



SHALLBETTER RESIDENCE RENOVATION

2151 GULF OF MEXICO DRIVE #2, BLDG 2, LONGBOAT KEY, FL 34228



PROJECT LOCATION

ARCHITECTURAL

A0.1 COVER
A1.0 DEMO PLAN
A1.1 FLOOR PLAN
A1.3 CEILING PLAN

CODE/ZONING REVIEW

JURISDICTION:
TOWN OF LONGBOAT KEY
BUILDING TYPE: IIB (EXISTING TO REMAIN)
SCOPE OF WORK: INTERIOR RENOVATION OF KITCHEN/LIVING AREA IN EXISTING BUILDING.
AREA OF WORK: 1147 SF

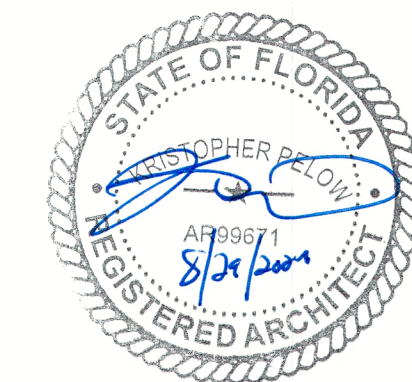
All construction shall comply with the following:

2023 FLORIDA BUILDING CODE, 8TH EDITION
2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
2023 FLORIDA BUILDING CODE EXISTING BUILDING, 8TH EDITION
2023 FLORIDA BUILDING CODE ENERGY CONSERVATION, 8TH EDITION
2023 FLORIDA BUILDING CODE FUEL GAS CODE 8TH EDITION
2023 FLORIDA BUILDING CODE MECHANICAL, 8TH EDITION
2023 FLORIDA BUILDING CODE PLUMBING, 8TH EDITION
2020 EDITION NATIONAL ELECTRICAL CODE
NFPA 70, 2020 EDITION
NATIONAL ELECTRICAL SAFETY CODE - 2020
2023 FLORIDA FIRE PREVENTION CODE
ASCE 7-22, ASCE 24-14

All locally adopted code by authorities having jurisdiction whether

ARCHITECT:
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MECHANICAL, ELECTRICAL,
AND PLUMBING REVIEWS
WILL BE DEFERRED TO
FIELD INSPECTORS

Permit # **PB24-1005**
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

SEP 17 2024

APPROVED

Reviewer: *[Signature]*

RECEIVED

SEP 09 2024
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

BLDG PERMIT PLANS
FILE
Copy of Record

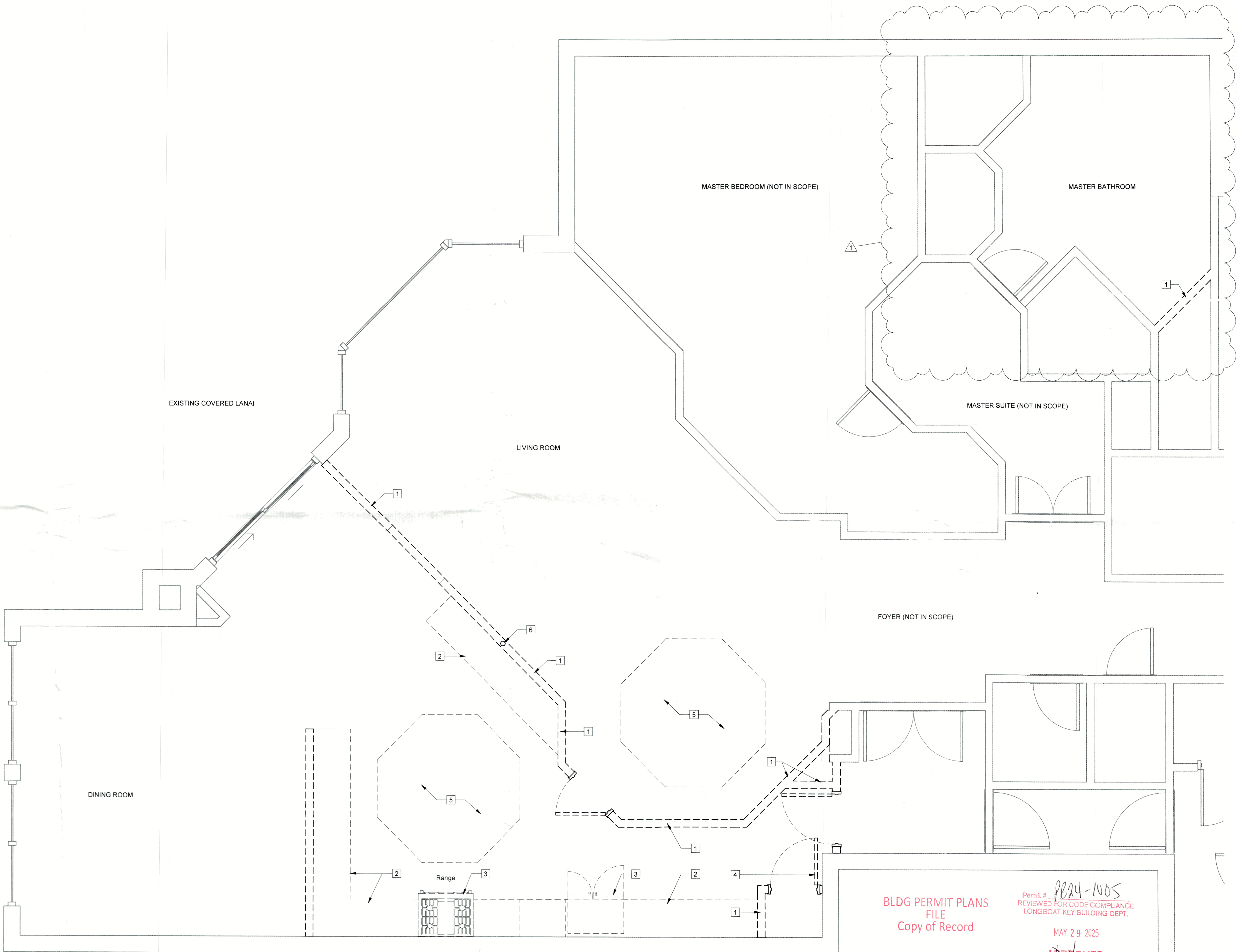
SHALLBETTER RESIDENCE - CONSTRUCTION DOCUMENTS - 08.28.2024

DEMOLITION GENERAL NOTES

1. REMOVE ALL EXISTING ITEMS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED.
2. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL VERIFY ALL LOAD BEARING ELEMENTS IN FIELD BEFORE PROCEEDING WITH THE WORK. SHORING SYSTEM IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS.
5. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
6. UTILITIES AND SERVICES SERVING THE EXISTING SITE SHALL BE MAINTAINED IN OPERATION TO SERVE THE NEEDS OF PORTIONS OF THE BUILDING AND SITE NOT INVOLVED IN THE WORK. UNDER THIS CONTRACT, AT ALL TIMES DURING THE PROGRESS OF THE WORK, EXCEPT FOR PERIODS ABSOLUTELY NECESSARY TO PERFORM THE WORK, G.C. TO COORDINATE WITH BUILDING OWNER WHEN DISRUPTIONS ARE NECESSARY.
7. DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.
8. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, ETC.
9. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
10. NOISE AND DUST IS NOT TO BE DISRUPTIVE TO THE OCCUPIED AREA OF THE BUILDING. PROVIDE TEMPORARY PARTITIONS AS REQUIRED.
11. CONTRACTOR TO OBTAIN & COMPLY WITH ALL BUILDING RULES & REGULATIONS.
12. G.C. TO COORDINATE ANY SALVAGEABLE ITEMS WITH BUILDING OWNER. UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SALVAGED ITEMS WILL BECOME THE PROPERTY OF THE CONTRACTOR.
13. ALL DOORS & WINDOWS NOT LABELED OR NOTED ARE EXISTING TO REMAIN.

DEMOLITION PLAN KEY NOTES

1	REMOVE EXISTING WALL
2	REMOVE EXISTING CABINETS
3	REMOVE EXISTING APPLIANCES
4	REMOVE EXISTING WALL
5	REMOVE EXISTING STEPPED CEILING
6	EXISTING NON-ACTIVE DRAIN PIPING TO BE REMOVED



1 DEMO
3/8" = 1'-0"

BLDG PERMIT PLANS
FILE
Copy of Record

Permit # **PR24-1005**
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LONGBOAT KEY BUILDING DEPT.

MAY 29 2025

Reviewer: **APPROVED**

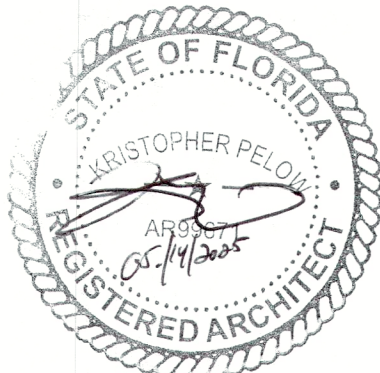
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MAY 14 2025
TOWN OF LONGBOAT KEY
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No.	Description	Date
1	FRAMING REV.	05.14.2025

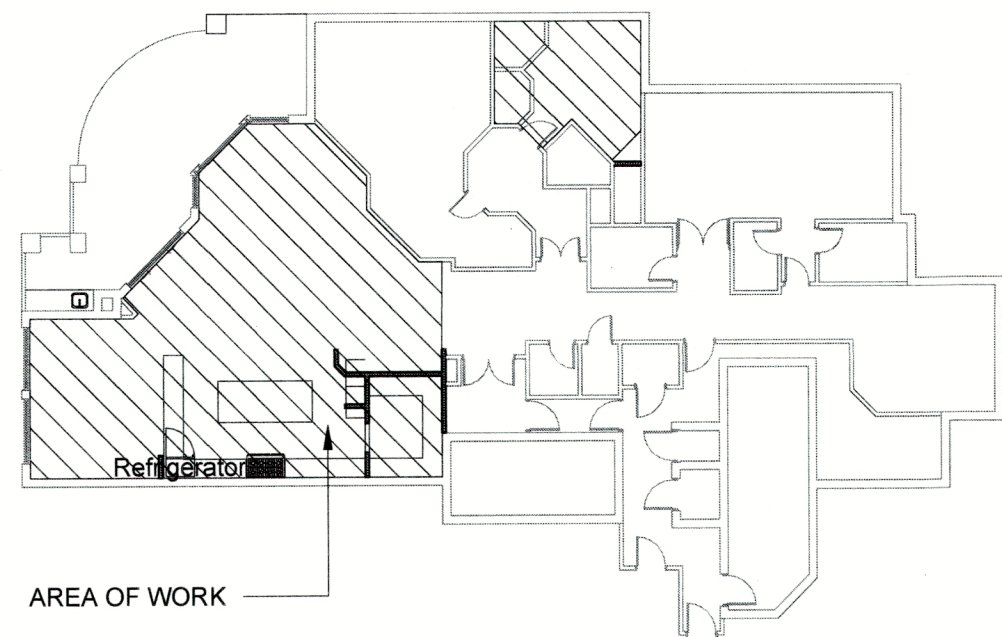


KRISTOPHER PELOW
AR99671 & ID 6707

PROJECT NO: 231103
DRAWN BY: KJP
CHECKED BY: KJP

DEMO PLAN

A1.0



3 FLOOR PLAN
1" = 20'-0"

GENERAL NOTES

GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES IMMEDIATELY.

GENERAL CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH BUILDING MATERIALS, EQUIPMENT, DETAILS AND CONDITIONS AS INDICATED BY THESE DRAWINGS PRIOR TO COMMENCING WORK.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL VARIOUS ASPECTS OF THE CONSTRUCTION. ANY UNCERTAINTIES SHALL BE SUBMITTED TO ARCHITECT IN THE FORM OF A REQUEST FOR INFORMATION PRIOR TO COMMENCING WORK IN THE AFFECTED AREA.

GENERAL CONTRACTOR SHALL VERIFY ALL LOAD BEARING ELEMENTS IN FIELD BEFORE PROCEEDING WITH THE WORK. SHORING SYSTEM IS THE RESPONSIBILITY OF THE CONTRACTOR.

REFER TO THE SPECIFICATIONS FOR DOORS & WINDOWS, HARDWARE, FLOOR/WALL FINISHES, CABINETRY, FIXTURES, AND OTHER FINISHES NOT SPECIFIED ARE TO BE SELECTED BY THE OWNER.

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES INCLUDING LOCALLY ADOPTED CODES BY AUTHORITIES HAVING JURISDICTION, WHETHER HEREIN SPECIFIED OR NOT.

WALL LEGEND

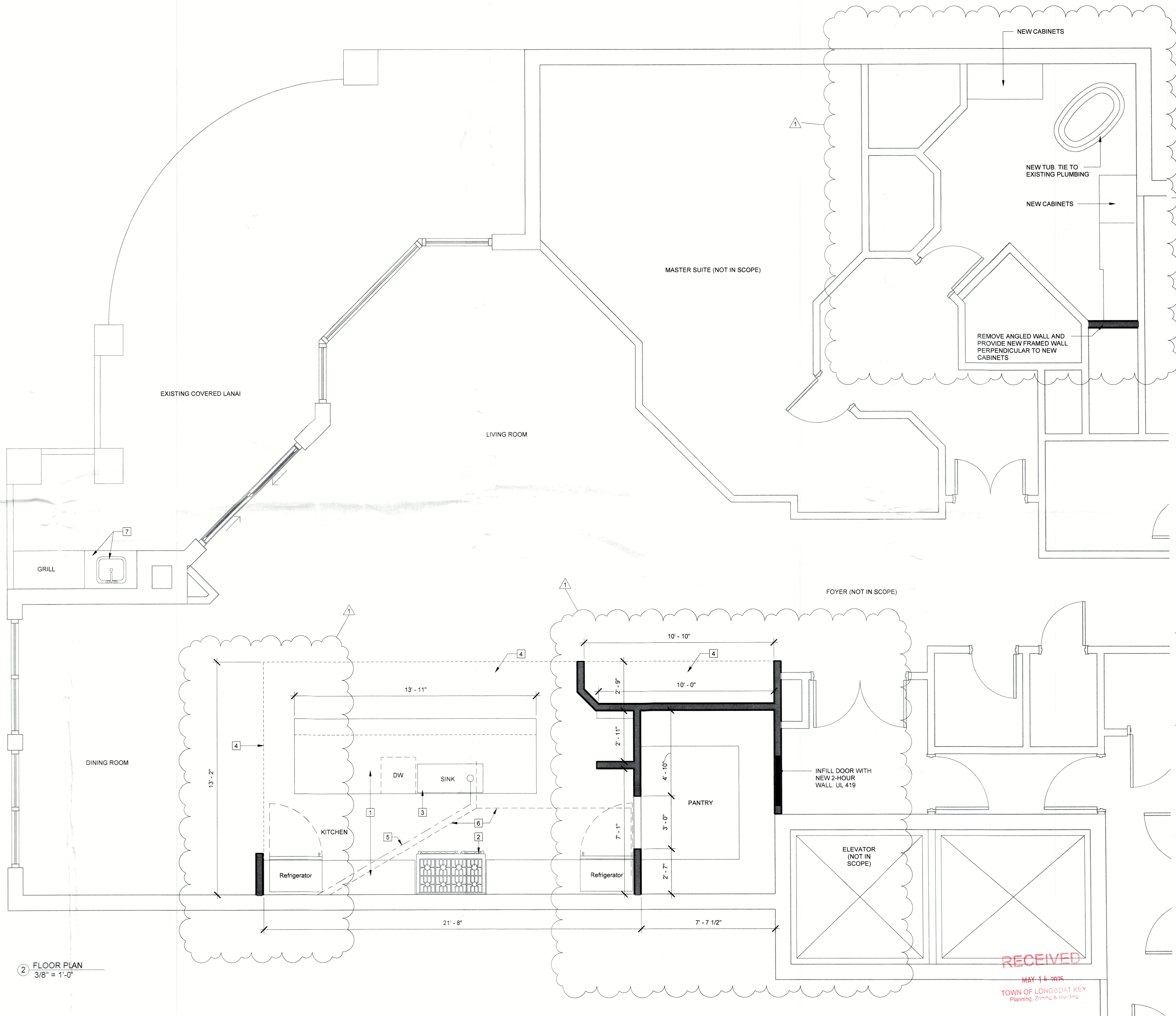
- NEW CMU WALL
- NEW WOOD STUD WALL

GENERAL FINISH NOTES

ALL FINAL FINISH MATERIALS, COLORS AND MANUFACTURERS TO BE SELECTED BY OWNER

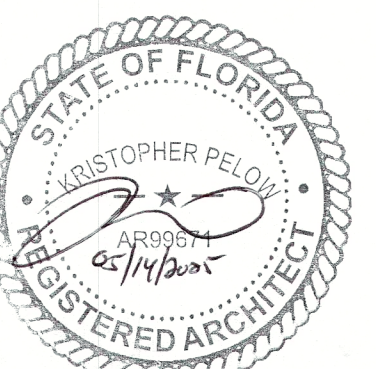
FLOOR PLAN KEY NOTES

1	NEW VANITY & SINK
2	NEW APPLIANCE SELECTED BY OWNER
3	NEW SINK & VANITY
4	NEW SOFFIT
5	NEW WASTELINE (CONNECT TO EXISTING SEWER LINE)
6	NEW HOT/COLD WATER LINE TO NEW SINK
7	NEW OUTDOOR KITCHEN. NEW SINK IN SIMILAR LOCATION. TIE TO EXISTING PLUMBING.



2 FLOOR PLAN
3/8" = 1'-0"

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FLOOR PLAN

A1.1

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ELECTRICAL GENERAL NOTES

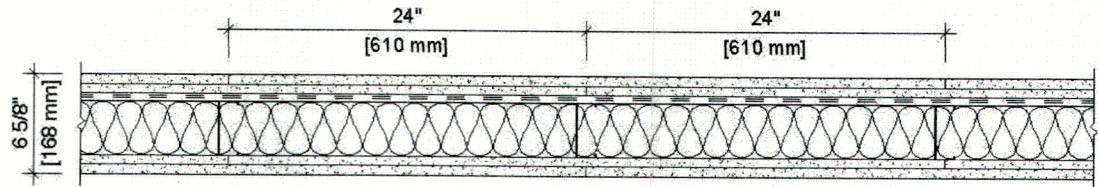
1. Outlet heights as measured from finished floor to bottom of box is 12"
- Kitchen: 44"
Bathroom: 39"
Laundry: 35"
Range: 2"
2. TRIM PLATES & DEVICES TO BE GANGED, WHERE POSSIBLE.
3. ELECTRICAL SWITCHES TO BE AT 44"
4. ELECTRICAL PLAN IS FOR BID PURPOSES ONLY. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE N.E.C. BY A LICENSED ELECTRICIAN, WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL WIRING AND ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE. IF THERE IS A GAS APPLIANCE OR FIREPLACE, CARBON MONOXIDE DETECTORS MUST BE PLACED WITHIN 10 FEET OF EACH BEDROOM. A COMBO SMOKE/CO DETECTOR WILL WORK. ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF FBC-R314 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72. BUILDING IS ASSUMED TO HAVE A MINIMUM OF 150 AMP SERVICE.
6. IT IS THE ELECTRICAL PERMIT HOLDERS RESPONSIBILITY TO COMPLY WITH ALL OF THE MINIMUM REQUIREMENTS OF PART VIII-ELECTRICAL, FBC-R 8TH ED, INCLUDING CHAPTERS 34-41 AND THE 2020 NATIONAL CODE. ALL ELECTRICAL WORK IS SUBJECT TO FIELD INSPECTIONS AND APPROVAL FOR CODE COMPLIANCE.
7. ELECTRICAL CONTRACTOR TO CONFIRM ALL NEW & EXISTING OUTLETS MEET NEC 210.52.
8. DISHWASHER CIRCUIT & DISPOSAL REQUIRE GFI PROTECTION. PROVIDE GFI BREAKER.
9. ALL NEW AND MODIFIED 120 V. 15 & 20 AMP CIRCUITS INCLUDING LIGHTING MUST COMPLY WITH NEC 210.12 FOR ARC FAULT PROTECTION.
10. PROVIDE ROUGH-IN WORK (PRIOR TO WIRING INSTALLATION) FOR REVIEW BY ARCHITECT PRIOR TO COMMENCEMENT OF FINISH WORK. MINOR RELOCATIONS OF EQUIPMENT SWITCHES, ET CETERA (UP TO 6 FEET IN ANY DIRECTION) SHALL BE PROVIDED DURING WALK-THROUGH WITHOUT ADDITIONAL COST TO OWNER.
11. ALL LIGHTING SELECTIONS TO BE PROVIDED BY OWNER. ALL SWITCHING LAYOUTS TO BE CONFIRMED BY OWNER BEFORE COMMENCEMENT OF WORK.
12. OUTLETS, TELEVISION, PHONE BOXES, ETC., SHALL BE SEPARATED BY STUD WHEN SERVING ADJACENT ROOMS.
13. PERFORM WORK IN STRICT ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL ELECTRIC CODE AND LOCAL CODES AND ORDINANCES.
14. CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND THE CONTRACTOR SHALL MAKE PROVISIONS FOR INTENDED CONNECTIONS AND CONNECTIONS REQUIRED WHETHER SHOWN OR NOT. CONTRACTOR COORDINATE HIS WORK WITH ALL OTHER TRADES TO PROVIDE ADEQUATE ACCESS, CONNECTIONS, LOCATION AND PERFORMANCE OF ALL SYSTEMS.
15. SWITCHES AND RECEPTACLES: COLOR WHITE UNLESS OTHERWISE SHOWN. PROVIDE SWITCHES WITH WALL PLATES SUITABLE FOR SPECIFIED NUMBER OF SWITCHES, I.E. 4 SWITCHES RECEIVE 4 GANG, AND 3 SWITCHES RECEIVE 3 GANG, ET CETERA. ALL ELECTRICAL RUNS IN NON-ACCESSIBLE SPACES SHALL BE IN CONDUIT. ALL ELECTRICAL RUNS IN ATTIC SHALL BE ROMEX UNLESS OTHERWISE NOTED AND SHALL BE LOCATED TOGETHER IN GROUPED RUNS LOCATED OUT OF TRAFFIC OR ACCESS WAYS.
16. PROVIDE COPPER CONDUCTORS, AND APPROVED RACEWAY.
17. PROVIDE TELEPHONE, TELEVISION (CABLE AND DISH), AND SECURITY HOMERUNS TO CENTRAL COMMUNICATION PANEL/SERVER (STRUCTURED MEDIA CENTER) FOR NETWORKING AND DISTRIBUTION OF TELEVISION, TELEPHONE, AND COMPUTER. COORDINATE WITH ELECTRICAL REQUIREMENTS. WIRING FOR TELEPHONE AND SECURITY, WHICH IS EXPOSED IN ATTICS, ET CETERA SHALL BE INSTALLED ABOVE INSULATION, IN GROUPED RUNS, VISIBLE, AND LOCATED SO THAT FOOT TRAFFIC WILL NOT DAMAGE WIRING.
18. THE LABELING FOR INDIVIDUAL CIRCUITS AT THE PANEL BOX(S) SHALL BE TYPED.

CEILING & POWER LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ GFI DUPLEX OUTLET (GFI)
- ⊕ SINGLE SWITCH
- ⊕ 3-WAY SWITCH
- TV DATA COORDINATE WITH OWNER
- ⊙ RECESSED CAN LIGHT
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR INSTALLED ACCORDING TO 2020 FBC SECTION R 314/315
- ⊕ JUNCTION BOX

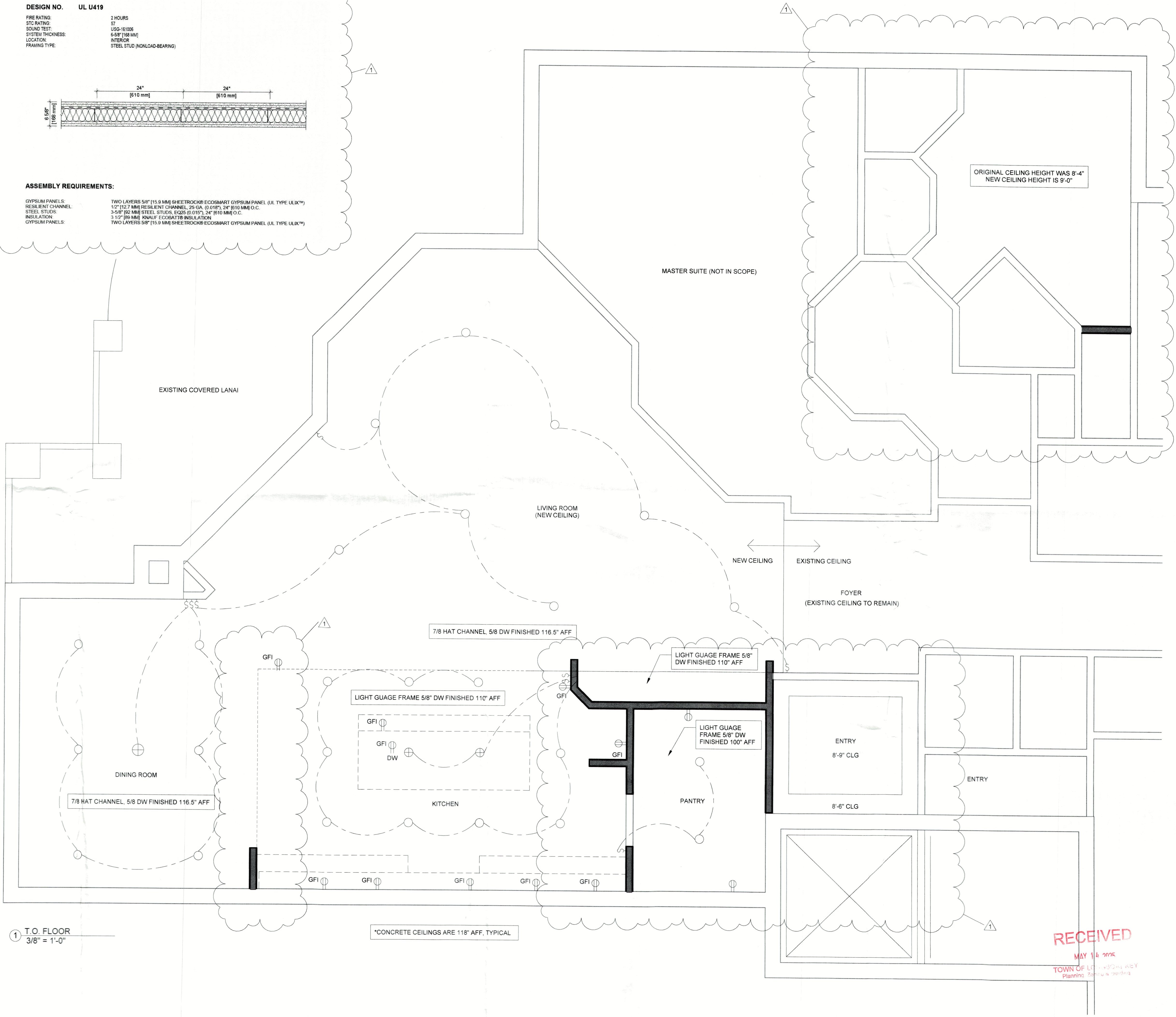
DESIGN NO. UL U419

FIRE RATING: 2 HOURS
STC RATING: 57
SOUND TEST: UFG-161006
SYSTEM THICKNESS: 6-5/8" (168 MM)
LOCATION: INTERIOR
FRAMING TYPE: STEEL STUD (NONLOAD-BEARING)



ASSEMBLY REQUIREMENTS:

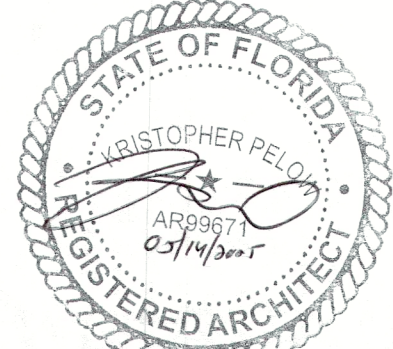
GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)
RESILIENT CHANNEL: 1/2" (12.7 MM) RESILIENT CHANNEL 25 GA. (0.018"), 24" (610 MM) O.C.
STEEL STUDS: 3-5/8" (92 MM) STEEL STUDS, E225 (0.015"), 24" (610 MM) O.C.
INSULATION: 3 1/2" (89 MM) KNUF E-CORAT® INSULATION
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CEILING PLAN

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