

LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

LIFE SAFETY NOTES:

MAXIMUM TRAVEL DISTANCE: 95'-8"
EMERGENCY EGRESS
LOC. & DISTANCE

LEGEND

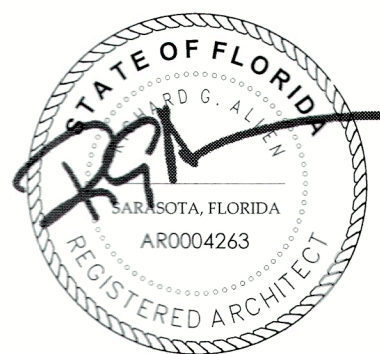
- SMOKE DETECTOR
- SPRINKLER HEAD @ CLG
- SPRINKLER HEAD @ WALL

ALL SPRINKLER HEADS SHOWN ARE EXISTING & NEED NO MODIFICATIONS

415 L AMBIANCE DR UNIT C-204
LONGBOAT KEY, FL



SITE LOCATION PLAN
NOT TO SCALE



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD G. ALLEN, AIA, USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

RICHARD G. ALLEN ARCHITECTS, INC.

4022 COUNTRY VIEW DRIVE SARASOTA, FL 34233
941-544-8306 EMAIL: RGASR@HOTMAIL.COM
FIRM LICENSE # AA6917 / AR #4263

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THIS PLAN COMPLIES WITH THE APPLICABLE BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 653, FLORIDA STATUTES, AND SAMAMIS COUNTY ORDINANCES 18-43, AS AMENDED.

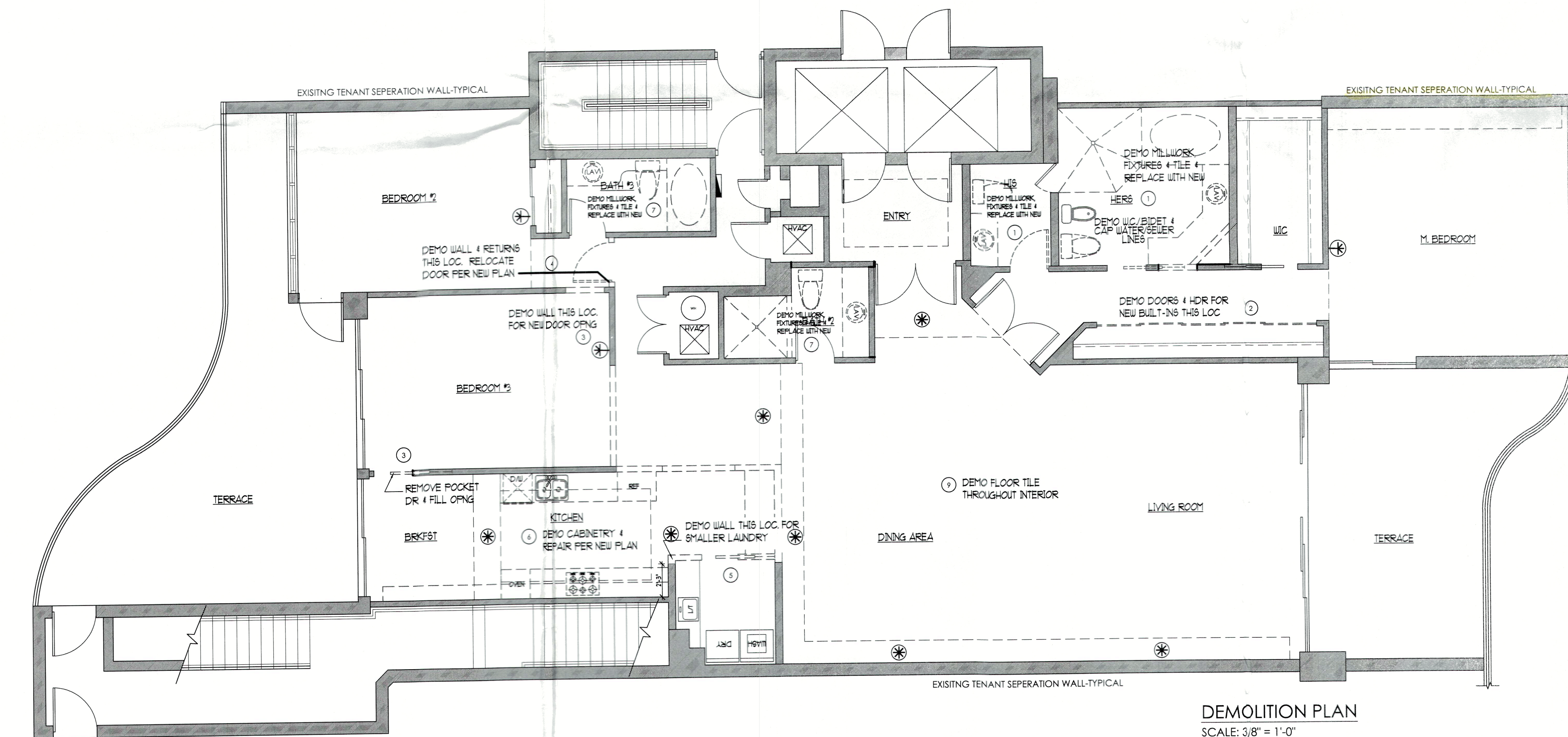
CONTRACTOR:

S.D.M. CONSTRUCTION
4845 TURTLE BAY TERRACE
BRADENTON, FL 34203
EMAIL: SMUISE@YAHOO.COM
STEVE MUISE - 941-504-9312
C.G.C. # 1511330

REVISIONS	Description	Date
No.	1	3/27/24
2		
3		
4		

Richard G. Allen, Architects, Inc
c=US, st=Florida,
l=Sarasota, o=Richard G. Allen, Architects, Inc,
cn=Richard G. Allen, Architects, Inc
2024.03.27 09:27:20 -04'00'

OSG COASTAL
415 L AMBIANCE DR UNIT C-204
LONGBOAT KEY, FL
KITCHEN & BATH RENOVATIONS



DEMOLITION PLAN

SCALE: 3/8" = 1'-0"

WALL LEGEND

- EXISTING AREA/WALL
- AREA TO BE DEMO
- 2X4 INTERIOR FRAME WALL

DEMO NOTES:

- CONTRACTOR TO VERIFY DIMENSIONS
- CONTRACTOR TO ADEQUATELY PROTECT ANY AREAS NOT AFFECTED BY DEMOLITION AND/OR REMODEL
- ALL WALLS TO BE REMOVED ARE NON-LOAD BEARING
- REUSE EXISTING DOMESTIC & SANITARY LINES
- NEW WORK WILL NOT REQUIRE ANY SLAB CUTS
- EXISTING ELECTRICAL SERVICE AND PANEL TO REMAIN AS IS
- RE-USE EXISTING PLUMBING- U.N.O.
- PROVIDE SOUND PROOF PADDING AT FLOORING
- EXTERIOR REMAINS UNTOUCHED

INDEX of DRAWINGS:

- A.1 SITE LOCATION PLAN
DEMOLITION PLAN
LIFE SAFETY PLAN
- A.2 FLOOR PLAN
WALL SECTION
- A.3 ELECTRICAL PLAN
REFLECTED CEILING PLAN

AREA'S

	EXIST	NEW	TOTAL
LIVING:	2,551 SF	00 SF	2,551 SF
LANA/TERRACE AREA	1,017 SF	00 SF	1,017 SF
TOTAL:	3,568 SF	00 SF	3,568 SF

DESIGN CRITERIA

BASIC WIND SPEED: 140 MPH
WIND EXPOSURE: D
APP. INT. PRESSURE COEF.: ± 0.18± ENCLOSED
DESIGN CRITERIA: 2023-IBC 8th Edition
RISK CATEGORY: II
FLOOD ZONE: VE

BUILDING CODE DATA & ANALYSIS

TOTAL SQUARE FOOTAGE: 2,551 S.F. INT AREA

OCCUPANCY TYPE: GROUP R-2

OCCUPANT LOAD: 200 S.F. PER OCCUPANT

TYPE OF CONSTRUCTION: V-A

ALTERATION LEVEL: II

MEANS OF EGRESS:

ONE MEANS OF EGRESS EXIT REQUIRED
TWO MEANS OF EGRESS PROVIDED (EXISTING BUILDING)

SPRINKLED: YES

BLDG PERMIT PLANS

ALTERATION LEVEL: I, II, III

Copy of Record

SCOPE OF WORK:

- REMODEL EXISTING HIS/HERS MASTER BATH
- ADD BUILTINS AT MASTER HALL CLOSET
- CLOSE OPENING & POCKET DOOR TO DEN & ADD ACCESS DOOR AT HALL TO CONVERT DEN INTO BEDROOM WITH CLOSET
- RELOCATE BR 2 DOOR PER PLAN
- DECREASE LAUNDRY ROOM SIZE
- REMODEL EXISTING KITCHEN PER PLAN
- NEW MILLWORK, TILE & FIXTURES @ BATH'S #2 & #3

- HVAC SYSTEM IS EXISTING & THERE IS NO NEW HVAC WORK
- WATER HEATER IS EXISTING
- NO NEW EXTERIOR WINDOWS OR DOORS

ALTERATION LEVEL 2: SECTION 504.1
LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

BLDG PERMIT PLANS

FILE

Copy of Record

GENERAL NOTES

- CONTRACTOR TO VERIFY DIMENSIONS OF EXISTING CONDITIONS
- NEW WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE RESOLVED PRIOR TO RELATED WORK BEING STARTED
- ALL PLUMBING FIXTURES TO BE REMOVED OR RELOCATED ARE TO BE CAPPED AND ABANDONED IN ACCORDANCE WITH NATIONAL AND FLORIDA BUILDING CODES 2014-5TH EDITION. ALL ELECTRICAL NOT USED IS TO BE ABANDONED IN ACCORDANCE WITH CURRENT NATIONAL REC AND LOCAL ELECTRIC CODES
- DEMOLITION SHALL BE RESTRICTED TO ONLY THE AMOUNT REQUIRED TO ACCOMPLISH THIS WORK. ALL REMOVED EQUIPMENT SHALL REMAIN OWNER'S PROPERTY AND NOT DISPOSED OF AS DIRECTED BY OWNER OR BY OWNER'S REPRESENTATIVE
- TYPICAL DEMOLITION: REMOVE ALL BUT NOT EXCLUSIVE TO: CONTRACTOR TO COORDINATE W/OWNER WHICH ITEMS TO BE REMOVED DURING DEMOLITION ARE TO BE KEPT, STORED AND/OR REUSED
- ALL STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS NOTED TO BE REMOVED OR MODIFIED
- WHEN REMOVAL OF STRUCTURAL ELEMENTS INDICATED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SHORING OF REMAINING ELEMENTS UNTIL STRUCTURAL MODIFICATIONS HAVE BEEN IMPLEMENTED
- NO ELECTRICAL WIRING SPLICES ARE ALLOWED BETWEEN EXISTING AND NEW ELECTRICAL WIRING. DURING DEMO AND RENOVATION PHASES, ANY UPDATED ELECTRICAL WIRING SHALL BE REPLACED ON ITS ENTIRE RUN TO MEET ALL APPLICABLE CODES
- ALL EXISTING CONFORMING SMOKE DETECTORS TO REMAIN
- ALL EXTERIOR /BEARING SHALL REMAIN INTACT- U.N.O.
- CONTRACTOR SHALL SECURE AND PROTECT THE EXISTING STRUCTURE FROM WEATHER DURING THIS PROJECT
- PROVIDED TEMPORARY DUST BARRIERS AS REQUIRED AT AREAS WITH NO WORK
- ALL PRODUCT INSTALLATIONS SHALL MEET OR EXCEED MANUFACTURER'S RECOMMENDED STANDARDS
- ALL SHOWER LINERS SHALL HAVE 1/2" PITCH TO DRAIN
- ALL A/C AND WATER HEATER SAFETY PAN LINES SHALL DRAIN TO THE OUTSIDE
- ALL WALLS TO BE PERPENDICULAR TO EACH OTHER UNLESS NOTED OTHERWISE (U.N.O)
- ALL DIMENSIONS ARE MEASURED FROM STUD FACE TO STUD FACE OR FROM FACE OF EXISTING WALLS, U.N.O



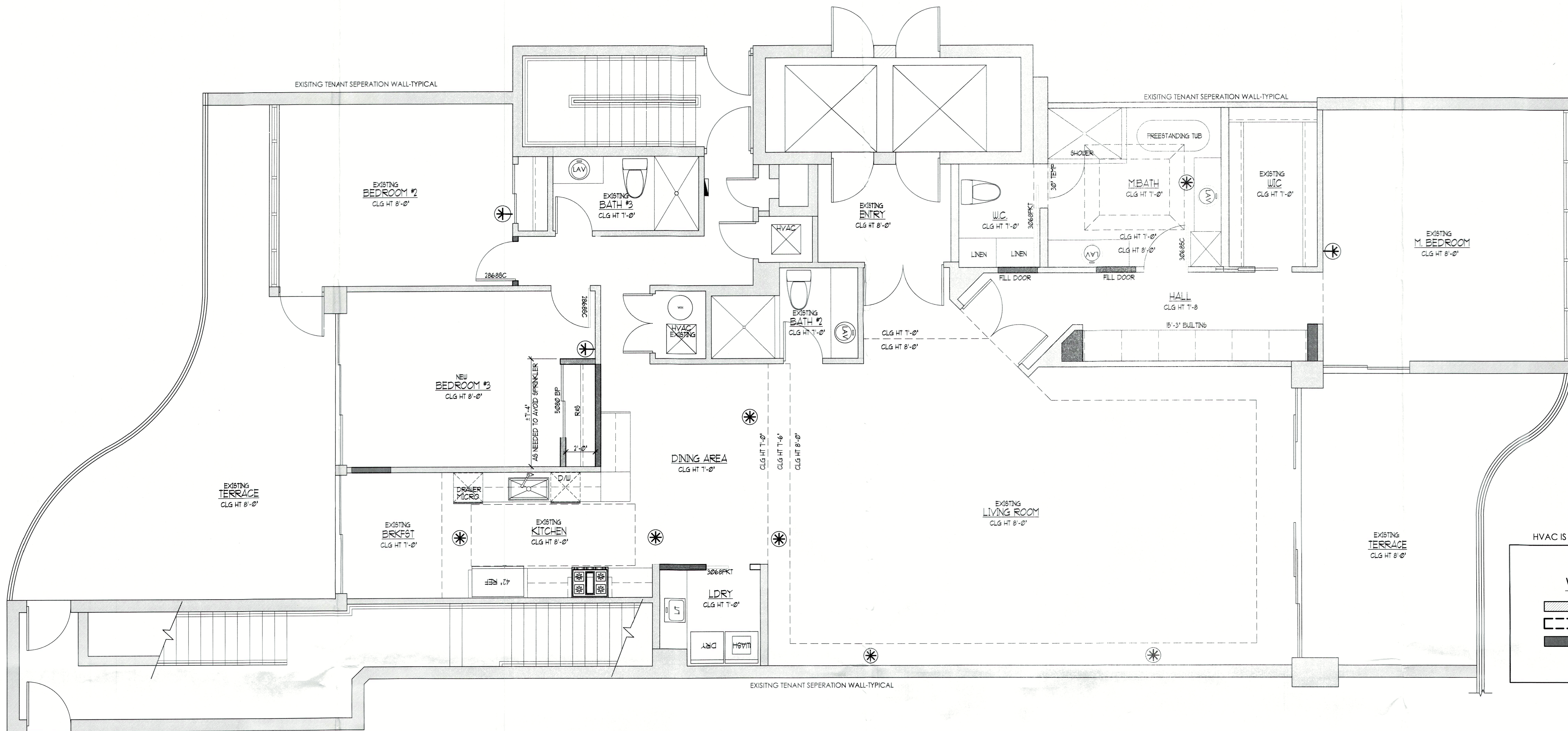
RICHARD G. ALLEN ARCHITECTS, INC

4022 COUNTRY VIEW DRIVE
SARASOTA, FL 34233
TEL: 941-544-8306, AR0004263

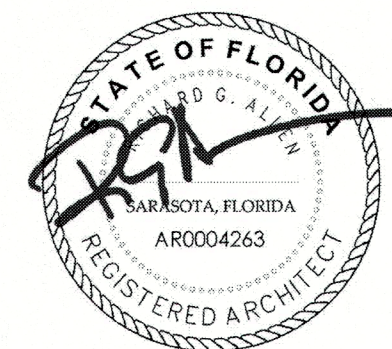
DRAWN BY:
JAD

SHEET NO.
A.1

PB24-0321



CONTRACTOR:
S.D.M. CONSTRUCTION
4845 TURTLE BAY TERRACE
BRADENTON, FL, 34203
EMAIL: SMUISE@YAHOO.COM
STEVE MUISE - 941-504-9312
C.G.C. # 1511330



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD G. ALLEN, AIA, USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

HVAC IS EXISTING NO NEW A/C WORK

WALL LEGEND

- EXISTING AREA/WALL
- AREA TO BE DEMO
- 2X4 INTERIOR FRAME WALL

NEW INTERIOR
WALL SECTION TYPICAL
SCALE: 1/2" = 1'-0"

WALL DETAIL &
DROPPED CEILING
SCALE: 1/2" = 1'-0"

BLDG PERMIT PLAN
FILE
Copy of Record



OSG COASTAL
415 L AMBIANCE DR UNIT C-204
LONGBOAT KEY, FL
KITCHEN & BATH REMODEL

RICHARD G. ALLEN ARCHITECTS, INC.
4022 COUNTRY VIEW DRIVE
TEL 941-544-8306 AR0004263

DRAWN BY:
JAD

SHEET NO.
A.2

