

VIZCAYA CONDO #1B2

AS-BUILT DOCUMENTS

2333 Gulf of Mexico Drive #1B2
Longboat Key, Florida 34228

RECEIVED
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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


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
INDEX TO DRAWINGS

WALL LEGEND


SYMBOL	DESCRIPTION
	EXISTING WALL CONSTRUCTION. REPAIR EXISTING TO MATCH NEW AS REQUIRED
	NEW REINFORCED CMU WALLS
	NEW 2x6 LT. GA. METAL FRAMED WALLS Ø 16" O.C. WITH 5/8" DRYWALL EACH SIDE, OR AS NOTED
	NEW 2x4 LT. GA. METAL FRAMED WALLS Ø 16" O.C. WITH 5/8" DRYWALL EACH SIDE, OR AS NOTED
	NEW 2x4 LT. GA. METAL FRAMED WALLS Ø 16" O.C. WITH BATT INSULATION AND 5/8" DRYWALL EACH SIDE, OR AS NOTED

DIMENSION NOTE:

MASONRY WALL DIMENSIONS – ALL MASONRY WALL DIMENSION EITHER INTERIOR OR EXTERIOR ARE FROM FACE OF MASONRY WALL AND NOT FROM FINISHED WALL.




FRAMED WALL DIMENSIONS – ALL FRAMED WALL DIMENSION ARE FROM FACE OF FINISHED WALL AND NOT FROM WALL FRAMING.




ROOM DESCRIPTION LEGEND

ROOM NUMBER	OFFICE	NOTES	
ROOM NUMBER	→115	2	
FLOOR FINISH	F1 B1 C1	COLING FINISH	
BASE FINISH	B1	WALL FINISH	


TAGS




WALL ORIENTATION INDEX
FOR INTERIOR ELEVATIONS




EXTERIOR ELEVATION




BUILDING SECTION




WALL SECTION




DETAIL




DOOR NUMBER




WINDOW TYPE




BATHROOM FIXTURE NUMBER



LOUVER NUMBER



WALL TYPE



ELEVATION

DRAWING NOTES

WINDOW / LOUVER CLERESTORY

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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VICINITY MAP
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DIVISION 1: GENERAL REQUIREMENTS

1.1. BY REFERENCE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ALL DOCUMENTS AD. LATEST EDITION, IS HEREBY MADE PART OF THESE SPECIFICATIONS EXCEPT AS HEREIN MODIFIED.

1.2. THESE PLANS ARE THE PROPERTY OF C. ALAN ANDERSON ARCHITECTS, INC. USE OR COPY IS LIMITED BY CONTRACT. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE, WITHOUT WRITTEN PERMISSION OF C. ALAN ANDERSON ARCHITECTS, INC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED APPROVAL OF C. ALAN ANDERSON ARCHITECTS, INC. OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT FOR ANY REASON, BY ANY PERSON OTHER THAN C. ALAN ANDERSON ARCHITECTS, INC., SHALL BE HEREBY REJECTIVE. C. ALAN ANDERSON ARCHITECTS, INC. FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTY.

1.3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PROVIDE THE WORK. DIMENSIONS SHALL BE FIGURES RATHER THAN DETERMINED BY SCALE OR RULE. IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THE CONTRACT DOCUMENTS AND THE CONTRACT DOCUMENTS AND APPLICABLE CODES, THE CONTRACTOR SHALL PROVIDE THE GREATEST QUANTITY, LARGEST DEGREE OF SAFETY, HIGHEST QUALITY OR MOST STRINGENT MATERIAL OR WORK.

1.4. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY ACQUAINT HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS CONCERNING MATERIALS AND SUBCONTRACTORS SHALL COORDINATE ALL SUBCONTRACTORS TO INSURE PROPER SEQUENCING OF WORK AND SCHEDULING OF TRADES TO AVOID CONFLICT WITH HIS WORK.

1.5. SUBMIT SHOP DRAWINGS ON ALL PRODUCTS TO BE INSTALLED ON THE PROJECT FOR REVIEW BY THE ARCHITECT. CONTRACTOR SHALL SUBMIT ONE SET OF SHOP DRAWINGS TO THE ARCHITECT AND ONE SET TO THE OWNER AT THE END OF THE PROJECT ALONG WITH THE CONTRACTORS MARKING, BOSSLET, PRODUCT DATA AND AS-BUILT DRAWINGS.

1.6. THE DRAWINGS ARE SCHEMATIC IN NATURE AND REPRESENT BASIC REQUIREMENTS NECESSARY TO PROPERLY COMPLETION OF THE PROJECT. CONTRACTOR SHALL INSPECT AND VERIFY THE SCOPE OF WORK. ANY ADDITIONAL WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS BUT REQUIRED TO FIELD INSPECTION OR NECESSARY TO SATISFY APPLICABLE CODES IN ORDER TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE CONSIDERED AS PART OF THE CONTRACT. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS.

1.7. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

1.8. NO INSTRUCTIONS, REVISIONS, ADDITIONS, DELETIONS, SPECIFICATIONS OR DETAILS OTHER THAN THE INFORMATION CONTAINED HEREIN SHALL GOVERN THE PROJECT UNLESS THEY ARE IN WRITING AND APPROVED BY THE ARCHITECT, OWNER AND CONTRACTOR IN THE FORM OF A CHANGE ORDER, OR OTHER APPROVED MEANS.

1.9. SUBSTITUTION OF MATERIALS AND METHOD MUST BE SUBMITTED TO THE ARCHITECT AND APPROVED IN WRITING. THE FINAL DECISION TO FIELD INSPECTION OF ANY ITEM SPECIFIED SHALL REST WITH THE ARCHITECT. THE CONTRACTOR SHALL SUBMIT COMPLETE PROPOSED SHOP DRAWINGS AND RELATIVE COSTS OF SUBSTITUTE ITEMS TO ARCHITECT FOR HIS REVIEW.

1.10. THE CONTRACTOR AND HIS SUBCONTRACTOR SHALL WARRANT ALL WORK FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR THE TERM OF THE CONTRACT. THE CONTRACTOR SHALL PROVIDE A COPY OF ALL PRODUCT INFORMATION AND MANUFACTURERS WARRANTIES TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT. CONTRACTOR SHALL INCLUDE LIST OF ALL SUBCONTRACTORS, CONTACTS AND PHONE NUMBERS.

1.11. ALL PRODUCT AND MATERIAL INSTALLATIONS SHALL MEET OR EXCEED MANUFACTURERS' RECOMMENDED STANDARDS AND SHALL BE EFFECTIVELY WARRANTED TO OWNER.

1.12. THE CONTRACTOR AND HIS SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE LABOR LAWS OF THE STATE OF THE PROJECT'S LOCATION AND WITH ALL OTHER APPLICABLE ORDINANCES, CODES, AND LEGAL REQUIREMENTS BY STATE OR LOCAL AUTHORITIES AS THEY MAY APPLY TO THE PROJECT.

1.13. IN CASE OF DISCREPANCY CONCERNING DIRECTION, QUANTITY, LOCATION, DRAWING, DIMENSIONS, MATERIALS, OR METHOD, THE CONTRACTOR SHALL PROVIDE EXPLANATORY NOTES ON THE DRAWINGS WILL TAKE PRECEDENCE OVER CONFLICTING DRAWING INDICATIONS. WHERE SCALE DETAILS WILL TAKE PRECEDENCE OVER MEASUREMENTS, WHERE FIGURES ARE NOT SHOWN, MEASUREMENTS WILL. IN ALL CASES BE VERIFIED BY THE ACTUAL CONDITIONS OF WORK ALREADY IN PLACE. AS CONFIRMED BY THE ARCHITECT. IN CASE OF DISCREPANCY CONCERNING QUALITY AND QUANTITY WITHIN THE DOCUMENTS, THE CONTRACTOR SHALL INCLUDE THE BETTER QUALITY AND FOR THE GREATER QUANTITY UNLESS OTHERWISE DETERMINED IN WRITING BY THE ARCHITECT OR LOCAL AUTHORITIES AS THEY MAY APPLY TO THE PROJECT.

1.14. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A COMPETENT SUPERVISOR ON THE PROJECT WHENEVER WORK IS BEING PERFORMED.

1.15. THE CONTRACTOR SHALL GIVE 24 HOUR NOTICE TO THE ARCHITECT WHEN HIS PRESENCE IS REQUESTED FOR SPECIAL CONSULTATIONS, EXAMINATIONS OR DESIGN.

1.16. CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE WORK INSTALLED BY OTHERS INSOFAR AS IT APPLIES TO HIS WORK AND SHALL PROMPTLY NOTIFY THE CONTRACTOR AND ARCHITECT IF ANY CONDITION EXISTS THAT WILL PREVENT HIM FROM PRODUCING SATISFACTORY AND ACCEPTABLE RESULTS IN HIS WORK. SHOULD WORK BE STARTED WITHOUT SUCH NOTIFICATION, IT SHALL PLACE UPON HIM THE RESPONSIBILITY FOR REPLACING ANY OF HIS WORK AND THE WORK OF OTHERS THAT MAY BE NECESSARY TO BE REMOVED IN ORDER TO PRODUCE SATISFACTORY AND ACCEPTABLE CONDITIONS.

1.17. ITEMS, MATERIALS OR EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS AS FURNISHED BY THE OWNER AND INSTALLED BY CONTRACTOR SHALL BE UNLOADED, UNPACKED, ASSEMBLED, INSTALLED AND CONNECTED BY THE CONTRACTOR AND SHALL BE COMPLETE AND PLACED IN OPERATING ORDER. THE OWNER SHALL FURNISH THE CONTRACTOR ALL INFORMATION THE CONTRACTOR MAY REQUIRE TO PROPERLY COMPLETE THE ABOVE-MENTIONED OBLIGATIONS.

1.18. THE CONTRACTOR SHALL SOLICIT NOT LESS THAN THREE (3) BIDS FOR ANY ITEM (S) WHOSE COST IS PROVIDED FOR BY A SPECIFIED ALLOWANCE SUM IF SO DIRECTED BY THE ARCHITECT, AND SHALL THEN PURCHASE THE ITEM(S) FROM ONE OF THE THREE BIDDERS AS DIRECTED BY THE ARCHITECT OR OWNER. CONTRACTOR SHALL BE REMBURSED BY OR SHALL REMBURSE THE OWNER THE AMOUNT OVER OR UNDER THE ALLOWANCE AMOUNT.

1.19. TESTING AND INSPECTION REQUIRED TO ESTABLISH COMPLIANCE WITH THE CONTRACT DOCUMENTS SHALL BE MADE BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE ARCHITECT AND PAID FOR BY THE CONTRACTOR AS PART OF THE BIDDING. WHEN THE INITIAL TESTS INDICATE NONCOMPLIANCE WITH THE CONTRACT DOCUMENTS, ANY SUBSEQUENT REQUIRED RETESTING OCCASIONED THEREBY SHALL BE PERFORMED BY THE SAME AGENCY AND THE COST THEREOF PAID BY THE CONTRACTOR.

1.20. BEFORE ORDERING MATERIALS OR STARTING ANY WORK, THE CONTRACTOR SHALL IN ALL CASES VERIFY MEASUREMENTS AT THE SITE OR PREMISES AND CHECK SAME AGAINST DRAWINGS.

DIVISION 2: SITE WORK

2.1. CONTRACTOR SHALL UTILIZE A PROFESSIONAL LAND SURVEYOR FOR BUILDING LAYOUT AND FLOOR ELEVATION/GRADE BEAM CERTIFICATION FOR FLOOD INSURANCE COMPLIANCE IF APPLICABLE, OR AS REQUIRED BY LOCAL MUNICIPALITY AND STATE CERTIFICATION REQUIREMENTS.

2.2. CONTRACTOR SHALL COORDINATE AND VERIFY SIZES AND LOCATIONS OF ALL UTILITY CONNECTIONS WITH RESPECTIVE AGENCIES.

2.3. PLACE AND COMPACT FILL IN LAYERS NOT TO EXCEED 6" BOTTOM OF FOOTINGS SHALL BEAR ON FIRM MATERIAL. CONTRACTOR SHALL PROVIDE FILL, UNLESS OTHERWISE NOTED, ALL COMPACT FILL SHALL BE 98% MODIFIED PROCTOR DENSITY.

2.4. REMOVE AND DISPOSE OF EXCESS EXCAVATED MATERIAL, TRASH AND DEBRIS IN A LEGAL MANNER.

2.5. POSITION SOIL AGAINST TENDRIES BENEATH ALL CONCRETE SLABS PRIOR TO PLACING VAPOR BARRIER. PROVIDE FIVE (5) YEAR TERMITE TREATMENT.

2.6. PROVIDE AND INSTALL A COMPLETE AUTOMATIC IRRIGATION SYSTEM AT THE SCODEN AND LANDSCAPED AREAS. IRRIGATION CONTRACTOR SHALL SUBMIT A LAYOUT COVERAGE PLAN TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE THIS COST TO THE OWNER AS AN ALTERNATE OPTION UNLESS REQUIRED BY LOCAL ORDINANCE.

2.7. SUBGRADE PREPARATION SHALL INCLUDE STOPPING AND GRUBBING OF SUPERFICIAL VEGETATION, FOLLOWED BY COMPACTION OF THE BUILDING AREA PLUS A MARGIN OF 5'-0" WITH A VIBRATORY ROLLER WITH A MINIMUM OF 2 OVERLAPPING PASSES IN EACH DIRECTION. THE OPERATION OF VIBRATORY ROLLER SHALL BE CLOSELY MONITORED TO AVOID TRANSMISSION OF EXCESSIVE VIBRATIONS TO ANY EXISTING NEARBY BUILDINGS THAT COULD CAUSE SETTLEMENT DAMAGE.

2.8. GRADE GROUND SURFACE TO CONFORM TO ADJACENT CONTOURS AND TO PROVIDE FOR ADEQUATE CONTROL AND DRAINAGE OF WATER RUNOFF. SLOPE ALL EXISTING GRADES AWAY FROM BUILDING.

DIVISION 3: CONCRETE

3.1. COMPLY WITH ALL APPLICABLE AND STANDARDS AND SPECIFICATIONS.

3.2. ALL SLABS ON GRADE SHALL BE 4" CONCRETE WITH SMOOTH TROWEL FINISH UNLESS NOTED OTHERWISE.

3.3. CONCRETE SLAB AREAS TO RECEIVE CARPET OR FLOORING SHALL BE CLEAN AND FREE OF DUST AND SEALED WITH A SUITABLE CONCRETE SEALER PRIOR TO INSTALLATION OF FINISH.

3.4. ALL STRUCTURAL CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS WITH MAXIMUM SLUMP OF 4". CEMENT TO MEET ASTM C-150, TYPE 1 AGGREGATE TO MEET ASTM C-33 UNLESS NOTED OTHERWISE.

3.5. VAPOR BARRIER SHALL BE 6 MIL. POLYETHYLENE, ALL JOINTS 6" LAPPEED AND TAPED.

3.6. WELDED WIRE FABRIC SHALL BE 6 X 6 - 10/10 W/ SAWCUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.

3.7. STEEL REINFORCEMENT SHALL BE GRADE 60 AND CONFORM WITH ASTM A-615.

3.8. FORMWORK DESIGN AND FABRICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ACI 347.

3.9. ALL CONCRETE SLAB PENETRATIONS SHALL BE SEALED WITH EXPANSIVE SETTING COMPOUND. PROVIDE REPAIRS TO ALL FLOOR TO FLOOR PENETRATION WHERE FIRE RESISTANT RATINGS ARE INDICATED.

3.10. ALL SAWN CONTROL JOINTS SHALL BE SAWN WITHIN 12 HOURS OF CONCRETE PLACEMENT.

3.11. EXPANSION JOINT FILLER TO MEET ASTM D-750, 17/2" ASPHALT IMPREGNATED FIBERGLASS W/ SEALANT CAP, OR POLYETHYLENE FOAM W/ SEALANT CAP.

3.12. FLOOR SLAB TOLERANCES TO BE 1/8" IN 10'-0" MAXIMUM.

DIVISION 4: MASONRY

4.1. COMPLY WITH RECOMMENDATIONS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

4.2. CONCRETE MASONRY UNITS SHALL BE TWO CELL BLOCKS MADE OF PORTLAND CEMENT, WATER AND APPROVED AGGREGATES, ADJACENT JOINTS AND TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING MASONRY UNITS ASTM DESIGN STRENGTH C90-TO GRADE A WITH A MINIMUM COMPRESSIVE STRENGTH OF 1000 PSI.

4.3. MORTAR SHALL BE TYPE "S" UNLESS OTHERWISE NOTED AND CONFORM TO ASTM C-270 WITH CALVANEZ LADDER TYPE HORIZONTAL WALL REINFORCING (#8 WIRE) AT EVERY SECOND COURSE, AND PREPARATED CORNER AND TEE SECTIONS PER ASTM A-641.

4.4. EXTERIOR HOLLOW MASONRY UNIT CONSTRUCTION. PROVIDE VERTICAL REINFORCEMENT (1 #8 WIRE) AT ALL CORNERS, ADJACENT JOINTS, AND AT 4'-0" ON CENTER MAXIMUM OR AS NOTED ON STRUCTURAL DRAWINGS. REINFORCED CELLS SHALL BE FURRED SOLID.

4.5. POURED SOLID CELLS SHALL BE FILLED WITH CONCRETE (SLUMP 7" +/- 1") WITH A MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. THE CELLS SHALL HAVE HORIZONTAL REINFORCING TO BE PLACED IN UNITS NOTED UNREINFORCED, CONTINUOUS CELL. GROUT SHALL BE POURED IN LIFTS NOT TO EXCEED 8'-0". CONTRACTOR SHALL PROVIDE CLEAN-OUTS AT ALL GROUDED CELLS FOR INSPECTION.

4.6. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, THE GROUTING SHALL BE STOPPED 1'-1/2" BELOW THE TOP OF THE UPPERMOST UNIT.

4.7. CONCRETE FILL CELLS SHALL HAVE 1/4" DIA. DIAMETER BAR VERTICAL REINFORCEMENT TO BE PLACED.

4.8. MASONRY UNITS SHALL BE DRY BRUSHED AT END OF EACH DAY'S WORK.

DIVISION 5: METALS

5.1. ALL DISSEMIAL METALS SHALL BE ISOLATED BY INERT MATERIALS IN ORDER TO PREVENT GALVANIC CORROSION.

5.2. ALL STRUCTURAL METAL COMPONENTS, INCLUDING EXPOSED OR EMBEDDED TEES, CLIPS AND BELTS, SHALL BE HOT-DIPPED GALVANIZED.

5.3. SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

5.4. STEEL PLATES, SHAPES AND BARS TO BE ASTM A-36.

5.5. HIGH STRENGTH BOLTS AND NUTS, ASTM A-325 UNFINISHED BOLTS AND NUTS, ASTM A-305 GRADE 4.

5.6. SHOP PAINT ALL ITEMS, NOT SPECIFIED TO BE GALVANIZED, T-1-P-B6, TYPE II, OR SP-PC-PANT 14.

5.7. CONTRACTOR SHALL FURNISH CUSTOM FABRICATED PLATES, ANCHORS, HANGERS, DOWNERS, AND OTHER MISCELLANEOUS STEEL, AND IRON SHAPES FOR FRAMING, SUPPORTING, AND ANCHORING WORK.

5.8. AFTER INSTALLATION, CLEAN ALL FIELD WELDS, BOLTED CONNECTIONS AND GALVANIZED SURFACES.

5.9. FINISH PAINT ALL ITEMS EXPOSED TO VIEW AFTER COMPLETION.

DIVISION 6: CARPENTRY

6.1. COMPLY WITH SOFTWOOD LUMBER STANDARD PS20 (U.S. DEPT. OF COMMERCE), AND NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADED LUMBER AND ITS FASTENERS BY NNA.

6.2. FRAMING MEMBERS, NUMBER OF MEMBERS AND FASTENERS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE.

6.3. WAPRACE, DISCOLORATION, WATER STAINS, OR OTHER DAMAGE DUE TO IMPROPER STACKING OR LACK OF COVERAGE OF MATERIALS INCLUDED IN 6.9 ABOVE SHALL BE CONSIDERED SUFFICIENT CAUSE FOR REJECTION OF THEIR USE BY THE CONTRACTOR.

6.4. WOOD BASE SHALL BE 5-1/2" HIGH BY 5/8" KILN-DRIED WHITE PINE UNLESS SHOWN OTHERWISE ON THE DRAWINGS (STYLE TO BE SELECTED BY ARCHITECT).

6.5. ALL WOOD IN CONTACT WITH EARTH OR CONCRETE SHALL BE PRESSURE TREATED FOR APPROPRIATE USE IN ACCORDANCE WITH A.W.P.B. STANDARDS.

6.6. FURRING ON MASONRY WALLS TO BE 2x 2" @ 24" O.C. UNLESS NOTED OTHERWISE W/ 1 1/2" WALL BATT INSULATION.

DIVISION 7: THERMAL & MOISTURE PROTECTION

7.1. COMPLY WITH MANUFACTURERS RECOMMENDATIONS ON ALL WORK.

7.2. FURNISH FIFTEEN (15) YEAR WARRANTY ON ROOFING MATERIALS ASSOCIATED WORK AGREEING TO REPAIR OR REPLACE WORK WHICH LEAKS WATER, DETERIORATES EXCESSIVELY OR OTHERWISE FAILS TO PERFORM AS DESIGNED, MANUFACTURED, AND WORKMANSHIP. GUARANTEE SHALL BE SIGNED AND NOTARIZED BY GENERAL CONTRACTOR.

7.3. INSTALL ROOFING SYSTEMS, FLASHING, AND OTHER ACCESSORIES IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICES AND RECOMMENDATIONS.

7.4. METAL FLASHING AND CONTOUR FLASHING TO BE PRE-FINISHED ALUMINUM. COLOR SELECTION BY ARCHITECT OR OWNER.

7.5. ALL FLASHING AND DOWNSPOUTS SHALL BE E.S.P. ALUMINUM, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT.

7.6. INSTALL SEALANT AT ALL EXPOSED JOINT SURFACES TO PROVIDE WEATHERPROOF SEAL. SET ALL EXTERIOR SEALS, GLAZING GLAZES, WINDOW FRAMES, DOOR FRAMES, ETC. TO BE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS. USE HIGH QUALITY LATEX/ACRYLIC SILICONE COMPOUND, COLOR AS SELECTED.

7.7. FRAME AT FLOOR LEVEL - LOW DENSITY KRAFT PAPER, FACED FIBERGLASS 6" SUPERIOR BATT WITH MINIMUM R-11 VALUE.

7.8. ALL EXTERIOR AND NOTED INTERIOR WALLS - LOW DENSITY KRAFT PAPER FACED FIBERGLASS FULL THICK STANDARD BATT WITH MINIMUM R-11 (MASONRY WALLS R-3). UNLESS NOTED OTHERWISE.

DIVISION 8: DOORS & WINDOWS

8.1. COMPLY WITH "RECOMMENDED SPECIFICATIONS FOR STANDARD STEEL DOORS AND FRAMES" (SD-100) AND "ANSI/MMA-1" AND SECTION 1300 OF "ARCHITECTURAL WOODWORK QUALITY STANDARDS" ON ALL WOOD DOORS AS APPLICABLE. PROVIDE IMPACT RESISTANT GLASS UNLESS NOTED.

8.2. GLAZING SHALL BE AS NOTED ON THE WINDOW SCHEDULE.

8.3. ALL MIRRORS SHALL BE 1/4" POLISHED PLATE GLASS COUNTER TOP TO CEILING AND FULL WIDTH OF CROWN.

8.4. ALL WOOD DOORS SHALL BE STAIN GRADE EACH FACE WITH TYPE (SOLID CORE OR HOLLOW CORE) AND SIZE AS SPECIFIED ON DRAWINGS.

8.5. FRONT DOOR HINGES SHALL BE SOLID BRASS BALL BEARING TYPE WITH THREE HINGES PER DOOR, UNLESS OTHERWISE NOTED OR SELECTED BY ARCHITECT.

8.6. ALL THRESHOLDS SHALL BE ADA APPROVED PRE-FINISHED ALUMINUM, UNLESS OTHERWISE NOTED.

8.7. ALL 8"-FOLD DOOR TRACKS SHALL BE HEAVY DUTY DOUBLE ROLLER TYPE.

8.8. ALL BATHROOM DOORS SHALL HAVE PRIVATE LOCKS.

8.9. CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE, FITTINGS, ANCHORAGES, ETC. FOR PROPER INSTALLATION OF DOORS AND WINDOWS. COORDINATE FINAL HARDWARE SELECTIONS WITH OWNER AND ARCHITECT.

DIVISION 9: FINISHES

9.1. 1/2" OR 5/8" GYPSUM WALLBOARD SHALL BE INSTALLED WITH STANDARD GYPSUM WALLBOARD SCREWS ON ALL SURFACES. ON CEILINGS USE 5/8" GYPSUM WALLBOARD SCREWS. PROVIDE REPAIRS TO ALL FLOOR TO FLOOR PENETRATION WITH GYPSUM WALLBOARD SCREWS. COMPLY WITH AWS A871 AND REPAIR RECOMMENDATIONS. PROVIDE MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS AND WET AREAS.

9.2. ALL INTERIOR AND EXTERIOR CORNER BEADS SHALL BE NAILED PLUMB, LEAD, AND STRAIGHT. FRAMING IRREGULARITIES SHALL BE THE STANDARD. CALLED FOR SHALL BE CORRECTED BY THE FRAMING CONTRACTOR AT THE REQUEST OF THE ARCHITECT PRIOR TO HARDCORE VENEER INSTALLATION. WORKMANSHIP INTERIOR TO THESE STANDARDS SHALL NOT BE ACCEPTED.

9.3. PROVIDE CASING BEADS AT ALL EXPOSED EDGES AND WHEREVER DRYWALL ADJUTS OTHER CEILING OR FINISHES. PROVIDE FLUSH JOINT TREATMENT AND PREPARE SURFACES FOR FINISHES.

9.4. INTERIOR GYPSUM WALLBOARD SHALL BE LIGHT ORANGE PEEEL TEXTURED SURFACES UNLESS OTHERWISE INDICATED. PROVIDE WOODER BOARD OR DENIS-SHELD THE BOARD BY FELT UNDERLAYMENT AT ALL SHOWER AND TUB AREAS. INSTALLED IN ACCORDANCE W/ MANUFACTURERS' RECOMMENDATIONS.

9.5. EXTERIOR PORTLAND CEMENT BASED PLASTER:

9.5.1 OVER WOOD FRAME AND EXTERIOR WALL SHEATHING 1" THICK ON CALVANEZ LADDER TYPE HORIZONTAL WALL REINFORCING (#8 WIRE) AND FINISH COATS. PLASTER FINISH TO BE SELECTED BY ARCHITECT.

9.5.2 OVER CONCRETE MASONRY UNITS APPLY OVER MASTERSEAL 581 AT THICKNESS AS SPECIFIED BY MANUFACTURER, 5/8" THICK APPLIED IN 1 COATS. BROWN AND FINAL COATS. PLASTER FINISH TO BE SELECTED BY ARCHITECT.

ALL CEMENT PLASTER INSTALLATION AND MATERIALS TO CONFORM WITH LATEST APPLICABLE ASTM STANDARDS.

ALL PLASTER BOX INTERIORS SHALL BE MARBLE.

9.6. THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE WORK OF OTHERS PRIOR TO THE APPLICATION OF PAINT. IF SURFACE TO BE FINISHED CANNOT BE PUT IN SATISFACTORY CONDITION FOR PAINTING BY CUSTOMARY PREPARATION METHODS, THE PAINTING CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OR ARCHITECT IMMEDIATELY. ANY UNSATISFACTORY FINISHES THAT MAY RESULT.

9.7. ALL WORK SHALL BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER. ALL PAINT AND FINISHES SHALL BE EVENLY SPREAD AND FLOWED ON AND SHALL BE FREE FROM RUNS, SACS AND OTHER DEFECTS. ALL COATS SHALL BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS.

9.8. EXTERIOR FINISHES ARE NOT TO BE APPLIED IN RAINY OR DAMP WEATHER. ALL SURFACES SHALL BE THOROUGHLY DRY. INTERIOR PAINTING SHALL NOT BE PERMITTED UNTIL THE BUILDING IS COMPLETELY DRY-IN.

9.9. PREPARE SURFACES IN CONFORMANCE TO PAINT MANUFACTURERS' RECOMMENDATIONS. REMOVE HARDWARE, ACCESSORIES, LIGHT FIXTURES AND OTHER ITEMS NOT TO BE PAINTED OR PROVIDE SURFACE APPLIED PROTECTION. REINSTALL REMOVED ITEMS. PROTECT WORK OF OTHER TRADES.

9.10. APPLY PAINT IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. APPLY ADDITIONAL COATS AS REQUIRED TO PROVIDE PROPER COVERAGE. 100% COVERAGE IS REQUIRED EXCEPT FOR TRANSPARENT OR SEMITRANSPARENT FINISHES. PAINT INSIDE OF DUCTS, WHERE VISIBLE THROUGH REGISTERS OR GRILLS, PLAT BLACK. FINISH EXTERIOR COATS ON TOPS, BOTTOMS AND EDGES.

9.11. COLOR SELECTION SHALL BE PROVIDED BY ARCHITECT PRIOR TO COMMENCEMENT OF PAINTING. IF 100% COVERAGE CANNOT BE ACHIEVED WITH NUMBER OF COATS SPECIFIED BECAUSE OF COLOR VARIATION, ADDITIONAL COATS SHALL BE ADDED. PREPARE SAMPLE AREA OF EACH COLOR FINISH SELECTED FOR ARCHITECT AND OWNER.

9.12. ALL ADJACENT WORK AND MATERIALS MUST BE PROTECTED WITH SUITABLE COVERS DURING THE PROGRESS OF WORK.

9.13. THE FINISH FLOOR AND UNDERLAYMENT MATERIAL SHALL BE COVERED AND PAINT OR STAIN SPILLED SHALL BE REMOVED.

9.14. THE PAINTING SUBCONTRACTOR SHALL CAULK AROUND ALL WINDOWS AND TRIM, SLIDING GLASS DOORS AND TRIM AND AROUND ALL EXTERIOR TRIM AND SINGING WITH APPROVED SEALANT AND CAULK FOR INTENDED USE.

9.15. ALL EXTERIOR VENTS, STACKS, ETC. SHALL BE ETCHED AND PAINTED TO MATCH ADJACENT ROOF COLOR.

9.16. A FINAL TOUCH UP OF ALL AREAS WHERE DRYWALL HAS BEEN PATCHED AFTER THE FINAL COAT OF PAINT HAS BEEN APPLIED SHALL BE COMPLETED BEFORE OWNER MOVES IN.

9.17. ALL STAIN SHALL BE BRUSHED APPLIED.

9.18. ON COMPLETION OF ALL PAINTING, THE PAINTING SUBCONTRACTOR SHALL REMOVE ALL TOOLS, DEBRIS RESULTING FROM THE PAINTING PROCESS, AND LEAVE THE BUILDING IN A BROWN CLEAN CONDITION. ALSO HE SHALL REMOVE ALL PAINT, WASTE, ETC. FROM THE BUILDING. THE PAINTING CONTRACTOR SHALL PROVIDE GLASS, HARDWARE, FITTINGS, ETC. THE COST OF DAMAGE TO ANY WORK DUE TO NEGLIGENCE OR THE PART OF PAINTING SUBCONTRACTOR SHALL BE BORNE BY THE PAINTING SUBCONTRACTOR.

9.19. ALL PAINT AND STAIN SHALL BE HIGH QUALITY 100% ACRYLIC LATEX OR LEX OR BASE BY SCOTTI, D. OR BENJAMIN MOORE OR EQUAL AS APPROVED BY ARCHITECT. ALL PAINTING METHODS AND TECHNIQUES TO BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

9.20. EXTERIOR TRIM AND DOORS SHALL RECEIVE THREE (3) COATS OF PAINT IN COLOR DESIGNATED BY ARCHITECT.

9.21. INTERIOR WALL AND CEILING SURFACES SHALL RECEIVE TWO (2) COATS OF INTERIOR WASHABLE WALL PAINT. BATHROOM WALLS AND CEILING SHALL RECEIVE TWO (2) COATS OF SEMI-GLOSS ENAMEL, UNLESS OTHERWISE NOTED.

9.22. INTERIOR TRIM, DOORS AND SHELVES SHALL RECEIVE PRIMER-SEALER PLUS TWO (2) COATS OF INTERIOR OIL BASE SEMI-GLOSS ENAMEL WITH INTERMEDIATE SANDING UNLESS OTHERWISE NOTED.

9.23. CEILING GRID SYSTEM SHALL BE PRELUXE 9/16 EXPOSED TEE SYSTEM. ACUSTICAL CEILING TILE SYSTEM SHALL BE 2'x2'x5/8" CORTEGA TILE SYSTEM WITH ANGLE TOLLAR BY AMERTRONIC OR EQUAL.

9.24. ALL CLOSET SHELVING SHALL BE WHITE MELAMINE FINISH UNLESS OTHERWISE NOTED.

9.25. ALL INTERIOR WOODGRILLS SHALL BE MARBLE (1/2" DOMESTIC), UNLESS OTHERWISE NOTED.

DIVISION 10: SPECIALTIES

10.1. ALL TOILET AND BATH ACCESSORIES SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTIONS WITH ARCHITECT.

10.2. ALL KITCHEN EQUIPMENT SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTIONS WITH ARCHITECT.

10.3. SIGNAGE - CONTRACTOR SHALL PROVIDE SIGNAGE FOR ALL RESTROOM LOCATIONS AND IT SHALL BE IN COMPLIANCE WITH ALL AREA MINIMUM REQUIREMENTS. CONTRACTOR TO FINALLY SELECT TYPE OF SIGNAGE WITH THE ARCHITECT.

DIVISION 15: MECHANICAL AND PLUMBING

15.1. CONTRACTOR IS RESPONSIBLE TO INSURE THAT MECHANICAL AND PLUMBING CONTRACTORS SHALL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. TESTING SHALL BE PER AREA SPECIFICATIONS. ALL NEW AND REPLACEMENT UNITS ARE TO BE DESIGNED TO PREVENT POSSIBLE LEAKS.

15.2. CONTRACTOR IS RESPONSIBLE TO SECURE NECESSARY APPROVALS AND PERMITS FROM DEPARTMENTS HAVING JURISDICTION TO INSURE PROPER INSTALLATION OF MECHANICAL AND PLUMBING SYSTEMS.

15.3. COMPLY WITH RECOMMENDATIONS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION (SMACNA), AND THE AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS.

15.4. PROVIDE A ONE (1) YEAR WRITTEN WARRANTY FOR FURNISHING PARTS AND LABOR TO REPLACE ANY PART OF THE HVAC SYSTEM WHICH BECOMES DEFECTIVE IN NORMAL OPERATIONS WITH AN ADDITIONAL FOUR (4) YEAR WARRANTY FOR THE CONDENSING UNIT UNLESS MANUFACTURERS STANDARD WARRANTY IS GREATER.

15.5. TEST AND BALANCE SYSTEM AFTER INSTALLATION IS COMPLETED, CLEAN OUT ALL DUCTWORK, TEST REFRIGERANT SYSTEM FOR LEAKS, TEST COMPLETE SYSTEM FOR PROPER OPERATION, AND BALANCE SYSTEM TO MEET ACCEPTABLE PERFORMANCE CRITERIA.

15.6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS PRIOR TO FABRICATION OR INSTALLATION OF ANY EQUIPMENT.

15.7. PROVIDED 1" P.V.C. CONDENSATE DRAIN LINE WITH POSITIVE SLOPE FROM AIR HANDLER TO EXTERIOR.

15.8. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO SMACNA SPECIFICATIONS.

15.9. ALL REFRIGERANT LINES THROUGH MASONRY SHALL BE SLEEVED.

15.10. WATER AND SEWER SERVICE SHALL BE PROPERLY CONNECTED TO MAIN SYSTEMS.

15.11. PLUMBING CONTRACTOR SHALL COORDINATE LOCATION OF ALL UNDERGROUND LINES WITH OTHER APPLICABLE TRADES.

15.12. PLUMBING FLOOR PLAN IS SCHEMATIC AND SHALL NOT BE LIMITED TO ITEMS SHOWN. ALL MATERIALS REQUIRED TO PROVIDE COMPLETE WATER AND SEWER SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, SHALL BE SUPPLIED AND INSTALLED.

15.13. PROVIDE 1/4" COPPER ICE MAKER LINE FROM BELOW TUBSINK SINK COLD WATER LINE (WITH VALVE) TO REFRIGERATOR, IF APPLICABLE.

DIVISION 16: ELECTRICAL

16.1. ALL WORK SHALL BE COORDINATED WITH FLORIDA POWER AND LIGHT, AND SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. COMPLY WITH NEC 2017 AND NECA RECOMMENDATIONS (LATEST EDITION).

16.2. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC PANEL AS NOTED ON THE DRAWINGS (FIELD VERIFY LOCATION).

16.3. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL UL LABEL, BROWN ALUMINUM AND HEAT RESISTANT. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED COMPLETE WITH ALL COMPONENTS.

16.4. ALL TELEVISION OUTLETS SHALL BE PROVIDED WITH COAXIAL CABLE.

UNIT #182

VIZCAYA CONDOMINIUM

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"AS-BUILT DRAWING"
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DEMOLITION NOTES:

1. REMOVE/REWORK EXISTING ELECTRICAL OUTLETS, AND EXISTING LIGHTS AND SWITCHES THROUGHOUT UNIT AS SHOWN TO ACCOM. PROPOSED NEW LAYOUTS.
2. EXISTING WALLS, FLOORING AND CEILING TO BE REMOVED/REWORK AS REQUIRED TO ACCOM. PROPOSED NEW LAYOUT AS SHOWN. FIELD VERIFY ALL CONDITION TO ACCOM. PROPOSED IMPROVEMENTS.
3. REMOVE EXISTING APPLIANCES AND REWORK TO ACCOMMODATE PROPOSED NEW LAYOUT AS SHOWN.
4. REMOVE/ ALL EXISTING CABINETS TO ACCOM. PROPOSED NEW LAYOUT, REWORK EXISTING ELECTRICAL AND CABINETS.
5. REMOVE/ REWORK EXISTING W/H TO ACCOM. PROPOSED NEW LAYOUT AS SHOWN. REWORK ELECTRICAL AND OVERFLOW, REPLACE IN KIND OR UPDATE AS DETERMINED.
6. REMOVE EXISTING ABANDON DOORS TO ACCOMMODATE PROPOSED NEW LAYOUTS.
7. EXISTING CEILING TO BE REMOVED TO ACCOM. PROPOSED NEW LAYOUT, LIGHTING AND OTHER IMPROVEMENTS UNLESS DETERMINED OTHERWISE.
8. REMOVE EXISTING FIXTURES AND FINISHES TO ACCOM. PROPOSED NEW LAYOUT AND SELECTED FINISH AS NOTED INCLUDING NEW LIGHTING AND CEILING FAN AS REQUIRED OR NOTED.
9. REWORK EXISTING PLUMBING LINES AND FIXTURES AS REQUIRED TO ACCOM. PROPOSED NEW LAYOUT AS SHOWN.
10. EXISTING ELECTRIC PANEL - REWORK EXISTING ELECTRICAL TO ACCOM. PROPOSED NEW LAYOUT AND NEW PANEL AS DETERMINED NECESSARY, FIELD VERIFY EXISTING CONDITIONS.
11. EXISTING HVAC UNIT, REWORK TO ACCOM. PROPOSED NEW LAYOUT, REPLACE UNIT AS DETERMINED BASED UPON CONDITIONS OF THE EXISTING UNIT, REWORK ALL CONDUCTORS LINES ACCORDINGLY.
12. EXISTING FIRE SPRINKLER SYSTEM, REWORK AS REQUIRED TO ACCOM. PROPOSED NEW UNIT LAYOUT.
13. REMOVE EXISTING DOORS AND WALLS TO ACCOM. PROPOSED NEW LAYOUT AND PROPOSED NEW WARDROBE CABINETS.

GENERAL DEMOLITION NOTES:

1. ALL ELECTRICAL WIRING & CONDUITS LOCATED AT PARTITIONS INDICATED TO BE REMOVED SHALL BE REMOVED & TERMINATED AT THEIR SOURCE ELECTRICAL PANEL UNLESS OTHERWISE ALLOWED BY THE CURRENT EDITION OF THE NEC (NFPA 70).
2. EXISTING AIR HANDLER UNITS AND ASSOCIATED DUCTWORK TO BE REWORKED TO ACCOMMODATE PROPOSED NEW LAYOUT AS PROPOSED. REPLACE UNITS AS DETERMINED.
3. REMOVE/REWORK ALL EXISTING LIGHTING FIXTURES, UNLESS NOTED OTHERWISE.
4. REWORK ANY EXISTING FIRE SPRINKLER HEADS TO ACCOM. PROPOSED NEW LAYOUT, COORDINATE AND SHUTDOWN OF SYSTEM AS REQUIRED.
5. REWORK EXISTING PLUMBING TO ACCOM. PROPOSED NEW LAYOUT. FIELD VERIFY ALL EXISTING PLUMBING CONDUITS, DO NOT CUT FLOOR OR MAKE NEW PENETRATION IN EXISTING STRUCTURE.
6. DEMOLITION PLAN MAY NOT REFLECT OR SHOW ALL REQUIRED WORK INVOLVED WITH NOTED NEW PLAN, INTENT IS TO PROVIDE NEW FINISHED COMPLETE PROJECT.
7. FIELD VERIFY EXISTING ELECTRICAL PRIOR TO STARTING WORK INVOLVED WITH UNDERGROUND AND EXISTING CIRCUITS AND MAIN FEED.

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AS-BUILT DOCUMENTS
20 JULY 2024

CAH
7-22-24

Issued By: C. ALAN ANDERSON, P.A. #00000001
To the best of the architect's knowledge, skill, and
specifications comply with the applicable building codes and the
applicable minimum fire safety standards as determined by
ordinance with Chapters 253 and 633, Florida Statutes.

REVISION	DATE	DESCRIPTION
1	07-16-2024	AS-BUILT

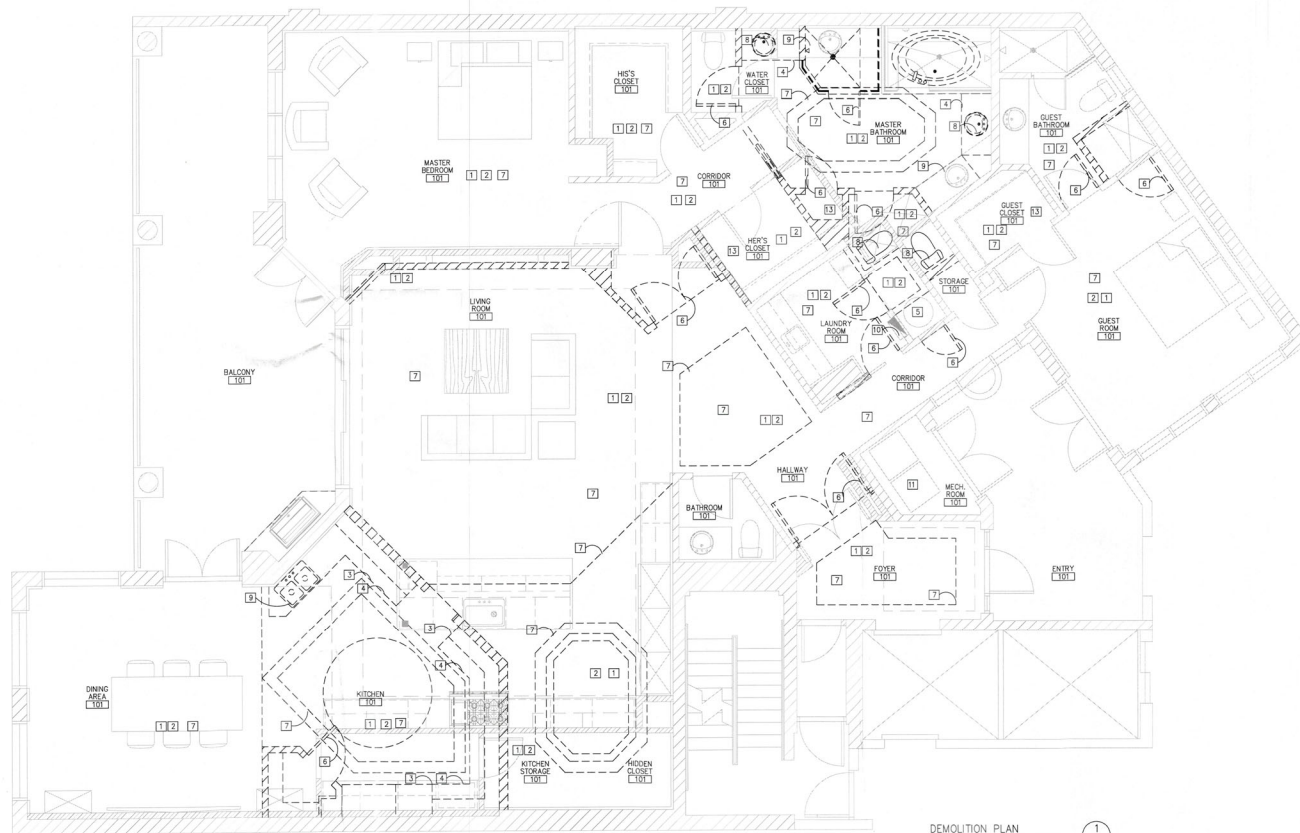
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DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

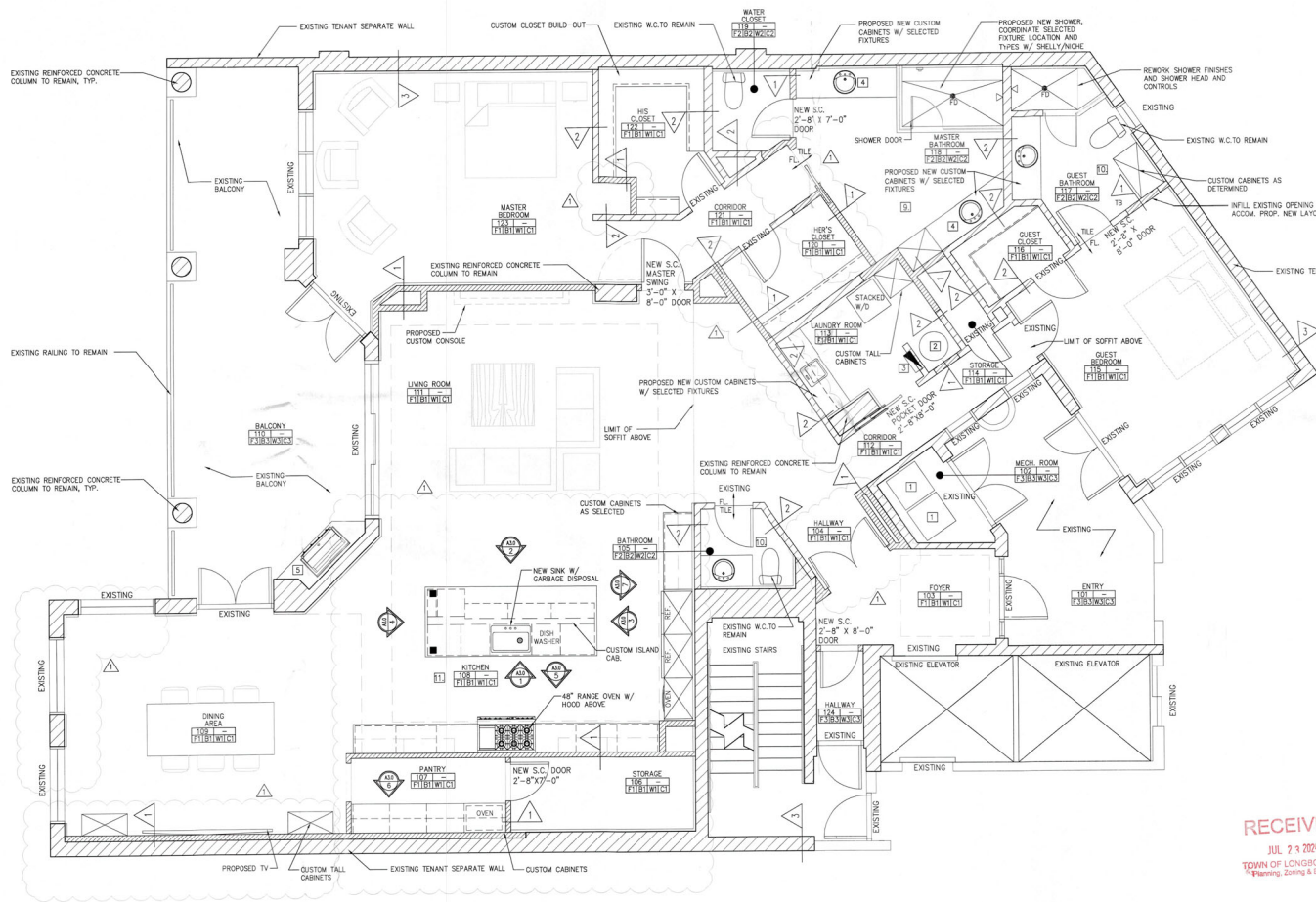
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DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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TOWN OF LONGBOAT KEY
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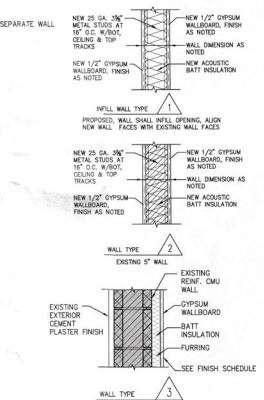
FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL WORK TO CONFORM TO THE 2020 FBC 7TH EDITION, NEC 2014 AND 2020 PLUMBING CODE, 7TH EDITION.
- SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT LAYOUT, NOTES AND SPECIFICATIONS.
- SEE ELECTRICAL DRAWINGS FOR POWER & SWITCHING, NOTES AND SPECIFICATIONS.
- SEE PLUMBING DRAWINGS FOR SANITARY SEWER AND DOMESTIC WATER DISTRIBUTION, NOTES AND SPECIFICATIONS.
- REPAIR DRYWALL ON EXISTING WALLS AS REQUIRED. FINISH AND TEXTURE TO MATCH EXISTING. PAINT AS SELECTED.
- VERIFY LOCATIONS OF EXISTING WINDOWS & DOORS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- FIELD VERIFY EXISTING CONDITIONS TO CONFIRM ASSEMBLIES.

CONSTRUCTION NOTES

- EXISTING SANITARY SEWER - REWORK EXISTING SANITARY SEWER LINES TO ACCOMMODATE PROPOSED NEW LAYOUT AS SHOWN. PROPERLY CAP AND SEAL. ALL EXISTING PLUMBING TO BE ABANDONED.
- NEW WALLS INTERSECTING EXISTING WALLS SHALL BE ERECTED TO ENSURE WALLS' UNITY AND STABILITY.
- CAPACITY AND OPERATION OF EXISTING HVAC EQUIPMENT IS TO BE VERIFIED PRIOR TO MODIFYING PARTITION LAYOUT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. REMOVING WALL IS NOT TO BE PENETRATED BY DUCTWORK.
- EXISTING ELECTRICAL PANEL TO BE RELOCATED AS SHOWN TO ACCOM. PROPOSED NEW LAYOUT. FIELD VERIFY RELOCATE AND EXISTING CONDITIONS.
- CASEWORK SHOWN IS DIAGNOSTIC. FINAL CASEWORK LAYOUT IS TO BE SHOWN WITH OWNER PRIOR TO FABRICATION. LIMITS ARE SHOWN FOR INTENT ONLY.
- FIRE SPRINKLERS - REWORK EXISTING FIRE SPRINKLERS TO ACCOM. PROPOSED NEW LAYOUT. FIELD VERIFY EXISTING ROUTE AND HEAD LOCATIONS. F.V. CORRECT COVERING.



CONSTRUCTION NOTES

- REWORK EXISTING MECHANICAL UNIT AND DUCTWORK, REPLACE AS DETERMINED.
- WATER HEATER - RELOCATE EXISTING W/H LOCATION AS SHOWN, REPLACE AS DETERMINED, REWORK OVERFLOW LINES AND ELECTRICAL.
- REWORK EXISTING ELECTRICAL PANEL AS SHOWN TO ACCOM. PROPOSED NEW CHANGES.
- PROVIDE NEW VANITY AND SINK UNITS W/ OWNER SELECTED FIXTURES.
- REWORK EXISTING GRILL CABINETS AS DETERMINED.
- BUILT IN CABINET DOOR, CONCEALED WITHIN CABINETS.
- PROVIDE CUSTOM BENCH SEATING/ TABLE.
- FIELD VERIFY PLUMBING ALONG WALL, FUR OUT AS REQUIRED TO ACCOM. EXISTING LINES AS REQUIRED.
- REWORK EXISTING MASTER BATH TO ACCOM. PROPOSED NEW LAYOUT. PROVIDE PLUMBING FIXTURE, FINISH, CABINETS AS SELECTED.
- REWORK EXISTING BATHROOM LAYOUT AS SHOWN, PROVIDE ALL NEW FINISH, CABINETS AND FINISHES AS NOTED.
- REWORK EXISTING KITCHEN AND BREAKFAST AREA AS REQUIRED.

FINISH SCHEDULE	
SYMBOL	FLOOR FINISH:
F1	NEW FLOOR AS SELECTED
F2	NEW TILE FLOOR AS SELECTED
F3	EXISTING
SYMBOL	BASE FINISH:
B1	NEW BASE AS SELECTED
B2	TILE BASE AS SELECTED
B3	EXISTING
SYMBOL	WALL FINISH:
W1	1/2\"/>

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AS-BUILT DOCUMENTS
20 JUL 2024

Revised By: C. ALAN ANDERSON, P.A. 11/03/2024
To the best of the architect's or engineer's knowledge, skill and judgment, the drawings are complete and correct for the work shown. The architect or engineer does not warrant the accuracy of the information provided by others in these record drawings.

REVISION DATE DESCRIPTION
1 07-16-2024 AS-BUILT

DESIGN BY: KA

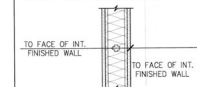
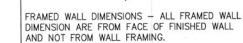
FLOOR PLAN

SCALE: 1/4" = 1'-0"
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MASONRY WALL DIMENSIONS - ALL MASONRY WALL DIMENSION EITHER INTERIOR OR EXTERIOR ARE FROM FACE OF MASONRY WALL AND NOT FROM FINISHED WALL.



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AS-BUILT DOCUMENTS
20 JULY 2024

7.22.24

Sealed By: C. ALAN ANDERSON, FL•AR0014171

To the best of the architect's or engineer's knowledge, said plans and specifications comply with the applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 633, Florida Statutes.

[illegible]

DRAWN BY: KA

DIMENSION PLAN



SCALE: $1/4" = 1'-0"$



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DIMENSION PLAN
SCALE: $1/4" = 1' - 0"$



ELECTRICAL LEGEND

	RECESSED 4" CAN LIGHT
	WALL MOUNTED FIXTURE, OWNER SEL.
	HANGING LIGHT FIXTURE, OWNER SEL.
	CEILING MOUNTED FAN W/ LIGHT
	RESTROOM EXHAUST FAN
	SUSP. FLUORESCENT FIXTURE
	SMOKE DETECTOR
	SUPPLY DIFFUSER
	RETURN AIR GRILLE

REFLECTED CEILING PLAN CONSTRUCTION NOTES:

- EXISTING MECHANICAL SYSTEMS - REWORK EXISTING DUCT WORK AND DIFFUSER GRILLES AS SHOWN TO ACCOMMODATE PROPOSED NEW LAYOUT. SERVICE UNIT AS REQUIRED TO ENSURE PROPER OPERATION AS NOTED. MECHANICAL SUB CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REDISTRIBUTION ON AC FROM EXISTING UNITS. EXISTING UNITS TO BE FLUSHED W/ NEW FILTERS.
- REWORK EXISTING DRYWALL CEILING TO ACCOMMODATE PROPOSED NEW LAYOUT. REWORK EXISTING ELECTRICAL, FIRE SPRINKLER AND OTHER ITEMS TO ACCOMMODATE PROPOSED NEW LAYOUT.

GENERAL NOTES:

- CEILING HEIGHT IN GENERAL AREAS EXISTING HTS. REWORK SOFFITS TO MATCH HEIGHT BUT TO ACCOM. AC DISTRIBUTOR AND FIRE SPRINKLER DISTRIBUTORS. NEW SOFFITS MAY BE REQUIRED TO ACCOM. ANY NEW RE. FLOORING.
- EXISTING AIR HANDLER UNIT, REWORK DUCTWORK TO ACCOM. PROPOSED NEW LAYOUT AS SHOWN - MAXIMUM CEILING HEIGHT.
- REWORK SOFFIT TO ACCOM. PROP. NEW LAYOUT, REWORK BATH CEILING AS REQUIRED TO ACCOM. AC DUCT WORK CHANGE.

UNIT #1B2
VIZCAYA CONDOMINIUM
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3908 Midland Road
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CONTRACTOR
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STATEWIDECONTRACTS.COM SHAWN WHITE QUALIFIED DESIGNER
14400 Highway 90 West, Suite 100 West Palm Beach, FL 33411
Phone (561) 427-0388

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AS-BUILT DOCUMENTS
20 JULY 2024

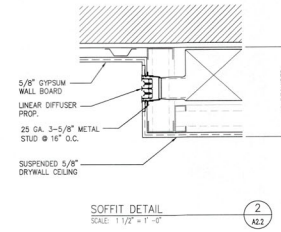
Sealed By C. ALAN ANDERSON, FL #40000401
To the best of the architect's or engineer's knowledge, said plans and specifications comply with the applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 553.1, Florida Statutes.

REVISION	DATE	DESCRIPTION
1	07-16-2024	AS-BUILT

REFLECTED CEILING PLAN

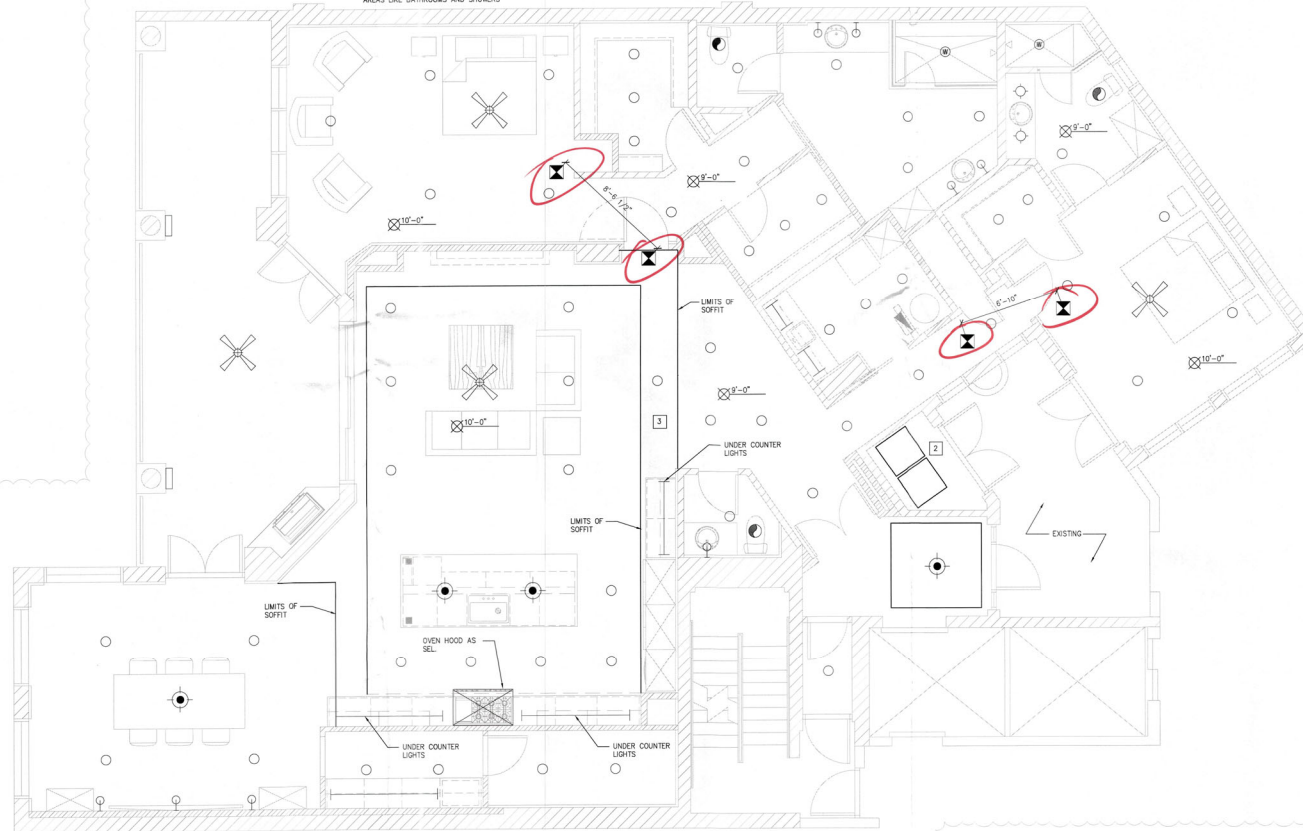


202322
A2.2
20 JULY 2024



SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"
2
A2.1

NOTE: ALL PROPOSED CEILINGS ARE DRYWALL M.R. FOR WET AREAS LIKE BATHROOMS AND SHOWERS



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
1
A2.1

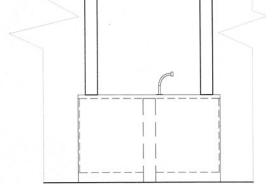
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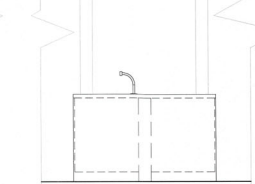
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7
A30

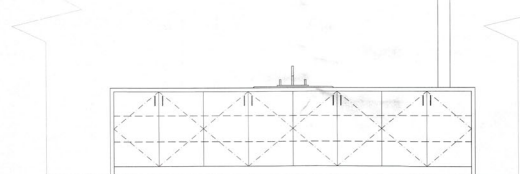


4
430

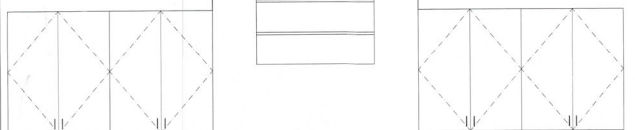


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A30

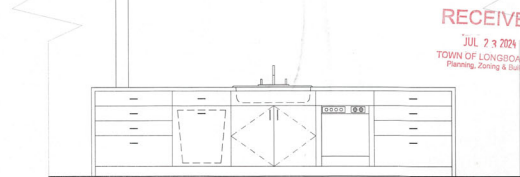
6
A30



2
A3.0



5
A10



1
A3.0

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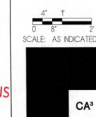
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7.22.24

[illegible]

INTERIOR ELEVATIONS

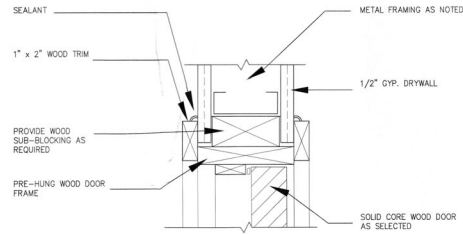
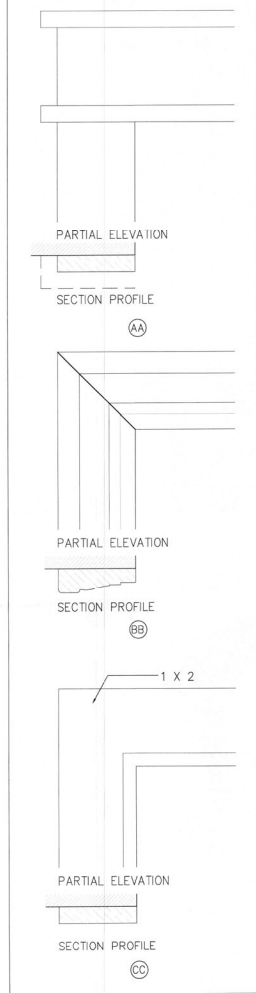


2023.22
A3.0
20 JULY 2024

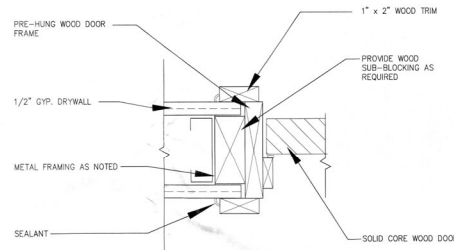
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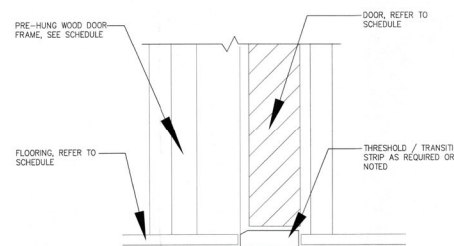
INTERIOR WINDOW & DOOR CASING PACKAGES



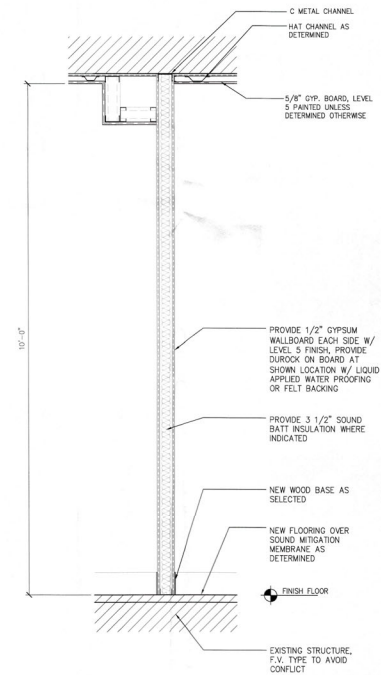
DOOR HEAD DETAIL
SCALE: 3/4" = 1'-0"



DOOR JAMB DETAIL
SCALE: 3/4" = 1'-0"



DOOR SILL DETAIL
SCALE: 3/4" = 1'-0"



WALL SECTION
SCALE: 3/4" = 1'-0"

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START@GALANDERSON.COM
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Beverly Hills, CA 90210
Phone (310) 427-0388

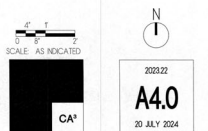
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Signed by C. ALAN ANDERSON, FL #0003450
To the best of the architect's or engineer's knowledge, skill and judgment, the drawings were prepared in accordance with the applicable building codes and the applicable provisions of the Florida Statutes as amended in accordance with Chapters 225 and 226, Florida Statutes.

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DETAILS & SECTIONS



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A4.0
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SYMBOL LEGEND

	2 X 2 LAY-IN LIGHT FIXTURE
	RECESSED CAN LIGHT
	SUPPLY DIFFUSER
	RETURN AIR GRILLE
	EXHAUST FAN
	EMERGENCY LIGHT W/ BATTERY BACKUP
	EMERGENCY EXIT SIGN W/ BATTERY BACKUP
	ILLUM. BACKUP (DIRECTION ARROWS WHERE NOTED)
	EXISTING FIRE SPRINKLER HEAD TO REMAIN (RELOC. AS REQ'D)
	LIGHT SWITCH
	LIGHT SWITCH, 3-WAY
	DUPLEX RECEPTACLE
	220 OUTLET
	DUPLEX RECEPTACLE 42' A.F.F.
	DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	ELECTRICAL PANEL
	DATA RECEPTACLE
	CABLE RECEPTACLE
	THERMOSTAT
	EXISTING

REFLECTED CEILING PLAN CONSTRUCTION NOTES:

1. EXISTING MECHANICAL SYSTEMS - REWORK EXISTING DUCT WORK AND DIFFUSER GRILLES AS SHOWN TO ACCOMMODATE PROPOSED NEW LAYOUT. SERVICE UNIT AS REQUIRED TO ENSURE PROPER OPERATION AS NOTED. MECHANICAL SUB CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REDISTRIBUTION ON AC FROM EXISTING UNITS. EXISTING UNITS TO BE FLUSHED W/ NEW FILTERS.

ELECTRICAL NOTES:

1- PROVIDE POWER TO DISHWASHER
2- PROVIDE POWER TO GARBAGE DISPOSAL
3- PROVIDE POWER TO OVEN HOOD
4- PROVIDE POWER AND GAS TO OVEN
5- PROVIDE POWER TO MICROWAVE

UNIT #1B2
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DADE CITY, FL 34608
Phone (813) 631-0388

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AS-BUILT DOCUMENTS
20 JULY 2024

CHAL
7-22-24

Sealed By C. ALAN ANDERSON, FL #00023001
To the best of the architect's or engineer's knowledge, skill and judgment, the drawings comply with the applicable building codes and the applicable provisions of the Florida Statutes as amended or as interpreted in accordance with Chapters 303 and 305, Florida Statutes.

GENERAL ELECTRICAL NOTES:

1. PROVIDE COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM.
2. ALL WORK SHALL CONFORM TO OR EXCEED THE MINIMUM REQUIREMENTS OF THE CURRENT ANSI/NFPA 70 WITH STATE OF FLORIDA AMENDMENTS, AND/IEEE C2 AND ALL FEDERAL, STATE, LOCAL, AND MUNICIPAL CODES AND ORDINANCES. THE ELECTRICAL SUBCONTRACTOR SHALL COMPLY WITH THE DIRECTIONS OF ALL AUTHORITIES HAVING JURISDICTION.
3. INSTALL WORK USING PROCEDURES DEFINED IN NECA STANDARDS OF INSTALLATION. ALL WORK SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
4. PROVIDE OCCUPANCY SENSORS AS DETERMINED
5. ELECTRICAL CONTRACTOR TO PROVIDE UPDATED AND COMPLETE FINAL PANEL SCHEDULE UPON COMPLETION OF ELECTRICAL WORK.

ELECTRICAL SPECIFICATIONS:

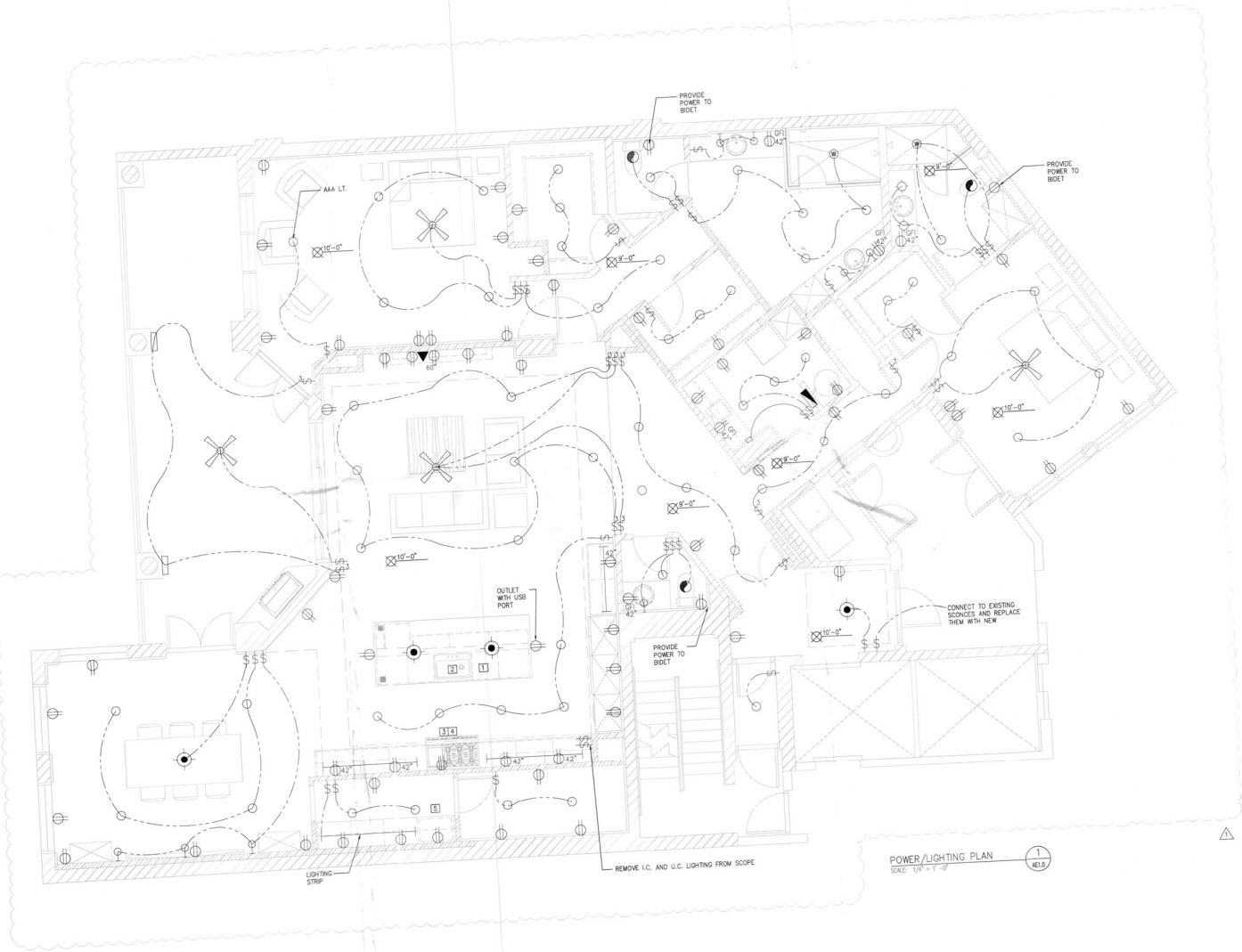
1. PROVIDE LABELING FOR ALL PANELBOARDS, SWITCHBOARDS, AND DISCONNECT SWITCHES TO INCLUDE AN ENGRAVED PLASTIC LABEL IDENTIFYING THE EQUIPMENT AND WHERE IT IS FED FROM. ALL BRANCH DEVICES IN THE MAIN SWITCHBOARD SHALL HAVE AN ENGRAVED PLASTIC LABEL. ALL PANELBOARDS SHALL INCLUDE A TYPEWRITTEN DIRECTORY. ALL RECEPTACLES SHALL HAVE CIRCUIT NUMBERS WRITTEN ON THE INSIDE OF THE COVERPLATE. ALL JUNCTION BOX COVERS SHALL BE IDENTIFIED TO INDICATE CIRCUITS CONTAINED. WHERE MULTIPLE SWITCHES ARE GANGED TOGETHER THE SWITCHES SHALL BE IDENTIFIED.
2. ALL CONDUIT INSIDE THE BUILDING SHALL BE A ELECTRICAL METALLIC TUBING (EMT) AND SHALL BE A MINIMUM 1/2" UNLESS OTHERWISE NOTED. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED. ALL CONDUIT INSTALLED ABOVE GRADE OUTSIDE THE BUILDING SHALL BE GALVANIZED RIBBON STEEL. NO PVC CONDUIT SHALL BE USED ABOVE THE FLOOR SLAB.
3. SWITCHES SHALL BE 20 AMPERE RATED, 120/277 VOLT, HUBBELL 1121 SERIES OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED. ALL LED FIXTURES TO BE PLACED ON DIMMER FOR CONTROL.
4. RECEPTACLES SHALL BE 20A, 120V GROUNDING TYPE LIKE HUBBELL 5342 SERIES, UNLESS OTHERWISE NOTED.
5. WIRING METHODS:
ALL WIRING SHALL BE COPPER. NO ALUMINUM WIRING WILL BE ALLOWED.
ALL OTHER CABLE SHALL BE AS PERMITTED BY CODE.

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ELECTRICAL PLAN

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POWER/LIGHTING PLAN
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