

WALTER RESIDENCE @ BEACHES OF LONGBOAT KEY

PERMITTING & CONSTRUCTION DOCUMENTS

MECHANICAL, ELECTRICAL,
AND PLUMBING REVIEWS
WILL BE DEFERRED TO
FIELD INSPECTORS

Permit # PB24-1109
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

OCT 04 2024

APPROVED
Reviewer: [Signature]

RECEIVED

SEP 24 2024
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

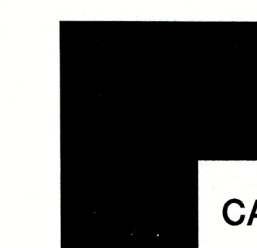
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20 SEPTEMBER 2024

DIVISION 1: GENERAL REQUIREMENTS

1.1. BY REFERENCE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, LATEST EDITION, IS HEREBY MADE PART OF THESE SPECIFICATIONS EXCEPT AS HEREIN MODIFIED.

1.2. THESE PLANS ARE THE PROPERTY OF C. ALAN ANDERSON ARCHITECTS, INC. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCALE, WITHOUT WRITTEN PERMISSION OF C. ALAN ANDERSON ARCHITECTS, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED APPROVAL OF C. ALAN ANDERSON ARCHITECTS, INC., OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT FOR ANY REASON, BY ANY PERSON OTHER THAN C. ALAN ANDERSON ARCHITECTS, INC., SHALL THEREBY ABSOLVELY ALAN ANDERSON ARCHITECTS, INC., FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

1.3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS. DIMENSIONS SHALL BE FIGURES RATHER THAN DETERMINED BY SCALE OR RULE. IN THE EVENT OF A CONFLICT OR INCONSISTENCY AMONG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE CODES, THE CONTRACTOR SHALL PROVIDE THE GREATEST QUANTITY, LARGEST DEGREE OF SAFETY, HIGHEST QUALITY OR MOST STRINGENT MATERIAL OR WORK.

1.4. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY ACQUAINT HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS CONCERNING OTHER TRADES AND SUBCONTRACTS AND SHALL COORDINATE ALL SUBCONTRACTORS TO INSURE PROPER SEQUENCING OF WORK AND SCHEDULING OF TRADES TO AVOID CONFLICT WITH HIS WORK.

1.5. SUBMIT SHOP DRAWINGS ON ALL PRODUCTS TO BE INSTALLED ON THE PROJECT FOR REVIEW BY THE ARCHITECT. CONTRACTOR SHALL MAINTAIN ONE SET OF SHOP DRAWING TO BE TURNED OVER TO THE OWNER AT THE END OF THE PROJECT ALONG WITH THE CONTRACTORS WARRANTY BOOKLET, PRODUCT DATA AND AS-BUILT DRAWINGS.

1.6. THE DRAWINGS ARE SCHEMATIC IN NATURE AND REPRESENT BASIC REQUIREMENTS NECESSARY TO PROPERLY CONSTRUCT THE PROJECT. CONTRACTOR SHALL INSPECT AND VERIFY THE SCOPE OF WORK. ANY ADDITIONAL WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS BUT YET APPARENT TO FIELD INSPECTION OR NECESSARY TO SATISFY APPLICABLE CODES IN ORDER TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE CONSIDERED AS PART OF THIS CONTRACT. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS.

1.7. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

1.8. NO INSTRUCTIONS, REVISIONS, ADDITIONS, DELETIONS, SPECIFICATIONS OR DETAILS OTHER THAN THE INFORMATION CONTAINED HEREIN SHALL GOVERN THE PROJECT UNLESS THEY ARE IN WRITING AND APPROVED BY THE ARCHITECT, OWNER AND CONTRACTOR IN THE FORM OF A CHANGE ORDER, OR OTHER APPROVED MEANS.

1.9. SUBSTITUTION OF MATERIALS AND METHODS MUST BE SUBMITTED TO THE ARCHITECT AND APPROVED IN WRITING. THE FINAL DECISION AS TO THE EQUALITY OF ANY ITEM SPECIFIED SHALL REST WITH THE ARCHITECT. THE CONTRACTOR SHALL SUBMIT COMPLETE PRODUCT DATA, SHOP DRAWINGS AND RELATIVE COSTS OF SUBSTITUTE ITEMS TO ARCHITECT FOR HIS REVIEW.

1.10. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL WARRANT ALL WORK FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR. HE SHALL COMPILE A COPY OF ALL PRODUCT INFORMATION AND MANUFACTURES WARRANTIES INTO A SINGLE BOOK TO BE TURNED OVER TO THE OWNER AT THE END OF THE PROJECT. CONTRACTOR SHALL INCLUDE LIST OF ALL SUBCONTRACTORS, CONTACTS AND PHONE NUMBERS.

1.11. ALL PRODUCT AND MATERIAL INSTALLATIONS SHALL MEET OR EXCEED MANUFACTURERS' RECOMMENDED STANDARDS AND SHALL BE EFFECTIVELY WARRANTED TO OWNER.

1.12. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE LABOR LAWS OF THE STATE OF THE PROJECT'S LOCATION AND WITH ALL OTHER APPLICABLE ORDINANCES, CODES, AND LEGAL REQUIREMENTS BY STATE OR LOCAL AUTHORITIES AS THEY MAY APPLY TO THE PROJECT.

1.13. IN CASE OF DISCREPANCY CONCERNING DIMENSION, QUANTITY, LOCATION, GRAPHIC DRAWINGS WILL TAKE PRECEDENCE OVER THE SPECIFICATIONS. EXPLANATORY NOTES ON THE DRAWINGS WILL TAKE PRECEDENCE OVER CONFLICTING DRAWING INDICATIONS. LARGE SCALE DETAILS WILL TAKE PRECEDENCE OVER MEASUREMENTS. WHERE FIGURES ARE NOT SHOWN, MEASUREMENTS WILL IN ALL CASES BE VERIFIED BY THE ACTUAL CONDITIONS OF WORK ALREADY IN PLACE AND CONFIRMED BY THE ARCHITECT. IN CASE OF DISCREPANCY CONCERNING QUALITY AND/OR QUANTITY WITHIN THE DOCUMENTS, THE CONTRACTOR SHALL INCLUDE THE BETTER QUALITY AND/OR THE GREATER QUANTITY UNLESS OTHERWISE DETERMINED IN WRITING BY THE ARCHITECT.

1.14. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A COMPETENT SUPERVISOR ON THE PROJECT WHENEVER WORK IS BEING PERFORMED.

1.15. THE CONTRACTOR SHALL GIVE 24 HOUR NOTICE TO THE ARCHITECT WHEN HIS PRESENCE IS REQUESTED FOR SPECIAL CONSULTATIONS, EXAMINATIONS OR DECISIONS.

1.16. CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE INSTALLED BY OTHERS INSOFAR AS IT APPLIES TO HIS WORK, AND SHALL PROMPTLY NOTIFY THE CONTRACTOR AND ARCHITECT IF ANY CONDITION EXISTS THAT WILL PREVENT HIM FROM PRODUCING SATISFACTORY AND ACCEPTABLE RESULTS IN HIS WORK. SHOULD WORK BE STARTED WITHOUT SUCH NOTIFICATION, IT SHALL PLACE UPON HIM THE RESPONSIBILITY FOR REPLACING ANY OF HIS WORK AND THE WORK OF OTHERS THAT MAY BE NECESSARY TO BE REMOVED IN ORDER TO PRODUCE SATISFACTORY AND ACCEPTABLE CONDITIONS.

1.17. ITEMS, MATERIALS OR EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS AS FURNISHED BY THE OWNER AND INSTALLED BY CONTRACTOR SHALL BE UNLOADED, UNCRATED, ASSEMBLED, INSTALLED AND CONNECTED BY THE CONTRACTOR AND SHALL BE COMPLETE AND PLACED IN OPERATING ORDER. THE OWNER SHALL FURNISH THE CONTRACTOR ALL INFORMATION THE CONTRACTOR MAY REQUIRE TO PROPERLY COMPLETE THE ABOVE-MENTIONED OBLIGATIONS.

1.18. THE CONTRACTOR SHALL SOLICIT NOT LESS THAN THREE (3) BIDS FOR ANY ITEM (S) WHOSE COST IS PROVIDED FOR BY A SPECIFIED ALLOWANCE SUM IF SO DIRECTED BY THE ARCHITECT, AND SHALL THEN PURCHASE THE ITEM(S) FROM ONE OF THE THREE BIDDERS AS DIRECTED BY THE ARCHITECT OR OWNER. CONTRACTOR SHALL BE REIMBURSED BY OR SHALL REIMBURSE THE OWNER THE AMOUNT OVER OR UNDER THE ALLOWANCE AMOUNT.

1.19. TESTING AND INSPECTIONS REQUIRED TO ESTABLISH COMPLIANCE WITH THE CONTRACT DOCUMENTS SHALL BE MADE BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE ARCHITECT AND PAID FOR BY THE CONTRACTOR AS PART OF BASE BID. WHEN THE INITIAL TESTS INDICATE NONCOMPLIANCE WITH THE CONTRACT DOCUMENTS, ANY SUBSEQUENT REQUIRED RETESTING OCCASIONED THUSLY SHALL BE PERFORMED BY THE SAME AGENCY AND THE COST THEREOF PAID BY THE CONTRACTOR.

1.20. BEFORE ORDERING MATERIALS OR STARTING ANY WORK, THE CONTRACTOR SHALL IN ALL CASES VERIFY MEASUREMENTS AT THE SITE OR PREMISES AND CHECK SAME AGAINST DRAWINGS.

DIVISION 2: SITE WORK

2.1. CONTRACTOR SHALL UTILIZE A PROFESSIONAL LAND SURVEYOR FOR BUILDING LAYOUT AND FLOOR ELEVATION/GRADE BEAM CERTIFICATION FOR FLOOD INSURANCE COMPLIANCE IF APPLICABLE, OR AS REQUIRED BY LOCAL MUNICIPALITY AND STATE CERTIFICATION REQUIREMENTS.

2.2. CONTRACTOR SHALL COORDINATE AND VERIFY SIZES AND LOCATIONS OF ALL UTILITY CONNECTIONS WITH RESPECTIVE AGENCIES.

2.3. PLACE AND COMPACT FILL IN LAYERS NOT TO EXCEED 8". BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL, UNLESS OTHERWISE NOTED. ALL COMPACTION SHALL BE TO 98% MODIFIED PROCTOR DENSITY.

2.4. REMOVE AND DISPOSE OF EXCESS EXCAVATED MATERIAL, TRASH AND DEBRIS IN A LEGAL MANNER.

2.5. POISON SOIL AGAINST TERMITES BENEATH ALL CONCRETE SLABS PRIOR TO PLACING VAPOR BARRIER. PROVIDE FIVE (5) YEAR TERMITE GUARANTEE.

2.6. PROVIDE AND INSTALL A COMPLETE AUTOMATIC IRRIGATION SYSTEM AT ALL SODDEN AND LANDSCAPED AREAS. IRRIGATION CONTRACTOR SHALL SUBMIT A LAYOUT COVERAGE PLAN TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE THIS COST TO THE OWNER AS AN ALTERNATE OPTION UNLESS REQUIRED BY LOCAL ORDINANCE.

2.7. SUBGRADE PREPARATION SHALL INCLUDE STRIPPING AND GRUBBING OF SUPERFICIAL VEGETATION, FOLLOWED BY COMPACTION OF THE BUILDING AREA PLUS A MARGIN OF 5'-0" WITH A VIBRATORY ROLLER WITH A MINIMUM OF 2 OVERLAPPING PASSES IN EACH DIRECTION. THE OPERATION OF VIBRATORY ROLLER SHALL BE CLOSELY MONITORED TO AVOID TRANSMISSION OF EXCESSIVE VIBRATIONS TO ANY EXISTING NEARBY BUILDINGS THAT COULD CAUSE SETTLEMENT DAMAGE.

2.8. GRADE GROUND SURFACE TO CONFORM TO ADJACENT CONTOURS AND TO PROVIDE FOR ADEQUATE CONTROL AND DRAINAGE OF WATER RUNOFF. SLOPE ALL EXTERIOR GRADES AWAY FROM BUILDING.

DIVISION 3: CONCRETE

3.1. COMPLY WITH ALL APPLICABLE ACI STANDARDS AND SPECIFICATIONS.

3.2. ALL SLABS ON GRADE SHALL BE 4" CONCRETE WITH SMOOTH TROWEL FINISH UNLESS NOTED OTHERWISE.

3.3. CONCRETE SLAB AREAS TO RECEIVE CARPET OR FLOORING SHALL BE CLEAN AND FREE OF DUST AND SEALED WITH A SUITABLE CONCRETE SEALER PRIOR TO INSTALLATION OF FINISH.

3.4. ALL STRUCTURAL CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS WITH MAXIMUM SLUMP OF 4". CEMENT TO MEET ASTM C-150, TYPE 1 AGGREGATE TO MEET ASTM C-33 UNLESS NOTED OTHERWISE.

3.5. VAPOR BARRIER SHALL BE 6 MIL. POLYETHYLENE, ALL JOINTS 6" LAPPED AND TAPED.

3.6. WELDED WIRE FABRIC SHALL BE 6 X 6 - 10/10 W/ SAWCUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.

3.7. STEEL REINFORCEMENT SHALL BE GRADE 60 AND CONFORM WITH ASTM A-615.

3.8. FORMWORK DESIGN AND FABRICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ACI 347.

3.9. ALL CONCRETE SLAB PENETRATIONS SHALL BE SEALED WITH EXPANSIVE SETTING COMPOUND, PROVIDE FIRE STOPPING AT ALL FLOOR TO FLOOR PENETRATION WHERE FIRE RESISTANT RATINGS ARE INDICATED.

3.10. ALL SAWN CONTROL JOINTS SHALL BE SAWN WITHIN 12 HOURS OF CONCRETE PLACEMENT.

3.11. EXPANSION JOINT FILLER TO MEET ASTM D-1751, 1/2" ASPHALT IMPREGNATED FIBERBOARD W/ SEALANT CAP, OR POLYETHYLENE FOAM W/ SEALANT CAP.

3.12. FLOOR SLAB TOLERANCES TO BE 1/8" IN 10'-0" MAXIMUM.

DIVISION 4: MASONRY

4.1. COMPLY WITH RECOMMENDATIONS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

4.2. CONCRETE MASONRY UNITS SHALL BE TWO CELL BLOCKS MADE OF PORTLAND CEMENT, WATER AND APPROVED AGGREGATES AND SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING MASONRY UNITS ASTM DESIGNATION C90-70 GRADE 4 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1000 PSI.

4.3. MORTAR SHALL BE TYPE "S" UNLESS OTHERWISE NOTED AND CONFORM TO ASTM C-270 WITH GALVANIZED "LADDER TYPE" HORIZONTAL WALL REINFORCING (#6 WIRE) AT EVERY SECOND COURSE, AND PREFABRICATED CORNER AND TIE SECTIONS, PER ASTM A-641.

4.4. EXTERIOR HOLLOW MASONRY UNIT CONSTRUCTION: PROVIDE VERTICAL REINFORCEMENT (1 #5 MIN.) AT ALL CORNERS, ADJACENT OT OPENINGS, AND AT 4'-0" ON CENTER MAXIMUM OR AS NOTED ON STRUCTURAL DRAWINGS. REINFORCED CELLS SHALL BE POURED SOLID.

4.5. POURED SOLID CELLS SHALL BE FILLED WITH CONCRETE (SLUMP 7" +/-1") WITH A MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. THE CELLS SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAN, UNOBSTRUCTED, CONTINUOUS CELL. GROUT SHALL BE POURED IN LIFTS NOT TO EXCEED 8'-0". (CONTRACTOR SHALL PROVIDE CLEAN-OUTS AT ALL GROUTED CELLS FOR INSPECTION).

4.6. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, THE GROUTING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF THE UPPERMOST UNIT.

4.7. CONCRETE FILLED CELLS SHALL HAVE 1-#5 DIAMETER BAR VERTICAL (FOUNDATION TO TIE BEAM).

4.8. MASONRY UNITS SHALL BE DRY BRUSHED AT END OF EACH DAY'S WORK.

DIVISION 5: METALS

5.1. ALL DISSIMILAR METALS SHALL BE ISOLATED BY INERT MATERIALS IN ORDER TO PREVENT GALVANIC CORROSION.

5.2. ALL STRUCTURAL METAL COMPONENTS, INCLUDING EXPOSED OR EMBEDDED TIES, CLIPS AND BELTS, SHALL BE HOT-DIPPED GALVANIZED.

5.3. SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

5.4. STEEL PLATES, SHAPES AND BARS TO BE ASTM A-36.

5.5. HIGH STRENGTH BOLTS AND NUTS, ASTM A-325 UNFINISHED BOLTS AND NUTS, ASTM A-305 GRADE A.

5.6. SHOP PAINT ALL ITEMS, NOT SPECIFIED TO BE GALVANIZED, TT-P-86, TYPE II, OR SSPC-PAINT 14.

5.7. CONTRACTOR TO FURNISH CUSTOM FABRICATED PLATES, ANCHORS, HANGERS, DOWELS, AND OTHER MISCELLANEOUS STEEL AND IRON SHAPES FOR FRAMING, SUPPORTING, AND ANCHORING WOODWORK.

5.8. AFTER INSTALLATION, CLEAN ALL FIELD WELDS, BOLTED CONNECTIONS AND ABRADED AREAS AND APPLY SHOP PRIMER. USE GALVANIZING REPAIR PAINT ON GALVANIZED SURFACES.

5.9. FINISH PAINT ALL ITEMS EXPOSED TO VIEW AFTER COMPLETION.

DIVISION 6: CARPENTRY

6.1. COMPLY WITH SOFTWOOD LUMBER STANDARD PS20 (U.S. DEPT. OF COMMERCE); AND NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADED LUMBER AND ITS FASTENERS BY NIMA.

6.2. FRAMING METHODS, NUMBER OF MEMBERS AND FASTENERS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

6.3. WARPAGE, DISCOLORATION, WATER STAINS OR OTHER DAMAGE DUE TO IMPROPER STACKING OR LACK OF COVERAGE OF MATERIALS INCLUDED IN 6.9 ABOVE SHALL BE CONSIDERED SUFFICIENT CAUSE FOR REJECTION OF THEIR USE BY THE CONTRACTOR.

6.4. WOOD BASE SHALL BE 5-1/2" HIGH BY 5/8" KILN-DRIED WHITE PINE UNLESS SHOWN OTHERWISE ON THE DRAWINGS (STYLE TO BE SELECTED BY ARCHITECT).

6.5. ALL WOOD IN CONTACT WITH EARTH OR CONCRETE SHALL BE PRESSURE TREATED FOR APPROPRIATE USE IN ACCORDANCE WITH A.W.P.B. STANDARDS.

6.6. FURRING ON MASONRY WALLS TO BE 2x PT @ 24" O.C. UNLESS NOTED OTHERWISE W/ 1 1/2" WALL BATT INSULATION.

DIVISION 7: THERMAL & MOISTURE PROTECTION

7.1. COMPLY WITH MANUFACTURERS RECOMMENDATIONS ON ALL WORK.

7.2. FURNISH FIFTEEN (15) YEAR WARRANTY ON ROOFING MATERIALS ASSOCIATED WORK AGREEING TO REPAIR OR REPLACE WORK WHICH LEAKS WATER, DETERIORATES EXCESSIVELY OR OTHERWISE FAILS TO PERFORM AS ROOFING DUE TO MATERIALS AND WORKMANSHIP. GUARANTEE SHALL BE SIGNED AND NOTARIZED BY GENERAL CONTRACTOR.

7.3. INSTALL ROOFING SYSTEMS, FLASHING, AND OTHER ACCESSORIES IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICES AND RECOMMENDATIONS.

7.4. METAL FLASHING AND CONTOUR FLASHING TO BE PRE-FINISHED ALUMINUM, COLOR SELECTION BY ARCHITECT, UNLESS NOTED OTHERWISE.

7.5. ALL GUTTERS AND DOWNSPOUTS SHALL BE E.S.P. ALUMINUM, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT.

7.6. INSTALL SEALANT AT ALL EXPOSED JOINT SURFACES TO PROVIDE WEATHERPROOF SEAL. SET ALL EXTERIOR SILLS, GLAZING STOPS, WINDOW FRAMES, DOOR FRAMES IN FULL SEALANT BED. PROVIDE BACKER ROD WHERE REQUIRED. USE HIGH QUALITY ELASTOMERIC SILICONE COMPOUND, COLOR AS SELECTED.

7.7. FRAME AT FLOOR LEVEL - LOW DENSITY KRAFT PAPER. FACED FIBERGLASS 6" SUPERTHICK BATTS WITH MINIMUM R-11 VALVE.

7.8. ALL EXTERIOR AND NOTED INTERIOR WALLS - LOW DENSITY KRAFT PAPER FACED FIBERGLASS FULL THICK STANDARD BATTS WITH MINIMUM R-11 (MASONRY WALLS R-3), UNLESS NOTED OTHERWISE.

DIVISION 8: DOORS & WINDOWS

8.1. COMPLY WITH "RECOMMENDED SPECIFICATIONS FOR STANDARD STEEL DOORS AND FRAMES" (S01-100) AND ANSI/NWMA-1 AND SECTION 1300 OF "ARCHITECTURAL WOODWORK QUALITY STANDARDS" ON ALL WOOD DOORS AS APPLICABLE. PROVIDE IMPACT RESISTANT DOORS WHERE NOTED.

8.2. GLAZING SHALL BE AS NOTED ON THE WINDOW SCHEDULE.

8.3. ALL MIRRORS SHALL BE 1/4" POLISHED PLATE GLASS COUNTER TOP TO CEILING AND FULL WIDTH OF CABINET.

8.4. ALL WOOD DOORS SHALL BE STAIN GRADE EACH FACE WITH TYPE (SOLID CORE OR HOLLOW CORE) AND SIZE AS SPECIFIED ON DRAWINGS.

8.5. FRONT DOOR HINGES SHALL BE SOLID BRASS BALL BEARING TYPE WITH THREE HINGES PER DOOR, UNLESS OTHERWISE NOTED OR SELECTED.

8.6. ALL THRESHOLDS SHALL BE ADA APPROVED PRE-FINISHED ALUMINUM, UNLESS OTHERWISE NOTED.

8.7. ALL BI-FOLD DOOR TRACKS SHALL BE HEAVY DUTY DOUBLE ROLLER TYPE.

8.8. ALL BATHROOM DOORS SHALL HAVE PRIVACY LOCKS.

8.9. CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE, FITTINGS, ANCHORAGES, ETC. FOR PROPER INSTALLATION OF ALL DOORS, WINDOWS, ETC. COORDINATE FINAL HARDWARE SELECTIONS WITH OWNER AND ARCHITECT.

DIVISION 9: FINISHES

9.1. 1/2" OR 5/8" GYPSUM WALLBOARD SHALL BE INSTALLED WITH STANDARD GYPSUM WALLBOARD SCREWS ON ALL SURFACES. ON CEILINGS USE 5/8" GYPSUM WALLBOARD AND LIGHT ORANGE PEEL TEXTURED FINISH WHICH SHALL BE INSTALLED WITH GYPSUM WALLBOARD SCREWS. COMPLY WITH ANSI A97.1 AND MANUFACTURERS RECOMMENDATIONS. PROVIDE MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS AND WET AREAS.

9.2. ALL INTERIOR AND EXTERIOR CORNER BEADS SHALL BE NAILED PLUMB, LEVEL AND STRAIGHT. FRAMING IRREGULARITIES THAT PROHIBIT THE STANDARDS CALLED FOR SHALL BE CORRECTED BY THE FRAMING CONTRACTOR AT THE REQUEST OF THE HARDCOAT CONTRACTOR PRIOR TO HARDCOAT VENEER INSTALLATION. WORKMANSHIP INFERIOR TO THESE STANDARDS SHALL NOT BE ACCEPTED.

9.3. PROVIDE CASING BEADS AT ALL EXPOSED EDGES AND WHEREVER DRYWALL ABUTS OTHER CEILINGS OR FINISHES. PROVIDE FLUSH JOINT TREATMENT AND PREPARE SURFACES FOR FINISHING.

9.4. ALL INTERIOR GYPSUM WALLBOARD SHALL HAVE LIGHT ORANGE PEEL TEXTURED SURFACES UNLESS OTHERWISE INDICATED. PROVIDE WOODER BOARD OR DENS-SHIELD TILE BACKER W/ FELT UNDERLAYMENT AT ALL SHOWER AND TUB AREAS. INSTALLED IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.

9.5. EXTERIOR PORTLAND CEMENT BASED PLASTER:

9.5.1 OVER WOOD FRAME AND EXTERIOR WALL SHEATHING: 1" THICK ON GALVANIZED SELF-FURRING-LATH APPLIED IN BROWN AND FINISH COATS. PLASTER FINISH TO BE SELECTED BY ARCHITECT.

9.5.2 OVER CONCRETE MASONRY UNITS: APPLY OVER MASTERSEAL 581 AT THICKNESS AS SPECIFIED BY MANUFACTURE, 5/8" THICK APPLIED IN, SCRATCH, BROWN AND FINAL COATS. PLASTER FINISH TO BE SELECTED BY ARCHITECT.

ALL CEMENT PLASTER INSTALLATION AND MATERIALS TO CONFORM WITH LATEST APPLICABLE ASTM STANDARDS.

ALL PLANTER BOX INTERIORS SHALL BE MARCOTE.

9.6. THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE WORK OF OTHERS PRIOR TO THE APPLICATION OF PAINT. IF SURFACE TO BE FINISHED CANNOT BE PUT IN SUITABLE CONDITION FOR PAINTING BY CUSTOMARY PREPARATION METHODS, THE PAINTING CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OR ASSUME RESPONSIBILITY FOR, AND RECTIFY, ANY UNSATISFACTORY FINISHES THAT MAY RESULT.

9.7. ALL WORK SHALL BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER. ALL PAINT AND OTHER FINISHES MUST BE EVENLY SPREAD AND FLOWED ON AND SHALL BE FREE FROM RUNS, SAGS AND OTHER DEFECTS. ALL COATS SHALL BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS.

9.8. EXTERIOR FINISHES ARE NOT TO BE APPLIED IN RAINY OR DAMP WEATHER. ALL SURFACES SHALL BE THOROUGHLY DRY. INTERIOR PAINTING SHALL NOT BE PERMITTED UNTIL THE BUILDING IS COMPLETELY DRIED-IN.

9.9. PREPARE SURFACES IN CONFORMANCE TO PAINT MANUFACTURER'S RECOMMENDATIONS. REMOVE HARDWARE, ACCESSORIES, LIGHT FIXTURES AND OTHER ITEMS NOT TO BE PAINTED OR PROVIDE SURFACE APPLIED PROTECTION. REINSTALL REMOVED ITEMS. PROTECT WORK OF OTHER TRADES.

9.10. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLY ADDITIONAL COATS AS REQUIRED TO PROVIDE PROPER COVERAGE. 100% OPACITY IS REQUIRED EXCEPT FOR TRANSPARENT OR SEMITRANSPARENT FINISHES. PAINT INSIDE OF DUCTS, WHERE VISIBLE THROUGH REGISTERS OR GRILLS, FLAT BLACK. FINISH EXTERIOR DOORS ON TOPS, BOTTOMS AND EDGES.

9.11. COLOR SELECTION SHALL BE PROVIDED BY ARCHITECT PRIOR TO COMMENCEMENT OF PAINTING. IF 100% OPACITY CANNOT BE ACHIEVED WITH NUMBER OF COATS SPECIFIED BECAUSE OF COLOR SELECTION, ADDITIONAL COATS SHALL BE ADDED. PREPARE SAMPLE AREA OF EACH COLOR FINISH SELECTED FOR ARCHITECT AND OWNER.

9.12. ALL ADJACENT WORK AND MATERIALS MUST BE PROTECTED WITH SUITABLE COVERS DURING THE PROGRESS OF WORK.

9.13. THE FINISH FLOOR AND UNDERLAYMENT MATERIAL SHALL BE COVERED AND PAINT OR STAIN SPILLED SHALL BE REMOVED.

9.14. THE PAINTING SUBCONTRACTOR SHALL CAULK AROUND ALL WINDOWS AND TRIM, SLIDING GLASS DOORS AND TRIM AND AROUND ALL EXTERIOR TRIM AND SIDING WITH APPROVED SEALANT AND CAULK FOR INTENDED USE.

9.15. ALL EXTERIOR VENTS, STACKS, ETC. SHALL BE ETCHED AND PAINTED TO MATCH ADJACENT ROOF COLOR.

9.16. A FINAL TOUCH UP OF ALL AREAS WHERE DRYWALL HAS BEEN PATCHED AFTER THE FINAL COAT OF PAINT HAS BEEN APPLIED SHALL BE COMPLETED BEFORE OWNER MOVES IN.

9.17. ALL STAIN SHALL BE BRUSHED APPLIED.

9.18. ON COMPLETION OF ALL PAINTING, THE PAINTING SUBCONTRACTOR SHALL REMOVE ALL TOOL EQUIPMENT AND DEBRIS RESULTING FROM THIS WORK AND LEAVE THE BUILDING IN A BROOM CLEAN CONDITION. ALSO HE SHALL REMOVE ALL STAINS AND MISPLACED PAINT, ETC. FROM ALL SURFACES INCLUDING FIXTURES, GLASS, HARDWARE, FITTINGS, ETC. THE COST OF DAMAGE TO ANY WORK DUE TO NEGLIGENCE ON THE PART OF PAINTING SUBCONTRACTOR SHALL BE BORNE BY THE PAINTING SUBCONTRACTOR.

9.19. ALL PAINT AND STAIN SHALL BE HIGH QUALITY 100% ACRYLIC LATEX OR OIL BASE BY SCOTT, KOI OR BENJAMIN MOORE OR EQUAL AS APPROVED BY ARCHITECT. ALL PAINTING METHODS AND TECHNIQUES TO BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

9.20. EXTERIOR TRIM AND DOORS SHALL RECEIVE THREE (3) COATS OF PAINT IN COLOR DESIGNATED BY ARCHITECT.

9.21. INTERIOR WALL AND CEILING SURFACES SHALL RECEIVE TWO (2) COATS OF INTERIOR WASHABLE WALL PAINT. BATHROOM WALLS AND CEILING SHALL RECEIVE TWO (2) COATS OF SEMI-GLOSS ENAMEL, UNLESS OTHERWISE NOTED.

9.22. INTERIOR TRIM, DOORS AND SHELVES SHALL RECEIVE PRIMER-SEALER PLUS TWO (2) COATS OF INTERIOR OIL BASE SEMI-GLOSS ENAMEL WITH INTERMEDIATE SANDING, UNLESS OTHERWISE NOTED.

9.23. CEILING GRID SYSTEM SHALL BE PRELUDE 9/16 EXPOSED TEE SYSTEM. ACOUSTICAL CEILING TILE SYSTEM SHALL BE 2'x2'x5/8 CORTEGA TILE SYSTEM WITH ANGLED REGULAR BY ARMSTRONG OR EQUAL.

9.24. ALL CLOSET SHELVING SHALL BE WHITE MELAMINE FINISH, UNLESS OTHERWISE NOTED.

9.25. ALL INTERIOR WINDOWSILLS SHALL BE MARBLE (1/2" DOMESTIC), UNLESS OTHERWISE NOTED.

DIVISION 10: SPECIALTIES

10.1. ALL TOILET AND BATH ACCESSORIES SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTIONS WITH ARCHITECT.

10.2. ALL KITCHEN EQUIPMENT SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTION WITH ARCHITECT.

10.3. SIGNAGE - CONTRACTOR SHALL PROVIDE SIGNAGE FOR ALL RESTROOM LOCATIONS AND IT SHALL BE IN COMPLIANCE WITH ALL ADA MINIMUM REQUIREMENTS. CONTRACTOR TO FINALIZE SELECTION OF SIGNAGE WITH THE ARCHITECT.

DIVISION 15: MECHANICAL AND PLUMBING

15.1. CONTRACTOR IS RESPONSIBLE TO INSURE THAT MECHANICAL AND PLUMBING SYSTEM SHOP DRAWING DESIGN, INSTALLATION, AND TESTING ARE IN STRICT ACCORDANCE WITH LATEST EDITION OF ALL APPLICABLE CODES AND REGULATIONS. TESTING SHALL BE PER AWWA SPECIFICATIONS. ALL NEW AND REPLACEMENT UNITS ARE TO BE DESIGNED TO PROVIDE POSITIVE PRESSURE.

15.2. CONTRACTOR IS RESPONSIBLE TO SECURE NECESSARY APPROVALS AND PERMITS FROM DEPARTMENTS HAVING JURISDICTION TO INSURE PROPER INSTALLATION OF MECHANICAL AND PLUMBING SYSTEMS.

15.3. COMPLY WITH RECOMMENDATIONS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION (SMACNA), AND THE AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS.

15.4. PROVIDE A ONE (1) YEAR WRITTEN WARRANTY FOR FURNISHING PARTS AND LABOR TO REPLACE ANY PART OF THE HVAC SYSTEM WHICH BECOMES DEFECTIVE IN NORMAL OPERATIONS WITH AN ADDITIONAL FOUR (4) YEAR WARRANTY FOR THE CONDENSING UNIT UNLESS MANUFACTURERS STANDARD WARRANTY IS GREATER.

15.5. TEST AND BALANCE SYSTEM AFTER INSTALLATION IS COMPLETED, CLEAN OUT ALL DUCTWORK, TEST REFRIGERANT SYSTEM FOR LEAKS, TEST COMPLETE SYSTEM FOR PROPER OPERATION, AND BALANCE SYSTEM TO MEET ACCEPTABLE PERFORMANCE CRITERIA.

15.6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS PRIOR TO FABRICATION OR INSTALLATION OF ANY EQUIPMENT.

15.7. PROVIDED 1" P.V.C. CONDENSATE DRAIN LINE WITH POSITIVE SLOPE FROM AIR HANDLER TO EXTERIOR.

15.8. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO S.M.A.C.N.A. SPECIFICATIONS.

15.9. ALL REFRIGERANT LINES THROUGH MASONRY SHALL BE SLEEVED.

15.10. WATER AND SEWER SERVICE SHALL BE PROPERLY CONNECTED TO MAIN SYSTEMS.

15.11. PLUMBING CONTRACTOR SHALL COORDINATE LOCATION OF ALL UNDERGROUND LINES WITH OTHER APPLICABLE TRADES.

15.12. PLUMBING FLOOR PLAN IS SCHEMATIC AND SHALL NOT BE LIMITED TO ITEMS SHOWN. ALL MATERIALS REQUIRED TO PROVIDE COMPLETE WATER AND SEWER SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, SHALL BE SUPPLIED AND INSTALLED.

15.13. PROVIDE 1/4" COPPER ICE MAKER LINE FROM BELOW KITCHEN SINK COLD WATER LINE (WITH VALVE) TO REFRIGERATOR, IF APPLICABLE.

DIVISION 16: ELECTRICAL

16.1. ALL WORK SHALL BE COORDINATED WITH FLORIDA POWER AND LIGHT, AND SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. COMPLY WITH NEC 2017 AND NEMA RECOMMENDATIONS (LATEST EDITION).

16.2. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC PANEL AS NOTED ON THE DRAWINGS (FIELD VERIFY LOCATION).

16.3. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL U.L. LABEL SMOKE ALARMS AND HEAT DETECTORS, ETC. IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AS ARE NECESSARY TO OBTAIN A FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

16.4. ALL TELEVISION OUTLETS SHALL BE PROVIDED WITH COAXIAL CABLE.

16.5. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED COMPLETE WITH ALL COMPONENTS.

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GENERAL DEMOLITION NOTES:

1. ALL ELECTRICAL WIRING & CONDUITS LOCATED AT PARTITIONS INDICATED TO BE REMOVED SHALL BE REMOVED & TERMINATED AT THEIR SOURCE ELECTRICAL PANEL UNLESS OTHERWISE ALLOWED BY THE CURRENT EDITION OF THE NEC (NFPA 70).
2. EXISTING AIR HANDLER UNITS AND ASSOCIATED DUCTWORK TO BE REWORKED TO ACCOMMODATE PROPOSED NEW LAYOUT AS PROPOSED. REPLACE UNITS AS DETERMINED.
3. REMOVE/REWORK ALL EXISTING LIGHTING FIXTURES, UNLESS NOTED OTHERWISE.
4. REWORK ANY EXISTING FIRE SPRINKLER HEADS TO ACCOM. PROPOSED NEW LAYOUT, COORDINATE AND SHUTDOWN OF SYSTEM AS REQUIRED.
5. REWORK EXISTING PLUMBING TO ACCOM. PROPOSED NEW LAYOUT. FIELD VERIFY ALL EXISTING PLUMBING CONDUITS DO NOT CUT FLOOR OR MAKE NEW PENETRATION IN EXISTING STRUCTURE.
6. DEMOLITION PLAN MAY NOT REFLECT OR SHOW ALL REQUIRED WORK INVOLVED WITH NOTED NEW PLAN, INTENT IS TO PROVIDE NEW FINISHED COMPLETE PROJECT.
7. FIELD VERIFY EXISTING ELECTRICAL PRIOR TO STARTING TO CONFIRM EXISTING UNDERGROUND AND EXISTING CIRCUITS AND MAIN FEED

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
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DEMOLITION PLAN
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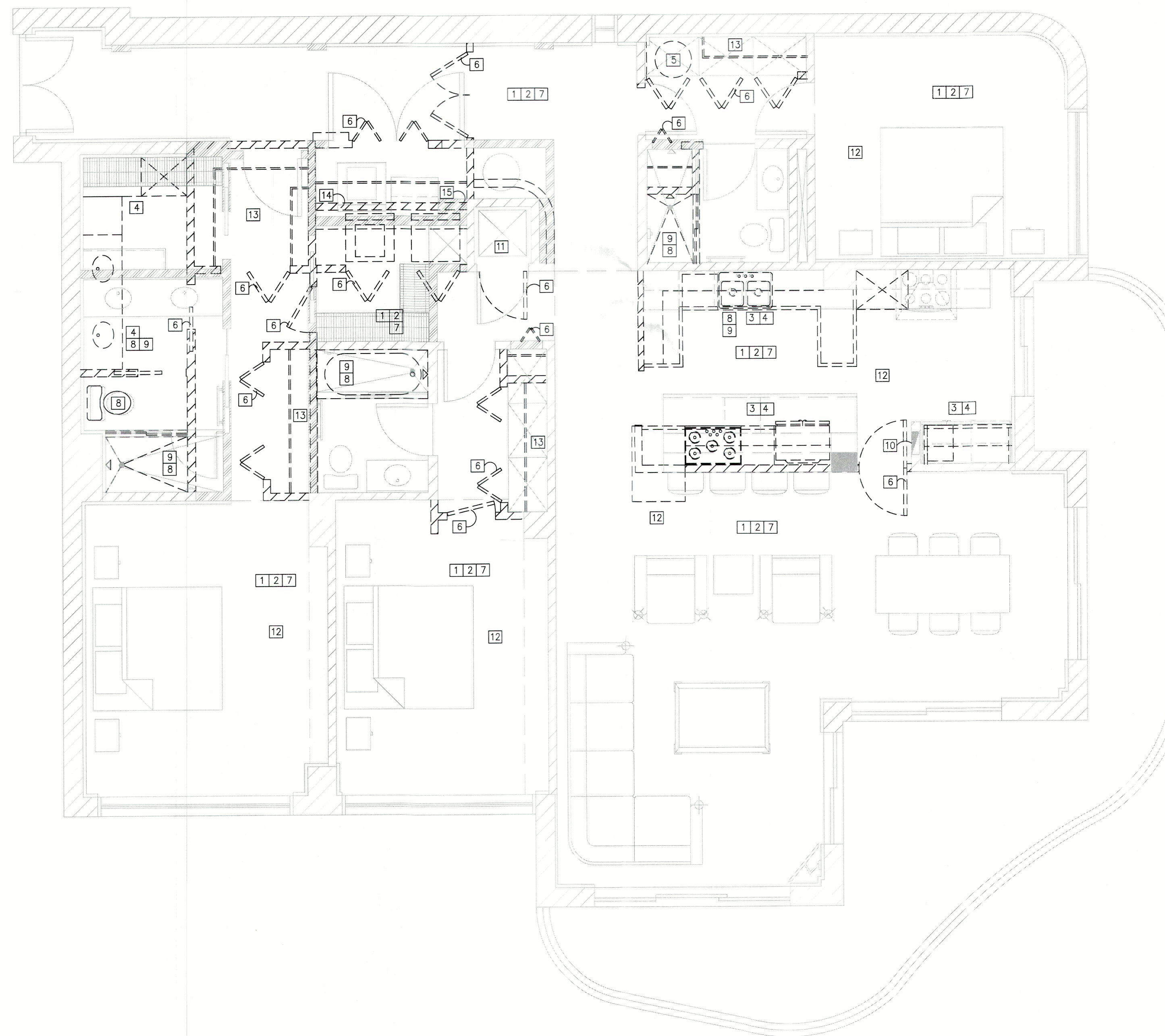
1 3'

SCALE: 1/4" = 1'-0"



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DEMOLITION PLAN
SCALE: 1/4" = 1' - 0"

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FINISH SCHEDULE

- NOTE:**
1. PROVIDE SHIP FRAMING @ 12" O.C. MIN. AS REQ. BY MANUF. FOR M.R. GYPSUM DRYWALL CEILING.
 2. PROVIDE WOODER BOARD OR DUROCK BACKING AT ALL WET AREAS W/ FELT BACKING. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. PROVIDE WAINSCOTING AND TRIM AS SHOWN AND SELECTED ON INTERIOR ELEVATIONS.
 4. PROVIDE WOODER BOARD OR DUROCK OF 2" WITH FELT BACKING.
 5. WITH DRYWALL BULGHEADS AS SHOWN ON REFLECTED CEILING PLAN.
 6. PROVIDE SOUNDPROOFING AS NOTED AS PART OF WALL SYSTEM.
 7. PROVIDE TILE WAINSCOTING AT RESTROOMS AS SHOWN.
 8. PROPOSED NEW FLOOR TILE TO BE INSTALLED OVER CRACK SUBSANTANT MEMBRANE. BARS OF STEEL SHALL BE SCHLITZ SYSTEM, REF. DITRA 1/8" WATERPROOFING MEMBRANE.

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The diagrams illustrate the construction of four different wall types, each with a triangular callout indicating the wall type number.

- Wall Type 1:** A cross-section showing an existing wall on the left and a new wall on the right. The new wall consists of a 5" interior wall with an infill opening, aligned with the existing wall faces. The wall is finished with new acoustic batt insulation and a sound barrier. The wall type is indicated by a triangle with the number 1.
- Wall Type 2:** A cross-section showing an existing wall on the left and a new wall on the right. The new wall consists of a 6" interior wall with an infill opening, aligned with the existing wall faces. The wall is finished with new acoustic batt insulation and a sound barrier. The wall type is indicated by a triangle with the number 2.
- Wall Type 3:** A cross-section showing an existing wall on the left and a new wall on the right. The new wall consists of a 5" interior wall with an infill opening, aligned with the existing wall faces. The wall is finished with new acoustic batt insulation and a sound barrier. The wall type is indicated by a triangle with the number 3.
- Wall Type 4:** A cross-section showing an existing wall on the left and a new wall on the right. The new wall consists of a 6" interior wall with an infill opening, aligned with the existing wall faces. The wall is finished with new acoustic batt insulation and a sound barrier. The wall type is indicated by a triangle with the number 4.

Labels for each wall type include:

- Wall Type 1:** EXISTING WALL, EXISTING REINF. CMU WALL, GYPSUM WALLBOARD, BATT INSULATION, FURRING, SEE FINISH SCHEDULE, WALL TYPE 1, EXISTING CMU WALL.
- Wall Type 2:** EXISTING WALL, EXISTING REINF. CMU WALL, GYPSUM WALLBOARD, BATT INSULATION, FURRING, SEE FINISH SCHEDULE, WALL TYPE 2, EXISTING CMU WALL.
- Wall Type 3:** EXISTING WALL, EXISTING REINF. CMU WALL, GYPSUM WALLBOARD, BATT INSULATION, FURRING, SEE FINISH SCHEDULE, WALL TYPE 3, EXISTING CMU WALL.
- Wall Type 4:** EXISTING WALL, EXISTING REINF. CMU WALL, GYPSUM WALLBOARD, BATT INSULATION, FURRING, SEE FINISH SCHEDULE, WALL TYPE 4, EXISTING CMU WALL.

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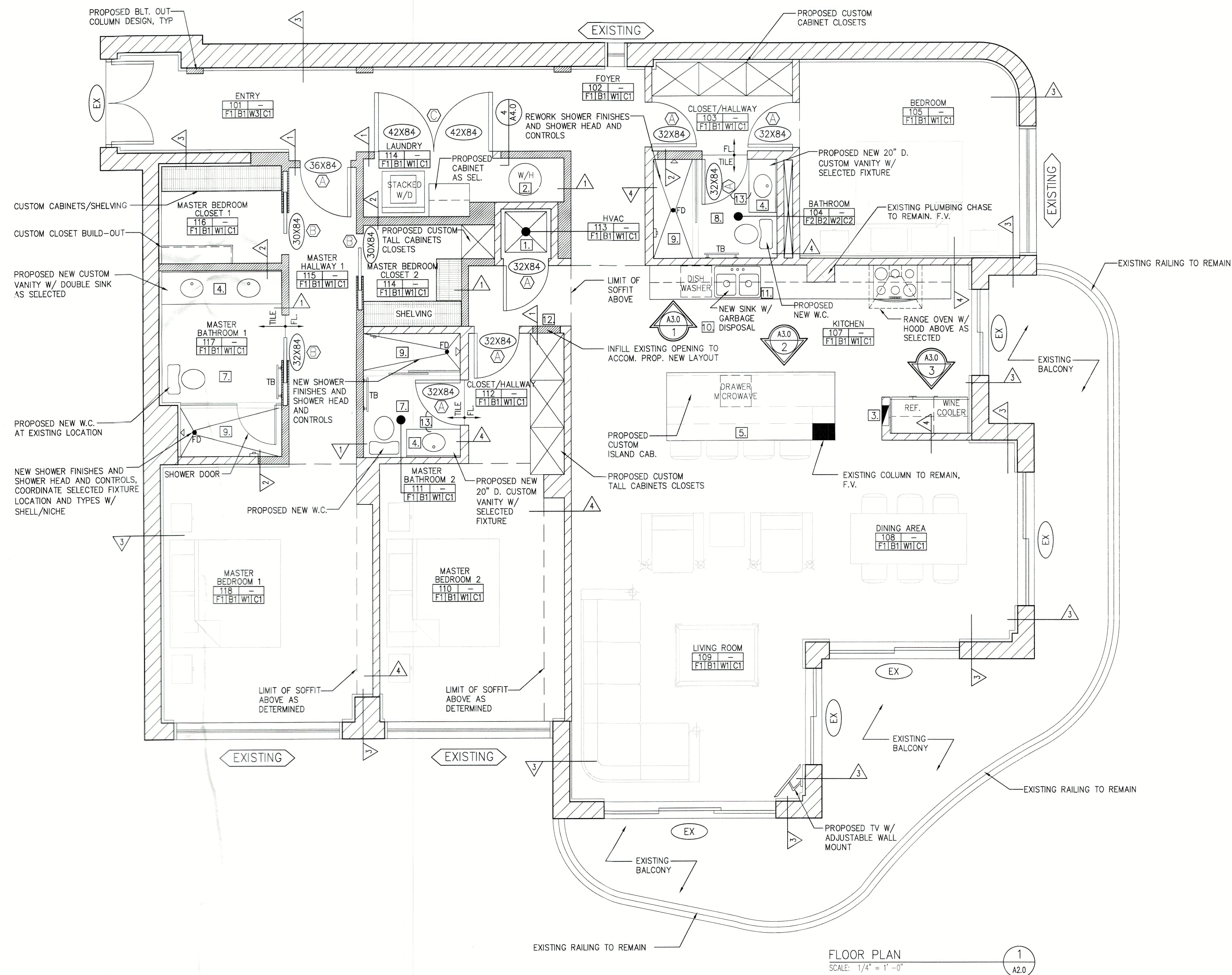
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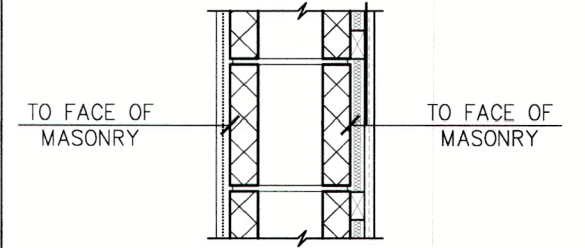
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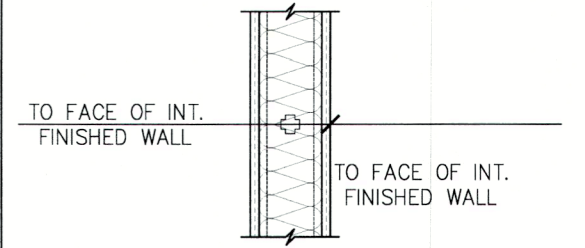


DIMENSION NOTES:

MASONRY WALL DIMENSIONS — ALL MASONRY WALL DIMENSION EITHER INTERIOR OR EXTERIOR ARE FROM FACE OF MASONRY WALL AND NOT FROM FINISHED WALL.



FRAMED WALL DIMENSIONS — ALL FRAMED WALL DIMENSION ARE FROM FACE OF FINISHED WALL AND NOT FROM WALL FRAMING.



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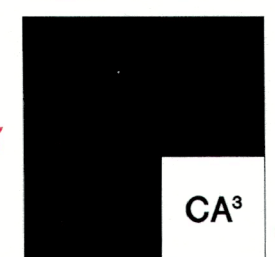
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Dimension Plan of Record

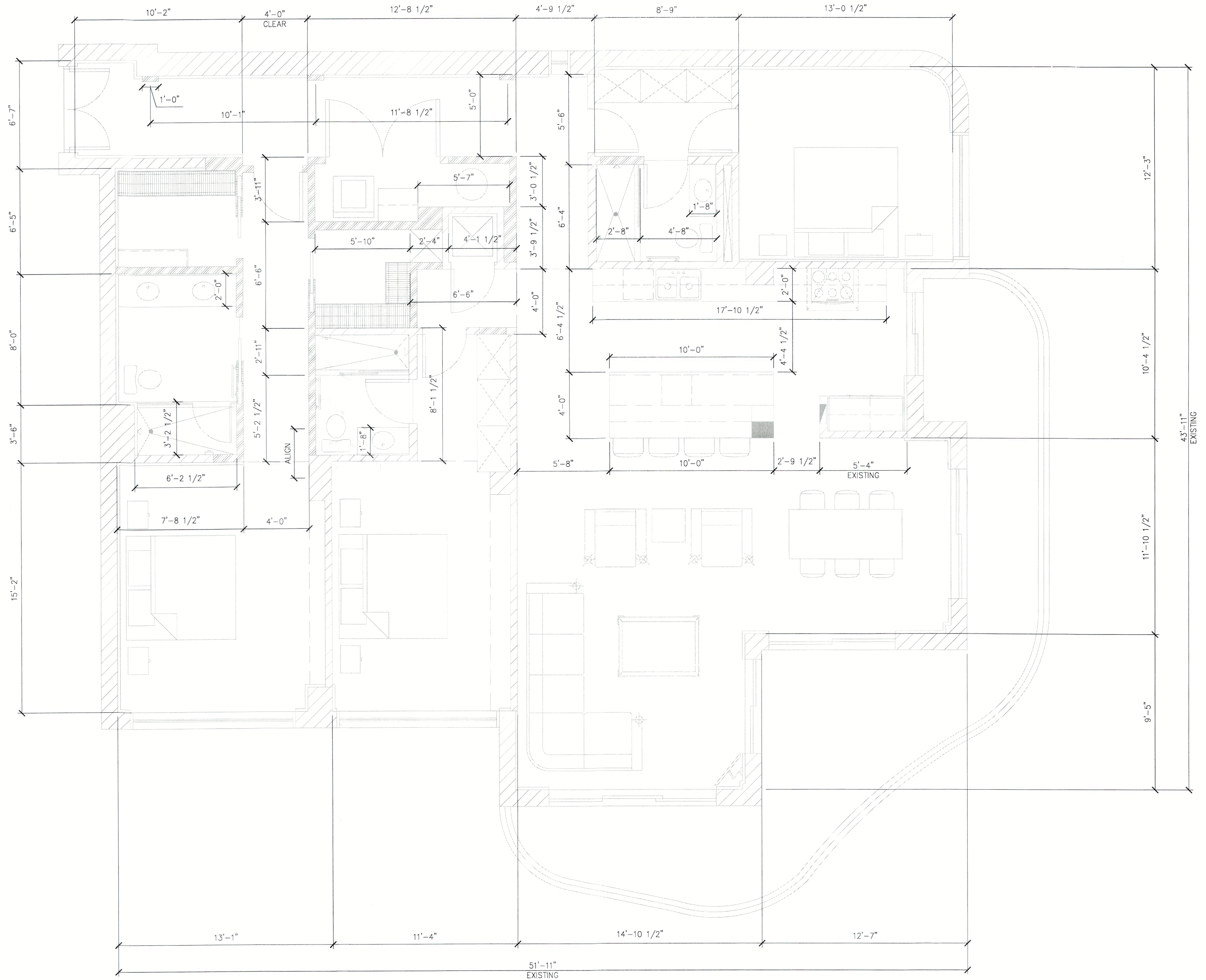
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SCALE: 1/4" = 1' - 0"



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DIMENSION PLAN
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REFLECTED CEILING PLAN LEGEND

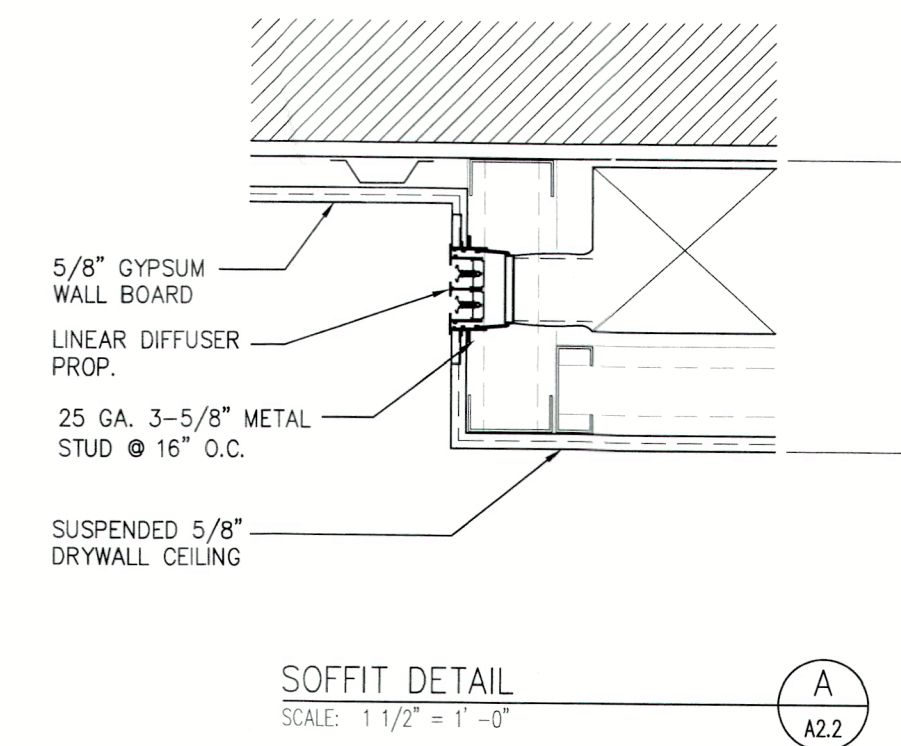
○	RECESSED 4" CAN LIGHT
⊙	RECESSED 4" CAN LIGHT -WATER RESISTANCE
⊖	WALL MOUNTED FIXTURE, OWNER SEL.
⊙	HANGING LIGHT FIXTURE, OWNER SEL.
⊗	CEILING MOUNTED FAN W/ LIGHT
⊙	RESTROOM EXHAUST FAN
⊙	FAN, LIGHT, HEATER COMBO. UNIT
⊖	UNDER COUNTER LIGHT FIXTURE
⊗	SMOKE DETECTOR
⊙	OCCUPANCY SENSOR

REFLECTED CEILING PLAN CONSTRUCTION NOTES:

- EXISTING MECHANICAL SYSTEMS - REWORK EXISTING DUCT WORK AND DIFFUSER GRILLES AS SHOWN TO ACCOMMODATE PROPOSED NEW LAYOUT. SERVICE UNIT AS REQUIRED TO ENSURE PROPER OPERATION AS NOTED. MECHANICAL SUB CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REDISTRIBUTION ON AC FROM EXISTING UNITS. EXISTING UNITS TO BE FLUSHED W/ NEW FILTERS.
- REWORK EXISTING DRYWALL CEILING TO ACCOMMODATE PROPOSED NEW LAYOUT. REWORK EXISTING ELECTRICAL, FIRE SPRINKLER AND OTHER ITEMS TO ACCOMMODATE PROPOSED NEW LAYOUT.

GENERAL NOTES:

- CEILING HEIGHT IN GENERAL AREAS EXISTING HTS, REWORK SOFFITS TO MATCH HEIGHT BUT TO ACCOM. AC DISTRIBUTOR AND FIRE SPRINKLER DISTRIBUTORS. NEW SOFFITS MAY BE REQUIRED TO ACCOM. ANY NEW RE. ROUTING.
- EXISTING AIR HANDLER UNIT, REWORK DUCTWORK TO ACCOM. PROPOSED NEW LAYOUT AS SHOWN - MAXIMUM CEILING HEIGHT.
- REWORK SOFFIT TO ACCOM. PROP. NEW LAYOUT, REWORK BATH CEILING AS REQUIRED TO ACCOM. AC DUCT WORK CHANGE
- SMOKE ALARMS REQUIRED. INDICATE SMOKE DETECTORS, HARD WIRED, INTERCONNECTED, WITH BATTERY BACK-UP, INSIDE AND OUTSIDE OF EACH BEDROOM, DETECTORS ARE TO BE LOCATED OUTSIDE THE BEDROOM WITHIN 10' OF THE BEDROOM DOOR AND ON EVERY LEVEL
- PROVIDE SMART WATER MONITOR & SHUTOFF AS DETERMINED



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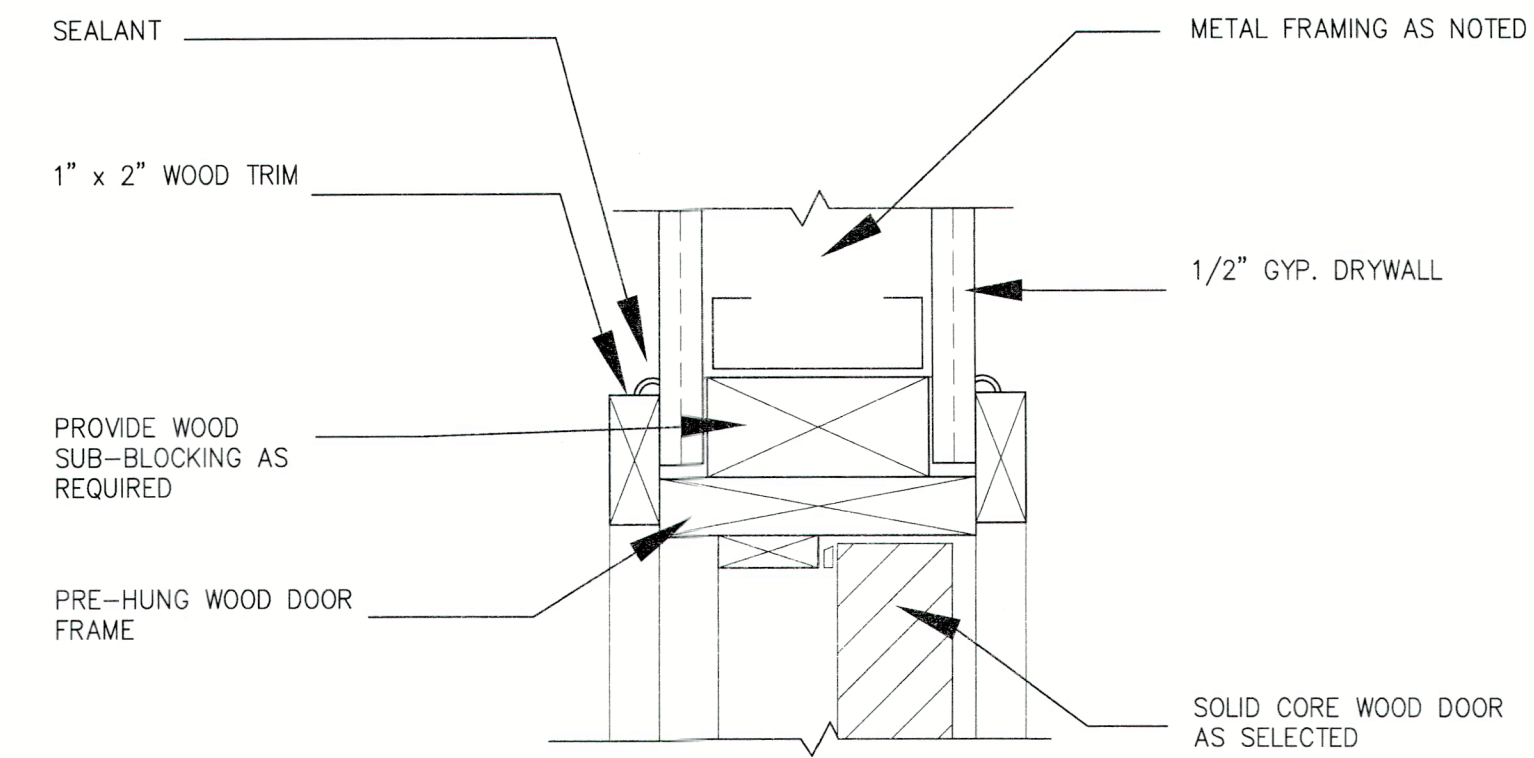
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SCALE: 1/4" = 1' -0"
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20 SEPTEMBER 2024
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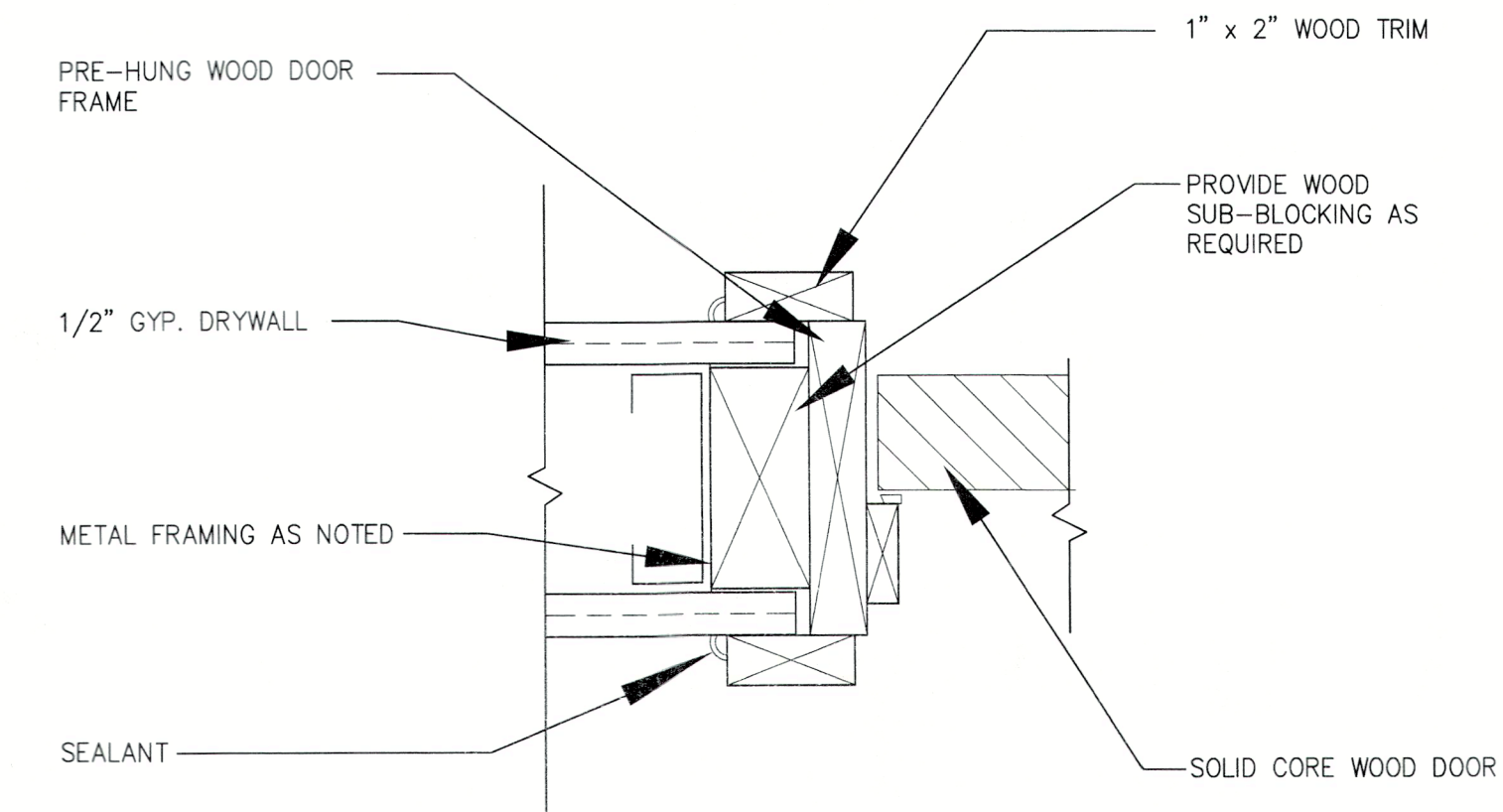
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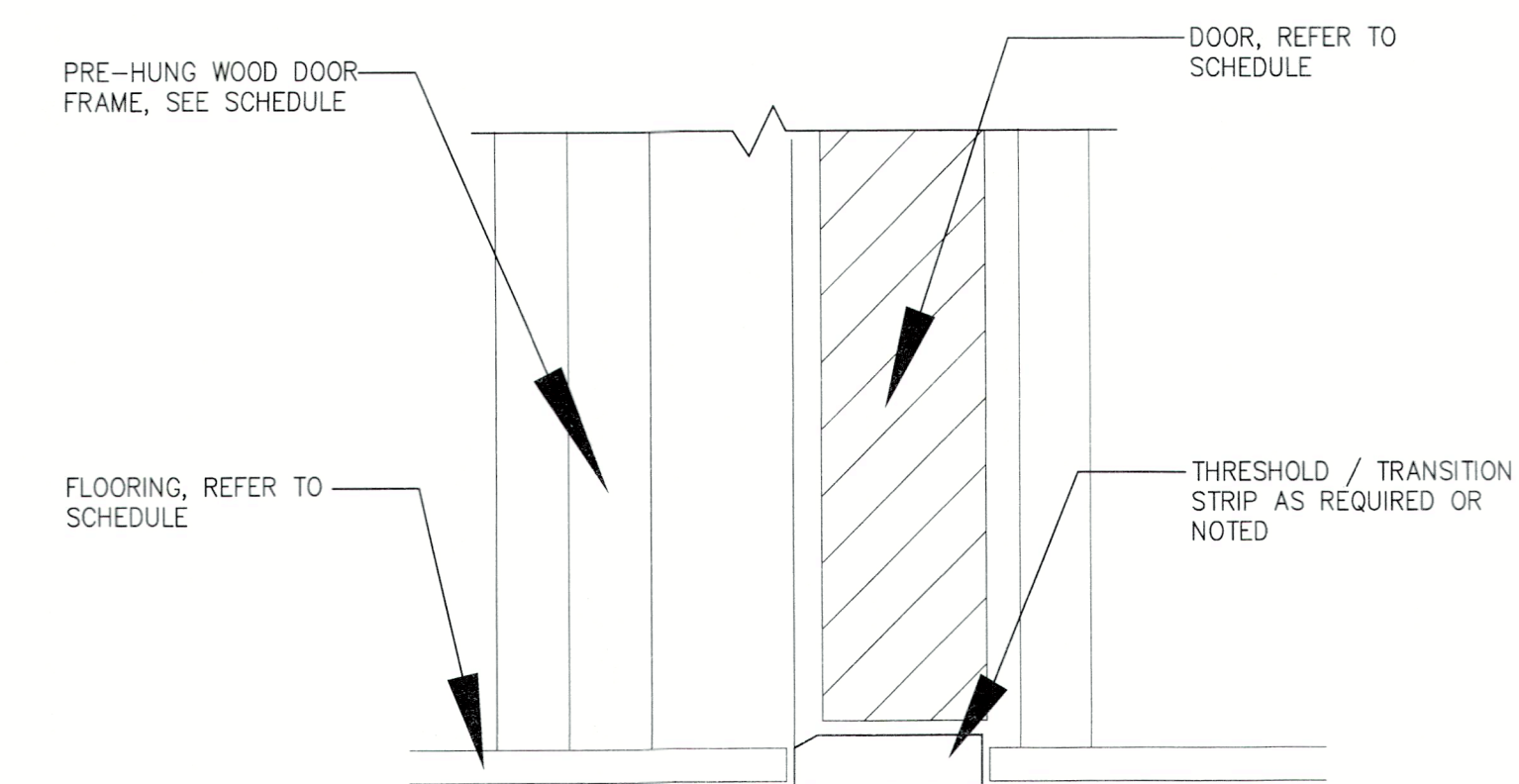
DOOR HEAD DETAIL
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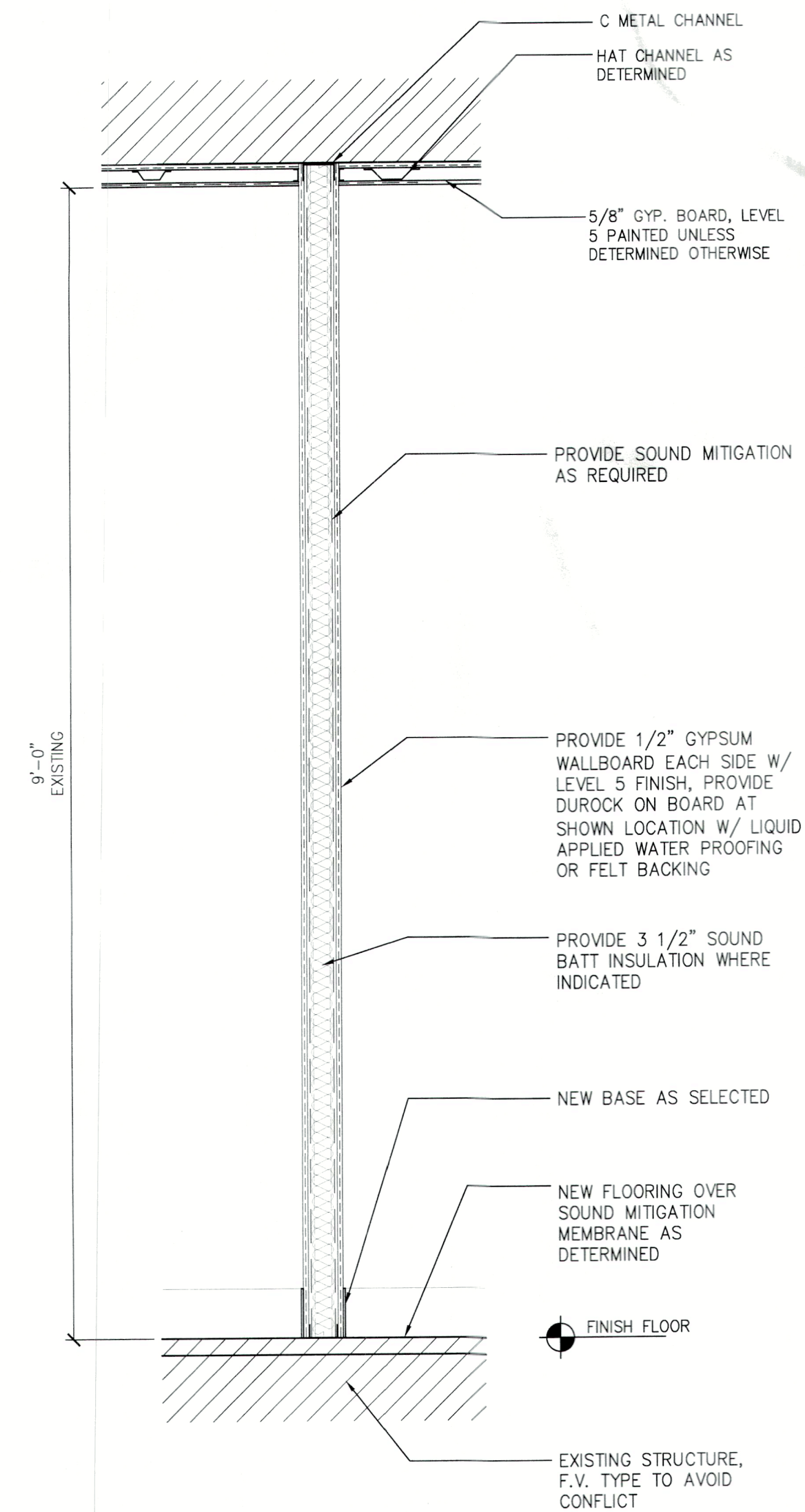
DOOR JAMB DETAIL
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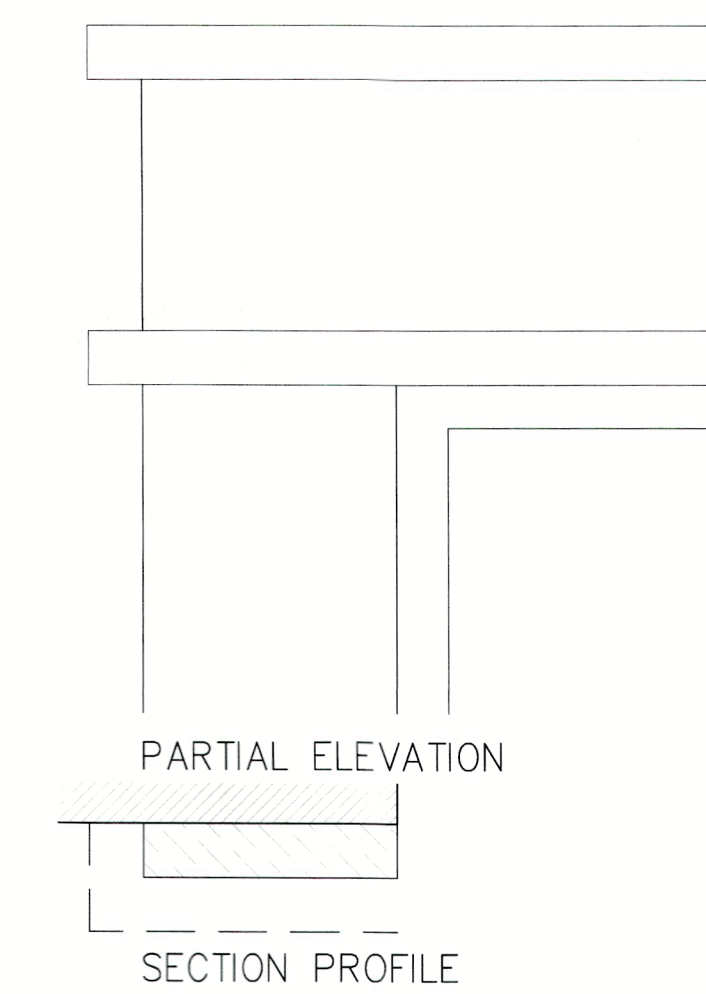
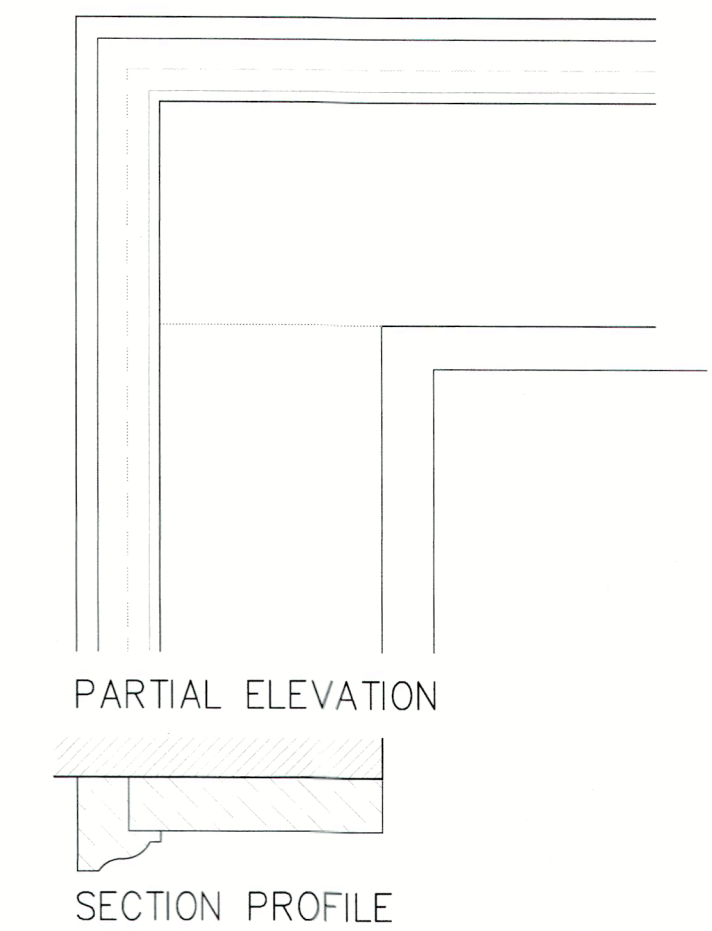
DOOR SILL DETAIL
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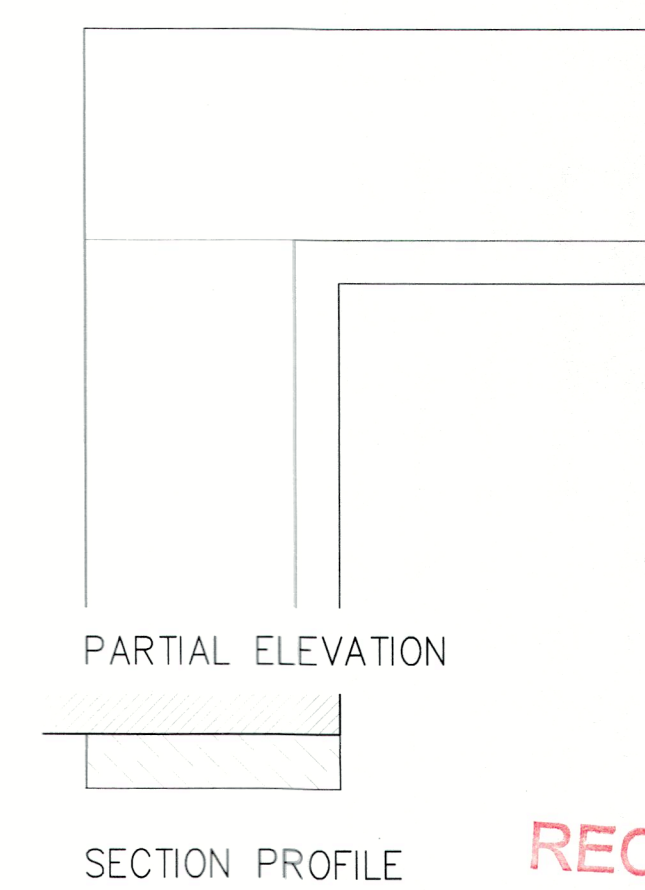


WALL SECTION
SCALE: $3/4" = 1' - 0"$

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AA

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SYMBOL LEGEND

○	RECESSED CAN LIGHT
◻	FAN, LIGHT, HEATER COMBO. UNIT
⊙	EXHAUST FAN
⌞	LIGHT SWITCH
⌞ ³	LIGHT SWITCH, 3-WAY
⊕	DUPLEX RECEPTACLE
⊕ ^{42"}	220 OUTLET
⊕ ^{42"}	DUPLEX RECEPTACLE 42" A.F.F.
⊕ ^{GFI}	DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
▬	ELECTRICAL PANEL
▼	DATA RECEPTACLE
◇	CABLE RECEPTACLE
Ⓣ	THERMOSTAT

REFLECTED CEILING PLAN CONSTRUCTION NOTES:

- EXISTING MECHANICAL SYSTEMS - REWORK EXISTING DUCT WORK AND DIFFUSER GRILLES AS SHOWN TO ACCOMMODATE PROPOSED NEW LAYOUT. SERVICE UNIT AS REQUIRED TO ENSURE PROPER OPERATION AS NOTED. MECHANICAL SUB CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REDISTRIBUTION ON AC FROM EXISTING UNITS. EXISTING UNITS TO BE FLUSHED W/ NEW FILTERS.

ELECTRICAL NOTES:

- PROVIDE POWER TO DISHWASHER
- PROVIDE POWER TO GARBAGE DISPOSAL WITH COUNTER TOP SWITCH
- PROVIDE 220 POWER TO OVEN / RANGE TOP AS REQUIRED BASED UPON APPLIANCES SELECTED
- PROVIDE POWER TO OVEN
- PROVIDE POWER TO MICROWAVE

GENERAL ELECTRICAL NOTES:

- PROVIDE COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM.
- ALL WORK SHALL CONFORM TO OR EXCEED THE MINIMUM REQUIREMENTS OF THE CURRENT ANSI/NFPA 70 WITH STATE OF FLORIDA AMENDMENTS, ANSI/IEEE C2 AND ALL FEDERAL, STATE, LOCAL, AND MUNICIPAL CODES AND ORDINANCES. THE ELECTRICAL SUBCONTRACTOR SHALL COMPLY WITH THE DIRECTIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- INSTALL WORK USING PROCEDURES DEFINED IN NECA STANDARDS OF INSTALLATION. ALL WORK SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
- PROVIDE OCCUPANCY SENSORS AS DETERMINED
- ELECTRICAL CONTRACTOR TO PROVIDE UPDATED AND COMPLETE FINAL PANEL SCHEDULE UPON COMPLETION OF ELECTRICAL WORK.

ELECTRICAL SPECIFICATIONS:

- PROVIDE LABELING FOR ALL PANELBOARDS, SWITCHBOARDS, AND DISCONNECT SWITCHES TO INCLUDE AN ENGRAVED PLASTIC LABEL IDENTIFYING THE EQUIPMENT AND WHERE IT IS FED FROM. ALL BRANCH DEVICES IN THE MAIN SWITCHBOARD SHALL HAVE AN ENGRAVED PLASTIC LABEL. ALL PANELBOARDS SHALL INCLUDE A TYPEWRITTEN DIRECTORY. ALL RECEPTACLES SHALL HAVE CIRCUIT NUMBERS WRITTEN ON THE INSIDE OF THE COVERPLATE. ALL JUNCTION BOX COVERS SHALL BE IDENTIFIED TO INDICATE CIRCUITS CONTAINED. WHERE MULTIPLE SWITCHES ARE GANGED TOGETHER THE SWITCHES SHALL BE IDENTIFIED.
- ALL CONDUIT INSIDE THE BUILDING SHALL BE A ELECTRICAL METALLIC TUBING (EMT) AND SHALL BE A MINIMUM 1/2" UNLESS OTHERWISE NOTED. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED. ALL CONDUIT INSTALLED ABOVE GRADE OUTSIDE THE BUILDING SHALL BE GALVANIZED RIGID STEEL. NO PVC CONDUIT SHALL BE USED ABOVE THE FLOOR SLAB.
- SWITCHES SHALL BE 20 AMPERE RATED, 120/277 VOLT, HUBBELL 1121 SERIES OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED. ALL LED FIXTURES TO BE PLACED ON DIMMER FOR CONTROL.
- RECEPTACLES SHALL BE 20A, 120V GROUNDING TYPE LIKE HUBBELL 5342 SERIES, UNLESS OTHERWISE NOTED.
- WIRING METHODS:
ALL WIRING SHALL BE COPPER. NO ALUMINUM WIRING WILL BE ALLOWED.
ALL OTHER CABLE SHALL BE AS PERMITTED BY CODE.

PANELBOARD SCHEDULE									
PANEL: 200 AMP MAIN BREAKER					120/240V AC - 3 WIRE				
WIRE NO.	WIRE SIZE	DESCRIPTION	LOAD	BRK.	WIRE NO.	WIRE SIZE	DESCRIPTION	LOAD	BRK.
1	4	USED CIRCUIT 40 AMPS	-	-	1	4	USED CIRCUIT 40 AMPS	-	-
3	4	USED CIRCUIT 40 AMPS	-	-	3	4	USED CIRCUIT 40 AMPS	-	-
5	4	USED CIRCUIT 40 AMPS	-	-	5	4	USED CIRCUIT 40 AMPS	-	-
7	4	USED CIRCUIT 40 AMPS	-	-	7	4	USED CIRCUIT 40 AMPS	-	-
9	4	USED CIRCUIT 40 AMPS	-	-	9	4	USED CIRCUIT 40 AMPS	-	-
11	4	USED CIRCUIT 40 AMPS	-	-	11	4	USED CIRCUIT 40 AMPS	-	-
13	4	USED CIRCUIT 40 AMPS	-	-	13	4	USED CIRCUIT 40 AMPS	-	-
15	4	USED CIRCUIT 40 AMPS	-	-	15	4	USED CIRCUIT 40 AMPS	-	-
17	4	USED CIRCUIT 40 AMPS	-	-	17	4	USED CIRCUIT 40 AMPS	-	-
19	4	USED CIRCUIT 40 AMPS	-	-	19	4	USED CIRCUIT 40 AMPS	-	-
21	4	USED CIRCUIT 40 AMPS	-	-	21	4	USED CIRCUIT 40 AMPS	-	-
23	4	USED CIRCUIT 40 AMPS	-	-	23	4	USED CIRCUIT 40 AMPS	-	-
25	4	USED CIRCUIT 40 AMPS	-	-	25	4	USED CIRCUIT 40 AMPS	-	-
27	4	USED CIRCUIT 40 AMPS	-	-	27	4	USED CIRCUIT 40 AMPS	-	-
29	4	USED CIRCUIT 40 AMPS	-	-	29	4	USED CIRCUIT 40 AMPS	-	-
TOTAL VA (A PHASE) =			TOTAL VA (B PHASE) =			TOTAL VA (C PHASE) =			

NOTE: EXISTING PANEL SCHEDULE REWORK AS REQUIRED

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DATE MONTH YEAR

Signed By: C. ALAN ANDERSON, FL#A00014171

To the best of the architect's or engineer's knowledge, said plans and specifications comply with the applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 633, Florida Statutes.

Do not scale these drawings

REVISION DATE DESCRIPTION

DRAWN BY: BLDG PERMIT PLANS
FILE
Copy of Record
ELECTRICAL PLAN

0 2 4
1 3
SCALE: 1/4" = 1'-0"



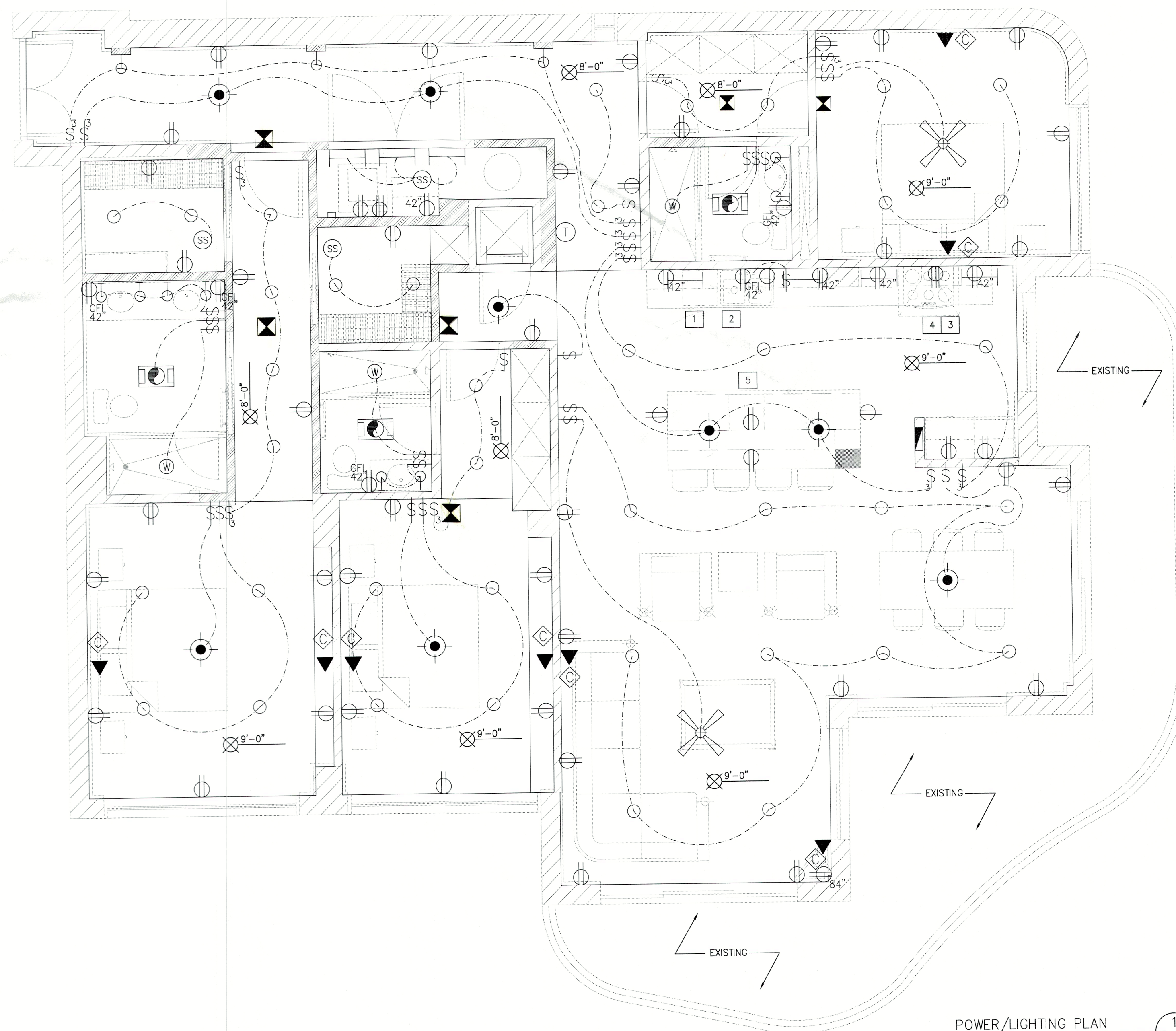
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20 SEPTEMBER 2024

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POWER/LIGHTING PLAN
SCALE: 1/4" = 1'-0"

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