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JOHNSTONE RESIDENCE CONDO RENOVATION

3030 GRAND BAY BLVD, UNIT 316
LONGBOAT KEY, FLORIDA 34228

PROJECT DATA

OWNER

D W JOHNSTONE (2014) LIMITED
LE VAL DE PUTRON FERMAIN ROAD
ST PETER PORT, GY1 2TD, GUERNSEY

PROJECT DATA

BUILDING CODE FLORIDA BUILDING CODE 2023, 8TH EDITION
FLORIDA EXISTING BUILDING CODE 2023
FLORIDA RESIDENTIAL BUILDING CODE 2023
FLORIDA PLUMBING CODE 2023
FLORIDA ENERGY CONSERVATION CODE 2023
FLORIDA HVAC CODE 2023
NATIONAL ELECTRICAL CODE (NFPA 70)

CLASSIFICATION OF WORK LEVEL 2 ALTERATION

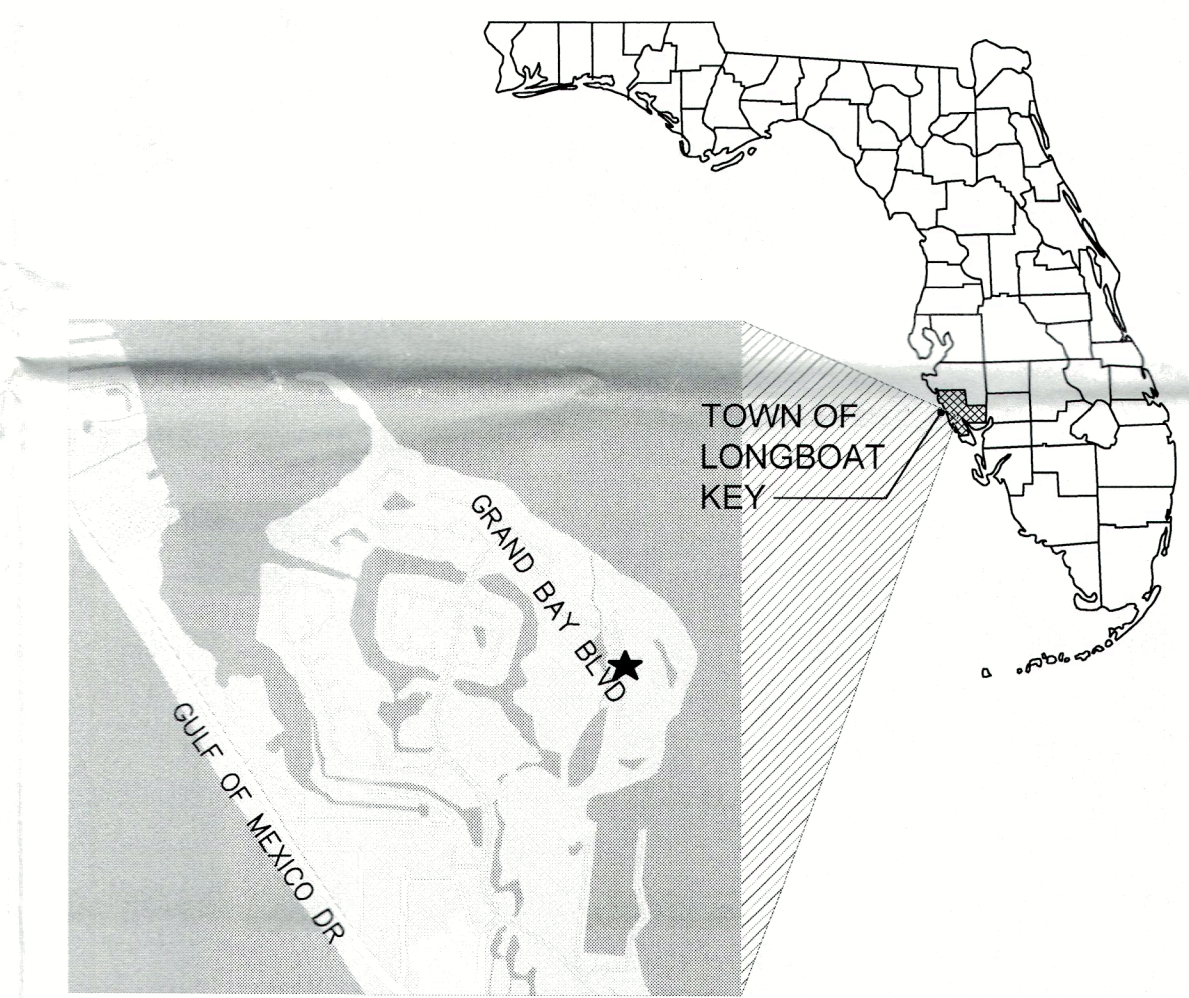
OCCUPANCY R-3 RESIDENTIAL

TYPE OF CONSTRUCTION TYPE IIB
NON-COMBUSTIBLE

SCOPE OF WORK:

DEMOLITION WORK SHALL INCLUDE THE REMOVAL OF FLOORING,
PLUMBING, ELECTRICAL, HVAC FIXTURES & CABINETRY. RENOVATION
WORK SHALL INCLUDE THE INSTALLATION OF NEW FLOORING,
PLUMBING, ELECTRICAL, HVAC FIXTURES & CABINETRY.

LOCATION MAPS



★ 3040 GRAND BAY BLVD, UNIT 216

DEMOLITION NOTES

LIVING ROOM & ADJACENT SITTING ROOM ONLY

CAREFULLY REMOVE & DISCARD THE FOLLOWING (UNLESS NOTED OTHERWISE)

- EXISTING CEILING & WALL MOUNTED LIGHT FIXTURES
- RELOCATE EXISTING FIRE SPRINKLERS AS REQUIRED. SPRINKLER SYSTEM WORK SHALL BE PERMITTED SEPARATELY AND SHALL BE COORDINATED WITH BUILDING MANAGEMENT & THEIR PREFERRED VENDOR.
- RELOCATE EXISTING SMOKE DETECTORS TO NEW LOWER CEILING LEVEL.
- RELOCATE EXISTING SPEAKERS TO BELOW NEW CEILING.
- REMOVE ANY CEILING DECORATIONS.

REVISION LOG

NO.	DESCRIPTION	DATE

ABBREVIATIONS

E	EXISTING TO REMAIN "AS IS"	N	NEW
ER	EXISTING TO BE RELOCATED	WP	WEATHERPROOF
ED	EXISTING TO BE DISCARDED	AFF	ABOVE FINISH FLOOR
GFI	GROUND FAULT INTERRUPTER	EXTG	EXISTING
RL	EXISTING RELOCATED DEVICE	WC	WATER CLOSET
ERP	EXISTING TO BE REPLACED	S	SALVAGE DEVICE

SCOPE OF WORK & WORK AREA

DEN BATH & ELEVATOR FOYER
PAINT WALLS & CEILING

WALL: BENJAMIN MOORE
SIMPLY WHITE (OC-117)

CEILING: BENJAMIN MOORE
CHANTILLY LACE (OC-65)

LIVING ROOM
NEW DROP CEILING & LIGHT FIXTURES; SEE
2/A1.01

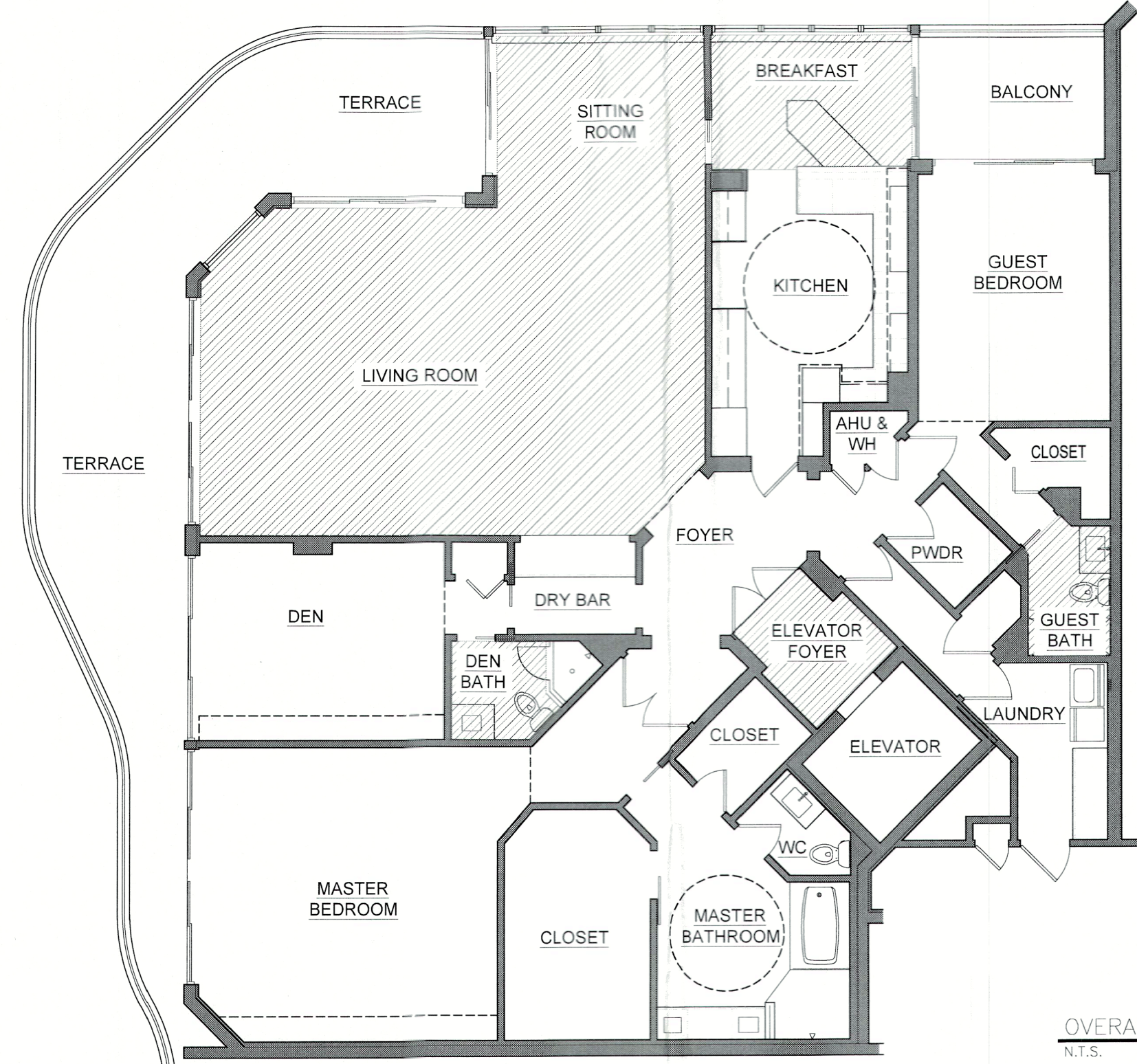
GUEST BATH
NEW SHOWER & VANITY; SEE PARTIAL PLANS 1, 2
& 7/A1.02 & ELEVATIONS.

BREAKFAST
REMOVE EXTG. LIGHT FIXTURE & REPLACE W/(2)
NEW 4" RECESSED CAN LIGHT FIXTURES

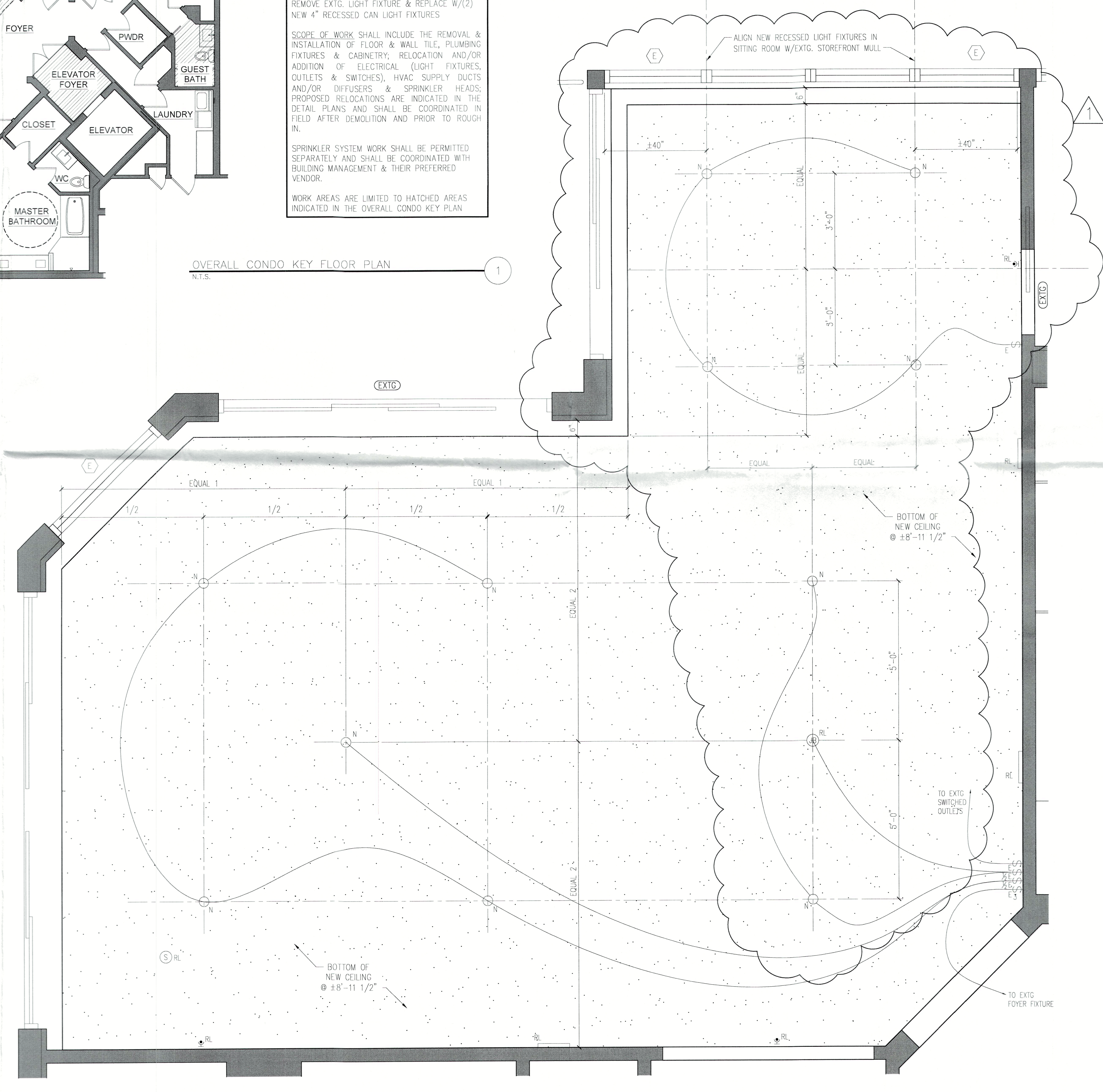
SCOPE OF WORK SHALL INCLUDE THE REMOVAL &
INSTALLATION OF FLOOR & WALL TILE, PLUMBING
FIXTURES & CABINETRY; RELOCATION AND/OR
ADDITION OF ELECTRICAL (LIGHT FIXTURES,
OUTLETS & SWITCHES), HVAC SUPPLY DUCTS
AND/OR DIFFUSERS & SPRINKLER HEADS;
PROPOSED RELOCATIONS ARE INDICATED IN THE
DETAIL PLANS AND SHALL BE COORDINATED IN
FIELD AFTER DEMOLITION AND PRIOR TO ROUGH
IN.

SPRINKLER SYSTEM WORK SHALL BE PERMITTED
SEPARATELY AND SHALL BE COORDINATED WITH
BUILDING MANAGEMENT & THEIR PREFERRED
VENDOR.

WORK AREAS ARE LIMITED TO HATCHED AREAS
INDICATED IN THE OVERALL CONDO KEY PLAN



OVERALL CONDO KEY FLOOR PLAN
N.T.S.



PARTIAL PLAN - NEW LIVING & SITTING ROOM LIGHTING LAYOUT
1/2" = 1'-0"

NOTE:
ALL ELECTRICAL WORK SHALL BE DONE
BY A FLORIDA REGISTERED & LICENSED
ELECTRICIAN AND SHALL CONFORM TO
ALL APPLICABLE CODES

ELECTRICAL SYMBOL LEGEND

○	4" RECESSED LED LIGHT FIXTURE	⊕	PENDANT LIGHT FIXTURE
○ WP	WET RATED 4" RECESSED LED LIGHT FIXTURE	⊙	SURFACE MOUNTED LIGHT FIXTURE
⊕	WALL SCONCE	---	LED STRIP LIGHT W/ALUM. CHANNEL & DIFFUSER LENS
⊖	VANITY LIGHT FIXTURE	---	STRIP LIGHT FIXTURE W/LENS
⊕⊖	JUNCTION BOX	⊕	SWITCH SINGLE POLE
⊕	SMOKE & CO ² DETECTOR; HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP	⊕⊕	SWITCH THREE POLE
⊕	THERMOSTAT	⊕⊕⊕	DUAL SWITCH SINGLE POLE
⊕ TV	T.V. JACK	⊕⊕⊕	DIMMER SWITCH
⊕ SB	DUPLEX OUTLET W/USB A & C PORTS	→	RETURN OR SUPPLY AIR INDICATED BY ARROW; WALL MTD
⊕	DUPLEX OUTLET	→	SUPPLY AIR VENT; CEILING MTD
⊕ GFI	GFI DUPLEX OUTLET	→	RETURN AIR VENT; CEILING MTD
⊕	QUAD OUTLET	⊕	EXHAUST FAN; L INDICATES LIGHT
⊕	SPECIAL PURPOSE OUTLET	⊕	CONTACT BUILDING VENDOR FOR RE-CONFIGURATION OF SPRINKLER SYSTEM AND/OR FIRE ALARM FIXTURES
⊕	CEILING FAN	⊕	SPRINKLER HEAD; CEILING MTD
		⊕	SPRINKLER HEAD; WALL MTD
		⊕	FIRE ALARM & LIGHT

PROVIDE ARC FAULT CIRCUIT INTERRUPTERS IN DWELLING UNIT PER NEC 2001 SECTION 210.52 AND 210.52. LAMPS MUST COMPLY WITH THE FBC ENERGY CONSERVATION CODE, SECTION R404.1

MATERIAL & SYMBOL LEGEND

---	SELECTIVELY SAWCUT, REMOVE AND DISCARD EXISTING NON-BEARING PARTITIONS AS INDICATED; WHERE DEMOLITION WORK RESULTS IN DAMAGE TO GYPSUM WALLBOARD TO REMAIN, PATCH & REPAIR EXISTING GYPSUM WALLBOARD AS REQ'D.
---	EXISTING WALL/PARTITION TO REMAIN; PATCH & REPAIR EXISTING GYPSUM WALLBOARD AS REQ'D
---	NEW PARTITION: 1/2" GYPSUM WALLBOARD OVER 3/8" GALV STEEL STUDS @ 16" O.C.
DEMOL	COMPLETELY REMOVE & DISCARD DOOR AND ALL RELATED APPURTENANCES.
EXTG	EXISTING DOOR TO REMAIN & SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. REMOVE MOLDINGS & SAND DOOR AS REQUIRED FOR PAINTING
###	NEW SOLID CORE SLAB DOOR; WIDTH AND HEIGHT IN FT. (EXAMPLE 21080 = 2'-10"W X 8'-0"H) STYLE TO MATCH EXISTING
E	EXISTING WINDOW TO REMAIN & SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION

PROJECT

**JOHNSTONE RESIDENCE
CONDO RENOVATION**
3030 GRAND BAY BLVD, UNIT 316
SARASOTA, FL 34228

ISSUE

ID	DESCRIPTION	DATE
1	SUB MEETING	05.16.2024
0	PERMIT	05.22.2024
1	OWNER COMMENTS	06.05.2024

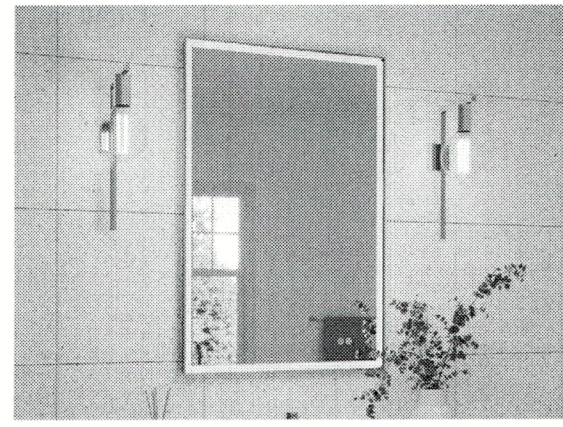
BLDC PERMIT PLANS
FILE
Copy of Record

SHEET TITLE
PROJECT DATA,
SCOPE OF WORK,
UNIT KEY FLOOR
PLAN
SHEET No.

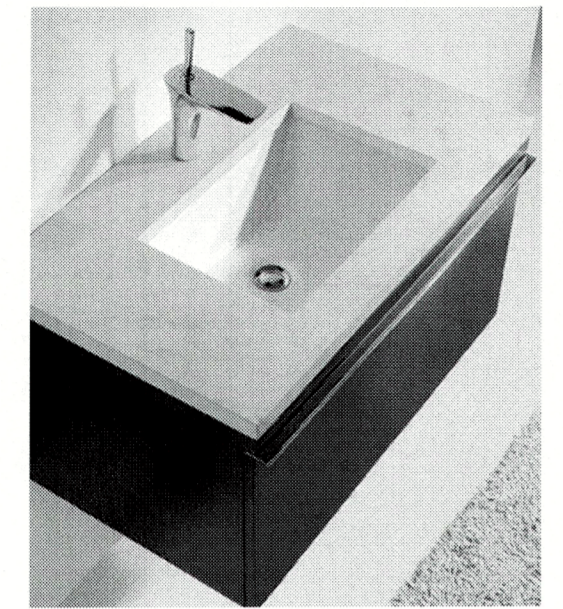
A1.01 1
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

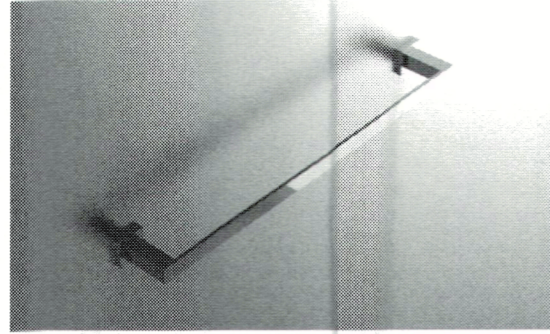
GUEST BATHROOM PLUMBING SCHEDULE



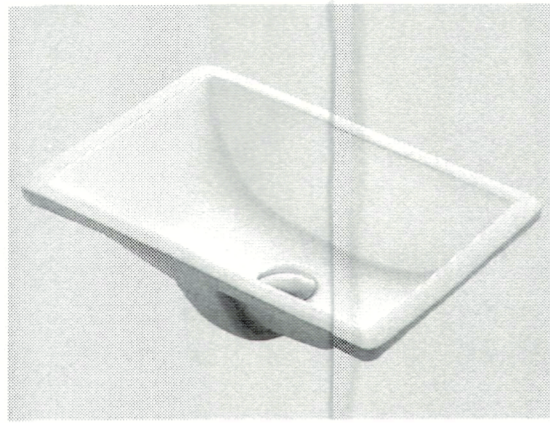
Alta Floating Vanities 24" x 4.5" H. White. Chrome. Model: FA4205-11



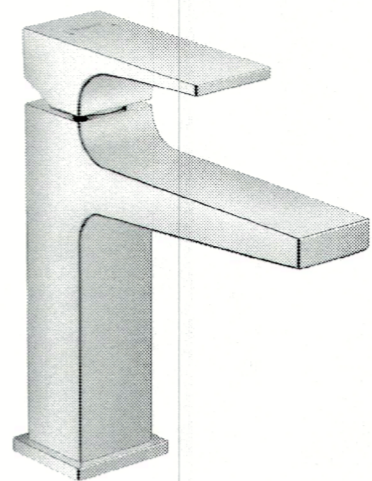
32" W x 1-3/4" H. Quartzstone Top Single Faucet Hole No. Backsplash - White Carrera. Qty: 1. Model: GD1812-30-110-WC



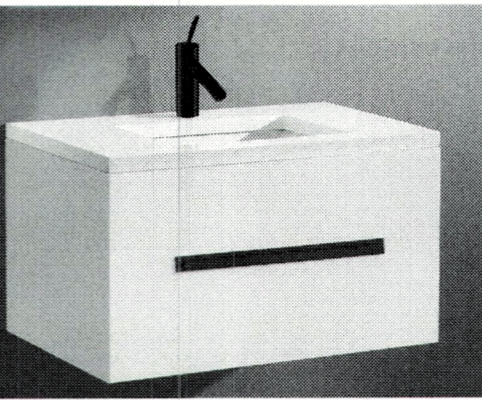
Chrome Select E Handshower 11.03 Jac. 2.5 Gpm - White / Chrome. Qty: 1. Hansgrohe - Axor: 04948400



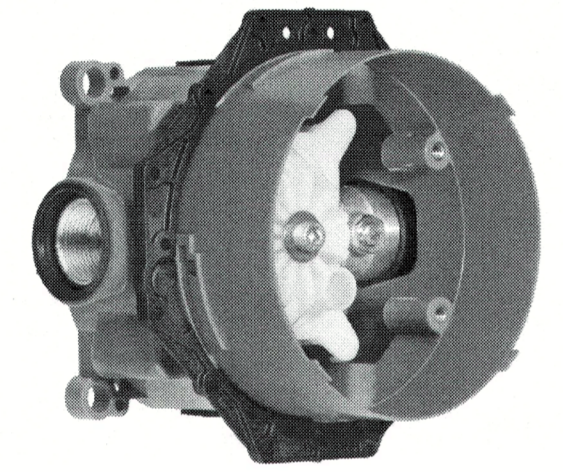
36" Recessed Undermount White. Model: S15110-1



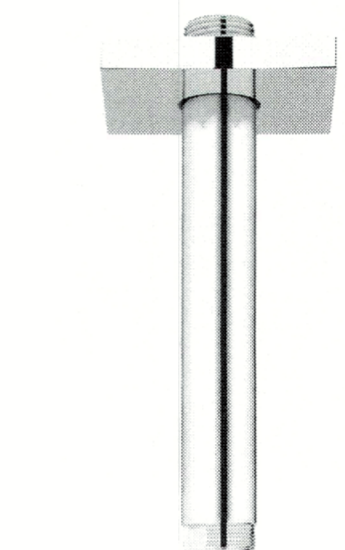
Metropol Single Hole Faucet 110 With Lever Handle And Pop Up Drain, 1.2 Gpm - Chrome. Qty: 1. Hansgrohe - Axor: 32506001



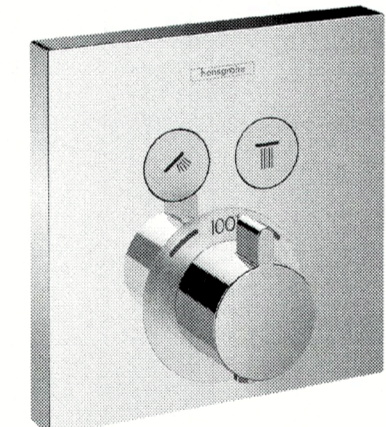
36" W x 18" D x 34" H. White / White. Model: S15110-1



Chrome Select E Handshower 11.03 Jac. 2.5 Gpm - White / Chrome. Qty: 1. Hansgrohe - Axor: 04948400



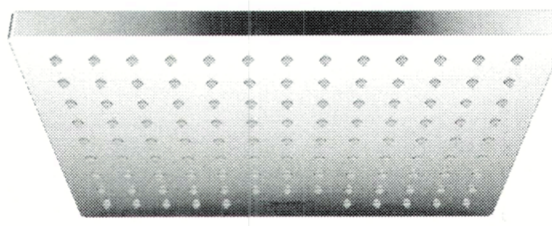
Rainshower 6" Ceiling Shower Arm With Square Flange. Qty: 1. Model: C1100000



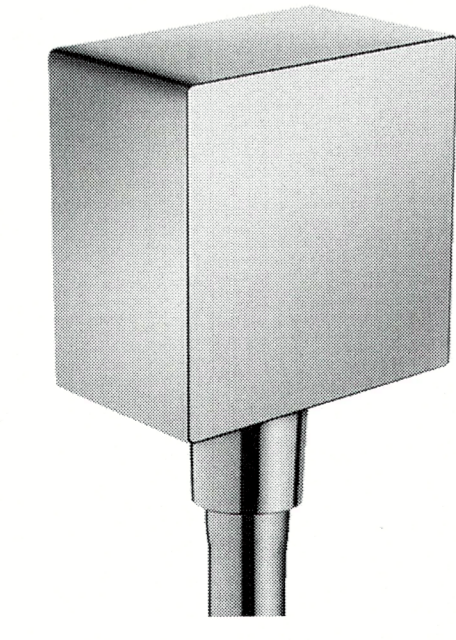
Chromeselect Thermostatic Trim For 2 Functions, Square - Chrome. Qty: 1. Hansgrohe - Axor: 18763001



Euphoria 24" Shower Slide Bar - Chrome. Qty: 1. Grohe: 27892000



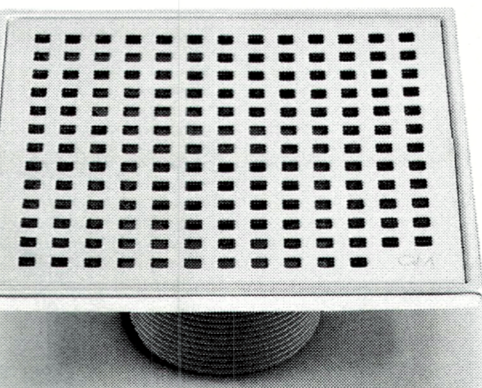
1000 Series Handshower 20" x 11" 2.5 Gpm - Chrome. Qty: 1. Hansgrohe - Axor: 04948400



Flush Wall Outlet Square With Check Valves - Chrome. Qty: 1. Hansgrohe - Axor: 26455001



65" Telescop Handshower Head - Chrome. Qty: 1. Hansgrohe - Axor: 04948400



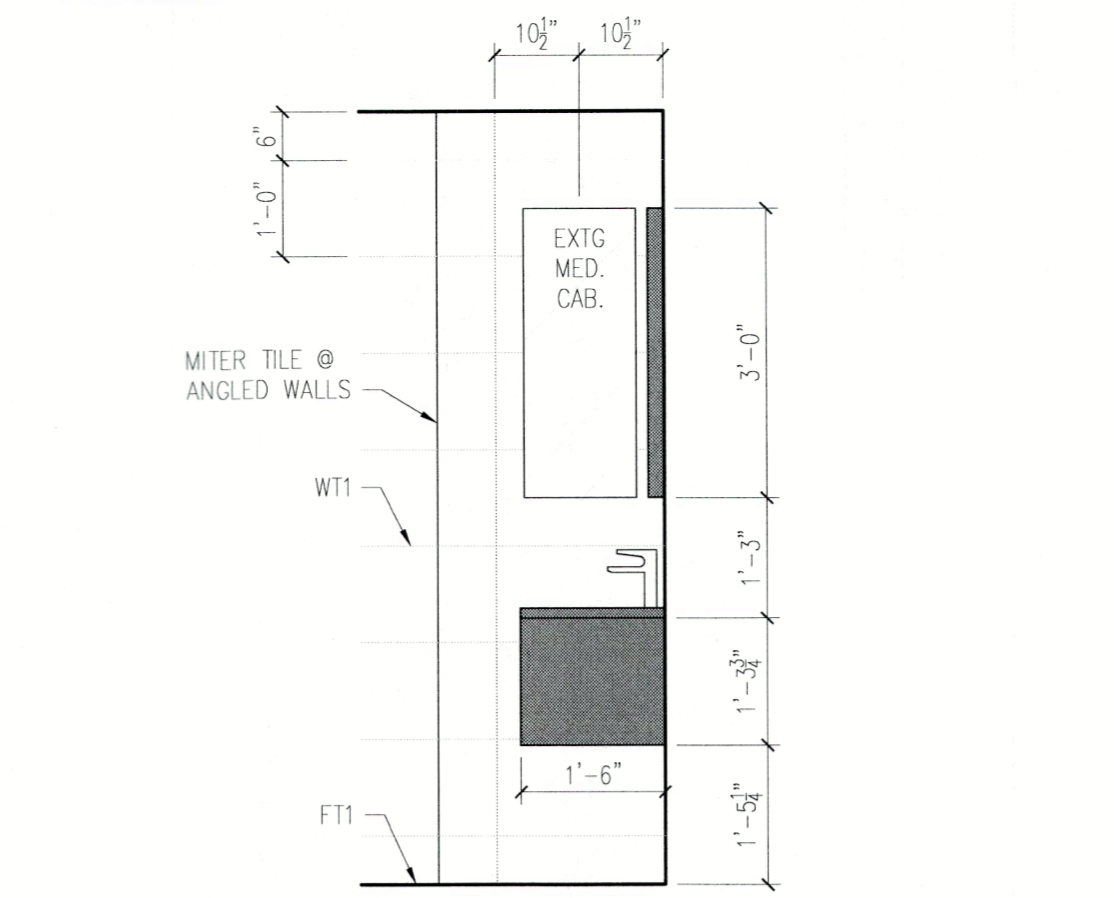
Legno Series Mix 5.5/4" Square Drain - Polished. Qty: 1. Grohe: 8810008PS

MATERIAL LEGEND		
FT1	FLOOR TILE	12x24 WHITE PLANE MATTE
FT2	SHOWER FLOOR TILE	2x2 MARIN PEARL WHITE MATTE
WT1	SHOWER WALL TILE	12x24 WHITE PLANE MATTE
MTL1	METAL TILE TRIM	WHITE

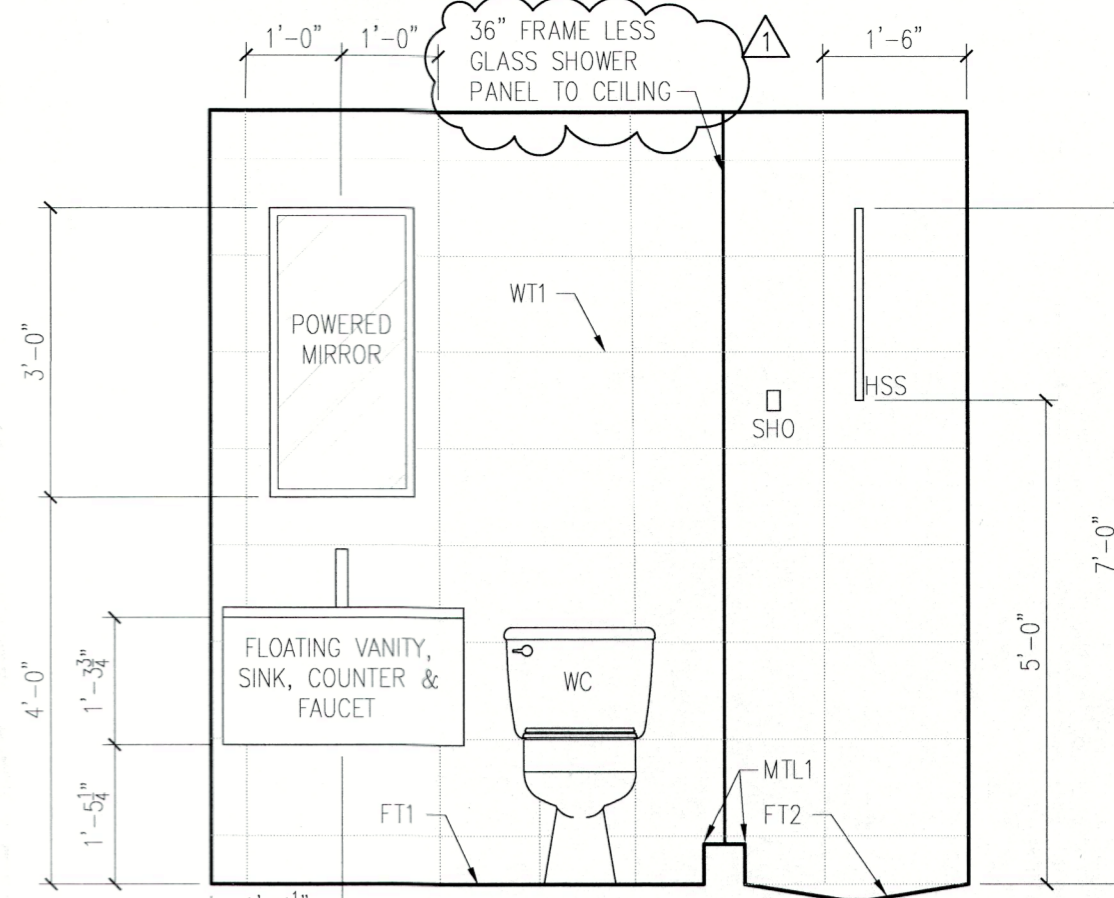
ABBREVIATIONS	
E	EXISTING TO REMAIN "AS IS"
ER	EXISTING TO BE RELOCATED
ED	EXISTING TO BE DISCARDED
GFI	GROUND FAULT INTERRUPTER
RL	EXISTING RELOCATED DEVICE
ERP	EXISTING TO BE REPLACED
N	NEW
WP	WEATHERPROOF
ATF	ASOTIVE FINISH FLOOR
EXTG	EXISTING
WC	WATER CLOSET
W.M.	WIRE MOLDING
DIV	DIVERTER
VC	VOLUME CONTROL
TSV	THERMOSTATIC VALVE
HSS	HAND SHOWER & SLIDE BAR
SWO	SHOWER WALL OUTLET
SH	SHOWER HEAD
RSH	RAIN SHOWER HEAD
TB	TOWEL BAR
TPH	TOILET PAPER HOLDER
HK	HOOK
PBV	PRESSURE BALANCE VALVE
TB	TOWEL BAR

ELECTRICAL SYMBOL LEGEND			
	4" RECESSED LED LIGHT FIXTURE		PENDANT LIGHT FIXTURE
	WET RATED 4" RECESSED LED LIGHT FIXTURE		SURFACE MOUNTED LIGHT FIXTURE
	WALL SCONCE		LED STRIP LIGHT W/ALUM. CHANNEL & DIFFUSER LENS
	VANITY LIGHT FIXTURE		STRIP LIGHT FIXTURE W/LENS
	JUNCTION BOX		SWITCH SINGLE POLE
	SMOKE & CO ² DETECTOR; HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP		SWITCH THREE POLE
	THERMOSTAT		DUAL SWITCH SINGLE POLE
	T.V. JACK		RETURN OR SUPPLY AIR INDICATED BY ARROW; WALL MTD
	DUPLEX OUTLET W/USB A & C PORTS		SUPPLY AIR VENT; CEILING MTD
	DUPLEX OUTLET		RETURN AIR VENT; CEILING MTD
	GFI DUPLEX OUTLET		EXHAUST FAN; L INDICATES LIGHT
	QUAD OUTLET		CONTACT BUILDING VENDOR FOR RE-CONFIGURATION OF SPRINKLER SYSTEM AND/OR FIRE ALARM FIXTURES
	SPECIAL PURPOSE OUTLET		SPRINKLER HEAD; CEILING MTD
	CEILING FAN		SPRINKLER HEAD; WALL MTD
			FIRE ALARM & LIGHT

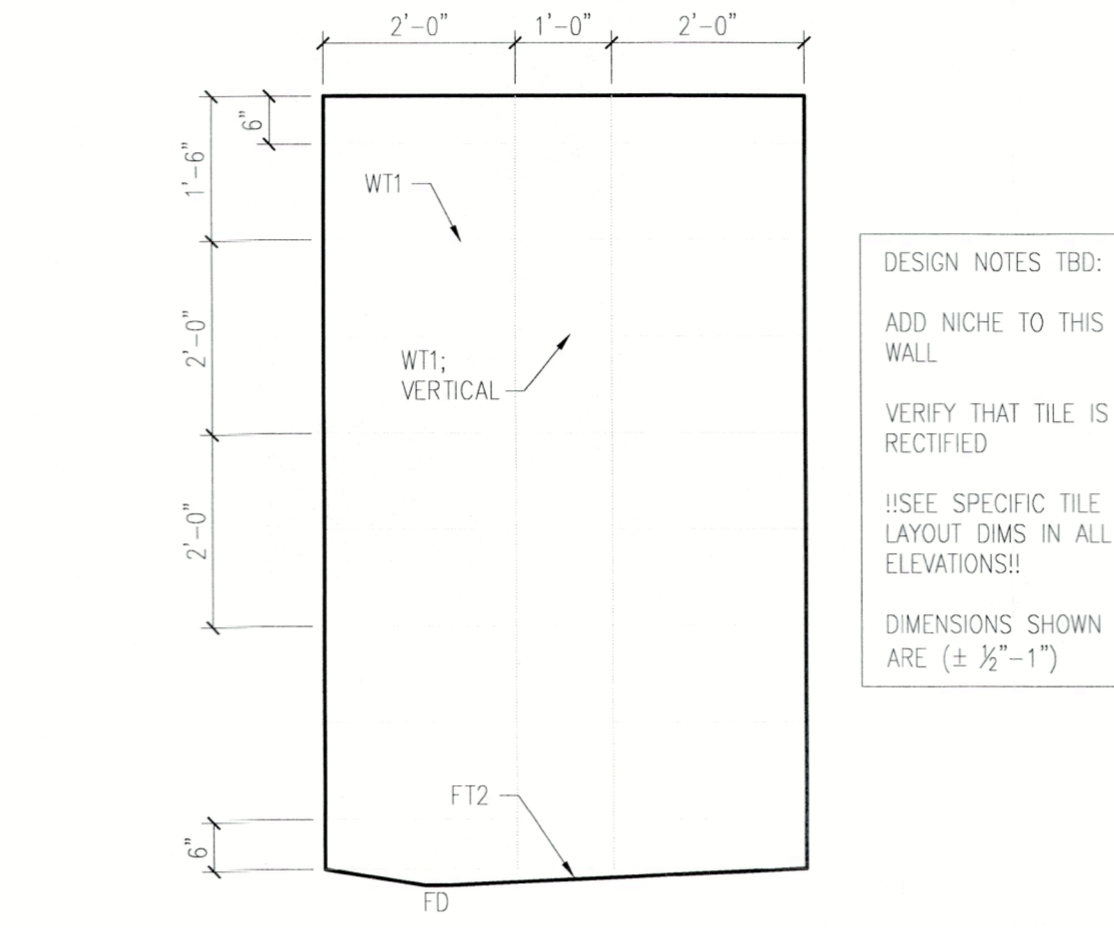
PROVIDE ARC FAULT CIRCUIT INTERRUPTERS IN DWELLING UNIT PER NEC 2001 SECTION 210.50 AND 210.52. LAMPS MUST COMPLY WITH THE FBC ENERGY CONSERVATION CODE, SECTION R404.1



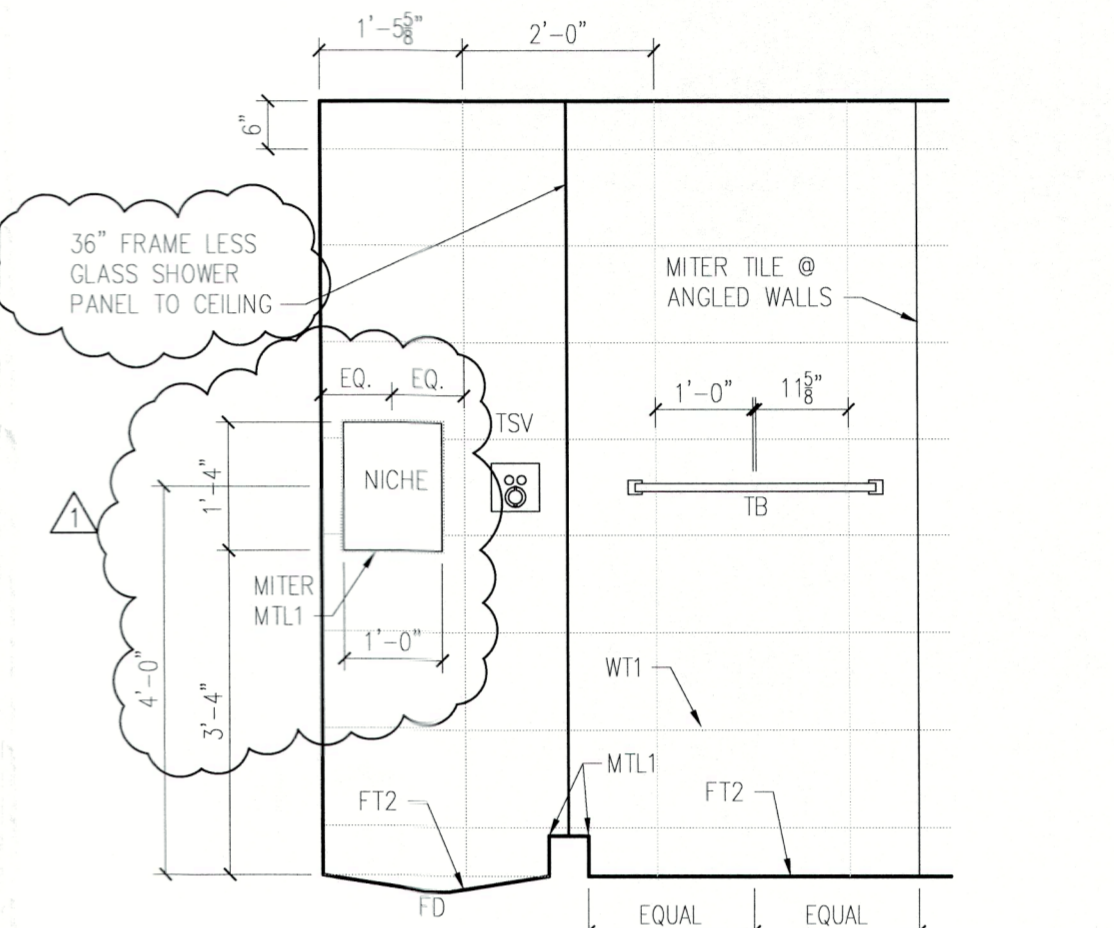
ELEVATION - GUEST BATH
1/2" = 1'-0"



ELEVATION - GUEST BATH
1/2" = 1'-0"



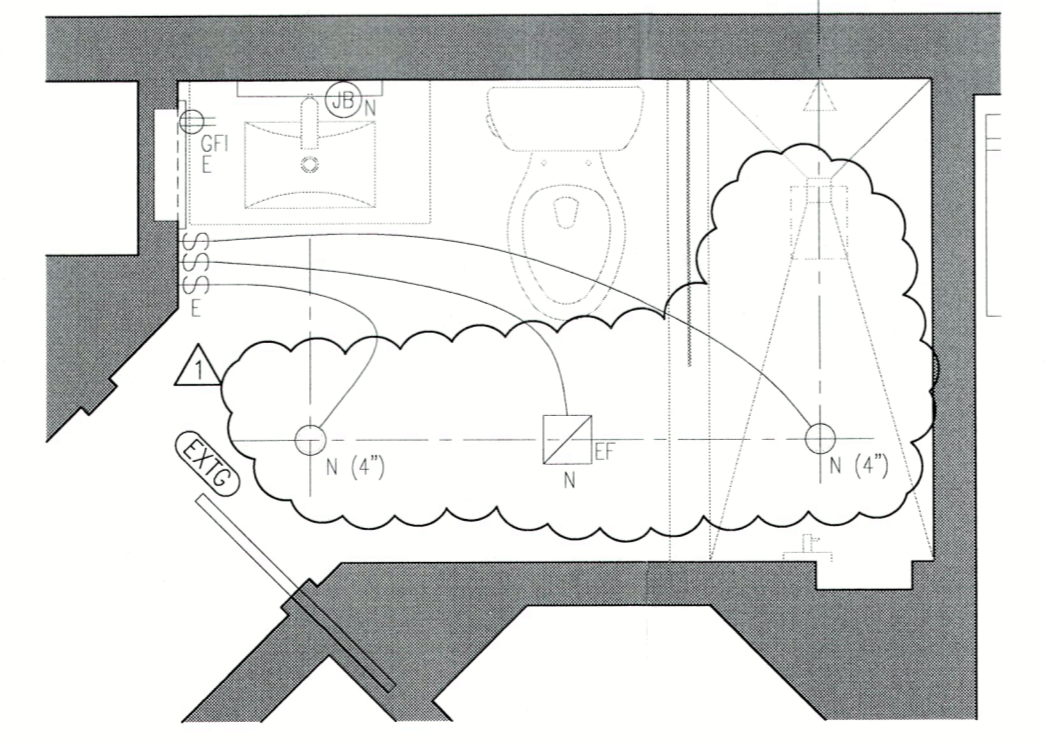
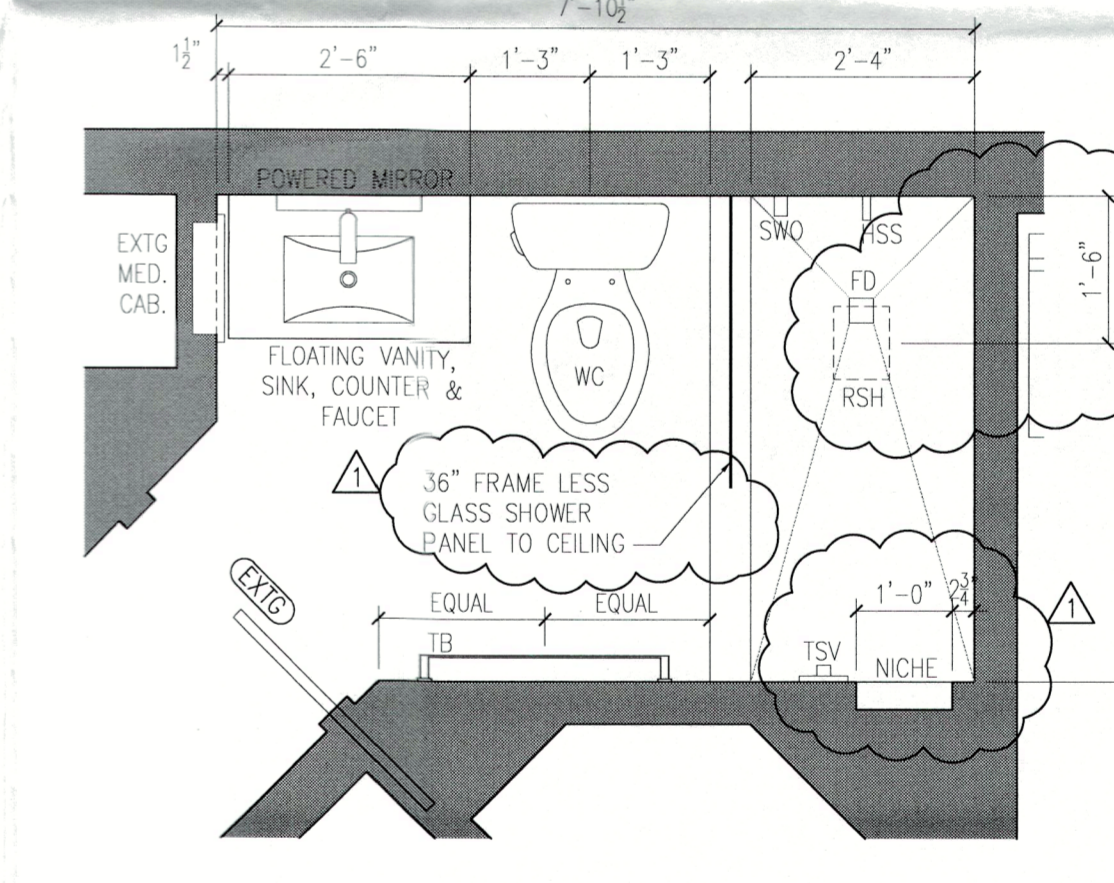
ELEVATION - GUEST BATH
1/2" = 1'-0"



ELEVATION - GUEST BATH
1/2" = 1'-0"

RENOVATION NOTES	
PROVIDE & INSTALL THE FOLLOWING:	
1.	12x24" WALL TILE (ALL WALLS TO CEILING); SEE ELEVATIONS.
2.	12x24" FLOOR TILE TO MATCH WALL.
3.	FLOATING VANITY & COUNTERTOP; SEE PLUMBING SCHEDULE.
4.	EXISTING TOILET; PROVIDE NEW SUPPLY STOPS & LINES.
5.	UNDER MOUNT SINK & FAUCET SET; INCLUDING ALL NEW SUPPLY STOPS, LINES & SANITARY PIPING.
6.	NEW RAIN SHOWER HEAD, THERMOSTATIC VALVE, HANDHELD SHOWER BAR & OUTLET BOX; SEE PLUMBING SCHEDULE.
7.	NEW RECESSED LIGHT FIXTURES, POWERED MIRROR, EXHAUST FAN & NEW GFI OUTLET.
8.	NEW SHOWER NICHE W/WHITE METAL EDGING

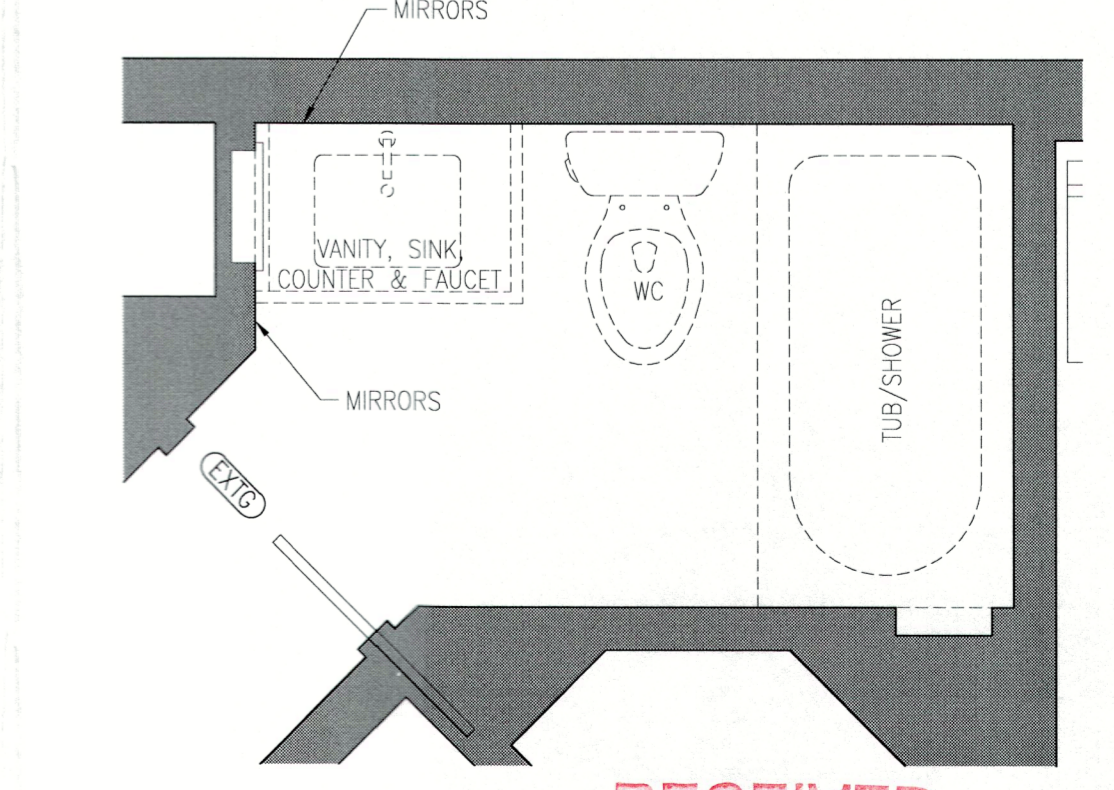
PARTIAL RENOVATION FLOOR PLAN - GUEST BATHROOM
1/2" = 1'-0"



PARTIAL POWER & LIGHTING PLAN
1/2" = 1'-0"

DEMOLITION NOTES	
CAREFULLY REMOVE & DISCARD THE FOLLOWING UNLESS NOTED OTHERWISE:	
1.	ALL WALL FINISHES INCLUDING TILE & MIRROR; !! PROTECT MIRROR ON MEDICINE CABINET !!
2.	ALL FLOOR FINISHES INCLUDING SHOWER FLOOR & CURB
3.	SINK & FAUCET SETS (INCLUDING SHOWER)
4.	SALVAGE EXISTING WATER CLOSET FOR RE-INSTALLATION
5.	REMOVE PORTION OF DRYWALL FOR NEW NICHE; COORDINATE LOCATION W/TILE; SEE ELEVATION

PARTIAL DEMOLITION FLOOR PLAN - GUEST BATHROOM
1/2" = 1'-0"



PARTIAL DEMOLITION FLOOR PLAN - GUEST BATHROOM
1/2" = 1'-0"

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1	SUB MEETING	05.16.2024
0	PERMIT	05.22.2024
1	OWNER COMMENTS	06.05.2024

BLED PERMIT PLANS
FILE
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SHEET TITLE
PARTIAL PLANS & SCHEDULES

SHEET No.
A1.02 1

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