

C:\CurrentProjects\2019Format\St.Regis LBK_R19_gmendozaa@sb-architects.com.rvt12/3/2021 4:44:44 PM

A	ARCHITECTURE	SB Architects 2333 Ponce De Leon Blvd Suite 1000 Coral Gables, FL 33134 305.856.2021 www.sb-architects.com	
C	CIVIL	Kimley-Horn 1777 Main Street, Suite 200 Sarasota, FL 34236 941.379.7613 www.kimley-horn.com	
S	STRUCTURE	Desimone Consulting Engineers 800 Brickell Avenue, 6th Floor Miami, FL 33131 305.441.0755 http://www.de-simone.com/	
M	MECHANICAL	Vanderweil Engineers 8350 NW 52nd Terrace,Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
E	ELECTRICAL	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
P	PLUMBING	Vanderweil Engineers 8350 NW 52nd Terrace,Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
FP	FIRE PROTECTION	Vanderweil Engineers 8350 NW 52nd Terrace,Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
I	INTERIOR (HOTEL)	Hirsch Bedner Associates (HBA) 1 SE 3rd Ave, Suite # 1640 Miami, FL 33131 USA 305.857.5758 www.hba.com	
I	INTERIOR (RESIDENCES)	Marc-Michaels Interior Design, Inc. 720 West Morse Boulevard Winter Park, FL 32789 407.629.2124 www.marc-michaels.com	LUJO COLLECTIVE 12727 SW 136th ST. SUITE 6206 Miami, FL 33186 407.629.2124 www.lujocollective.com
FS	FOOD SERVICE	Inman Foodservice Group, LLC 1330 Coral Way, Suite 310 Miami, FL 33145 305-859-2025 www.inman-inc.com	
AV	AUDIO VISUAL	NOT USED	
AC	ACOUSTIC CONSULTANT	BROOKS ACOUSTICS CORPORATION 49 N. Federal Highway #121 Pompano Beach, FL 33062 752-229-1450 www.jensenhughes.com	
SE	SECURITY	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
L	LANDSCAPE	Enea Garden Design 2332 Galiano Street 2nd Floor Coral Gables, FL 33134 www.jensenhughes.com	
LS	LIFE SAFETY CONSULTANT	Jensen Hughes 725 Primera Boulevard, Suite 215 Lake Mary, FL 32746 407-537-9481 www.jensenhughes.com	
LV	LOW VOLTAGE	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
WP	BUILDING ENVELOPE	IBA 8019 34th Avenue East Brandenton, FL 34211 www.ibaconsultnats.com	



LONGBOAT KEY HOTEL &
RESIDENCES

1620 GULF OF MEXICO DRIVE

Owner

UNICORP ACQUISITIONS LLC

7940 Via Dellagio, Suite 200

Orlando, FL 32819

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LONGBOAT KEY HOTEL &
RESIDENCES

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
1620 GULF OF MEXICO DRIVE
01/25/2022
Reviewer: marnold

UNICORP[®]

NATIONAL DEVELOPMENTS, INC.

STATE OF FLORIDA
SCOTT A. LEE
AR#5712
REGISTERED ARCHITECT

No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title

Project No. 21816

COVER SHEET-SITE
PLAN REVIEW -
ODP

Sheet No.

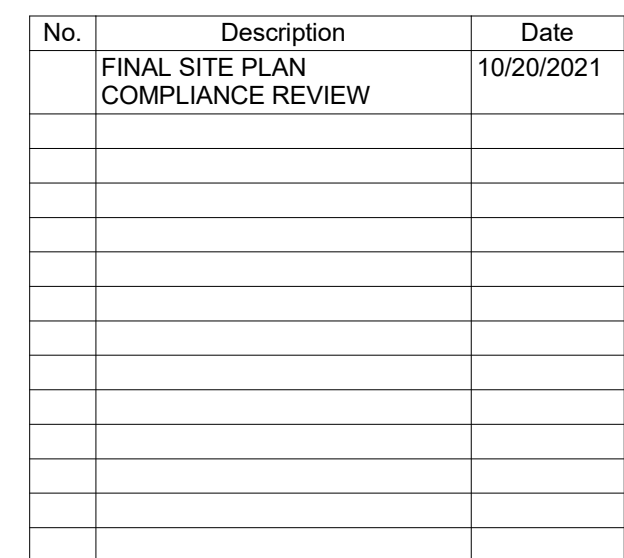
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A California Corporation

Reviewer: marnold
01/25/2022

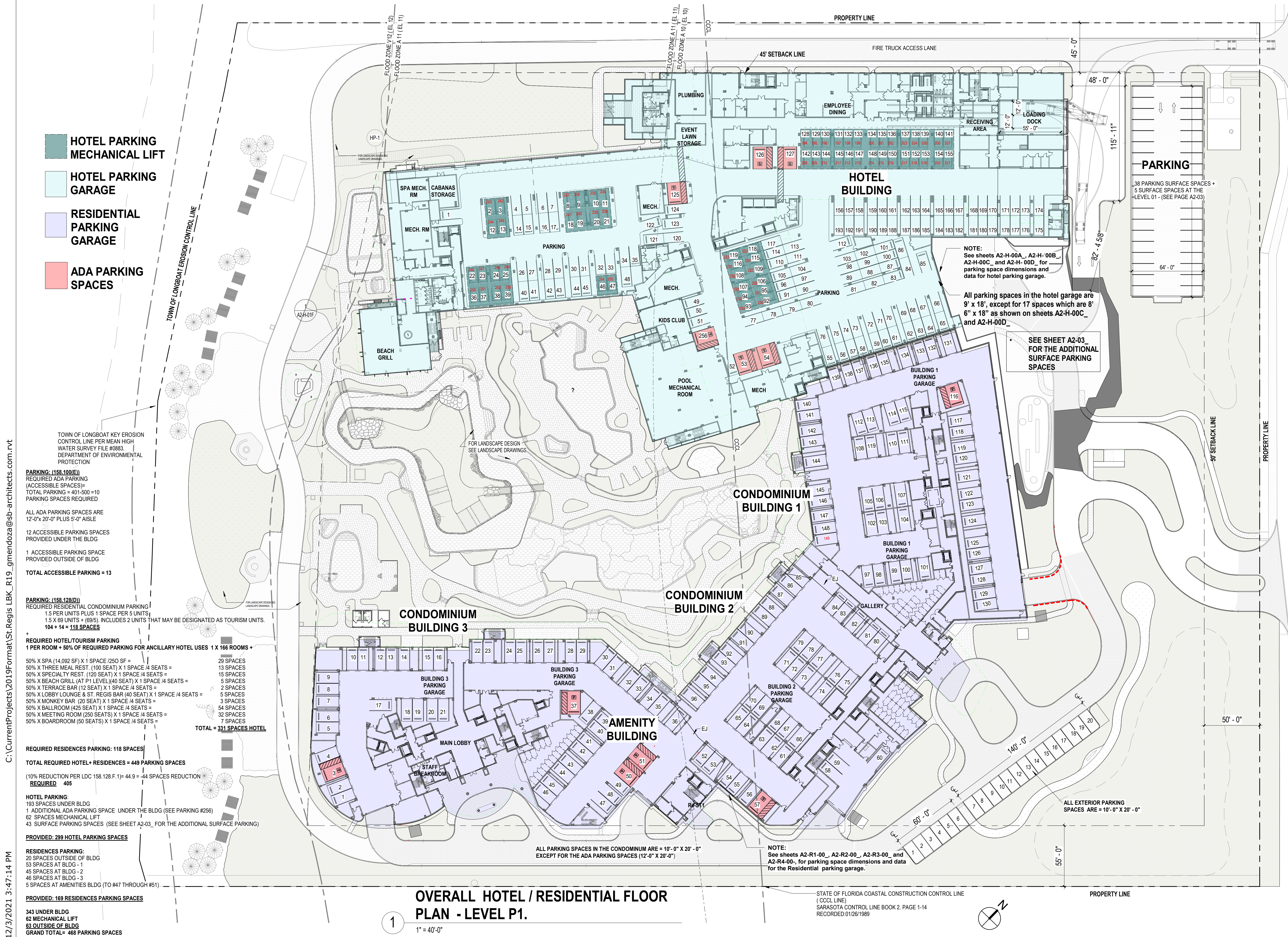
UNICORP
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UNDERSTRUCTURE PARKING PLAN - ODP

A2-00_

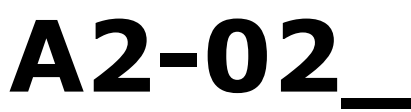
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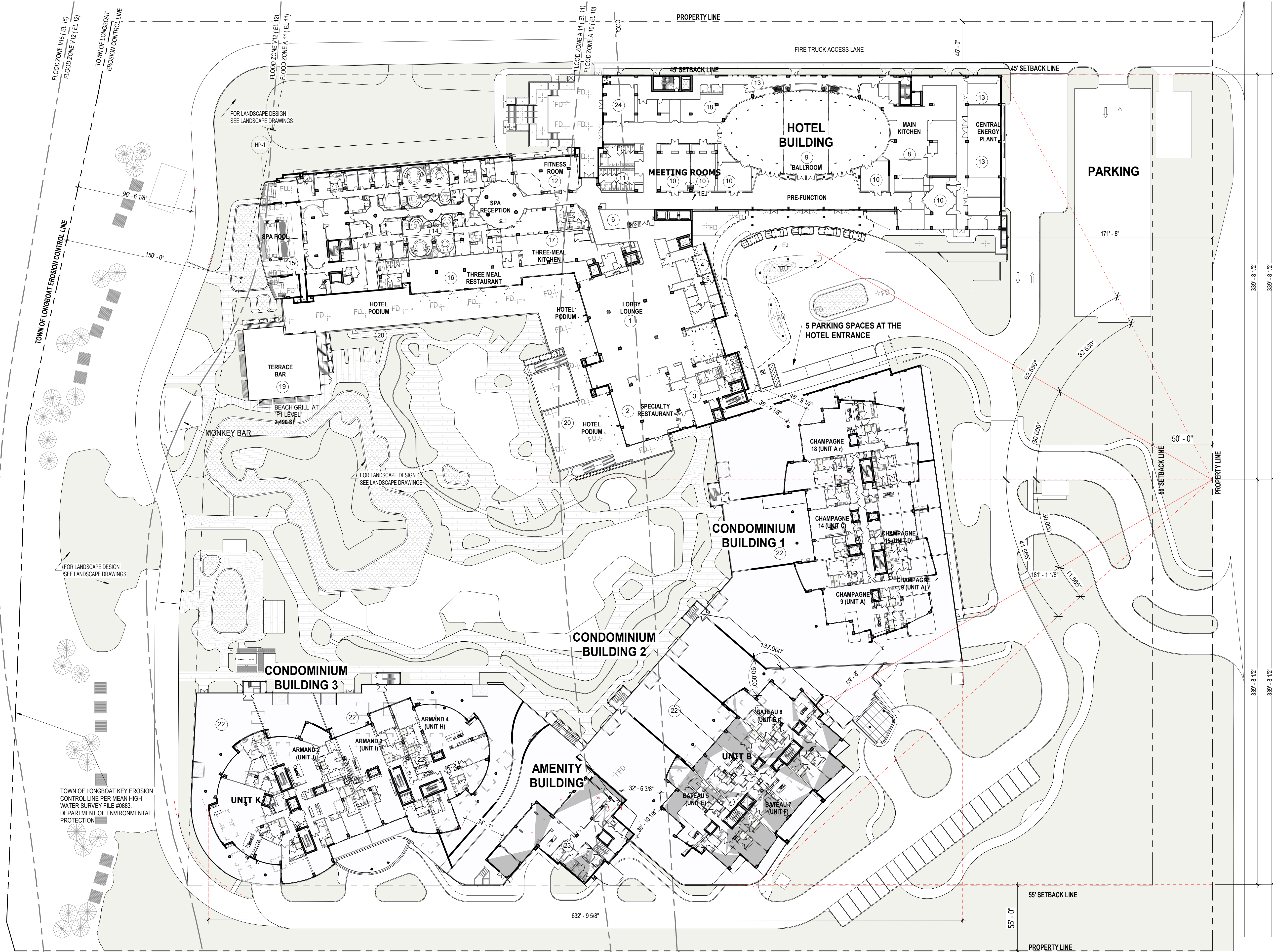


Note:
By stipulation, ballroom events are limited to a maximum of 425 people. Spaces shown are not designated and may be relocated based on availability.
Graphic is intended to show the maximum number of spaces which could be available for valet use during ballroom special event.



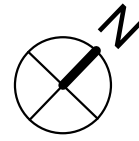
A2-01..





OVERALL HOTEL / RESIDENTIAL FLOOR
PLAN - LEVEL 1.

1" = 40'-0"



USE AND AREA KEYNOTES

- 1 LOBBY
- 2 SPECIALTY RESTAURANT
- 3 SPECIALTY REST. KITCHEN
- 4 FIRE CONTROL ROOM
- 5 VALET/LUGGAGE /SUPPORT
- 6 RETAIL
- 7 HOUSE KEEPING
- 8 MAIN KITCHEN
- 9 BALLROOM
- 10 MEETING ROOMS
- 11 RESTROOMS
- 12 FITNESS CENTER
- 13 BOH
- 14 SPA
- 15 SPA TERRACE
- 16 THREE MEAL RESTAURANT
- 17 THREE MEAL REST. KITCHEN
- 18 KITCHEN & PANTRY
- 19 TERRACE BAR
- 20 HOTEL PODIUM
- 21 MEP / ADMIN / BOH
- 22 MULTY-FAMILY RES.UNITS
- 23 AMENITIES BUILDING
- 24 LOUNGE ROOM

PROPOSED TURISM
& RESIDENTIAL UNITS

HOTEL TOWER:
TOURISM UNITS: 166

CONDOMINIUM TOWERS:
RESIDENTIAL UNITS= 67
TOURISM UNITS= 2

BUILDING 1= 30 DWELLING UNITS
BUILDING 2= 20 DWELLING UNITS
BUILDING 3= 19 DWELLING UNITS
TOTAL DWELLING UNITS =69

TOTAL PROPOSED UNITS =235

NOTE:
THE NUMBER OF UNITS IN THE
CONDOMINIUM TOWERS HAS
BEEN REDUCED FROM 78 TO 69
UNITS. CONSTRUCTION PLANS
SHALL RECONFIGURE THE
INTERIOR OF BUILDINGS TO
REFLECT A REDUCTION IN THE
NUMBER OF UNITS. REDUCTIONS
IN THE SIZE OF BUILDINGS IN THE
CONSTRUCTION PLANS SHALL BE
ALLOWED AS A MINOR CHANGE
PURSUANT TO §158.100.

LONGBOAT KEY HOTEL &
RESIDENCES

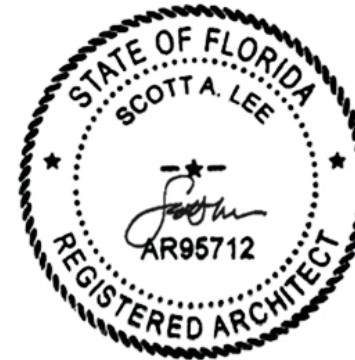
APPROVED FOR ZONING
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01/25/2022
Reviewer: marnold

1620 GULF OF MEXICO DRIVE

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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No.	Description	Date
1	FINAL SITE PLAN	10/20/2021
2	COMPLIANCE REVIEW	
3		
4		
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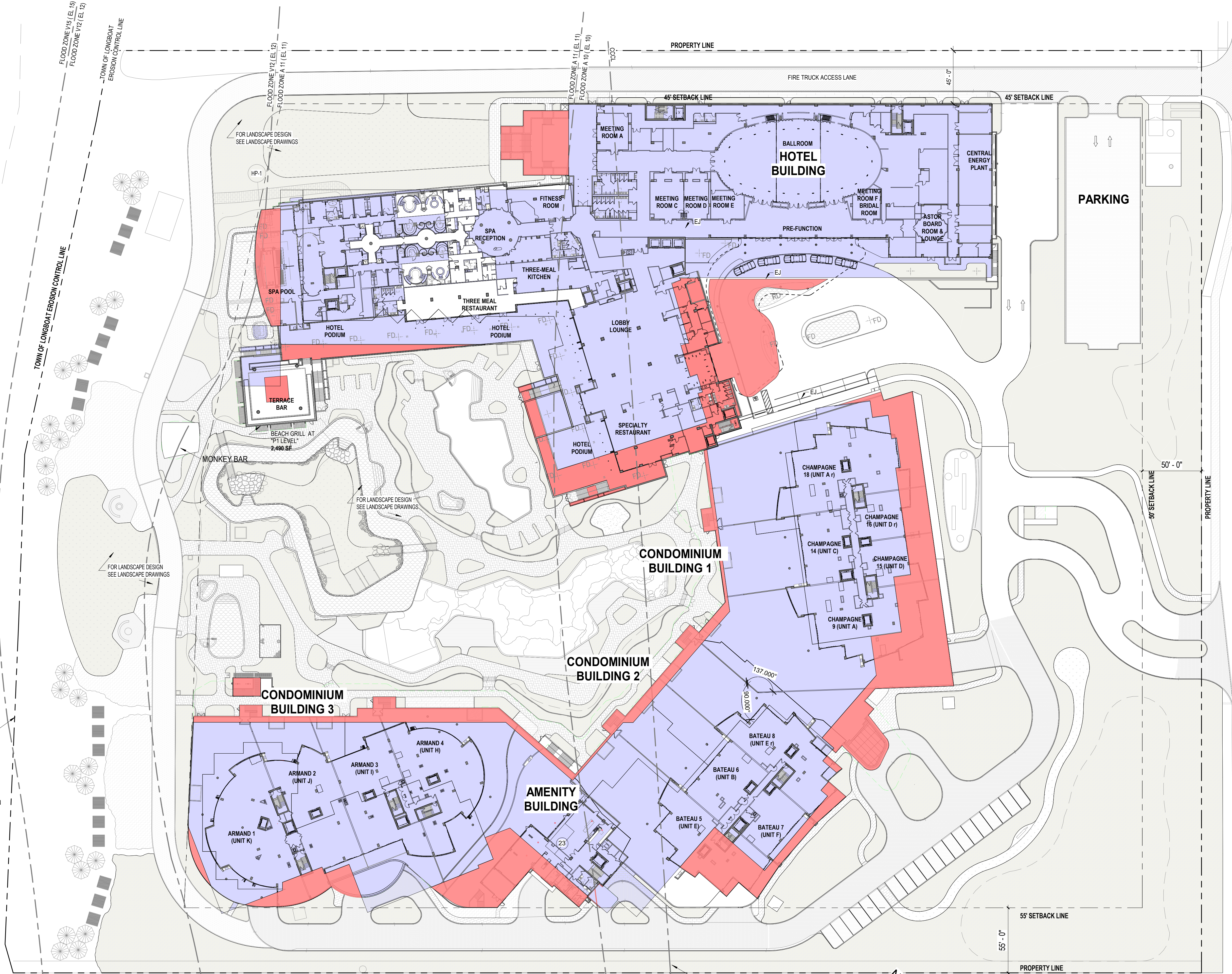
Sheet Title Project No. **21816**

**OVERALL LEVEL 01
HOTEL /
RESIDENTIAL
FLOOR PLAN- ODP**

Sheet No.

A2-03_

TOWN OF LONGBOAT KEY EROSION
CONTROL LINE PER MEAN HIGH
WATER SURVEY FILE #0883
DEPARTMENT OF ENVIRONMENTAL
PROTECTION

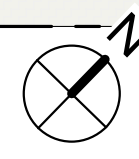


2018 PREVIOUS BUILDING FOOTPRINTS
& PREVIOUS PODIUM LAYOUT



2021 BUILDING
FOOTPRINTS & 2021 PODIUM LEVEL

STATE OF FLORIDA COASTAL CONSTRUCTION
CONTROL LINE (CCCL LINE)
SARASOTA CONTROL LINE BOOK 2, PAGE 1-14
RECORDED 01/28/1989



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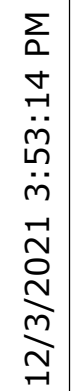
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Sheet Title Project No. **21816**

**2018-2021
PODIUMS
SUPERIMPOSED
EXHIBITS - ODP**

Sheet No.

A2-04_





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No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. **21816**

**OVERALL - LEVEL 1
KEY PLAN - ODP**

Sheet No.
A2-08

St.Regis LBK_R19 20211216_detached.rvt

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1

OVERALL HOTEL / RESIDENTIAL FLOOR
PLAN - LEVEL 1- ODP

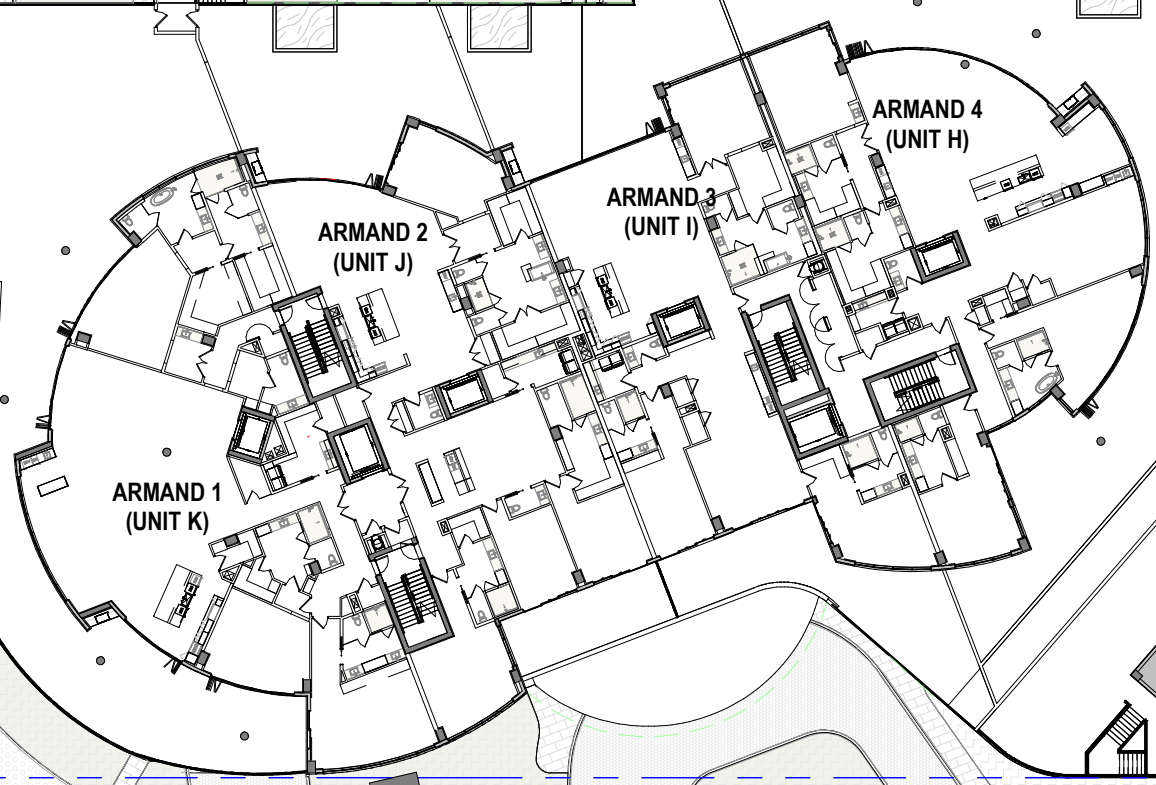
1" = 40'-0"

TOWN OF LONGBOAT KEY EROSION
CONTROL LINE PER MEAN HIGH
WATER SURVEY FILE #0883.
DEPARTMENT OF ENVIRONMENTAL
PROTECTION

TOWN OF LONGBOAT EROSION CONTROL LINE

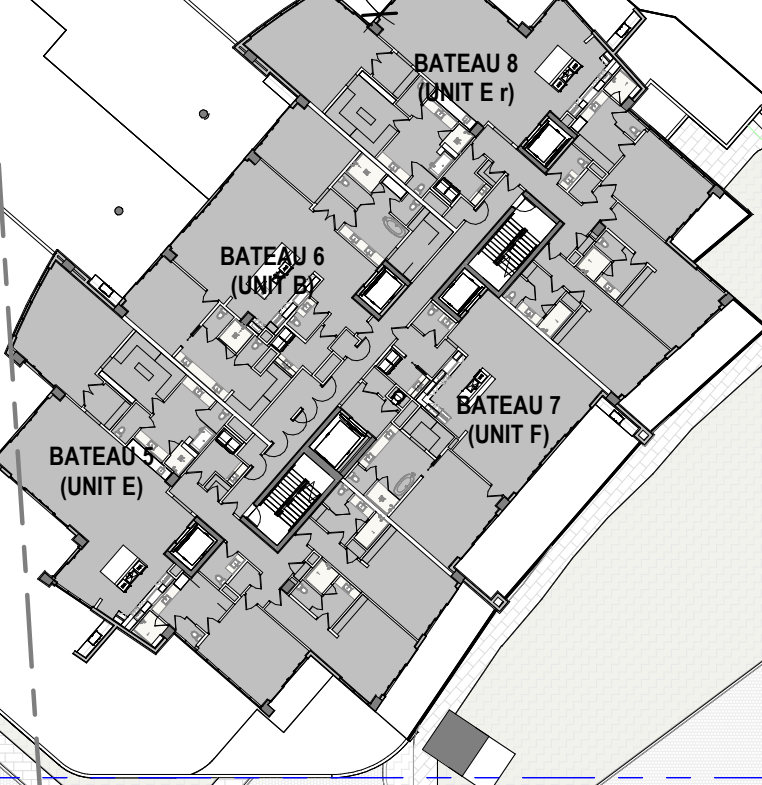
MONKEY BAR
580 SF

CONDOMINIUM
BUILDING 3

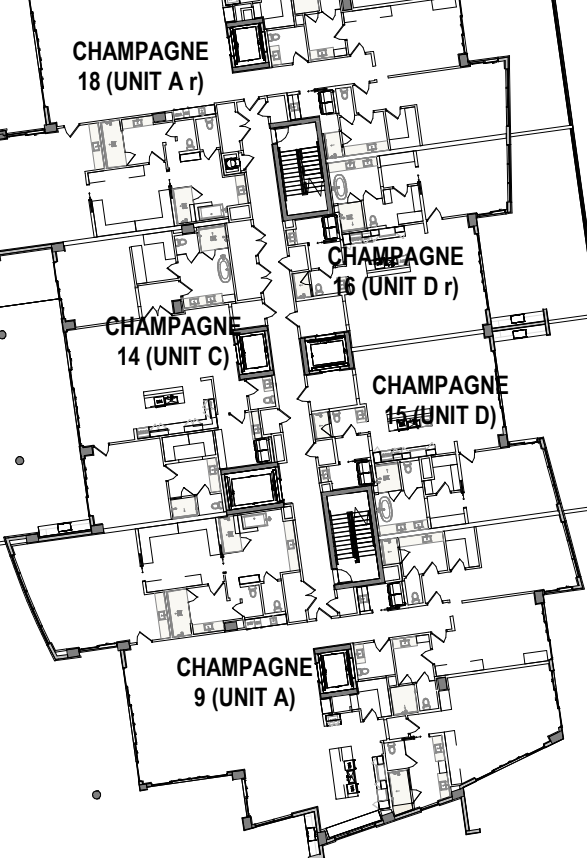


AMENITY
BUILDING

CONDOMINIUM
BUILDING 2



CONDOMINIUM
BUILDING 1



LOBBY
LOUNGE
3,094 SF

SPECIALTY
RESTAURANT
2,224 SF

THREE MEAL
RESTAURANT
2,415 SF

THREE MEAL
RESTAURANT
2,415 SF

SPA
14,092 SF

SPA POOL

TERRACE
BAR
402.5 SF

BEACH GRILL at
P1 LEVEL
2,490 SF

MEETING
ROOM A
791 SF

MEETING
ROOM C
1038 SF

MEETING
ROOM D
773 SF

MEETING
ROOM E
645 SF

HOTEL
BUILDING
BALLROOM
7,650 SF

MEETING
ROOM F
541 SF

BRIDAL ROOM

ASTOR
BOARD
ROOM &
LOUNGE
890 SF

MAIN KITCHEN

CENTRAL
ENERGY
PLANT

PARKING

50' - 0"

30' SETBACK LINE

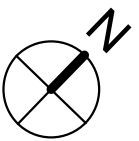
PROPERTY LINE

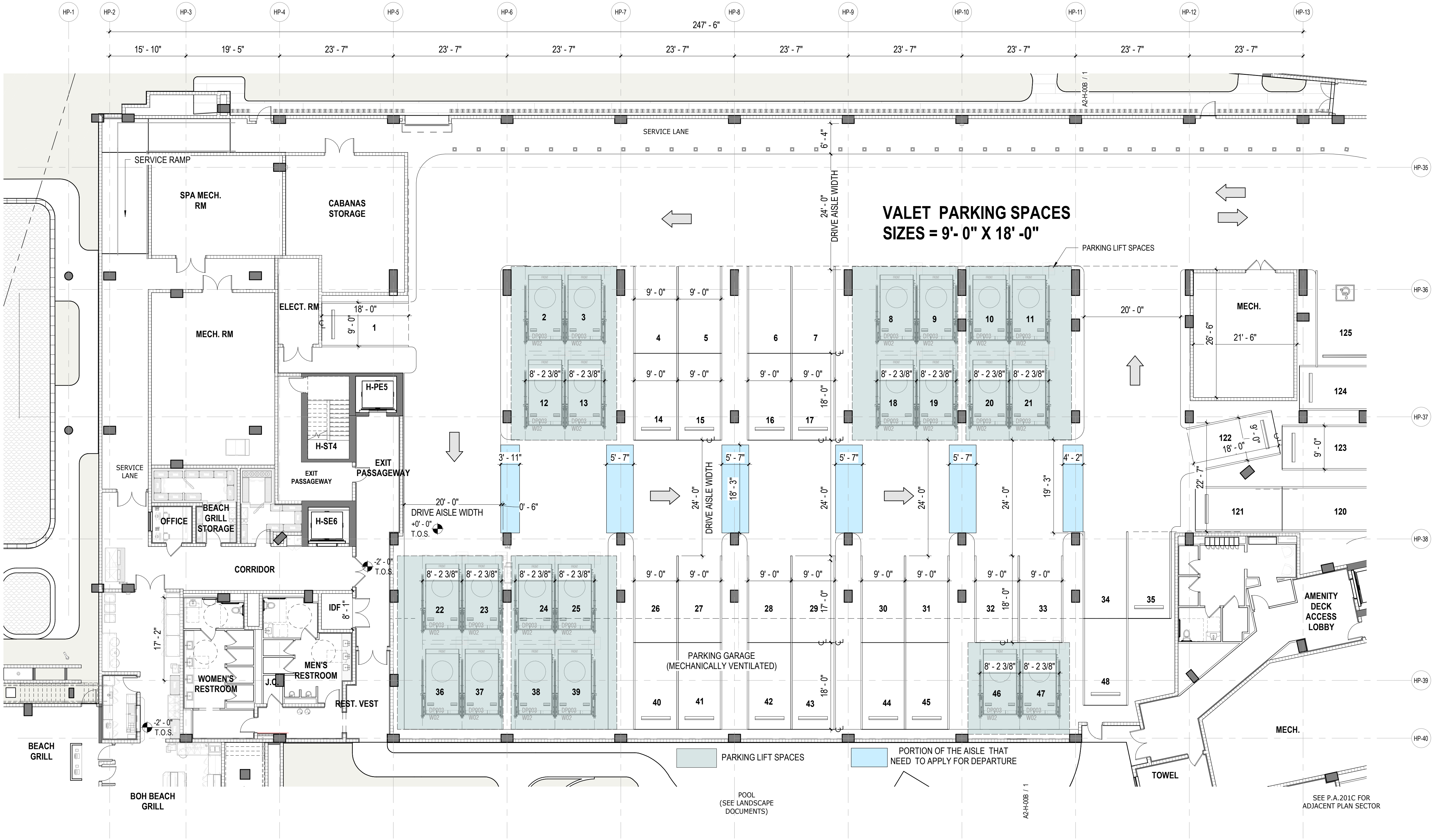
55' - 0"

PROPERTY LINE

SETBACK LINE

STATE OF FLORIDA COASTAL CONSTRUCTION
CONTROL LINE (CCCL LINE)
SARASOTA CONTROL LINE BOOK 2, PAGE 1-14
RECORDED:01/26/1989





HOTEL PARKING FLOOR PLAN - LEVEL P1
SECTOR A 1

3/32" = 1'-0"

PLAN LEGEND, SYMBOLS AND NOTES

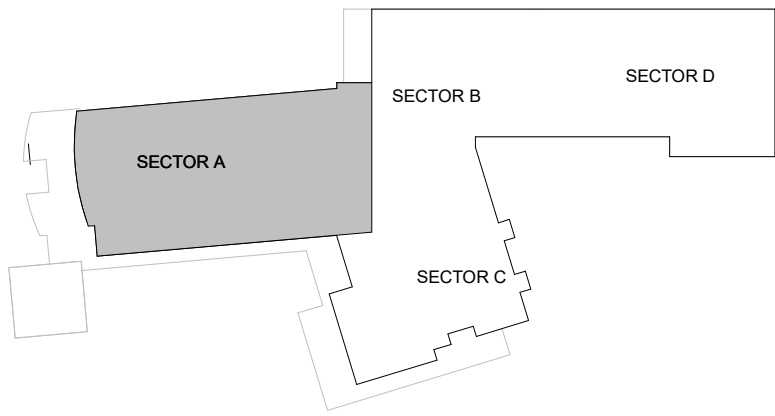
- INDICATES CONC. WALL / COLUMN (SMALL SCALE)
- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
- INDICATES BATHROOM TILE ON STUD WALL
- WINDOW TYPE - SEE WINDOW SCHEDULE
- DOOR TYPE - SEE DOOR SCHEDULE
- STOREFRONT & SLIDER TYPE - SEE SCHEDULE
- LOUVER TYPE - SEE WINDOW SCHEDULE

- WALL TYPE - SEE DRAWING A9-00
- INDICATES FIRE-RATING
- INDICATES WET AREA
- INTERIOR ELEVATION TAG
- SHEET REFERENCE
- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
- FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
- SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
- FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
- REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
- SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
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- ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
- ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION.

KEY PLAN (N.T.S.)



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LONGBOAT KEY HOTEL &
RESIDENCES

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01/25/2022
Reviewer: marnold

1620 GULF OF MEXICO DRIVE

Owner
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Orlando, FL 32819
407-999-9985



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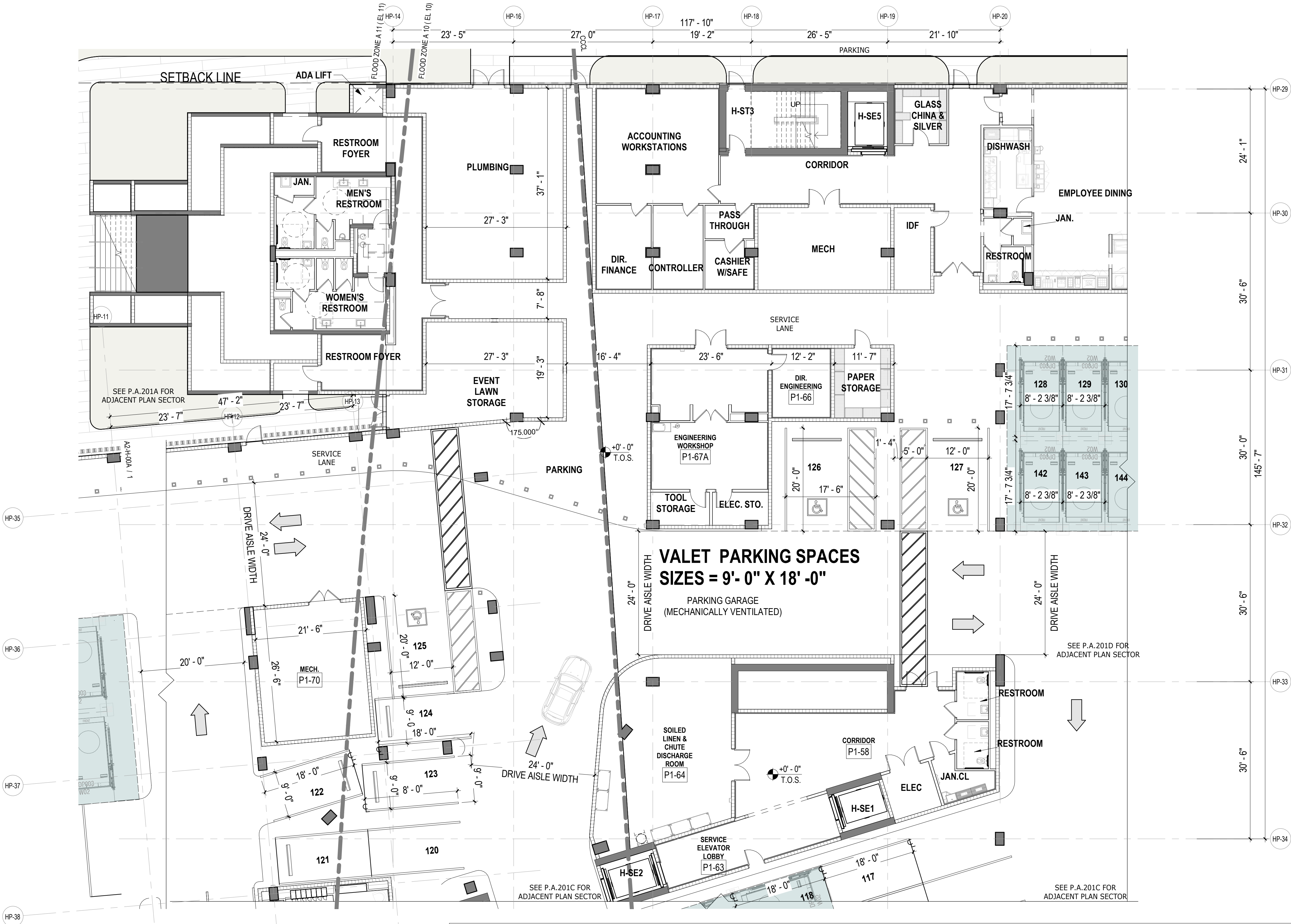
No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. 21816

HOTEL - LEVEL P1
FLOOR PLAN -
SECTOR A - ODP

Sheet No.

A2-H-00A_



**HOTEL PARKING FLOOR PLAN - LEVEL P1
SECTOR B.**
3/32" = 1'-0"

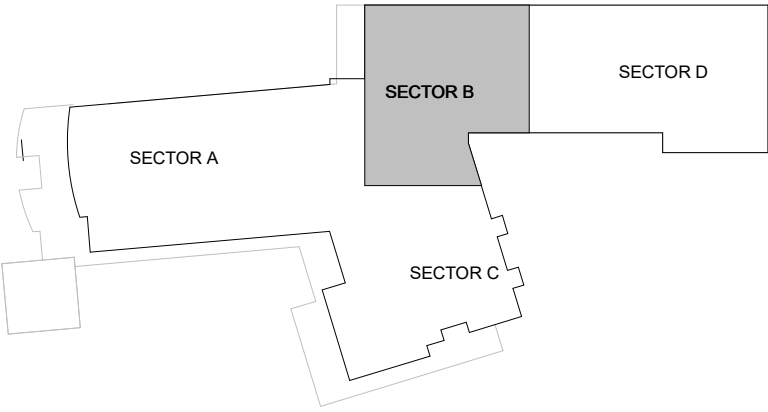
PLAN LEGEND, SYMBOLS AND NOTES

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- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
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- WINDOW TYPE - SEE WINDOW SCHEDULE
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KEY PLAN (N.T.S.)



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**HOTEL - LEVEL P1
FLOOR PLAN -
SECTOR B - ODP**

Sheet No.

A2-H-00B



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HOTEL PARKING FLOOR PLAN - LEVEL P1
SECTOR C.

3/32" = 1'-0"

PLAN LEGEND, SYMBOLS AND NOTES

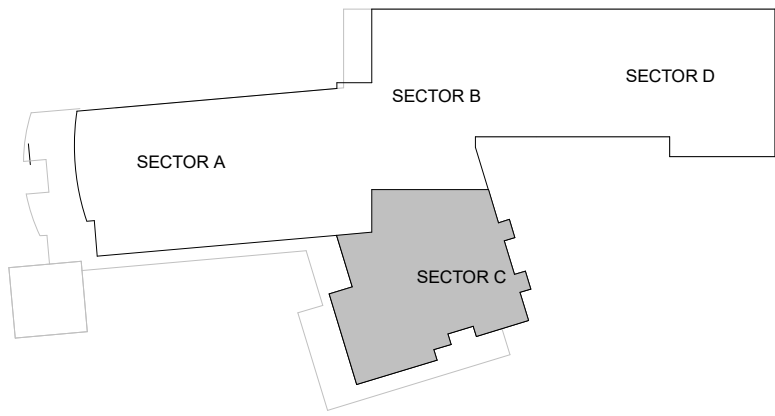
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KEY PLAN (N.T.S.)



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	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. 21816

HOTEL - LEVEL P1
FLOOR PLAN -
SECTOR C- ODP

Sheet No.

A2-H-00C



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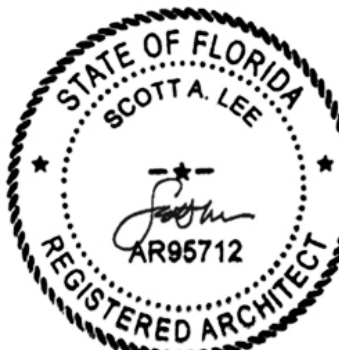
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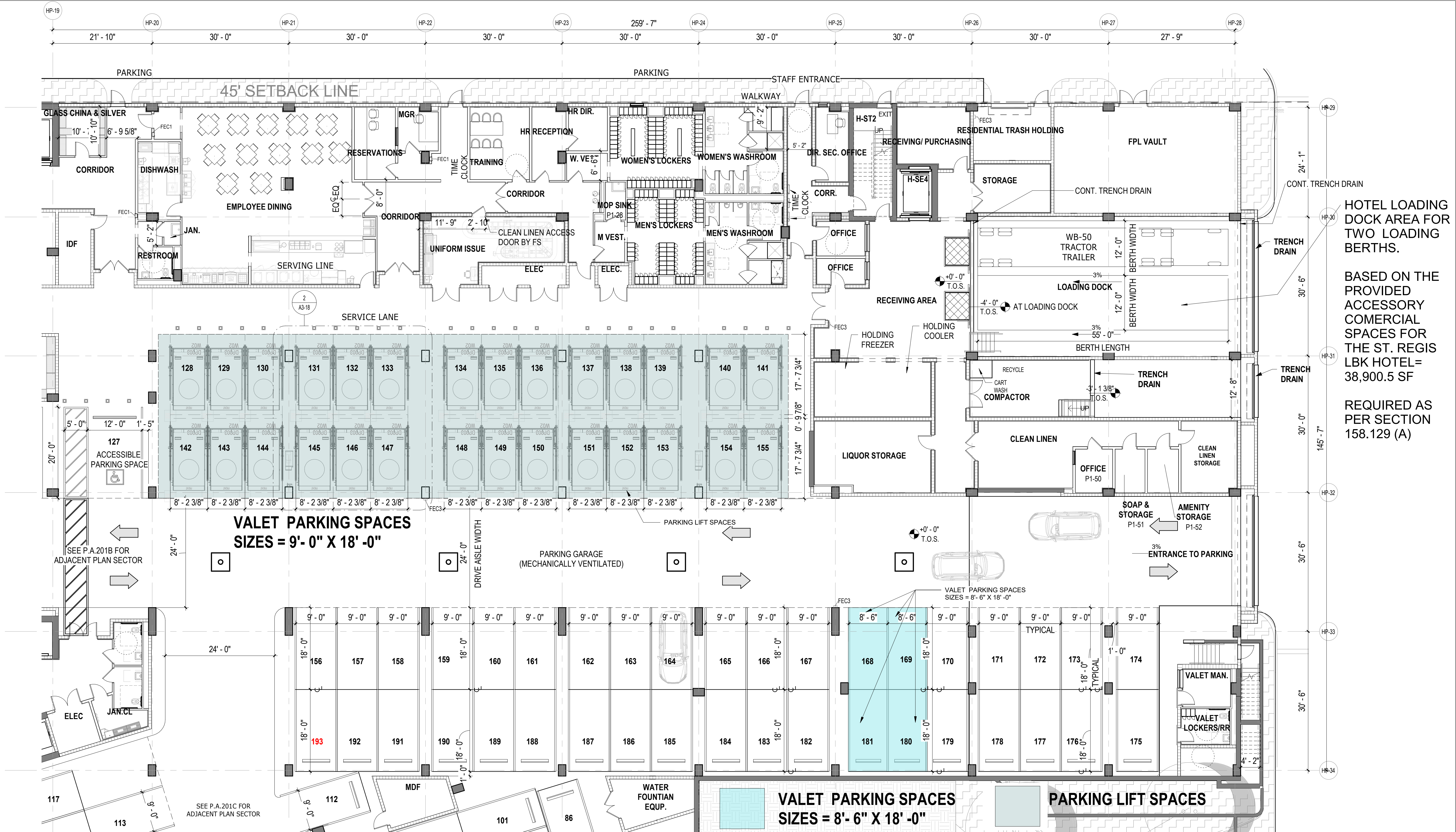
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PLAN LEGEND, SYMBOLS AND NOTES

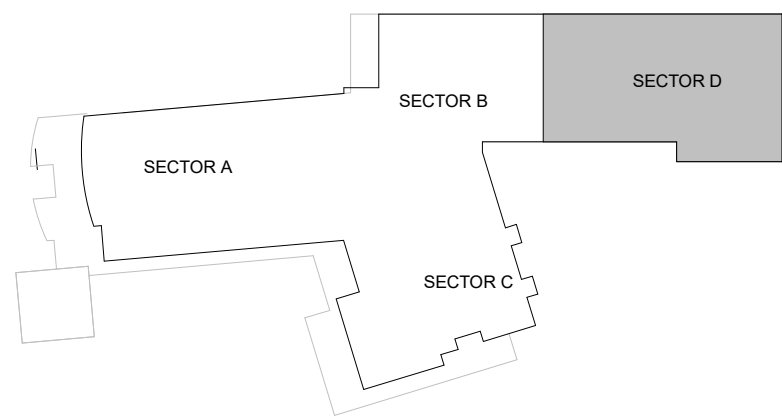
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- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
- FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
- SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
- FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
- REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
- SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
- TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
- ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
- ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION.

KEY PLAN (N.T.S.)



PARKING LEVEL FLOOR PLAN SECTOR D.

3/32" = 1'-0"

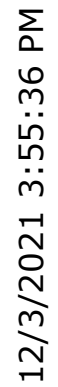
No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021



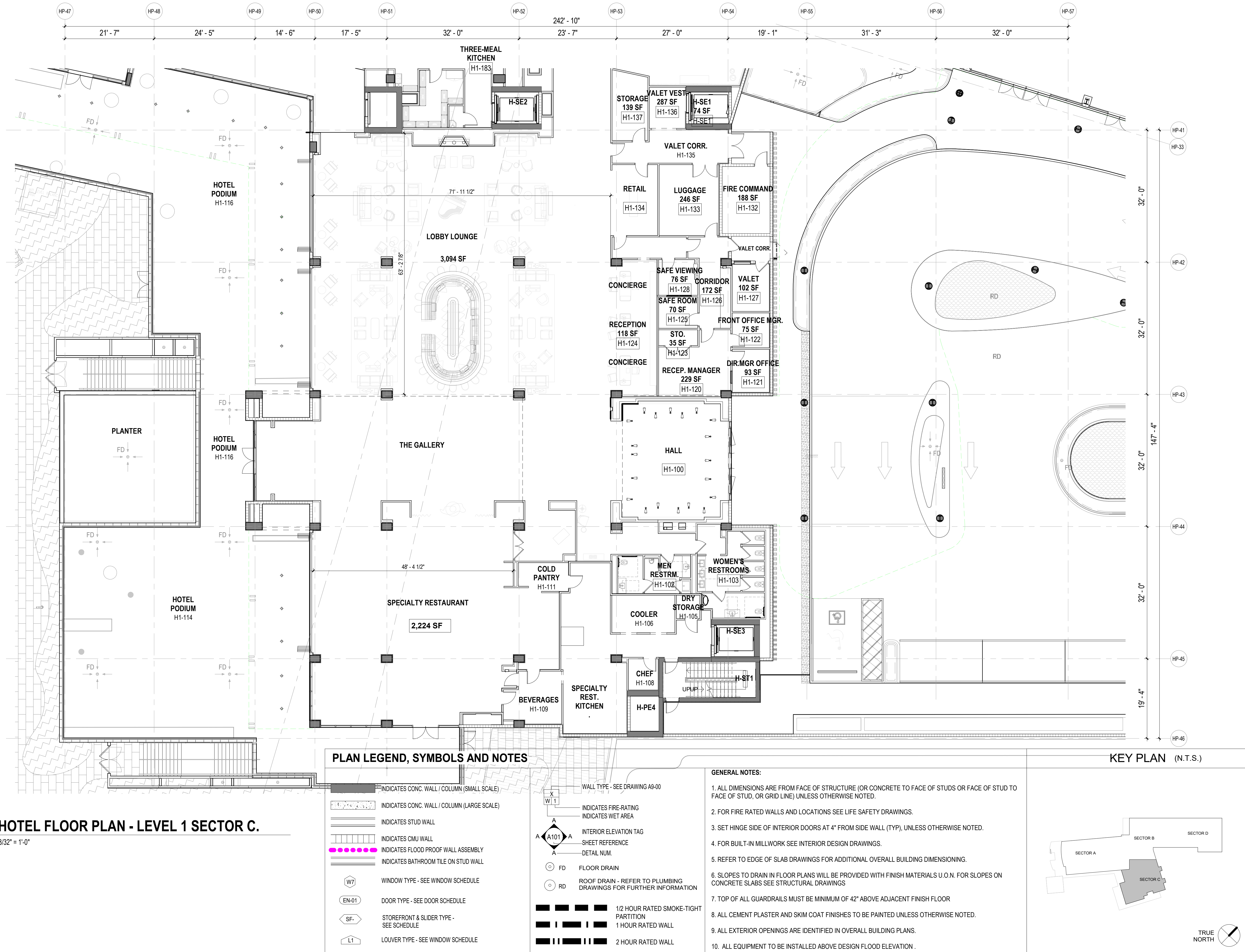
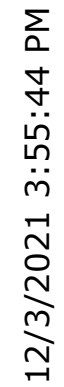
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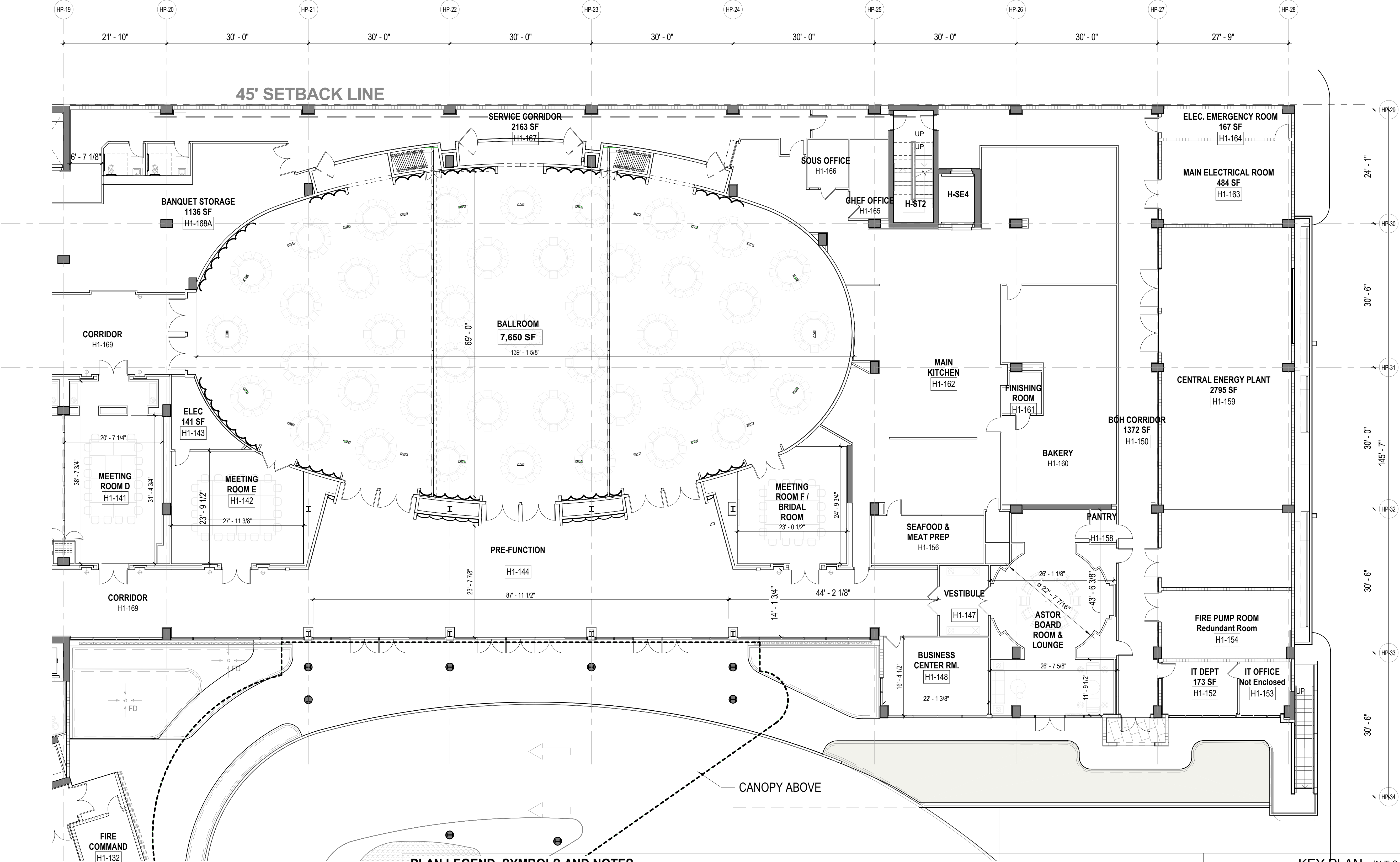

$$3/32'' = 1'-0''$$

1. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
2. FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
3. SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SLIDE WALL (TYP), UNLESS OTHERWISE NOTED.
4. FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
5. REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
6. SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
7. TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
8. ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
10. ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION .



TRUE NORTH





1 HOTEL FLOOR PLAN - LEVEL 1 SECTOR D.
3/32" = 1'-0"

PLAN LEGEND, SYMBOLS AND NOTES

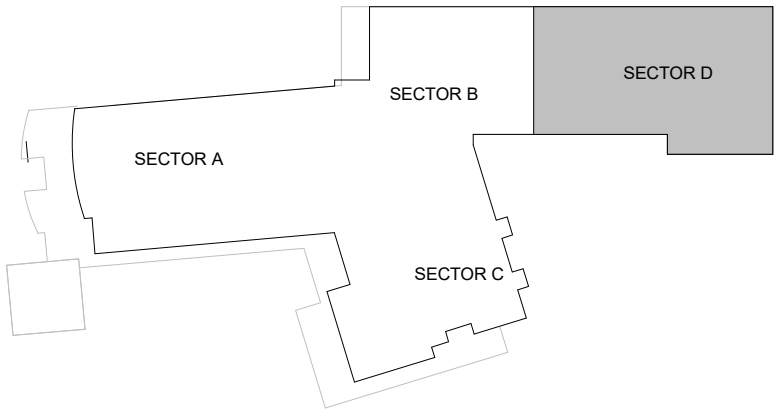
- INDICATES CONC. WALL / COLUMN (SMALL SCALE)
- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
- INDICATES BATHROOM TILE ON STUD WALL
- WINDOW TYPE - SEE WINDOW SCHEDULE
- DOOR TYPE - SEE DOOR SCHEDULE
- STOREFRONT & SLIDER TYPE - SEE SCHEDULE
- LOUVER TYPE - SEE WINDOW SCHEDULE

- WALL TYPE - SEE DRAWING A9-00
- INDICATES FIRE-RATING
- INDICATES WET AREA
- INTERIOR ELEVATION TAG
- SHEET REFERENCE
- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
- FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
- SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
- FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
- REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
- SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
- TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
- ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED. FOR GENERAL NOTES AND SYMBOLS SEE SHEET A-0.05
- ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
- ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION .

KEY PLAN (N.T.S.)



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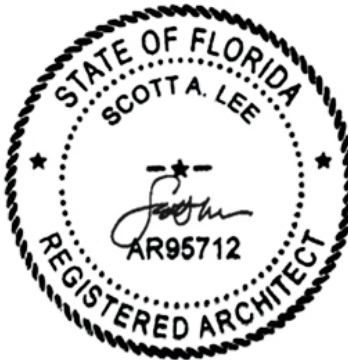
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Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: marnold

1620 GULF OF MEXICO DRIVE

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



UNICORP
NATIONAL DEVELOPMENTS, INC.



No.	Description	Date
1	FINAL SITE PLAN	10/20/2021
2	COMPLIANCE REVIEW	
3		
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10		

Sheet Title Project No. 21816

HOTEL - LEVEL 1
FLOOR PLAN -
SECTOR D - ODP

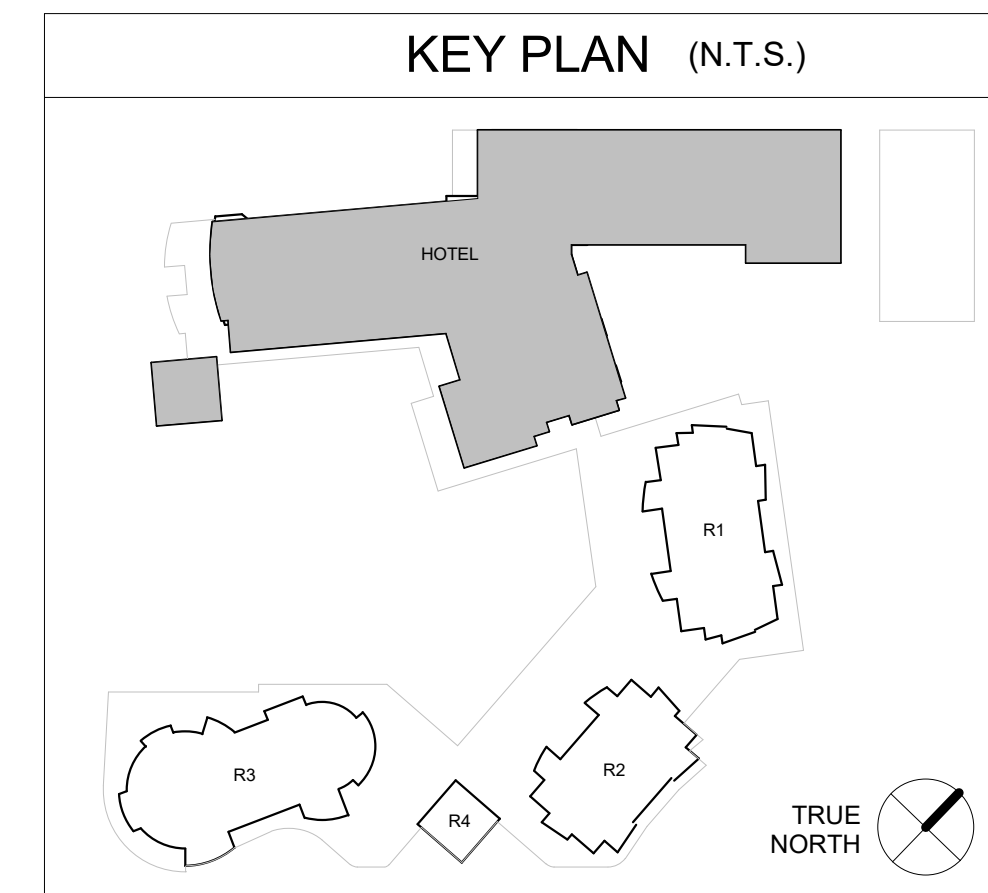
Sheet No.

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1 HOTEL FLOOR PLAN - ROOF LEVEL.
1" = 30'-0"

TOTAL ROOF AREA = 49,821 SF
STRUCTURE ON THE ROOF (MECHANICAL RM. ENCLOSED BY SCREEN AND NOT
ENCLOSED BY SCREEN, STAIRS AND ELEVATOR OVERRUN) = 4,810 SF = 9.65%





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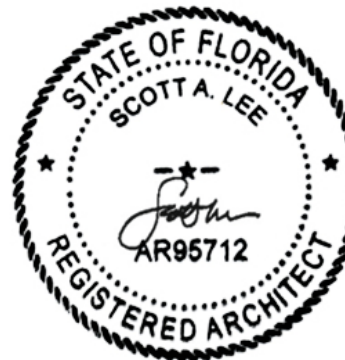
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No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. 21816

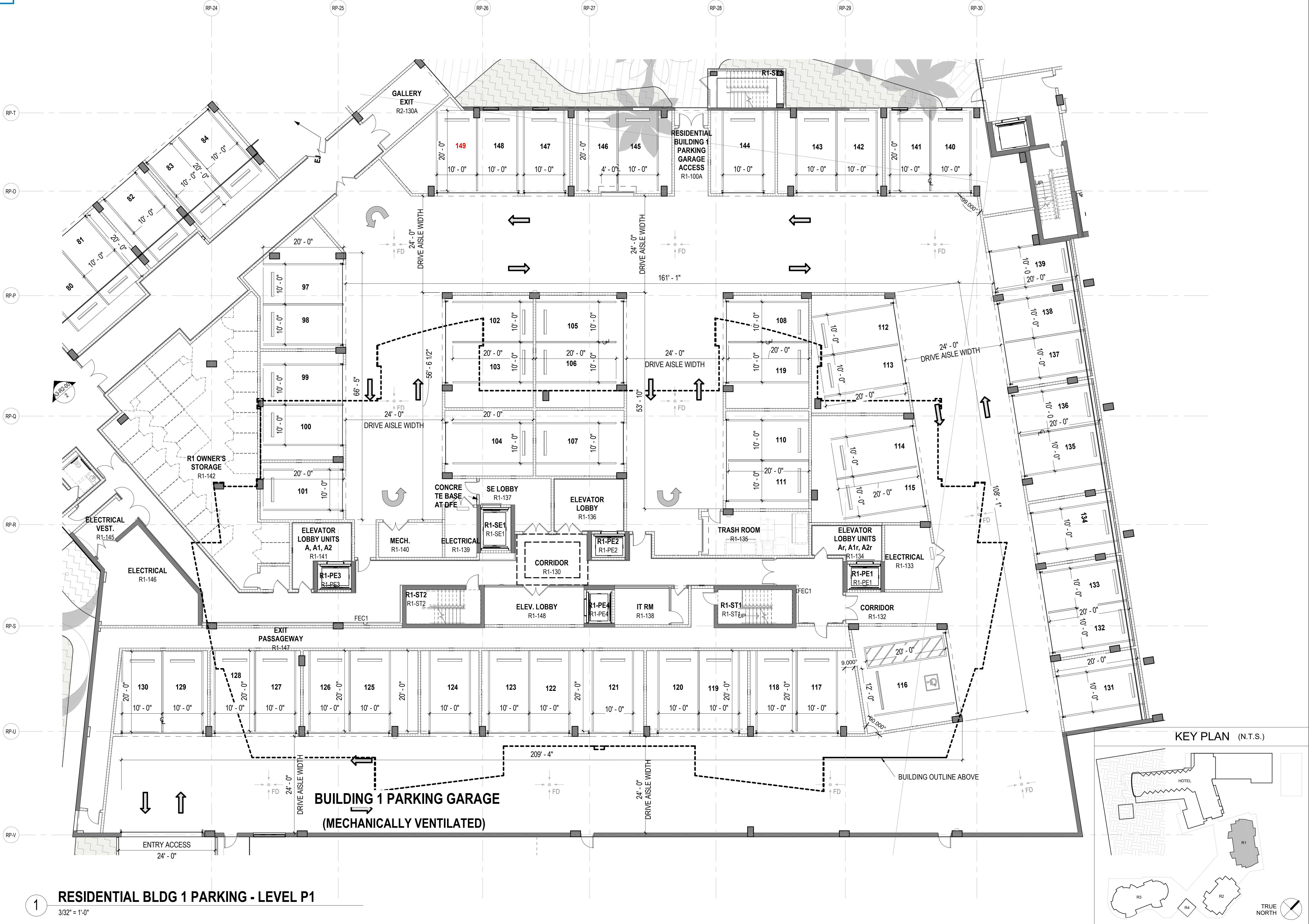
BUILDING 1 - LEVEL
P1 FLOOR PLAN _
ODP

Sheet No.

A2-R1-00_

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1 RESIDENTIAL BLDG 1 PARKING - LEVEL P1
3/32" = 1'-0"



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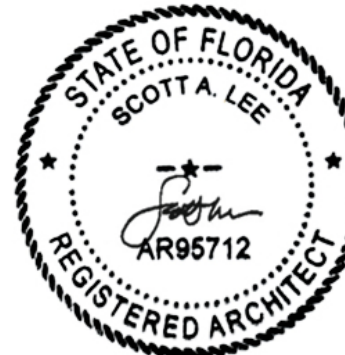
01/25/2022
Reviewer: marnold

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No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

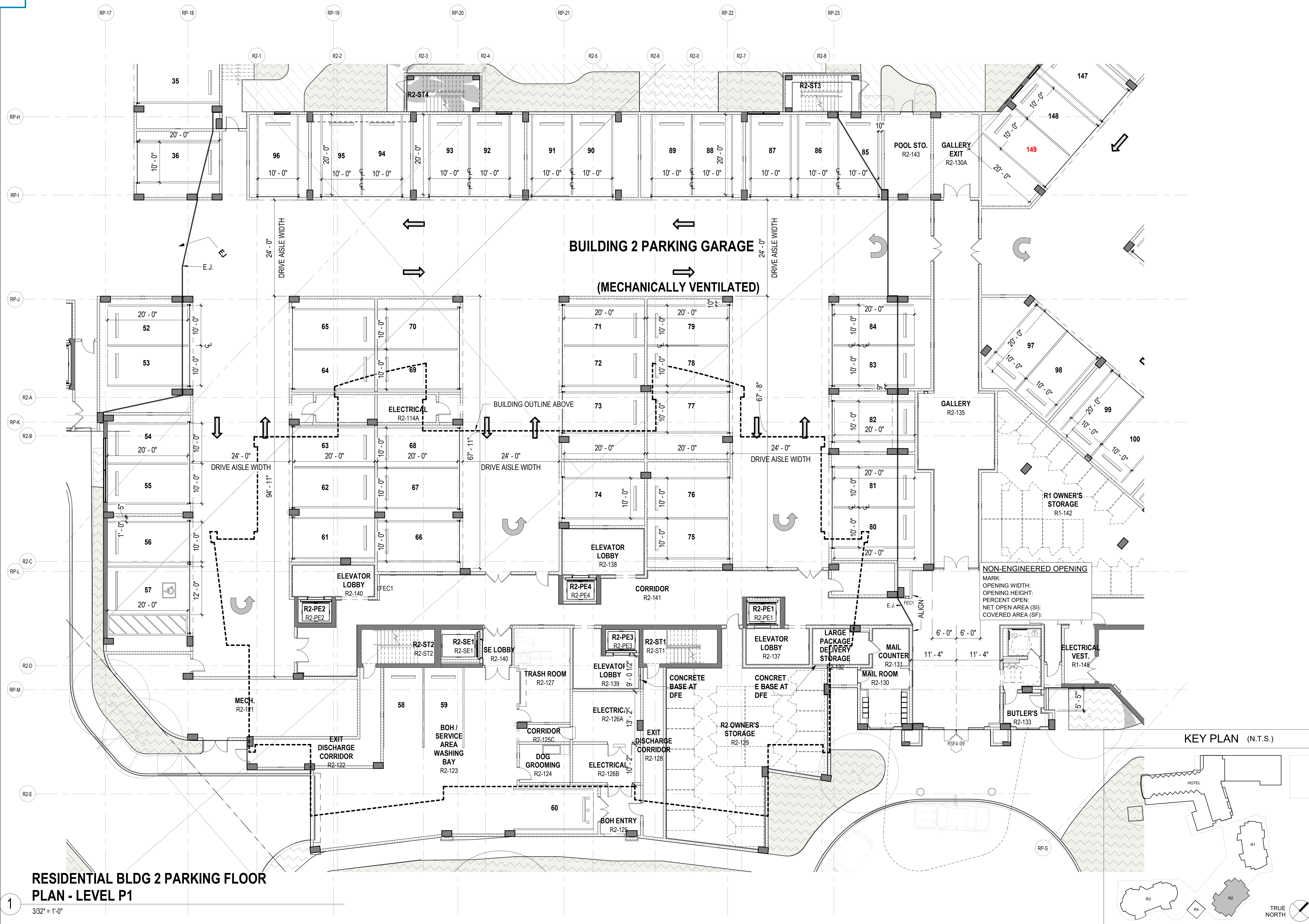
Sheet Title Project No. 21816

RESI BUILDING 2 -
LEVEL P1 FLOOR
PLAN - ODP

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A2-R2-00_

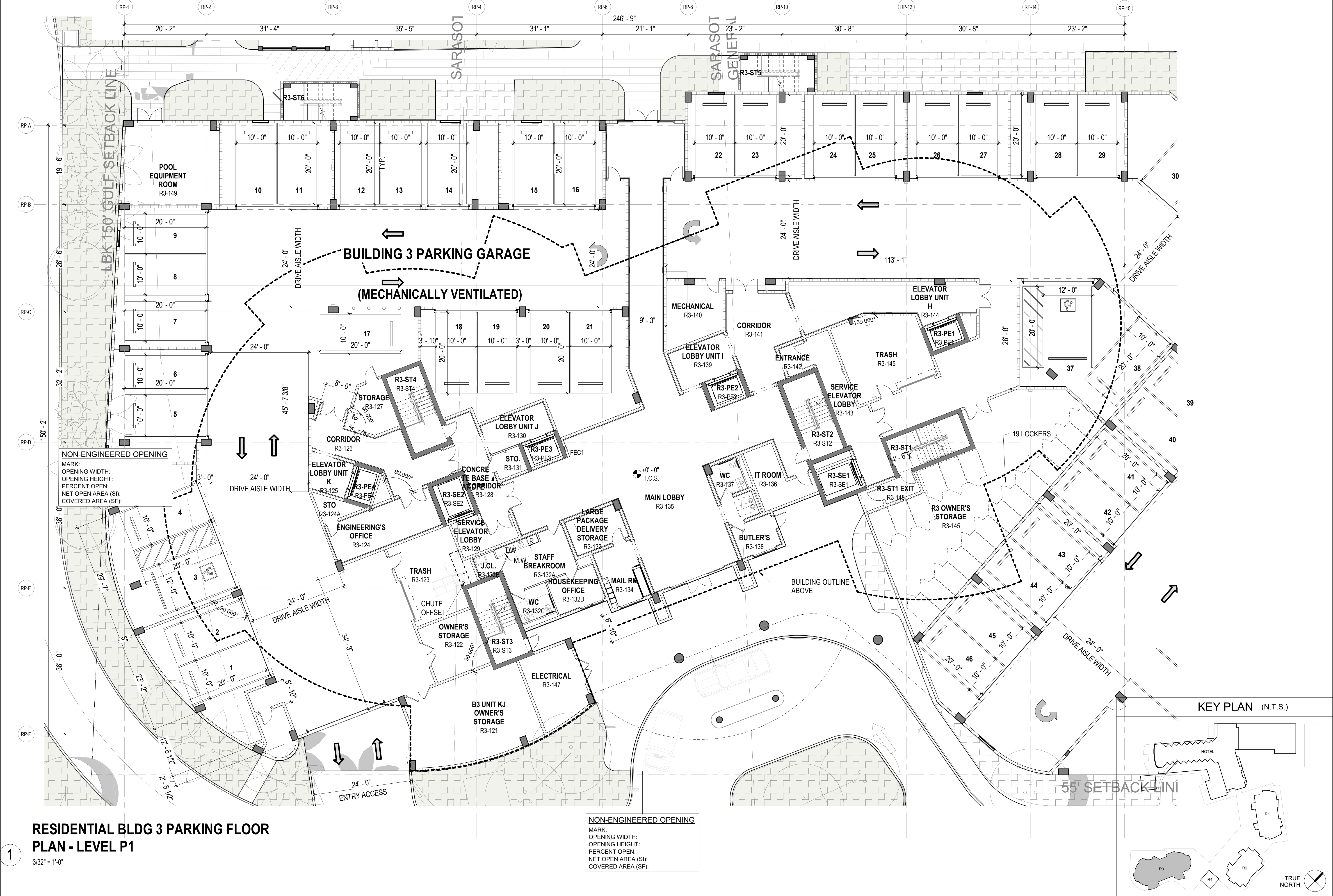
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RESIDENTIAL BLDG 2 PARKING FLOOR
PLAN - LEVEL P1

3/32" = 1'-0"



RESIDENTIAL BLDG 3 PARKING FLOOR
PLAN - LEVEL P1

3/32" = 1'-0"

NON-ENGINEERED OPENING
MARK:
OPENING WIDTH:
OPENING HEIGHT:
PERCENT OPEN:
NET OPEN AREA (SI):
COVERED AREA (SF):



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No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. 21816

RESI BUILDING 3 -
LEVEL P1 FLOOR
PLAN - ODP

Sheet No.

A2-R3-00_

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DRIVE
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: mamold

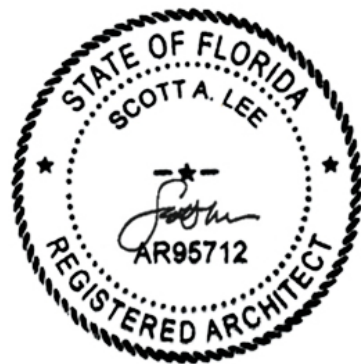
01/25/2022

Reviewer: marnold

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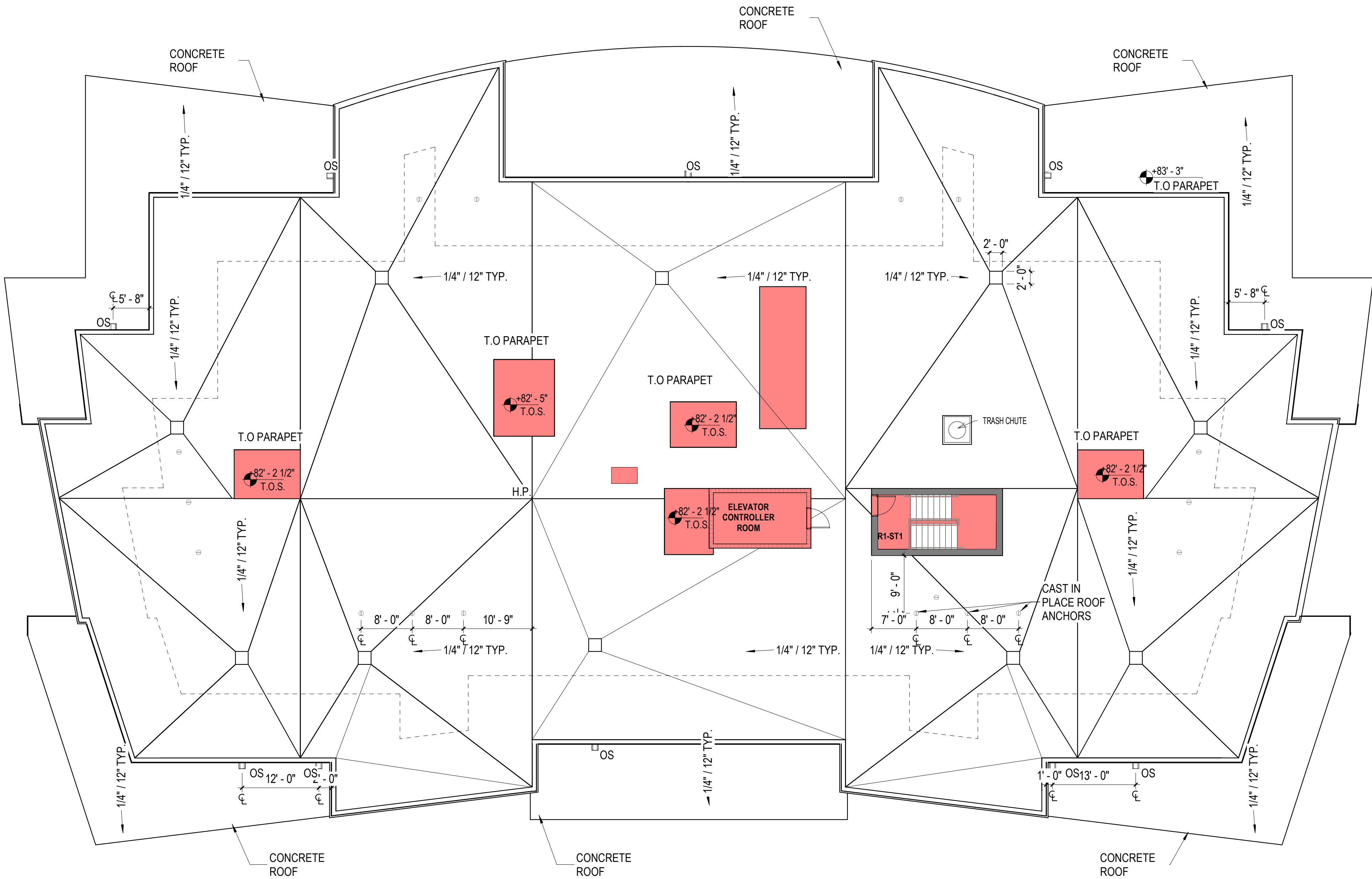
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RESI BUILDING 1 - ROOF PLAN - ODP

Sheet No.

A2-R1-07



**TOTAL ROOF AREA INCLUDING THE BALCONIES = 22,451 SF
STRUCTURE ON THE ROOF (MECHANICAL RM. NOT ENCLOSED BY
SCREEN AND STAIRS, ELEVATOR OVERRUN) = 969 SF = 4.31%**

RESIDENTIAL BUILDING 1 FLOOR PLAN - ROOF LEVEL.












1









$$3/32'' = 1'-0''$$

CEILING LEGEND, SYMBOLS AND NOTES

Diagram illustrating the components of a ceiling and floor assembly, showing various materials and their relative positions:

- EXPOSED BOTTOM OF SLAB
- INDICATED DROP CEILING. REFER TO SPECIFICATIONS
- INDICATES 4" RIGID INSULATION WITH MINIMUM R-19 UNDERNEATH SLAB
- ACOUSTIC CEILING
- B.O.S. BOTTOM OF SLAB
- A.F.F.L. ABOVE FINISH FLOOR LEVEL
- GYP. BD. GYPSUM BOARD
- C.P. CEMENT PLASTER
- B.O.B. BOTTOM OF BEAM
- CEILING MATERIAL
- XXX
X"-X"
- CEILING HEIGHT MEASURED FROM TOP OF FINISH

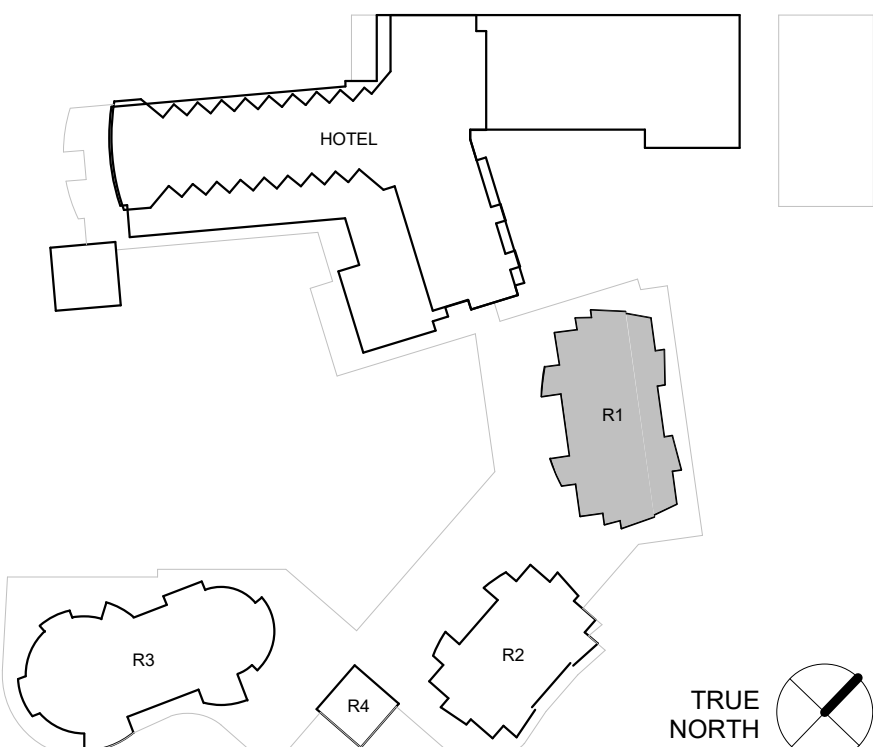
CEILING LIGHT FIXTURES	
	PENDANT LIGHT
	DOWNLIGHT - ROUND
	WATERPROOF LIGHT
	DOWNLIGHT - SQUARE
	STRIP LIGHTING
	JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
ACCESS PANEL	EXHAUST FAN
	
DIFFUSER	RETURN
	

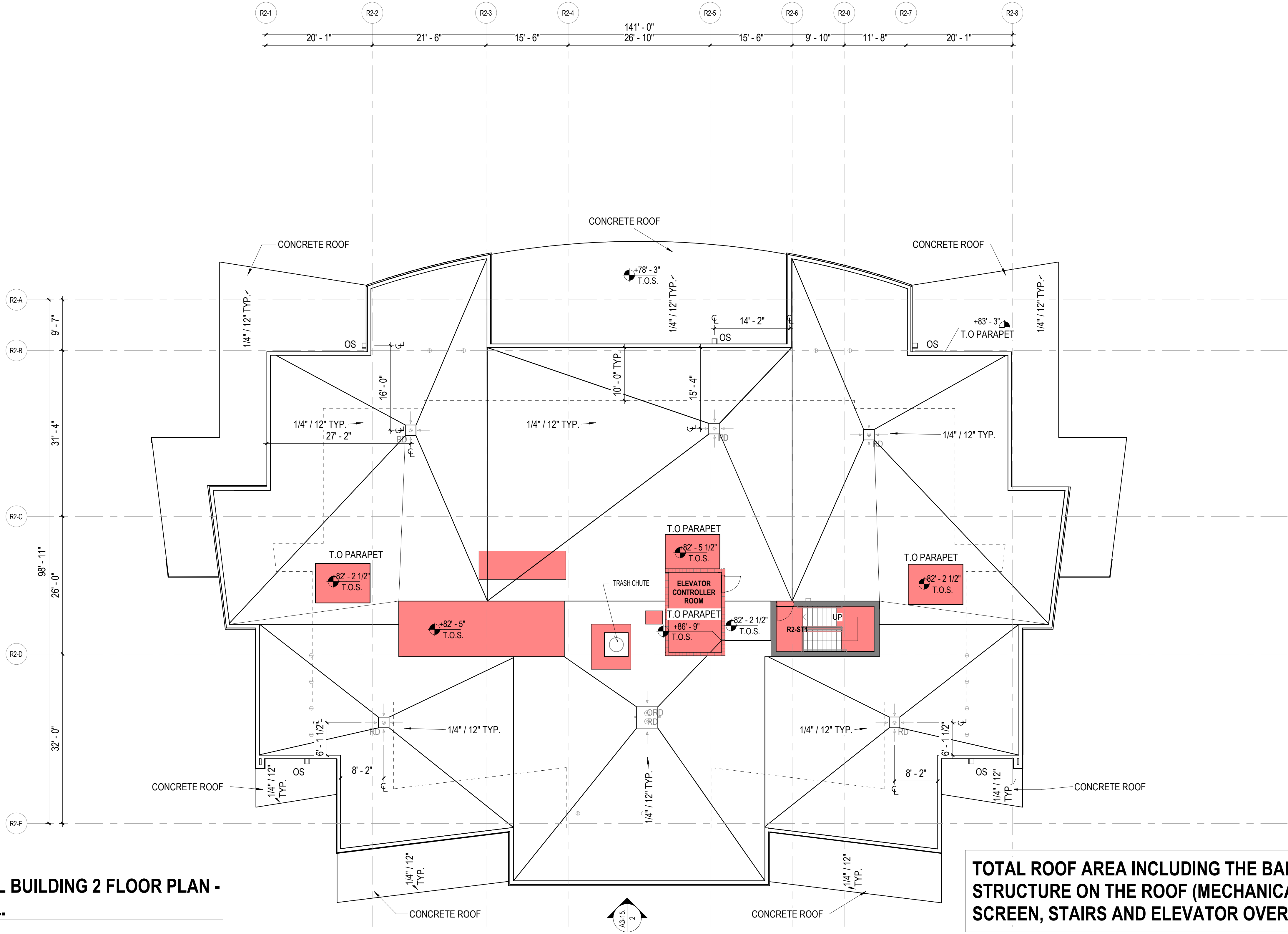
SPRINKLER HEAD
FLUSH **PENDENT**
 
UPRIGHT

SMOKE AND HEAT DETECTORS
☐ **AND** ☐
EXIT SIGN
CEILING MOUNTED
 **OR** 
WALL MOUNTED
 **OR** 
STRUCT. RIGGING POINT


1. G.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL LIGHTING, AND FIRE PROTECTION INSTALLATIONS.
2. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
3. ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR
4. REFER TO ID DWGS FOR ALL INTERIOR FURNISHINGS, FIXTURES AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED. EXACT LOCATION OF ALL ELECTRICAL, MECHANICAL AND FP DEVICES TO BE COORDINATED WITH ARCHITECT AND ID. REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED DEVICES. ALL DEVICES SHALL BE MOUNTED AS PER CODE. REFER TO ENGINEERS' DWGS CODE ESTABLISHED MOUNTING HEIGHTS.
5. ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.

6. HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15 LBS. REQUIRE ATTACHMENT DETAILS WHICH EXCEED CONVENTIONAL METHODS FOR ATTACHING J-BOXES TO CEILING FRAMING. THEY SHALL BE SUSPENDED FROM STRUCTURAL SLAB WITH AN ENGINEERED METAL FRAMING SYSTEM.
7. SEE MEPFP DRAWINGS FOR LOCATION AND SPECIFICATIONS OF DEVICES & SYSTEMS. COORDINATE EXACT LOCATION OF DEVICES AND SYSTEMS WITH ARCH, I.D., AND LIGHTING DRAWINGS.
8. SUSPENDED ACOUSTICAL CEILING TILE & GRID SYSTEM IS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION. ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
9. ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS, ETC.) IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE UNLESS OTHERWISE IS NOTED.

KEY PLAN (N.T.S.)





1

RESIDENTIAL BUILDING 2 FLOOR PLAN -
ROOF LEVEL.

3/32" = 1'-0"

CEILING LEGEND, SYMBOLS AND NOTES

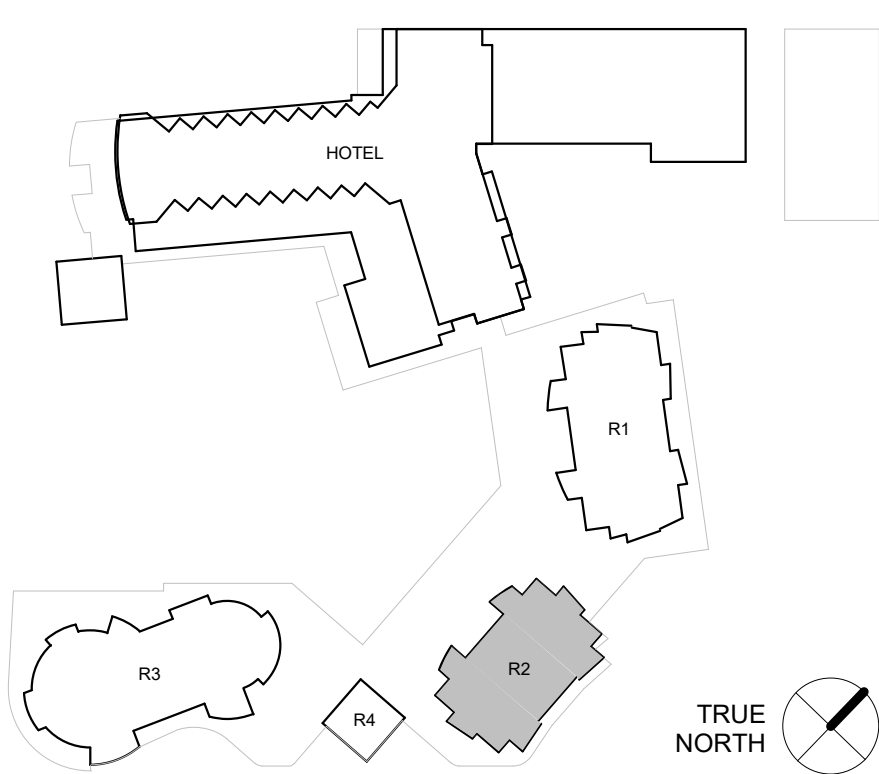
	EXPOSED BOTTOM OF SLAB
	INDICATED DROP CEILING REFER TO SPECIFICATIONS
	INDICATES 4" RIGID INSULATION WITH MINIMUM R-19 UNDERNEATH SLAB
	ACOUSTIC CEILING
	CEILING MATERIAL XXX X'-X"
	B.O.S. BOTTOM OF SLAB
	A.F.F.L. ABOVE FINISH FLOOR LEVEL
	GYP. BD. GYPSUM BOARD
	C.P. CEMENT PLASTER
	B.O.B. BOTTOM OF BEAM
	CEILING HEIGHT MEASURED FROM TOP OF FINISH

	PENDANT LIGHT
	DOWNLIGHT - ROUND
	WATERPROOF LIGHT
	DOWNLIGHT - SQUARE
	STRIP LIGHTING
	JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
	ACCESS PANEL
	EXHAUST FAN
	DIFFUSER
	RETURN

	SPRINKLER HEAD FLUSH
	PENDENT
	UPRIGHT
	SMOKE AND HEAT DETECTORS
	EXIT SIGN
	CEILING MOUNTED
	WALL MOUNTED
	STRUCT. RIGGING POINT

1. G.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, LIGHTING, AND FIRE PROTECTION INSTALLATIONS.
2. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
3. ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR
4. REFER TO ID DWGS FOR ALL INTERIOR FURNISHINGS, FIXTURES AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED. EXACT LOCATION OF ALL ELECTRICAL, MECHANICAL AND FP DEVICES TO BE COORDINATED WITH ARCHITECT AND ID. REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED DEVICES. ALL DEVICES SHALL BE MOUNTED AS PER CODE, REFER TO ENGINEERS' DWGS CODE ESTABLISHED MOUNTING HEIGHTS.
5. ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
6. HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15 LBS. REQUIRE ATTACHMENT DETAILS WHICH EXCEED CONVENTIONAL METHODS FOR ATTACHING J-BOXES TO CEILING FRAMING. THEY SHALL BE SUSPENDED FROM STRUCTURAL SLAB WITH AN ENGINEERED METAL FRAMING SYSTEM.
7. SEE MEP/FP DRAWINGS FOR LOCATION AND SPECIFICATIONS OF DEVICES & SYSTEMS. COORDINATE EXACT LOCATION OF DEVICES AND SYSTEMS WITH ARCH, I.D., AND LIGHTING DRAWINGS.
8. SUSPENDED ACOUSTICAL CEILING TILE & GRID SYSTEM IS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION. ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
9. ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS, ETC.) IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE UNLESS OTHERWISE IS NOTED.

KEY PLAN (N.T.S.)



No.	Description	Date
1	FINAL SITE PLAN	10/20/2021
2	COMPLIANCE REVIEW	
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Sheet Title Project No. 21816

RESI BUILDING 2 -
ROOF PLAN - ODP

Sheet No.

A2-R2-07



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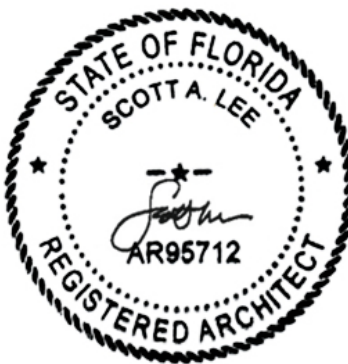
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Resolution 2021-21
01/25/2022
Reviewer: marnold

1620 GULF OF MEXICO DRIVE

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Orlando, FL 32819
407-999-9985



NATIONAL DEVELOPMENTS, INC.

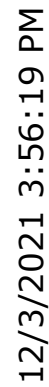


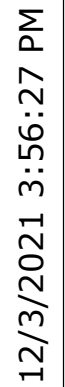
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2	COMPLIANCE REVIEW	
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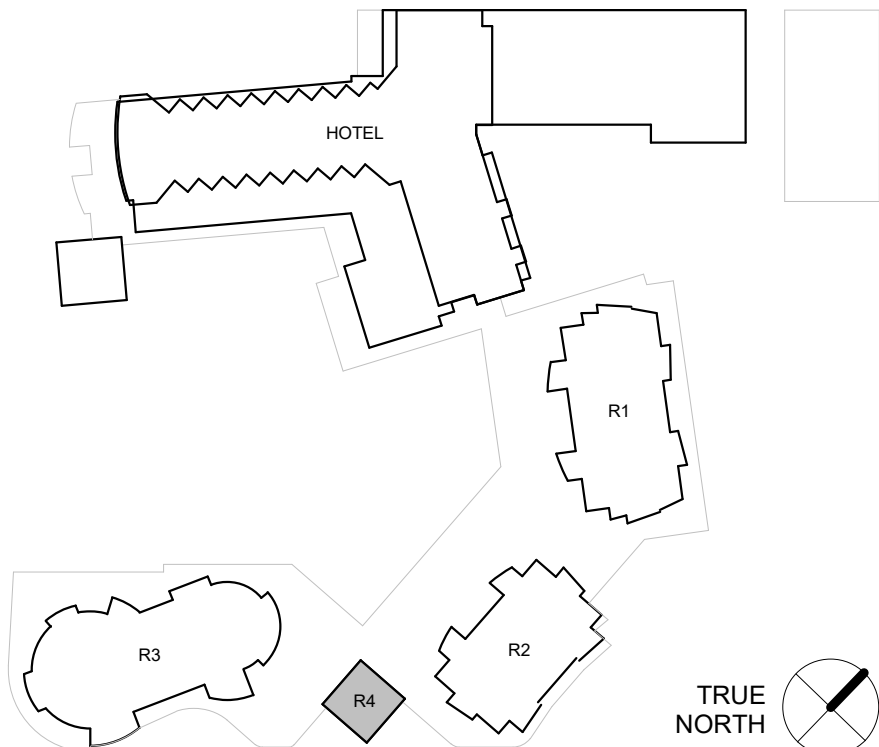
RESI BUILDING 2 -
ROOF PLAN - ODP

Sheet No.





A2-R4-00-





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Reviewer: mamold
01/25/2022

01/25/2022

Reviewer: marnold

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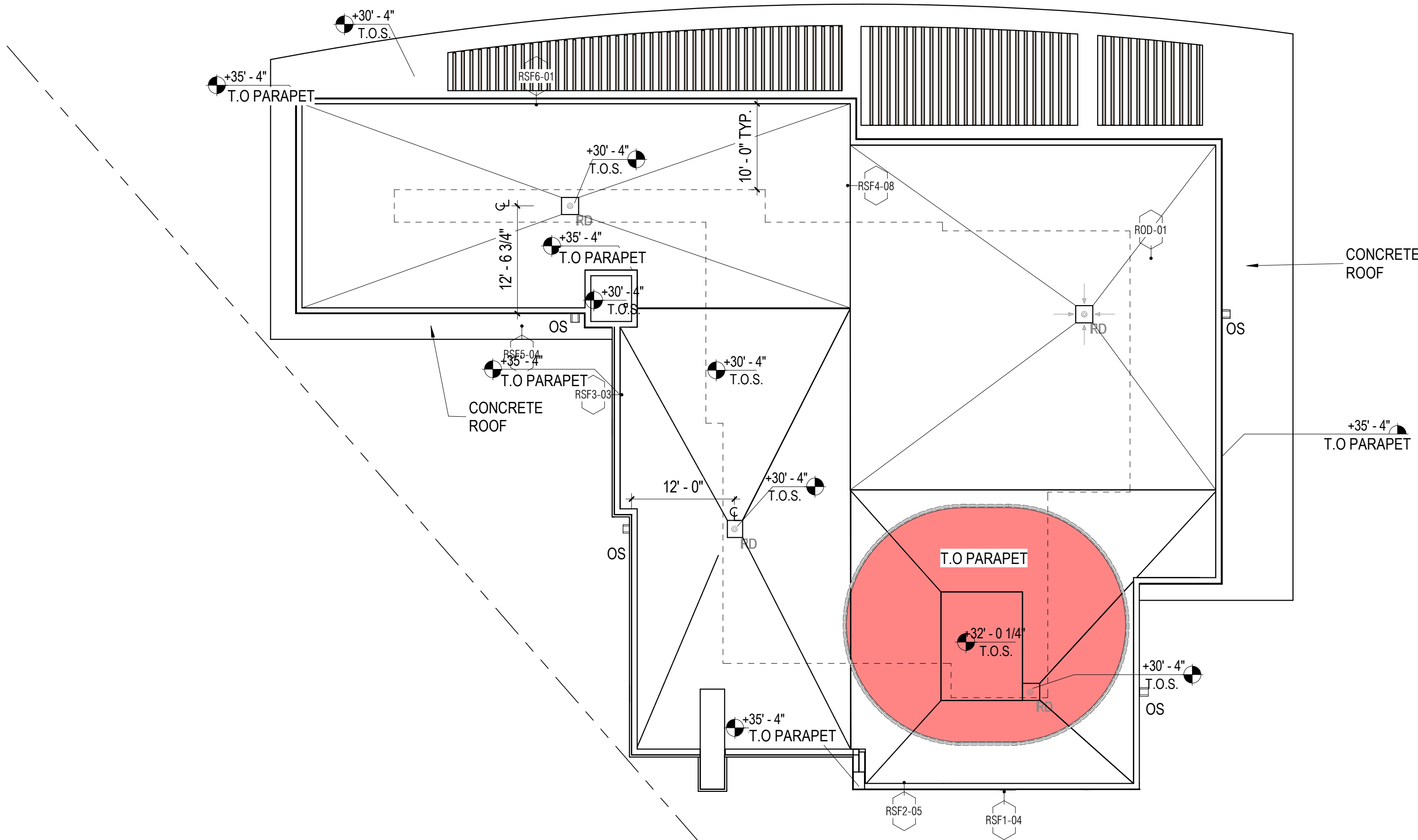
**RESI AMENITY
BUILDING 4 - ROOF
PLAN - ODP**

Sheet No.

A2-R4-02-

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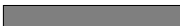

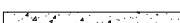
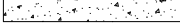








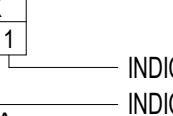
TOTAL ROOF AREA = 7,215 SF
STRUCTURE ON THE ROOF (MECHANICAL RM. AND ELEVATOR
OVERRUN ENCLOSED BY SCREEN) = 720 SF= 10.1%

**RESI AMENITY BUILDING 4 FLOOR PLAN -
ROOF LEVEL.**

$$3/32'' = 1'-0''$$

PLAN LEGEND, SYMBOLS AND NOTES

- | | |
|---|---|
|  | INDICATES CONC. WALL / COLUMN (SMALL SCALE) |
|  | INDICATES CONC. WALL / COLUMN (LARGE SCALE) |
|  | INDICATES STUD WALL |
|  | INDICATES CMU WALL |
|  | INDICATES FLOOD PROOF WALL ASSEMBLY |
|  | INDICATES BATHROOM TILE ON STUD WALL |
|
 | |
|  | WINDOW TYPE - SEE WINDOW SCHEDULE |
|  | DOOR TYPE - SEE DOOR SCHEDULE |
|  | STOREFRONT & SLIDER TYPE -
SEE SCHEDULE |
|  | LOUVER TYPE - SEE WINDOW SCHEDULE |

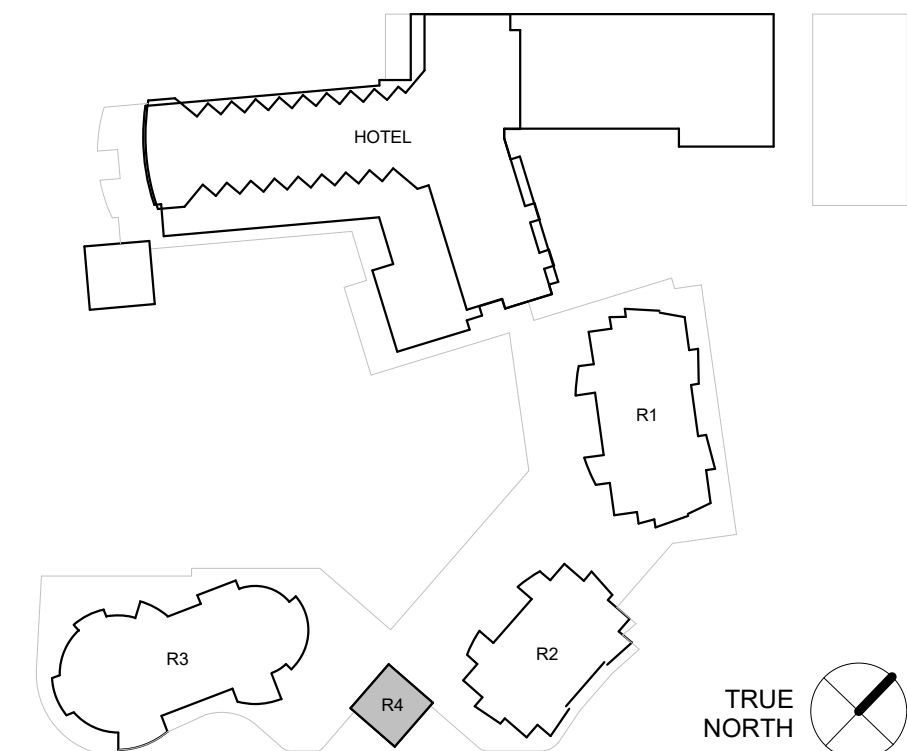
- 
 WALL TYPE - SEE DRAWING A9-00
 INDICATES FIRE-RATING
 INDICATES WET AREA
 INTERIOR ELEVATION TAG
 SHEET REFERENCE
 DETAIL NUM.
 FD FLOOR DRAIN
 RD ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION

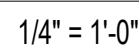
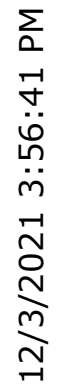
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- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
 1 HOUR RATED WALL
 2 HOUR RATED WALL

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
2. FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS
3. SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP). UNLESS OTHERWISE NOTED.
4. FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
5. REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
6. SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
7. TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
8. ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
10. ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION .

KEY PLAN (N.T.S.)





LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
DRIVE
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: marnold

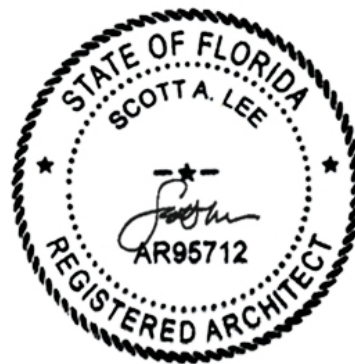
01/25/2022

Reviewer: marnold

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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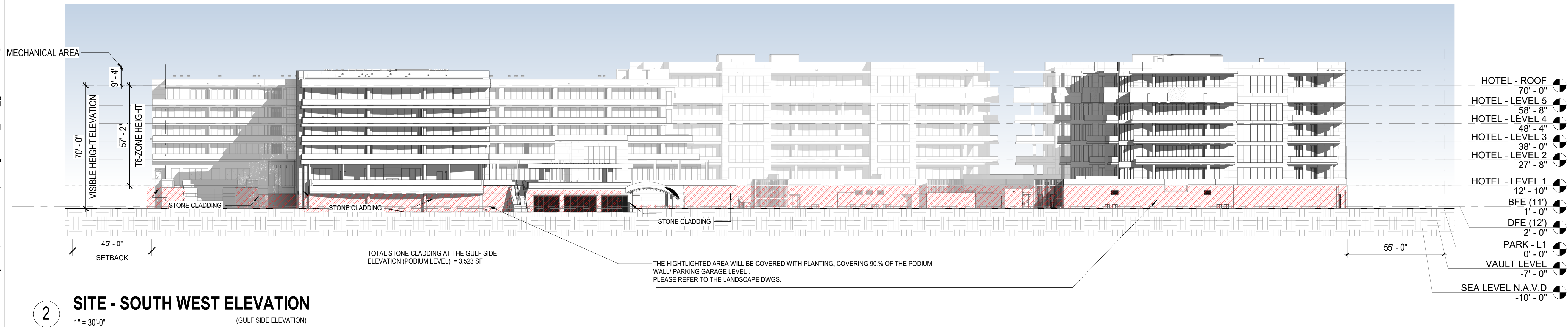
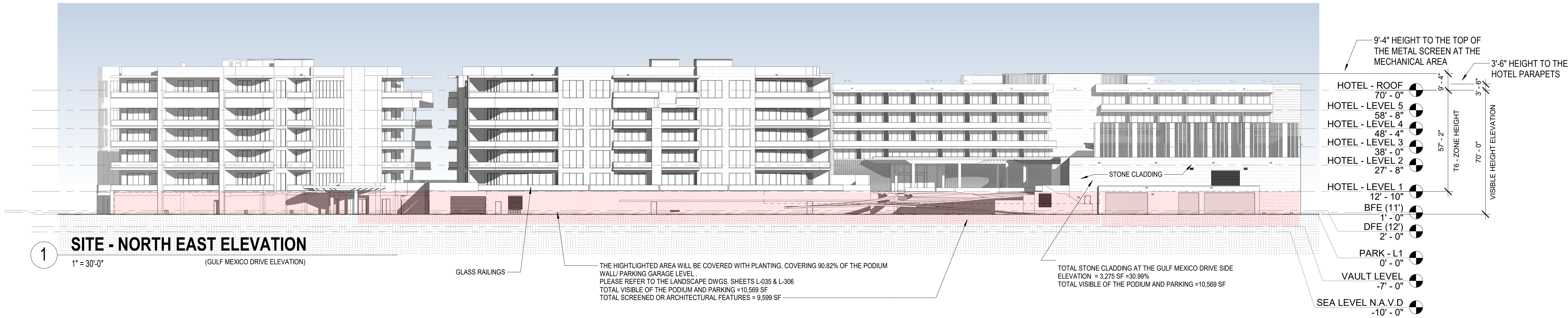
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Sheet Title _____ Project No. **21816**

OVERALL - SITE ELEVATIONS - ODP

Sheet No.

A3-01_





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Site Plan Ordinance 2021-12 and
Resolution 2021-21
1620 GULF OF MEXICO DRIVE
Reviewer: marnold
01/25/2022

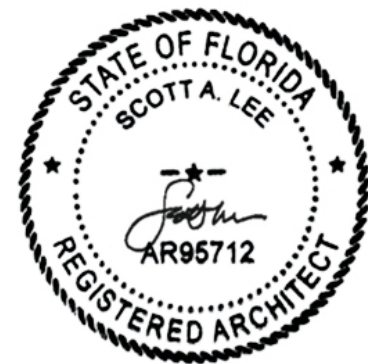
01/25/2022

Reviewer: marnold

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UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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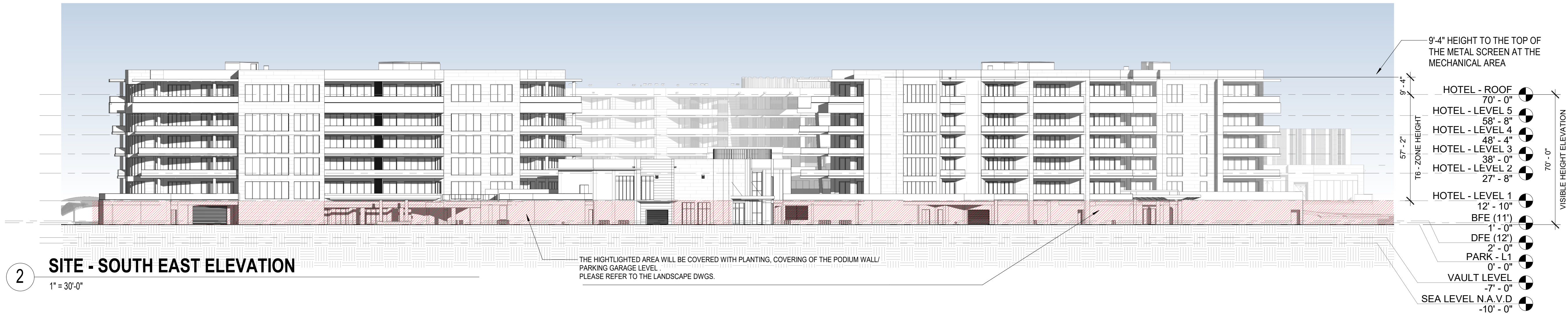
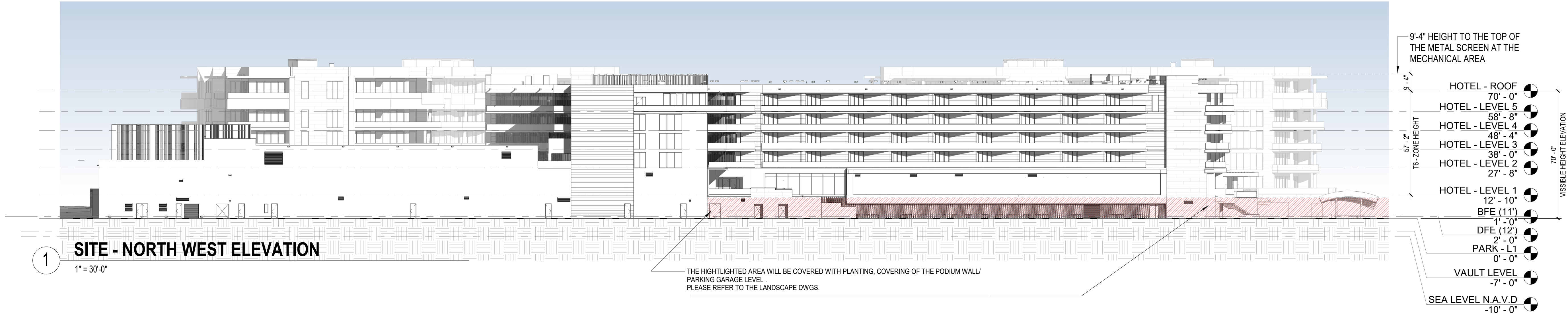
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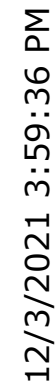
Sheet Title _____ Project No. **21816**

OVERALL - SITE ELEVATIONS- ODP

Sheet No.

A3-02_



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Sheet Title _____ Project No. **21816**

HOTEL - NW & SW ELEVATIONS - SECTOR A - ODP

Sheet No.

A3-03.



STATE OF FLORIDA
SCOTT A. LEE
AR95712
REGISTERED ARCHITECT

Sheet Title _____ Project No. **21816**

2 HOTEL - NE ELEVATION - SECTOR C

HOTEL - SE ELEVATION - SECTOR C

NOTE:
BASIS OF DESIGN GLAZING CRITERIA :

9/16" H/H .090 PVB R100/Starphire

- VLT = 0.443
- SHGC = 0.267
- SOLAR TRANSMITTANCE = 0.194
- EXT. SOLAR REFLECTANCE = 0.57
- INT. SOLAR REFLECTANCE = 0.405
- U-VALUE (WINTER) = 0.932
- U-VALUE (SUMMER DAYTIME) = 0.932
- SHADING COEFFICIENT (SC)= 0.31
- LIGHT TO SOLAR GAIN (LSG)= 1.65



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Site Plan Ordinance 2021-12 and
Resolution 2021-21

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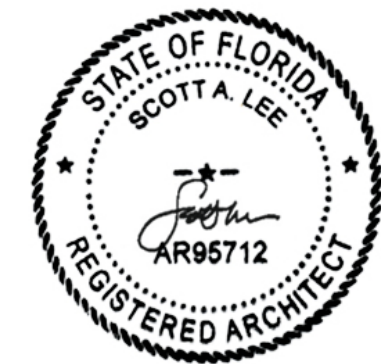
Reviewer: marnold

1620 GULF OF

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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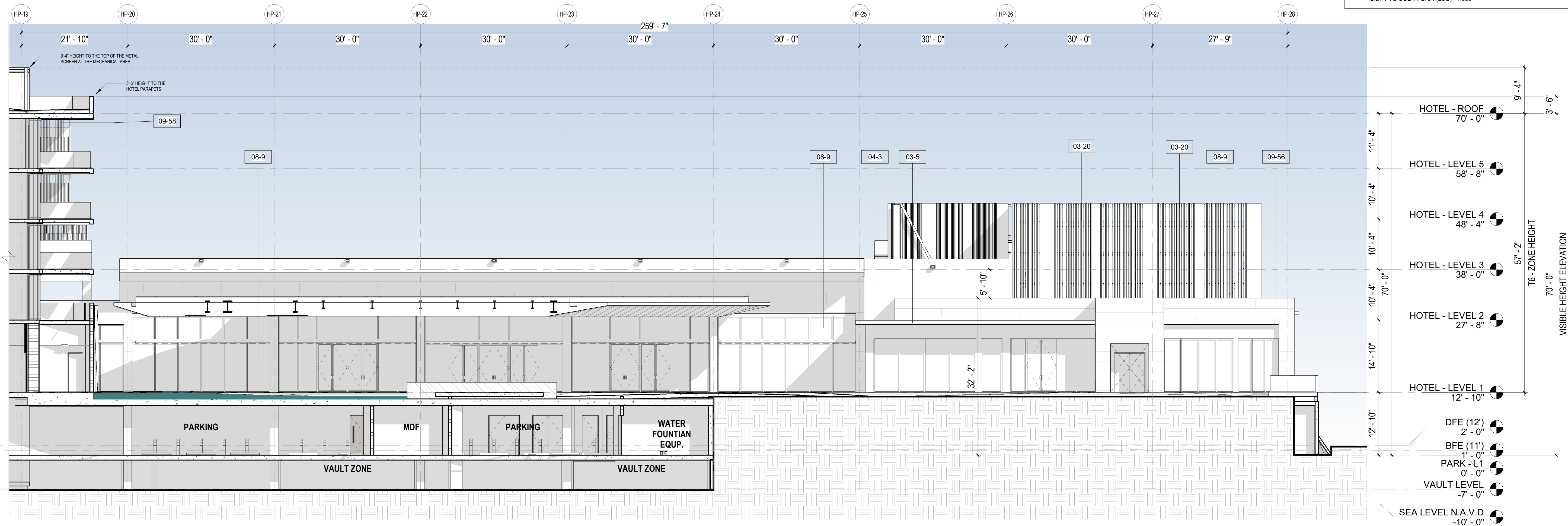
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Sheet Title _____ Project No. **21816**

HOTEL - NORTH & SOUTH ELEVATION - SECTOR D- ODP

Sheet No.

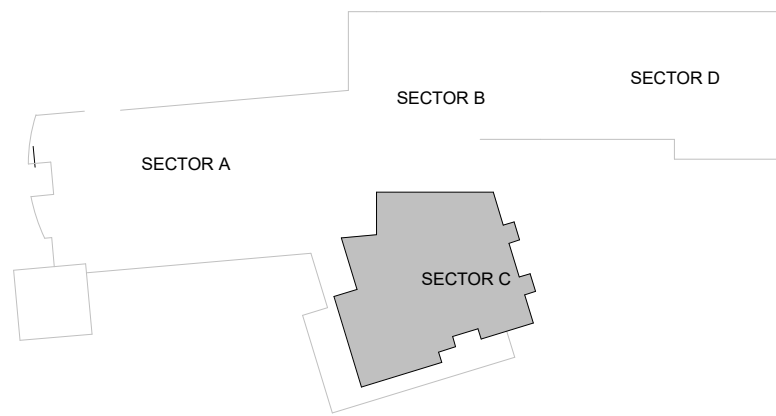
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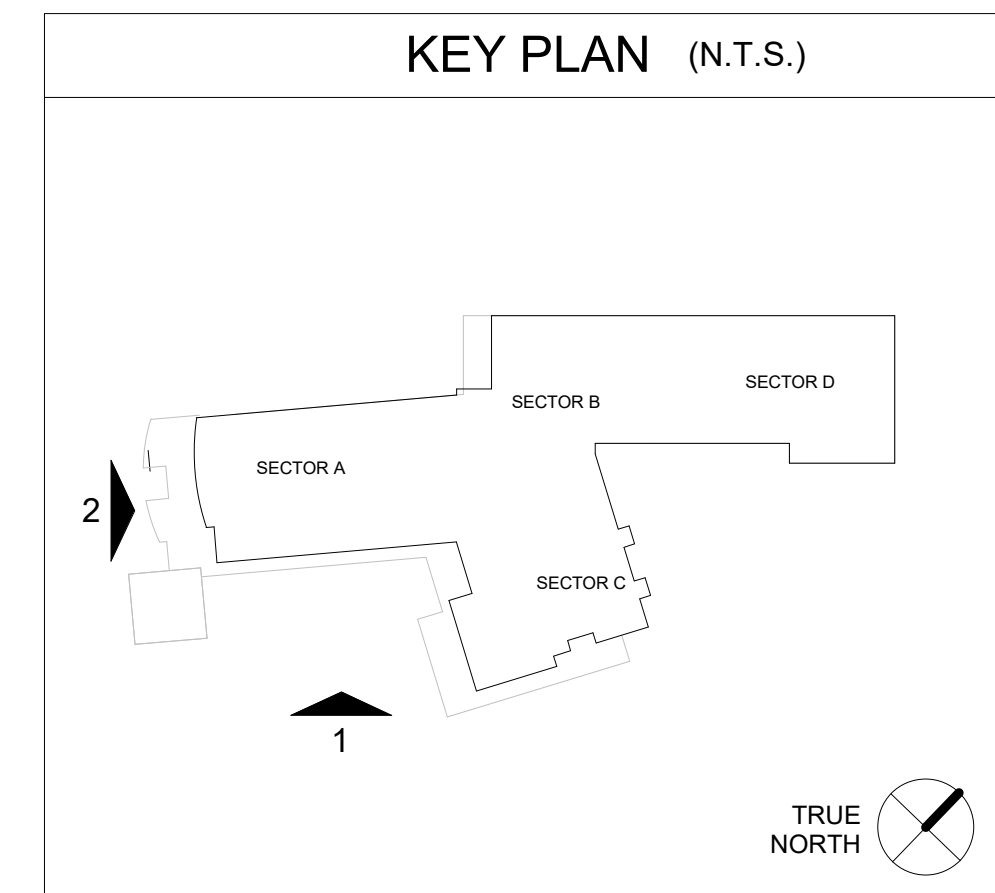
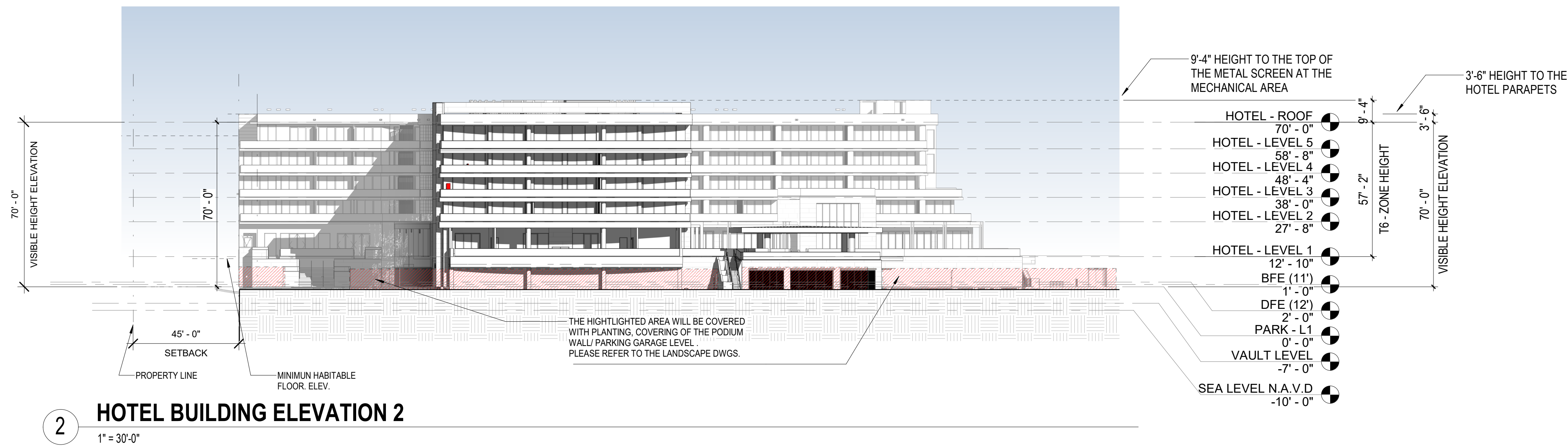
HOTEL - SOUTH ELEVATION - SECTOR D

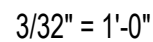
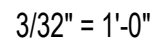
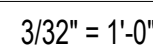
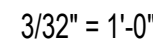
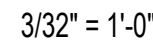
$$3/32'' = 1'-0''$$

KEY PLAN (N.T.S.)



TRUE NORTH



[illegible]

HOTEL - BEACH GRILL ELEVATIONS - ODP

A3-07



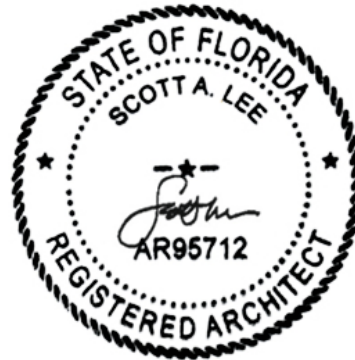
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7440 Via Dellagio, Suite 200
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HOTEL - NW & SW ELEVATIONS - SECTOR B- ODP

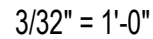
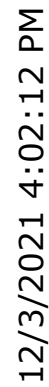
Sheet No.

A3-08.



NOTE:
BASIS OF DESIGN GLAZING CRITERIA :

- 9/16" H/H .090 PVB R100/Starphire
- VLT = 0.443
 - SHGC = 0.267
 - SOLAR TRANSMITTANCE = 0.194
 - EXT. SOLAR REFLECTANCE = 0.579
 - INT. SOLAR REFLECTANCE = 0.405
 - U-VALUE (WINTER) = 0.932
 - U-VALUE (SUMMER DAYTIME) = 0.848
 - SHADING COEFFICIENT (SC)= 0.306
 - LIGHT TO SOLAR GAIN (LSG)= 1.659



NOTE:
BASIS OF DESIGN GLAZING CRITERIA :

9/16" H/H .090 PVB R100/Starchpire

- VLT = 0.443
- SHGC = 0.267
- SOLAR TRANSMITTANCE = 0.194
- EXT. SOLAR REFLECTANCE = 0.579
- INT. SOLAR REFLECTANCE = 0.405
- U-VALUE (WINTER) = 0.932
- U-VALUE (SUMMER DAYTIME) = 0.846
- SHADING COEFFICIENT (SC) = 0.306
- LIGHT TO SOLAR GAIN (LSG) = 1.659

Sheet Title		Project No. 21816
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LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
DRIVE
Site Plan Ordinance 2021-12 and
Resolution 2021-21
Reviewer: mamold
01/25/2022

01/25/2022

Reviewer: marnold

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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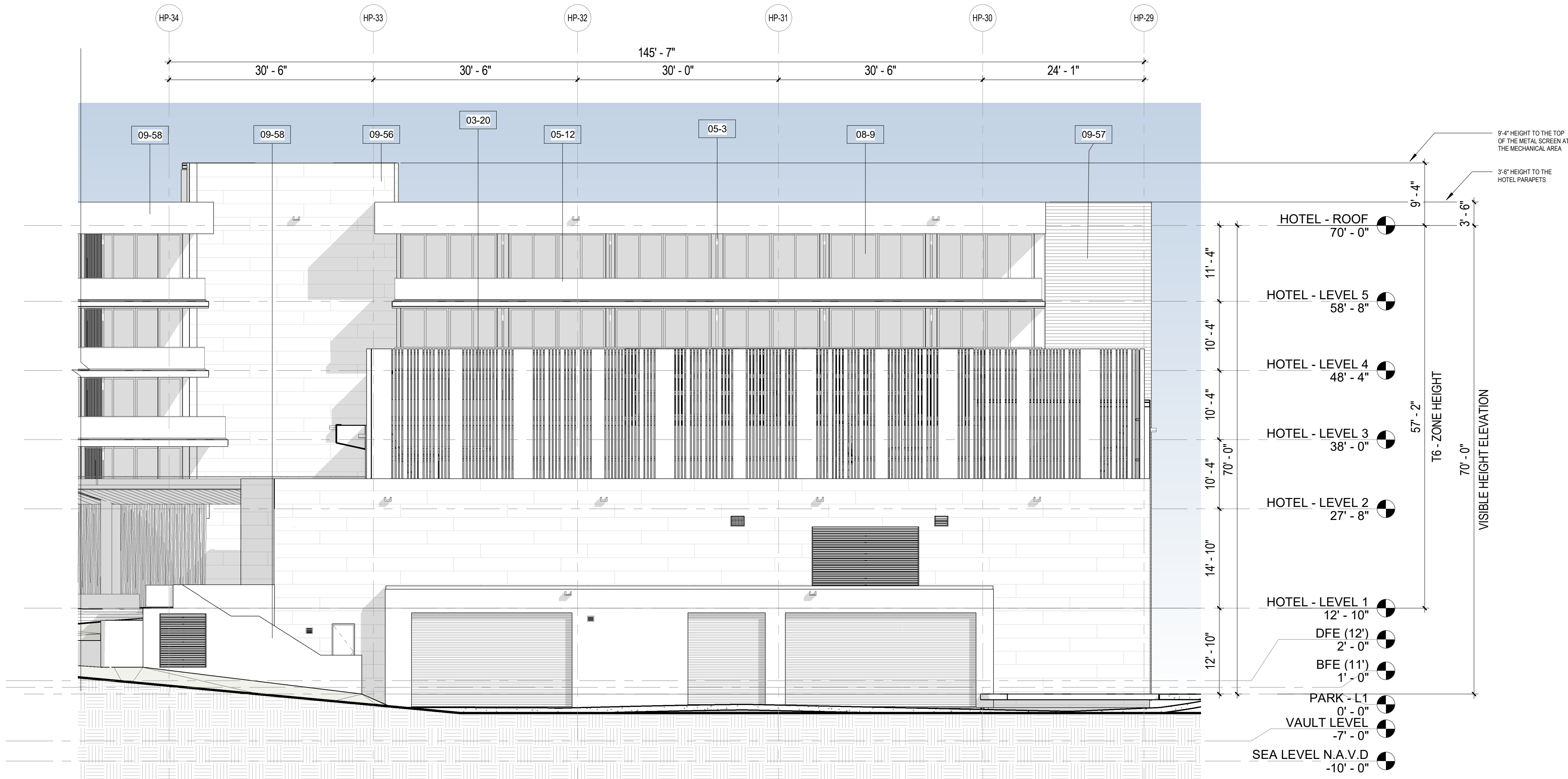
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Sheet Title Project No. **21816**

**HOTEL - EAST
ELEVATION -
SECTOR D- ODP**

Sheet No.

A3-10

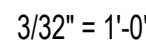
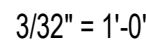
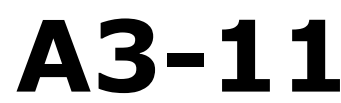


1 HOTEL - EAST ELEVATION - SECTOR D
3/32" = 1'-0"

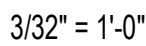
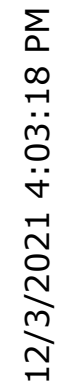
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KEY NOTE VALUE	MATERIALS
03-20	GLASS FIBER REINFORCED CONCRETE PANELS & METAL EXTRUSIONS
05-3	2"x8" METAL SCREEN WITH KYNAR FINISH.FASTENED TO CMU WALL
05-12	FRAMELESS, FULLY TEMPERED, LAMINATED GLASS GUARDRAIL WITH CONTINUOUS ALUMINUM BASE SHOE AND CAD BASIS OF DESIGN FROM ALUMINUM AND SONS INC."INFINITY" RAIL" MANUFACTURER TO PROVIDE SIGNED AND SEALED, ENGINEERED SHOP DRAWINGS FOR REVIEW.
08-9	ALUMINUM / GLASS WINDOW STOREFRONT, BASIS OF DESIGN.
09-56	ARRIAGA "STONELIGHT" - BRUSHED FINISH
09-57	SCORED(TEXTURED/COMBED)STUCCO FINISH(SEE ELEV./DETAILS)
09-58	SMOOTH STUCCO (PAINTED)

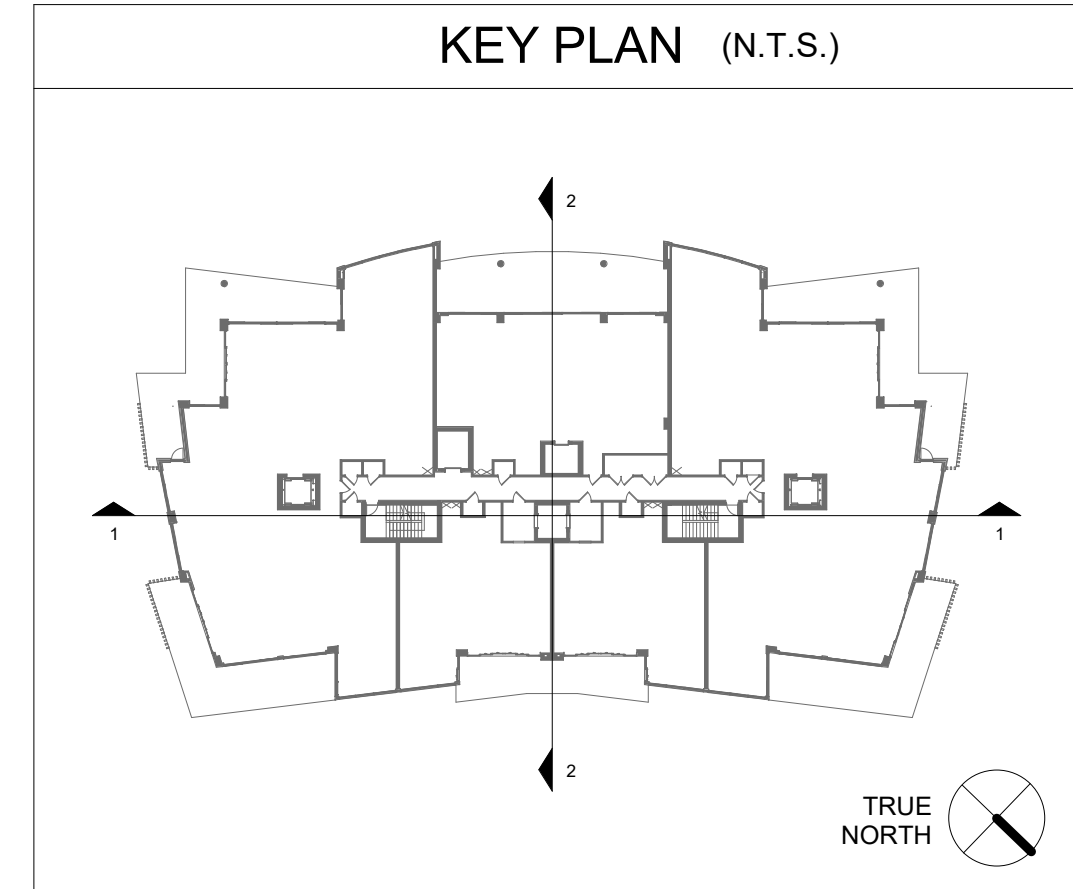
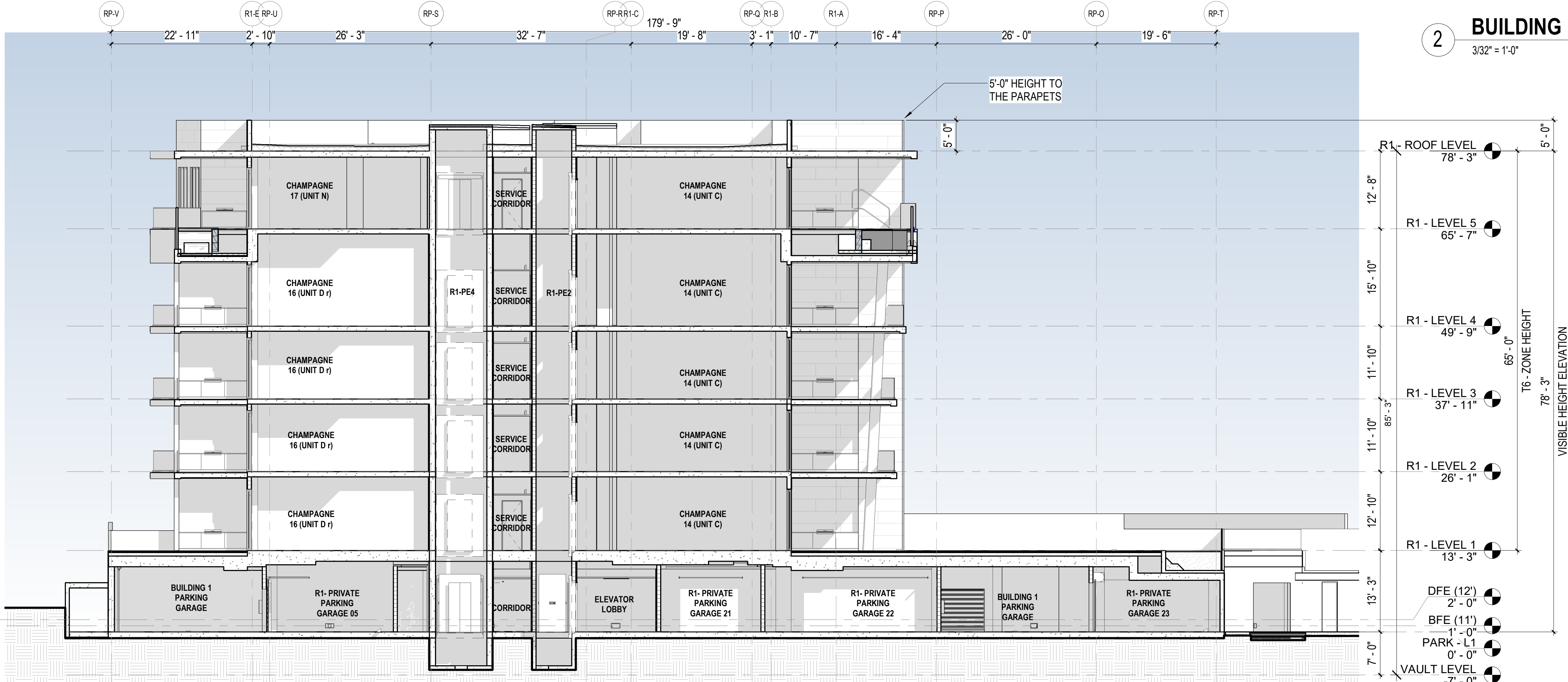
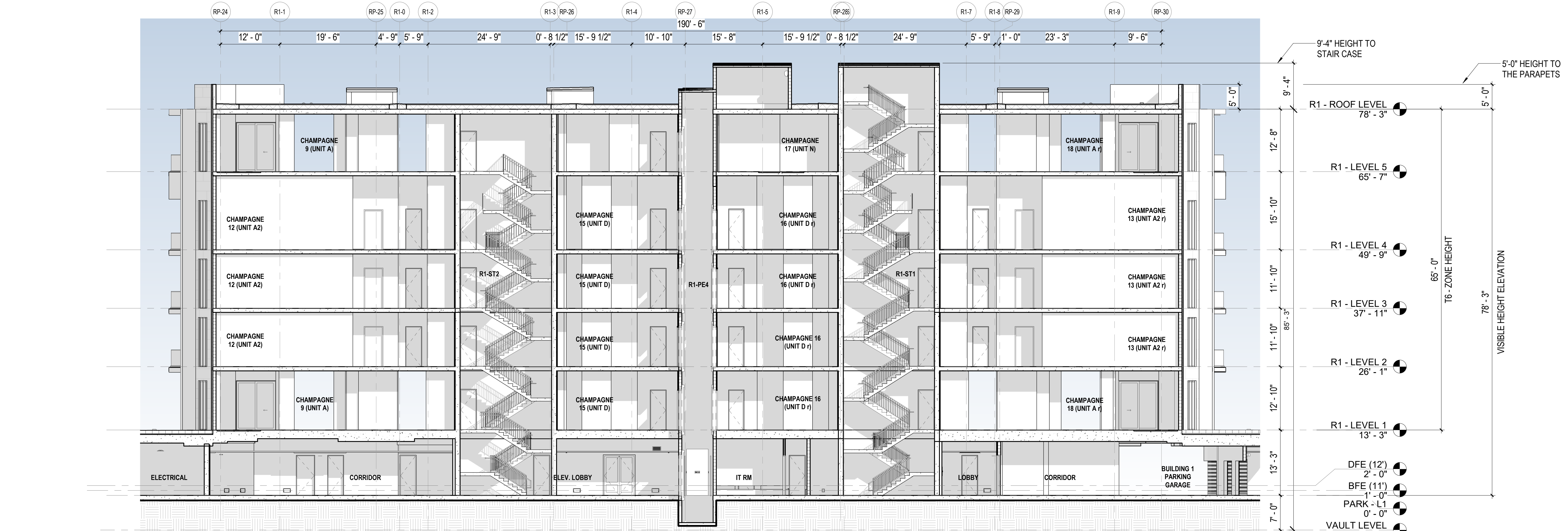
NOTE:
BASIS OF DESIGN GLAZING CRITERIA :

- 9/16" H/H .090 PVB R100/Starphire**
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 - SHGC = 0.267
 - SOLAR TRANSMITTANCE = 0.194
 - EXT. SOLAR REFLECTANCE = 0.579
 - INT. SOLAR REFLECTANCE = 0.405
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 - U-VALUE (SUMMER DAYTIME) = 0.848
 - SHADING COEFFICIENT (SC)= 0.306
 - LIGHT TO SOLAR GAIN (LSG)= 1.659



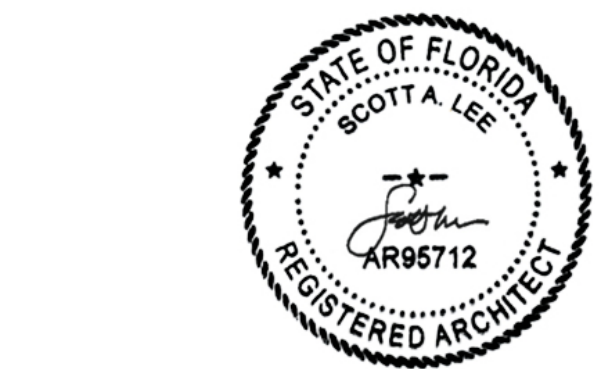
TRUE NORTH





LONGBOAT KEY HOTEL & RESIDENCES
APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and Resolution 2021-21
1620 GULF OF MEXICO DRIVE
01/25/2022
Reviewer: marnold

Owner
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Orlando, FL 32819
407-999-9985



No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. **21816**

RESI BUILDING 1 - SE/NW & SW/NE SECTIONS - ODP

Sheet No.

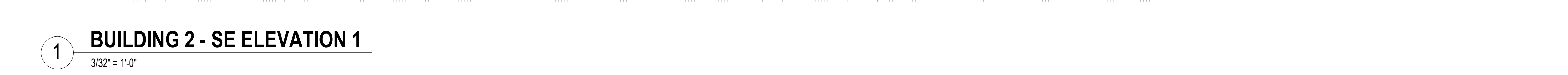
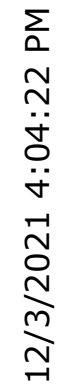
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Reviewer: marnold
01/25/2022

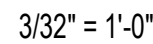
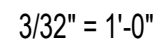
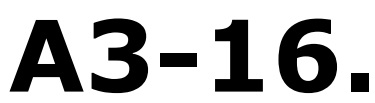
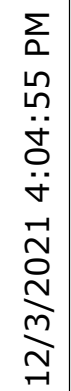
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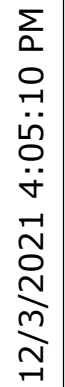


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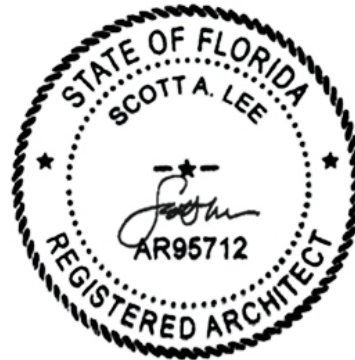
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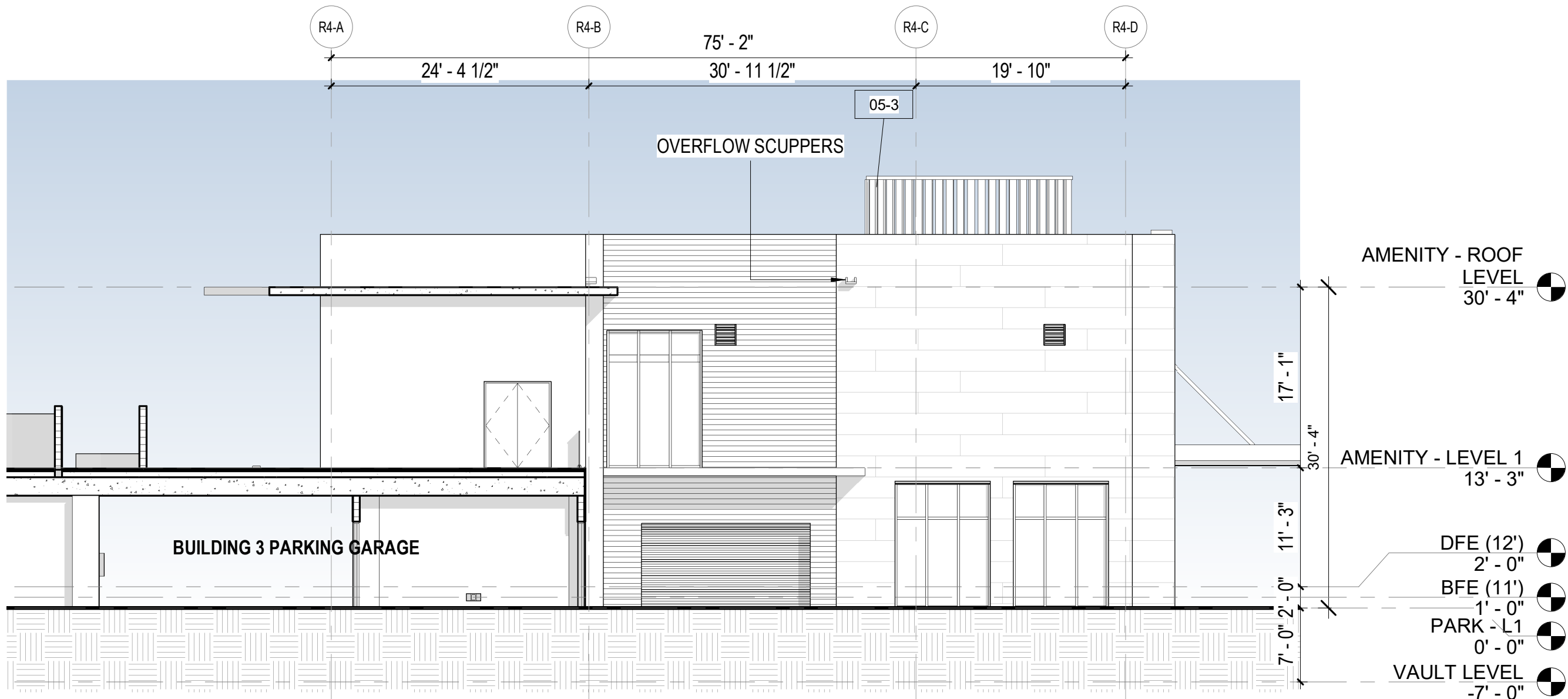
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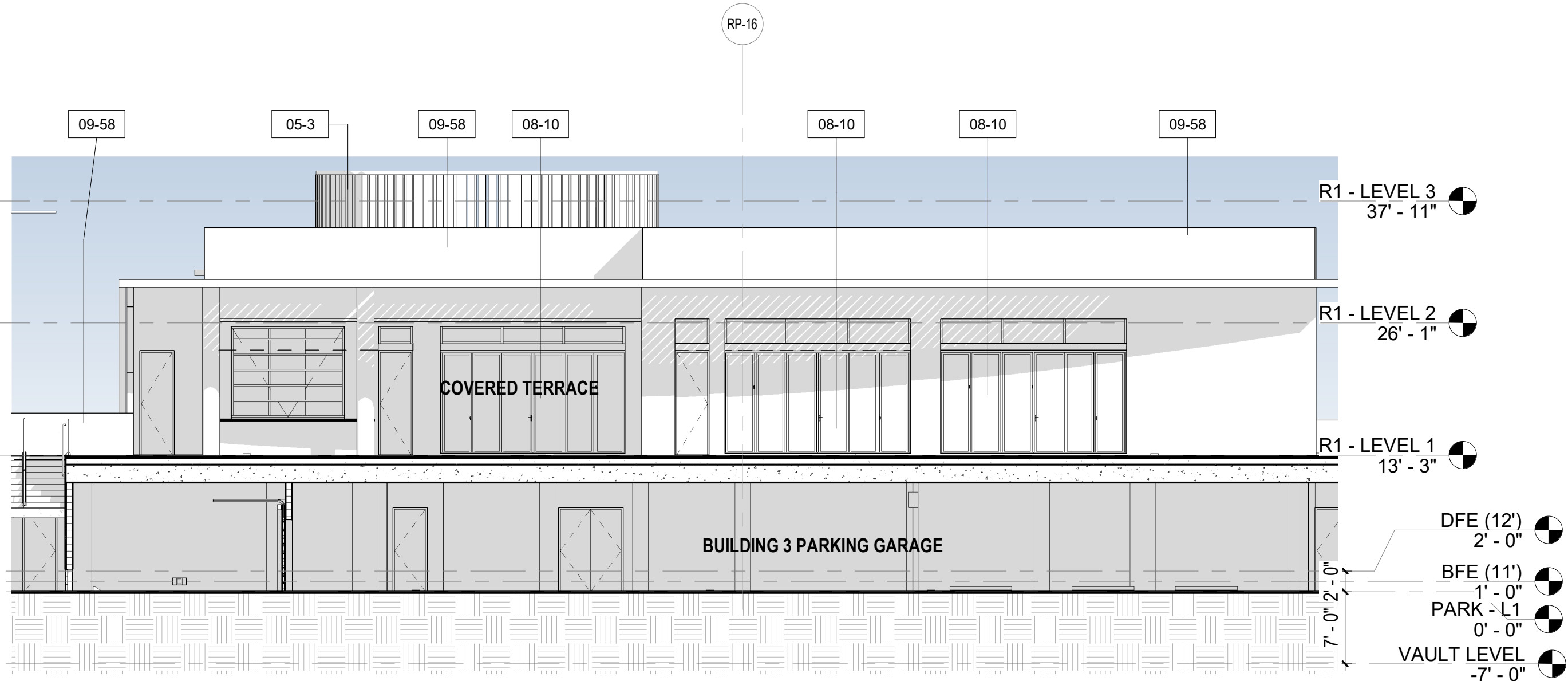
RESI AMENITY BUILDING 4 - ELEVATIONS - ODR

Sheet No.

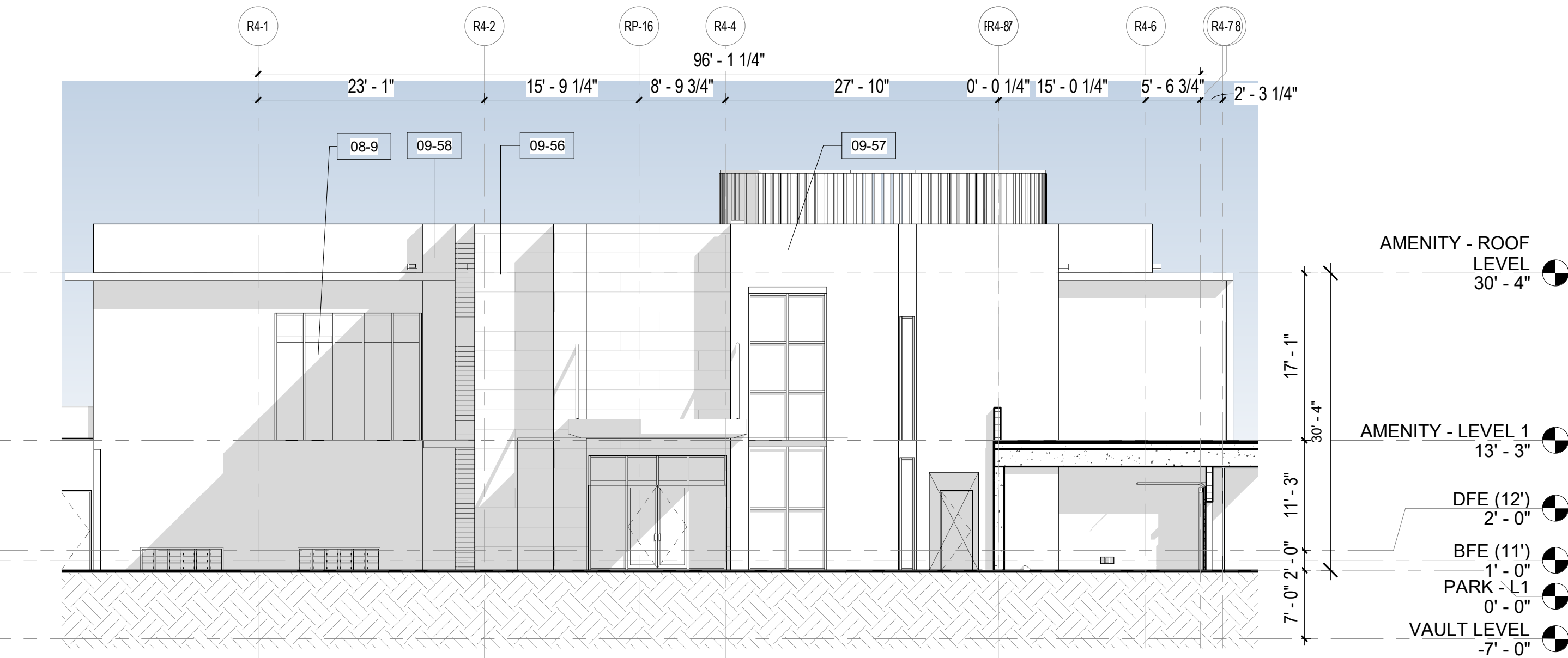
A3-17.



2 AMENITY BUILDING - SE ELEVATION..
3/32" = 1'-0"



3 AMENITY BUILDING - SW ELEVATION..
3/32" = 1'-0"



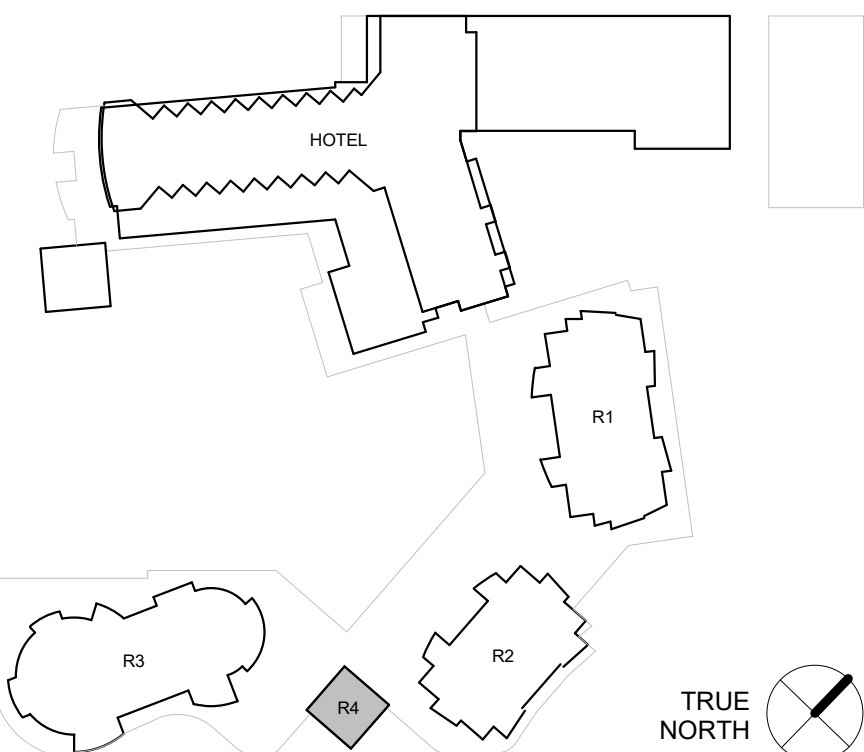
1 AMENITY BUILDING - NE ELEVATION.
3/32" = 1'-0"

KEYNOTE LEGEND 14	
KEY NOTE VALUE	MATERIALS
05-3	2"x8" METAL SCREEN WITH KYNAR FINISH.FASTENED TO CMU WALL
08-9	ALUMINUM / GLASS WINDOW STOREFRONT, BASIS OF DESIGN.
08-10	ALUMINUM / GLASS FOLDING DOORS SYSTEM.IMPACT RATED MANUFACTURE EURO-WALL
09-56	ARRIAGA "STONELIGHT" - BRUSHED FINISH
09-57	SCORED(TEXTURED/COMBED)STUCCO FINISH(SEE ELEV.DETAILS)
09-58	SMOOTH STUCCO (PAINTED)

NOTE:
BASIS OF DESIGN GLAZING CRITERIA :

- 9/16" H/H .090 PVB R100/Starphire
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 - SOLAR TRANSMITTANCE = 0.194
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 - INT. SOLAR REFLECTANCE = 0.405
 - U-VALUE (WINTER) = 0.932
 - U-VALUE (SUMMER DAYTIME) = 0.848
 - SHADING COEFFICIENT (SC)= 0.306
 - LIGHT TO SOLAR GAIN (LSG)= 1.659

KEY PLAN (N.T.S.)





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LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
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Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: mamold

01/25/2022

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



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NATIONAL DEVELOPMENTS, INC.



Sheet Title _____ Project No. **21816**

LIFT PARKING SECTION

Sheet No.

A3-18


$$1/4'' = 1'-0''$$

$$1/4" = 1'-0"$$



SB ARCHITECTS

2333 Ponce de Leon Boulevard, Suite
1000 Coral Gables, FL 33134
T 305/856-2021
F 305/856-0854

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Consultant

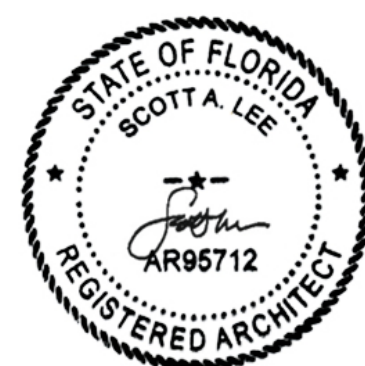
LONGBOAT KEY
HOTEL & RESIDENCES
SITE/HOTEL - 1601 GULF OF MEXICO DRIVE
Longboat Key, FL 34228

Owner

UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



UNICORP
NATIONAL DEVELOPMENTS, INC.



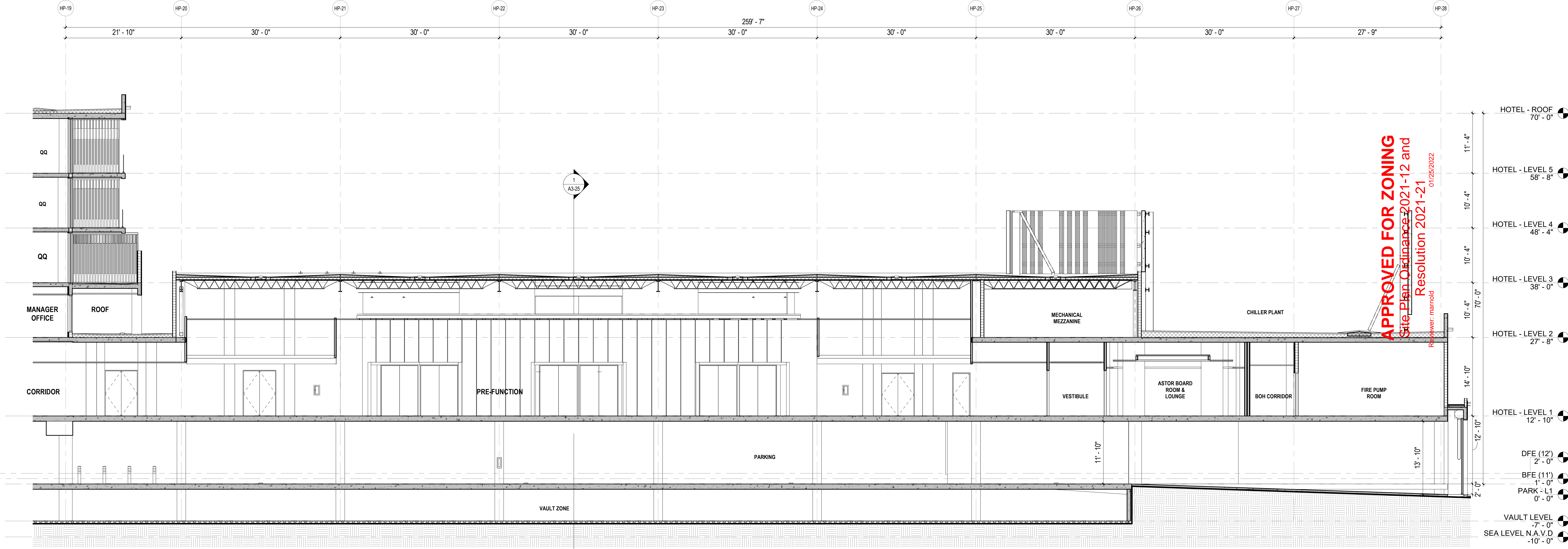
No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. **21816**

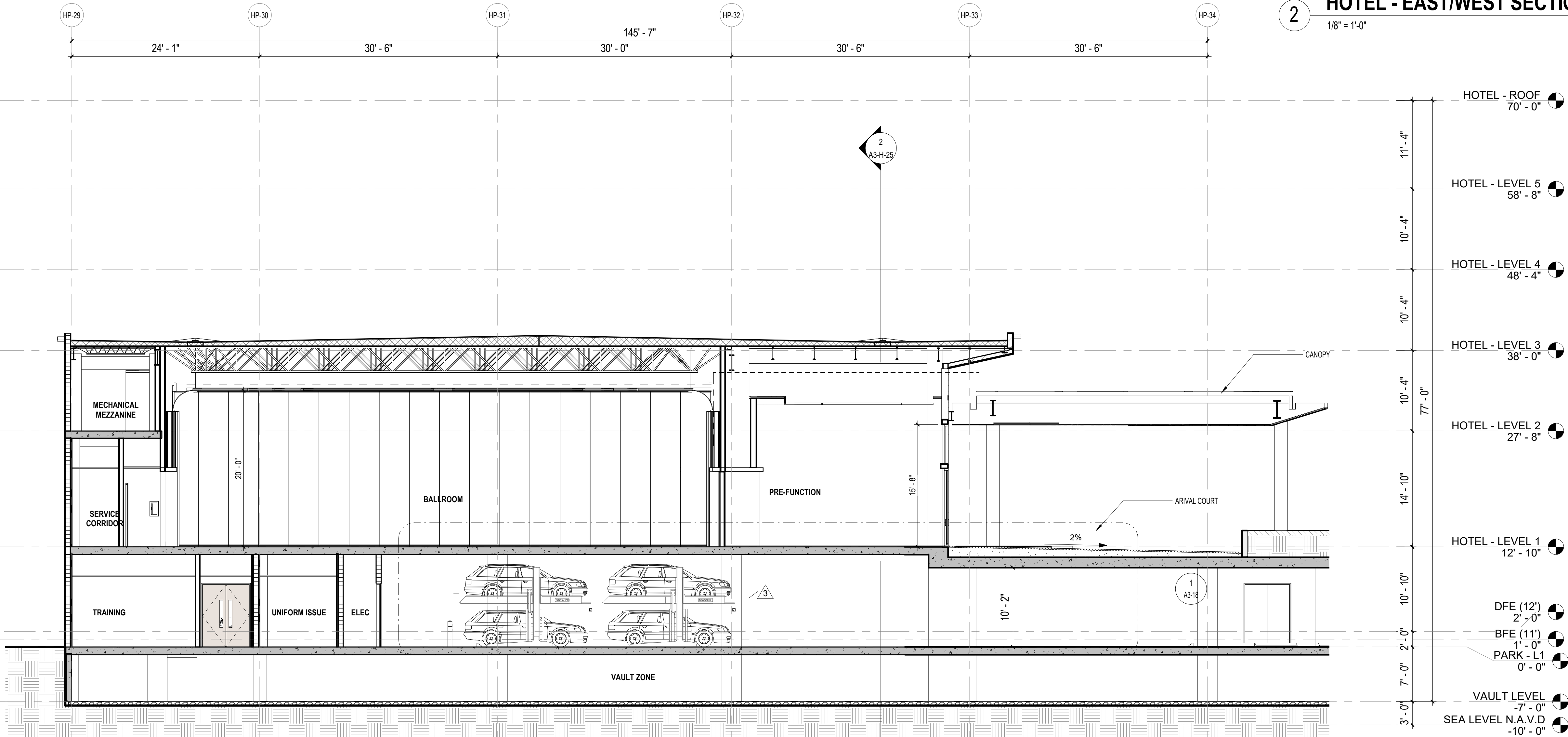
HOTEL - SECTIONS

Sheet No.

A3-H-25

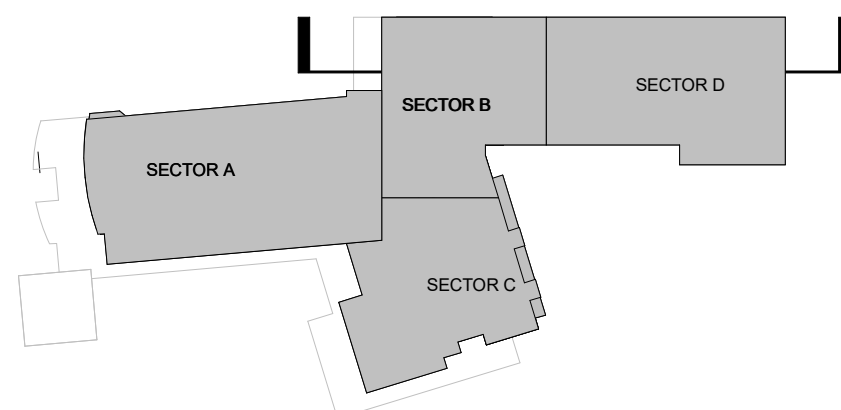


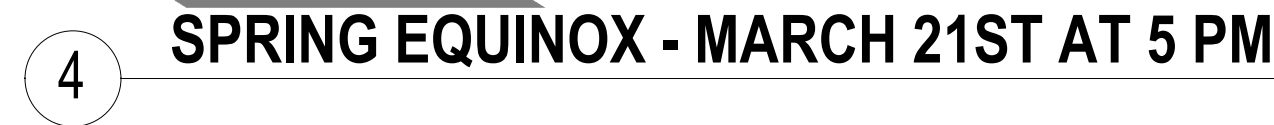
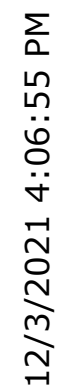
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1/8" = 1'-0"

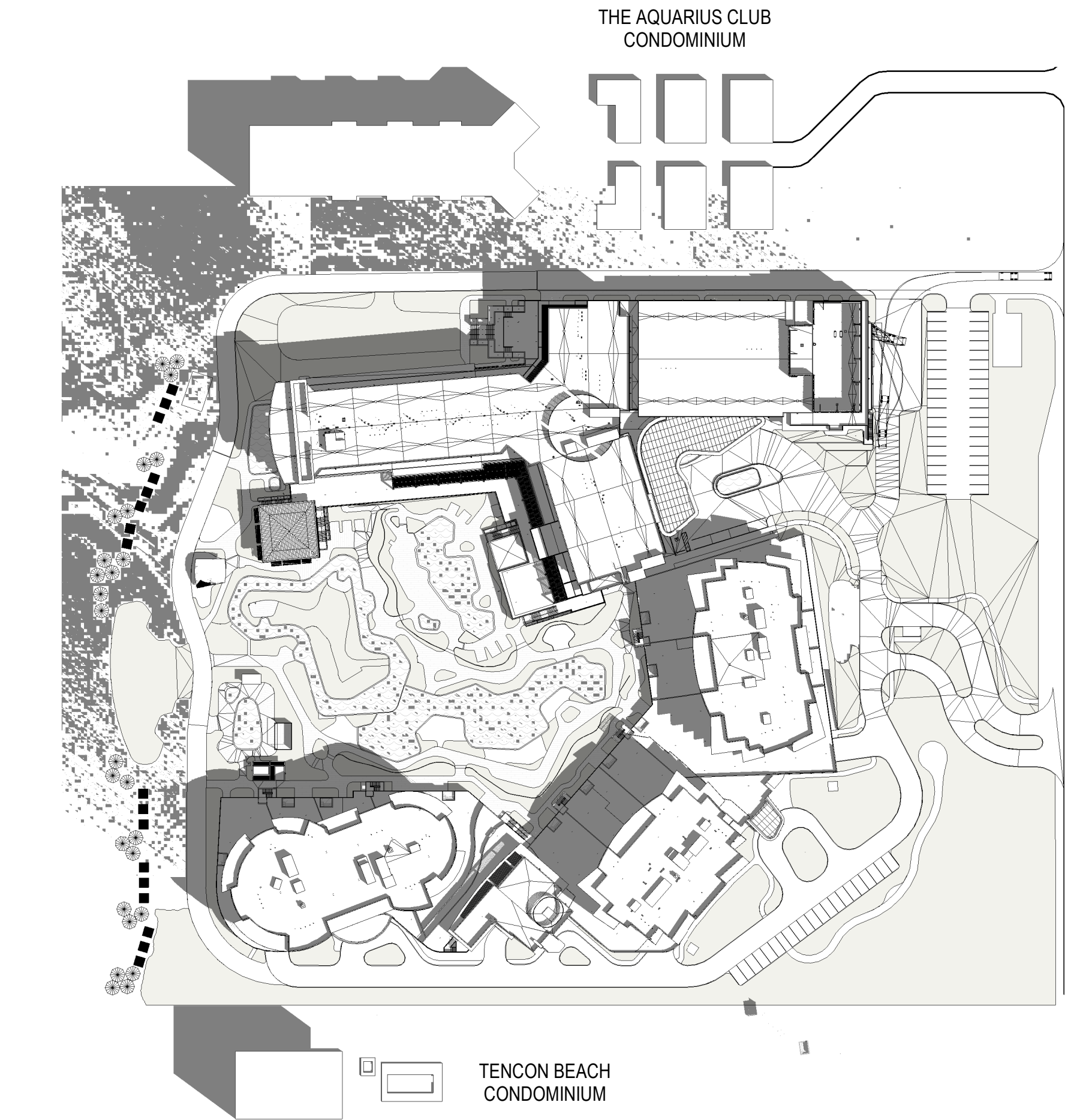


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1/8" = 1'-0"

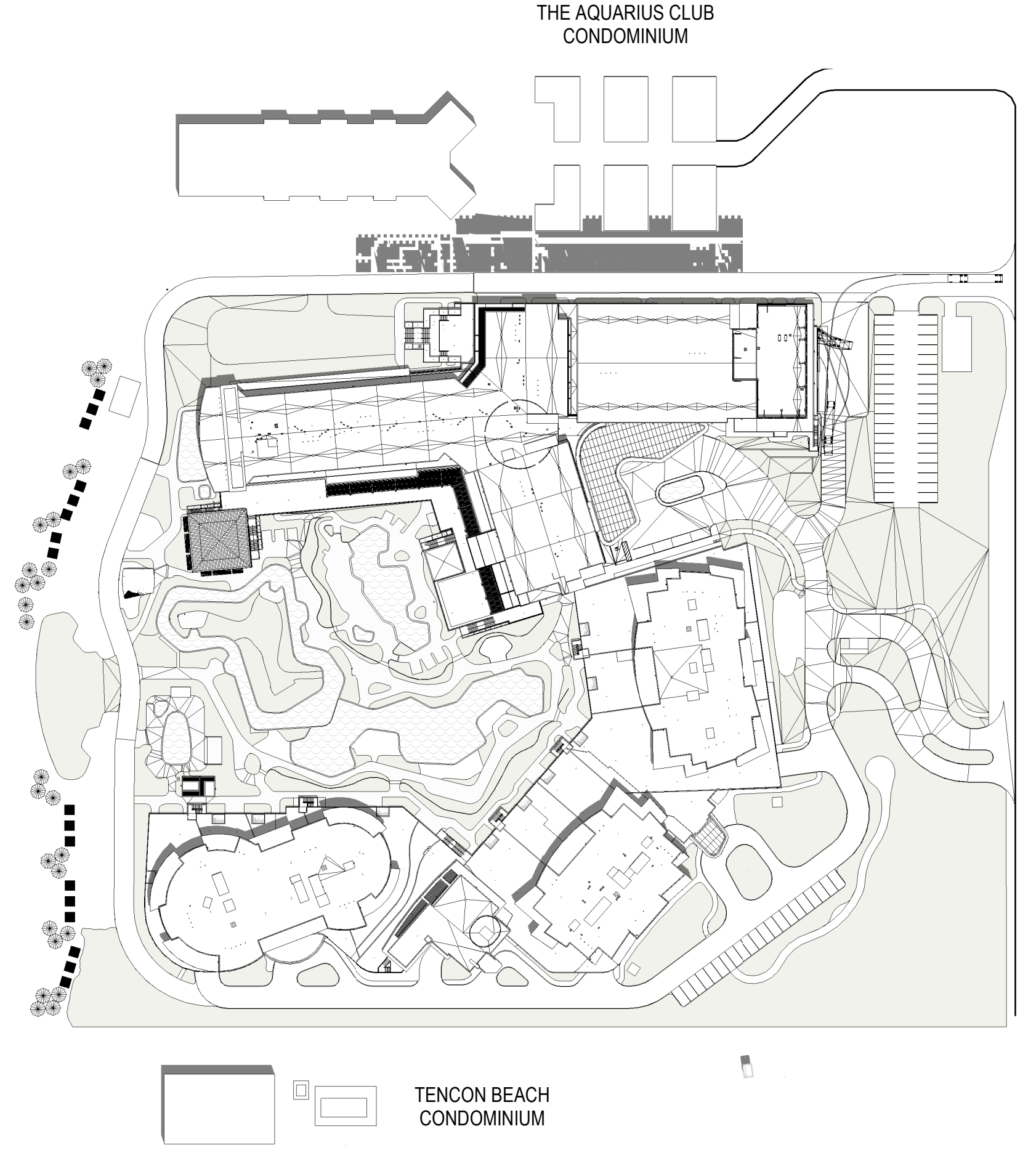
KEY PLAN (N.T.S.)



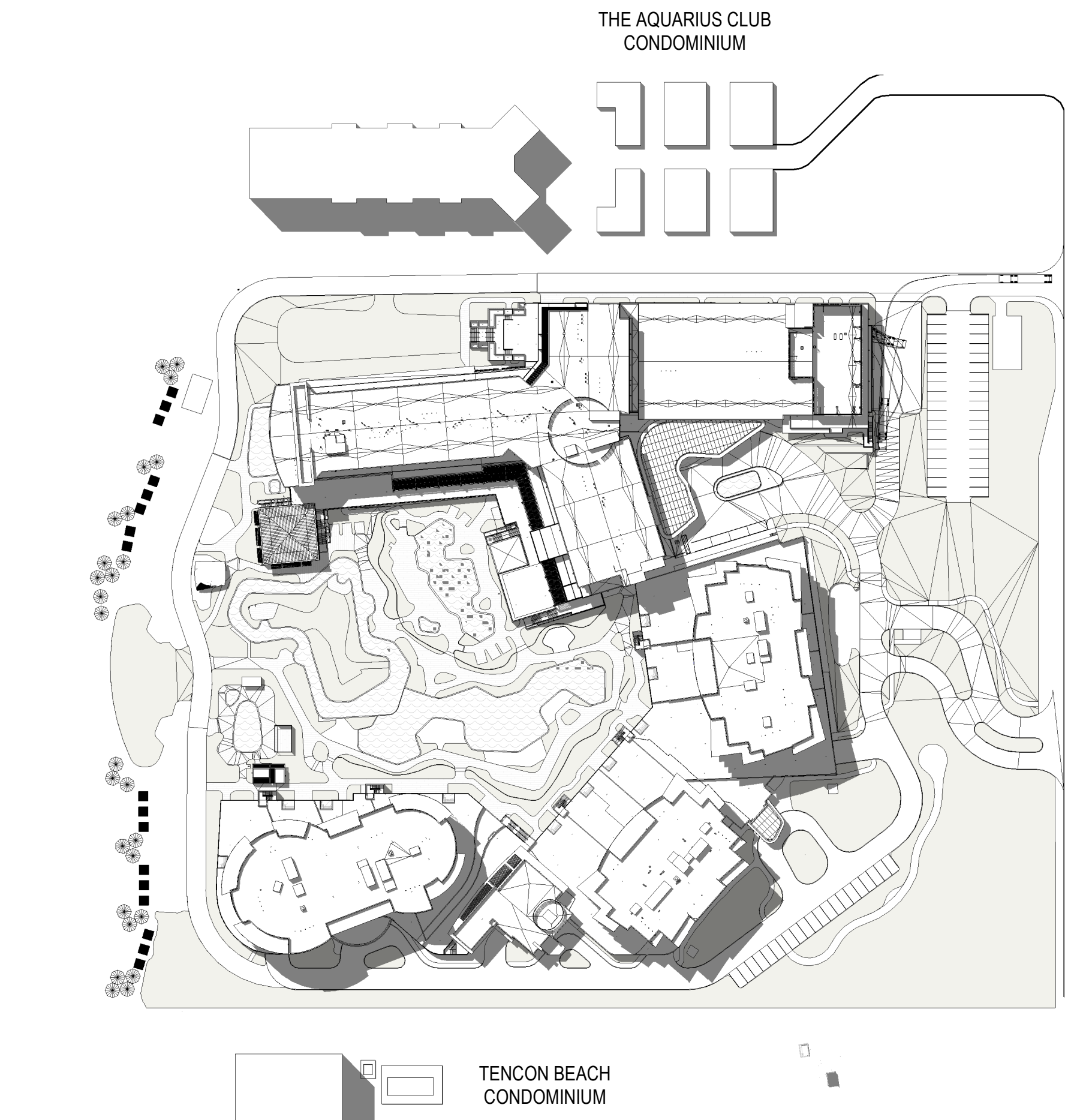




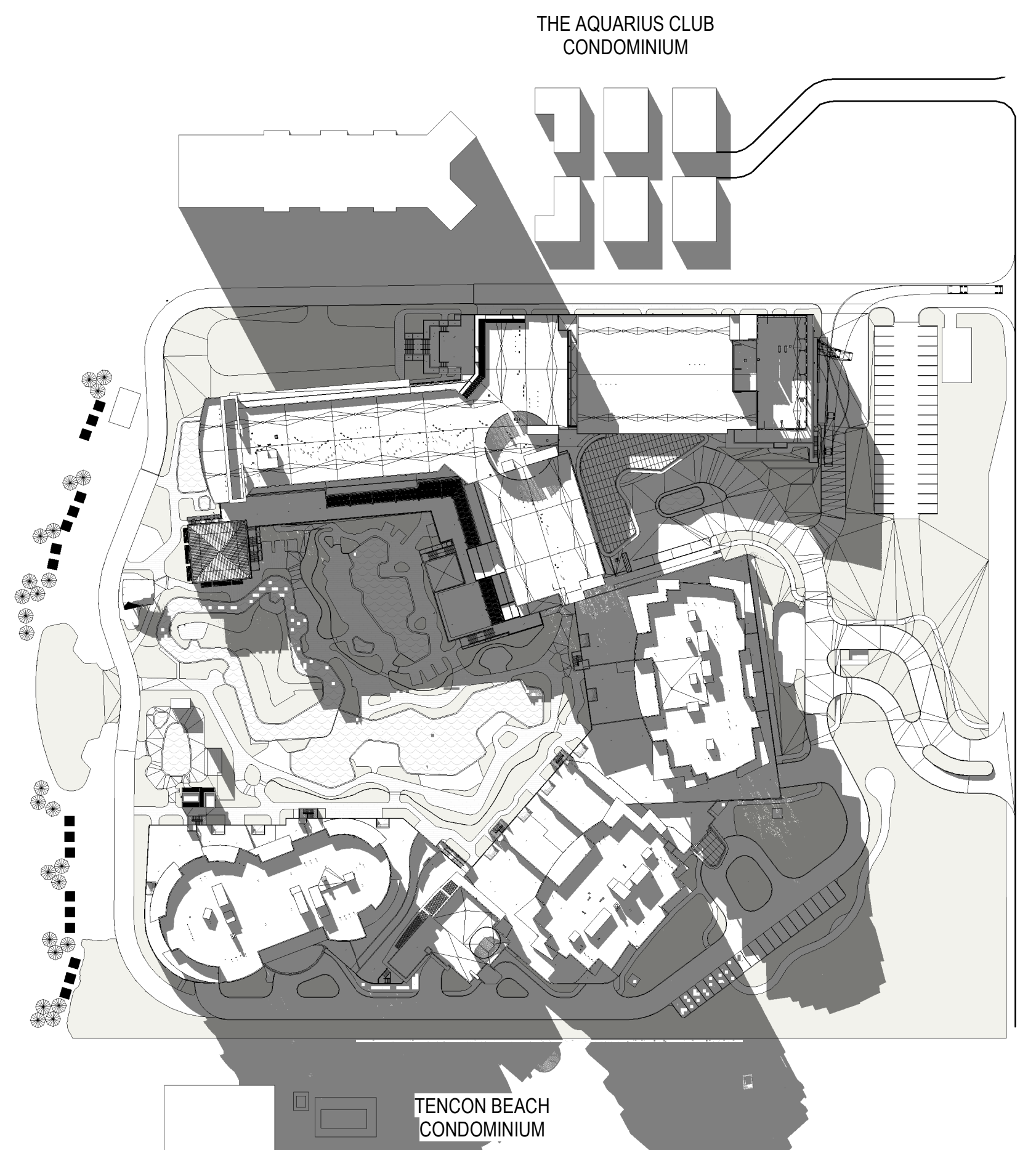
1 SUMMER SOLSTICE - JUNE 21ST AT 9 AM



2 SUMMER SOLSTICE - JUNE 21ST AT 12 PM



3 SUMMER SOLSTICE - JUNE 21ST AT 3 PM



4 SUMMER SOLSTICE - JUNE 21ST AT 6 PM



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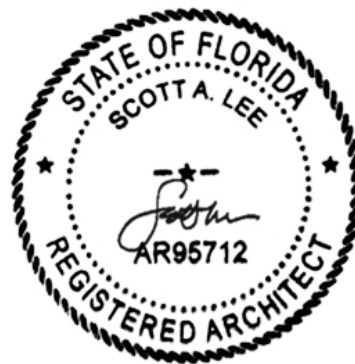
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San Francisco, CA 94111
T 415/673-8990

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LONGBOAT KEY HOTEL &
RESIDENCES

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
1620 GULF OF MEXICO DRIVE
Reviewer: marnold 01/25/2022

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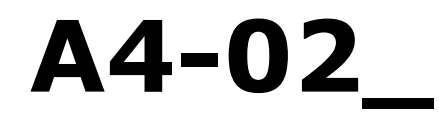
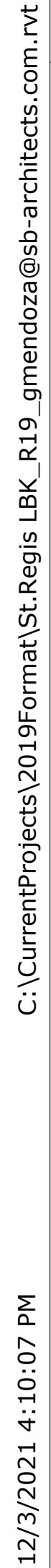
No.	Description	Date
1	FINAL SITE PLAN	10/20/2021
2	COMPLIANCE REVIEW	
3		
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**SHADOW STUDY -
SUMMER SOLSTICE
- ODP**

Sheet No.

A4-01_



MODEL VIEW



MODEL VIEW



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1620 GULF OF MEXICO DRIVE
Reviewer: marnold
01/25/2022

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NATIONAL DEVELOPMENTS, INC.



No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

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MODEL VIEW



MODEL VIEW



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1620 GULF OF MEXICO DRIVE
Reviewer: marnold
01/25/2022

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No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

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A4-04_



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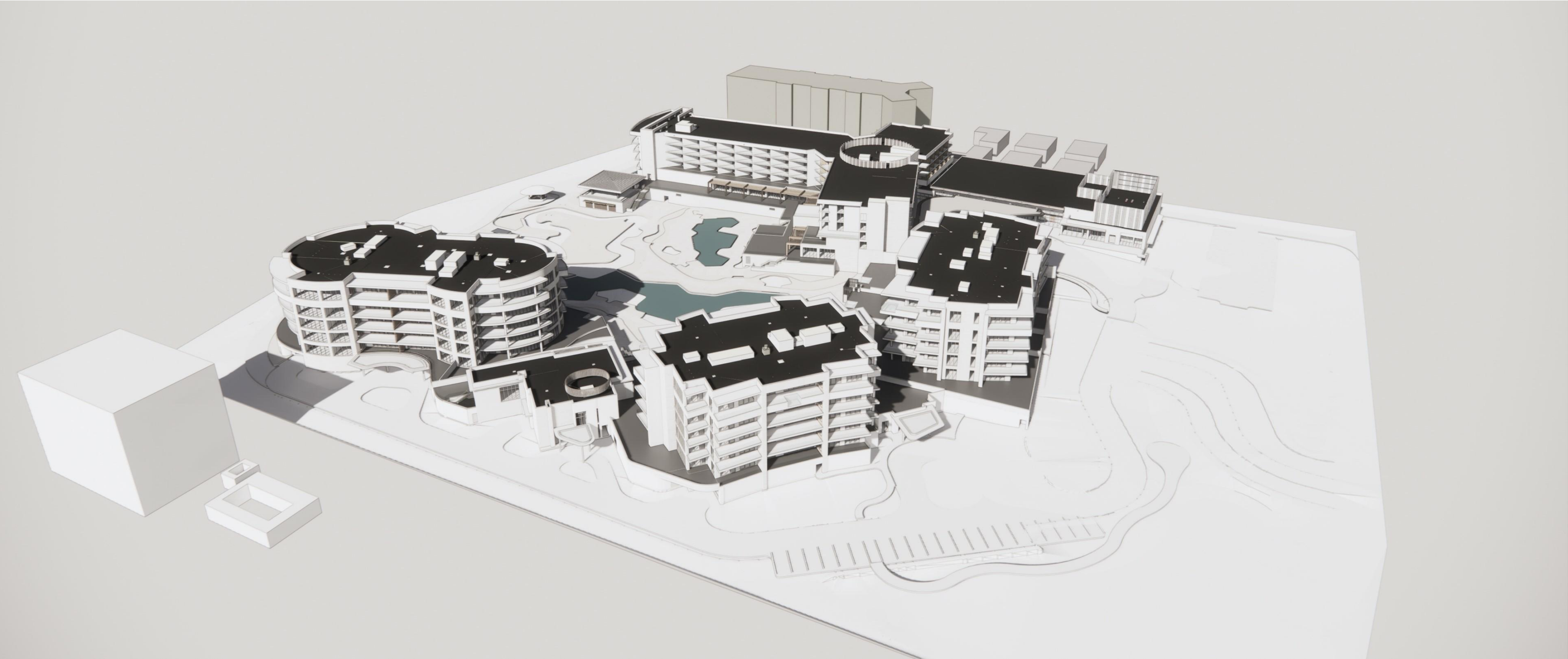
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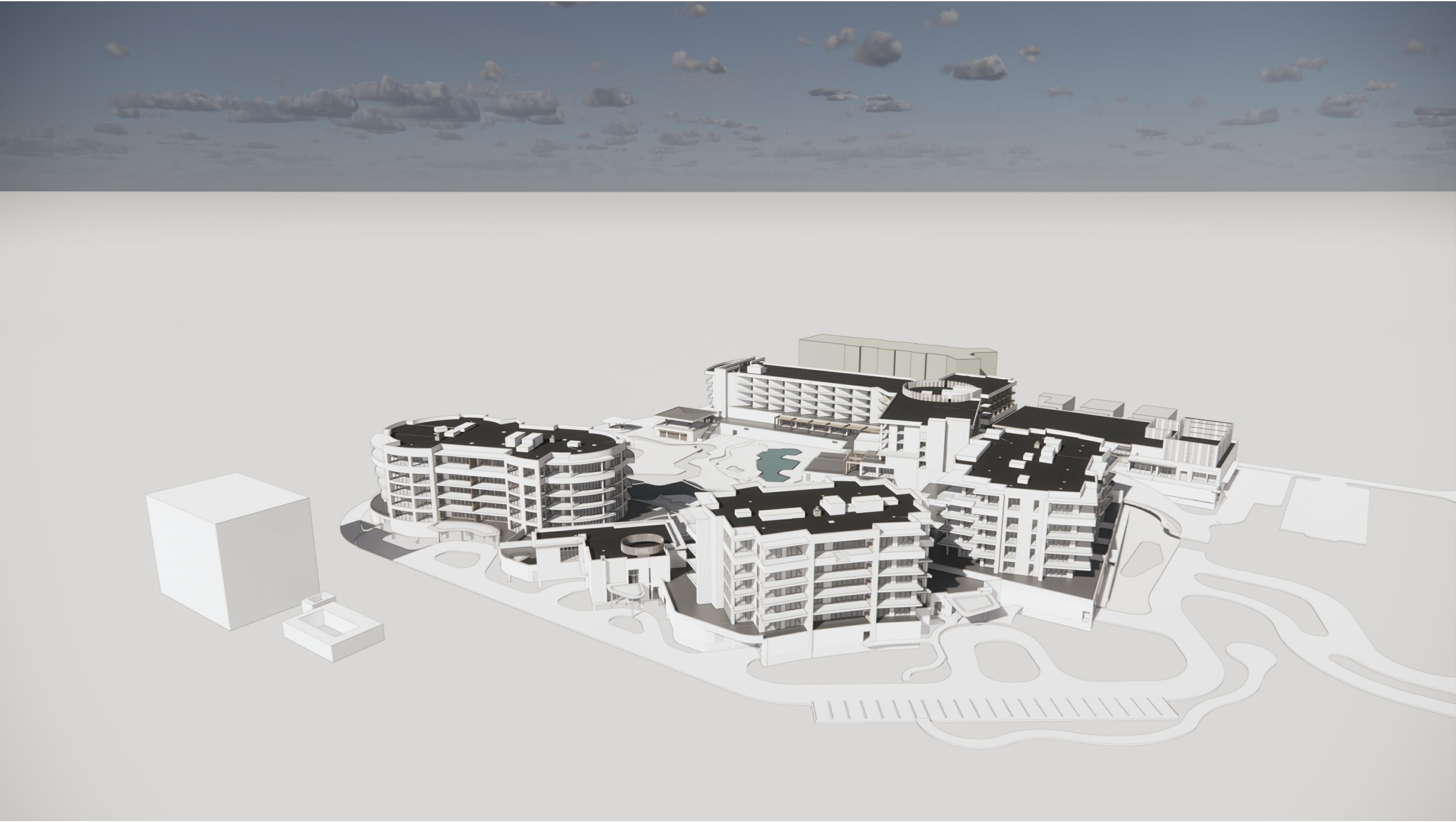
MODEL VIEW - ODP

Sheet No.

A4-05_



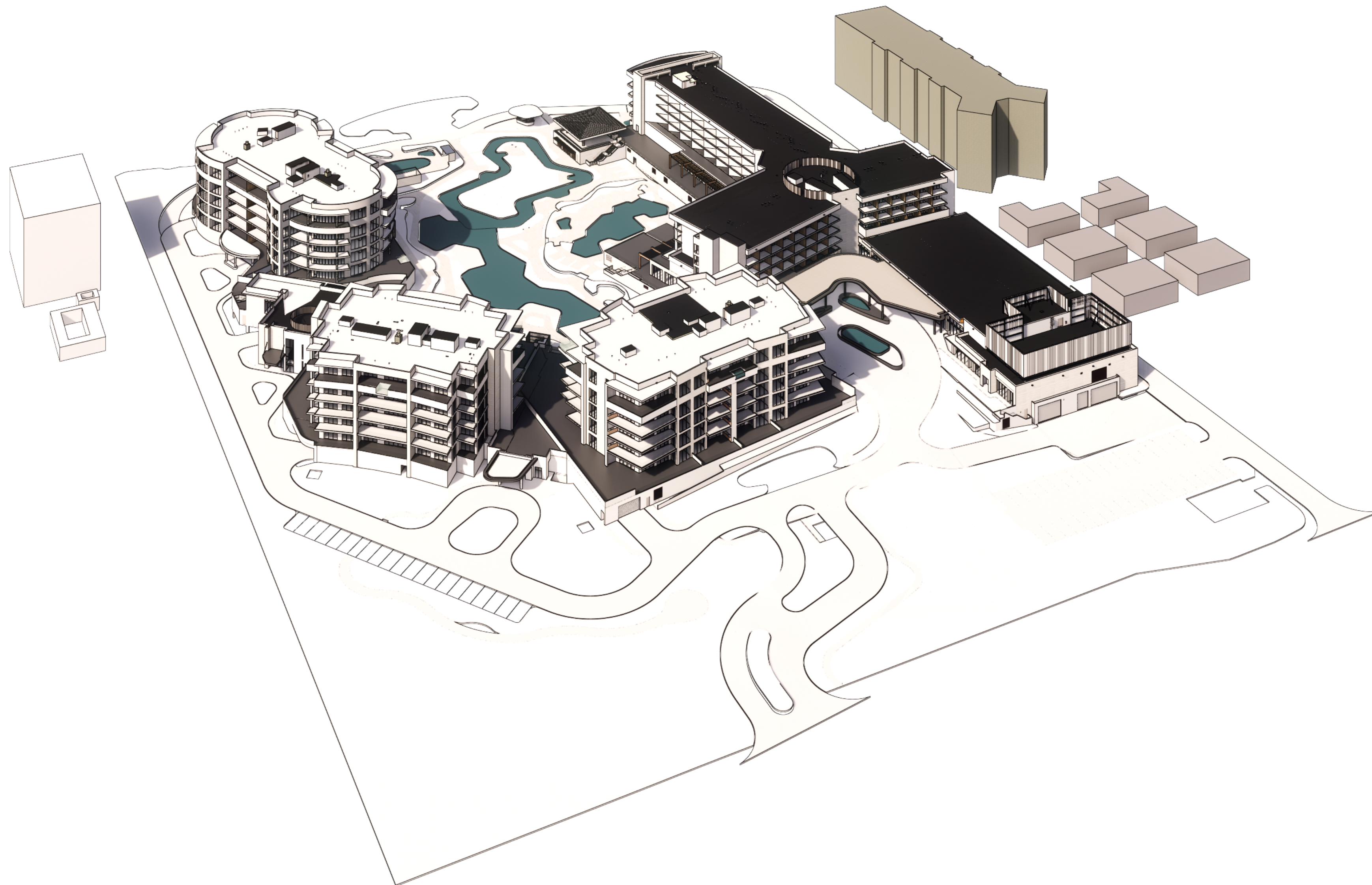
MODEL VIEW



MODEL VIEW

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Reviewer: marbold
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