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A	ARCHITECTURE	SB Architects 2333 Ponce De Leon Blvd Suite 1000 Coral Gables, FL 33134 305.856.2021 www.sb-architects.com	
C	CIVIL	Kimley-Horn 1777 Main Street, Suite 200 Sarasota, FL 34236 941.379.7613 www.kimley-horn.com	
S	STRUCTURE	Desimone Consulting Engineers 800 Brickell Avenue, 6th Floor Miami, FL 33131 305.441.0755 http://www.de-simone.com/	
M	MECHANICAL	Vanderweil Engineers 8350 NW 52nd Terrace, Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
E	ELECTRICAL	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
P	PLUMBING	Vanderweil Engineers 8350 NW 52nd Terrace, Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
FP	FIRE PROTECTION	Vanderweil Engineers 8350 NW 52nd Terrace, Suite 300 Miami, FL 33166 305-501-5740 www.vanderweil.com	
I	INTERIOR (HOTEL)	Hirsch Bedner Associates (HBA) 1 SE 3rd Ave, Suite # 1640 Miami, FL 33131 USA 305.857.5758 www.hba.com	
I	INTERIOR (RESIDENCES)	Marc-Michaels Interior Design, Inc. 720 West Morse Boulevard Winter Park, FL 32789 407.629.2124 www.marc-michaels.com	LUJO COLLECTIVE 12727 SW 136th ST. SUITE 6206 Miami, FL 33186 407.629.2124 www.lujocollective.com
FS	FOOD SERVICE	Inman Foodservice Group, LLC 1330 Coral Way, Suite 310 Miami, FL 33145 305-859-2025 www.inman-inc.com	
AV	AUDIO VISUAL	NOT USED	
AC	ACOUSTIC CONSULTANT	BROOKS ACOUSTICS CORPORATION 49 N. Federal Highway #121 Pompano Beach, FL 33062 752-229-1450 www.jensenhughes.com	
SE	SECURITY	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
L	LANDSCAPE	Enea Garden Design 2332 Galiano Street 2nd Floor Coral Gables, FL 33134 www.jensenhughes.com	
LS	LIFE SAFETY CONSULTANT	Jensen Hughes 725 Primera Boulevard, Suite 215 Lake Mary, FL 32746 407-537-9481 www.jensenhughes.com	
LV	LOW VOLTAGE	POWER DESIGN ENGINEERING 11600 9th St N, St. Petersburg, FL 33716 (727) 210-0492 www.powerdesigninc.us	
WP	BUILDING ENVELOPE	IBA 8019 34th Avenue East Brandenton, FL 34211 www.ibaconsultnats.com	



LONGBOAT KEY HOTEL & RESIDENCES

1620 GULF OF MEXICO DRIVE

Owner
UNICORP ACQUISITIONS LLC
7940 Via Dellagio, Suite 200
Orlando, FL 32819



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San Francisco, CA 94111
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LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
Site Plan Ordinance 2021-12 and
Resolution 2021-21
01/25/2022
Reviewer: marmold

1620 GULF OF MEXICO DRIVE

Owner
UNICORP ACQUISITIONS, LLC
7440 Via Dellagio, Suite 200
Orlando, FL 32819
407-999-9985



UNICORP
NATIONAL DEVELOPMENTS, INC.



No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title _____ Project No. **21816**

COVER SHEET-SITE PLAN REVIEW - ODP

Sheet No.

A0-00..

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 Town of Longboat Key
 Planning, Zoning & Building
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LONGBOAT KEY HOTEL & RESIDENCES
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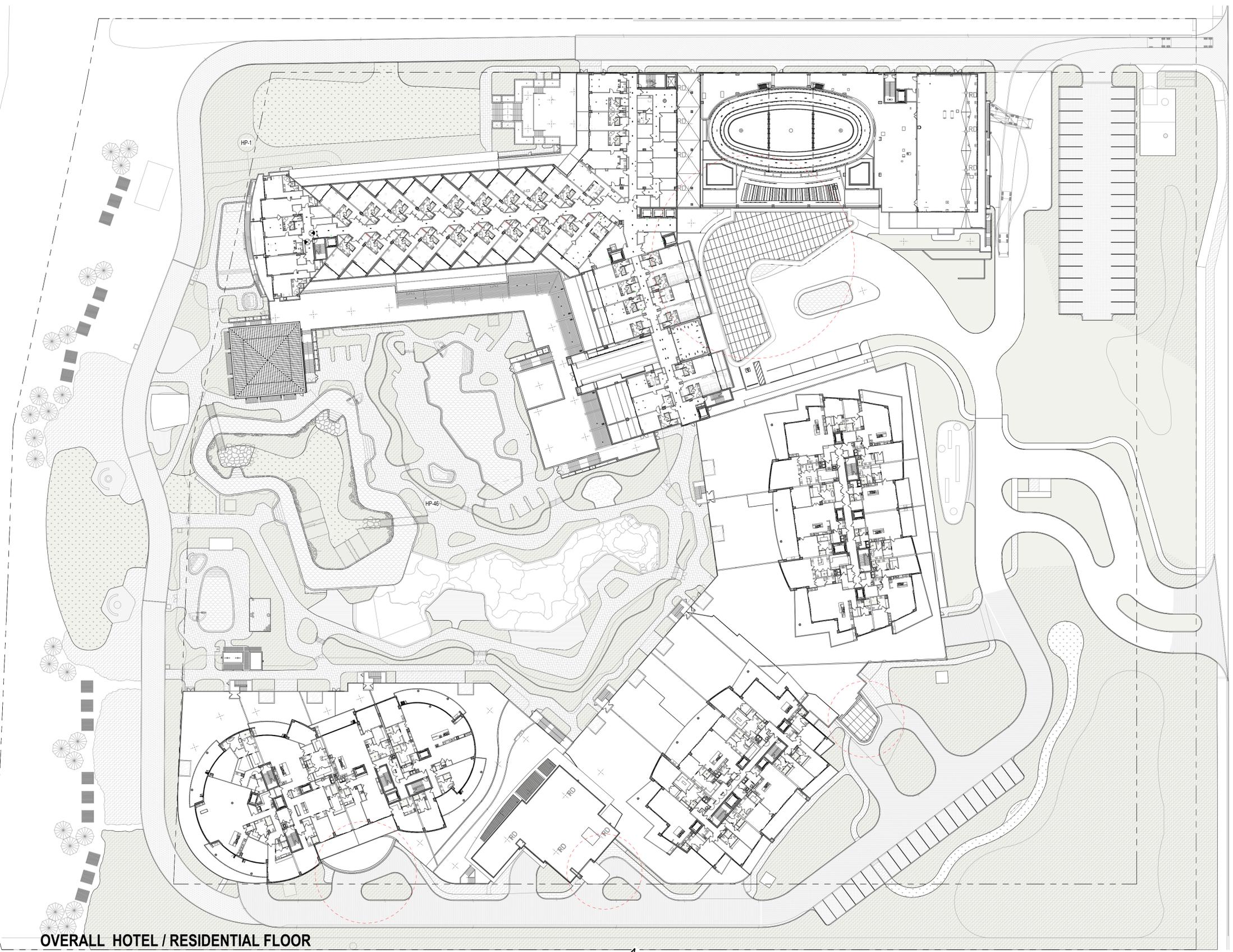


No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title _____ Project No. **21816**

OVERALL - LEVEL 2 - ODP

Sheet No. **A2-05_**



OVERALL HOTEL / RESIDENTIAL FLOOR PLAN - LEVEL 2.

1
 1" = 40'-0"



GULF OF MEXICO DRIVE

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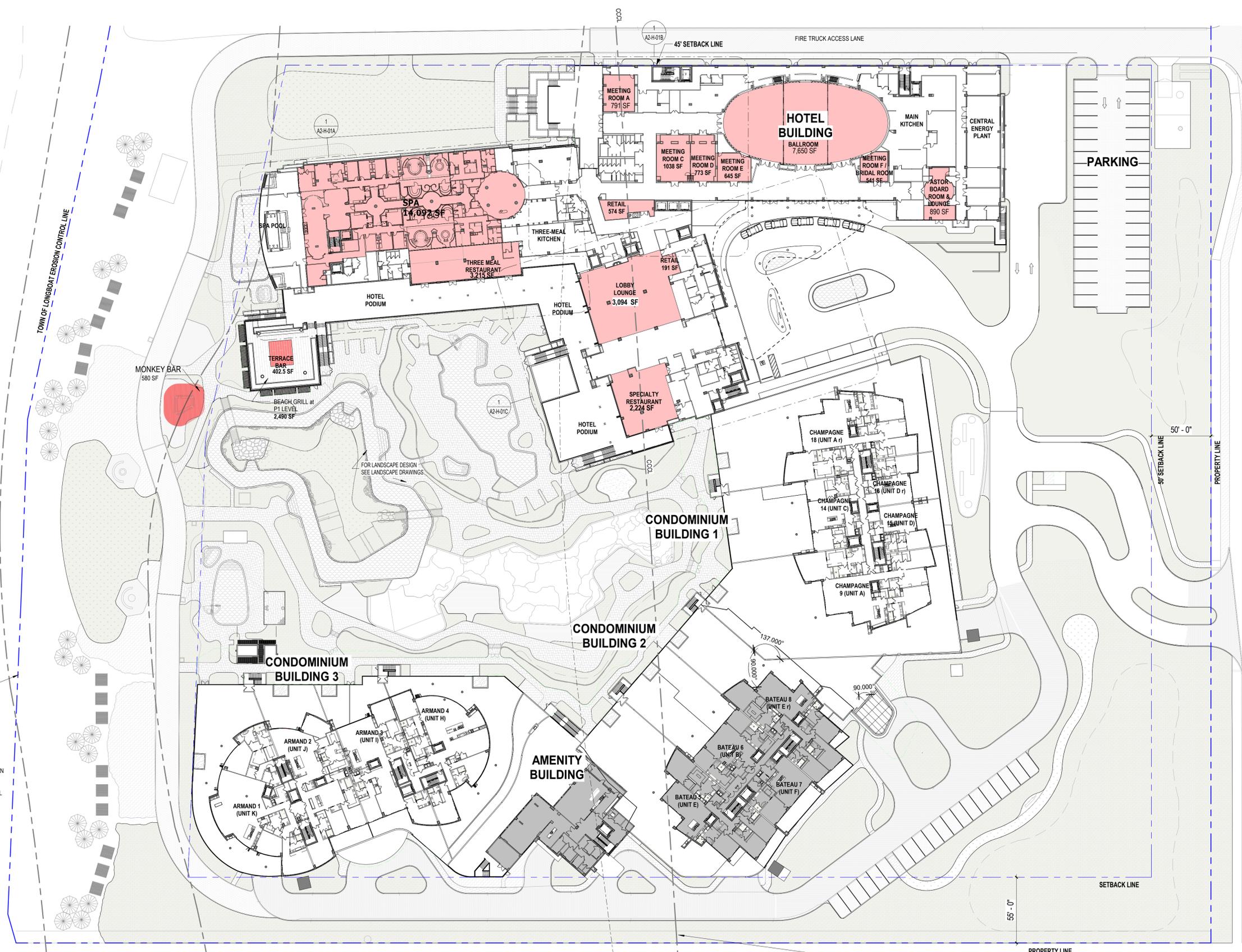


No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title: **OVERALL - LEVEL 1 KEY PLAN - ODP** Project No. **21816**

OVERALL - LEVEL 1 KEY PLAN - ODP

Sheet No. **A2-08**



ACCESSORIES COMMERCIAL SPACE FOR ST. REGIS HOTEL = 39,190.5 SF

STATE OF FLORIDA COASTAL CONSTRUCTION CONTROL LINE (CCCL LINE)
 SARASOTA CONTROL LINE BOOK 2, PAGE 1-14
 RECORDED: 01/26/1989

OVERALL HOTEL / RESIDENTIAL FLOOR PLAN - LEVEL 1- ODP

1
 1" = 40'-0"

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TOWN OF LONGBOAT KEY EROSION CONTROL LINE PER MEAN HIGH WATER SURVEY FILE #0883. DEPARTMENT OF ENVIRONMENTAL PROTECTION



LONGBOAT KEY HOTEL & RESIDENCES

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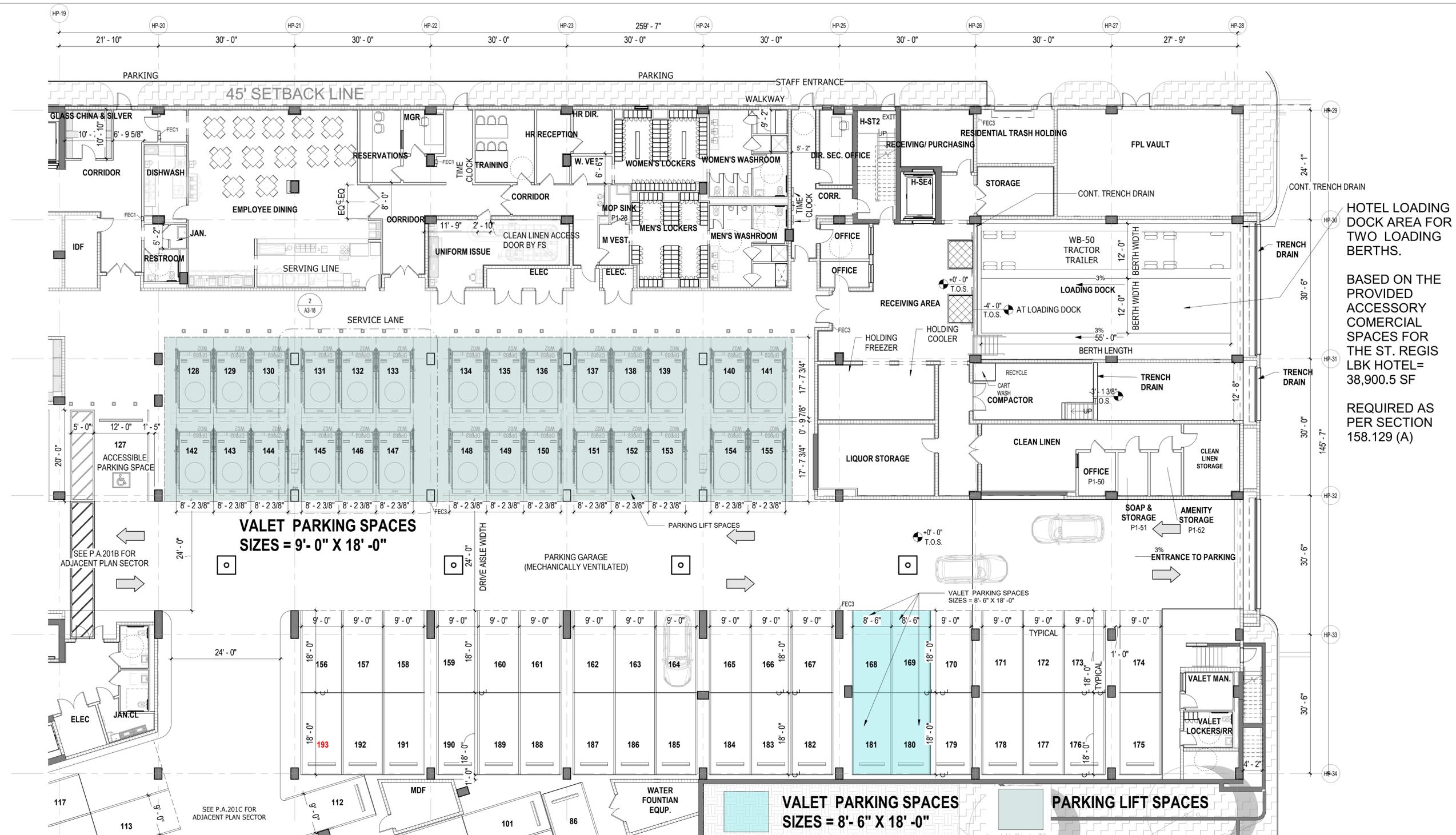


No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title: **HOTEL - LEVEL P1 FLOOR PLAN - SECTOR D - ODP** Project No. **21816**

HOTEL - LEVEL P1 FLOOR PLAN - SECTOR D - ODP

Sheet No. **A2-H-00D**



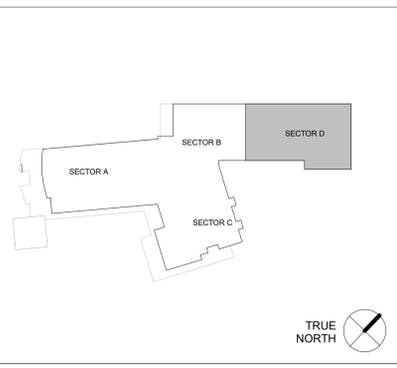
PLAN LEGEND, SYMBOLS AND NOTES

- INDICATES CONC. WALL / COLUMN (SMALL SCALE)
- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
- INDICATES BATHROOM TILE ON STUD WALL
- WINDOW TYPE - SEE WINDOW SCHEDULE
- DOOR TYPE - SEE DOOR SCHEDULE
- STOREFRONT & SLIDER TYPE - SEE SCHEDULE
- LOUVER TYPE - SEE WINDOW SCHEDULE
- WALL TYPE - SEE DRAWING A9-00
- INDICATES FIRE-RATING
- INDICATES WET AREA
- INTERIOR ELEVATION TAG
- SHEET REFERENCE
- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

GENERAL NOTES:

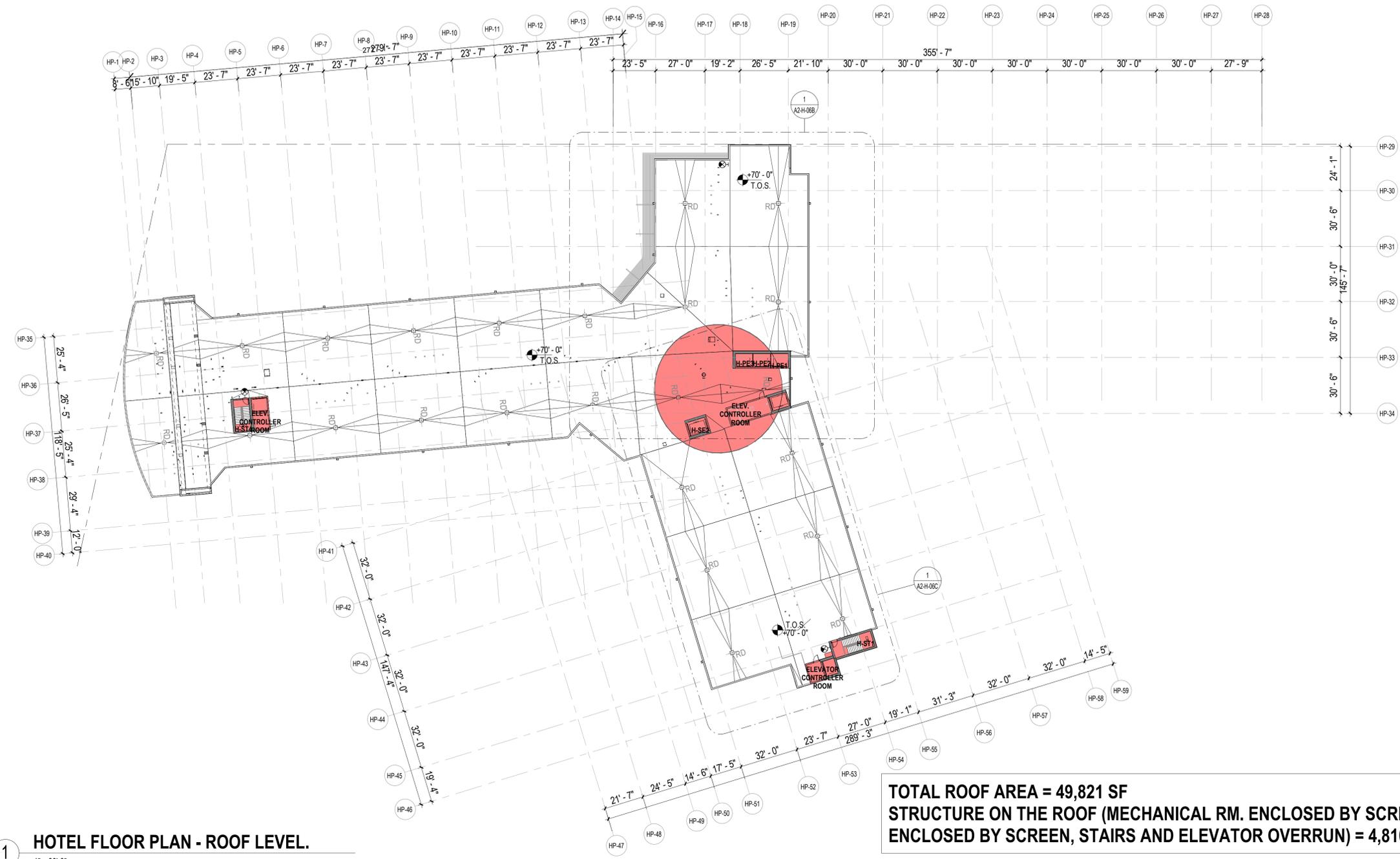
1. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
2. FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
3. SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
4. FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
5. REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
6. SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
7. TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
8. ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
10. ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION.

KEY PLAN (N.T.S.)



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1 PARKING LEVEL FLOOR PLAN SECTOR D.
 3/32" = 1'-0"



LONGBOAT KEY HOTEL & RESIDENCES
APPROVED FOR ZONING
 Site Plan Ordinance 2021-12 and Resolution 2021-21
 1620 GULF OF MEXICO DRIVE
 Reviewer: marmold
 01/25/2022

Owner
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No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

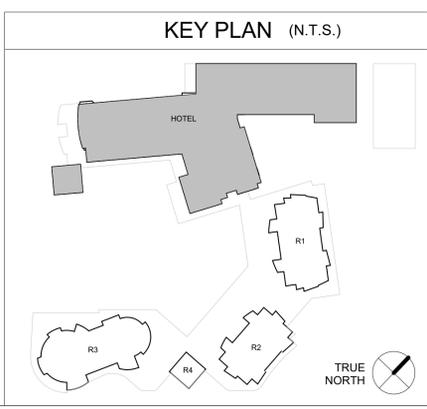
Sheet Title _____ Project No. **21816**

HOTEL - ROOF PLAN - ODP

Sheet No. _____

A2-H-RP

TOTAL ROOF AREA = 49,821 SF
STRUCTURE ON THE ROOF (MECHANICAL RM. ENCLOSED BY SCREEN AND NOT ENCLOSED BY SCREEN, STAIRS AND ELEVATOR OVERRUN) = 4,810 SF = 9.65%



1 HOTEL FLOOR PLAN - ROOF LEVEL.
 1" = 30'-0"

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LONGBOAT KEY HOTEL & RESIDENCES

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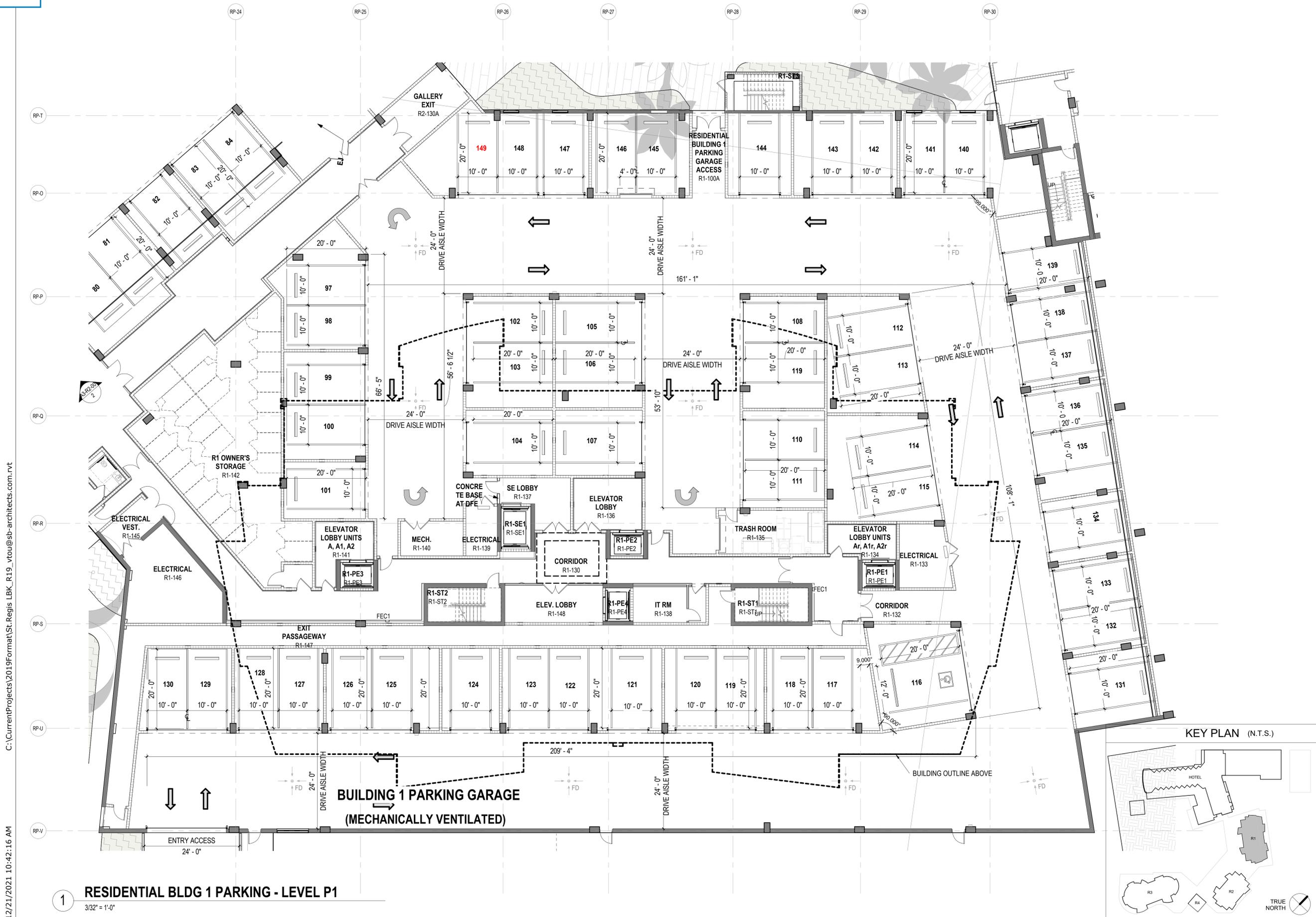


No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title _____ Project No. **21816**

BUILDING 1 - LEVEL P1 FLOOR PLAN - ODP

Sheet No. **A2-R1-00**



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1 RESIDENTIAL BLDG 1 PARKING - LEVEL P1
 3/32" = 1'-0"



LONGBOAT KEY HOTEL & RESIDENCES

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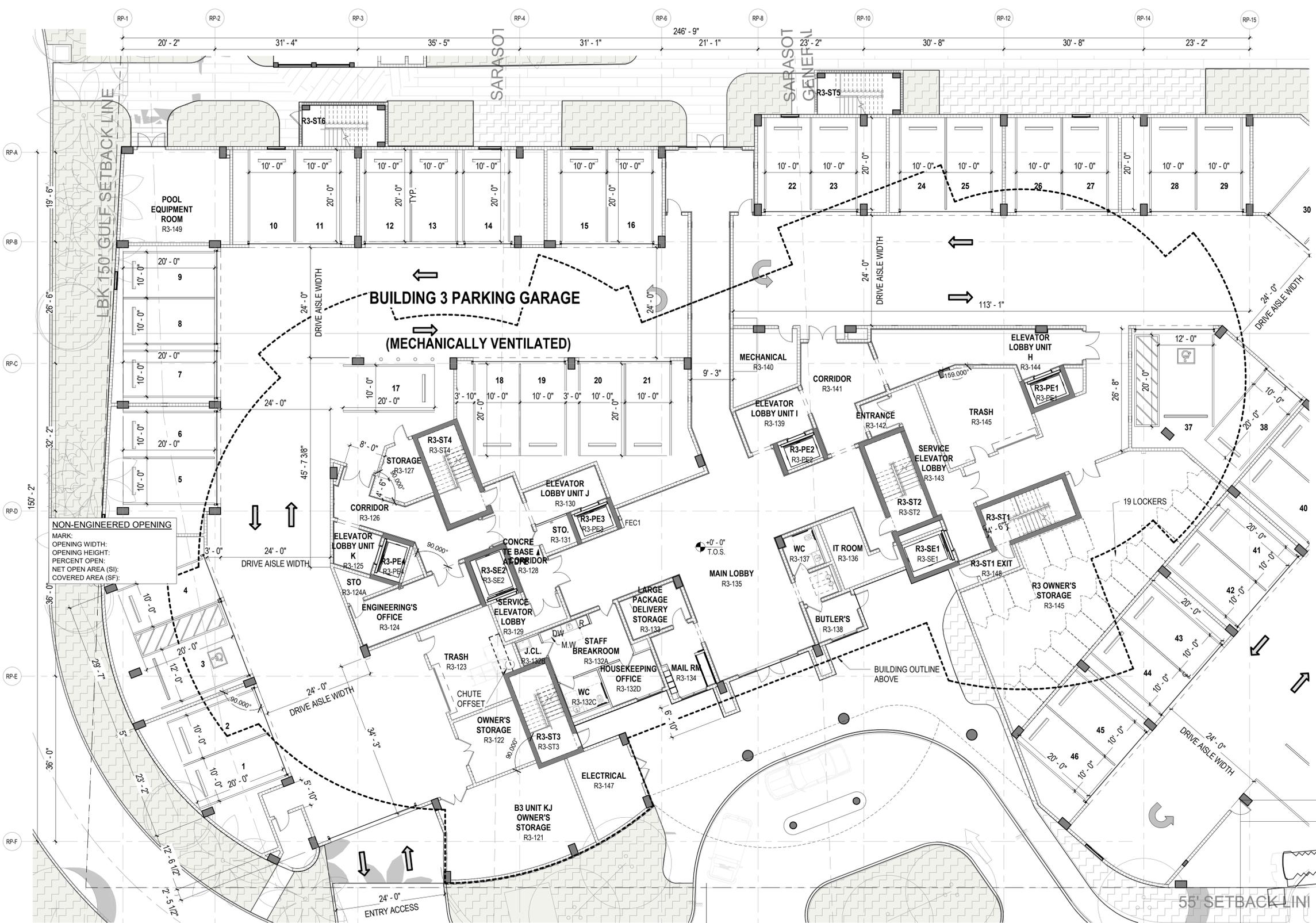
No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title Project No. **21816**

RESI BUILDING 3 - LEVEL P1 FLOOR PLAN - ODP

Sheet No. **A2-R3-00_**

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RESIDENTIAL BLDG 3 PARKING FLOOR PLAN - LEVEL P1

3/32" = 1'-0"

NON-ENGINEERED OPENING
 MARK:
 OPENING WIDTH:
 OPENING HEIGHT:
 PERCENT OPEN:
 NET OPEN AREA (SI):
 COVERED AREA (SF):

KEY PLAN (N.T.S.)

55' SETBACK LINE



LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
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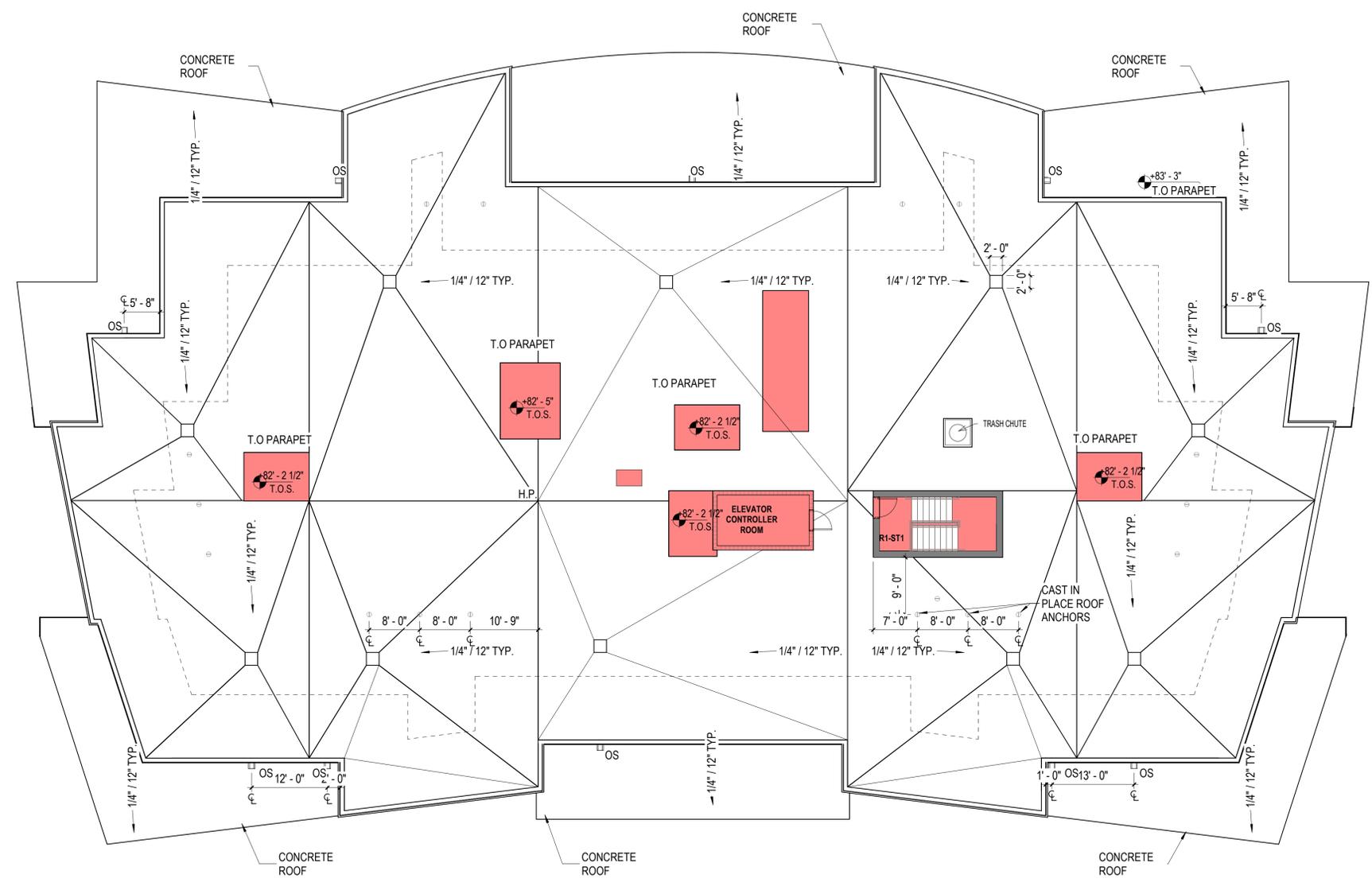
No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

Sheet Title _____ Project No. **21816**

RESI BUILDING 1 - ROOF PLAN - ODP

Sheet No. _____

A2-R1-07



**TOTAL ROOF AREA INCLUDING THE BALCONIES = 22,451 SF
 STRUCTURE ON THE ROOF (MECHANICAL RM. NOT ENCLOSED BY SCREEN AND STAIRS, ELEVATOR OVERRUN) = 969 SF = 4.31%**

RESIDENTIAL BUILDING 1 FLOOR PLAN - ROOF LEVEL.

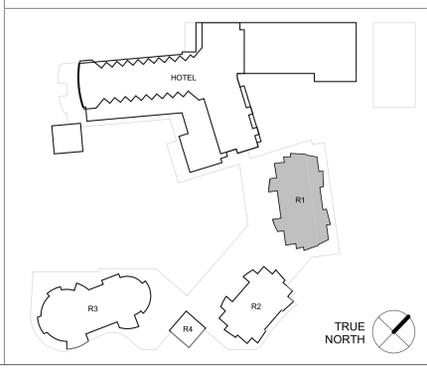
1
 3/32" = 1'-0"

CEILING LEGEND, SYMBOLS AND NOTES

	EXPOSED BOTTOM OF SLAB		PENDANT LIGHT		SPRINKLER HEAD
	INDICATED DROP CEILING. REFER TO SPECIFICATIONS		DOWNLIGHT - ROUND		UPRIGHT
	INDICATES 4" RIGID INSULATION WITH MINIMUM R-19 UNDERNEATH SLAB		WP WATERPROOF LIGHT		SMOKE AND HEAT DETECTORS
	ACOUSTIC CEILING		DOWNLIGHT - SQUARE		EXIT SIGN
	B.O.S. BOTTOM OF SLAB A.F.F.L. ABOVE FINISH FLOOR LEVEL GYP. BD. GYPSUM BOARD C.P. CEMENT PLASTER B.O.B. BOTTOM OF BEAM		JUNCTION BOX		CEILING MOUNTED
	CEILING HEIGHT MEASURED FROM TOP OF FINISH		WALL MOUNTED JUNCTION BOX		WALL MOUNTED
			ACCESS PANEL		STRUCT. RIGGING POINT
			EXHAUST FAN		
			DIFFUSER		
			RETURN		

- G.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, LIGHTING, AND FIRE PROTECTION INSTALLATIONS.
- SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
- ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR
- REFER TO ID DWGS FOR ALL INTERIOR FURNISHINGS, FIXTURES AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED. EXACT LOCATION OF ALL ELECTRICAL, MECHANICAL AND FP DEVICES TO BE COORDINATED WITH ARCHITECT AND ID. REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED DEVICES. ALL DEVICES SHALL BE MOUNTED AS PER CODE. REFER TO ENGINEERS' DWGS CODE ESTABLISHED MOUNTING HEIGHTS.
- ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
- HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15 LBS. REQUIRE ATTACHMENT DETAILS WHICH EXCEED CONVENTIONAL METHODS FOR ATTACHING J-BOXES TO CEILING FRAMING. THEY SHALL BE SUSPENDED FROM STRUCTURAL SLAB WITH AN ENGINEERED METAL FRAMING SYSTEM.
- SEE MEP/FP DRAWINGS FOR LOCATION AND SPECIFICATIONS OF DEVICES & SYSTEMS. COORDINATE EXACT LOCATION OF DEVICES AND SYSTEMS WITH ARCH, I.D., AND LIGHTING DRAWINGS.
- SUSPENDED ACOUSTICAL CEILING TILE & GRID SYSTEM IS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION, ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
- ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS, ETC.) IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE UNLESS OTHERWISE IS NOTED.

KEY PLAN (N.T.S.)



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LONGBOAT KEY HOTEL & RESIDENCES

APPROVED FOR ZONING
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1620 GULF OF MEXICO DRIVE
01/25/2022
Reviewer: marnold

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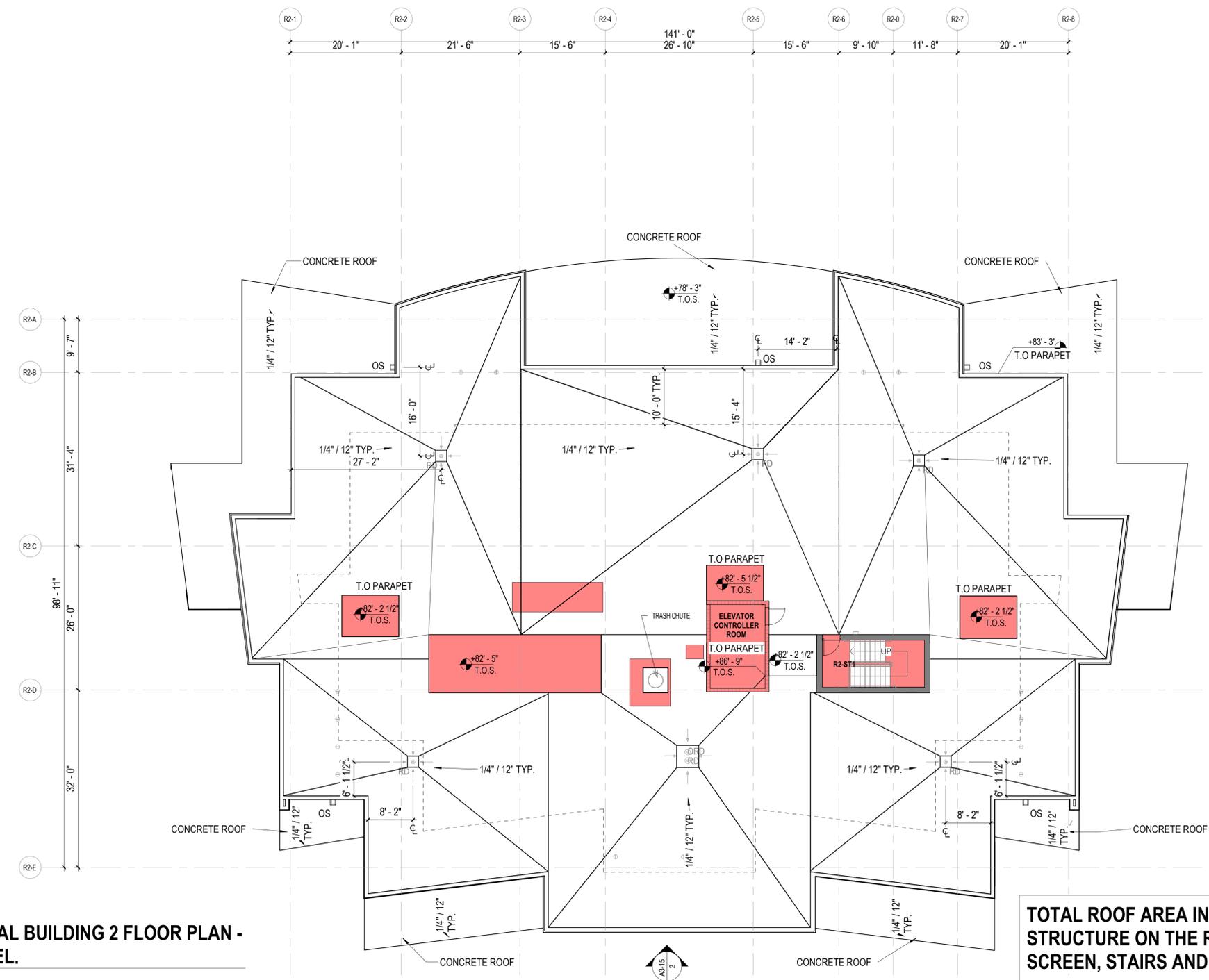
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Sheet Title _____ Project No. **21816**

RESI BUILDING 2 - ROOF PLAN - ODP

Sheet No. _____

A2-R2-07



RESIDENTIAL BUILDING 2 FLOOR PLAN - ROOF LEVEL.

**TOTAL ROOF AREA INCLUDING THE BALCONIES = 17,524 SF
STRUCTURE ON THE ROOF (MECHANICAL RM. NOT ENCLOSED BY SCREEN, STAIRS AND ELEVATOR OVERRUN) = 1,111 SF= 6.34%**

1

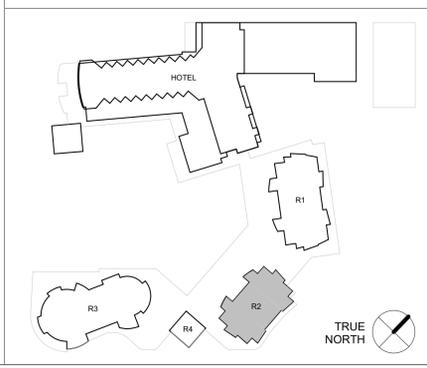
3/32" = 1'-0"

CEILING LEGEND, SYMBOLS AND NOTES

<p>EXPOSED BOTTOM OF SLAB</p> <p>INDICATED DROP CEILING REFER TO SPECIFICATIONS</p> <p>INDICATES 4" RIGID INSULATION WITH MINIMUM R-19 UNDERNEATH SLAB</p> <p>ACOUSTIC CEILING</p> <p>B.O.S. BOTTOM OF SLAB A.F.F.L. ABOVE FINISH FLOOR LEVEL GYP. BD. GYPSUM BOARD C.P. CEMENT PLASTER B.O.B. BOTTOM OF BEAM</p> <p>CEILING MATERIAL</p> <p>XXX X-X"</p> <p>CEILING HEIGHT MEASURED FROM TOP OF FINISH</p>	<p>CEILING LIGHT FIXTURES</p> <p>PENDANT LIGHT</p> <p>DOWNLIGHT - ROUND</p> <p>WP WATERPROOF LIGHT</p> <p>DOWNLIGHT - SQUARE</p> <p>STRIP LIGHTING</p> <p>JUNCTION BOX</p> <p>WALL MOUNTED JUNCTION BOX</p> <p>ACCESS PANEL</p> <p>DIFFUSER</p> <p>EXHAUST FAN</p> <p>RETURN</p>	<p>SPRINKLER HEAD</p> <p>FLUSH PENDENT</p> <p>UPRIGHT</p> <p>SMOKE AND HEAT DETECTORS</p> <p>AND</p> <p>EXIT SIGN</p> <p>CEILING MOUNTED</p> <p>OR</p> <p>WALL MOUNTED</p> <p>OR</p> <p>STRUCT. RIGGING POINT</p>
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- G.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL LIGHTING, AND FIRE PROTECTION INSTALLATIONS.
- SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
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- ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
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- SEE MEP/FP DRAWINGS FOR LOCATION AND SPECIFICATIONS OF DEVICES & SYSTEMS. COORDINATE EXACT LOCATION OF DEVICES AND SYSTEMS WITH ARCH, I.D., AND LIGHTING DRAWINGS.
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- ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS, ETC.) IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE UNLESS OTHERWISE IS NOTED.

KEY PLAN (N.T.S.)



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LONGBOAT KEY HOTEL & RESIDENCES

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RESI AMENITY BUILDING 4 - LEVEL P1 FLOOR PLAN - ODP

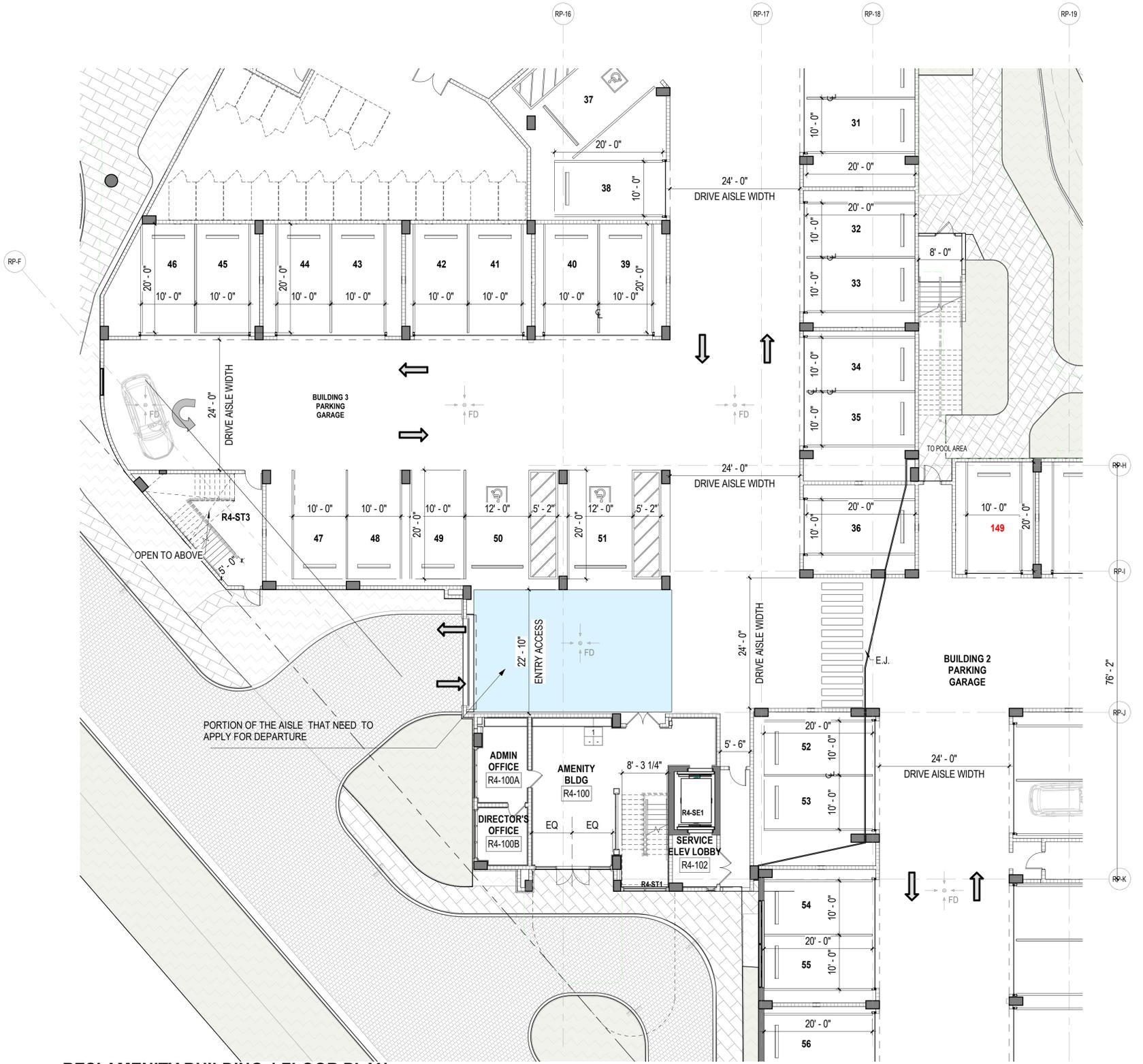
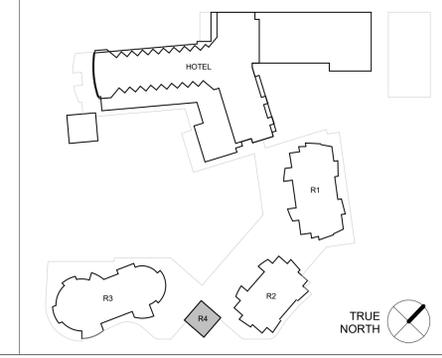
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A2-R4-00-

PLAN LEGEND, SYMBOLS AND NOTES

- INDICATES CONC. WALL / COLUMN (SMALL SCALE)
- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
- INDICATES BATHROOM TILE ON STUD WALL
- WINDOW TYPE - SEE WINDOW SCHEDULE
- DOOR TYPE - SEE DOOR SCHEDULE
- STOREFRONT & SLIDER TYPE - SEE SCHEDULE
- LOUVER TYPE - SEE WINDOW SCHEDULE
- WALL TYPE - SEE DRAWING A9-00
- INDICATES FIRE-RATING PARTITION
- INDICATES WET AREA
- INTERIOR ELEVATION TAG
- SHEET REFERENCE
- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 1/2 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

- GENERAL NOTES:**
- ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
 - FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
 - SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
 - FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
 - REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
 - SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
 - TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
 - ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
 - ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION.

KEY PLAN (N.T.S.)



RESI AMENITY BUILDING 4 FLOOR PLAN LEVEL P1-

1
 3/32" = 1'-0"

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LONGBOAT KEY HOTEL & RESIDENCES

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RESI AMENITY BUILDING 4 - ROOF PLAN - ODP

Sheet No. _____

A2-R4-02-

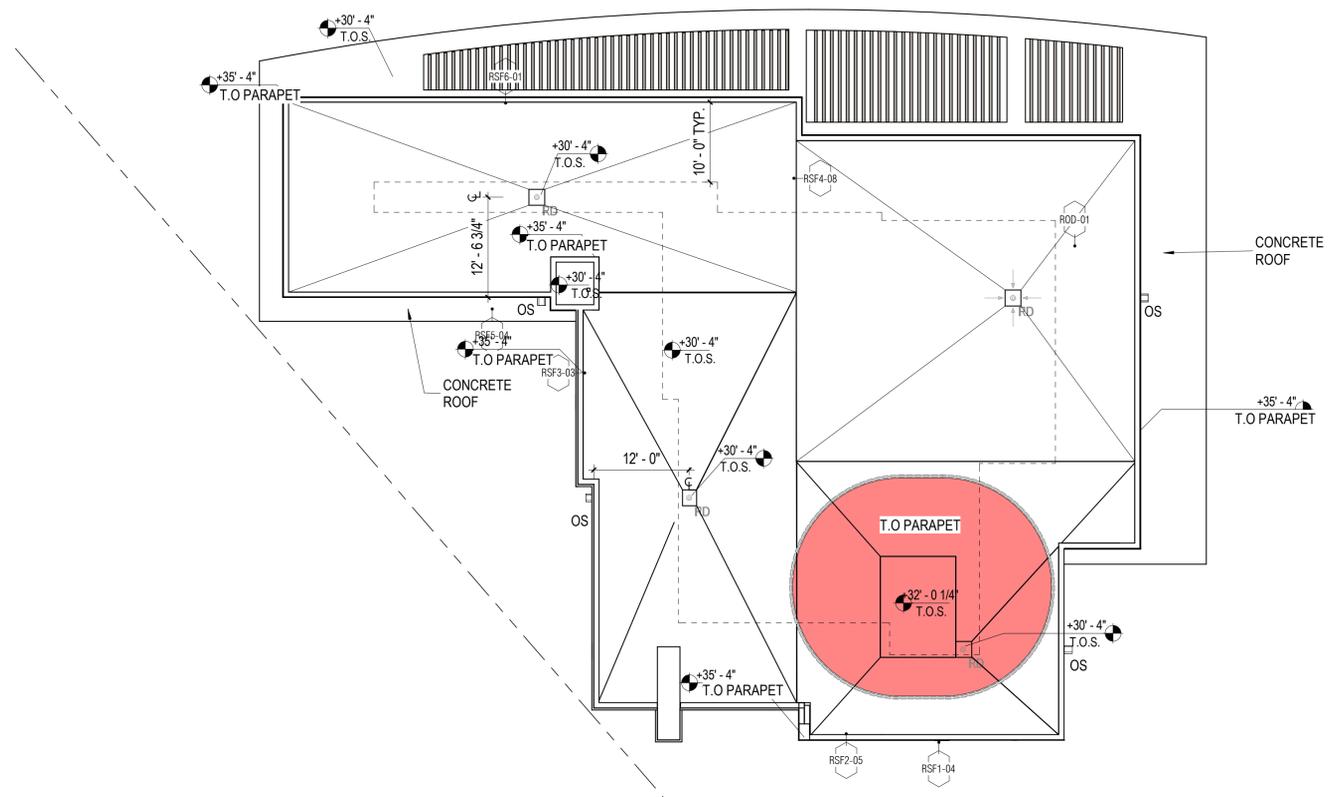
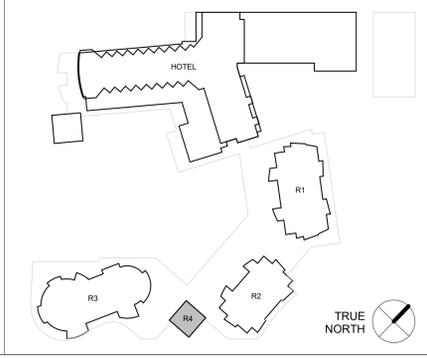
PLAN LEGEND, SYMBOLS AND NOTES

- INDICATES CONC. WALL / COLUMN (SMALL SCALE)
- INDICATES CONC. WALL / COLUMN (LARGE SCALE)
- INDICATES STUD WALL
- INDICATES CMU WALL
- INDICATES FLOOD PROOF WALL ASSEMBLY
- INDICATES BATHROOM TILE ON STUD WALL
- WINDOW TYPE - SEE WINDOW SCHEDULE
- DOOR TYPE - SEE DOOR SCHEDULE
- STOREFRONT & SLIDER TYPE - SEE SCHEDULE
- LOUVER TYPE - SEE WINDOW SCHEDULE
- WALL TYPE - SEE DRAWING A9-00
- INDICATES FIRE-RATING
INDICATES WET AREA
- INTERIOR ELEVATION TAG
- SHEET REFERENCE
- DETAIL NUM.
- FLOOR DRAIN
- ROOF DRAIN - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- 12 HOUR RATED SMOKE-TIGHT PARTITION
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (OR CONCRETE TO FACE OF STUDS OR FACE OF STUD TO FACE OF STUD, OR GRID LINE) UNLESS OTHERWISE NOTED.
2. FOR FIRE RATED WALLS AND LOCATIONS SEE LIFE SAFETY DRAWINGS.
3. SET HINGE SIDE OF INTERIOR DOORS AT 4" FROM SIDE WALL (TYP), UNLESS OTHERWISE NOTED.
4. FOR BUILT-IN MILLWORK SEE INTERIOR DESIGN DRAWINGS.
5. REFER TO EDGE OF SLAB DRAWINGS FOR ADDITIONAL OVERALL BUILDING DIMENSIONING.
6. SLOPES TO DRAIN IN FLOOR PLANS WILL BE PROVIDED WITH FINISH MATERIALS U.O.N. FOR SLOPES ON CONCRETE SLABS SEE STRUCTURAL DRAWINGS
7. TOP OF ALL GUARDRAILS MUST BE MINIMUM OF 42" ABOVE ADJACENT FINISH FLOOR
8. ALL CEMENT PLASTER AND SKIM COAT FINISHES TO BE PAINTED UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR OPENINGS ARE IDENTIFIED IN OVERALL BUILDING PLANS.
10. ALL EQUIPMENT TO BE INSTALLED ABOVE DESIGN FLOOD ELEVATION .

KEY PLAN (N.T.S.)



**TOTAL ROOF AREA = 7,215 SF
 STRUCTURE ON THE ROOF (MECHANICAL RM. AND ELEVATOR
 OVERRUN ENCLOSED BY SCREEN) = 720 SF= 10.1%**

RESI AMENITY BUILDING 4 FLOOR PLAN - ROOF LEVEL.

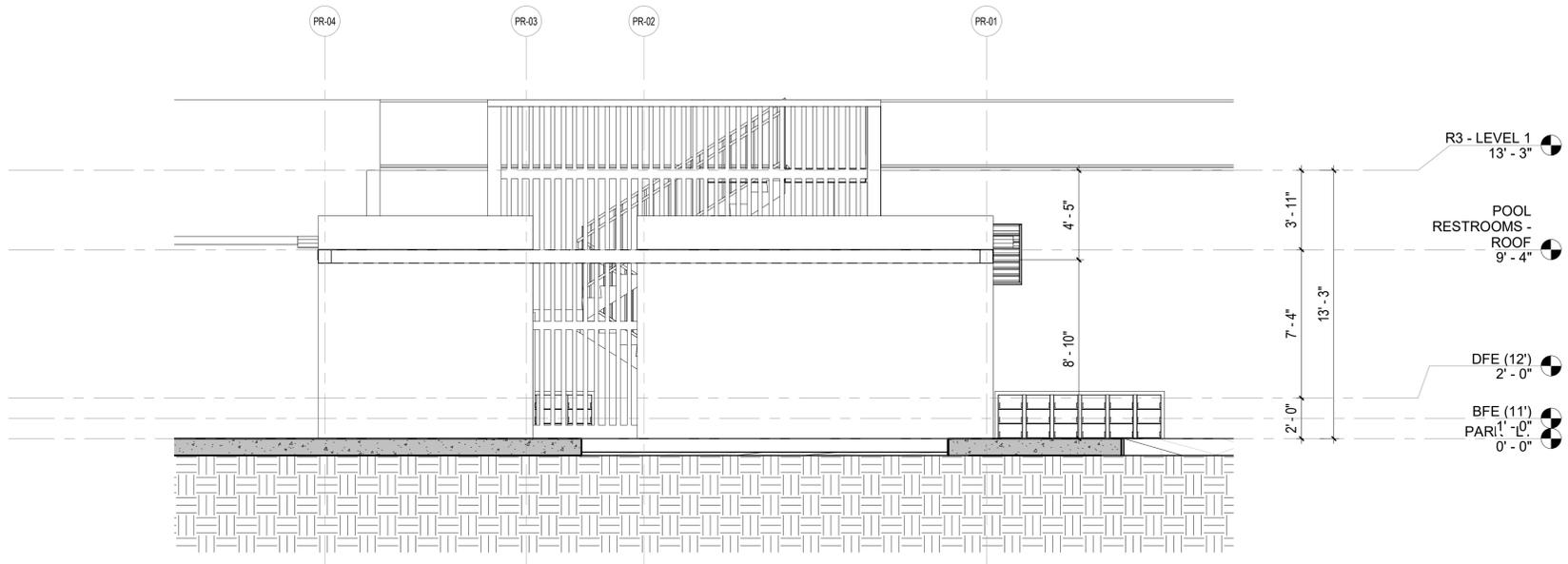
1
 3/32" = 1'-0"

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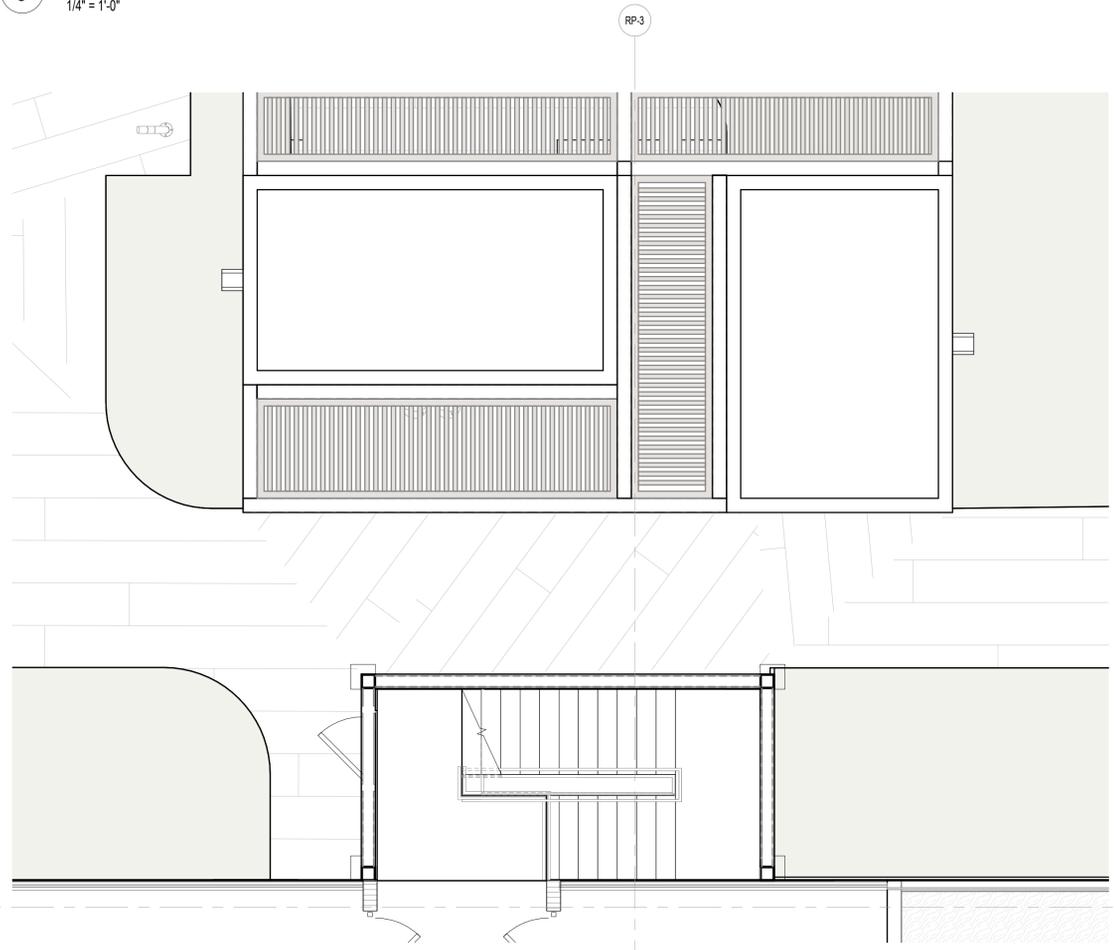
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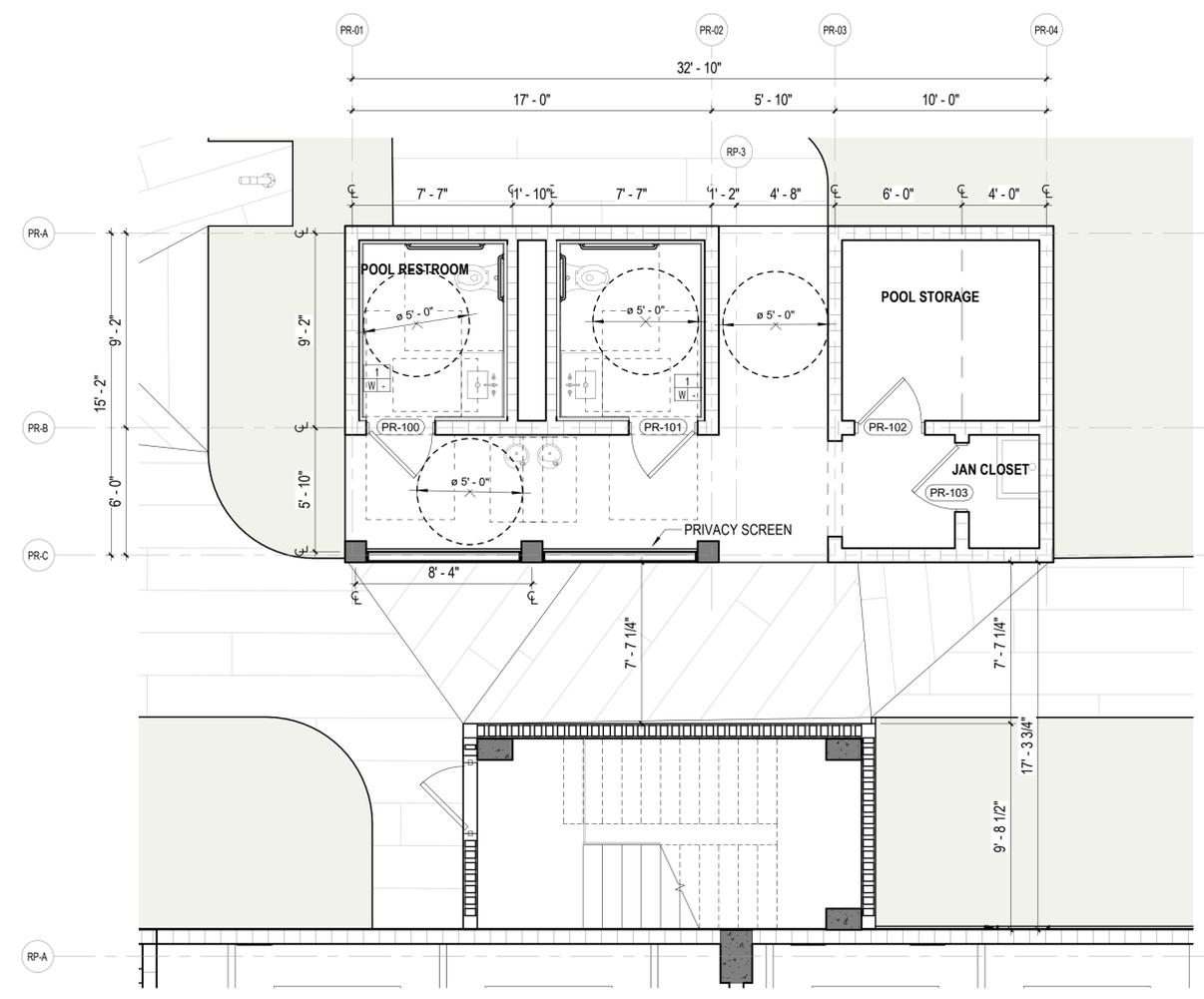
No.	Description	Date
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021



3 RESIDENTIAL POOL - NORTH ELEVATION
 1/4" = 1'-0"



2 RESIDENTIAL POOL RESTROOMS - ROOF PLAN 1
 1/4" = 1'-0"



1 RESIDENTIAL POOL RESTROOMS - ENLARGED PLAN 1
 1/4" = 1'-0"

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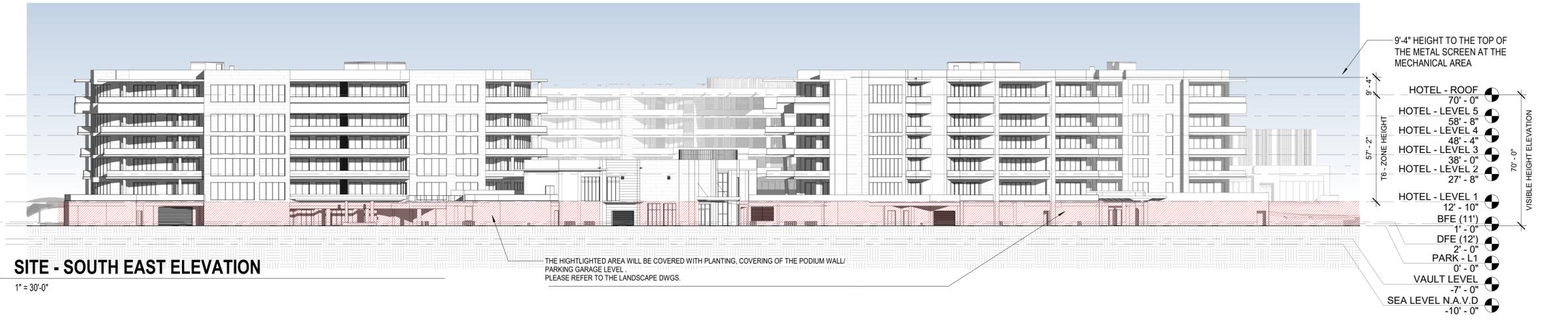
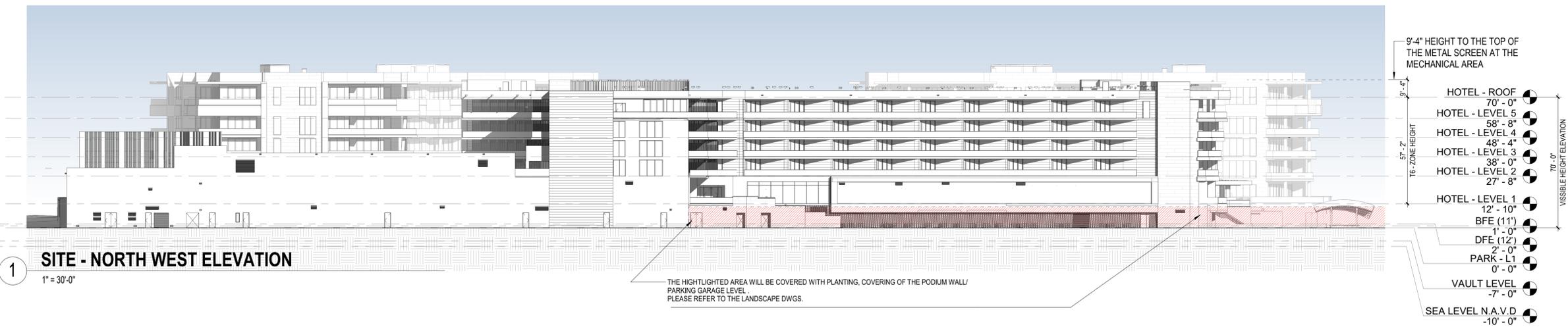
No.	Description	Date
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OVERALL - SITE ELEVATIONS- ODP

Sheet No.

A3-02_



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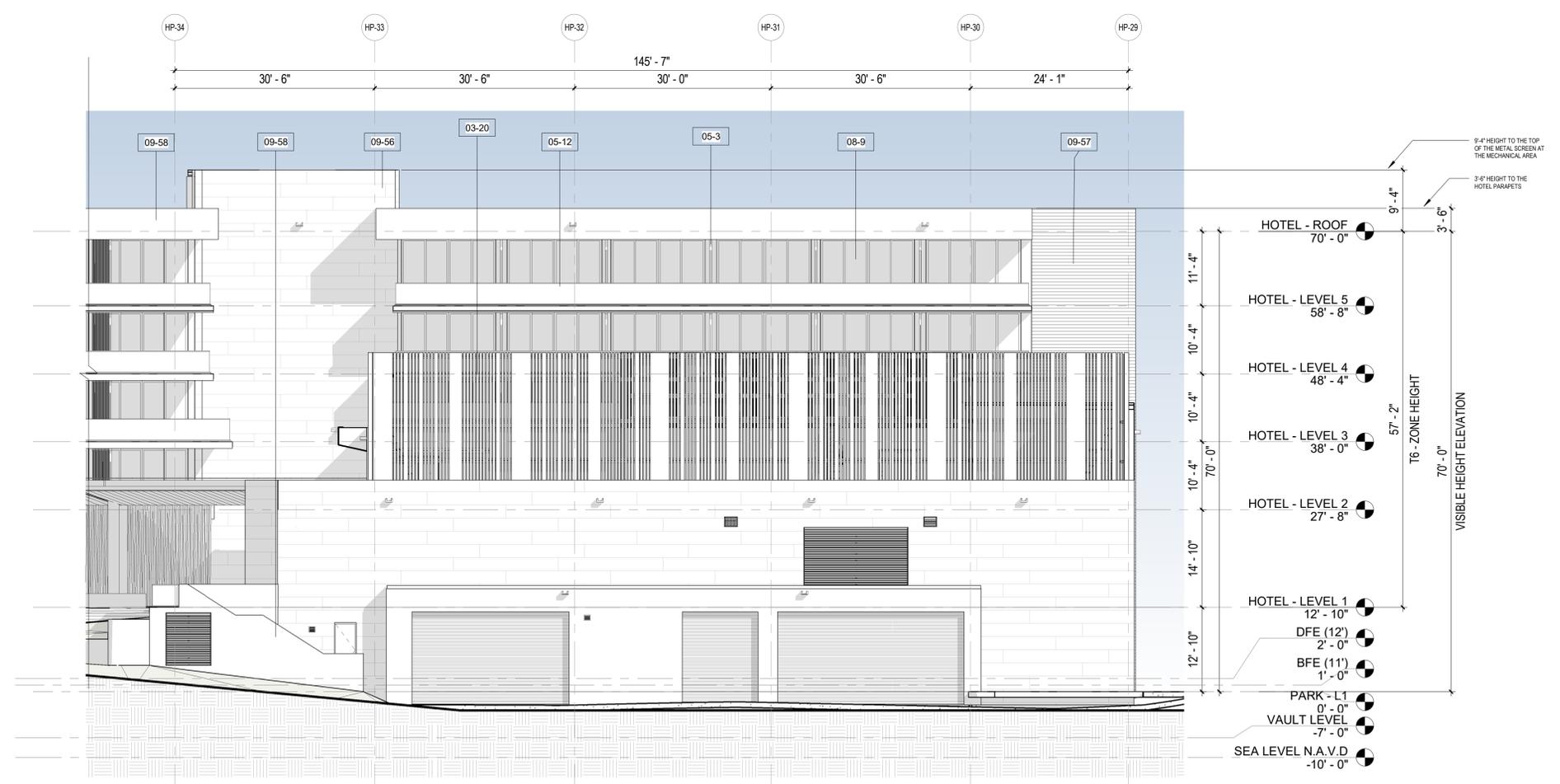
No.	Description	Date
	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/2021

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HOTEL - EAST ELEVATION - SECTOR D - ODP

Sheet No. _____

A3-10



1 HOTEL - EAST ELEVATION - SECTOR D
 3/32" = 1'-0"

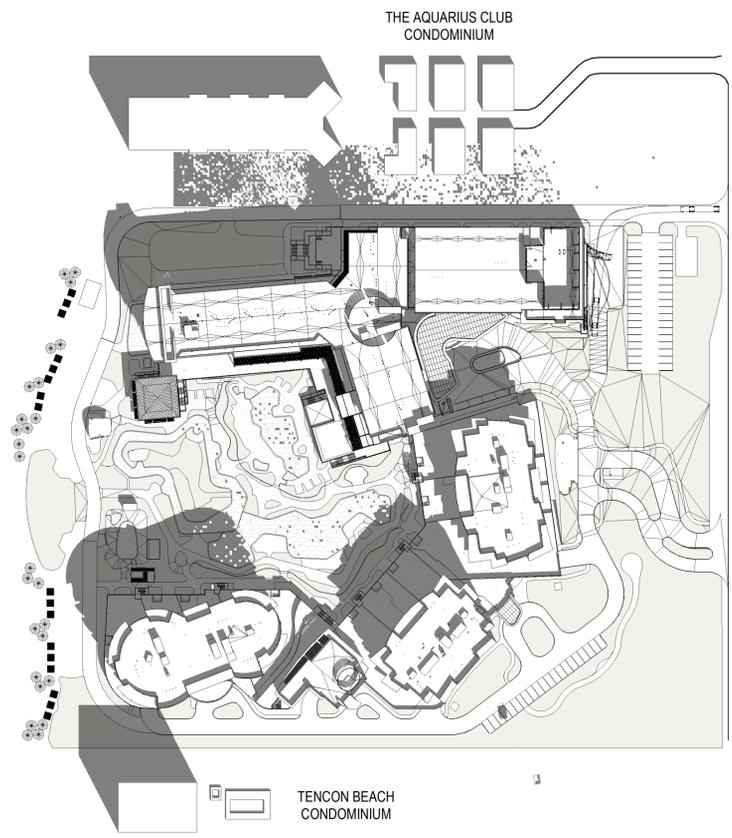
KEYNOTE LEGEND 8	
KEY NOTE VALUE	MATERIALS

03-20	GLASS FIBER REINFORCED CONCRETE PANELS & METAL EXTRUCTIONS
05-3	2"x8" METAL SCREEN WITH KYNAR FINISH.FASTENED TO CMU WALL
05-12	FRAMELESS, FULLY TEMPERED, LAMINATED GLASS GUARDRAIL WITH CONTINUOUS ALUMINUM BASE SHOE AND CAD BASIS OF DESIGN.POMA AND SONS,INC."INFINITY RAIL".MANUFACTURER TO PROVIDE SIGNED AND SEALED, ENGINEERED SHOP DRAWINGS FOR REVIEW.
08-9	ALUMINUM / GLASS WINDOW STOREFRONT, BASIS OF DESIGN.
09-56	ARRIAGA "STONELIGHT" - BRUSHED FINISH
09-57	SCORED/TEXTURED/COMBED)STUCCO FINISH(SEE ELEV.DETAILS)
09-58	SMOOTH STUCCO (PAINTED)

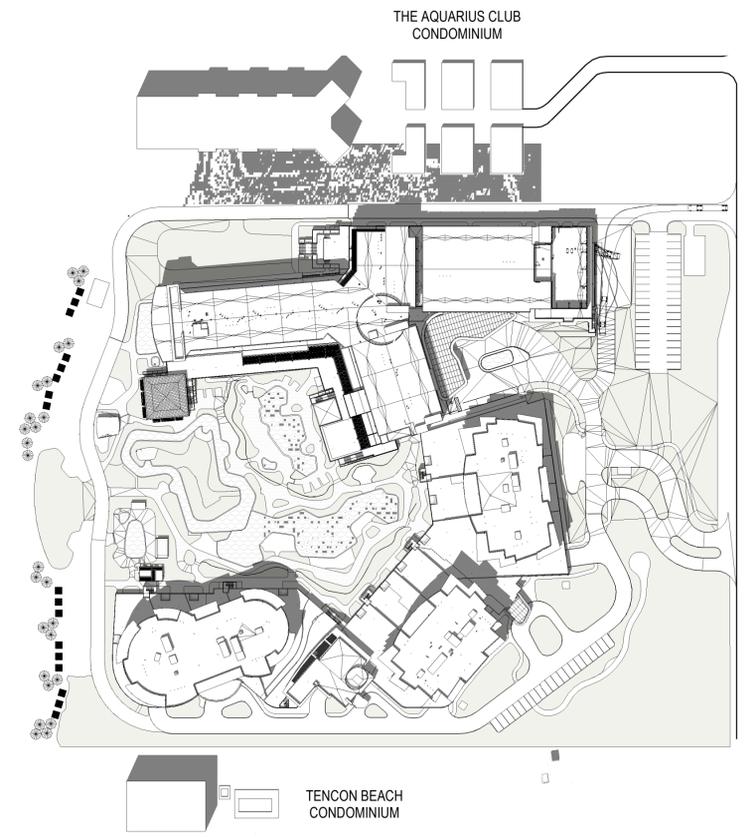
NOTE:
 BASIS OF DESIGN GLAZING CRITERIA :
 9/16" H.H. 680 PVB R100/Starphire
 • VLT = 0.443
 • SHGC = 0.267
 • SOLAR TRANSMITTANCE = 0.194
 • EXT. SOLAR REFLECTANCE = 0.579
 • INT. SOLAR REFLECTANCE = 0.405
 • U-VALUE (WINTER) = 0.932
 • U-VALUE (SUMMER DAYTIME) = 0.846
 • SHADING COEFFICIENT (SC) = 0.306
 • LIGHT TO SOLAR GAIN (LSG) = 1.659

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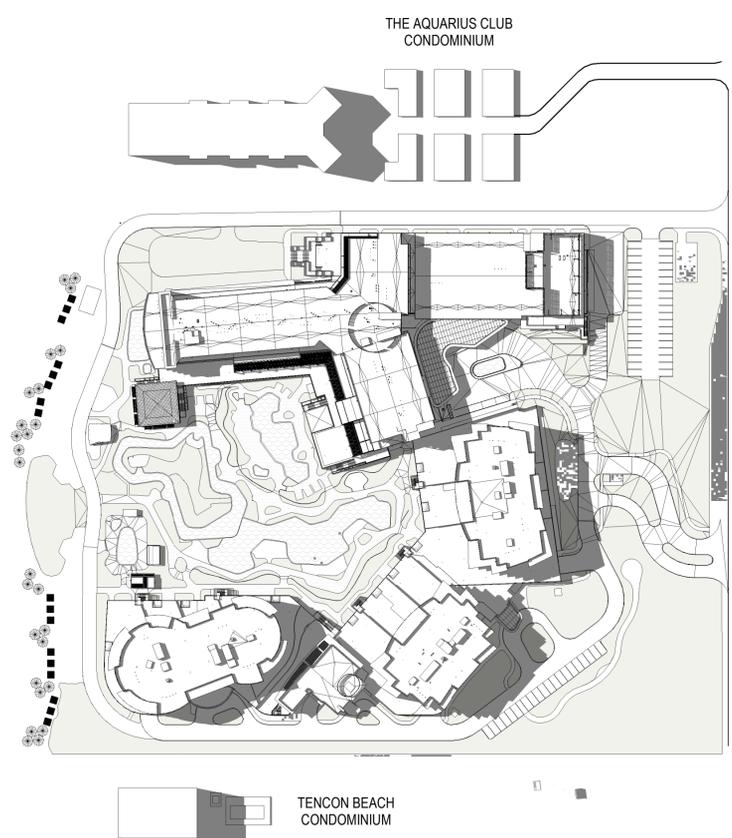
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1 **SPRING EQUINOX - MARCH 21ST AT 9 AM**



2 **SPRING EQUINOX - MARCH 21ST AT 12 PM**



3 **SPRING EQUINOX - MARCH 21ST AT 3 PM**



4 **SPRING EQUINOX - MARCH 21ST AT 5 PM**



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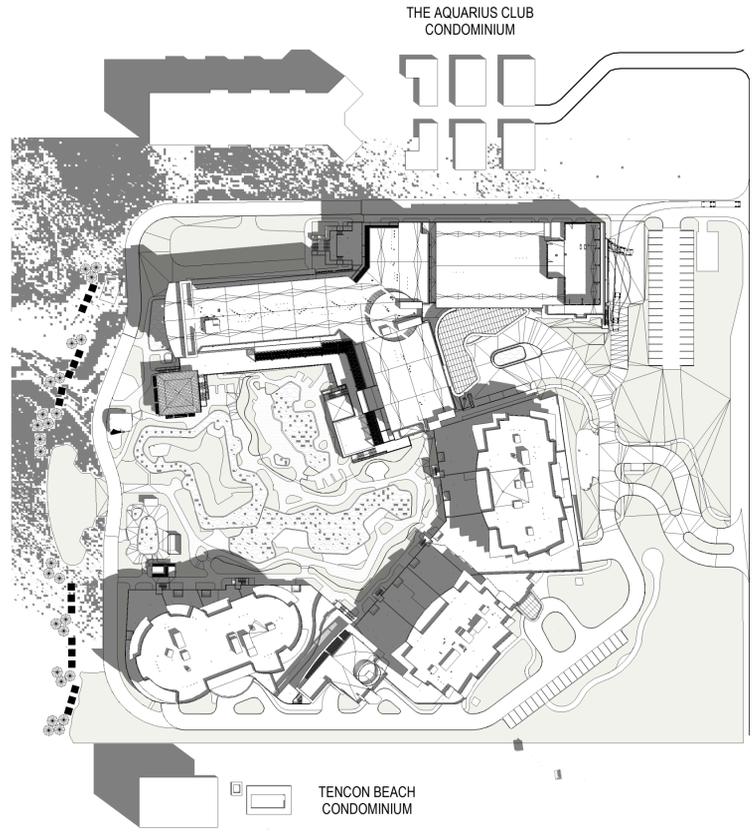
SHADOW STUDY - SPRING EQUINOX - ODP

Sheet No. _____

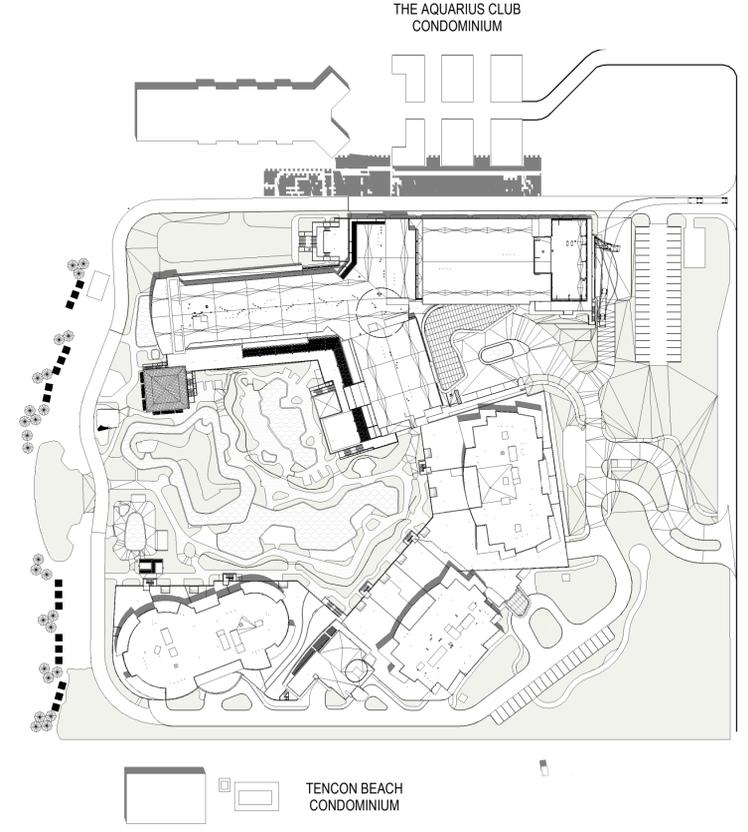
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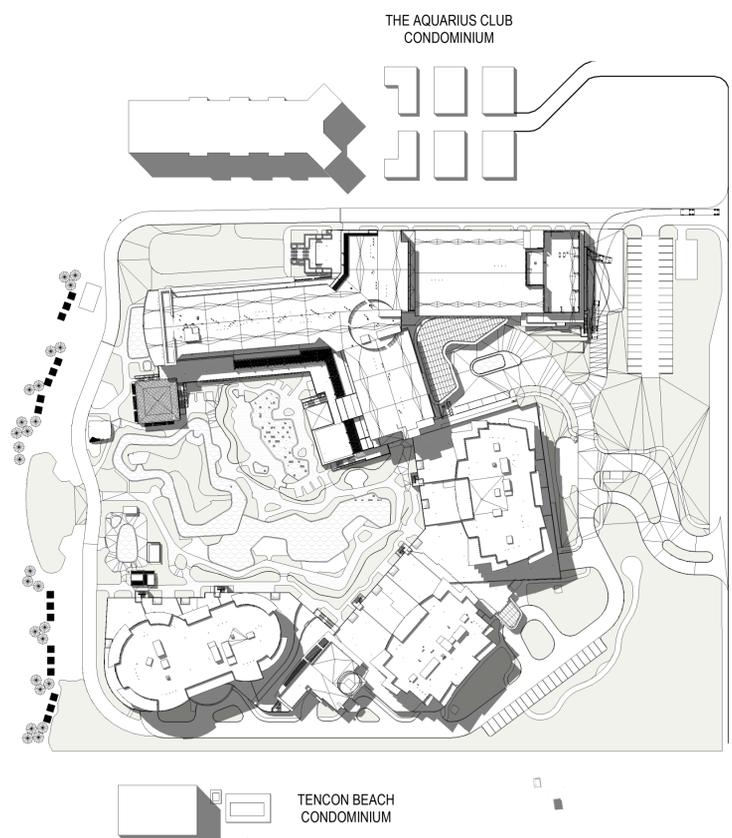
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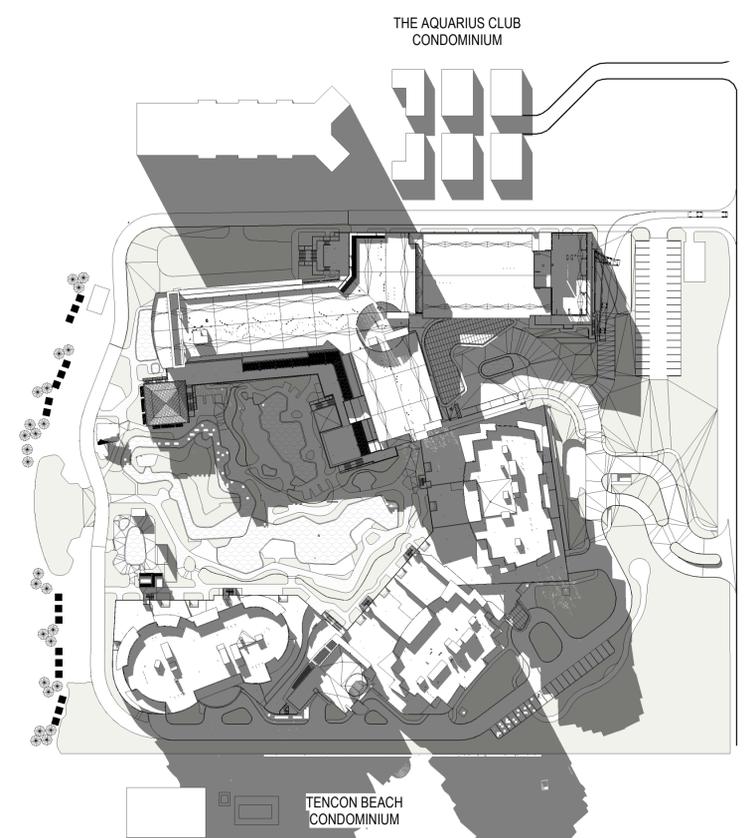
1 SUMMER SOLSTICE - JUNE 21ST AT 9 AM



2 SUMMER SOLSTICE - JUNE 21ST AT 12 PM



3 SUMMER SOLSTICE - JUNE 21ST AT 3 PM



4 SUMMER SOLSTICE - JUNE 21ST AT 6 PM



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SHADOW STUDY - SUMMER SOLSTICE - ODP

Sheet No. _____

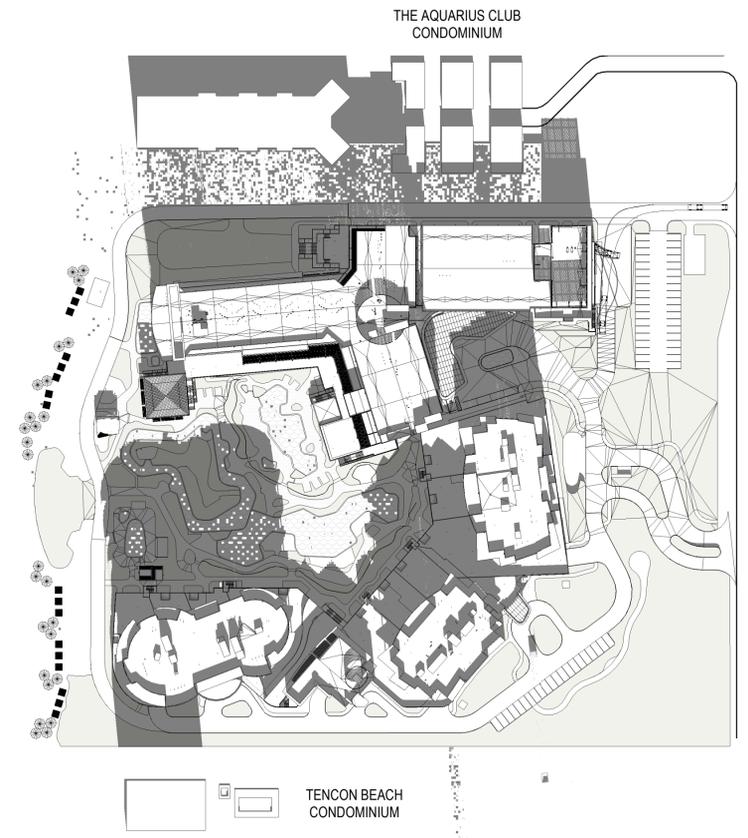
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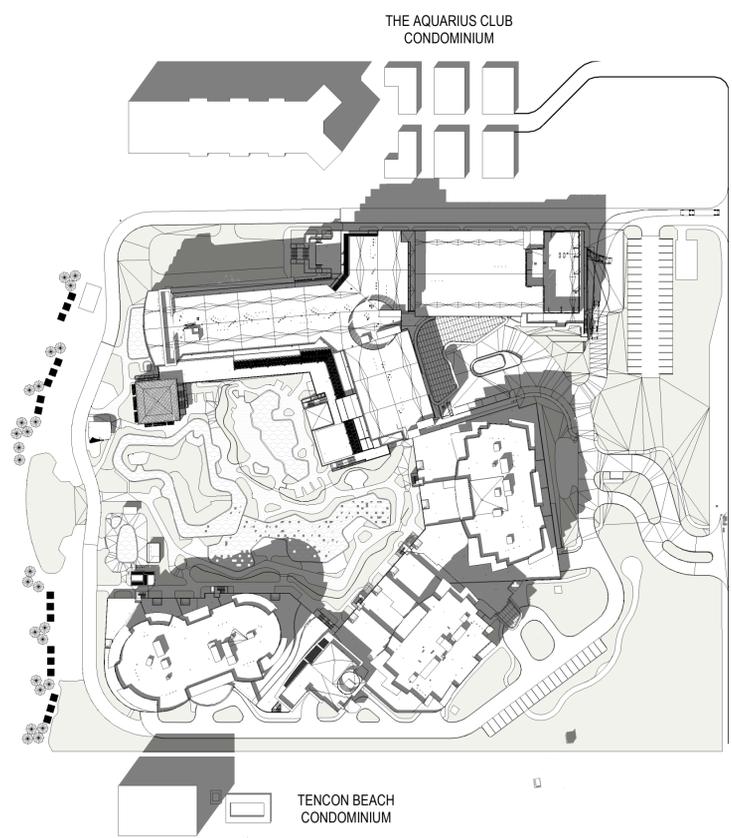
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1 WINTER SOLSTICE - DECEMBER 21ST 7 AM



2 WINTER SOLSTICE - DECEMBER 21ST 9 AM



3 WINTER SOLSTICE - DEC. 21ST AT 12 PM



4 WINTER SOLSTICE - DECEMBER 21ST 3 PM



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SHADOW STUDY - WINTER SOLSTICE - ODP

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A4-02_

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MODEL VIEW



MODEL VIEW

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MODEL VIEW



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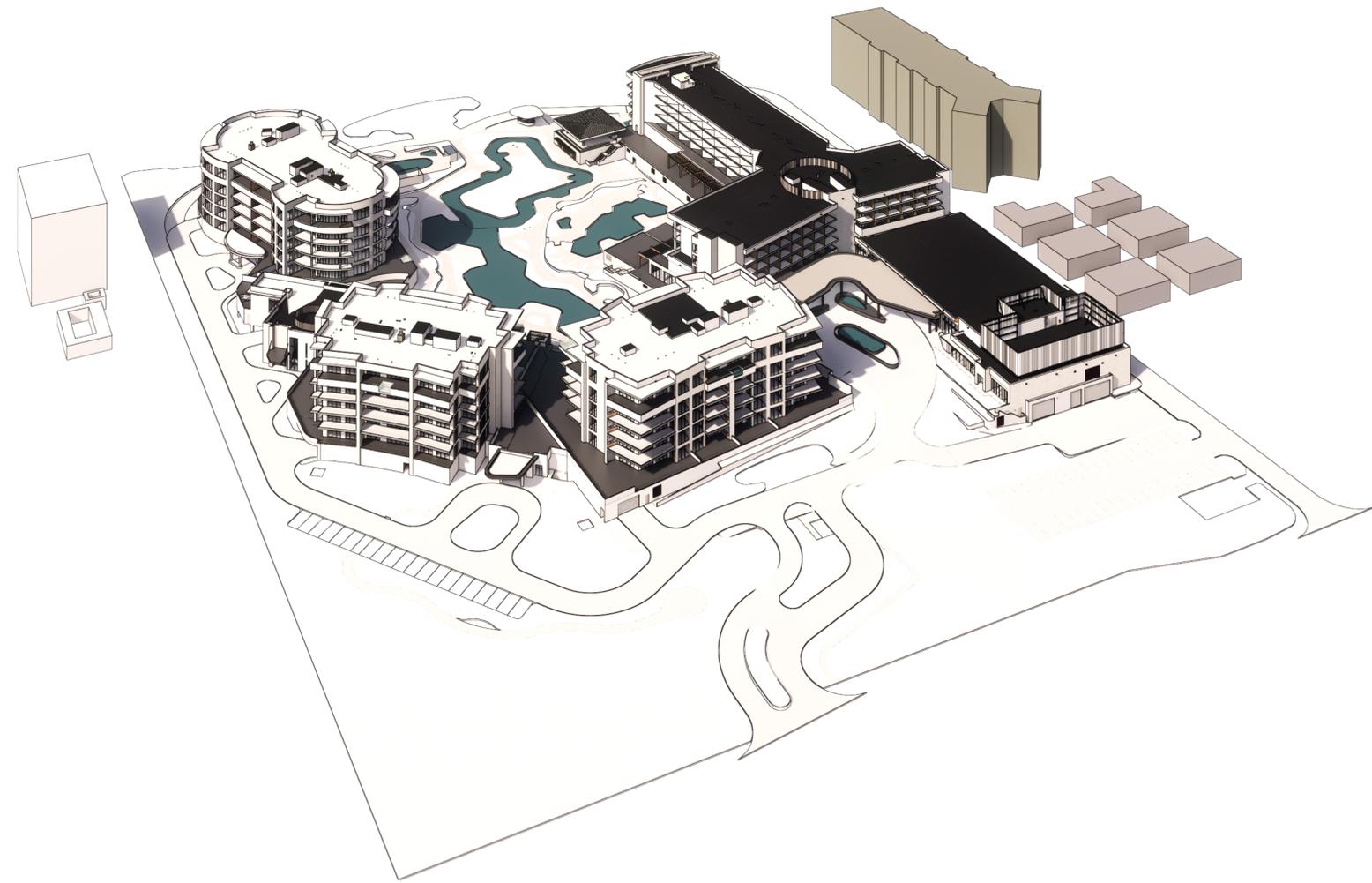
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MODEL VIEW - ODP

Sheet No.
A4-06_



MODEL VIEW

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