH), NO TREE SHALL BE PLANTED WITHIN THE DESIGNATED UNOBSTRUCTED ANGLE FOR A TWENTY (20) FEET HORIZONTAL DISTANCE FROM THE TREE TO THE ANTENNA MAST. THE ANTENNA MAST SHALL BE LOCATED IN CONNECTION WITH THE LOCATION OF THE CONSTRUCTED TELEMETRY ANTENNA. THE ANTENNA WOWER/MAST SHALL BE TO THE LEFT OF THE CONTROL PANEL.

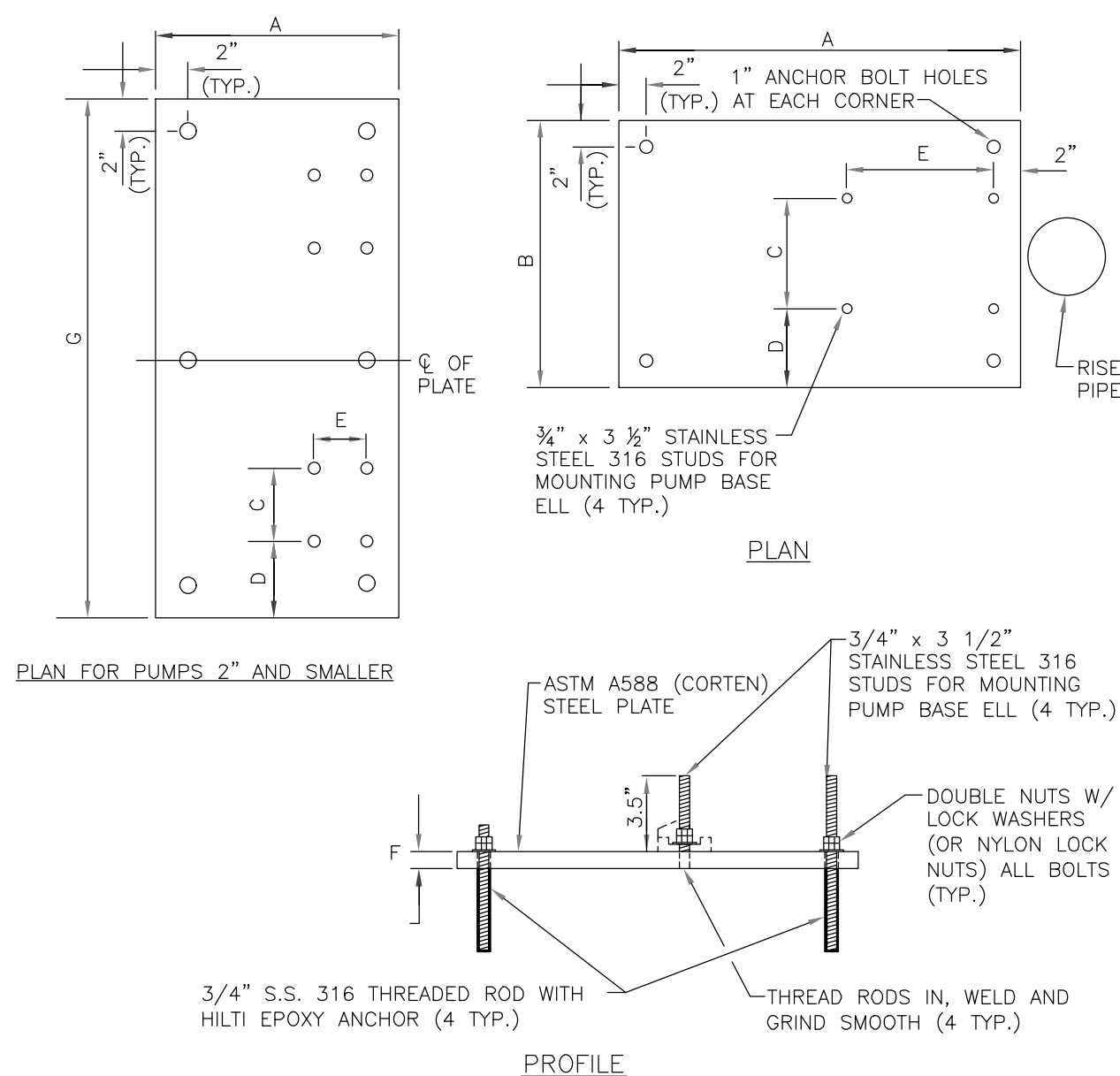
MANATEE COUNTY		LIFT STATION NOTES	US-20
PUBLIC WORKS DEPARTMENT			
REV. BY	DATE		
<u>February 25, 2020</u> DATE OF APPROVAL			

Section **SOLIDS HANDLING** Page 115

The curves reflect maximum performance characteristics without exceeding full load (Nameplate) horsepower. All pumps have a service factor of 1.2. Operation is recommended in the bounded area with operational point within the curve limit. Performance curves are based on actual tests with clear water at 70° F. and 1280 feet site elevation.

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Conditions of Service:
GPM: 185.6 TDH: 30.

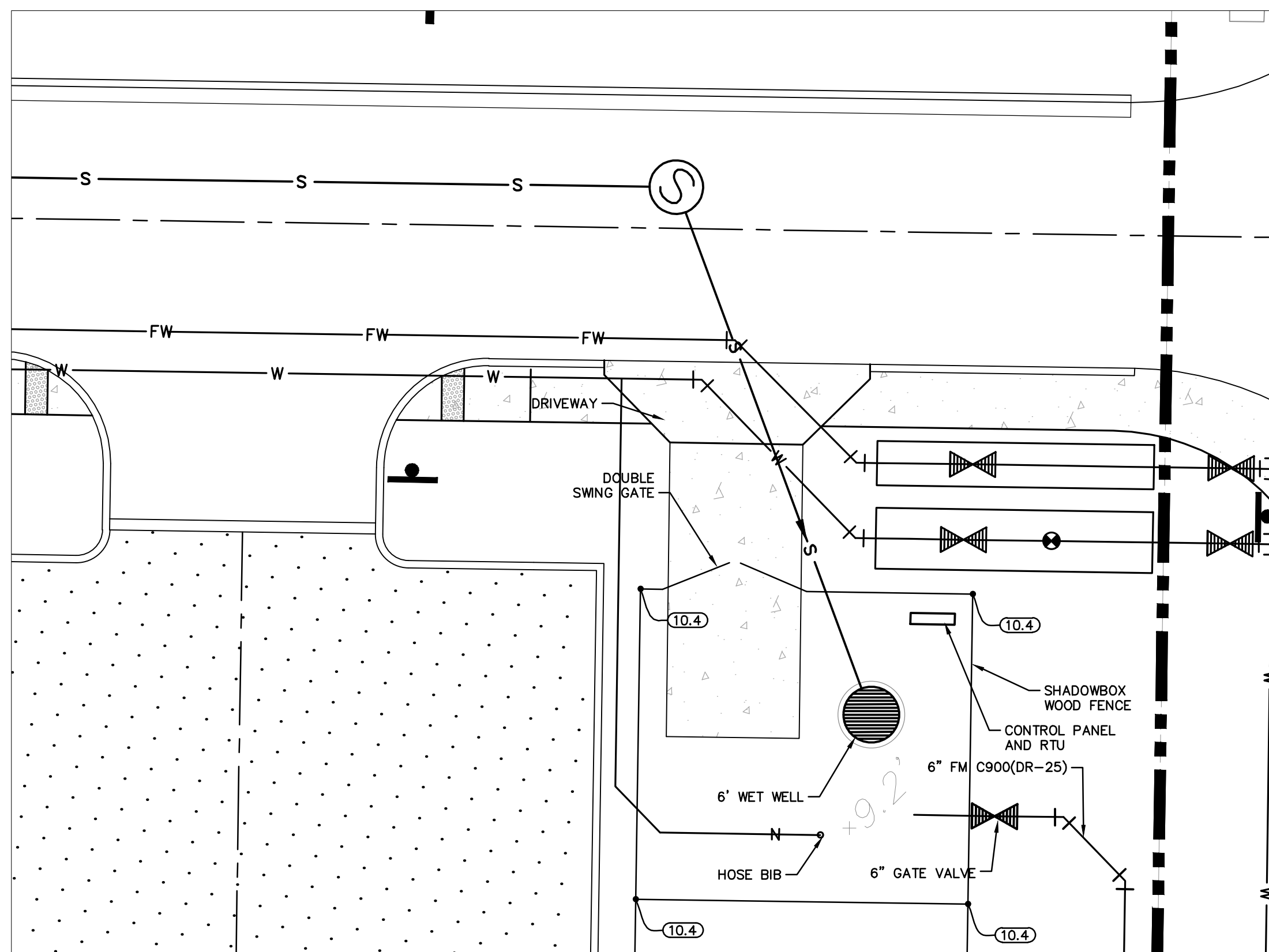


PUMP BASE ELL. MOUNTING PLATE DIMENSIONS							
DIMENSIONS	A	B	C	D	E	F	G
FOR 6" PUMPS	24"	20"	8.25"	5.875"	11"	¾"	N/A
FOR 4" PUMPS	20"	16"	6"	5"	10"	½"	N/A
2" PUMPS & SMALLER	15"	N/A	4.5"	4.75"	3.25"	½"	32"

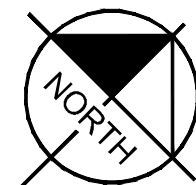
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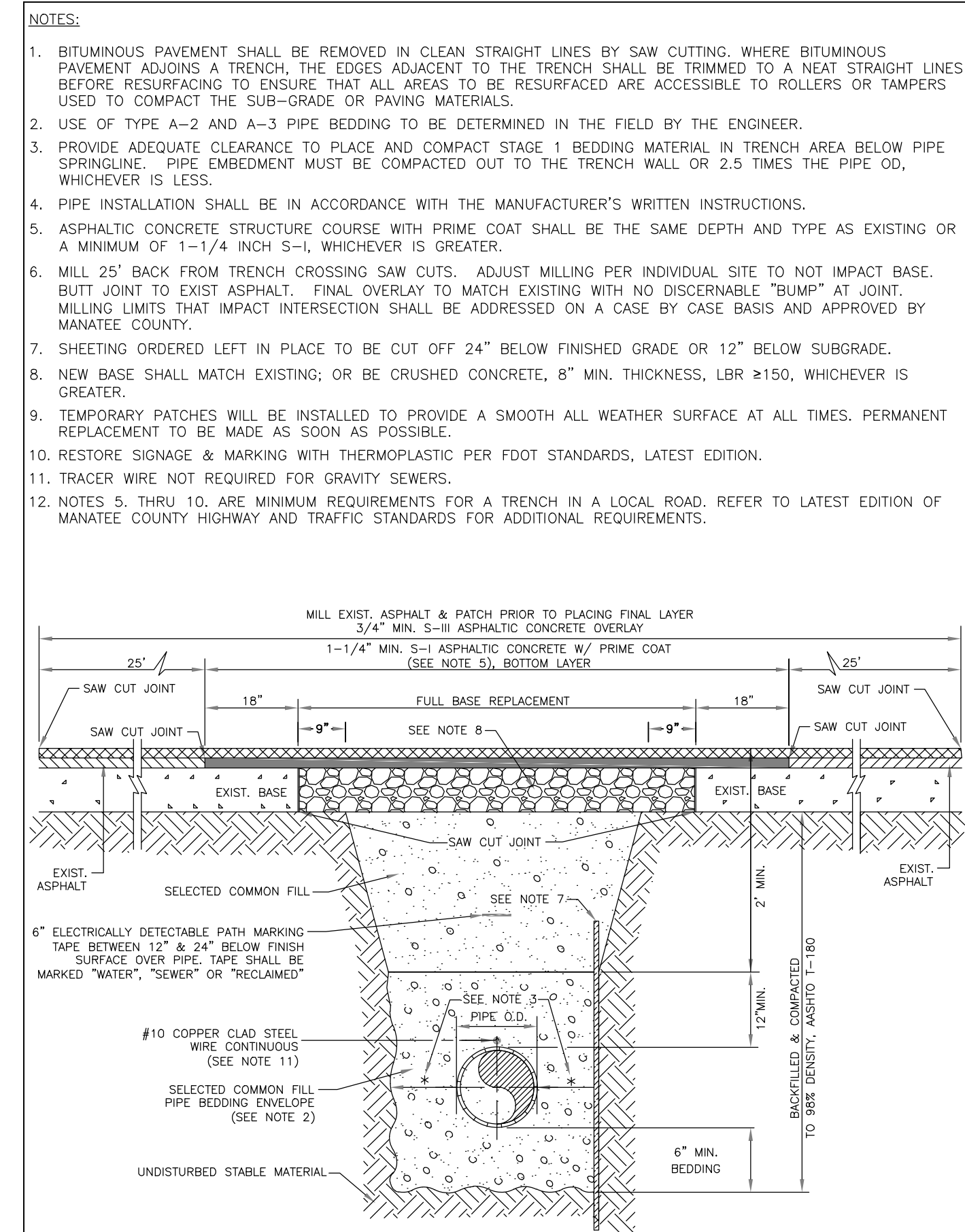
1. INSTALL DOUBLE NUTS (OR NYLON LOCK NUTS) ON ALL EIGHT (8) THREADED RODS.
2. THE PLATE EDGES AND ALL HOLES SHALL BE GRIND SMOOTH TO REMOVE ALL BURRS.
3. DIMENSIONS "C" & "E" ARE FOR BARNEY'S PUMPS, INC. BASE ELLS.
4. FOR PUMPS WITH A 2-INCH DISCHARGE OR LESS, A SINGLE BASE PLATE SHALL BE INSTALLED UNDER BOTH GRINDER PUMPS.

MANATEE COUNTY		PUMP BASE ELL MOUNTING PLATE	US-22
PUBLIC WORKS DEPARTMENT			
REV. BY	DATE		
<u>February 25, 2020</u> DATE OF APPROVAL			



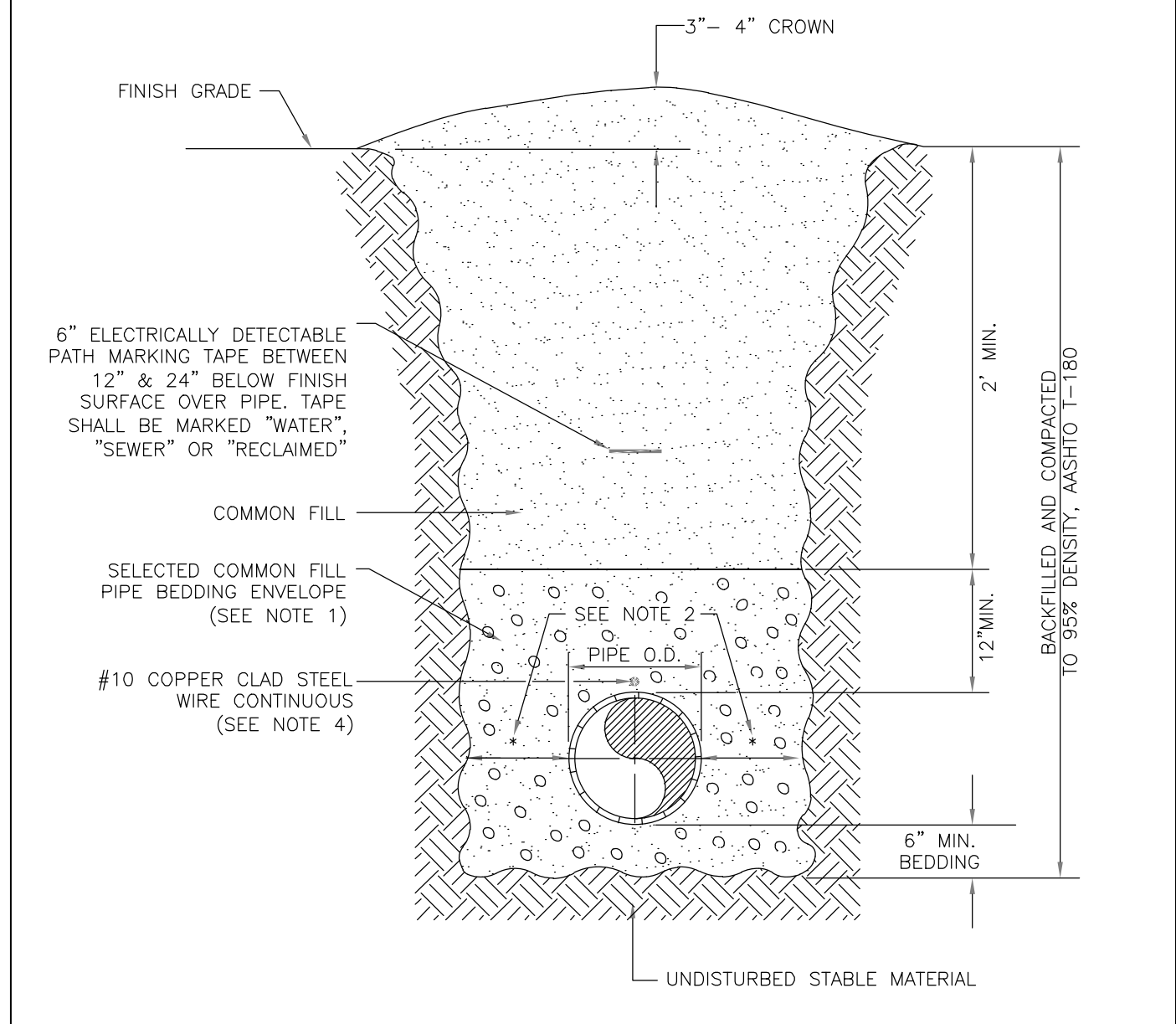
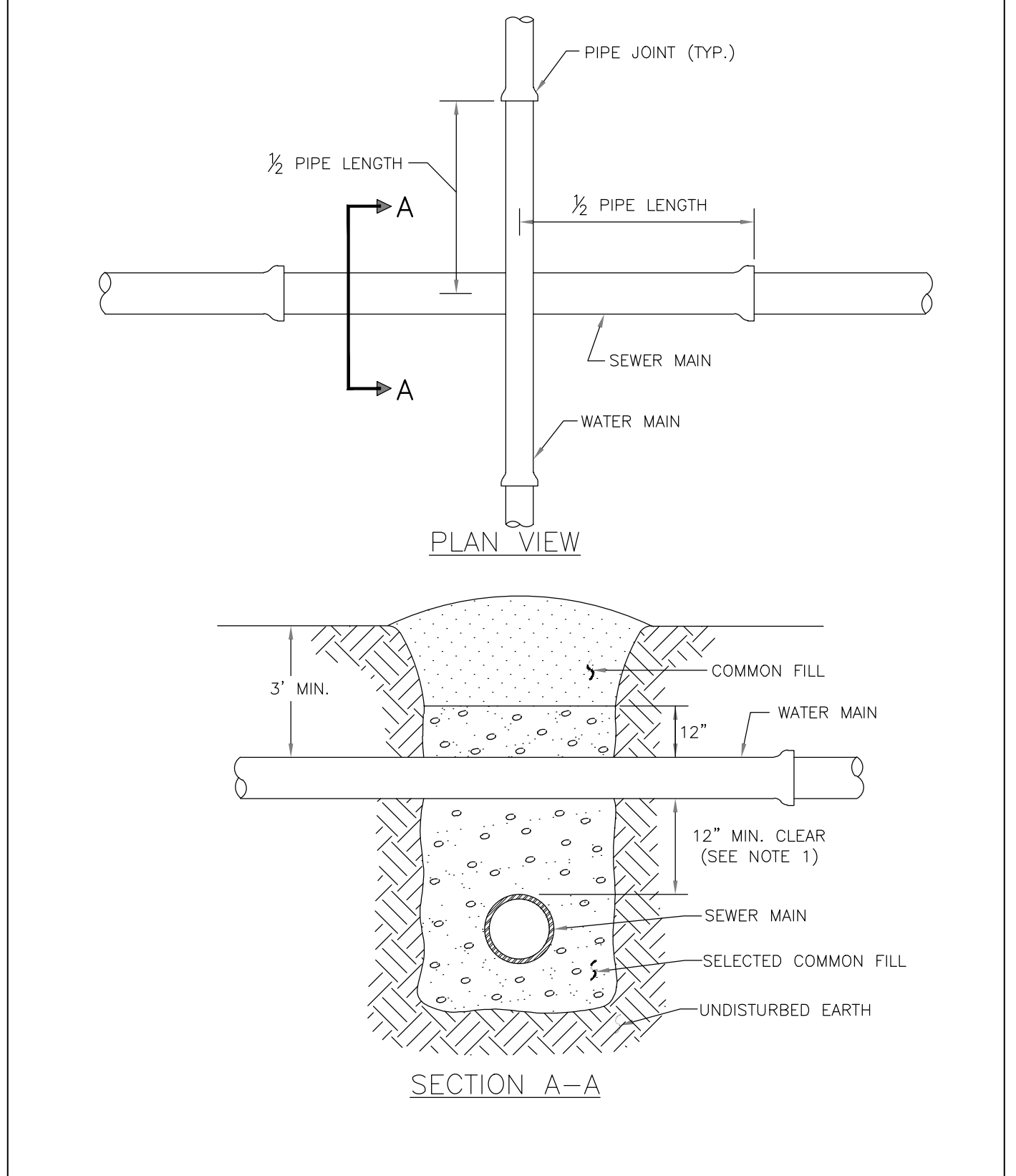
LIFT STATION SITE PLAN





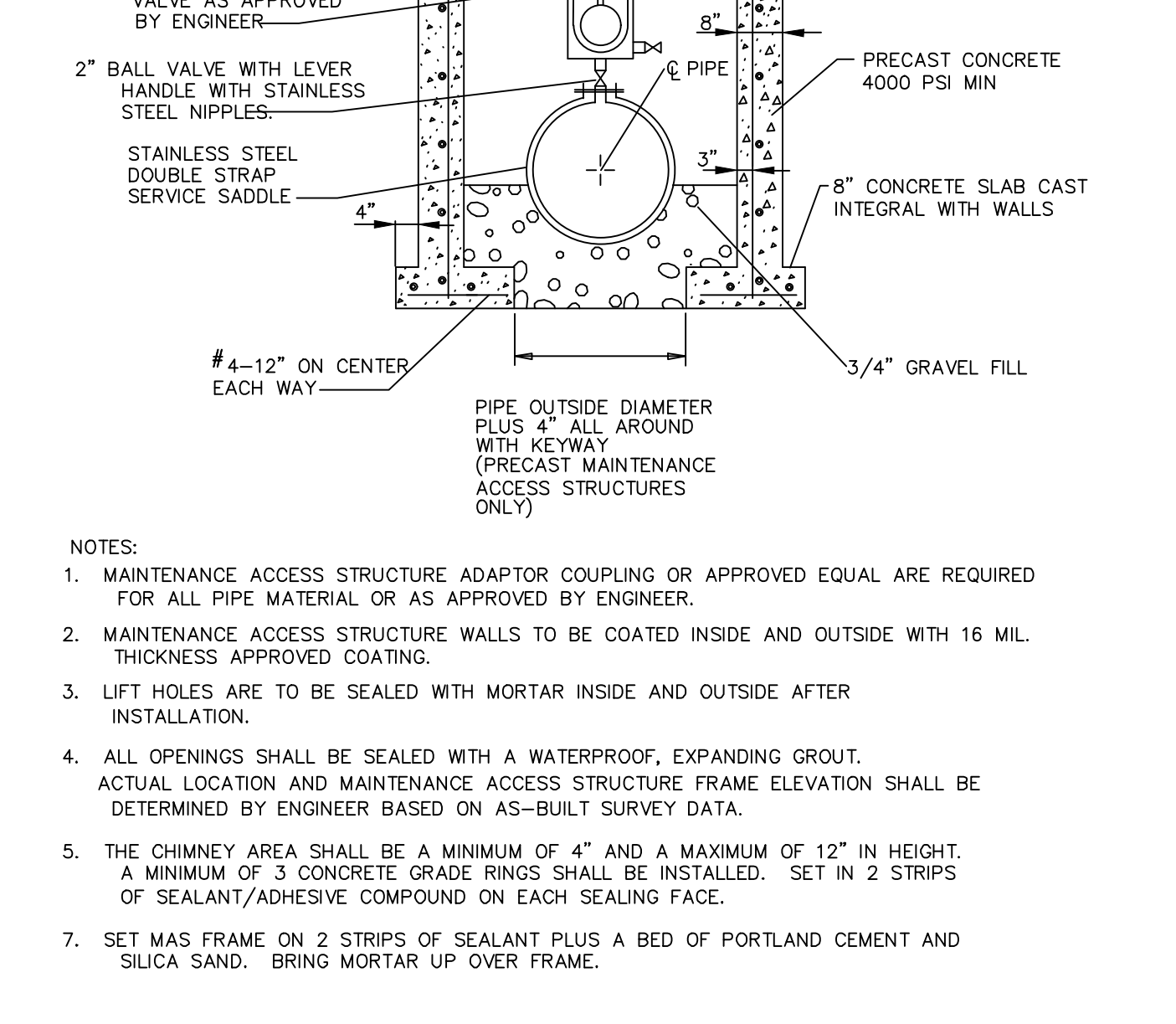
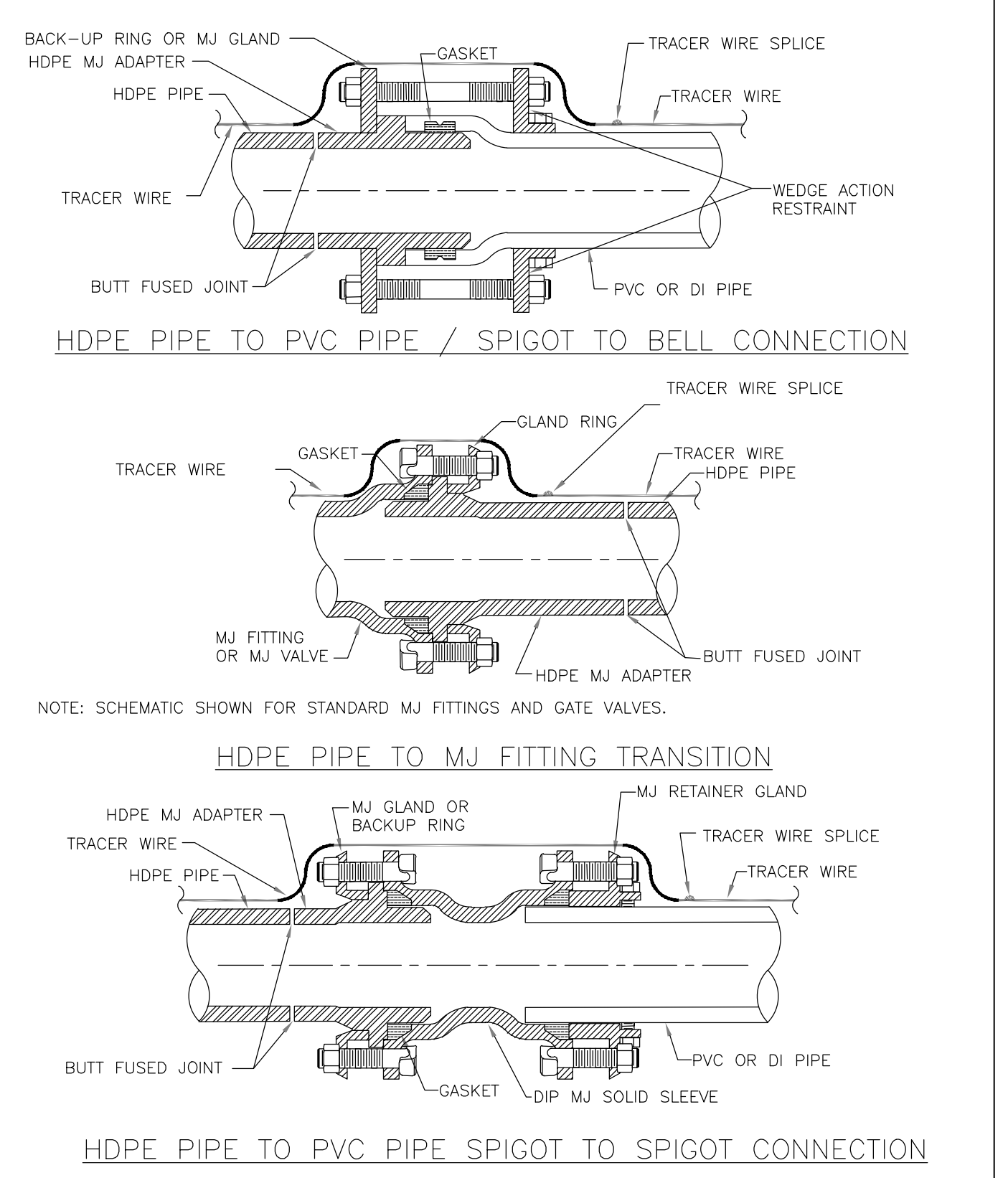
MANATEE COUNTY PUBLIC WORKS DEPARTMENT		TYPICAL NEW WATER & SEWER LINE CROSSING	UG-2
REV. BY	DATE		
	February 25, 2020		
	DATE OF APPROVAL		

- NOTES:
1. CLEARANCE MAY BE REDUCED TO 6" FOR GRAVITY SEWER WHERE WATER MAIN IS DUCTILE IRON.
 2. PIPE SECTIONS SHALL BE FULL-LENGTH AND SHALL BE ADJUSTED HORIZONTALLY, SO THAT THE CROSSING IS AT EACH PIPE SECTION'S MIDPOINT REGARDLESS OF THE VERTICAL CLEARANCE.



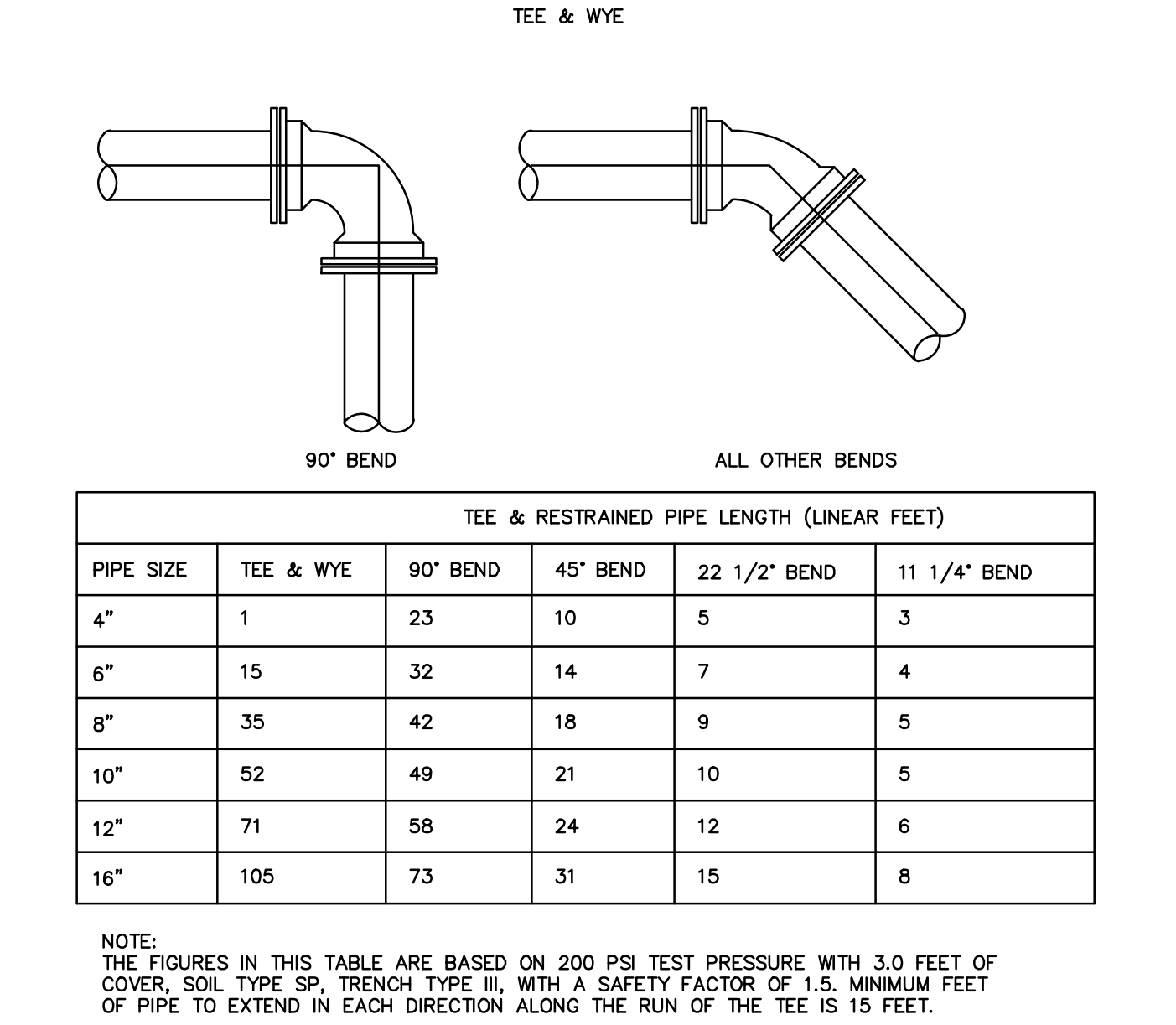
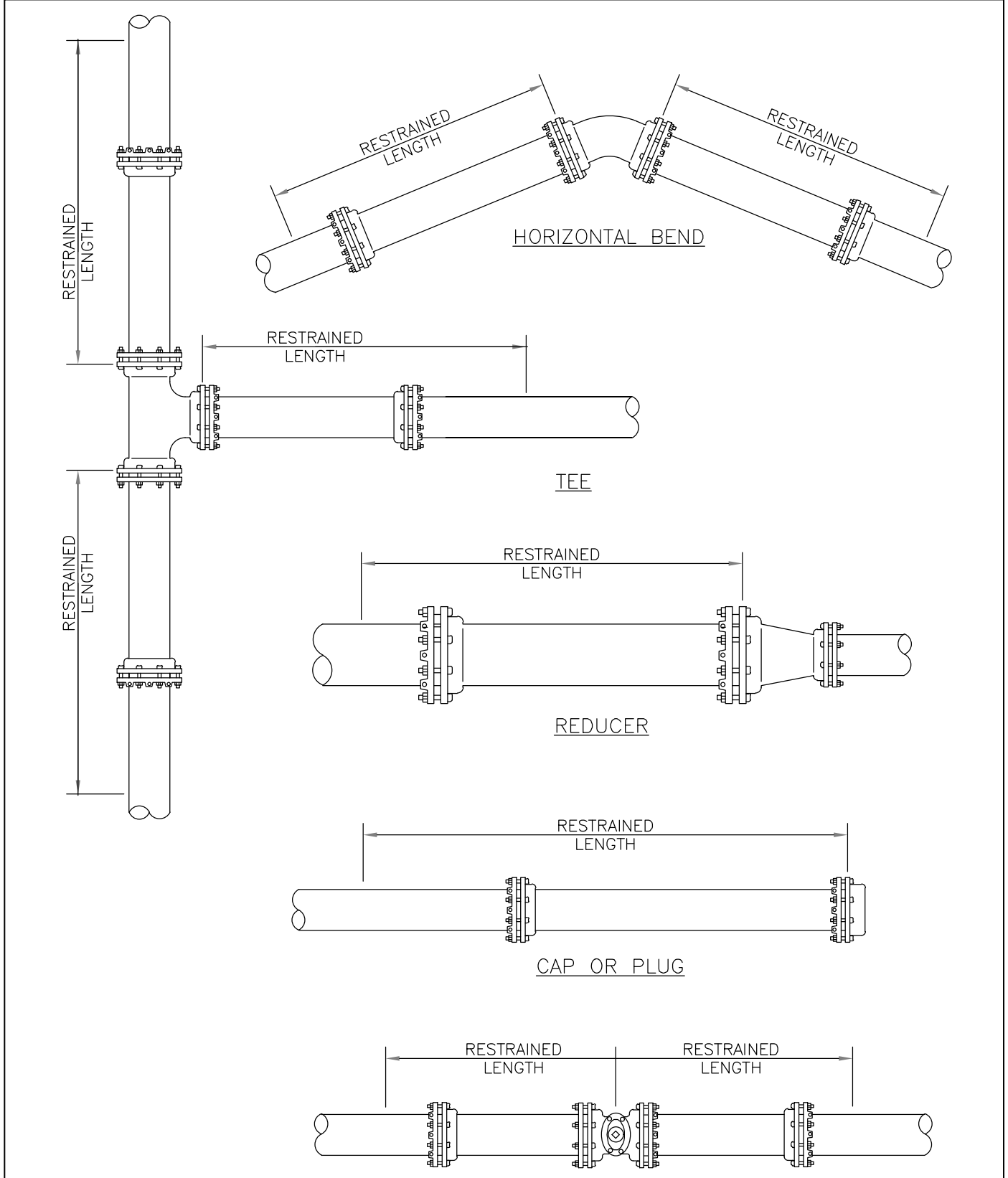
MANATEE COUNTY PUBLIC WORKS DEPARTMENT		HDPE TO PVC OR DI PIPE ADAPTER	UG-6
REV. BY	DATE		
	February 25, 2020		
	DATE OF APPROVAL		

- NOTES:
1. ONE TRACER WIRE SHALL BE SECURED TO THE PIPE FOR ALL TYPES OF PIPELINE INSTALLATIONS.



MANATEE COUNTY PUBLIC WORKS DEPARTMENT		RESTRAINED LENGTHS FOR PIPE	UG-10
REV. BY	DATE		
	February 25, 2020		
	DATE OF APPROVAL		

- NOTE:
1. SEE DETAIL UG-8 RESTRAINED LENGTHS FOR PVC PIPE FOR NOTES 1 THROUGH 9 THAT ARE ALSO APPLICABLE TO RESTRAINED LENGTHS FOR PIPE.



MANATEE COUNTY PUBLIC WORKS DEPARTMENT		RESTRAINED LENGTHS FOR PVC PIPE	UG-8
REV. BY	DATE		
	February 25, 2020		
	DATE OF APPROVAL		

- NOTES:
1. RESTRAIN 11.25' BENDS 50% OF LENGTH FOR 22.5' BENDS.
 2. ALL VALVES AND FITTINGS SHALL BE RESTRAINED TO THE CONNECTING SECTIONS OF PIPE.
 3. ALL ISOLATION VALVES MUST BE PROPERLY ANCHORED OR RESTRAINED TO RESIST A 180 PSI TEST PRESSURE IN EITHER DIRECTION.
 4. PIPE SIZES ARE GIVEN IN INCHES.
 5. RESTRAINED PIPE LENGTHS ARE GIVEN IN FEET.
 6. LENGTHS SHOWN ARE FOR A TEST PRESSURE OF 180 PSI.
 7. THE RESTRAINED LENGTHS SHOWN IN THESE TABLES ARE BASED ON SOIL CLASSIFICATION SP WITH AWWA TYPE 3 TRENCH CONDITIONS, 180 PSI TEST PRESSURE, 3 FEET OF COVER AND 1.5 FACTOR OF SAFETY. ACTUAL BURY CONDITIONS MUST BE DETERMINED BY THE ENGINEER OF RECORD AND THE RESTRAINED LENGTHS MODIFIED ACCORDINGLY.
 8. RESTRAINED LENGTHS TO BE APPLIED TO PIPELINES PER DETAIL UG-10 RESTRAINED LENGTHS FOR PIPE.
 9. ALL RESTRAINED JOINT HARDWARE SHALL CONFORM TO 1.11.17 OF THE PUBLIC WORKS UTILITIES STANDARDS MANUAL.
 10. ALL THREE "LEGS" OF TEES SHALL BE RESTRAINED PER THE STATED LENGTH IN THE TABLE.

MAIN PIPE SIZE	HORIZ. BENDS			TEES										REDUCERS				PLUGS & VALVES		
	90°	45°	22.5°	SIZE					LENGTH					SIZE					LENGTH	
24	90	38	18	X24	169	X20	132	X16	90	X12	38	X10	6	X20	64	X16	117	X12	58	214
20	78	32	16	X20	141	X16	101	X12	53	X10	24	X8	1	X16	65	X12	115	X10	149	184
16	66	27	13	X16	111	X12	67	X10	41	X8	12	X6	1	X12	64	X10	107	X8	111	151
12	52	22	10	X12	80	X10	56	X8	31	X6	7	X4	1	X10	58	X8	62	X6	96	118
10	44	18	9	X10	63	X8	40	X6	7	X4	1	X3	1	X8	33	X6	51	X4	81	100
8	37	15	7	X8	49	X6	29	X4	1	X3	1	X2	1	X6	35	X4	60	X3	63	83
6	29	12	6	X6	29	X4	1	X3	1	X2	1	X1	1	X4	33	X3				63
4	21	8	4	X4	12	X3	1	X2	1	X1	1	X0	1							45

FIRE LINE RESTRAINED JOINT DETAIL (ON-SITE)

