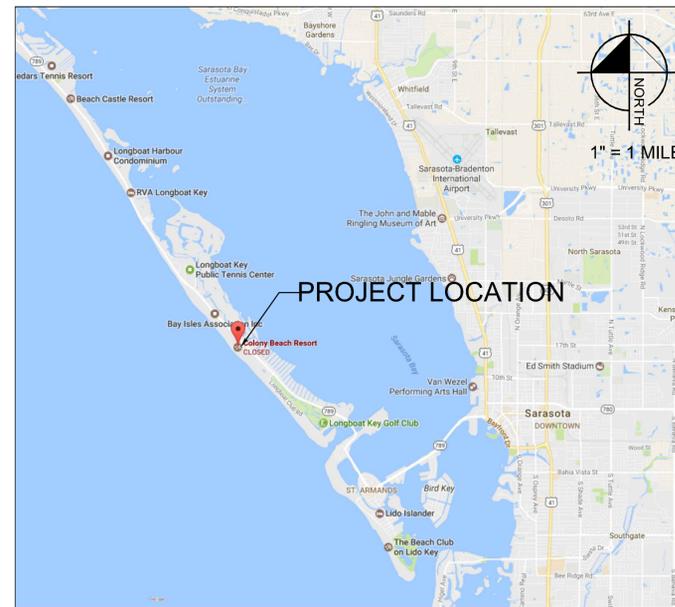


# SITE DEVELOPMENT PLANS FOR LONGBOAT KEY HOTEL AND RESIDENCES

## LONGBOAT KEY, FLORIDA

1620 GULF OF MEXICO DRIVE  
LONGBOAT KEY, FLORIDA 34228  
TOWN OF LONGBOAT KEY, FLORIDA

MARCH 2021



LOCATION MAP  
N.T.S.

### GENERAL CONSTRUCTION NOTES:

1. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS UNLESS PRIOR APPROVAL BY THE ENGINEER.
2. THE CONTRACTOR SHALL BE FAMILIAR WITH AND AT ALL TIMES SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS, BYLAWS, SAFETY LAWS, BUILDING AND CONSTRUCTION CODES, AND ORDINANCES AND REGULATIONS IN ANY MANNER AFFECTING THE CONDUCT OF THE WORK.
3. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FIELD SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC. DATED 9/27/16 AND UPDATED ON 6/15/17. KIMLEY-HORN DOES NOT GUARANTEE THE INFORMATION PROVIDED BY THE SURVEYOR. ELEVATION DATA SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) UNLESS OTHERWISE SPECIFIED AND BASED ON A N.G.S BENCHMARK #A 715, ELEVATION 7.74' (NAVD 1988).
4. ALL CLEARING AND GRUBBING DEBRIS TO BE BURNED OR REMOVED FROM SITE AND IS PART OF CLEARING AND GRUBBING ITEM.
5. IT IS THE INTENT OF THE OWNER THAT CERTAIN TREES BE DESIGNATED TO BE SAVED AND PROTECTED BY THE CONTRACTOR. IT IS ASSUMED THESE TREES ARE HEALTHY AND ARE EXPECTED TO BE PART OF THE LANDSCAPE DEVELOPMENT. THEREFORE, IF ANY TREE(S) DAMAGED BY CONSTRUCTION OPERATION OR BY OTHER MEANS (EXCLUDING LIGHTNING, WINDSTORM AND OTHER ACTS OF GOD) PERISH WITHIN THE CONSTRUCTION PERIOD, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISPOSE OF THEM AS PART THEIR CONTRACT. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER FOR THE LABOR, MATERIAL OR MACHINERY REQUIRED TO REMOVE SAID TREE(S).
6. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES, THE CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE THE ROOT SYSTEMS. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF THE TREES TO REMAIN AND PRESERVED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF THEIR EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.
7. LAY SOD AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, POND SLOPES, AND 2' WIDE STRIP ADJACENT TO ALL CURBING, AND AS DIRECTED BY THE ENGINEER. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOD ELEVATIONS. FINISHED EARTHWORK GRADING WILL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOD THICKNESS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST. ALL EROSION SILTATION AND MAINTAINING GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PROJECT IS COMPLETE AND ACCEPTED BY OWNER.
8. "CALL SUNSHINE" (811), FLORIDA POWER & LIGHT, COMCAST CABLE, SPRINT PHONE COMPANY, TECO GAS, VERIZON PHONE COMPANY, LONGBOAT KEY PUBLIC WORKS PRIOR TO CONSTRUCTION AND CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE.
9. ALL UTILITY LINES, STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO: MANHOLES, CLEANOUTS, SEWER AND WATER SERVICES, VALVES, FIRE HYDRANTS AND INLETS WILL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
10. CLEARING, GRUBBING, STRIPPING, AND COMPACTING WILL BE INSPECTED BY THE ENGINEER PRIOR TO FILLING.
11. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, PRESERVE AREAS WITHIN AND ADJOINING THE AREA OF CONSTRUCTION ACTIVITY SHALL BE PROTECTED BY ERECTION OF TREE PROTECTION BARRICADES AND/OR SILT BARRIERS. TREE PROTECTION SHALL MEET THE STANDARDS OF LONGBOAT KEY. SILT BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE GUIDELINES AND THE BMP DETAILS SHOWN ON SHEETS B-1 AND B-2 OF THESE PLANS. THE ENGINEER WILL DETERMINE THE EXTENT AND TYPE OF PROTECTIVE MEASURES TO BE CONSTRUCTED FOR PROTECTION OF PRESERVE AREAS. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S PERMIT AND THE ENVIRONMENTAL RESOURCE PERMIT. THE ENGINEER SHALL BE NOTIFIED WHEN PRESERVE AREA BARRICADES AND BARRIERS ARE IN PLACE.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT THE RUNOFF OF ERODED SOIL MATERIAL FROM LEAVING THE CONSTRUCTION SITE AND BEING DEPOSITED OUTSIDE OF THE PERMITTED CONSTRUCTION AREA.
13. THE BEST MANAGEMENT PRACTICES (BMPs) MANUAL SHALL GOVERN THE ASPECTS OF DEVELOPMENT ACTIVITY THROUGHOUT ALL THE PHASES OF THIS PROJECT.
14. ALL DETAILS AND SPECIFICATIONS SHALL ADHERE TO MANATEE COUNTY STANDARDS, LATEST REVISION.
15. ALL STREETS ARE TO BE PRIVATE (OWNED AND MAINTAINED BY PROPERTY OWNER) DESIGNED TO MANATEE COUNTY STANDARDS.
16. POTABLE WATER AND WASTEWATER UTILITIES SHALL BE CONSTRUCTED TO MANATEE COUNTY UTILITY STANDARDS AND ARE TO BE PRIVATELY OWNED AND MAINTAINED BEYOND THE POINTS OF CONNECTION.
17. A WATER WELL CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION OF ANY PROPOSED WELLS.
18. ABANDONED SEPTIC TANKS SHALL BE PUMPED OUT, BOTTOMS RUPTURED, AND FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL. A PERMIT IS REQUIRED FROM THE FLORIDA DEPARTMENT OF HEALTH UNLESS WORK IS APPROVED BY LONGBOAT KEY PUBLIC WORKS.
19. THE PROJECT WILL BE SERVED BY LONGBOAT KEY FOR POTABLE WATER AND WASTEWATER.
20. LONGBOAT KEY PUBLIC WORKS UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER AND/OR WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL ON THESE PLANS CONFLICT WITH THE LONGBOAT KEY PUBLIC WORKS UTILITY STANDARDS THE MORE STRINGENT INTERPRETATION, AS DETERMINED BY THE TOWN INFRASTRUCTURE INSPECTOR, SHALL BE APPLIED.
21. THE CONTRACTOR SHALL INSURE THAT ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE PROJECT WILL REQUIRE AT A MINIMUM THE FOLLOWING PERMITS RELATED TO SITE WORK: AN ENVIRONMENTAL RESOURCE PERMIT FROM FDEP, DRIVEWAY CONNECTION, DRAINAGE CONNECTION AND UTILITY PERMITS FROM FDOT, WATER AND WASTEWATER CONSTRUCTION PERMITS FROM FDEP, AND COASTAL CONSTRUCTION CONTROL LINE PERMIT FOR CONSTRUCTION FROM THE BEACHES AND COASTAL SYSTEM PROGRAM OF FDEP.

### FDOT CONSTRUCTION NOTES:

1. AT LEAST 72 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL CONTACT THE LOCAL FDOT MAINTENANCE ENGINEER'S OFFICE TO SECURE GENERAL USE PERMITS AND/OR OTHER PERMITS AS REQUIRED FOR WORK WITHIN THE DEPARTMENT'S RIGHT-OF-WAY.
2. THE PLANS FOR WORK WITHIN THE DEPARTMENT'S RIGHT-OF-WAY HAVE BEEN PREPARED IN ACCORDANCE WITH AND ARE GOVERNED BY THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (DATED 2017) AND DESIGN STANDARDS BOOKLET (DATED 2017). FOR DESIGN STANDARDS REVISIONS, CLICK ON "DESIGN STANDARDS AT THE FOLLOWING WEBSITE: <http://www.fdot.gov/roadway/>.

### GENERAL NOTE:

DRAWINGS ARE PRELIMINARY AND MAY BE SUBJECT TO REVISION AT THE TIME OF FINAL CONSTRUCTION PLAN AND BUILDING PERMIT SUBMITTAL BASED ON FINAL ENGINEERING AND DESIGN REQUIREMENTS FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE, 7TH EDITION AND APPLICABLE REGULATIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FLORIDA DEPARTMENT OF TRANSPORTATION.

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### PROJECT CONTACTS

**DEVELOPER:**  
UNICORP ACQUISITIONS, LLC  
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ORLANDO, FL 32819  
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**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
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**ARCHITECT:**  
SB ARCHITECTS  
2333 PONCE DE LEON BOULEVARD, SUITE 1000  
CORAL GABLES, FL 33134  
PHONE: 350-856-2021

**LANDSCAPE ARCHITECT:**  
ENEA GARDEN DESIGN  
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MIAMI, FL 33138  
PHONE: 305-576-6702

**ENVIRONMENTAL CONSULTANT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
1615 S. CONGRESS AVENUE, SUITE 201  
DELRAY BEACH, FL 33445  
PHONE: 941-379-7600

**SURVEYOR:**  
STRAYER SURVEYING AND MAPPING, INC.  
742 SHAMROCK BOULEVARD  
VENICE, FL 34293  
PHONE: 941-496-9488

### UTILITY PROVIDERS

**WATER/WASTEWATER**  
PUBLIC WORKS UTILITIES DEPT.  
600 GENERAL HARRIS ST.  
LONGBOAT KEY, FL 34228  
(941) 228-0079

**TELEPHONE:**  
FRONTIER COMMUNICATIONS  
1701 RINGLING BLVD.  
SARASOTA, FL 34236  
(941) 906-6711

**ELECTRIC:**  
FLORIDA POWER & LIGHT  
ERNESTO DOMINGUEZ  
(305) 219-6483

**NATURAL GAS**  
TECO PEOPLE'S GAS  
8261 VICO CT  
SARASOTA, FL 34240  
DANNY SHANAHAN  
(941) 342-4006

**CATV:**  
COMCAST CABLE  
5205 FRUITVILLE RD.  
SARASOTA, FL 34232  
GONZALO ROJAS  
(941) 342-3578

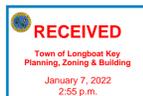
PREPARED BY  
**Kimley»Horn**

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PHONE (941) 379-7600  
WWW.KIMLEY-HORN.COM CA 00000696

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL, COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO SUBSECTIONS 335.075(1) AND (4), FLORIDA STATUTES AND TOWN OF LONGBOAT KEY LAND DEVELOPMENT REGULATIONS.

BRITT L. STEPHENS, P.E.  
FLA. REGISTERED ENGINEER  
#71465  
CA 00000696

DATE

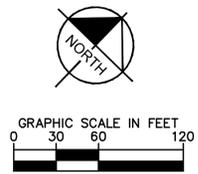
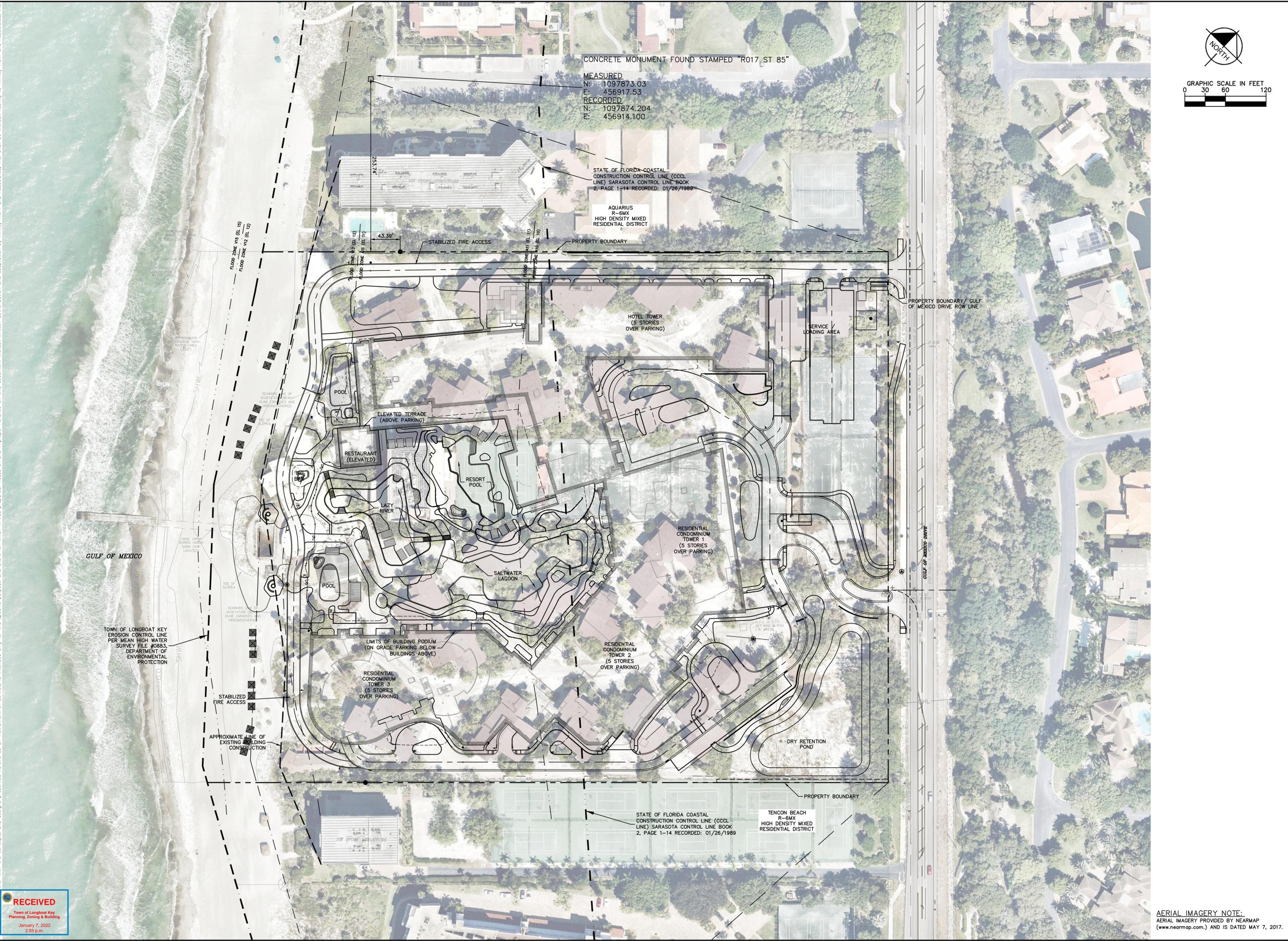


APPROVED FOR ZONING  
Site Plan Ordinance 2021-12 and  
Resolution 2021-21  
01/25/2022  
Reviewer: mamold



**APPROVED FOR ZONING**  
**Site Plan Ordinance 2021-12 and**  
**Resolution 2021-21**

Plotted By: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. LDVOLUME: A-3 AERIAL SITE PLAN. December 02, 2021. 11:44:24am. K:\SAR-CIVIL\149581008 Colony Longboat Key\CAD\PlanSheets\A-3 AERIAL SITE PLAN.dwg  
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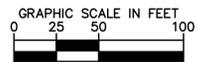
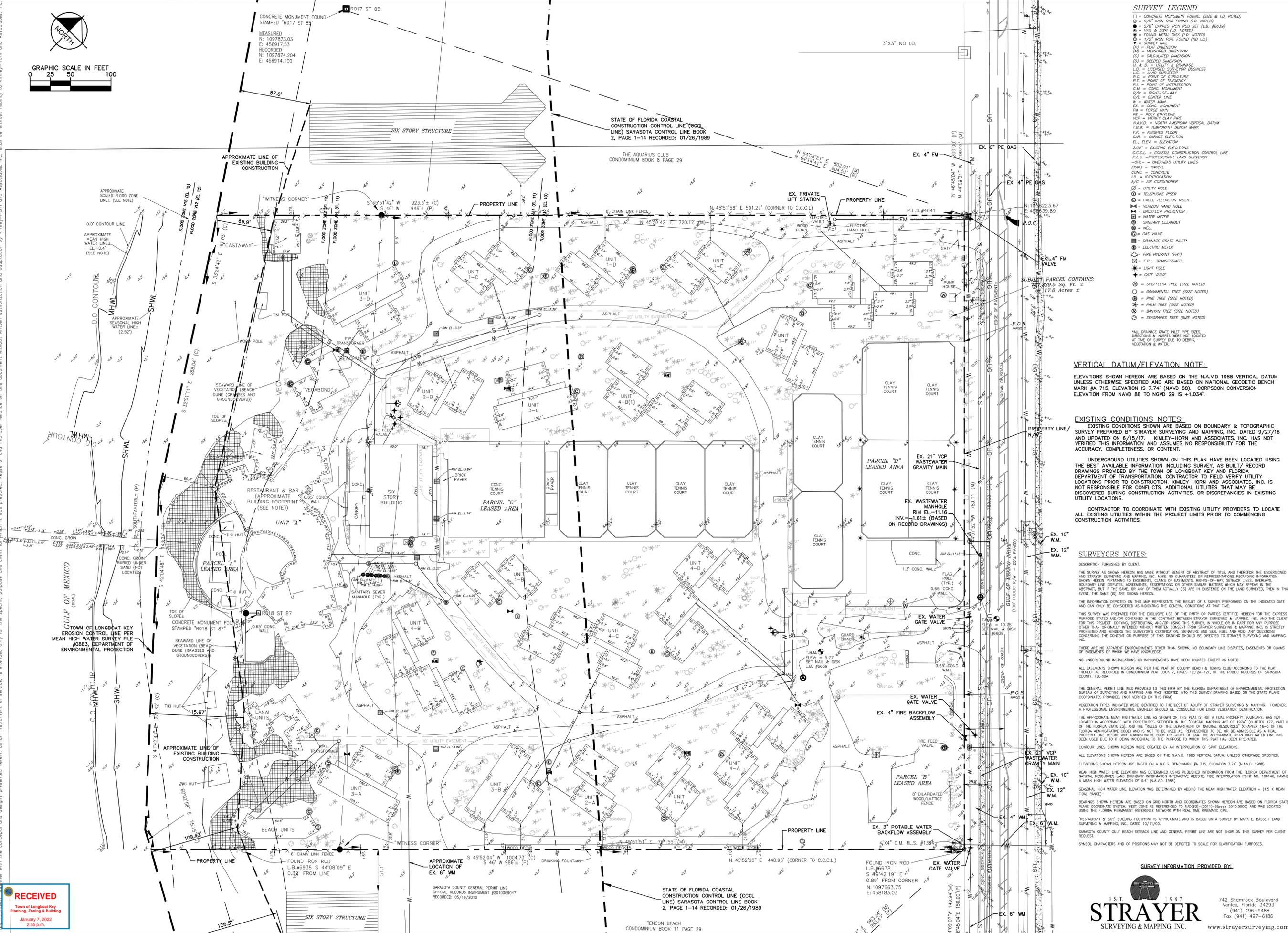


LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC LONGBOAT KEY, FLORIDA	<b>AERIAL SITE PLAN</b>		LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E. FLORIDA LICENSE NUMBER 71465	KHA PROJECT 149581008 DATE MAR. 2021 SCALE AS SHOWN DESIGNED BY JAS DRAWN BY JAS CHECKED BY DLP	FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION
	SHEET NUMBER <b>A-3</b>	FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21	REVISIONS No. _____ DATE _____	© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696	BY _____ DATE _____

AERIAL IMAGERY NOTE:  
 AERIAL IMAGERY PROVIDED BY NEARMAP  
 (www.nearmap.com.) AND IS DATED MAY 7, 2017.

APPROVED FOR ZONING  
Site Plan Ordinance 2021-12 and  
Resolution 2021-21

Plotted By: Hank, Matt, Sheet Set: Unicorp Longboat Key Hotel and Residences, Volume A-4 EXISTING CONDITIONS PLAN, December 02, 2021, 11:45:21am, K:\SAB-Civil\14931008 Colony Longboat Key\A-4 EXISTING CONDITIONS PLAN.dwg, Reviewer: mamod 01/25/2022  
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- SURVEY LEGEND**
- = CONCRETE MONUMENT FOUND (SIZE & I.D. NOTED)
  - = 5/8" IRON ROD FOUND (I.D. NOTED)
  - = 5/8" CAPTED IRON ROD SET (L.B. #6339)
  - ⊙ = NAIL & DISK (I.D. NOTED)
  - ⊕ = FOUND METAL DISK (I.D. NOTED)
  - = 1/2" IRON PIPE FOUND (NO I.D.)
  - = SURVEY NAIL
  - = FLAT DIMENSION
  - (M) = MEASURED DIMENSION
  - (C) = CALCULATED DIMENSION
  - (D) = BREKED DIMENSION
  - U. & D. = UTILITY & DRAINAGE
  - L.B. = LICENSED SURVEYOR BUSINESS
  - L.S. = LAND SURVEYOR
  - P.T. = POINT OF CURVATURE
  - P.I. = POINT OF INTERSECTION
  - C.M. = CONC. MONUMENT
  - R/W = RIGHT-OF-WAY
  - C/L = CENTER LINE
  - EX. = EXISTING
  - W.M. = WATER MAIN
  - FM = FORCE MAIN
  - PE = POLY ETHYLENE
  - VCP = VITREY CLAY PIPE
  - N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
  - T.B.M. = TEMPORARY BENCH MARK
  - F.F. = FINISHED FLOOR
  - GM = GARAGE ELEVATION
  - EL. ELEV. = ELEVATION
  - 2.00' = EXISTING ELEVATIONS
  - C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
  - P.L.S. = PROFESSIONAL LAND SURVEYOR
  - OH = OVERHEAD UTILITY LINES
  - (TYP.) = TYPICAL
  - CONC. = CONCRETE
  - I.D. = IDENTIFICATION
  - A/C = AIR CONDITIONER
  - = UTILITY POLE
  - = TELEPHONE RISER
  - = CABLE TELEVISION RISER
  - = VERTICAN HAND HOLE
  - = BACKFLOW PREVENTER
  - = WATER METER
  - = SANITARY CLEANOUT
  - = WELL
  - = GAS VALVE
  - = DRAINAGE GRATE INLET\*
  - = ELECTRIC METER
  - = FIRE HYDRANT (FHY)
  - = F.L. TRANSFORMER
  - = LIGHT POLE
  - = GATE VALVE
  - = SHEFLERA TREE (SIZE NOTED)
  - = ORNAMENTAL TREE (SIZE NOTED)
  - = PINE TREE (SIZE NOTED)
  - = PALM TREE (SIZE NOTED)
  - = BANJIAN TREE (SIZE NOTED)
  - = SEAGRAPES TREE (SIZE NOTED)
- \*ALL DRAINAGE GRATE INLET PIPE SIZES, DIRECTIONS & INVERTS WERE NOT LOCATED AT THE TIME OF SURVEY DUE TO DEBRIS, VEGETATION & WATER.

**VERTICAL DATUM/ELEVATION NOTE:**  
ELEVATIONS SHOWN HEREON ARE BASED ON THE N.A.V.D. 1988 VERTICAL DATUM UNLESS OTHERWISE SPECIFIED AND ARE BASED ON NATIONAL GEODETIC BENCH MARK #A 715 (ELEVATION IS 7.74' (NAVD 88). CORPSON CONVERSION ELEVATION FROM NAVD 88 TO NGVD 29 IS +1.034'.

**EXISTING CONDITIONS NOTES:**  
EXISTING CONDITIONS SHOWN ARE BASED ON BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC. DATED 9/27/16 AND UPDATED ON 6/15/17. KIMLEY-HORN AND ASSOCIATES, INC. HAS NOT VERIFIED THIS INFORMATION AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY, COMPLETENESS, OR CONTENT.  
UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED USING THE BEST AVAILABLE INFORMATION INCLUDING SURVEY, AS BUILT/ RECORD DRAWINGS PROVIDED BY THE TOWN OF LONGBOAT KEY AND FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR CONFLICTS, ADDITIONAL UTILITIES THAT MAY BE DISCOVERED DURING CONSTRUCTION ACTIVITIES, OR DISCREPANCIES IN EXISTING UTILITY LOCATIONS.  
CONTRACTOR TO COORDINATE WITH EXISTING UTILITY PROVIDERS TO LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

**SURVEYORS NOTES:**  
DESCRIPTION FURNISHED BY CLIENT.  
THE SURVEY AS SHOWN HEREON WAS MADE WITHOUT BENEFIT OF ABSTRACT OF TITLE, AND THEREFORE THE UNDERSIGNED AND STRAYER SURVEYING AND MAPPING, INC. MAKE NO GUARANTEES OR REPRESENTATIONS REGARDING INFORMATION SHOWN HEREON RELATING TO EASEMENTS, CLAIMS OF EASEMENTS, CLAIMS OF RIGHTS-OF-WAY, SETBACK LINES, OVERLAP BOUNDARY LINE DISPUTES, AGREEMENTS, RESERVATIONS OR OTHER SIMILAR MATTERS WHICH MAY APPEAR IN THE ABSTRACT, BUT IF THE SAME ARE IN ANY MANNER ACTUALLY (OR) ARE IN EXISTENCE OR THE LAND SURVEYED, THEN IN THAT EVENT, THE SAME (S) ARE SHOWN HEREON.  
THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULT OF A SURVEY PERFORMED ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS AT THAT TIME.  
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES CERTIFIED HEREON FOR THE EXPRESS PURPOSE STATED AND/OR CONTAINED IN THE CONTRACT BETWEEN STRAYER SURVEYING & MAPPING, INC. AND THE CLIENT FOR THIS PROJECT. COPYING, DISTRIBUTING, AND/OR USING THIS SURVEY, IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED WITHOUT WRITTEN CONSENT FROM STRAYER SURVEYING & MAPPING, INC. IS STRICTLY PROHIBITED AND RENDERS THE SURVEYOR'S CERTIFICATION, SIGNATURE AND SEAL NULL AND VOID. ANY QUESTIONS CONCERNING THE CONTENT OR PURPOSE OF THIS DRAWING SHOULD BE DIRECTED TO STRAYER SURVEYING AND MAPPING, INC.  
THERE ARE NO APPARENT ENCROACHMENTS OTHER THAN SHOWN, NO BOUNDARY LINE DISPUTES, EASEMENTS OR CLAIMS OF EASEMENTS OF WHICH WE HAVE KNOWLEDGE.  
NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS NOTED.  
ALL EASEMENTS SHOWN HEREON ARE PER THE PLAT OF COLONY BEACH & TENNIS CLUB ACCORDING TO THE STATE PLANS THEREOF AS RECORDED IN CONDOMINIUM PLAT BOOK 7, PAGES 12,12A-12, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.  
THE GENERAL PERMIT LINE WAS PROVIDED TO THIS FIRM BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF SURVEYING AND MAPPING AND WAS INSERTED INTO THIS SURVEY DRAWING BASED ON THE STATE PLANE COORDINATES PROVIDED. (NOT VERIFIED BY THIS FIRM)  
VEGETATION TYPES INDICATED WERE IDENTIFIED TO THE BEST OF ABILITY OF STRAYER SURVEYING & MAPPING, HOWEVER, A PROFESSIONAL ENVIRONMENTAL ENGINEER SHOULD BE CONSULTED FOR EXACT VEGETATION IDENTIFICATION.  
THE APPROXIMATE MEAN HIGH WATER LINE AS SHOWN ON THIS PLAN IS NOT A TIDAL PROPERTY BOUNDARY, WAS NOT LOCATED IN ACCORDANCE WITH PROCEDURES SPECIFIED IN THE "COASTAL MAPPING ACT OF 1974" (CHAPTER 177, PART II OF THE FLORIDA STATUTES), AND THE "RULES OF THE DEPARTMENT OF NATURAL RESOURCES" (CHAPTER 18-3 OF THE FLORIDA ADMINISTRATIVE CODE) AND IS NOT TO BE USED AS, REPRESENTED TO BE, OR BE ADMISSIBLE AS A TIDAL PROPERTY LINE BEFORE ANY ADMINISTRATIVE BODY OF COURT OF LAW. THE APPROXIMATE MEAN HIGH WATER LINE WAS USED DUE TO IT BEING NECESSARY TO THE PURPOSE TO WHICH THIS PLAN HAS BEEN PREPARED.  
CONTOUR LINES SHOWN HEREON WERE CREATED BY AN INTERPOLATION OF SPOT ELEVATIONS.  
ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE N.A.V.D. 1988 VERTICAL DATUM, UNLESS OTHERWISE SPECIFIED.  
ELEVATIONS SHOWN HEREON ARE BASED ON A N.G.S. BENCHMARK #A 715, ELEVATION 7.74' (N.A.V.D. 1988)  
MEAN HIGH WATER LINE ELEVATION WAS DETERMINED USING PUBLISHED INFORMATION FROM THE FLORIDA DEPARTMENT OF NATURAL RESOURCES LAND BOUNDARY INFORMATION INTERACTIVE WEBSITE. TIDE INTERPOLATION POINT NO. 100146, HAVING A MEAN HIGH WATER ELEVATION OF 0.4' (N.A.V.D. 1988).  
SEASONAL HIGH WATER LINE ELEVATION WAS DETERMINED BY ADDING THE MEAN HIGH WATER ELEVATION + (1.5 X MEAN TIDE RANGE)  
BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH AND COORDINATES SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE AS REFERENCED TO NAD(83)-(2011)-(EPOCH 2010.0000) AND WAS LOCATED USING THE FLORIDA PERMANENT REFERENCE NETWORK WITH REAL TIME KINEMATIC GPS.  
"RESTAURANT & BAR" BUILDING FOOTPRINT IS APPROXIMATE AND IS BASED ON A SURVEY BY MARK E. BASSETT LAND SURVEYING & MAPPING, INC. DATED 12/11/00.  
SARASOTA COUNTY GULF BEACH SETBACK LINE AND GENERAL PERMIT LINE ARE NOT SHOWN ON THIS SURVEY PER CLIENT REQUEST.  
SYMBOL CHARACTERS AND OR POSITIONS MAY NOT BE DEPICTED TO SCALE FOR CLARIFICATION PURPOSES.

SURVEY INFORMATION PROVIDED BY:

EST. 1987  
**STRAYER**  
SURVEYING & MAPPING, INC.  
742 Shamrock Boulevard  
Venice, Florida 34293  
(941) 496-9488  
Fax (941) 497-6186  
www.strayersurveying.com

**RECEIVED**  
Town of Longboat Key  
Planning, Zoning & Building  
January 7, 2022  
2:55 p.m.

**Kimley-Horn**  
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1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236  
PHONE: 941-379-7600  
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL  
BRITT L. STEPHENS, P.E.  
SCALE: AS SHOWN  
DESIGNED BY: TEG  
DRAWN BY: JAS  
CHECKED BY: DLP

KHA PROJECT: 149581008  
DATE: MAR. 2021  
SCALE: AS SHOWN  
DESIGNED BY: TEG  
DRAWN BY: JAS  
CHECKED BY: DLP

**LONGBOAT KEY HOTEL AND RESIDENCES**  
PREPARED FOR  
**UNICORP ACQUISITIONS, LLC**

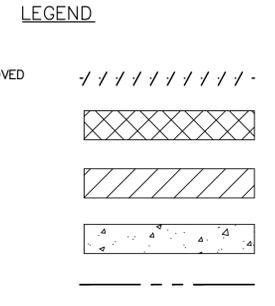
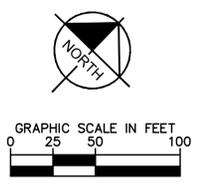
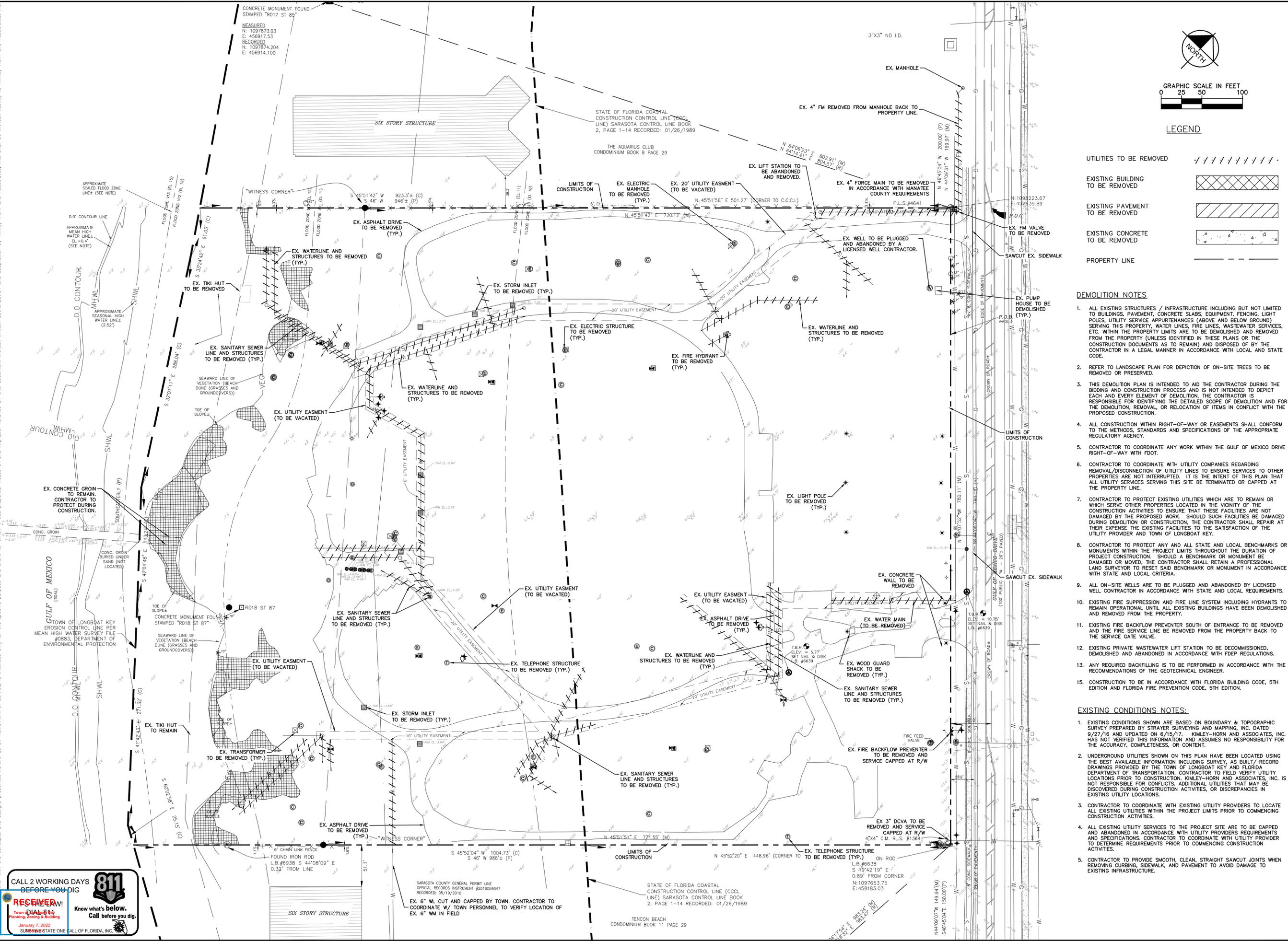
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FINAL SITE PLAN COMPLIANCE REVIEW  
10/20/21  
DATE

SHEET NUMBER  
**A-4**

**APPROVED FOR ZONING**  
**Site Plan Ordinance 2021-12 and**  
**Resolution 2021-21**

Plotted By: Hank, Mett. Street: Set: Unicorp Longboat Key Hotel and Residences. L:\0001\A-5 DEMOLITION PLAN December 02, 2021 11:46:24am K:\SAR-Civil\149581008\Colony Longboat Key\CAD\PlanSheets\A-5 DEMOLITION PLAN.dwg  
 Reviewer: mamod 01/25/2022  
 with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**DEMOLITION NOTES**

- ALL EXISTING STRUCTURES / INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVEMENT, CONCRETE SLABS, EQUIPMENT, FENCING, LIGHT POLES, UTILITY SERVICE APPURTENANCES (ABOVE AND BELOW GROUND) SERVING THIS PROPERTY, WATER LINES, FIBER, WASTEWATER SERVICES, ETC. WITHIN THE PROPERTY LIMITS ARE TO BE DEMOLISHED AND REMOVED FROM THE PROPERTY (UNLESS IDENTIFIED IN THESE PLANS OR THE CONSTRUCTION DOCUMENTS AS TO REMAIN) AND DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER IN ACCORDANCE WITH LOCAL AND STATE CODE.
- REFER TO LANDSCAPE PLAN FOR DEPICTION OF ON-SITE TREES TO BE REMOVED OR PRESERVED.
- THIS DEMOLITION PLAN IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION AND FOR THE DEMOLITION, REMOVAL, OR RELOCATION OF ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
- ALL CONSTRUCTION WITHIN RIGHT-OF-WAY OR EASEMENTS SHALL CONFORM TO THE METHODS, STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE REGULATORY AGENCY.
- CONTRACTOR TO COORDINATE ANY WORK WITHIN THE GULF OF MEXICO DRIVE RIGHT-OF-WAY WITH FDOT.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES REGARDING REMOVAL/DISCONNECTION OF UTILITY LINES TO ENSURE SERVICES TO OTHER PROPERTIES ARE NOT INTERRUPTED. IT IS THE INTENT OF THIS PLAN THAT ALL UTILITY SERVICES SERVING THIS SITE BE TERMINATED OR CAPPED AT THE PROPERTY LINE.
- CONTRACTOR TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN OR WHICH SERVE OTHER PROPERTIES LOCATED IN THE VICINITY OF THE CONSTRUCTION ACTIVITIES TO ENSURE THAT THESE FACILITIES ARE NOT DAMAGED BY THE PROPOSED WORK. SHOULD SUCH FACILITIES BE DAMAGED DURING DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL REPAIR AT THEIR EXPENSE THE EXISTING FACILITIES TO THE SATISFACTION OF THE UTILITY PROVIDER AND TOWN OF LONGBOAT KEY.
- CONTRACTOR TO PROTECT ANY AND ALL STATE AND LOCAL BENCHMARKS OR MONUMENTS WITHIN THE PROJECT LIMITS THROUGHOUT THE DURATION OF PROJECT CONSTRUCTION. SHOULD A BENCHMARK OR MONUMENT BE DAMAGED OR MOVED, THE CONTRACTOR SHALL RETAIN A PROFESSIONAL LAND SURVEYOR TO RESET SAID BENCHMARK OR MONUMENT IN ACCORDANCE WITH STATE AND LOCAL CRITERIA.
- ALL ON-SITE WELLS ARE TO BE PLUGGED AND ABANDONED BY LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- EXISTING FIRE SUPPRESSION AND FIRE LINE SYSTEM INCLUDING HYDRANTS TO REMAIN OPERATIONAL UNTIL ALL EXISTING BUILDINGS HAVE BEEN DEMOLISHED AND REMOVED FROM THE PROPERTY.
- EXISTING FIRE BACKFLOW PREVENTER SOUTH OF ENTRANCE TO BE REMOVED AND THE FIRE SERVICE LINE BE REMOVED FROM THE PROPERTY BACK TO THE SERVICE GATE VALVE.
- EXISTING PRIVATE WASTEWATER LIFT STATION TO BE DECOMMISSIONED, DEMOLISHED AND ABANDONED IN ACCORDANCE WITH FDEP REGULATIONS.
- ANY REQUIRED BACKFILLING IS TO BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA BUILDING CODE, 5TH EDITION AND FLORIDA FIRE PREVENTION CODE, 5TH EDITION.

**EXISTING CONDITIONS NOTES:**

- EXISTING CONDITIONS SHOWN ARE BASED ON BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC. DATED 9/27/16 AND UPDATED ON 6/15/17. KIMLEY-HORN AND ASSOCIATES, INC. HAS NOT VERIFIED THIS INFORMATION AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY, COMPLETENESS, OR CONTENT.
- UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED USING THE BEST AVAILABLE INFORMATION INCLUDING SURVEY, AS BUILT RECORD DRAWINGS PROVIDED BY THE TOWN OF LONGBOAT KEY AND FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR CONFLICTS, ADDITIONAL UTILITIES THAT MAY BE DISCOVERED DURING CONSTRUCTION ACTIVITIES, OR DISCREPANCIES IN EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO COORDINATE WITH EXISTING UTILITY PROVIDERS TO LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- ALL EXISTING UTILITY SERVICES TO THE PROJECT SITE ARE TO BE CAPPED AND ABANDONED IN ACCORDANCE WITH UTILITY PROVIDERS REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO DETERMINE REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO PROVIDE SMOOTH, CLEAN, STRAIGHT SAWCUT JOINTS WHEN REMOVING CURBING, SIDEWALK, AND PAVEMENT TO AVOID DAMAGE TO EXISTING INFRASTRUCTURE.

**CALL 2 WORKING DAYS BEFORE YOU DIG**

**811**

Know what's below. Call before you dig.

RESERVE! Town Dial 814 Planning, Zoning & Building January 7, 2022 SUNSHINE STATE ONE ALL OF FLORIDA, INC.

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**Kimley-Horn**

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LICENSED PROFESSIONAL: BRITT L. STEPHENS, P.E. DATE: MAR. 2021 SCALE: AS SHOWN DESIGNED BY: JAS DRAWN BY: JAS CHECKED BY: DLP DATE: \_\_\_\_\_

**LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC**

**DEMOLITION PLAN**

FLORIDA

SHEET NUMBER **A-5**

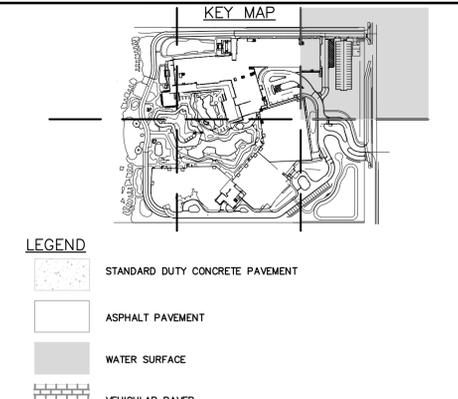
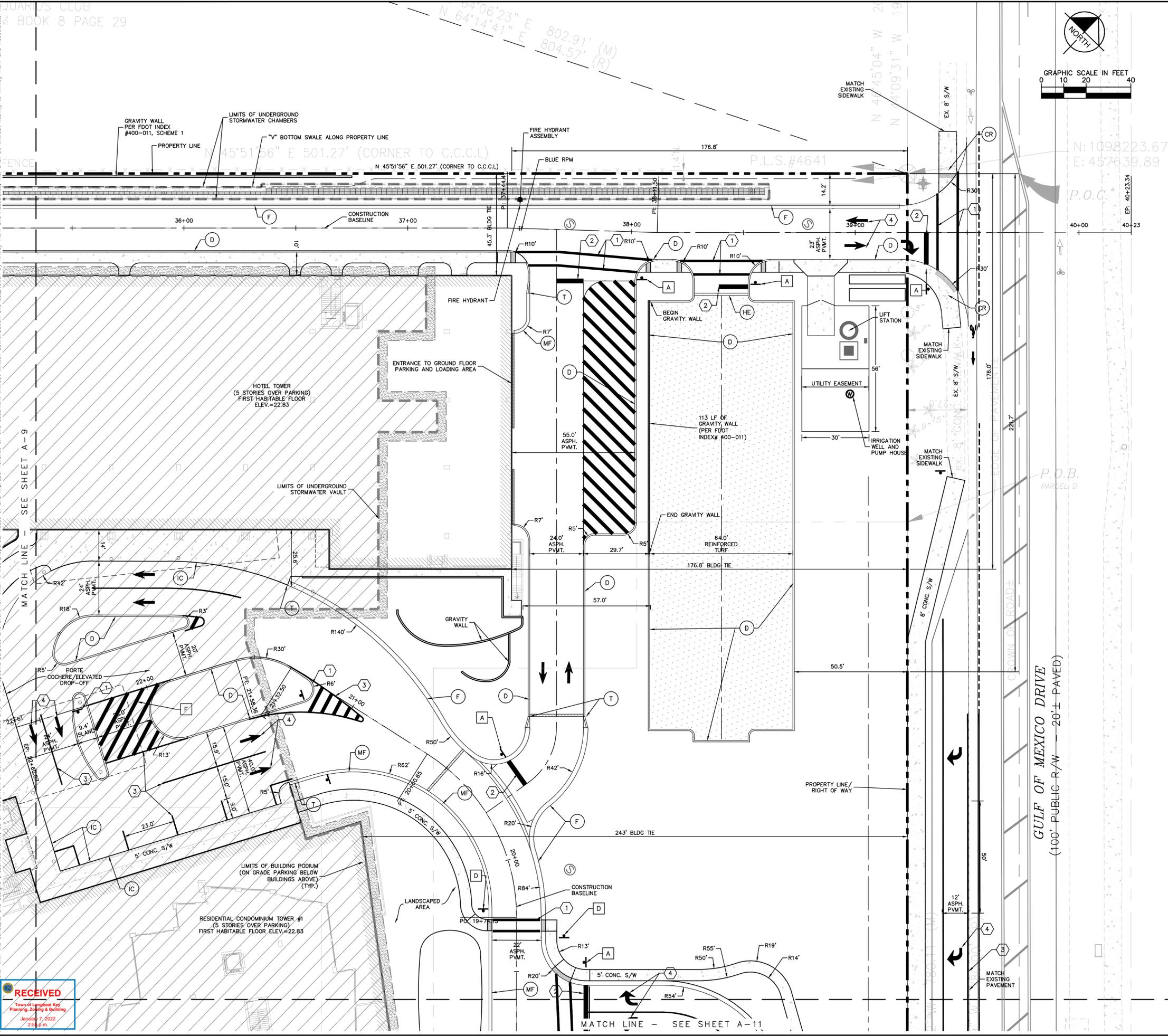
FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21 DATE





**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21

Plotted By: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. Layout: A-8 SITE DEVELOPMENT PLAN. December 02, 2021 11:58:46am. K:\SAR-Civil\149581008-Longboat Key\CAD\PlanSheets\A-8 SITE DEVELOPMENT PLAN.dwg  
 Reviewer: mamod 01/25/2022  
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- LEGEND**
- [Symbol] STANDARD DUTY CONCRETE PAVEMENT
  - [Symbol] ASPHALT PAVEMENT
  - [Symbol] WATER SURFACE
  - [Symbol] VEHICULAR PAVER
  - [Symbol] 16" REINFORCED TURF EMERGENCY ACCESS
  - [Symbol] ELEVATED HOTEL TERRACE
  - [Symbol] WOOD DECK
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  - [Symbol] 36" VALLEY GUTTER
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  - [Symbol] 24" TYPE "F" CURB
  - [Symbol] HEADER CURB
  - [Symbol] INTEGRAL CURB AND SIDEWALK
  - [Symbol] CURB RAMP
  - [Symbol] 5' TRANSITION BETWEEN TWO TYPES OF CURBS
- SIGNAGE & PAVEMENT MARKING LEGEND**
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  - [Symbol] 6" WIDE SOLID WHITE LINE (PARKING STRIPE, PAINT)
  - [Symbol] TURN LANE-DIRECTIONAL ARROW (TYP ALL, PAINT)

- SIGNING & PAVEMENT MARKING NOTES**
- REFLECTIVE PAVEMENT MARKERS (R.P.M.'S) SHALL BE BI-DIRECTIONAL, COLOR AS SHOWN IN PLANS AND IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX NO. 17352. ALL R.P.M.'S SHALL BE INSTALLED WITH BITUMINOUS ADHESIVE AND SHALL NOT BE INSTALLED ON THERMOPLASTIC MARKINGS AND STRIPING.
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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LONGBOAT KEY HOTEL AND RESIDENCES  
 PREPARED FOR UNICORP ACQUISITIONS, LLC  
 LONGBOAT KEY, FLORIDA

SITE DEVELOPMENT PLAN

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION

NO.	REVISIONS	DATE
10/20/21	FINAL SITE PLAN COMPLIANCE REVIEW	

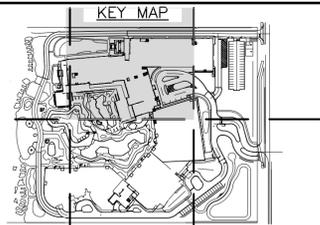
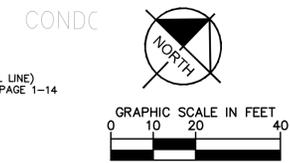
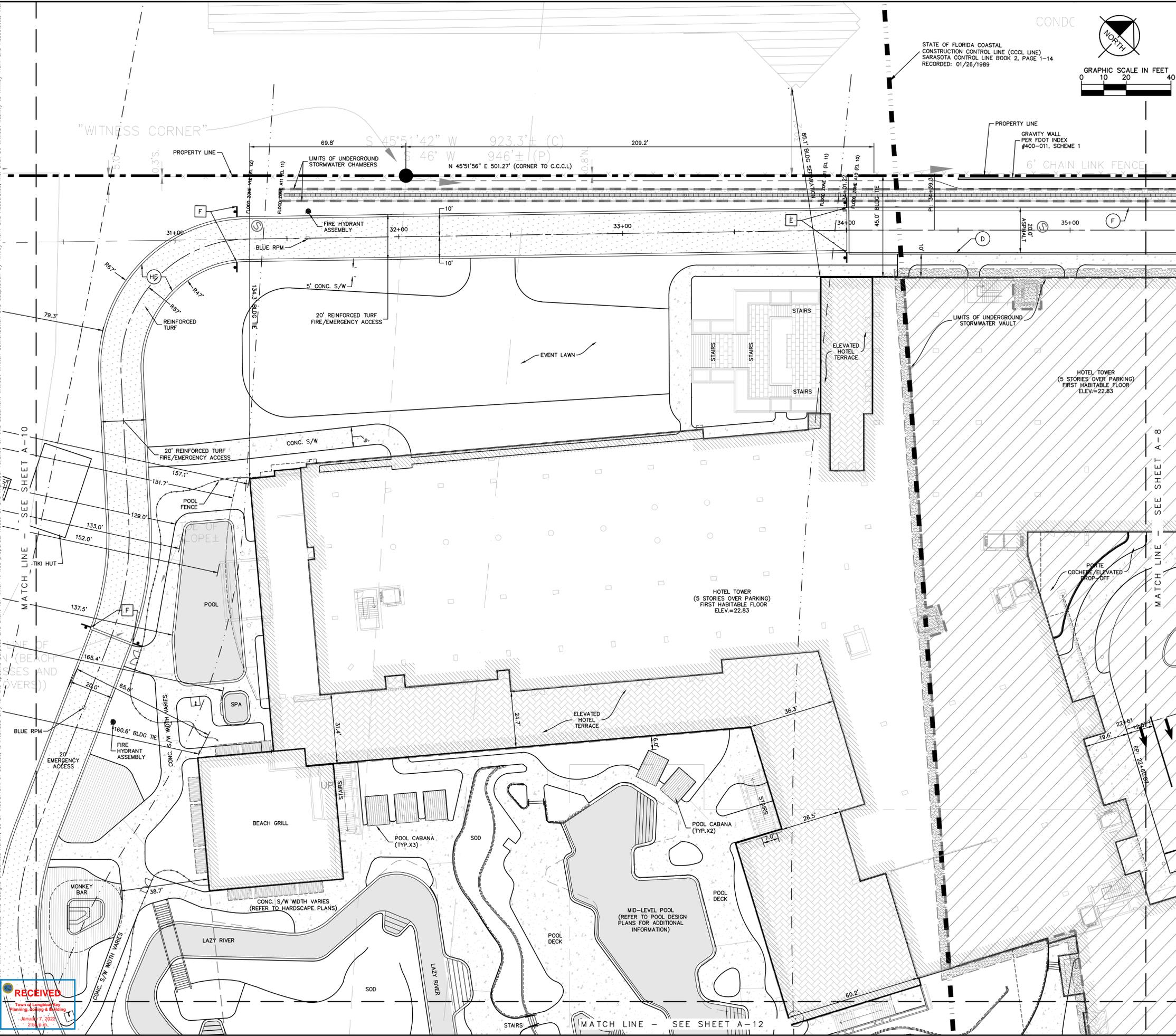
KHA PROJECT 149581008  
 DATE MAR. 2021  
 SCALE AS SHOWN  
 DESIGNED BY TEG  
 DRAWN BY CLL  
 CHECKED BY DLF

LICENSED PROFESSIONAL  
 BRITT L. STEPHENS, P.E.  
 FLORIDA LICENSE NUMBER 71465

SHEET NUMBER  
**A-8**

APPROVED FOR ZONING  
Site Plan Ordinance 2021-12 and  
Resolution 2021-21

Plotted By: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. Layout: A-9 SITE DEVELOPMENT PLAN. December 02, 2021. 12:01:32pm. K:\SAR-Civil\149581008-Longboat Key\CAD\PlanSheets\A-9 SITE DEVELOPMENT PLAN.dwg  
Reviewed: mamod 01/25/2022  
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  - [Symbol F] 24" TYPE "F" CURB
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  - [Symbol IE] INTEGRAL CURB AND SIDEWALK
  - [Symbol CR] CURB RAMP
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  - [Symbol 4] TURN LANE-DIRECTIONAL ARROW (TYP ALL, PAINT)

- NOTES:**
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  - DIMENSIONS AND INFORMATION FOR POOL / AMENITY AREAS DEPICTED FOR INFORMATIONAL PURPOSES AT THIS TIME. FINAL POOL, DECKING, FENCING, AND DRAINAGE DESIGN AND LAYOUT TO BE PERFORMED BY OTHERS AND PERMITTED AT TIME OF POOL BUILDING PERMIT.
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PHONE: 941-379-7600  
WWW.KIMLEY-HORN.COM CA 00000696

LISCENSED PROFESSIONAL  
BRITT L. STEPHENS, P.E.  
FLORIDA LICENSE NUMBER  
71465

**LONGBOAT KEY HOTEL AND RESIDENCES**  
PREPARED FOR  
**UNICORP ACQUISITIONS, LLC**

SHEET NUMBER  
**A-9**

FOR PERMIT REVIEW ONLY  
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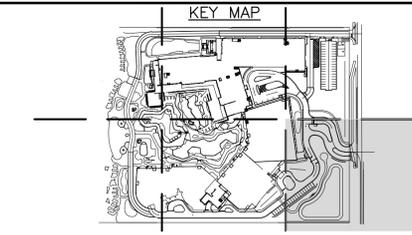
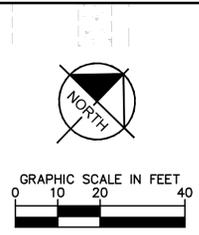
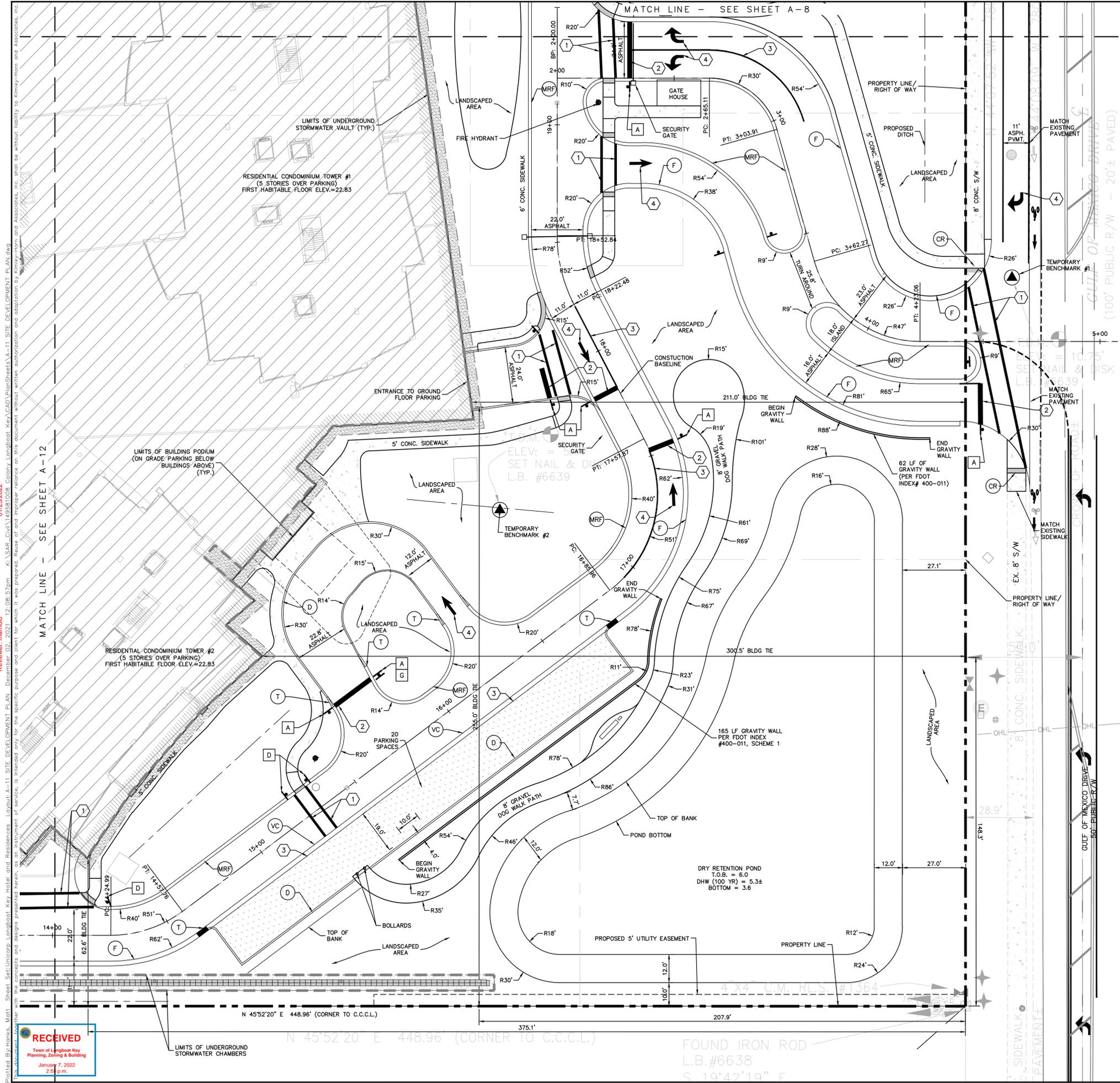
NO. \_\_\_\_\_ DATE \_\_\_\_\_  
REVISIONS \_\_\_\_\_  
FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21  
BY \_\_\_\_\_



APPROVED FOR ZONING

Site Plan Ordinance 2021-12 and Resolution 2021-21

Reviewer: mamod 01/25/2022



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1. REFLECTIVE PAVEMENT MARKERS (R.P.M.'S) SHALL BE BI-DIRECTIONAL, COLOR AS SHOWN IN PLANS AND IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX NO. 17352. ALL R.P.M.'S SHALL BE INSTALLED WITH BITUMINOUS ADHESIVE AND SHALL NOT BE INSTALLED ON THERMOPLASTIC MARKINGS AND STRIPING.
2. BI-DIRECTIONAL BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANT LOCATIONS, IN ACCORDANCE WITH LOCAL DISTRICT STANDARDS.
3. STRIPING AND SIGNAGE SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE F.D.O.T. STANDARD INDEX NO. 17346 AND AS PER SECTION 700, 706 AND 711 OF THE F.D.O.T. STANDARD SPECIFICATIONS EXCEPT THOSE PARTS PERTAINING TO METHOD OF MEASUREMENT AND BASIS OF PAYMENT.
4. ALL PAVEMENT MARKINGS AND TRAFFIC STRIPING SHALL BE "ALKYD" THERMOPLASTIC CERTIFIED LEAD FREE, 90 MILS MINIMUM THICKNESS, OTHER THAN EDGE LINES, WHICH ARE TO BE 60 MILS AND THE BICYCLE LANE SYMBOLS WHICH SHALL BE 30 MILS. PARKING STALLS SHALL BE PAINT.
5. ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET THE SPECIFICATIONS OF THE TOWN OF LONGBOAT KEY, MUTCD CURRENT EDITION AND FDOT CURRENT DESIGN STANDARDS.
6. TRAFFIC SIGN POSTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE 2" SQUARE TUBE POSTS WITH PERFORATED/PUNCHED HOLES EVERY 1" ON CENTER.
7. ALL PROPOSED SIGNS SHALL BE DESIGNED FOR 90 MPH WIND LOADING.
8. ALL SIGN PLATES SHALL BE MADE OF 5052 ALUMINUM DIE CUT, MINIMUM THICKNESS 0.063" AND COVERED WITH 3M DIAMOND GRADE SHEETING SERIES 4000 OR CURRENT COUNTY STANDARDS. ALL SIGNS SHALL BE ATTACHED WITH ALUMINUM DRIVE RIVETS. TRAFFIC SIGN POSTS AND STREET NAME SIGNS SHALL BE INSTALLED CONSISTENT WITH APPENDIX C3 OF THE LDR. THE TAPCO V-LOC VS1P-350 SYSTEM (OR EQUIVALENT) SHALL BE EMPLOYED WHERE SIGN POSTS ARE INSTALLED IN PAVED AND/OR MEDIAN AREAS.

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LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E.	FLORIDA LICENSE NUMBER 71465
KHA PROJECT 149581008	DATE MAR. 2021
SCALE AS SHOWN	DESIGNED BY TEG
DRAWN BY CLL	CHECKED BY DLP
DATE ---	DATE 10/20/21

## SITE DEVELOPMENT PLAN

**LONGBOAT KEY HOTEL AND RESIDENCES**  
PREPARED FOR  
**UNICORP ACQUISITIONS, LLC**

LONGBOAT KEY, FLORIDA

SHEET NUMBER  
**A-11**

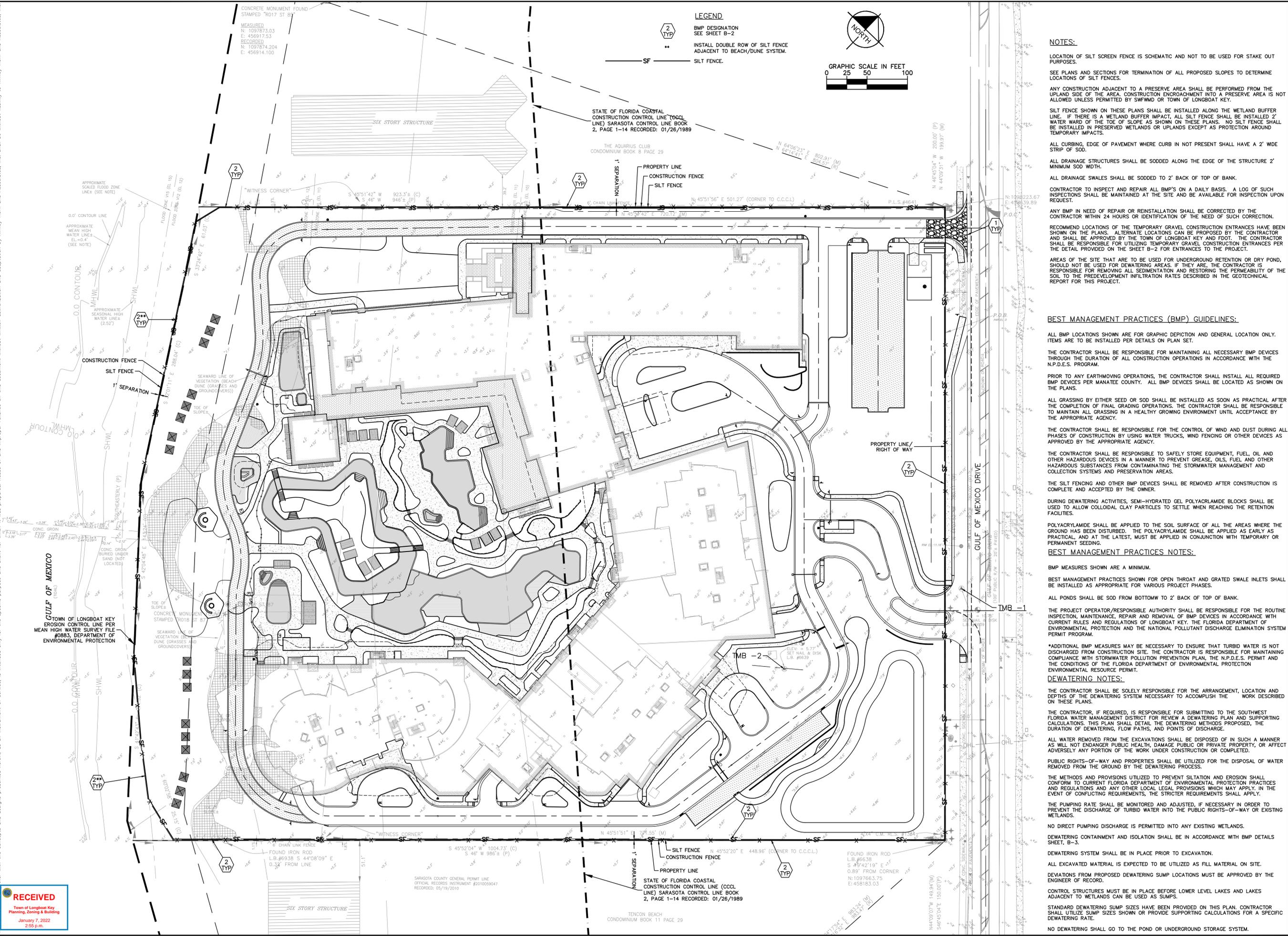






**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21

Reviewed: mamrod 01/25/2022  
 K:\SAR-Civil\149581008\_Colony Longboat Key\CAD\PlanSheets\B-1 EROSION AND SEDIMENT CONTROL PLAN.dwg  
 December 02, 2021 12:18:49pm  
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**NOTES:**

LOCATION OF SILT SCREEN FENCE IS SCHEMATIC AND NOT TO BE USED FOR STAKE OUT PURPOSES.

SEE PLANS AND SECTIONS FOR TERMINATION OF ALL PROPOSED SLOPES TO DETERMINE LOCATIONS OF SILT FENCES.

ANY CONSTRUCTION ADJACENT TO A PRESERVE AREA SHALL BE PERFORMED FROM THE UPLAND SIDE OF THE AREA. A CONSTRUCTION ENCROACHMENT INTO A PRESERVE AREA IS NOT ALLOWED UNLESS PERMITTED BY SWFMD OR TOWN OF LONGBOAT KEY.

SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED ALONG THE WETLAND BUFFER LINE. IF THERE IS A WETLAND BUFFER IMPACT, ALL SILT FENCE SHALL BE INSTALLED 2' WATER WARD OF THE TOE OF SLOPE AS SHOWN ON THESE PLANS. NO SILT FENCE SHALL BE INSTALLED IN PRESERVED WETLANDS OR UPLANDS EXCEPT AS PROTECTION AROUND TEMPORARY IMPACTS.

ALL CURBING, EDGE OF PAVEMENT WHERE CURB IS NOT PRESENT SHALL HAVE A 2' WIDE STRIP OF SOD.

ALL DRAINAGE STRUCTURES SHALL BE SODDED ALONG THE EDGE OF THE STRUCTURE 2' MINIMUM SOD WIDTH.

ALL DRAINAGE SWALES SHALL BE SODDED TO 2' BACK OF TOP OF BANK.

CONTRACTOR TO INSPECT AND REPAIR ALL BMP'S ON A DAILY BASIS. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE AND BE AVAILABLE FOR INSPECTION UPON REQUEST.

ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OR IDENTIFICATION OF THE NEED OF SUCH CORRECTION.

RECOMMEND LOCATIONS OF THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCES HAVE BEEN SHOWN ON THE PLANS. ALTERNATE LOCATIONS CAN BE PROPOSED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE TOWN OF LONGBOAT KEY AND FDOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING TEMPORARY GRAVEL CONSTRUCTION ENTRANCES PER THE DETAIL PROVIDED ON THE SHEET B-2 FOR ENTRANCES TO THE PROJECT.

AREAS OF THE SITE THAT ARE TO BE USED FOR UNDERGROUND RETENTION OR DRY POND, SHOULD NOT BE USED FOR DEWATERING AREAS. IF THEY ARE, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND RESTORING THE PERMEABILITY OF THE SOIL TO THE PREDEVELOPMENT INFILTRATION RATES DESCRIBED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT.

**BEST MANAGEMENT PRACTICES (BMP) GUIDELINES:**

ALL BMP LOCATIONS SHOWN ARE FOR GRAPHIC DEPICTION AND GENERAL LOCATION ONLY. ITEMS ARE TO BE INSTALLED PER DETAILS ON PLAN SET.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGH THE DURATION OF ALL CONSTRUCTION OPERATIONS IN ACCORDANCE WITH THE N.P.D.E.S. PROGRAM.

PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL ALL REQUIRED BMP DEVICES PER MANATEE COUNTY. ALL BMP DEVICES SHALL BE LOCATED AS SHOWN ON THE PLANS.

ALL GRASSING BY EITHER SEED OR SOD SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE COMPLETION OF FINAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTANCE BY THE APPROPRIATE AGENCY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE APPROPRIATE AGENCY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.

THE SILT FENCING AND OTHER BMP DEVICES SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER.

DURING DEWATERING ACTIVITIES, SEMI-HYDRATED GEL POLYACRYLAMIDE BLOCKS SHALL BE USED TO ALLOW COLLOIDAL CLAY PARTICLES TO SETTLE WHEN REACHING THE RETENTION FACILITIES.

POLYACRYLAMIDE SHALL BE APPLIED TO THE SOIL SURFACE OF ALL THE AREAS WHERE THE GROUND HAS BEEN DISTURBED. THE POLYACRYLAMIDE SHALL BE APPLIED AS EARLY AS PRACTICAL, AND AT THE LATEST, MUST BE APPLIED IN CONJUNCTION WITH TEMPORARY OR PERMANENT SEEDING.

**BEST MANAGEMENT PRACTICES NOTES:**

BMP MEASURES SHOWN ARE A MINIMUM.

BEST MANAGEMENT PRACTICES SHOWN FOR OPEN THROAT AND GRATED SWALE INLETS SHALL BE INSTALLED AS APPROPRIATE FOR VARIOUS PROJECT PHASES.

ALL PONDS SHALL BE SOD FROM BOTTOM TO 2' BACK OF TOP OF BANK.

THE PROJECT OPERATOR/RESPONSIBLE AUTHORITY SHALL BE RESPONSIBLE FOR THE ROUTINE INSPECTION, MAINTENANCE, REPAIR AND REMOVAL OF BMP DEVICES IN ACCORDANCE WITH CURRENT RULES AND REGULATIONS OF LONGBOAT KEY, THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT PROGRAM.

\*ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION ENVIRONMENTAL RESOURCE PERMIT.

**DEWATERING NOTES:**

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ARRANGEMENT, LOCATION AND DEPTHS OF THE DEWATERING SYSTEM NECESSARY TO ACCOMPLISH THE WORK DESCRIBED ON THESE PLANS.

THE CONTRACTOR, IF REQUIRED, IS RESPONSIBLE FOR SUBMITTING TO THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR REVIEW A DEWATERING PLAN AND SUPPORTING CALCULATIONS. THIS PLAN SHALL DETAIL THE DEWATERING METHODS PROPOSED, THE DURATION OF DEWATERING, FLOW PATHS, AND POINTS OF DISCHARGE.

ALL WATER REMOVED FROM THE EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL NOT ENDANGER PUBLIC HEALTH, DAMAGE PUBLIC OR PRIVATE PROPERTY, OR AFFECT ADVERSELY ANY PORTION OF THE WORK UNDER CONSTRUCTION OR COMPLETED.

PUBLIC RIGHTS-OF-WAY AND PROPERTIES SHALL BE UTILIZED FOR THE DISPOSAL OF WATER REMOVED FROM THE GROUND BY THE DEWATERING PROCESS.

THE METHODS AND PROVISIONS UTILIZED TO PREVENT SILTATION AND EROSION SHALL CONFORM TO CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRACTICES AND REGULATIONS AND ANY OTHER LOCAL LEGAL PROVISIONS WHICH MAY APPLY. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE STRICTER REQUIREMENTS SHALL APPLY.

THE PUMPING RATE SHALL BE MONITORED AND ADJUSTED, IF NECESSARY IN ORDER TO PREVENT THE DISCHARGE OF TURBID WATER INTO THE PUBLIC RIGHTS-OF-WAY OR EXISTING WETLANDS.

NO DIRECT PUMPING DISCHARGE IS PERMITTED INTO ANY EXISTING WETLANDS.

DEWATERING CONTAINMENT AND ISOLATION SHALL BE IN ACCORDANCE WITH BMP DETAILS SHEET, B-3.

DEWATERING SYSTEM SHALL BE IN PLACE PRIOR TO EXCAVATION.

ALL EXCAVATED MATERIAL IS EXPECTED TO BE UTILIZED AS FILL MATERIAL ON SITE.

DEVIATIONS FROM PROPOSED DEWATERING SUMP LOCATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD.

CONTROL STRUCTURES MUST BE IN PLACE BEFORE LOWER LEVEL LAKES AND LAKES ADJACENT TO WETLANDS CAN BE USED AS SUMPS.

STANDARD DEWATERING SUMP SIZES HAVE BEEN PROVIDED ON THIS PLAN. CONTRACTOR SHALL UTILIZE SUMP SIZES SHOWN OR PROVIDE SUPPORTING CALCULATIONS FOR A SPECIFIC DEWATERING RATE.

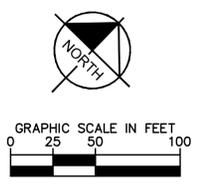
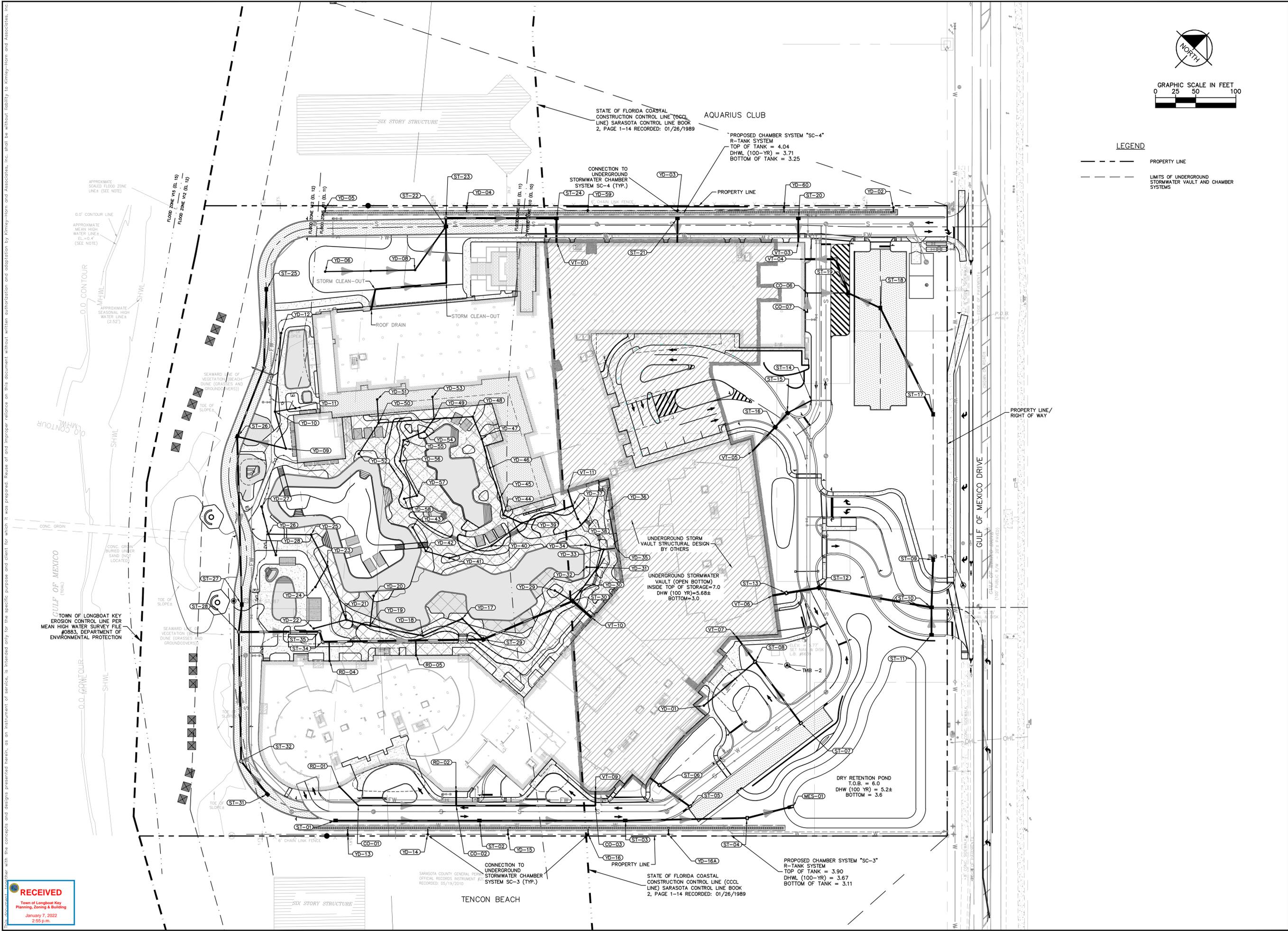
NO DEWATERING SHALL GO TO THE POND OR UNDERGROUND STORAGE SYSTEM.

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		BY			
<p><b>Kimley-Horn</b></p> <p>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.        1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236        PHONE: 941-379-7600        WWW.KIMLEY-HORN.COM CA 00000696</p>		<p>LICENSED PROFESSIONAL        BRITT L. STEPHENS, P.E.        DATE: MAR. 2021        SCALE: AS SHOWN        DESIGNED BY: TEG        DRAWN BY: CLL        CHECKED BY: DLP</p>			
<p><b>LONGBOAT KEY HOTEL AND RESIDENCES</b>        PREPARED FOR        UNICORP ACQUISITIONS, LLC</p>		<p><b>EROSION AND SEDIMENT CONTROL PLAN</b></p>			
<p>SHEET NUMBER  <b>B-1</b></p>		<p>LONGBOAT KEY FLORIDA</p>			





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 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21  
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**LEGEND**  
 - - - - - PROPERTY LINE  
 - - - - - LIMITS OF UNDERGROUND STORMWATER VAULT AND CHAMBER SYSTEMS



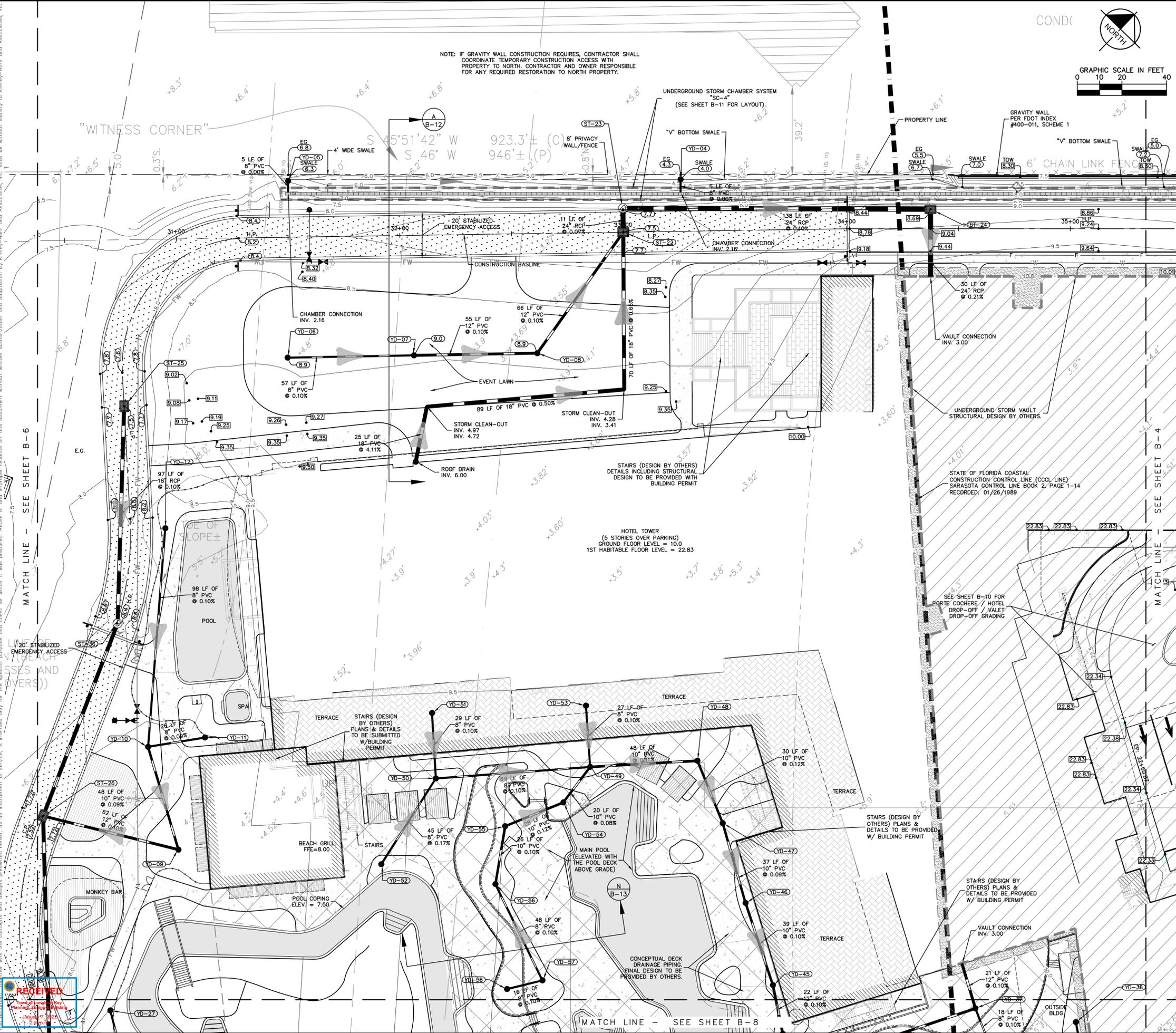
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DATE MAR. 2021		FLORIDA LICENSE NUMBER 71465		DATE 10/20/21	
SCALE AS SHOWN		DESIGNED BY TEG		REVISIONS	
DRAWN BY JAS		CHECKED BY DLP		BY	
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA		DATE	



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01/25/2022  
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Plotted by: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. LAYOUT: B-5 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:30:11pm. K:\SAR-CIVIL\149581008\_Colony Longboat Key\CAD\Final\Sheets\B-5 PAVING GRADING AND DRAINAGE PLAN.dwg. This drawing is the property of Kimley-Horn and Associates, Inc. and is loaned to the client for their use only. It is not to be reproduced, copied, or used for any other project without the written consent of Kimley-Horn and Associates, Inc. All rights reserved.



**KEY MAP**

**LEGEND**

- STANDARD DUTY CONCRETE PAVEMENT
- 6" HEAVY DUTY CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- WATER SURFACE
- PROPOSED SWALE
- INLET STORM SEWER
- EXISTING GROUND ELEVATION
- MINIMUM FINISH FLOOR ELEVATION
- PROPOSED PAVEMENT ELEVATION
- PROPOSED GROUND ELEVATION
- PROPOSED CONTOURS

**CURB LEGEND**

- 8" TYPE "D" CURB
- 24" TYPE "F" CURB
- INTEGRAL CURB AND SIDEWALK
- 16" MODIFIED TYPE "F" CURB
- 16" MODIFIED REVOLVED TYPE "F" CURB

**NOTES:**

- ELEVATIONS BASED ON NAVD 1988 AND ARE BASED ON A N.G.S. BENCHMARK # 715, ELEVATION 7.74' (NAVD 1988). CONVERSION TO NGVD 1929 = +1.04'
- FLOOD ZONES SHOWN ARE APPROXIMATE AND SCALED FROM THE TOWN OF LONGBOAT KEY, FLORIDA FLOOD INSURANCE RATE MAP 12115C0126F DATED 11/4/16. THE FLOOD DATA SHOULD BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT BEFORE ANY CONSTRUCTION.
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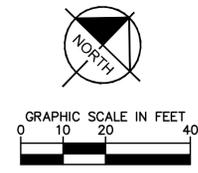
FLORIDA  
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SHEET NUMBER  
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FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21  
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- 6" HEAVY DUTY CONCRETE PAVEMENT
- ASPHALT PAVEMENT
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- PROPOSED SWALE
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- EXISTING GROUND ELEVATION
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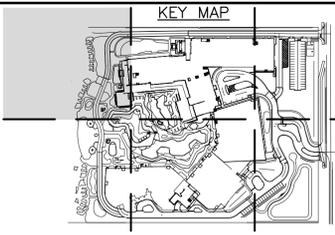
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 WWW.KIMLEY-HORN.COM CA 00000696

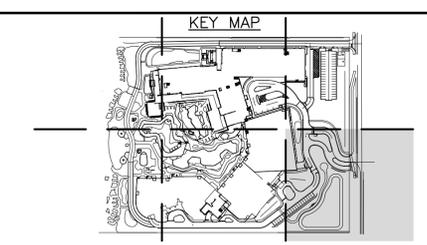
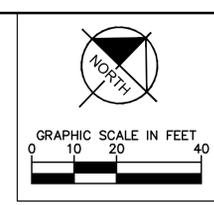
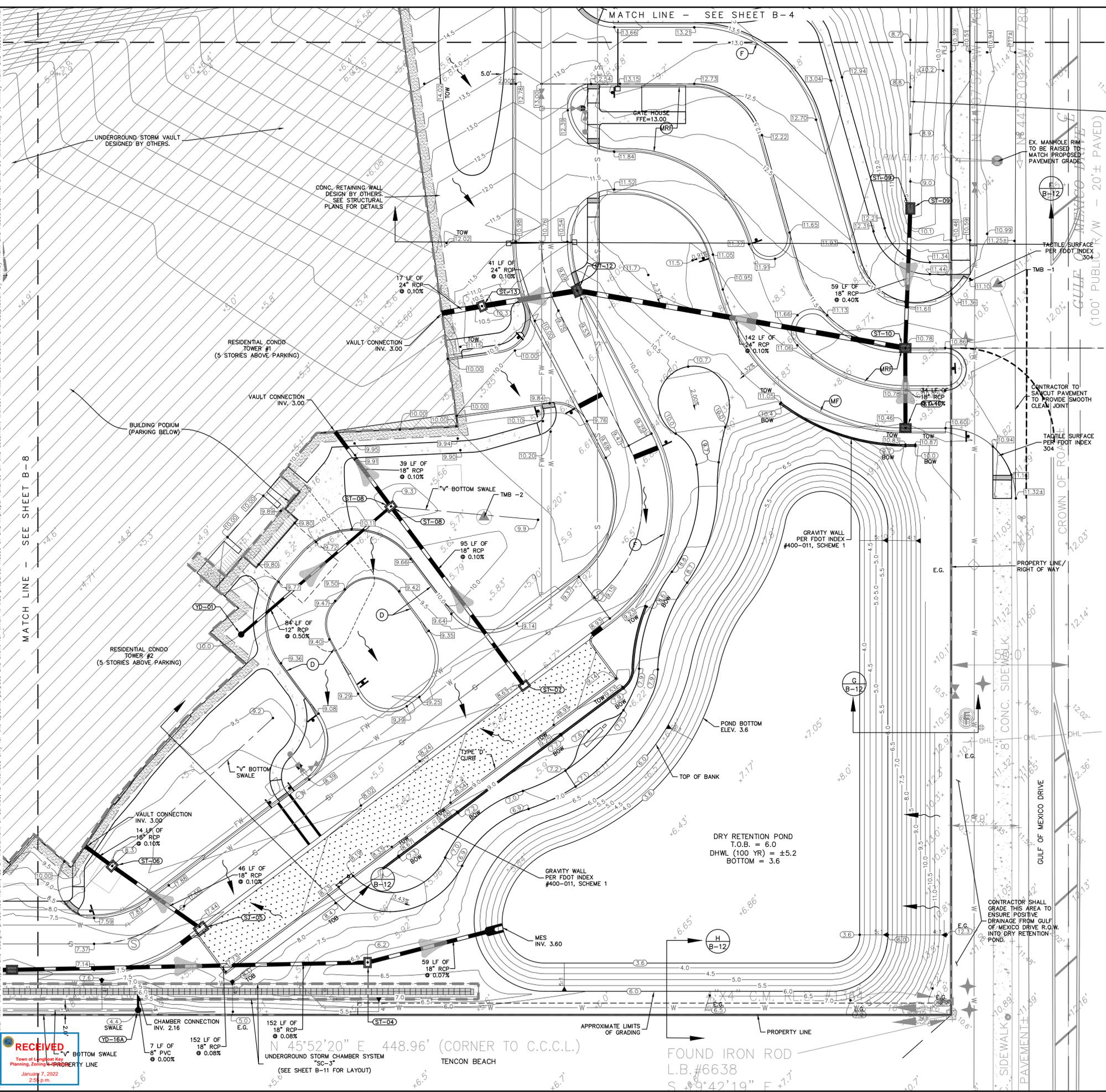
LICENSED PROFESSIONAL	BRIIT L. STEPHENS, P.E.
KHA PROJECT	149581008
DATE	MAR. 2021
SCALE	AS SHOWN
DESIGNED BY	TEG
DRAWN BY	JAS
CHECKED BY	DLP
DATE	

**LONGBOAT KEY HOTEL AND RESIDENCES**  
**PAVING GRADING AND DRAINAGE PLAN**

PREPARED FOR  
**UNICORP ACQUISITIONS, LLC**  
 LONGBOAT KEY, FLORIDA  
 SHEET NUMBER  
**B-6**

**APPROVED FOR ZONING**  
**Site Plan Ordinance 2021-12 and**  
**Resolution 2021-21**

Plotted By: hanks, Matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. L:\00\B-7 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:37:35pm. 4: NSAR-Civil\149581008 Colony Lombard Key\CAD\PlanSheets\B-7 PAVING GRADING AND DRAINAGE PLAN.dwg  
 Reviewed: mamod 01/25/2022  
 with the concepts and designs presented herein, as an instrument of service, in intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND**
- [Symbol] STANDARD DUTY CONCRETE PAVEMENT
  - [Symbol] 6" HEAVY DUTY CONCRETE PAVEMENT
  - [Symbol] ASPHALT PAVEMENT
  - [Symbol] WATER SURFACE
  - [Symbol] PROPOSED SWALE
  - [Symbol] INLET STORM SEWER
  - [Symbol] EXISTING GROUND ELEVATION
  - [Symbol] MINIMUM FINISH FLOOR ELEVATION
  - [Symbol] PROPOSED PAVEMENT ELEVATION
  - [Symbol] PROPOSED GROUND ELEVATION
  - [Symbol] PROPOSED CONTOURS
- CURB LEGEND**
- (D) 8" TYPE "D" CURB
  - (F) 24" TYPE F CURB
  - (C) INTEGRAL CURB AND SIDEWALK
  - (MF) 16" MODIFIED TYPE "F" CURB
  - (RM) 16" MODIFIED REVOLVED TYPE "F" CURB

- NOTES:**
- ELEVATIONS BASED ON NAVD 1988 AND ARE BASED ON A N.G.S. BENCHMARK #A 715, ELEVATION 7.74' (NAVD 1988). CONVERSION TO NGVD 1929 = +1.04.
  - FLOOD ZONES SHOWN ARE APPROXIMATE AND SCALED FROM THE TOWN OF LONGBOAT KEY, FLORIDA FLOOD INSURANCE RATE MAP 12115C0126F DATED 11/4/16. THE FLOOD DATA SHOULD BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT BEFORE ANY CONSTRUCTION.
  - THE SLOPE OF ALL GRADED AREAS ON THE SITE SHALL NOT EXCEED A RATIO OF 4:1 (4 FEET HORIZONTAL TO 1 FOOT VERTICAL). PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT AN "AS-BUILT" GRADING PLAN FOR APPROVAL BY THE TOWN PLANNING, ZONING & BUILDING DEPARTMENT.
  - ALL FILL MATERIAL TO BE PLACED ON THE PROJECT SEAWARD OF THE FDEP COASTAL CONSTRUCTION CONTROL LINE MUST COMPLY WITH FDEP REQUIREMENTS FOR BEACH QUALITY SAND INCLUDING BUT NOT LIMITED TO GRAIN SIZE, ANGULARITY, COLOR, MATERIAL COMPOSITION, ETC.
  - ALL SIDEWALKS/PATHS AND POOL DECK/AMENITY AREAS OF PAVEMENT MAY BE CONSTRUCTED WITH CONCRETE PAVING, PAVERS ON SAND BEDDING, WOOD/COMPOSITE WOOD DECKING, OR OTHER SUITABLE MATERIALS AS DIRECTED BY THE OWNER AND LANDSCAPE ARCHITECT. CONTRACTOR TO REFER TO HARDSCAPE PLAN OR POOL DECK DESIGN FOR SPECIFICATIONS OF MATERIALS AND DETAILS FOR CONSTRUCTION.
  - ALL RETAINING WALLS ARE TO BE DESIGNED BY THE STRUCTURAL ENGINEER AND ARE DEPICTED ON THIS PLAN FOR PURPOSES OF DEPICTING SITE GRADING ONLY. ALL DETAILS, SPECIFICATIONS, AND STRUCTURAL DESIGN INFORMATION RELATIVE TO RETAINING WALLS IS INCLUDED WITH THE STRUCTURAL DESIGN BY OTHERS. THE RETAINING WALL ADJACENT TO THE PROPOSED BUILDING IS TO BE COMPLETELY STRUCTURALLY INDEPENDENT OF THE BUILDING.
  - ALL INLETS AND YARD DRAINS ARE TO BE SUMPED 18" AND HAVE AN OPEN BOTTOM.

**ROOF DRAIN / FLOOR DRAIN NOTE:**  
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**POOL / RESORT AMENITY AREAS NOTE:**  
 GRADING AND DRAINAGE INLETS/PIPING INFORMATION SHOWN WITHIN THE POOL AND RESORT AMENITY AREAS IS CONCEPTUAL IN NATURE AND PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT DISPLAYS THE GENERAL GRADING INTENT. THE DESIGN OF THE FINAL GRADING OF THE POOLS, POOL DECKS, LANDSCAPE BEDS, ETC. IS TO BE PROVIDED BY THE POOL DESIGN CONSULTANT AND THE LANDSCAPE ARCHITECT. THIS DESIGN DETAIL WILL BE PROVIDED WITH THE POOL/AMENITY BUILDING CONSTRUCTION PERMIT AFTER SITE PLAN APPROVAL. THE INTENT OF THE STORMWATER DESIGN IS THAT THE DRAINAGE /STORMWATER RUNOFF FROM THE POOL AND RESORT AMENITY AREAS IS TO BE ROUTED TO THE UNDERGROUND STORMWATER VAULT. YARD DRAINS, DECK DRAINAGE PIPING DETAILS AND SPECIFICATIONS INCLUDING MATERIALS, INVERTS, GRATE/RIM ELEVATIONS ARE TO BE PROVIDED BY THE POOL DESIGNER.

ELEVATION INFORMATION SHOWN ON THESE PLANS IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). CONVERSION FACTOR : NAVD 1988 +1.04 FT = NGVD 1929

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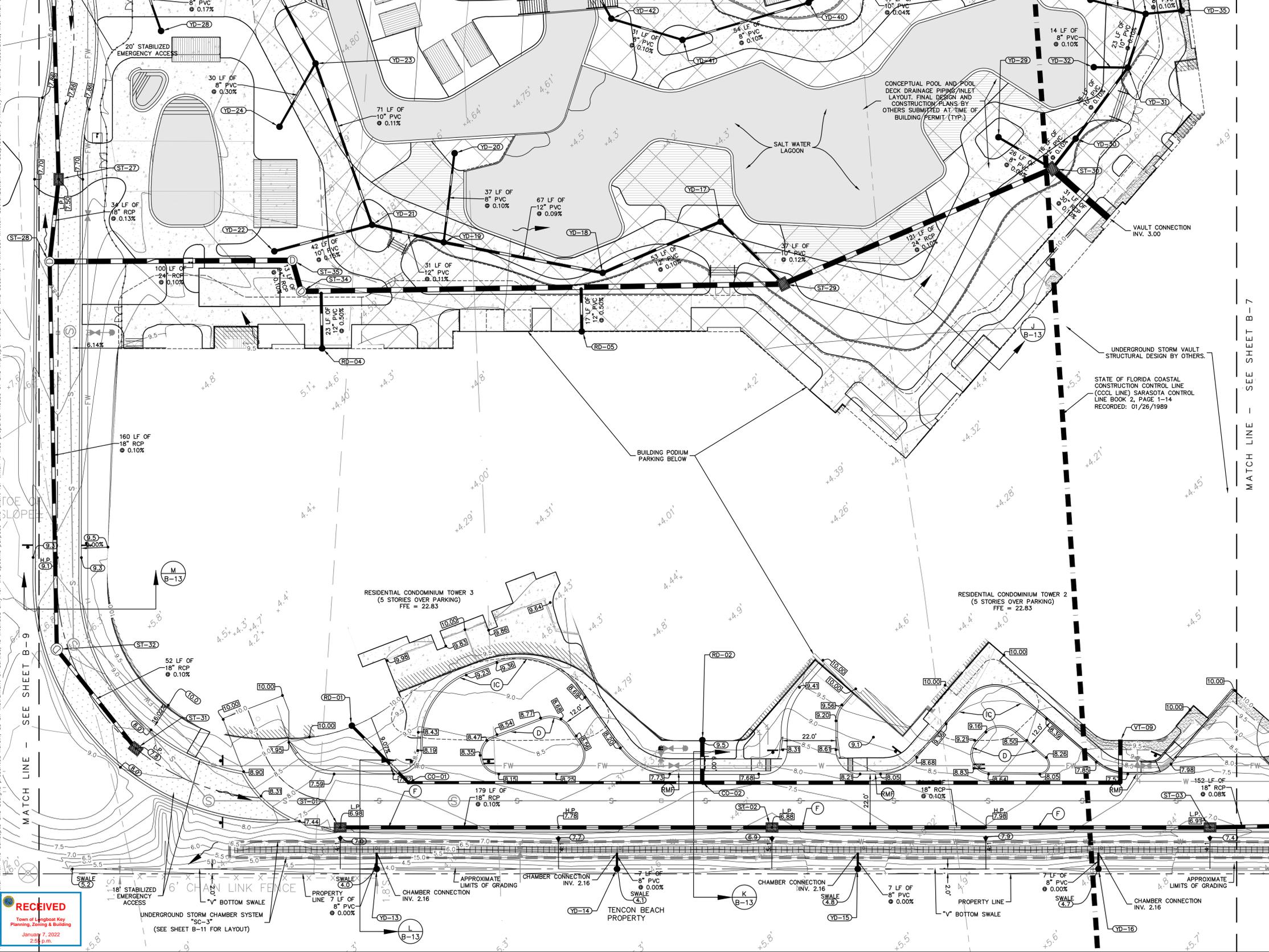
<b>FOR PERMIT REVIEW ONLY</b> <b>NOT FOR CONSTRUCTION</b>		NO.	DATE
		10/20/21	BY
<b>Kimley»Horn</b> © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696		LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E. DATE: MAR. 2021 SCALE: AS SHOWN DESIGNED BY: JAS DRAWN BY: JAS CHECKED BY: DLF	
<b>LONGBOAT KEY HOTEL AND RESIDENCES</b> PREPARED FOR <b>UNICORP ACQUISITIONS, LLC</b> LONGBOAT KEY, FLORIDA		SHEET NUMBER <b>B-7</b>	

**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21

01/25/2022  
 Reviewer: mamod

Plotted by: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. L:\00\B-8 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021 12:43:04pm. K:\SAR-Civil\149581008 Colony Lombard Key\CAD\PlanSheets\B-8 PAVING GRADING AND DRAINAGE PLAN.dwg

Author: hanks, matt. Date: 01/25/2022. Description: PAVING GRADING AND DRAINAGE PLAN. This sheet shows the paving, grading, and drainage details for the site. It includes information on pipe sizes, slopes, elevations, and materials. The plan is based on NAVD 1988 and is converted to NGVD 1929. The design is for a 5-story residential condominium tower and a resort amenity area. The plan shows the layout of the building, pool, and parking areas, as well as the proposed stormwater management system. The design is based on the site plan and the zoning ordinance. The plan is subject to review and approval by the local planning and zoning department.



- LEGEND**
- STANDARD DUTY CONCRETE PAVEMENT
  - 6" HEAVY DUTY CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - WATER SURFACE
  - PROPOSED SWALE
  - INLET STORM SEWER
  - EXISTING GROUND ELEVATION
  - MINIMUM FINISH FLOOR ELEVATION
  - PROPOSED PAVEMENT ELEVATION
  - PROPOSED GROUND ELEVATION
  - PROPOSED CONTOURS
- CURB LEGEND**
- 8" TYPE "D" CURB
  - 24" TYPE F CURB
  - INTEGRAL CURB AND SIDEWALK
  - 16" MODIFIED TYPE "F" CURB
  - 16" MODIFIED REVOLVED TYPE "F" CURB

- NOTES:**
1. ELEVATIONS BASED ON NAVD 1988 AND ARE BASED ON A N.G.S. BENCHMARK #4 715, ELEVATION 7.74' (NAVD 1988). CONVERSION TO NGVD 1929 = +1.04.
  2. FLOOD ZONES SHOWN ARE APPROXIMATE AND SCALED FROM THE TOWN OF LONGBOAT KEY, FLORIDA FLOOD INSURANCE RATE MAP 12115C0128F DATED 11/4/16. THE FLOOD DATA SHOULD BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT BEFORE ANY CONSTRUCTION.
  3. THE SLOPE OF ALL GRADED AREAS ON THE SITE SHALL NOT EXCEED A RATIO OF 4:1 (4 FEET HORIZONTAL TO 1 FOOT VERTICAL). PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT "AS-BUILT" GRADING PLAN FOR APPROVAL BY THE TOWN PLANNING, ZONING & BUILDING DEPARTMENT.
  4. ALL FILL MATERIAL TO BE PLACED ON THE PROJECT SEAWARD OF THE FDEP COASTAL CONSTRUCTION CONTROL LINE MUST COMPLY WITH FDEP REQUIREMENTS FOR BEACH QUALITY SAND INCLUDING BUT NOT LIMITED TO GRAIN SIZE, ANGULARITY, COLOR, MATERIAL COMPOSITION, ETC.
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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

**LONGBOAT KEY HOTEL AND RESIDENCES**  
 PREPARED FOR UNICORP ACQUISITIONS, LLC

**PAVING GRADING AND DRAINAGE PLAN**

SHEET NUMBER **B-8**

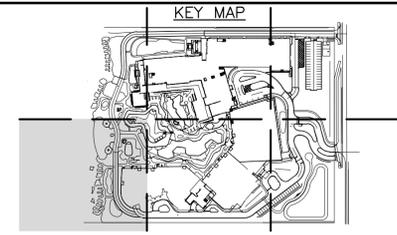
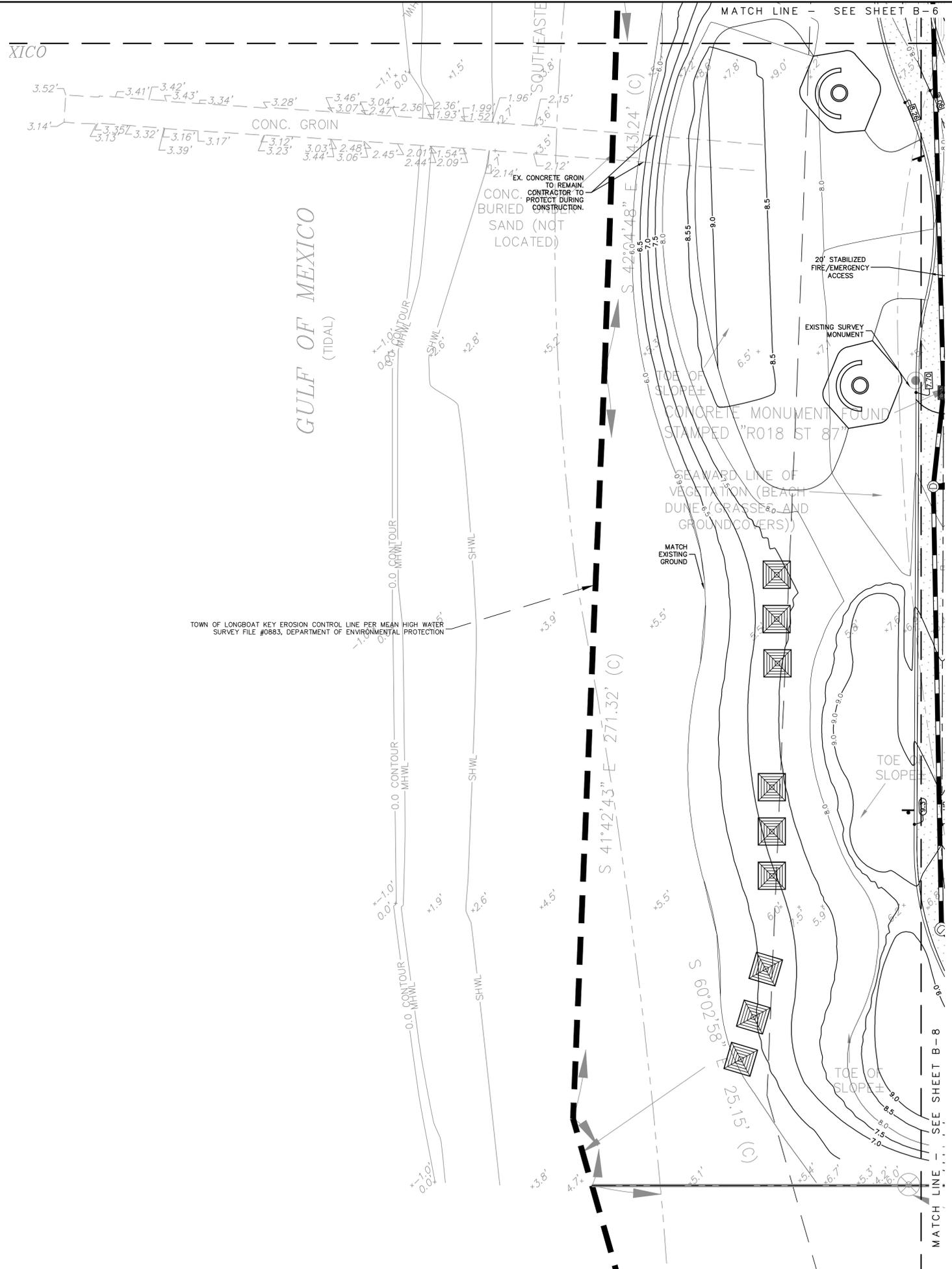
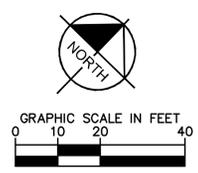
NO.	REVISIONS	DATE	BY
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/21	BY

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LONGBOAT KEY, FLORIDA

**APPROVED FOR ZONING**  
**Site Plan Ordinance 2021-12 and**  
**Resolution 2021-21**

Plotted By: hanks, matt. Street Set: Unicorp Longboat Key Hotel and Residences. LD\001\B-9 PAVING GRADING AND DRAINAGE PLAN. December 02, 2021. 12:34:41pm. K:\SAR-C\149581008 Colony Longboat Key\CAD\Plan\Sheet\B-9 PAVING GRADING AND DRAINAGE PLAN.dwg  
 Reviewer: mamold 01/25/2022  
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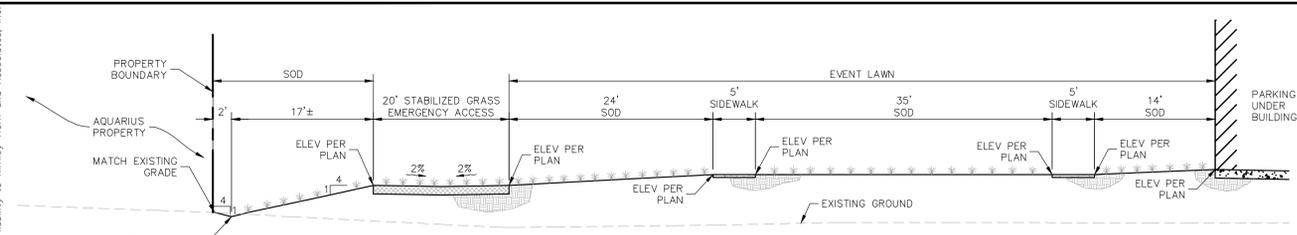
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KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696		BRITT L. STEPHENS, P.E. FLORIDA LICENSE NUMBER 71465		DATE: _____	
KHA PROJECT 149581008		DATE: MAR. 2021		SCALE: AS SHOWN	
DESIGNED BY: JAS		DRAWN BY: JAS		CHECKED BY: DLP	
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA		SHEET NUMBER B-9	



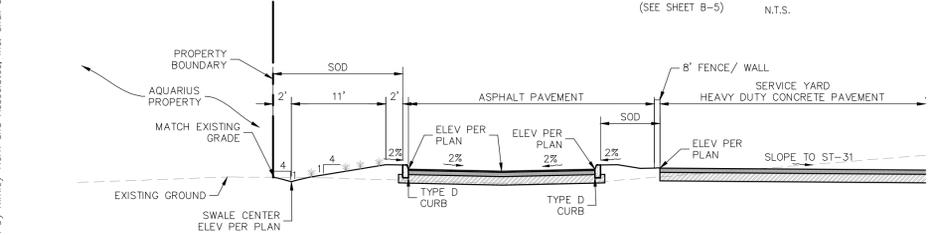


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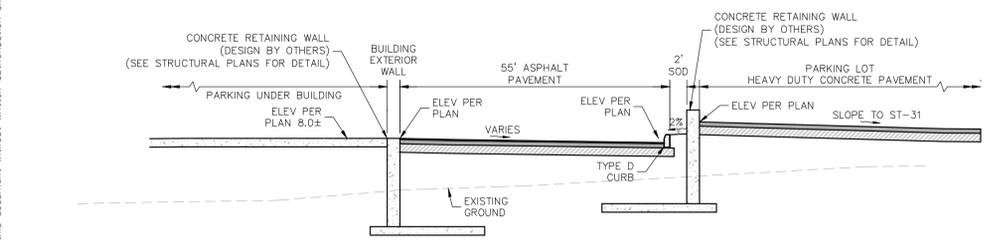
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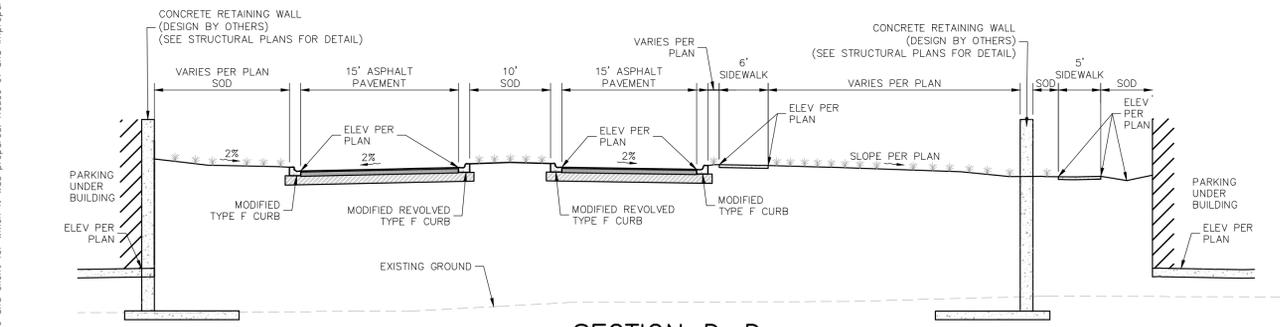
**SECTION A-A**  
(SEE SHEET B-5) N.T.S.



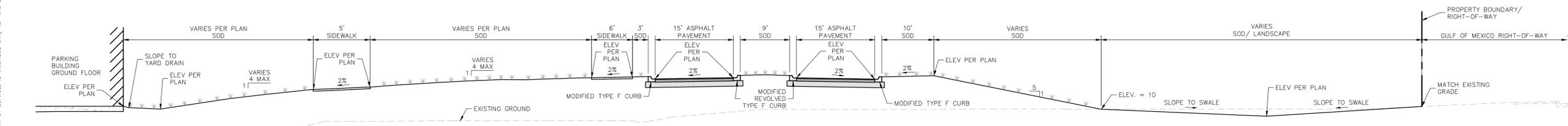
**SECTION B-B**  
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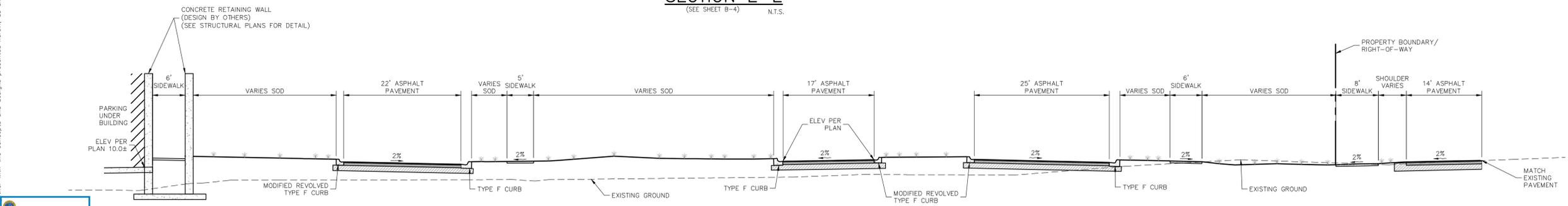
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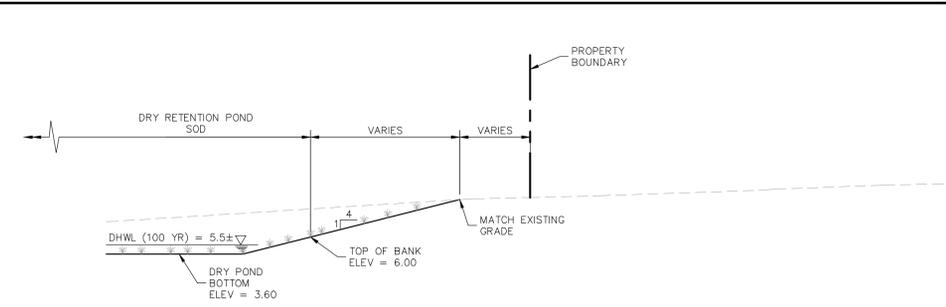
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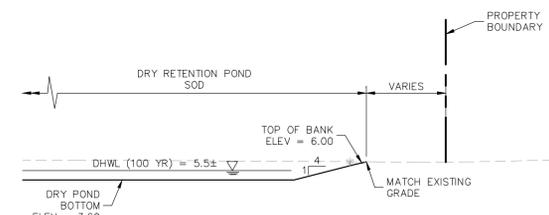
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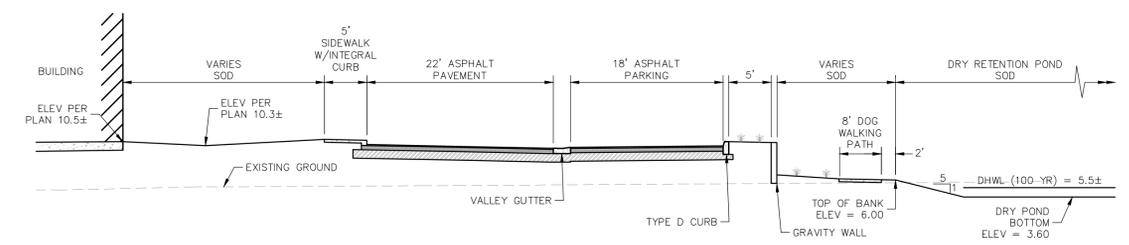
**SECTION F-F**  
(SEE SHEET B-4) N.T.S.



**SECTION G-G**  
(SEE SHEET B-7) N.T.S.



**SECTION H-H**  
(SEE SHEET B-7) N.T.S.



**SECTION I-I**  
(SEE SHEET B-7) N.T.S.



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 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236  
 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL  
 BRITT L. STEPHENS, P.E.  
 DATE: MAR. 2021  
 SCALE: AS SHOWN  
 DESIGNED BY: [blank]  
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 CHECKED BY: [blank]  
 DATE: [blank]  
 FLORIDA LICENSE NUMBER: 71465

**GRADING SECTIONS**

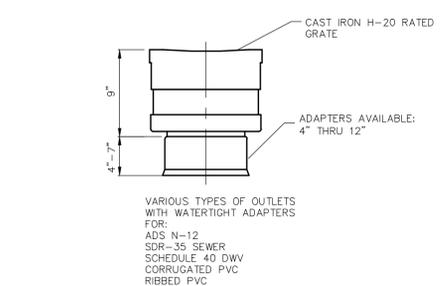
LONGBOAT KEY HOTEL  
 AND RESIDENCES  
 PREPARED FOR  
 UNICORP ACQUISITIONS, LLC  
 LONGBOAT KEY, FLORIDA



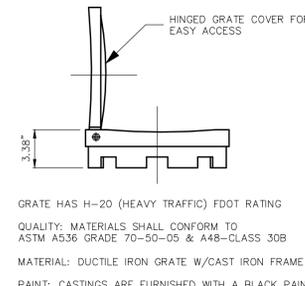


**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21  
 01/25/2022  
 Reviewer: mamod

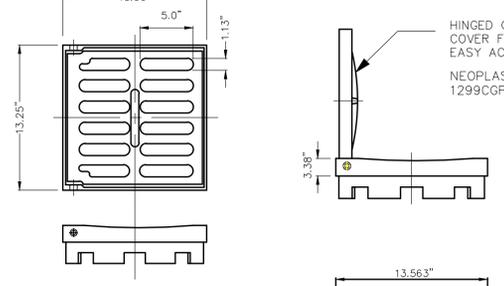
Plotted By: hanks, matt. Sheet Set: Unincorp. Longboat Key Hotel and Residences. LD\04118-15 DRAINAGE DETAILS. December 02, 2021. 12:54:29pm. K:\SAR-Civil\1489581008 Colony Longboat Key\CAD\Plan\Sheet\B-15 DRAINAGE DETAILS.dwg  
 This document is the property of Kimley-Horn and Associates, Inc. and is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



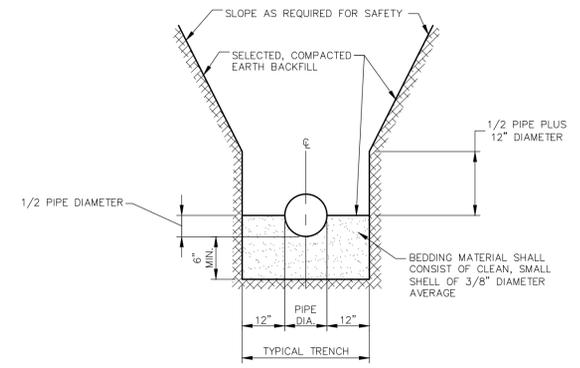
**12" PVC INLINE DRAIN**  
N.T.S.  
REF: NYOPLAST STORM DRAINAGE STRUCTURES



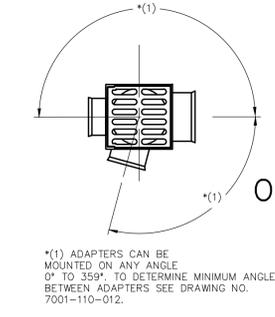
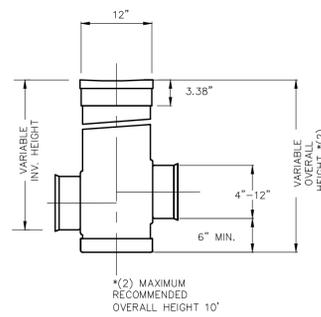
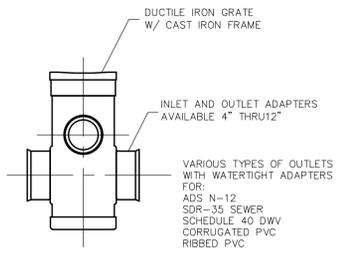
**12" CAST IRON GRATE**  
N.T.S.  
REF: NYOPLAST STORM DRAINAGE STRUCTURES



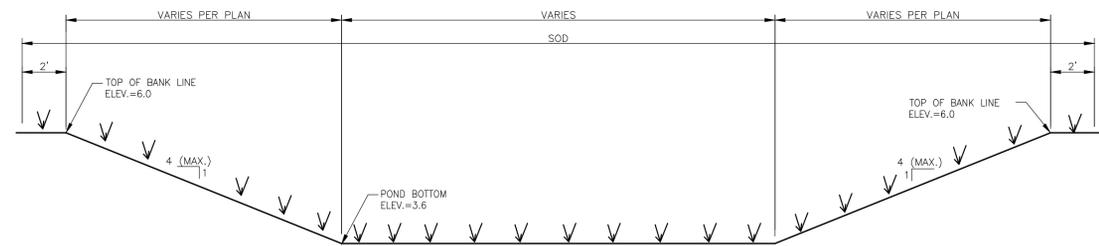
**\*PEDESTRIAN GRATE**  
N.T.S.  
REF: NYOPLAST STORM DRAINAGE STRUCTURES



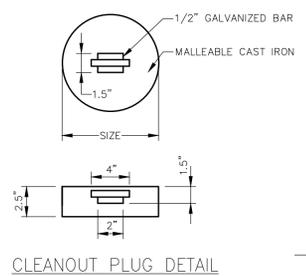
**STANDARD PIPE BEDDING DETAIL**  
N.T.S.  
NOTE: STANDARD BEDDING MATERIAL AS DIRECTED BY ENGINEER TO BE INCLUDED IN THE UNIT PRICE PER FOOT OF PIPE FOR THE VARIOUS DIAMETERS



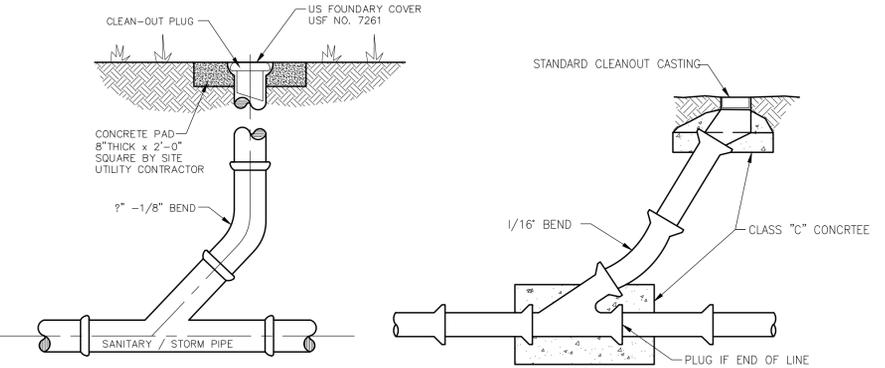
**12" PVC YARD DRAINS**  
N.T.S.  
REF: NYOPLAST STORM DRAINAGE STRUCTURES



**TYPICAL DRY POND SECTION**  
N.T.S.



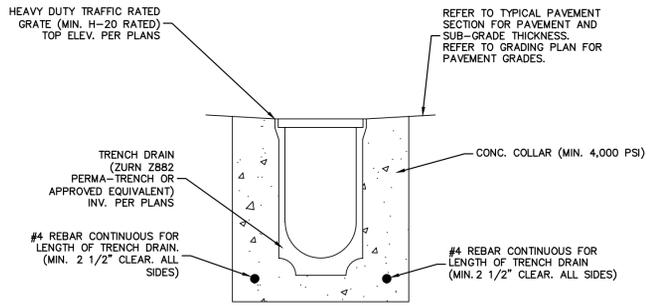
**CLEANOUT PLUG DETAIL**



**DETAIL 1**

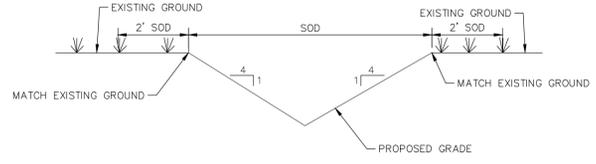
**DETAIL 2**

**CLEANOUT DETAILS**

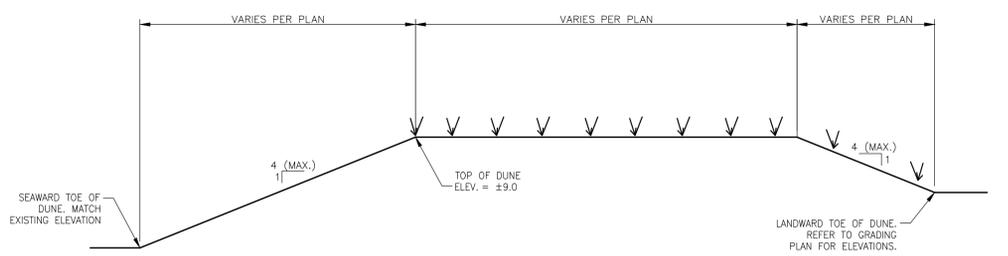


- NOTES:
1. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4,000 PSI @ 28 DAYS.
  2. ALL STEEL TO HAVE A MIN. 2-1/2" CLEARANCE UNLESS OTHERWISE NOTED.
  3. STEEL REINFORCEMENT SHALL MEET ASTM SPECIFICATIONS (A-615, DEFORMED BARS).

**TRENCH DRAIN DETAIL**  
N.T.S.



**"V" BOTTOM SWALE**  
N.T.S.



**TYPICAL DUNE SECTION**  
N.T.S.

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	
NO.	DATE
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**Kimley»Horn**

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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

BRITT L. STEPHENS, P.E.

FLORIDA LICENSE NUMBER 71465

DATE: \_\_\_\_\_

KHA PROJECT \_\_\_\_\_

DATE MAR. 2021

SCALE AS SHOWN

DESIGNED BY \_\_\_\_\_

DRAWN BY \_\_\_\_\_

CHECKED BY \_\_\_\_\_

**DRAINAGE DETAILS**

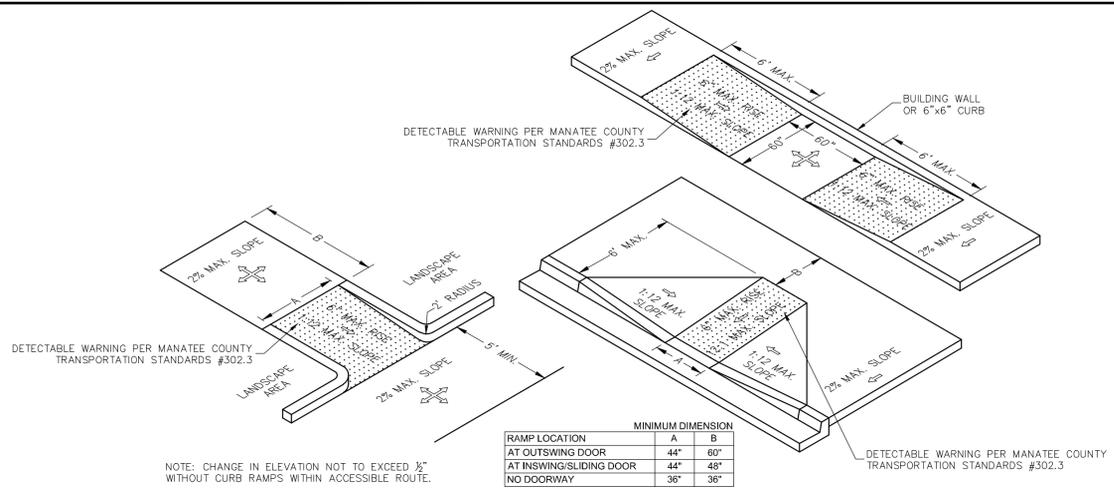
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC

LONGBOAT KEY FLORIDA

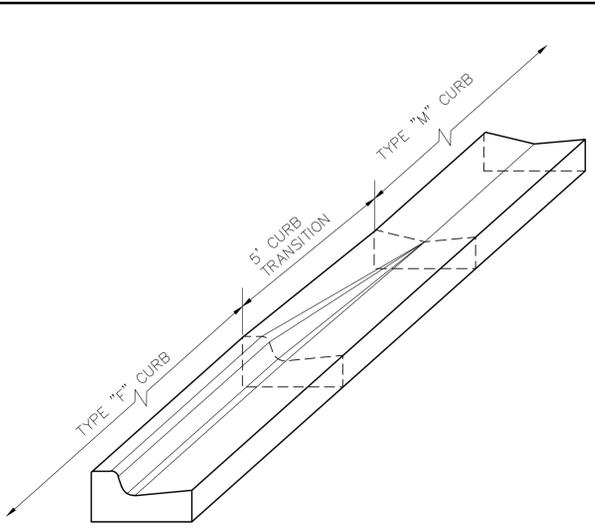


**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21

Plotted By: Hank, Matt, Street Set: Unicorp, Longboat Key Hotel and Residences, LD\001\B-16 TYPICAL ROADWAY SECTION AND DETAILS.dwg, 01/25/2022, 12:55:15pm, K:\SAR-Civil\149581008\Longboat Key\CAD\PlanSheets\B-16 TYPICAL ROADWAY SECTION AND DETAILS.dwg, 01/25/2022, 12:55:15pm, K:\SAR-Civil\149581008\Longboat Key\CAD\PlanSheets\B-16 TYPICAL ROADWAY SECTION AND DETAILS.dwg, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**ACCESSIBLE RAMP DETAIL** (CR) N.T.S.



**TYPE 'F' & 'M' CURB TRANSITION DETAIL** N.T.S.

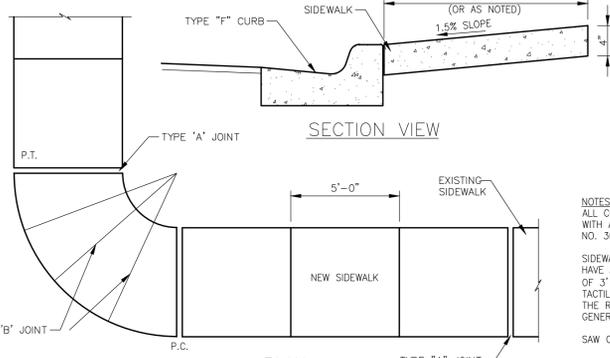
TABLE OF SIDEWALK THICKNESS - "T"

LOCATION	"T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

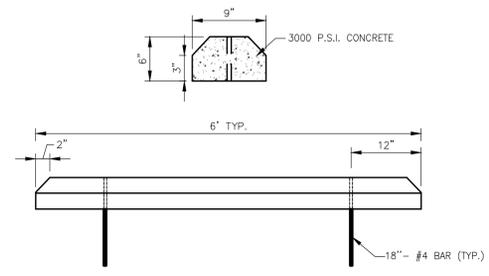
NOTE: CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS

TABLE OF SIDEWALK JOINTS

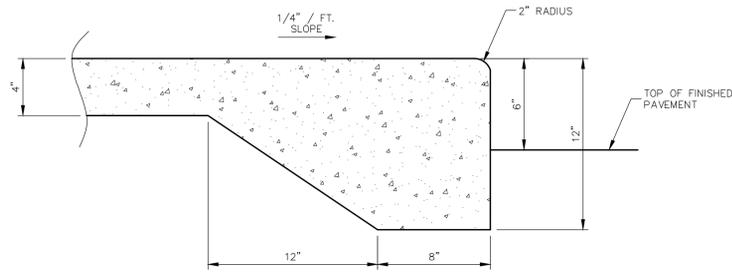
TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES
'B'	5'-0" CENTER TO CENTER ON SIDEWALKS. (NOT LESS THAN 4' AND NOT GREATER THAN 10')
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'.



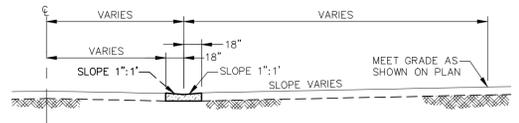
**SIDEWALK CONSTRUCTION** N.T.S.



**CONCRETE WHEEL STOP** N.T.S.

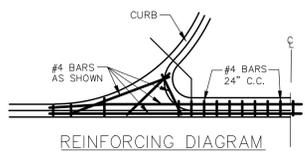


**CURB AND SIDEWALK SECTION** N.T.S.

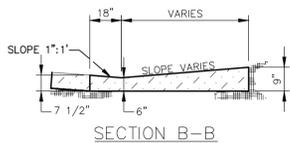


SECTION A-A

NOTE: REINFORCING BARS TO BE PLACED A MINIMUM OF 2" FROM BOTTOM AND 3" FROM SIDES OF CURB & GUTTER. CONCRETE 3000 P.S.I., "A" GRADE.

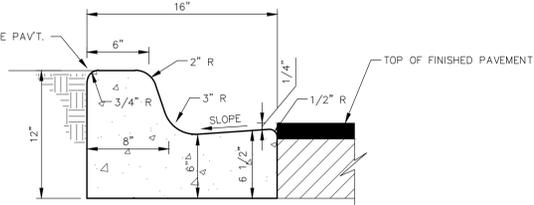


REINFORCING DIAGRAM

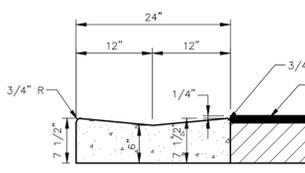


SECTION B-B

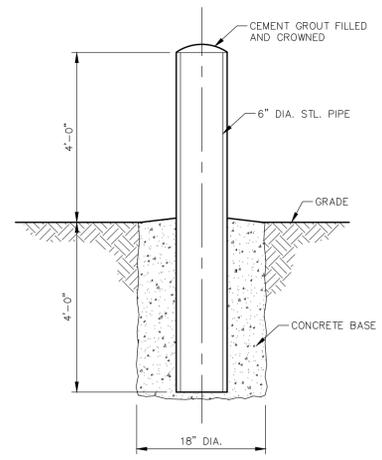
NOTE: DIRECTION OF FLOW REQUIRED BY PAVING, GRADING AND DRAINAGE PLANS.



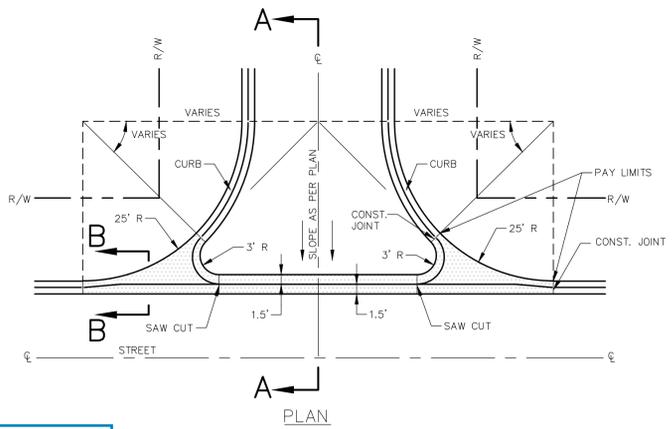
**MODIFIED TYPE "F" CURB** (MF) N.T.S.



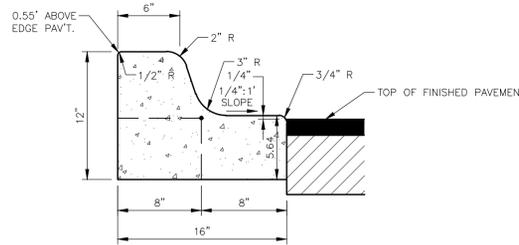
**CONCRETE VALLEY GUTTER DETAIL** (VG) N.T.S.



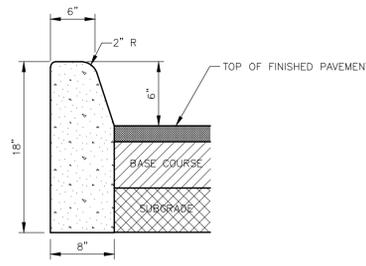
**BOLLARD DETAIL** N.T.S.



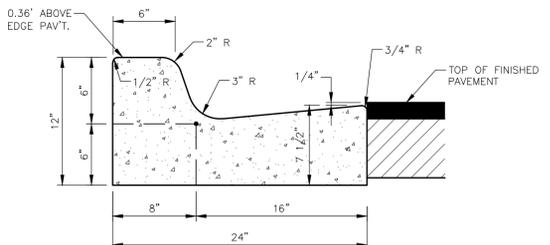
**VALLEY CROSSING DETAIL** (VC) N.T.S.



**MEDIAN CURB MODIFIED REVOLVED TYPE "F" CURB** (MRF) N.T.S.



**TYPE "D" CURB** (D) N.T.S.



**TYPE "F" CURB** (E) N.T.S.

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION

No.	REVISIONS	DATE	BY
1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/21	

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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL  
 BRITT L. STEPHENS, P.E.  
 FLORIDA LICENSE NUMBER 71465  
 DATE: \_\_\_\_\_

**TYPICAL ROADWAY SECTION AND DETAILS**

**LONGBOAT KEY HOTEL AND RESIDENCES**  
 PREPARED FOR UNICORP ACQUISITIONS, LLC  
 LONGBOAT KEY, FLORIDA

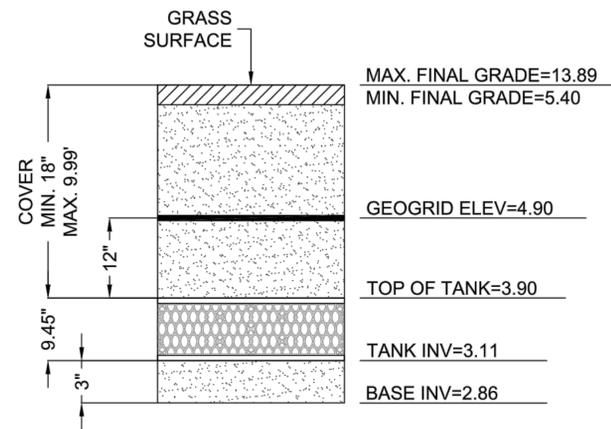
SHEET NUMBER **B-16**



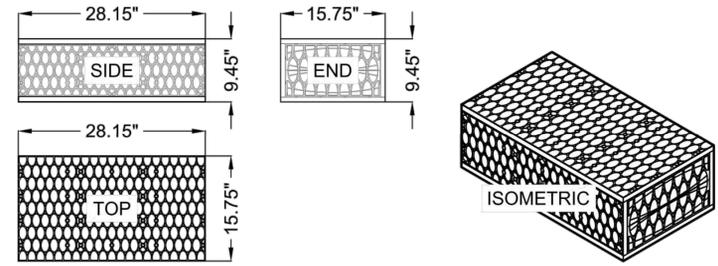


**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21

Plotted By: hanks, Matt. Sheet: Set:Unicorp Longboat Key Hotel and Residences. L:\001\B-1B R-TANK SD DETAILS. December 02, 2021. 12:56:00pm. K:\SAR\_GWA\49851008 Colony Longboat Key\CAD\PlanSheets\B-1B R-TANK SD DETAILS.dwg  
 Reviewer: mamold 01/25/2022  
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**SINGLE R-TANK<sup>SD</sup> - ELEVATION**

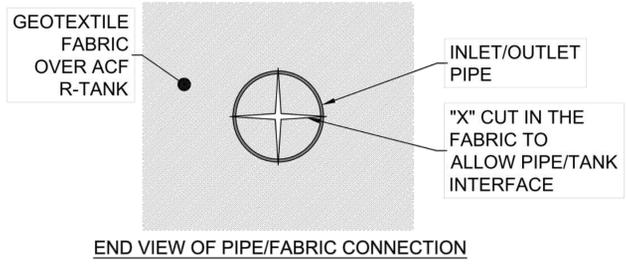


**MODULE DATA**

<b>GEOMETRY:</b>	<b>LOAD RATING:</b>
LENGTH = 28.15 IN. (715 MM)	42.9 PSI, (MODULE ONLY)
WIDTH = 15.75 IN. (400 MM)	HS25, (WITH ACF COVER SYSTEM)
HEIGHT = 9.45 IN. (240 MM)	<b>MATERIAL:</b>
TANK VOLUME = 2.42 CF	100% RECYCLED POLYPROPYLENE
STORAGE VOLUME = 2.30 CF	<b>SMALL PLATES PER</b>
VOID INTERNAL VOLUME: 95%	<b>SEGMENT/TOTAL:</b>
VOID SURFACE AREA: 90%	5/5

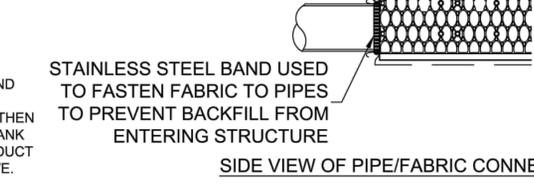
**SINGLE R-TANK<sup>SD</sup> - MODULE DETAIL**

CUT AN "X" IN THE FABRIC ENVELOPE THAT IS SLIGHTLY LARGER THAN THE PIPE. PULL THE FABRIC FLAPS AROUND THE PIPE, AND SEAL WITH A STAINLESS STEEL BAND.

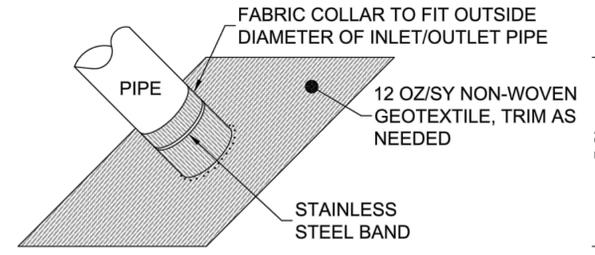


**END VIEW OF PIPE/FABRIC CONNECTION**

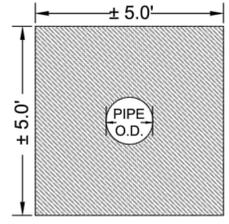
NOTE: PIPE MUST BUTT DIRECTLY AGAINST R-TANK. PIPE EFFLUENT SHALL NOT PASS THROUGH FABRIC ENVELOPE



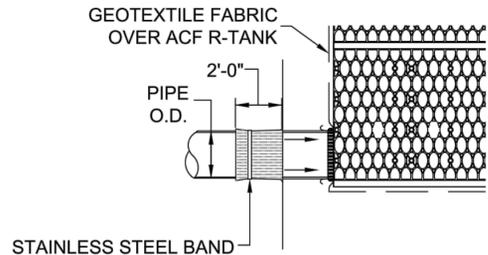
**SIDE VIEW OF PIPE/FABRIC CONNECTION**



**GEOTEXTILE BOOT**



**FRONT VIEW OF GEOTEXTILE BOOT**



**SIDE VIEW OF GEOTEXTILE BOOT**

**R-TANK<sup>SD</sup> TYPICAL TANK INLET/OUTLET W/ GEOTEXTILE PIPE BOOT DETAIL**



ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

FOR ADDITIONAL INFORMATION PLEASE CONTACT:  
 ACF ENVIRONMENTAL 1-800-448-3636  
 www.acfenvironmental.com



**R-TANK<sup>SD</sup> SYSTEM DETAILS**  
 LONGBOAT KEY HOTEL & RESIDENCES  
 LONGBOAT KEY, FL  
 SITE DESIGNATION: BASIN 3 - SOUTH SWALE  
 ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

DRAWN BY	EDQ
DATE	04/01/21
SHEET NO.	

FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	
No.	REVISIONS
10/20/21	DATE

**Kimley»Horn**  
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 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236  
 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	MAR. 2021	AS SHOWN	TEG	CLL	DLP

**R-TANK SD DETAILS**

LONGBOAT KEY HOTEL AND RESIDENCES  
 PREPARED FOR UNICORP ACQUISITIONS, LLC  
 LONGBOAT KEY, FLORIDA

SHEET NUMBER  
**B-18**

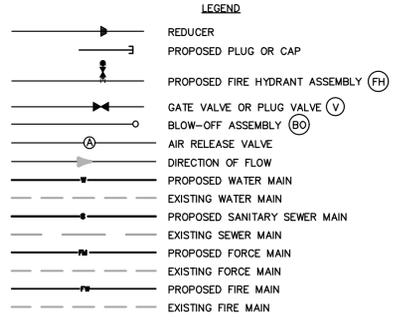
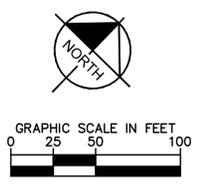
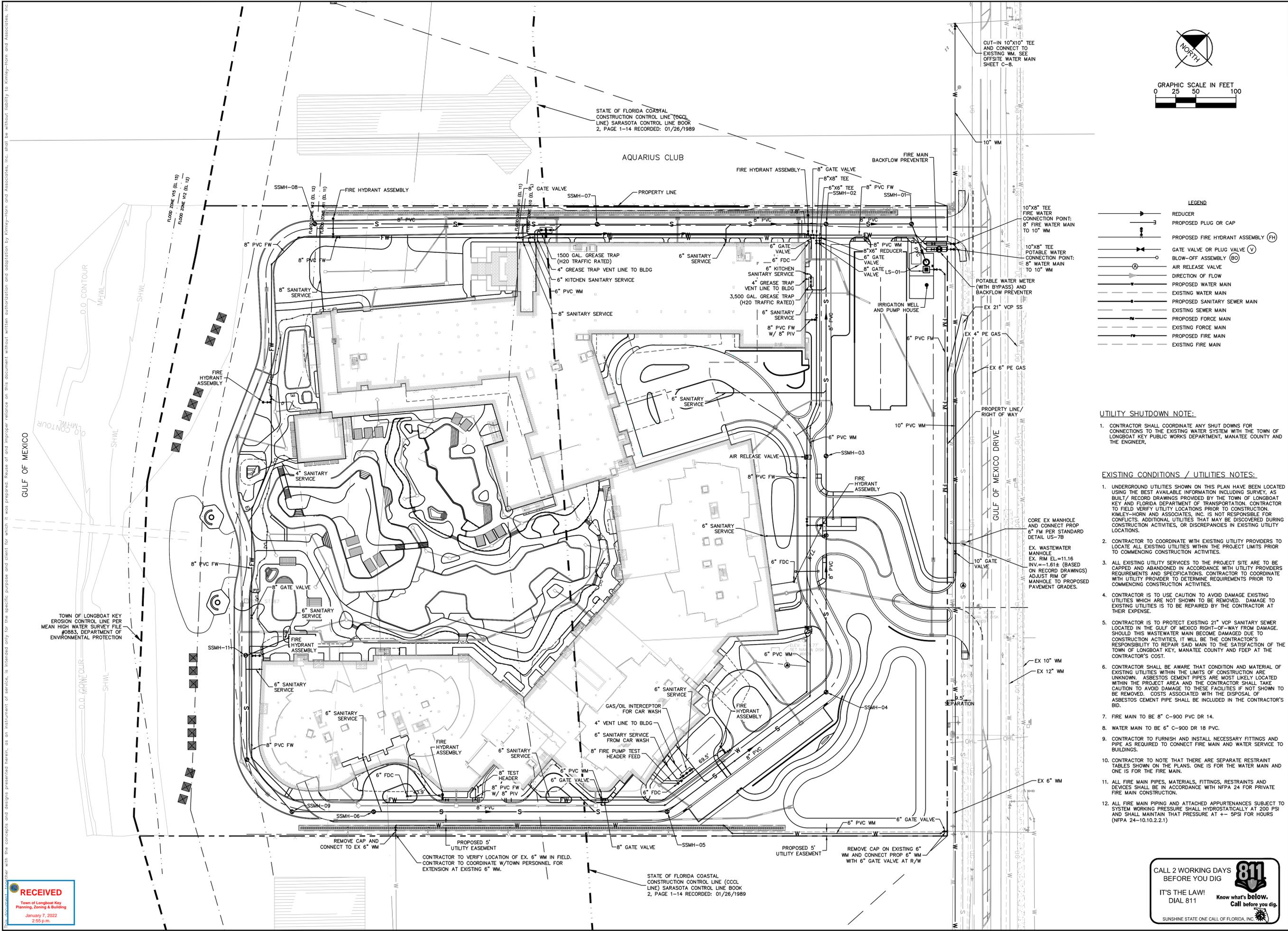








**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21  
 01/25/2022  
 Reviewer: mamold



**UTILITY SHUTDOWN NOTE:**

- CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS FOR CONNECTIONS TO THE EXISTING WATER SYSTEM WITH THE TOWN OF LONGBOAT KEY PUBLIC WORKS DEPARTMENT, MANATEE COUNTY AND THE ENGINEER.

**EXISTING CONDITIONS / UTILITIES NOTES:**

- UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED USING THE BEST AVAILABLE INFORMATION INCLUDING SURVEY, AS BUILT/ RECORD DRAWINGS PROVIDED BY THE TOWN OF LONGBOAT KEY AND FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR CONFLICTS. ADDITIONAL UTILITIES THAT MAY BE DISCOVERED DURING CONSTRUCTION ACTIVITIES, OR DISCREPANCIES IN EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO COORDINATE WITH EXISTING UTILITY PROVIDERS TO LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- ALL EXISTING UTILITY SERVICES TO THE PROJECT SITE ARE TO BE CAPPED AND ABANDONED IN ACCORDANCE WITH UTILITY PROVIDERS REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO DETERMINE REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS TO USE CAUTION TO AVOID DAMAGE EXISTING UTILITIES WHICH ARE NOT SHOWN TO BE REMOVED. DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
- CONTRACTOR IS TO PROTECT EXISTING 21" VCP SANITARY SEWER LOCATED IN THE GULF OF MEXICO RIGHT-OF-WAY FROM DAMAGE. SHOULD THIS WASTEWATER MAIN BECOME DAMAGED DUE TO CONSTRUCTION ACTIVITIES, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR SAID MAIN TO THE SATISFACTION OF THE TOWN OF LONGBOAT KEY, MANATEE COUNTY AND FDEP AT THE CONTRACTOR'S COST.
- CONTRACTOR SHALL BE AWARE THAT CONDITION AND MATERIAL OF EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION ARE UNKNOWN. ASBESTOS CEMENT PIPES ARE MOST LIKELY LOCATED WITHIN THE PROJECT AREA AND THE CONTRACTOR SHALL TAKE CAUTION TO AVOID DAMAGE TO THESE FACILITIES IF NOT SHOWN TO BE REMOVED. COSTS ASSOCIATED WITH THE DISPOSAL OF ASBESTOS CEMENT PIPE SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- FIRE MAIN TO BE 8" C-900 PVC DR 14.
- WATER MAIN TO BE 6" C-900 DR 18 PVC.
- CONTRACTOR TO FURNISH AND INSTALL NECESSARY FITTINGS AND PIPE AS REQUIRED TO CONNECT FIRE MAIN AND WATER SERVICE TO BUILDINGS.
- CONTRACTOR TO NOTE THAT THERE ARE SEPARATE RESTRAINT TABLES SHOWN ON THE PLANS. ONE IS FOR THE WATER MAIN AND ONE IS FOR THE FIRE MAIN.
- ALL FIRE MAIN PIPES, MATERIALS, FITTINGS, RESTRAINTS AND DEVICES SHALL BE IN ACCORDANCE WITH NFPA 24 FOR PRIVATE FIRE MAIN CONSTRUCTION.
- ALL FIRE MAIN PIPING AND ATTACHED APPURTENANCES SUBJECT TO SYSTEM WORKING PRESSURE SHALL HYDROSTATICALLY AT 200 PSI AND SHALL MAINTAIN THAT PRESSURE AT 4-5 PSIG FOR HOURS (NFPA 24-10.10.2.2.1)



CALL 2 WORKING DAYS BEFORE YOU DIG  
**811**  
 IT'S THE LAW!  
 DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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**Kimley-Horn**  
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 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236  
 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL  
 BRITT L. STEPHENS, P.E.  
 FLORIDA LICENSE NUMBER 71465

KHA PROJECT 149581008  
 DATE MAR. 2021  
 SCALE AS SHOWN  
 DESIGNED BY  
 DRAWN BY  
 CHECKED BY

**MASTER UTILITY PLAN**

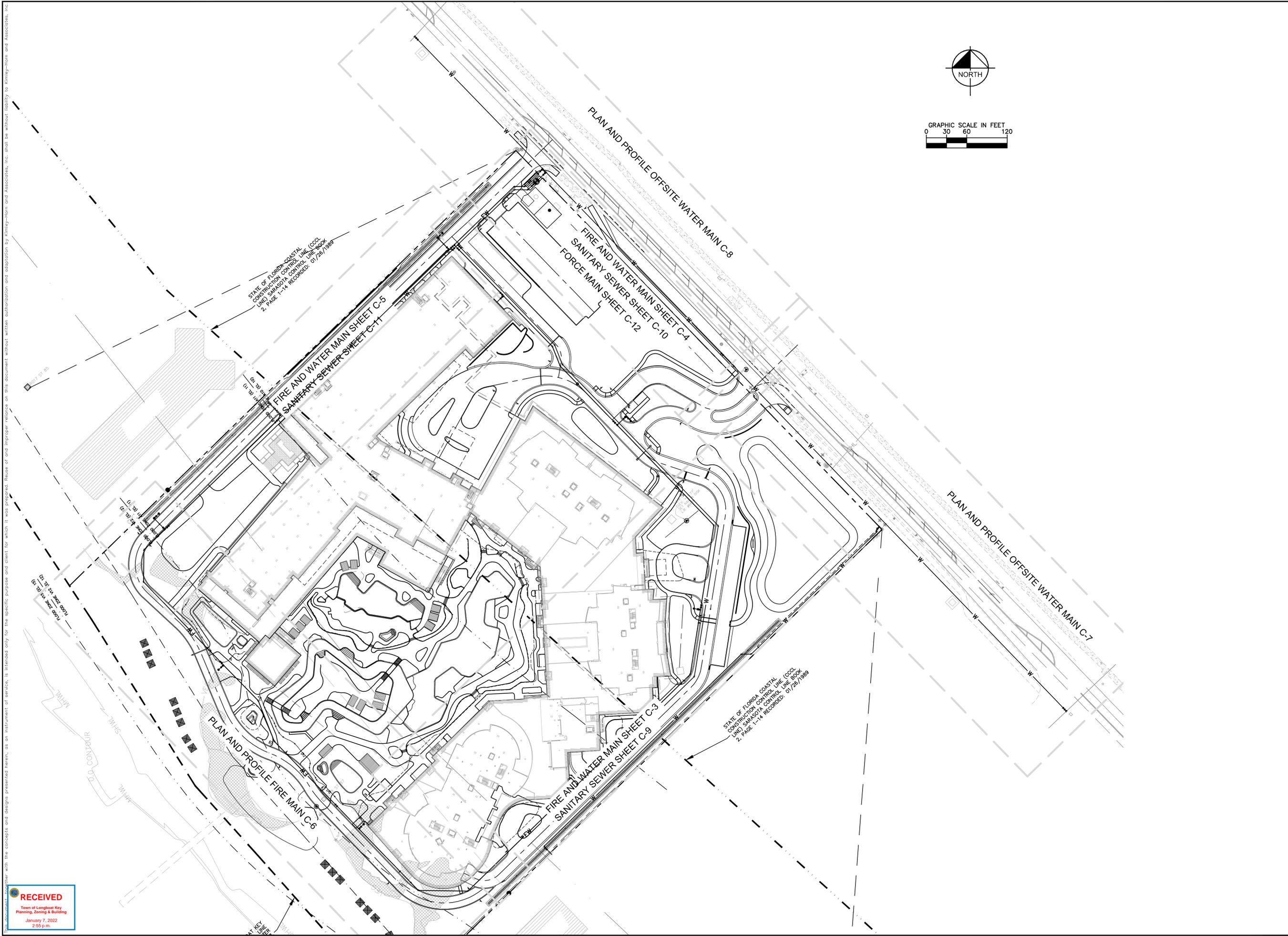
LONGBOAT KEY HOTEL AND RESIDENCES  
 PREPARED FOR UNICORP ACQUISITIONS, LLC

LONGBOAT KEY FLORIDA

SHEET NUMBER **C-1**

FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21  
 REVISIONS  
 DATE

**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21  
 01/25/2022  
 Reviewer: mamold



STATE OF FLORIDA COASTAL  
 CONSTRUCTION CONTROL LINE BOOK  
 2, PAGE 1-14 RECORDED: 01/25/1989

STATE OF FLORIDA COASTAL  
 CONSTRUCTION CONTROL LINE BOOK  
 2, PAGE 1-14 RECORDED: 01/25/1989

**RECEIVED**  
 Town of Longboat Key  
 Planning, Zoning & Building  
 January 7, 2022  
 2:55 p.m.

<b>LONGBOAT KEY HOTEL          AND RESIDENCES</b> PREPARED FOR <b>UNICORP ACQUISITIONS, LLC</b> LONGBOAT KEY, FLORIDA	<b>PROFILE INDEX PLAN</b>	KHA PROJECT 149581008	LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E. FLORIDA LICENSE NUMBER 71465	FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION
		DATE MAR. 2021	SCALE AS SHOWN	DESIGNED BY DRAWN BY CHECKED BY
SHEET NUMBER <b>C-2</b>	FINAL SITE PLAN COMPLIANCE REVIEW 10/20/21			



**APPROVED FOR ZONING**  
 Site Plan Ordinance 2021-12 and  
 Resolution 2021-21  
 01/25/2022  
 Reviewer: mamold

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ALL PROFILES MAY BE ROTATED FOR CLARITY.

SEE UTILITY DETAILS FOR SERVICE TERMINATIONS.

GRAVITY SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF MANHOLES.

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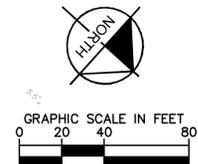
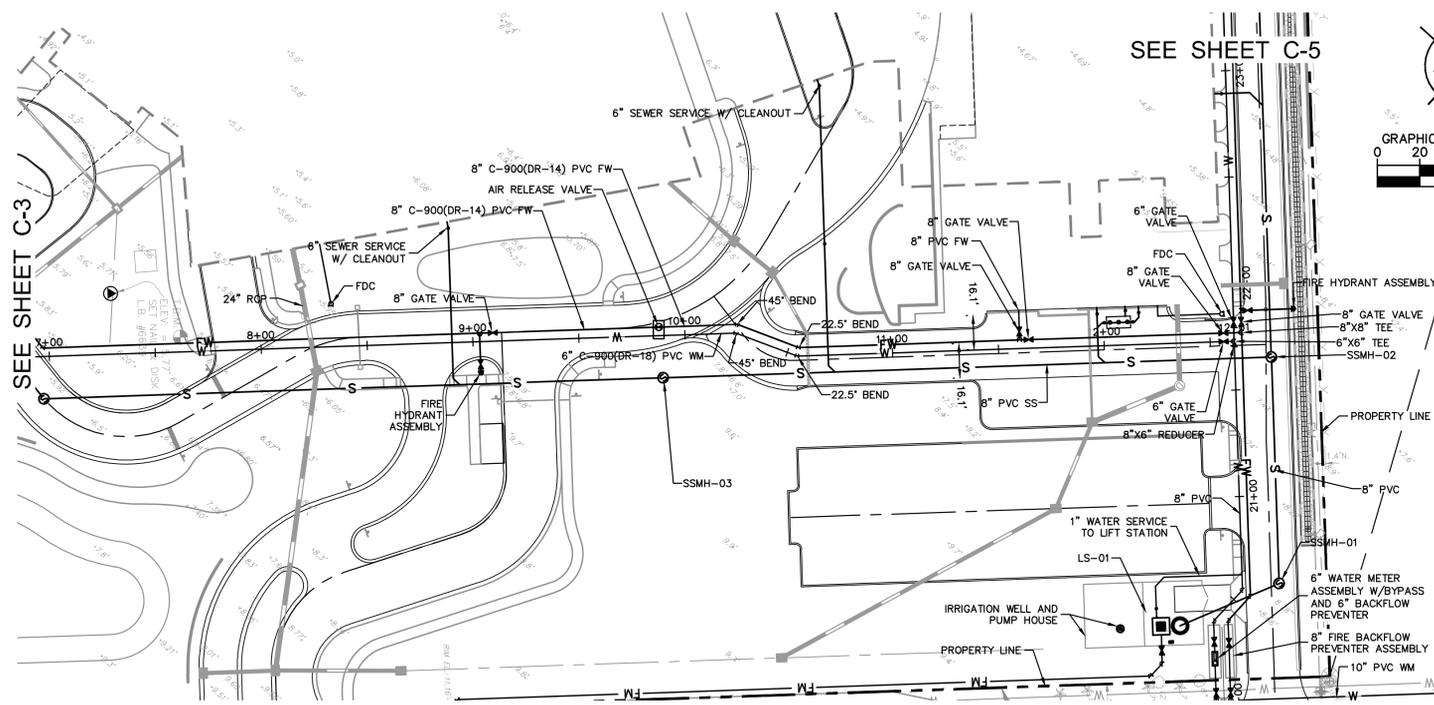
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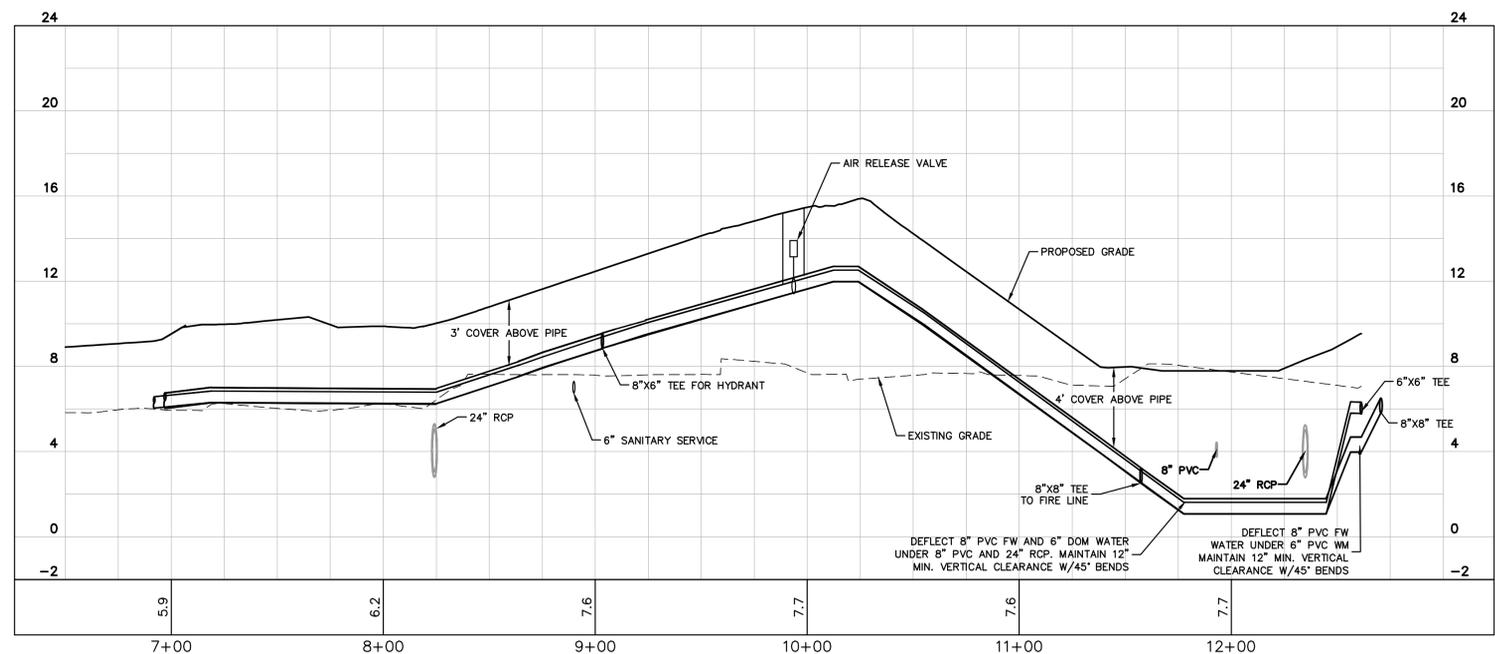
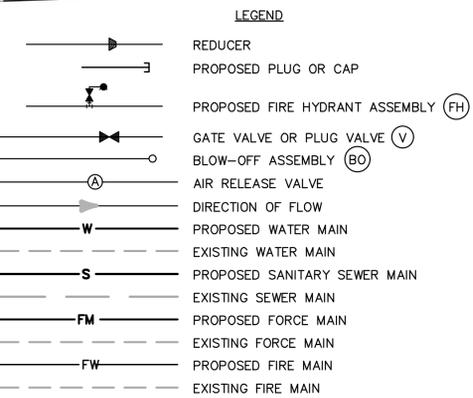
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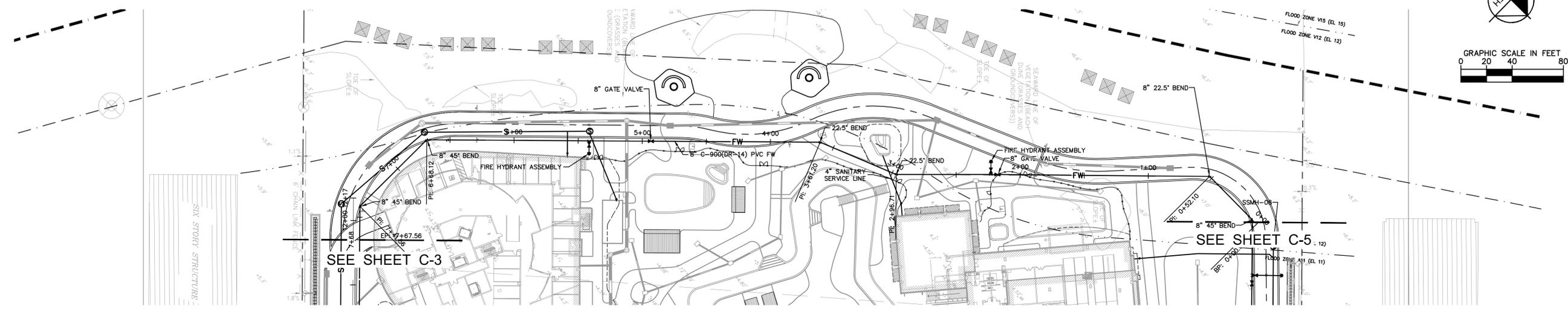
SCALE:  
 HORIZ: 1"=40'  
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<b>Kimley»Horn</b> <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.        1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236        PHONE: 941-379-7600        WWW.KIMLEY-HORN.COM CA 00000696</small>		FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	NO.	REVISIONS	DATE	BY
		FINAL SITE PLAN COMPLIANCE REVIEW	10/20/21			
LICENSED PROFESSIONAL BRITT L. STEPHENS, P.E. FLORIDA LICENSE NUMBER 71465		KHA PROJECT 149581008 DATE MAR. 2021		SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY		DATE:
<b>LONGBOAT KEY HOTEL          AND RESIDENCES          PREPARED FOR          UNICORP ACQUISITIONS, LLC</b>		<b>PLAN AND PROFILE          FIRE AND WATER          MAIN</b>		FLORIDA		LONGBOAT KEY
SHEET NUMBER <b>C-4</b>						



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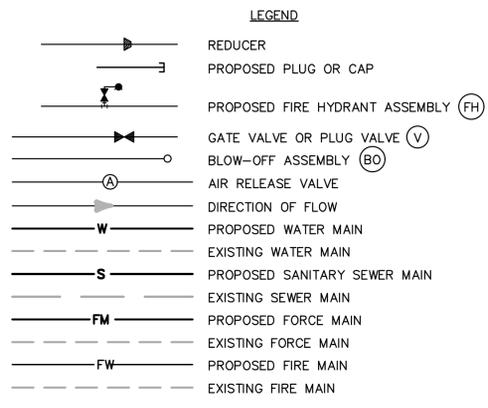
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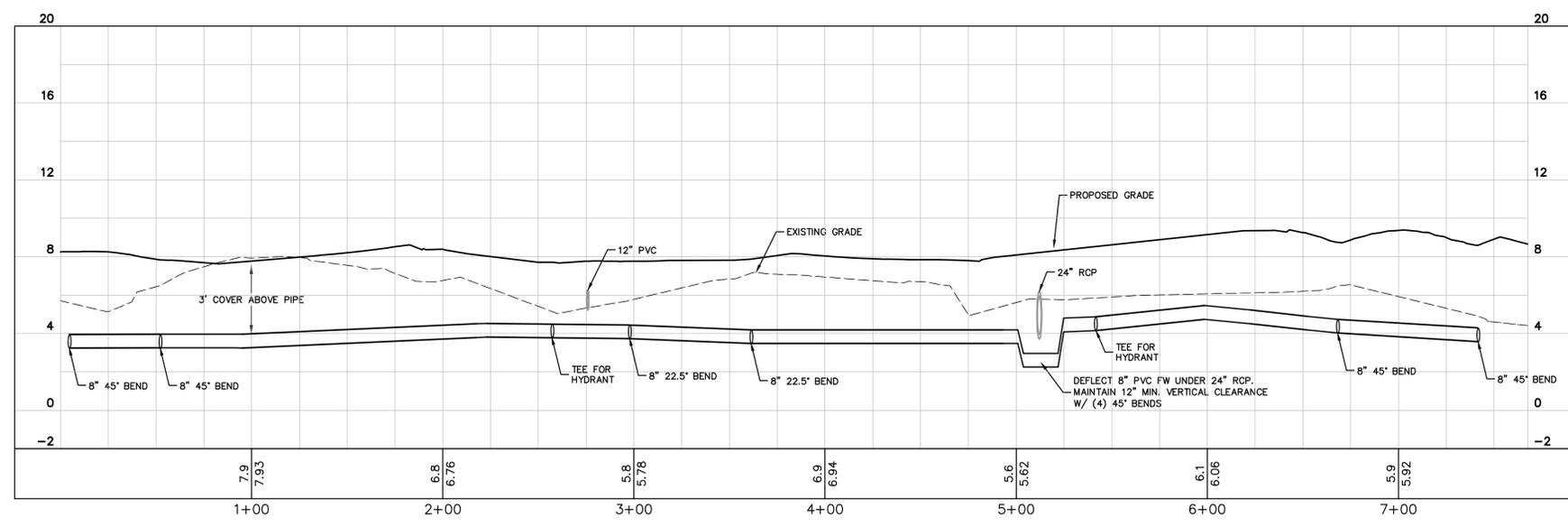
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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL	BRITT L. STEPHENS, P.E.
KHA PROJECT	149581008
DATE	MAR. 2021
SCALE	AS SHOWN
DESIGNED BY	TEG
DRAWN BY	CLL
CHECKED BY	DLP
DATE:	---

**PLAN AND PROFILE  
 FIRE MAIN**

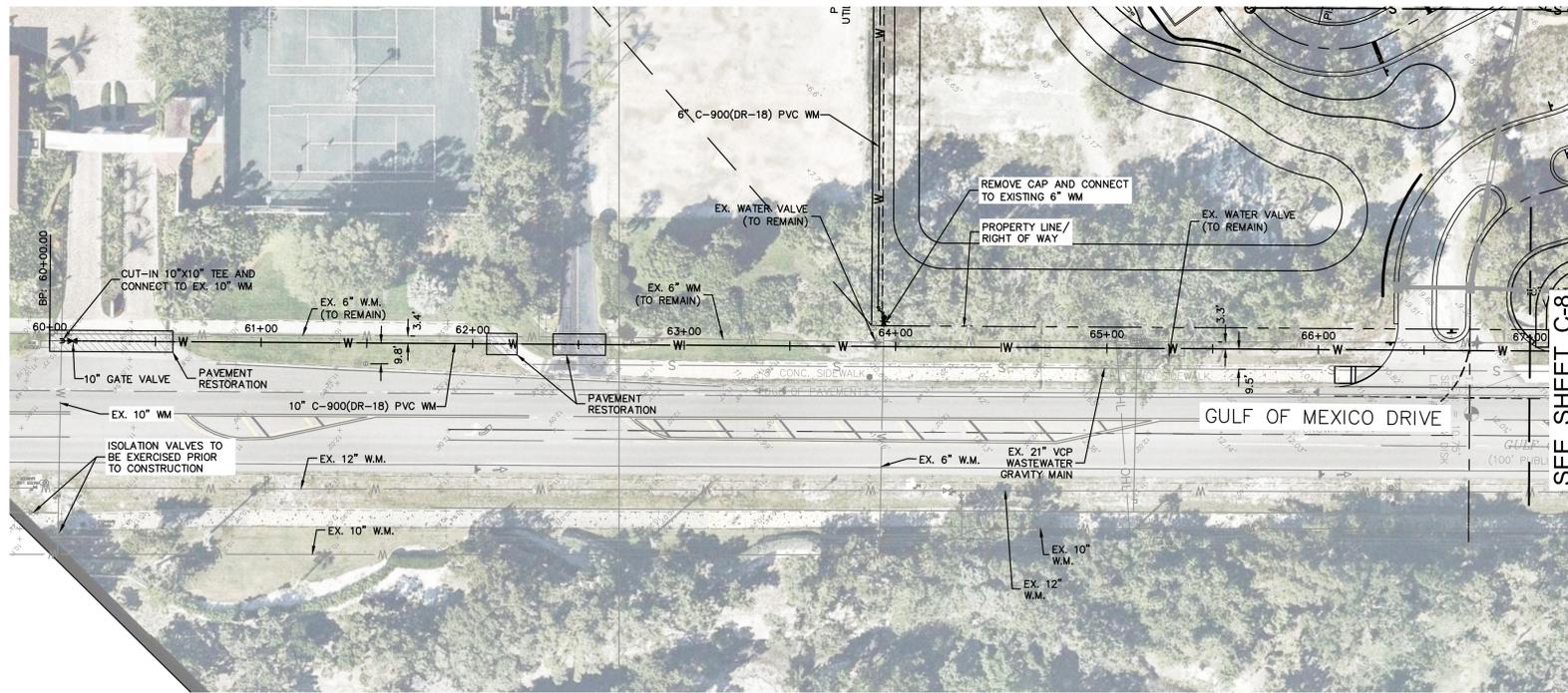
LONGBOAT KEY HOTEL  
 AND RESIDENCES  
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 UNICORP ACQUISITIONS, LLC

LONGBOAT KEY FLORIDA

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NOTE:  
 THERE IS NO GUARANTEE THAT EXISTING ISOLATION VALVES ON THE EXISTING WATER MAINS WILL NOT LEAK. THE CONTRACTOR SHALL BE PREPARED TO COLLECT, DECHLORINATE, AND DISPOSE OF LEAKAGE AS NEEDED. CONTRACTOR SHALL BE PREPARED TO TEMPORARILY PLUG AND/OR PROVIDE A LINE STOP.

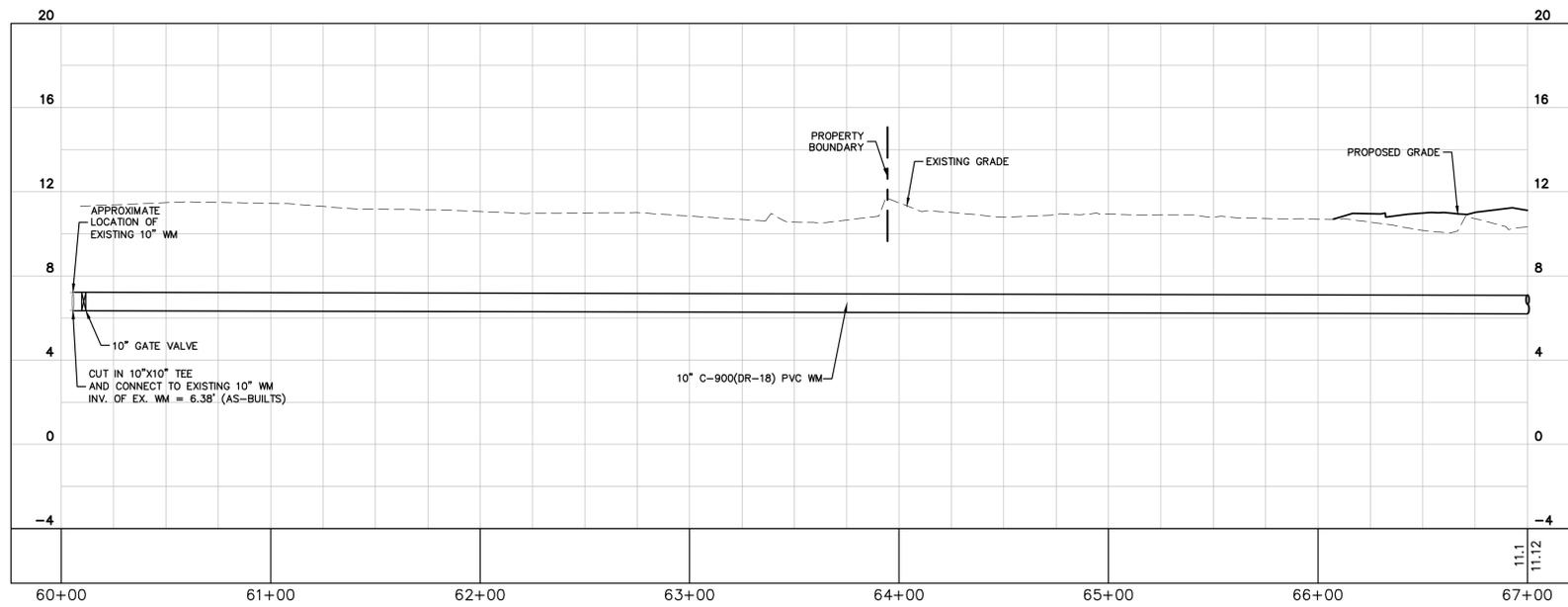
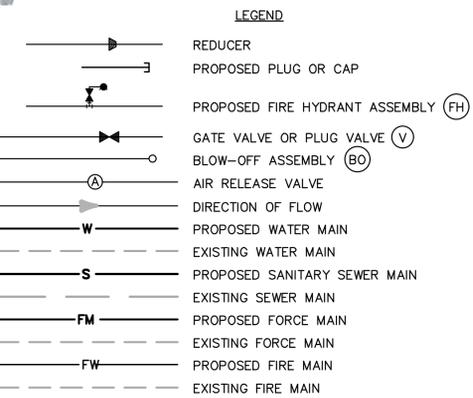


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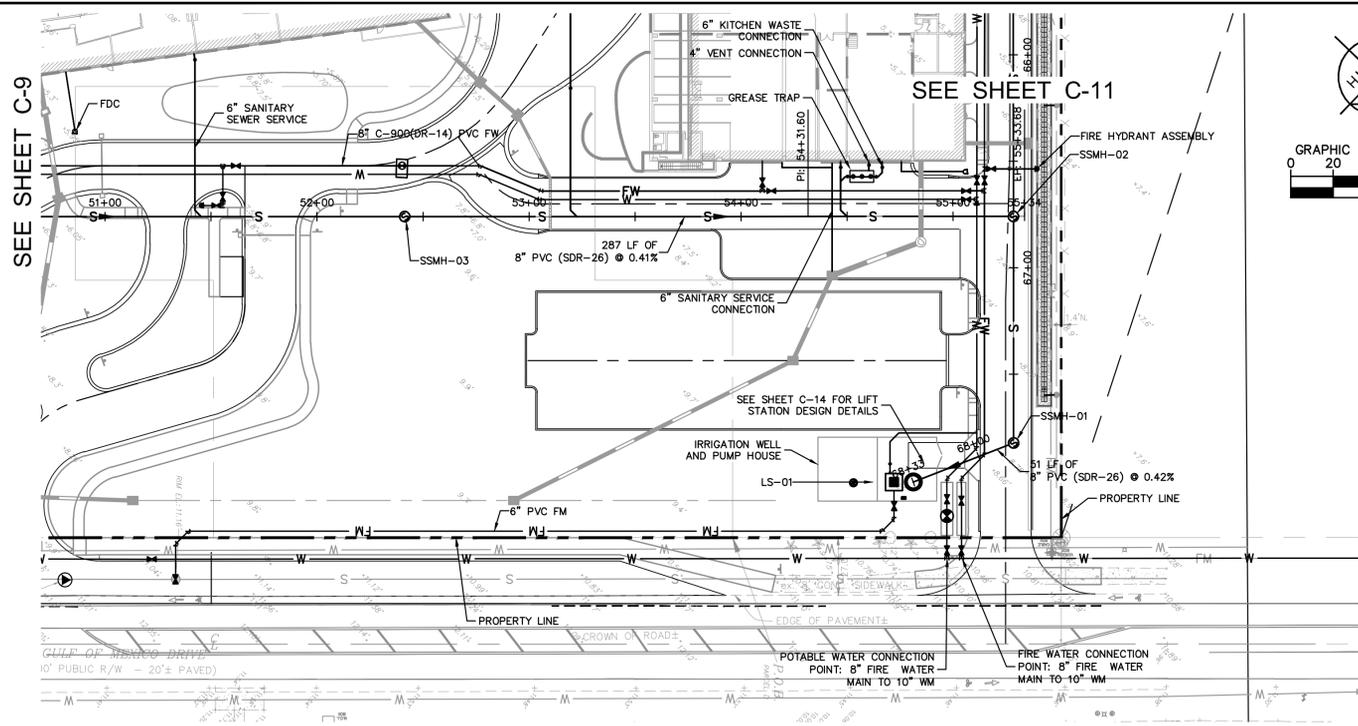
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KHA PROJECT 149581008		DATE: MAR. 2021	
LONGBOAT KEY HOTEL AND RESIDENCES PREPARED FOR UNICORP ACQUISITIONS, LLC		FLORIDA LONGBOAT KEY	
SHEET NUMBER <b>C-7</b>		FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION	
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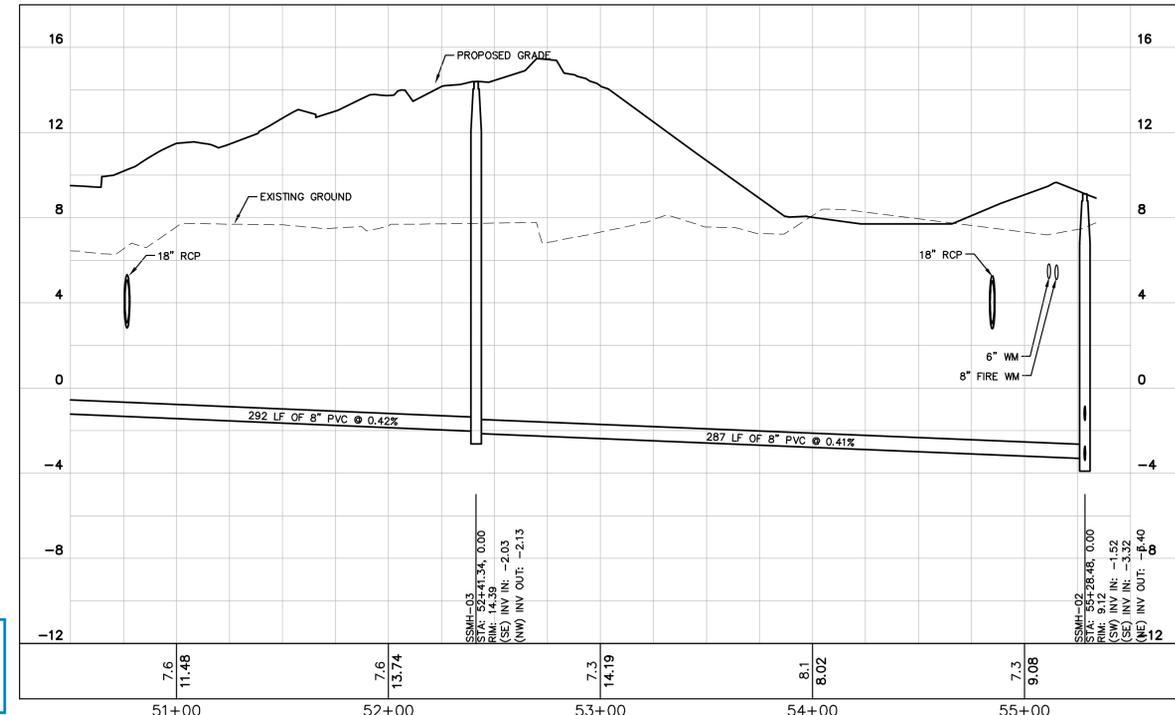
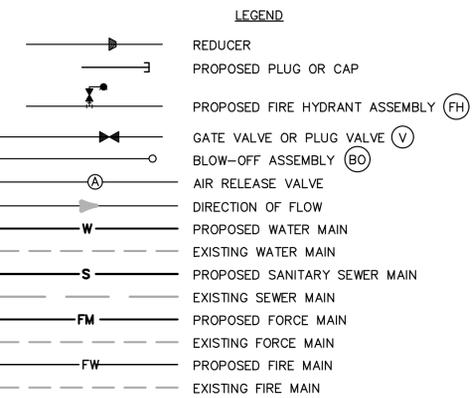
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1	FINAL SITE PLAN COMPLIANCE REVIEW	10/20/21	

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 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL	BRITT L. STEPHENS, P.E.
FLORIDA LICENSE NUMBER	71465
DATE:	

**PLAN AND PROFILE  
 SANITARY SEWER**

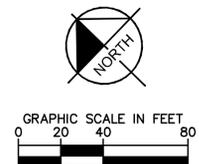
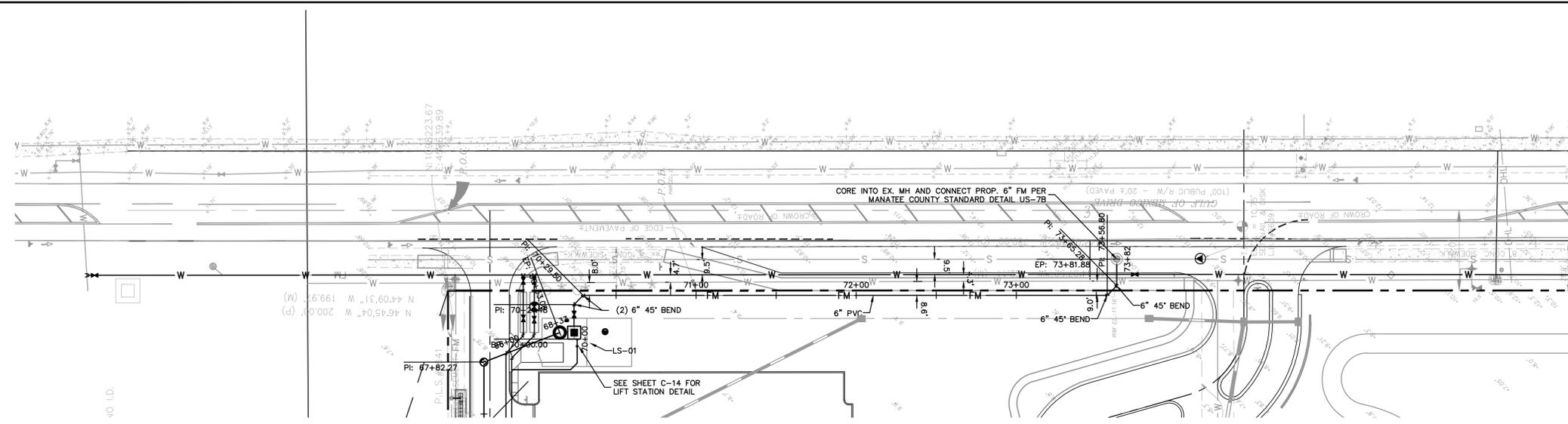
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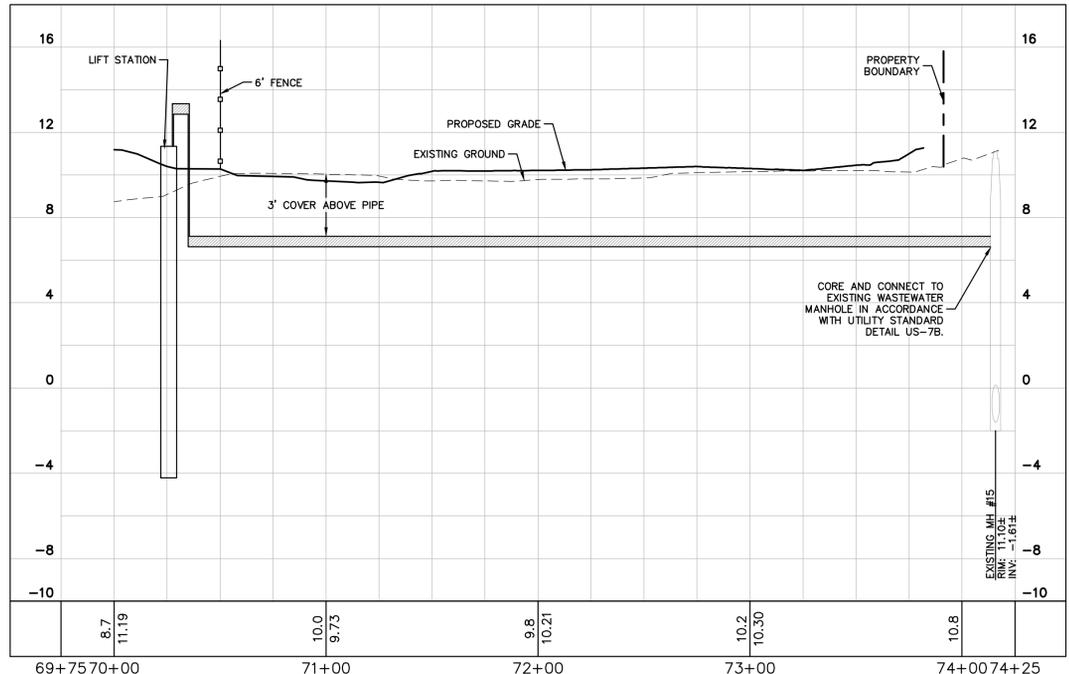
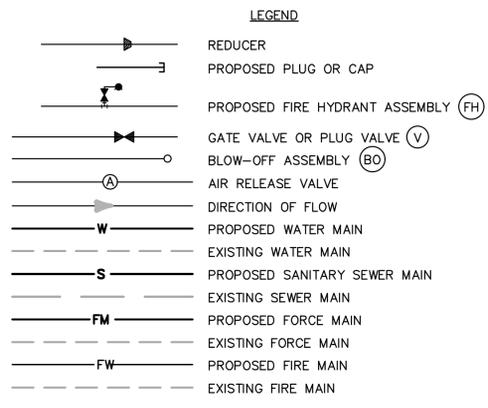
NOTE: THE FORCE MAIN CONNECTION REQUIRES CONNECTION MANHOLE AND NEXT TWO DOWNSTREAM MANHOLES TO BE COMPLETELY LINED WITH AN APPROVED LINER PER MANATEE COUNTY DETAIL US7B.  
 CLOSEST DOWNSTREAM MH (NORTH): 564 LF  
 NEXT DOWNSTREAM MH (NORTH): 1146 LF  
 M.O.T. PLAN TO BE PROVIDED BY THE CONTRACTOR FOR LINING ACTIVITIES.

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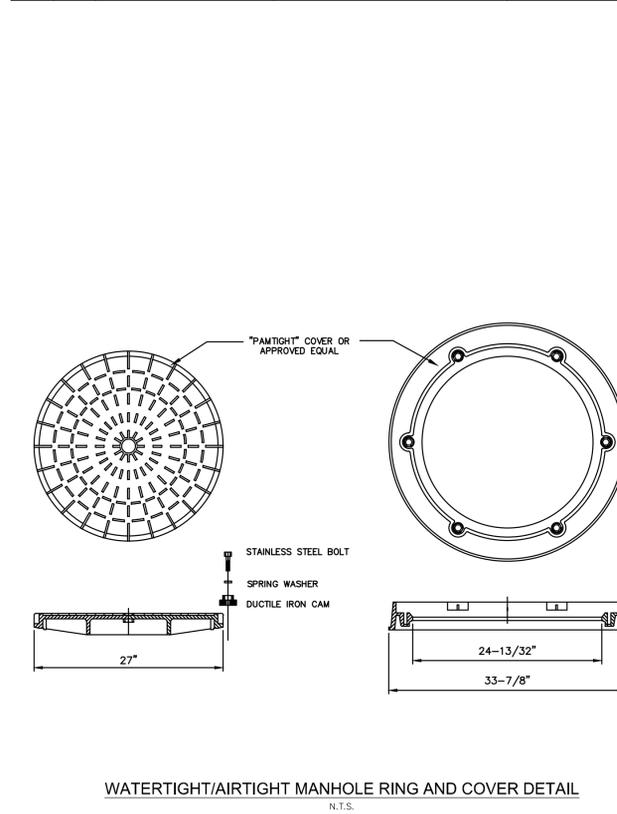
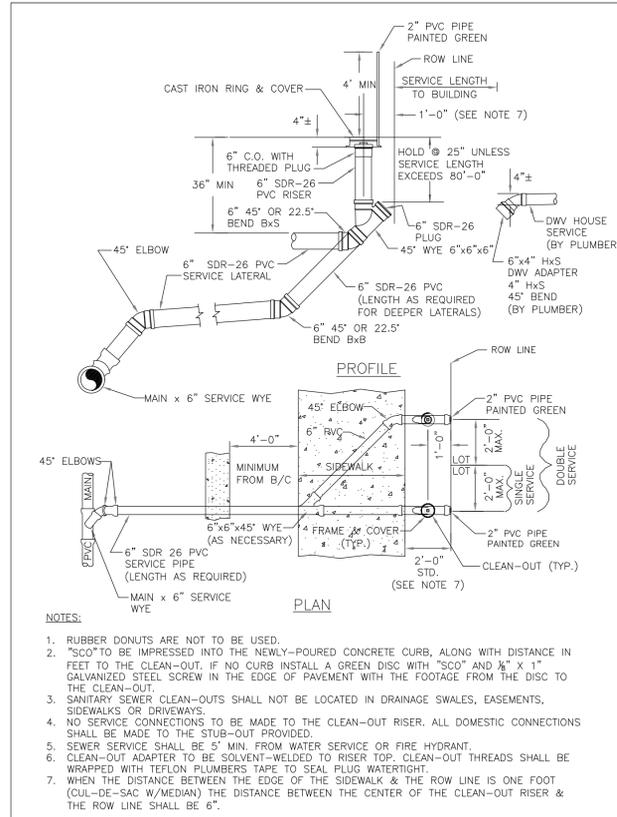
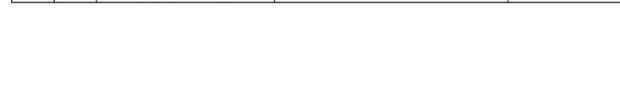
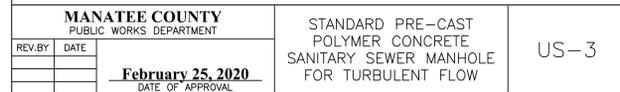
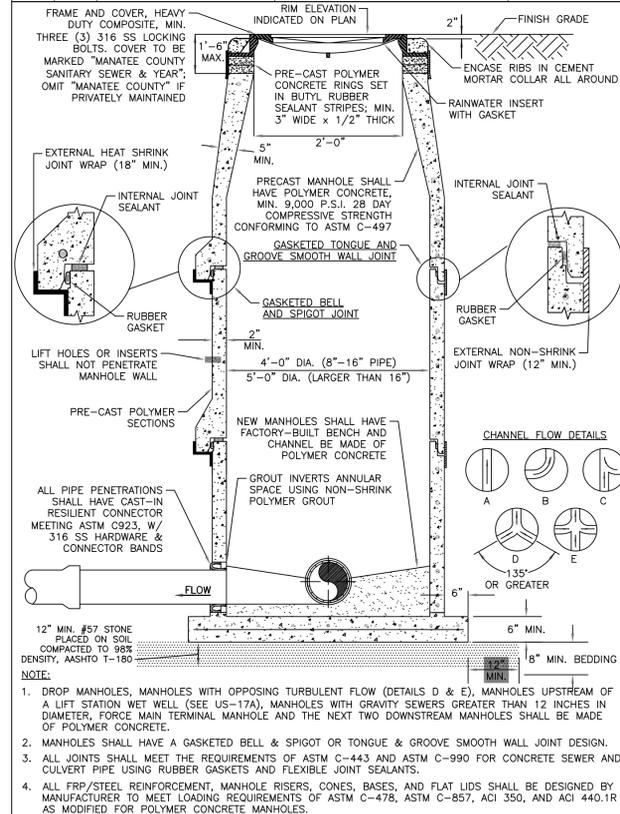
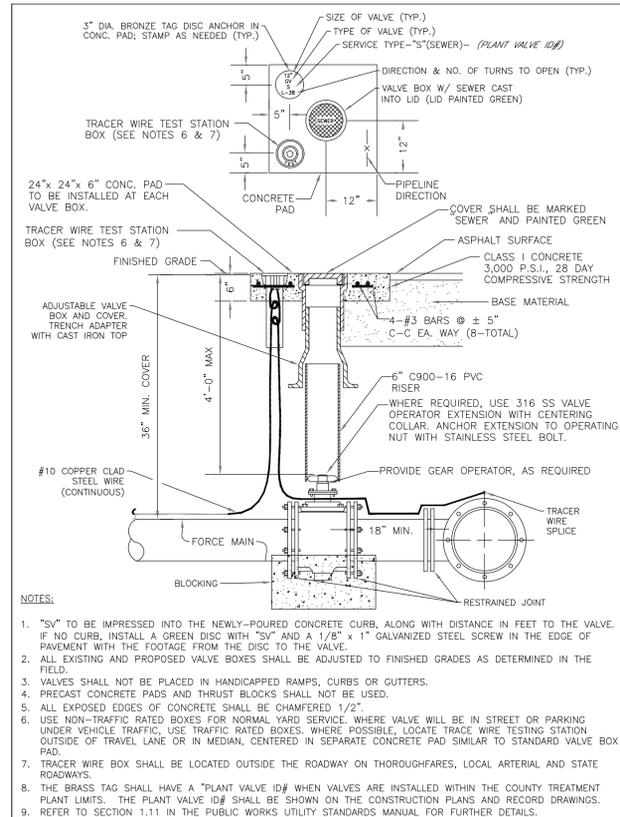
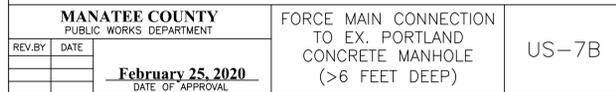
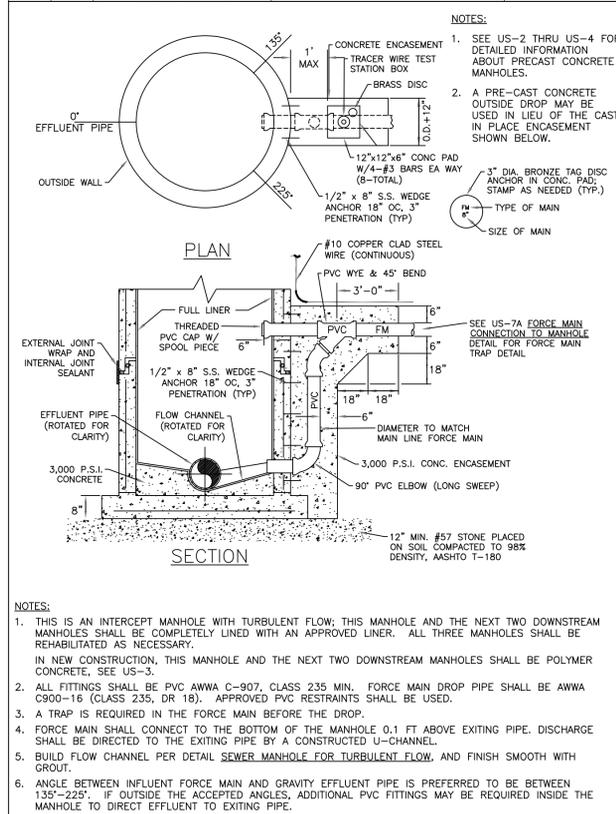
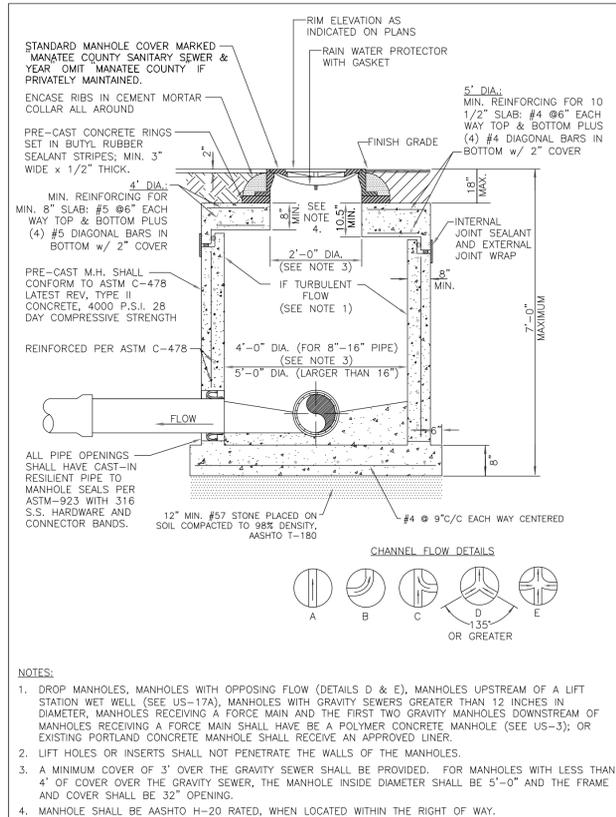
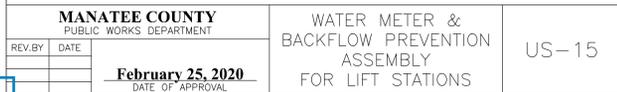
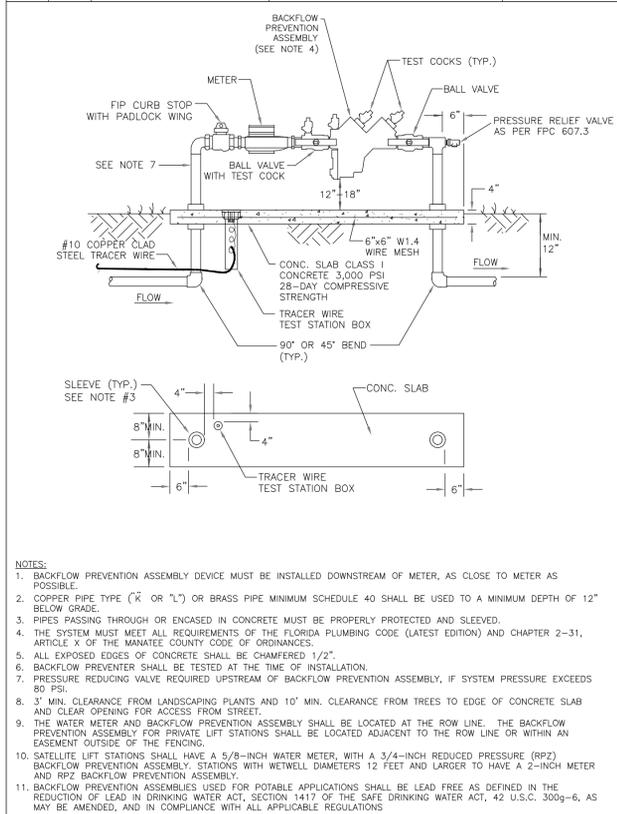
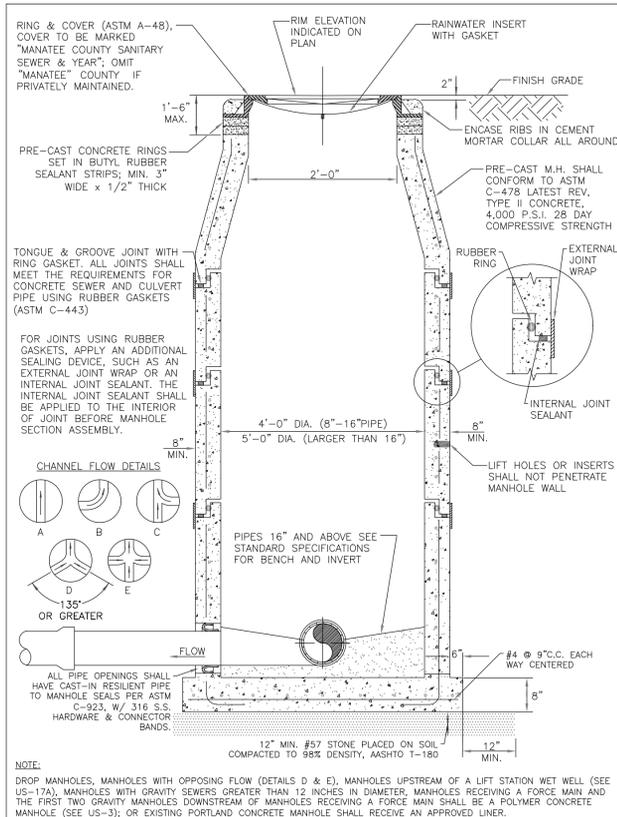
**PLAN AND PROFILE  
FORCE MAIN**

LONGBOAT KEY HOTEL  
AND RESIDENCES  
PREPARED FOR  
UNICORP ACQUISITIONS, LLC

FLORIDA  
LONGBOAT KEY

SHEET NUMBER  
**C-12**

Plotted By: hanks, Matt. Sheet Set: Colony Boat Key Hotel and Residences. Location: C-13 SANITARY SEWER DETAILS. L:\proj\149581008\_colonyboat\_key\CAD\plan\sheet\C-13\_SANITARY\_SEWER\_DETAILS.dwg  
 Date: 1/7/2022 2:55 p.m.  
 Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NO.	REVISIONS	DATE
10/20/21	FINAL SITE PLAN COMPLIANCE REVIEW	

**Kimley-Horn**

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 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236  
 PHONE: 941-379-7600  
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL

BRITT L. STEPHENS, P.E.  
 FLORIDA LICENSE NUMBER 71465

KHA PROJECT

DATE: MAR. 2021  
 SCALE: AS SHOWN  
 DESIGNED BY: [blank]  
 DRAWN BY: [blank]  
 CHECKED BY: [blank]

**SANITARY SEWER DETAILS**

LONGBOAT KEY HOTEL AND RESIDENCES  
 PREPARED FOR UNICORP ACQUISITIONS, LLC

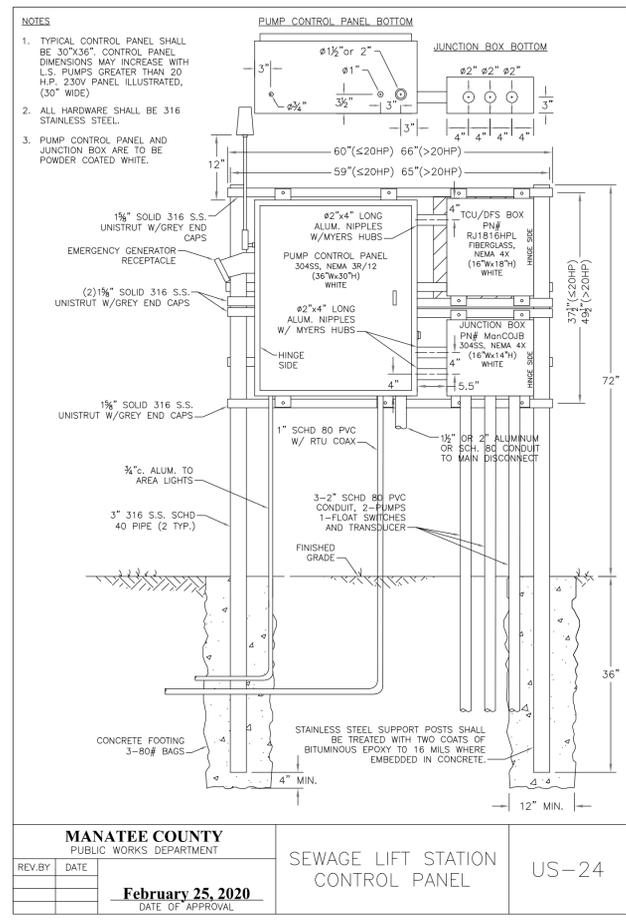
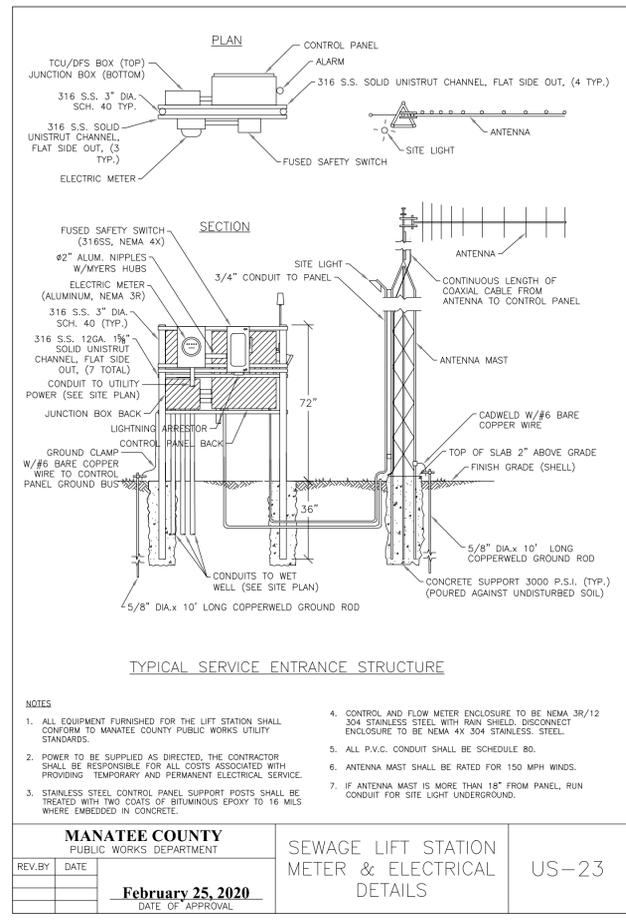
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<b>LONGBOAT KEY HOTEL AND RESIDENCES</b> PREPARED FOR UNICORP ACQUISITIONS, LLC	<b>LIFT STATION ELECTRICAL DETAILS</b>	<b>FOR PERMIT REVIEW ONLY</b> NOT FOR CONSTRUCTION
LONGBOAT KEY FLORIDA	KHA PROJECT	LICENSED PROFESSIONAL
SHEET NUMBER <b>C-17</b>	DATE MAR. 2021	BRITT L. STEPHENS, P.E.
	SCALE AS SHOWN	1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 00000696
	DESIGNED BY TEG	FLORIDA LICENSE NUMBER 71465
	DRAWN BY CLL	DATE: _____
	CHECKED BY DLP	REVISIONS
		No. _____
		DATE 10/20/21
		BY