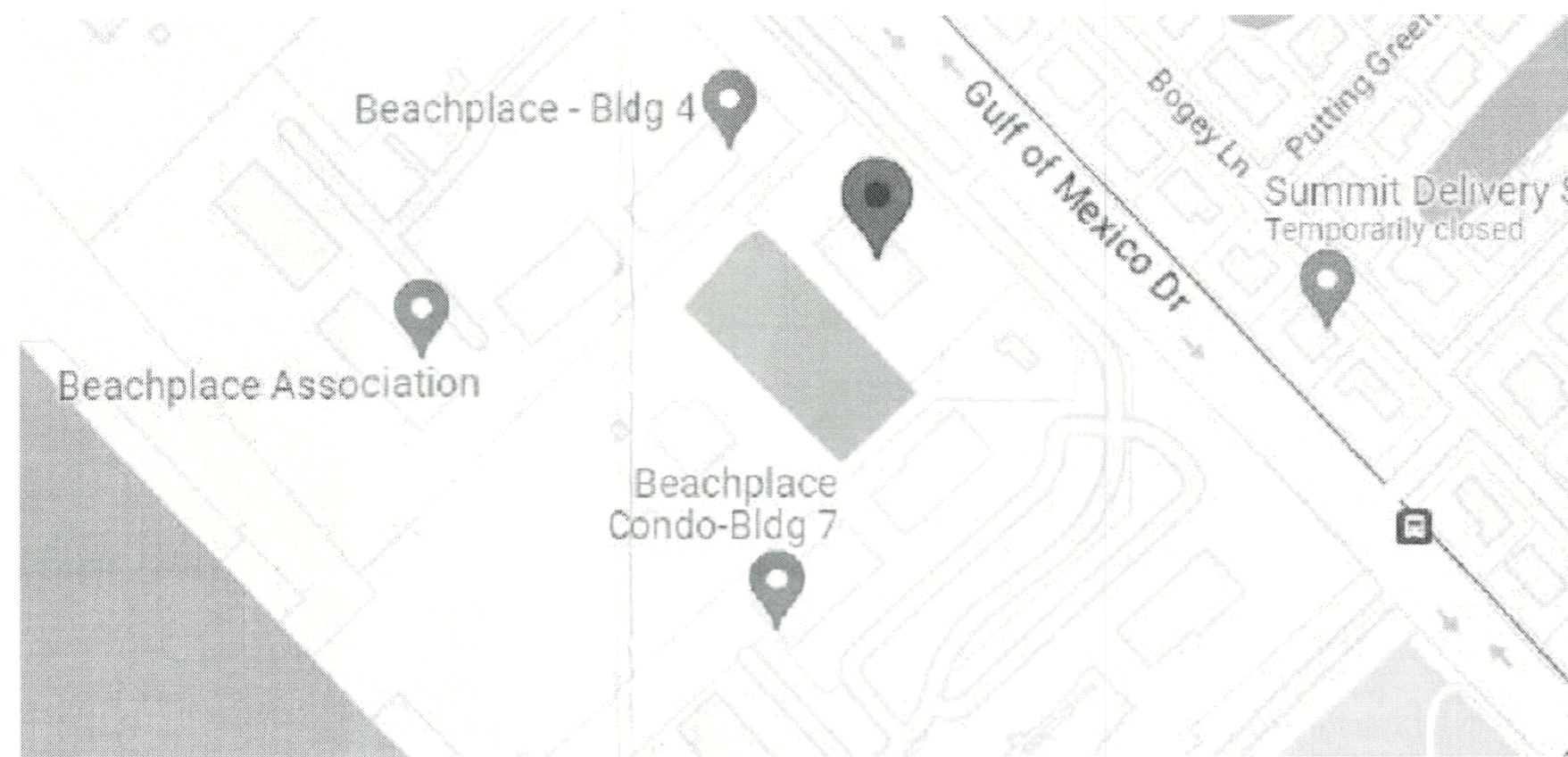
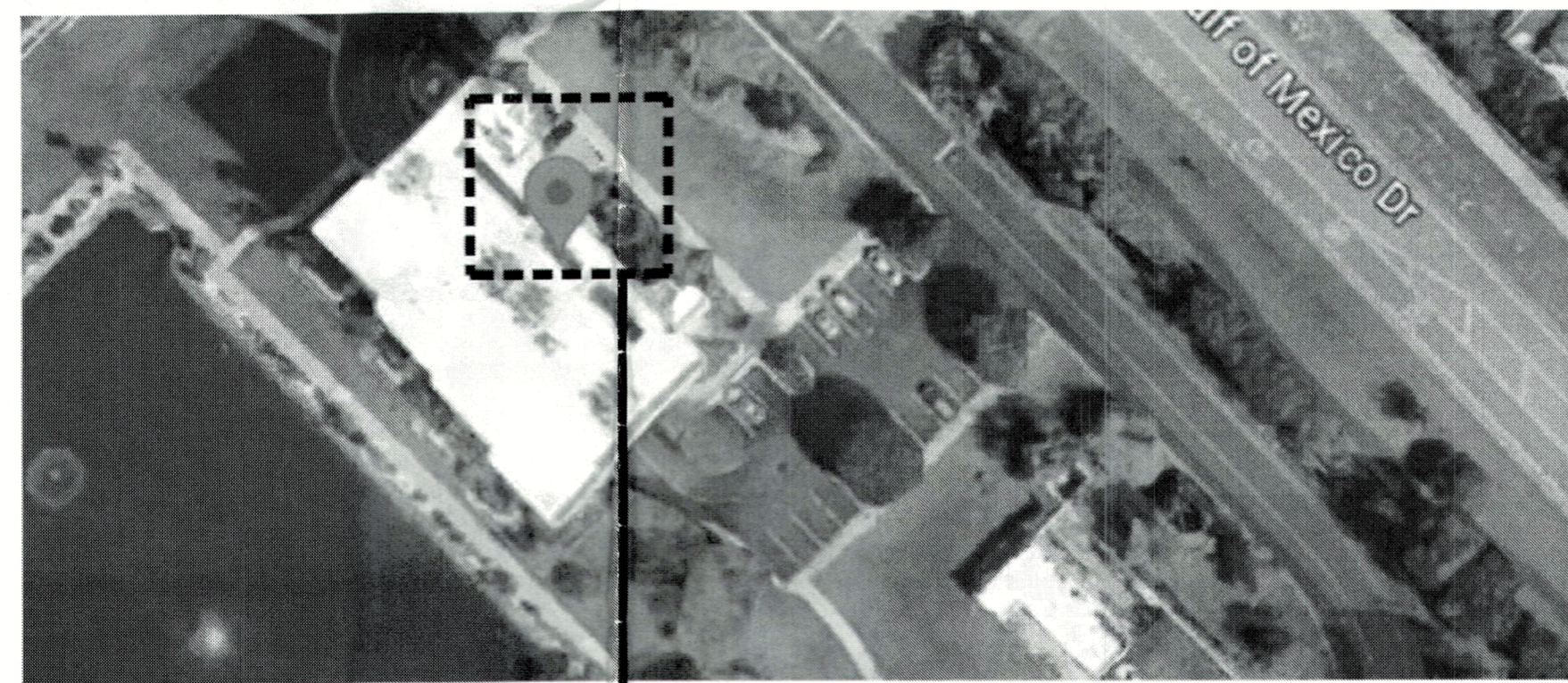


INTERIOR CONDO RENOVATION FOR:  
**SCOTT CASEY**  
 1125 GULF OF MEXICO DR  
 LONGBOAT KEY, FL 34228  
 UNIT 3-202



KEY SITE MAP (MACRO)



KEY SITE MAP (MICRO)

**ABBREVIATIONS LIST**

|                      |         |                                   |          |                               |          |
|----------------------|---------|-----------------------------------|----------|-------------------------------|----------|
| ABOVE FINISHED FLOOR | A.F.F.  | EXPOSED                           | EXPOS.   | ON CENTER                     | O.C.     |
| ACOUSTICAL TILE      | ACT.    | EXTERIOR                          | EXT.     | OPPOSITE                      | OPP.     |
| ALTERNATE            | ALT.    | EXTERIOR INSULATING FINISH SYSTEM | E.I.F.S. | OUTSIDE DIAMETER              | O.D.     |
| ALUMINUM             | ALLUM.  | FINISH FLOOR                      | FIN. FL. | PAINT                         | P.       |
| BLOCKING             | BLKG.   | GALVANIZED                        | GALV.    | PAIR                          | PR.      |
| BOARD                | BD.     | GAUGE                             | GA.      | PANEL                         | PNL.     |
| BUILDING             | BLDG.   | GLASS                             | GL.      | PLASTIC                       | PLAS.    |
| CARPET               | CPT.    | GLAZED WALL TILE                  | G.W.T.   | PLASTIC LAMINATE              | PLAM.    |
| CAST IRON            | CI.     | GYPSUM WALLBOARD                  | GYPBD.   | REQUIRED                      | REQD.    |
| CEILING              | CLG.    | HEIGHT                            | HGT.     | RESCUE                        | R.       |
| CERAMIC MOSAIC TILE  | CMT.    | HIGH                              | H.       | ROUGH OPENING                 | R.O.     |
| CERAMIC TILE         | CT.     | HOLLOW METAL                      | H.M.     | RUBBER                        | RUB.     |
| CLOSET               | CLOS.   | HORIZONTAL                        | HORIZ.   | SIMILAR                       | SIM.     |
| COLUMN               | COL.    | HOUR                              | HR.      | SOUND ATTENUATING BLOCK UNIT  | S.A.B.U. |
| CONCRETE             | CONC.   | INSULATION                        | INSUL.   | SPECIAL WALL FINISH           | S.W.F.   |
| CONTINUOUS           | CONT.   | INTERIOR                          | INT.     | STEEL                         | STL.     |
| CONTROL PANEL        | CP.     | JANITOR'S CLOSET                  | J.C.     | STRUCTURAL                    | S.G.F.T. |
| CONTROL JOINT        | CJ.     | JOINT                             | JT.      | STRUCTURAL GLAZED FACING TILE | STRUCT.  |
| CONNECTOR            | CONV.   | LAMINATE                          | LAM.     | TERRAZO                       | TERR.    |
| CORRIDOR             | CORR.   | LAVATORY                          | LAV.     | THICK                         | THK.     |
| DIAMETER             | DIA.    | LOCATION                          | LOC.     | TOILET                        | TOIL.    |
| DIMENSION            | DM.     | MANUFACTURER                      | MFR.     | TRIMMED OPENING               | T.O.     |
| DETAIL               | DTL.    | MASONRY OPENING                   | M.O.     | TYPICAL                       | TYP.     |
| DOOR                 | DR.     | MATERIAL                          | MAT.     | UNIT VENTILATOR               | U.V.     |
| DOWN                 | DN.     | MAXIMUM                           | MAX.     | UNDERCUT                      | U.C.     |
| DRAWING              | DWG.    | MECHANICAL                        | MECH.    | UNLESS OTHERWISE NOTED        | U.O.N.   |
| EACH                 | EA.     | METAL                             | MTL.     | VERIFY IN FIELD               | V.I.F.   |
| ELECTRIC/ELECTRICAL  | ELECT.  | MINIMUM                           | MIN.     | VERTICAL                      | VERT.    |
| ELEVATION            | ELEV.   | MOUNTED                           | MTD.     | VINYL COMPOSITE TILE          | V.C.T.   |
| ENTRANCE             | ENTR.   | NOMINAL                           | NOM.     | WATER CLOSET                  | W.C.     |
| EPOXY                | EP.     | NOT IN CONTRACT                   | N.I.C.   | WIDE                          | W.       |
| EQUAL                | EQ.     | NOT TO SCALE                      | N.T.S.   | WITH                          | W/       |
| EQUIPMENT            | EQUIPT. | NUMBER                            | NO.      | WOOD                          | WOM.     |
| ETC/ETC/ETC          | ETC.    |                                   |          |                               | WD.      |
| EXISTING             | EXIST.  |                                   |          |                               |          |
| EXPANSION            | EXP.    |                                   |          |                               |          |

**INDEX OF DRAWINGS:**

- C-1.1 COVER SHEET, INDEX OF DRAWINGS, DESIGN CRITERIA, SITE PLAN, KEY MAP
- A-1.1 EXISTING / DEMOLITION FLOOR PLAN & PROPOSED FLOOR PLAN

**DESIGN CRITERIA:**

PARCEL ID 0010031073 - UNIT 3-202  
 LONG BOAT KEY ZONING REGULATIONS  
 ZONING OCCUPANCY TYPE: GPD - GULF PLANNED DEVELOPMENT DISTRICT  
 WIND UPLIFT PER STRUCTURAL DRAWING NOTES AND PLANS

**BUILDING CODE:**  
 2023 Florida Building Code / Fire Prevention 8th. Edition  
 2023 Florida Building Code 8th Edition  
 Building  
 Existing Building  
 Residential

2023 Florida Building Code / Fuel Gas. 8th Edition  
 2023 Florida Building Code / Mechanical. 8th Edition  
 2020 National Electric Code  
 2023 Florida Building Code / Plumbing. 8th Edition  
 2023 Florida Building Code / Americans with Disabilities. 8th Edition

| ALLOWABLE HEIGHTS AND BUILDING AREAS:      | EXISTING | PROPOSED  |
|--|----------|-----------|
| CONSTRUCTION TYPE: MASONRY                 | 0'-0"    | NO CHANGE |
| MAXIMUM HEIGHT:                            | 0'-0"    | 0'-0"     |
| MAX. BLDG. LOT COVERAGE: (UNDER ROOF)      | 9%       | 0%        |
| FRONT SETBACK:                             | 0'-0"    | 20'-0"    |
| WATERFRONT SETBACK:                        | 0'-0"    | 0'        |
| SIDE SETBACKS: MIN OF 0'-0" COMBINED 0'-0" | 0'-0"    | 0'-0"     |
| FEMA ZONE: AE (ELEVATION XX NAVD)          | 11.00'   |           |
| IMPERVIOUS AREA:                           | 0% 0%    | 0%        |
| DAYLIGHT PLANE: 0 DEG. 0'-0" ABOVE BFE     |          | NO CHANGE |

NOTE:  
 ALL ELECTRICAL (EXCEPT LOW VOLTAGE AND POOL EQUIPMENT), PLUMBING FEATURES, HVAC EQUIPMENT AND DUCTWORK SHALL BE ABOVE DESIGN FLOOD ELEVATION (DFE) OF 11.0' N.A.V.D.

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**BLDG PERMIT PLANS FILE**  
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Keith T. Todoroff, Architect (FL #AR92053), hereby certifies that to the best of my knowledge and belief the plans submitted were reviewed for and are in compliance with the 2023 Florida Building Code, 8th Edition and all local amendments to the Florida Building Code. I am authorized to perform plans review pursuant to Section 553.791, Florida Statute and hold the appropriate license.

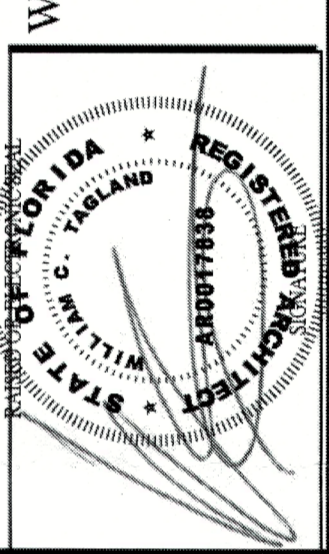
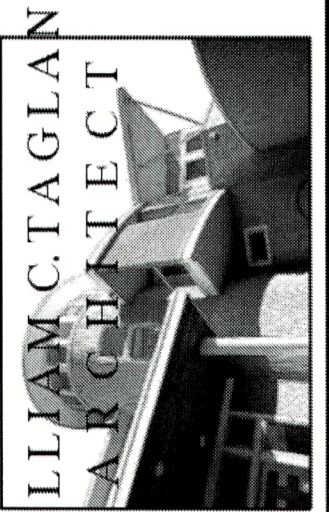
Signature: *[Signature]* Date: 5/14/24 Sheet 1 of 2

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 Planning, Zoning & Building

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INTERIOR RENOVATION  
 FOR: SCOTT CASEY  
 1125 GULF OF MEXICO DR  
 UNIT 3-202

ISSUE DATE:

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WTA 23032B

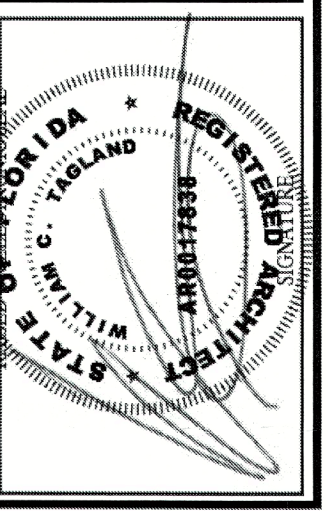
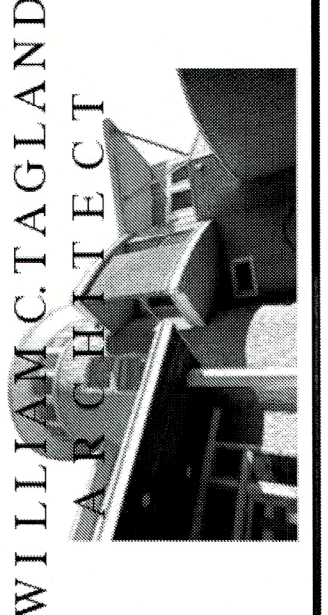
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 COVER SHEET

C-1.1



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INTERIOR RENOVATION  
 FOR: SCOTT CASEY  
 1125 GULF OF MEXICO DR  
 UNIT 3-202

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SHEET NO.  
 EXISTING / DEMOLITION  
 PROPOSED FLOOR PLAN

A-1.1

**GENERAL CONTRACTOR NOTES:**

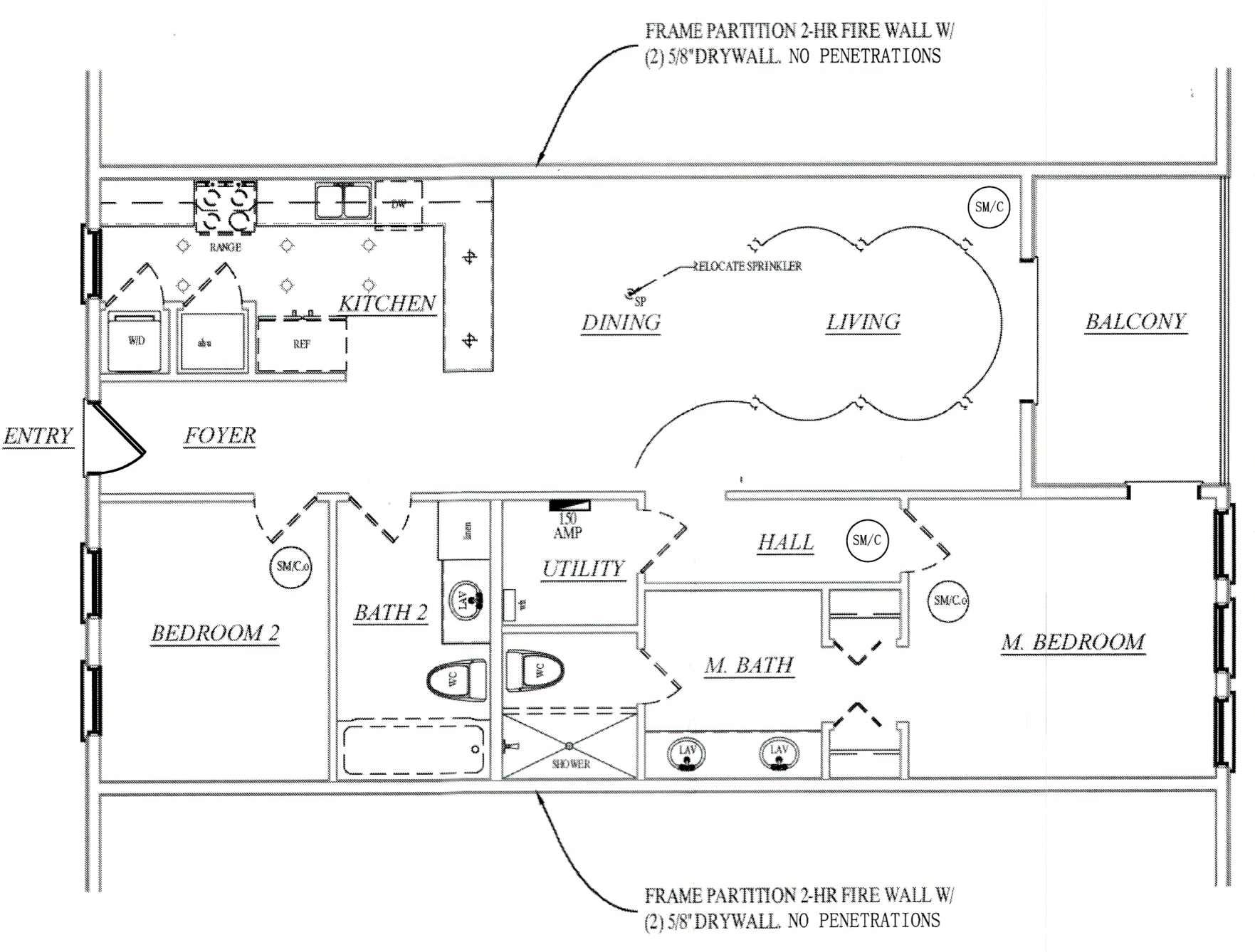
- CODE COMPLIANCE CONSTRUCTION TO NOW CONFORM & REFERENCE THE FLORIDA BUILDING CODE, 2023
- THESE DRAWINGS ARE NOT TO BE RECALLED.
- ACTUAL DIMENSIONS ARE TO BE FIELD VERIFIED BY THE OWNER/CONTRACTOR PRIOR TO CONSTRUCTION
- SCALE LISTED ON DRAWINGS IS INTENDED TO BE ACCURATE TO ALL KNOWLEDGE. DIMENSIONS SHOWN TAKE PRECEDENCE.
- ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
- ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
- NO SUBSTITUTIONS SHALL NOT BE MADE TO THESE DOCUMENTS WITHOUT PRIOR WRITTEN ARCHITECT'S APPROVAL.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/AGENT ACCESS TO THE SITE AND ALL WORK.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND APPLICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS & DIMENSIONS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION AND/OR FABRICATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION ASSOCIATED WITH ALL WORK TO BE COMPLETED FOR THIS PROJECT.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH METHODS SHALL BE SIMILAR TO THOSE DETAILS SHOWN FOR THAT APPLICATION (SEE MANUFACTURER'S SPECIFICATIONS & DETAILS FOR ADDITIONAL INSTALLATION AND ERECTION INSTRUCTIONS).
- ALL WORKMANSHIP & MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR & SHALL CONFORM TO THE LATEST FBC, NEC, NFPA AND ADA STATED ON ALL SHEETS.
- OWNER AND CONTRACTOR SHALL COORDINATE ALL EXTERIOR FINISHES AND FIXTURES AND MAY NOT NECESSARILY BE EXACTLY REFLECTED IN THESE DOCUMENTS. FINISHES TO INCLUDE BUT ARE NOT LIMITED TO, TRIM MOULDINGS, EXTERIOR FLOOR FINISHES, PAINT, SOFFIT & CEILING TEXTURE, AND WHERE APPLICABLE, SHALL BE FLORIDA APPROVED.
- ALL TRADES TO COORDINATE WITH CONTRACTOR WITH RESPECT TO ELECTRICAL, MECHANICAL, & PLUMBING WORK, & ANY SHOP DRAWINGS PROVIDED.
- CONTRACTOR TO REPAIR EXIST. CONCRETE FLOOR AREAS TO MATCH EXISTING IN THICKNESS, REINFORCEMENT AND TEXTURE AS NECESSARY.
- CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS AND OPENING LOCATIONS BEFORE COMMENCEMENT OF CONSTRUCTION.
- TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, PLANS AND SPECS. SUBMITTED HERewith COMPLY WITH THE LATEST FBC (2023) NEC, NFPA AND ADA AT THE TIME OF PLAN PREPARATIONS. NO WARRANTY IS HEREBY GIVEN OR IMPLIED.
- NO HANDICAP PARKING RAMP ARE NECESSARY FOR THIS PROPOSED EXTERIOR REMODEL.

**DEMOLITION NOTES (D.N.)**

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
  - ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, WAINSCOT, PLASTER, CEILINGS AND PAINTING, AS REQUIRED.
  - REMOVE EXISTING METAL STUD AND GYPSUM BOARD PARTITIONS (AND DOORS/FRAMES WHERE SHOWN) FROM FLOOR TO STRUCTURE ABOVE. ELECTRICAL AND MECHANICAL TO BE REMOVED BY RESPECTIVE CONTRACTORS PATCH TO MATCH EXISTING ADJACENT FINISHES AS REQUIRED, INCLUDING BASE, CEILING, PAINT ETC. OR PREP TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
  - PREP AREAS TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION. REFER TO M.E.P.'S DRAWINGS FOR ADDITIONAL INFORMATION.
  - REMOVE PORTION OF EXISTING METAL STUD OR BLOCK WALL PARTITION WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME. PATCH TO MATCH EXISTING ADJACENT FINISHES AS REQUIRED, INCLUDING BASE, PAINT, PROVIDE NEW LINTEL AS REQUIRED FOR INSTALLATION OF NEW DOOR.
  - REMOVE EXISTING FLOOR FINISHES, ADHESIVES AND WALL BASE. GRIND DOWN, FLASH PATCH AND LEVEL OUT EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR INSTALLATION OF NEW FLOOR AND BASE. ALSO SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
  - REMOVE EXISTING DOOR AND FRAME AS REQUIRED. PROVIDE NEW METAL STUD AND GYPSUM BOARD INFILL AS REQUIRED TO CLOSE OFF OPENING. PATCH TO MATCH EXISTING ADJACENT FINISHES AS REQUIRED, INCLUDING BASE, PAINTING ETC. (SEE ALSO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.)
  - GENERAL CONTRACTOR TO REMOVE EXISTING MILLWORK AND ACCESSORIES ENTIRELY. PATCH TO MATCH EXISTING ADJACENT FINISHES AS REQUIRED. SEE ROOM FINISHES CHOSEN BY OWNER, G.C. INSTALLED.
  - REMOVE EXISTING CEILING FINISHES AND PREP FOR INSTALLATION OF NEW GYP BOARD CEILING OR A.C.T. GRID AND NEW LIGHT FIXTURES. SEE REFLECTED CEILING PLAN AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - EXISTING SOFFIT AND HVAC DUCT TO REMAIN. PATCH AND REPAIR IF NECESSARY TO RECEIVE NEW FINISHES
  - G.C. TO VERIFY AND FIELD DIMENSION SECTION OF EXTERIOR WALL TO BE REMOVED FOR INSTALLATION OF NEW ENTRANCE DOOR. G.C. TO SHORE WALL AS REQUIRED
- NOTE: DIMENSIONS ARE APPROXIMATED. REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION FOR PLUMBING LAYOUT

**SCOPE OF WORK:**

- REMOVE AND REPLACE KITCHEN APPLIANCES W/ LIKE KIND. NO LOCATION CHANGES.
- REMOVE AND REPLACE KITCHEN CABINETS. NO LOCATION CHANGES.
- REMOVE AND REPLACE ALL BATH FIXTURES WITH SHUT-OFF VALVES.
- ALL NEW INTERIOR DOORS.
- REMOVE AND REPLACE RECESSED CAN LIGHTS and chandeliers WITH LED.
- EXTERIOR WINDOWS AND DOORS TO REMAIN.
- EXISTING GUARD RAIL TO REMAIN.
- RELOCATE DINING SPRINKLER



**EXISTING / DEMOLITION FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

**LEGEND**

**ELECTRICAL SYMBOL LEGEND**

|                          |                    |
|--------------------------|--------------------|
| W - WEATHER PROTECTED    | WP - WATER PROOF   |
| UC - UNDER COUNTER       | JB - CEILING J-BOX |
| G - GFCI CIRCUIT.        | SP - SPRINKLER     |
| ETR - EXISTING TO REMAIN |                    |

**LIGHTING**

|   |                               |
|---|-------------------------------|
| ⊙ | NEW RECESSED LIGHT            |
| ⊕ | CEILING PENDANT LIGHT FIXTURE |
| ⊖ | WALL LIGHT                    |
| ⊗ | EXHAUST FAN/LIGHT COMBO       |

**SWITCHING**

|     |               |
|-----|---------------|
| \$  | SINGLE SWITCH |
| \$3 | 3-WAY SWITCH  |

**OUTLETS**

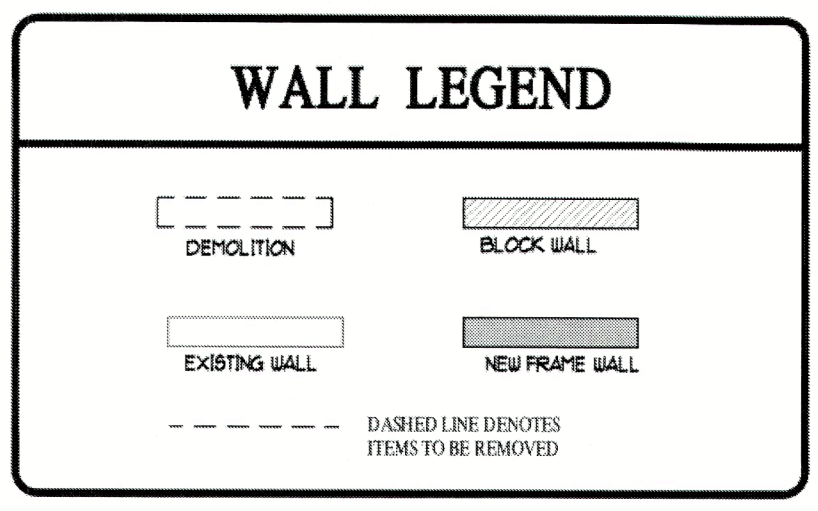
|   |                                  |
|---|----------------------------------|
| ⊖ | DUPLEX OUTLET                    |
| ⊖ | SMOKE / CARBON MONOXIDE DETECTOR |

**MISCELLANEOUS**

|         |  |
|---------|--|
| ⊗       | CEILING FAN - CENTER WITHIN ROOM UNLESS INDICATED OTHERWISE. FAN CONTROLS SHALL BE SAME AS FAN MANUF. VERIFY FAN AND LIGHT, TYPICAL. |
| SM/C.O. | SMOKE / CARBON MONOXIDE SENSOR : HARDWIRED TO ALARM SYSTEM   |

**SUSTAINABILITY STATEMENT:**

- THIS PROJECT HAS BEEN DESIGNED w/ AN ADAPTIVE REUSE & SUSTAINABILITY INTENT.
- CONTRACTOR TO CONSIDER "RE-USE" DURING THE DEMOLITION PHASE BY "SALVAGING" THOSE ITEMS / MATERIALS DEEMED WORTHY AND/OR FOUND IN GOOD CONDITION TO BE RE-USED/INSTL.
- SUCH ITEMS / MATERIAL INCLUDE, BUT ARE NOT LIMITED TO: METAL ROOF, SOFFITS, TRIM, MOULDINGS, DOORS, WINDOWS, CABINETS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL OUTLETS & SWITCHES, ETC.
- VERIFY SUCH LIST OF ITEMS / MATERIALS w/ THE OWNER BEFORE THE ORDERING OF MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.

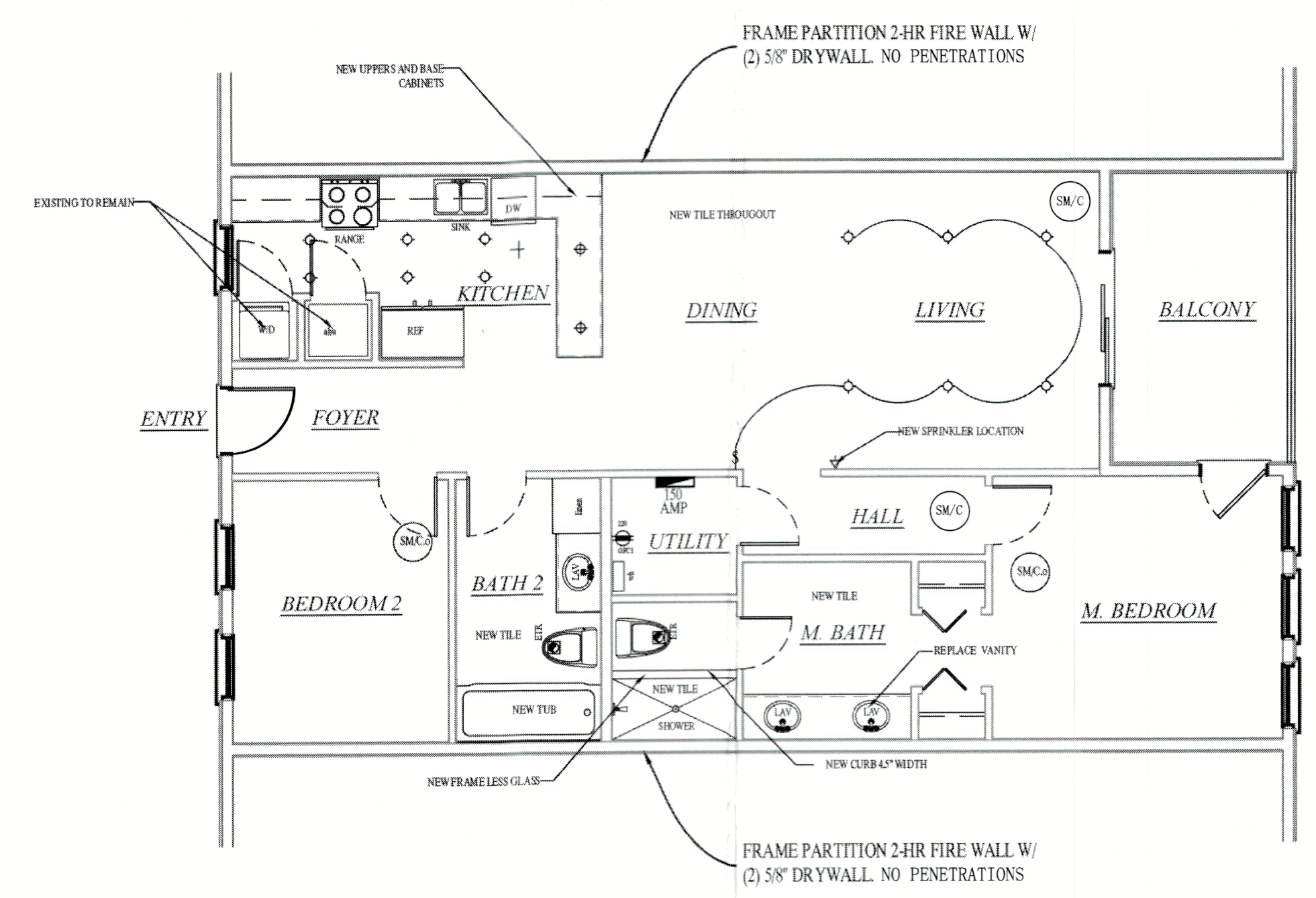


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 UNIT #3-202

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**RECEIVED**  
 MAY 14 2024  
 TOWN OF LONGBOAT KEY  
 Planning, Zoning & Building

FOR PERMIT REVIEW



**PROPOSED FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

Keith T. Todoroff, Architect (FL #AR92057), hereby certify that to the best of my knowledge and belief the plans submitted were reviewed for and are in compliance with the 2023 Florida Building Code, 8th Edition and all local amendments to the Florida Building Code. I am duly authorized to perform plans review pursuant to Section §553.791, Florida Statute and hold the appropriate license.

Signature: *[Signature]* Date: 5/14/24 Sheet 2 of 2