

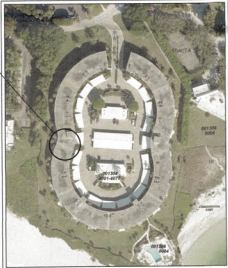
SHEET INDEX	
D-101	SHEET INDEX / CODE ANALYSIS / LOCATION MAP / DEMOLITION PLAN / DEMOLITION PLAN KEY NOTES / GENERAL NOTES
A-101	FLOOR PLAN / EXTERIOR ELEVATIONS / SCHEDULES / DETAILS / SECTION
A-102	REFLECTED CEILING PLAN / REFLECTED CEILING PLAN KEY NOTES / CEILING DETAILS
MEP-101	MECHANICAL PLAN / MECHANICAL SCHEDULES / ELECTRICAL PLAN / ELECTRICAL NOTES / ELECTRICAL PANEL SCHEDULES
MEP-102	PLUMBING PLAN / PLUMBING SCHEDULE / PLUMBING DETAILS

BUILDING CODE ANALYSIS						
RESIDENTIAL	ELECTRICAL	MECHANICAL	PLUMBING	ENERGY	FIRE PREVENT.	FUEL
FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION (2020)	NATIONAL ELECTRIC CODE (2017 EDITION) 7TH EDITION (2020)	FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION (2020)	FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION (2020)	FLORIDA ENERGY CONSERVATION BUILDING CODE 7TH EDITION (2020)	FLORIDA FIRE PREVENTION BUILDING CODE 7TH EDITION (2020)	FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION (2020)
TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SHOWN HEREIN COMPLY WITH THESE MINIMUM BUILDING CODES IN EFFECT AT THIS TIME.						
1. OCCUPANCY CLASSIFICATION SECTIONS 503.1-5		RESIDENTIAL GROUP, R-2				
2. CONSTRUCTION TYPE TABLE 601		TYPE II, UNSPRINKLERED, NO FIRE ALARM				
3. EXISTING BUILDING CLASSIFICATION OF WORK IBC 2020, 7TH EDITION - EXISTING BUILDING CHAPTER 5		ALTERATION LEVEL 2				
4. ACTUAL AREA PER UNIT UNIT 220		1,543 SF - GROSS LIVING AREA				
5. INTERIOR FINISH REQUIREMENTS TABLE 803.11		CLASS - B / WITH NO FIRE SPRINKLER				
EXITS: EXIT ACCESS: OTHER SPACES:		CLASS - B / WITH NO FIRE SPRINKLER				
CLASS - C / WITH NO FIRE SPRINKLER						

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SHOWN HEREIN COMPLY WITH:

- 2020 FLORIDA BUILDING CODE, 7TH EDITION (FBC)
- 2017 NATIONAL ELECTRIC CODE (NEC)
- AND ALL OTHER APPLICABLE MINIMUM BUILDING CODES IN EFFECT AT THIS TIME.

**SANDS POINT CONDOMINIUM, UNIT 220**  
100 SANDS POINT RD, UNIT 220  
LONGBOAT KEY, FLORIDA 34228



LOCATION AERIAL

**DEMOLITION GENERAL NOTES:**

- CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER FEDERAL, STATE AND LOCAL AGENCY REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF ANY DISCREPANCIES BETWEEN AGENCY REQUIREMENTS, THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT OF REQUIREMENTS.
- CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.
- ALL WORK IS TO BE COORDINATED WITH THE TENANT. THE CONTRACTOR IS TO MEET WITH THE TENANT PRIOR TO STARTING DEMOLITION.
- CHECK WITH THE TENANT FOR COORDINATION OF THE WORK UNDER THIS CONTRACT WITH WORK OF OTHER TRADES. TENANT'S REGULATIONS GOVERN ALL ASPECTS OF OUTSIDE CONTRACTORS WORKING ON THE PROPERTY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING BUILDING AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE DEMOLITION BEGINS.
- COORDINATE ALL CONSTRUCTION ACTIVITIES AND SCHEDULE WITH THE TENANT.
- DEMOLITION PLANS ARE INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR AND ONLY GENERALLY INDICATE THOSE BUILDING ELEMENTS THAT MUST BE DEMOLISHED TO COMPLETE THE WORK. REMOVAL OF REUSED FIXTURES IS REQUIRED OR NOT DURING CONSTRUCTION.
- REMOVE FINISHES AND COMPONENTS, WALLS, FLOORS AND CEILING AS REQUIRED TO COMPLETE WORK OF THIS CONTRACT, WHETHER OR NOT INDICATED ON DEMOLITION DRAWINGS.
- PROTECT FROM DAMAGE EXISTING COMPONENTS / FINISHES THAT ARE TO REMAIN OR TO BE SALVAGED.
- UNLESS OTHERWISE INDICATED, HATCHED AREA ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES.
- PRIOR TO PERFORMING DEMOLITION, CONFIRM WHICH COMPONENTS, IF ANY, THE TENANT MAY DESIRE TO BE SALVAGED. CAREFULLY REMOVE SUCH ITEMS AND TURN OVER TO THE TENANT.
- DO NOT DISTURB ANY STRUCTURAL COMPONENTS, SUCH AS COLUMNS, BEAMS, LOAD BEARING WALL OR FLOOR SYSTEMS OTHERWISE LABELED TO BE REMOVED.
- WALLS AND OTHER COMPONENTS INDICATED TO BE REMOVED ARE PRESUMED TO BE NON-LOAD BEARING. PRIOR TO PERFORMING DEMOLITION, CONTRACTOR SHALL VERIFY WHETHER OR NOT WALLS OR OTHER COMPONENTS TO BE REMOVED ARE LOAD BEARING AND, IF SO, NOTIFY ARCHITECT.
- FIRE ALARM AND FIRE SPRINKLER SYSTEM SHALL REMAIN INTACT AND BE SECURED TO PREVENT DAMAGE OR ACCIDENTAL ACTIVATION DURING DEMOLITION PROCESS.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ACCOMPANYING DRAWINGS FOR TOTAL PROJECT SCOPE OF WORK. CONTRACTOR TO DETERMINE IF REMOVAL OF REUSED FIXTURES IS REQUIRED OR NOT DURING CONSTRUCTION.



**THE CONTRACTOR:**

SHALL BE TOTALLY RESPONSIBLE FOR THE CONSTRUCTION PHASE OF THIS PROJECT AND SHALL BE REQUIRED TO STRICTLY FOLLOW THE LOCAL BUILDING CODES AND ORDINANCES. THE ARCHITECTURAL DRAWINGS INDICATED HEREIN REPRESENT THE DESIGN INTENT ONLY OF THE FLOOR PLANNING (TO INCLUDE THE CEILING PLANE) AND THE INTERIOR DESIGN.

FURTHER NOTATIONS AND/OR DETAILS WITHIN THE DRAWINGS ARE INCLUDED TO SHOW GENERAL CONSTRUCTION ASSEMBLY OF BUILDING COMPONENTS AND TO EMPHASIZE CODE WORTHY ITEMS, BUT BY NO MEANS REPRESENT ALL REQUIRED CONSTRUCTION FRAMING TECHNIQUES, OR DETAILING NECESSARY FOR THE COMPLETION OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ALL CONSTRUCTION ASSEMBLY PRACTICES, MATERIAL INTERFACING AND DETAILING NOT OTHERWISE SHOWN ON THE DRAWINGS, TO INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: SLAB INFILL AND EXTERIOR WALL PENETRATIONS, WATER PROOFING OF THE EXTERIOR PENETRATIONS, AND INTERIOR MATERIAL APPLICATIONS.

THE ELECTRICAL PLAN (S) ARE INCLUDED HEREIN TO BE USED AS A GUIDE FOR PLACEMENT OF ELECTRICAL APPARATUS ONLY I.E. LIGHT FIXTURES, SWITCHES, RECEPTORS, OUTLETS, PANELS, ETC. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INSURE THE ELECTRICAL POWER DISTRIBUTION AND LIGHTING DESIGN MEETS ALL APPLICABLE CODES.



DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

RECEIVED  
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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

Steven Isaacson  
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Date: 2023.11.14 09:40:57 -05'00'

MECHANICAL, ELECTRICAL, AND PLUMBING REVIEWS WILL BE DEFERRED TO FIELD INSPECTORS



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SANDS POINT CONDOMINIUM, UNIT 220  
100 SANDS POINT RD, UNIT 220  
LONGBOAT KEY, FLORIDA 34228

Issue Date: 09/12/2023  
Project No: SB423103

Revisions:

Mark	Date	Description
▲	11/14/2023	POST DEMO REV

Drawing Name:

DEMOLITION PLAN  
BLDG PERMIT PLANS  
FILE  
Copy of Record

Sheet:

D-101

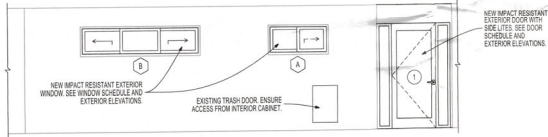
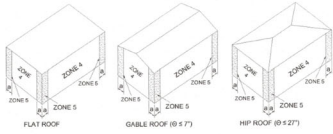
08

Tributary Area Sq Feet	LRFD (Load Resistance Factor Design)			ASD (Allowable Stress Design)			External Pressure Coefficients		
	Positive Zone 4 & 5 psf	Negative Center Zone 4 psf	Negative Corner Zone 5 psf	Positive Zone 4 & 5 psf	Negative Center Zone 4 psf	Negative Corner Zone 5 psf	Positive G Cp	Negative Center G Cp	Negative Corner G Cp
10 ft <sup>2</sup>	63.5	-68.7	-84.6	38.4	-41.2	-50.8	0.90	-0.99	-1.26
20 ft <sup>2</sup>	66.6	-65.9	-79.0	36.4	-39.6	-47.4	0.85	-0.94	-1.16
30 ft <sup>2</sup>	66.9	-62.2	-71.5	34.2	-37.3	-42.9	0.79	-0.88	-1.04
100 ft <sup>2</sup>	54.1	-59.4	-65.9	28.3	-33.6	-39.6	0.74	-0.83	-0.94
200 ft <sup>2</sup>	51.3	-56.6	-60.9	26.8	-32.0	-38.2	0.69	-0.78	-0.85
300 ft <sup>2</sup>	47.6	-52.9	-58.9	28.6	-31.7	-31.7	0.63	-0.72	-0.72
43 ft <sup>2</sup>	57.5	-62.8	-72.8	34.5	-37.7	-43.7	0.80	-0.89	-1.06

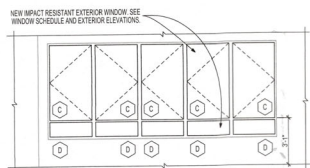
Least Width = 42 ft a = 4.2 ft (Zone 5)

**Input:**  
ASCE 7-10 Strength Design Load & Allowable Stress Design  
Wind Speed = 150 mph  
Building Exposure = D (Flat Unobstructed Areas)  
Internal Pressure Coefficient (Cp) = 0.18 Enclosed Building  
Roof angle is less than or equal to 10° or flat (External Pressure Coefficient is reduced 10%)  
Kt = 1.00  
Mean Roof Height = 36.5 ft

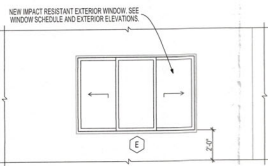
**Output:**  
Velocity Pressure Coefficient "Kz max." = 1.2  
For Table 30.2-1, page 27  
LRFD uses wind speed Vult = 150 mph  
Velocity Pressure (q) (LRFD) = 58.75 psf = .00256 \* Kz \* Kt \* Kd \* Vult<sup>2</sup> = lb/ft<sup>2</sup>  
For eq. 30.3-4, page 36  
ASD uses wind speed Vasd = 116 mph  
Velocity Pressure (q) (ASD) = 35.25 psf = .00256 \* Kz \* Kt \* Kd \* Vasd<sup>2</sup> = lb/ft<sup>2</sup>



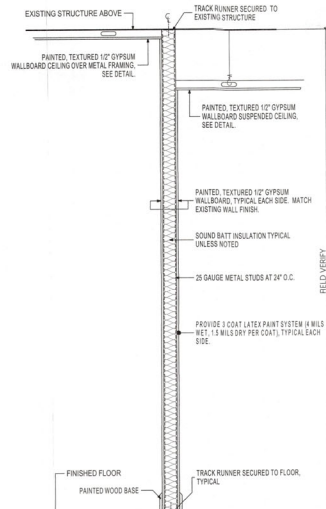
**A EXTERIOR ELEVATION**



**B EXTERIOR ELEVATION**



**C EXTERIOR ELEVATION**



**TYPICAL WALL**  
SCALE: 3/4" = 1'-0"

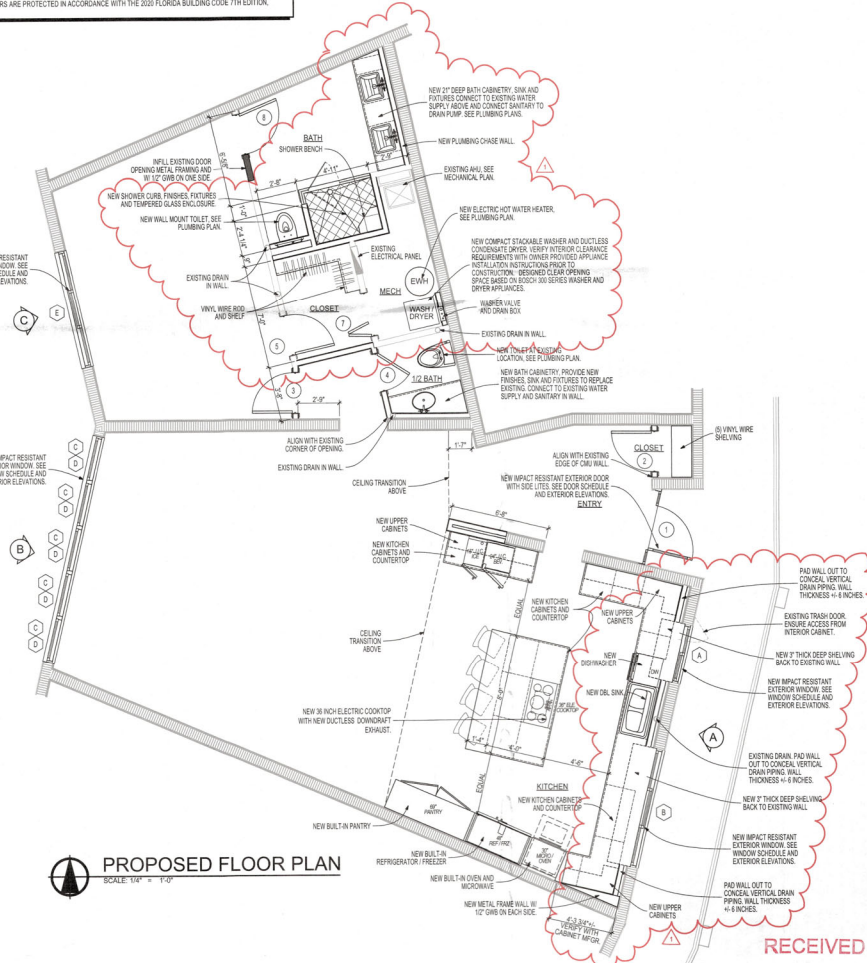
WINDOW SCHEDULE	
MK.	DESCRIPTION
A	402 47'x2' PGT VINYL WINGUARD HORIZONTAL ROLLER (HRS10V), IMPACT RESISTANT, WHITE VINYL.
B	802 9'x2' PGT VINYL WINGUARD HORIZONTAL ROLLER (HRS10V), IMPACT RESISTANT, WHITE VINYL.
C	425 37'x8' PGT VINYL WINGUARD CASEMENT WINDOW (CAS40V), IMPACT RESISTANT, WHITE VINYL, EGRESS WINDOW, USE WASHABLE HINGE.
D	37'x13' PGT VINYL WINGUARD FIXED CASEMENT PICTURE WINDOW (FWS40V), IMPACT RESISTANT, WHITE VINYL.
E	803 8'x8' PGT VINYL WINGUARD HORIZONTAL ROLLER (HRS10V), IMPACT RESISTANT, WHITE VINYL, EGRESS WINDOW, 14-10-1/4 CONFIGURATION.

WINDOW CONTRACTOR TO VERIFY ALL SIZES NOTED ABOVE WITH EXISTING CONDITIONS PRIOR TO ORDERING FROM MANUFACTURER.

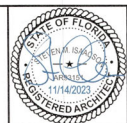
THESE DRAWINGS WHEN SIGNED AND SEALED ARE AN INDICATION THAT THE STRUCTURAL COMPONENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, WITH LATEST ADOPTED AMENDMENTS/REVISIONS FOR THE FOLLOWING CRITERIA:

- 150 mph UL TMATE WIND VELOCITY (EQUVALENT TO 116 mph THREE SECOND GUST NOMINAL WIND VELOCITY)
- WIND PRESSURES COMPUTED ON THE BASIS OF SECTION 1608.1.1 (UTILIZING ASCE 7-10 MAIN WIND FORCE RESISTING FORCES), BUILDING RISK CATEGORY I
- EXPOSURE D - ENCLOSED STRUCTURE WITH INTERNAL PRESSURE COEFFICIENT OF +1.0
- EXTERIOR GLAZED WINDOWS AND DOORS ARE PROTECTED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION, SECTION 909.1.2.

DOOR SCHEDULE	
MK.	DESCRIPTION
1	2'-4 7/8" x 31" PAINTED PREHANG EXTERIOR DOOR WITH RIGHT AND LEFT SIDELITES. THERMA TRU CLASSIC CRAFT SHAKER GLAZES FIBROGLASS SINGLE DOOR W/ SIDELITES. CUTTING IMPACT RESISTANT GLAZING. LEVER HANDLE KIT (LH) SET AND SDOG BOX. PAINTED DOOR CASING INTERIOR SIDE. PAINT PER OWNER COLOR SELECTION.
2	2'-4 7/8" x 31" PAINTED PREHANG SOLID CORE WASHNET DECORATIVE INTERIOR DOOR. LEVER HANDLE PASSAGE SET. WALL MOUNT DOOR BUMPER. PAINTED DOOR CASING. PAINT PER OWNER COLOR SELECTION.
3	2'-4 7/8" x 31" PAINTED PREHANG SOLID CORE WASHNET DECORATIVE INTERIOR DOOR. LEVER HANDLE PRIVATE SET. WALL MOUNT DOOR BUMPER. PAINTED DOOR CASING. PAINT PER OWNER COLOR SELECTION.
4	2'-4 7/8" x 31" PAINTED PREHANG SOLID CORE WASHNET DECORATIVE INTERIOR DOOR. LEVER HANDLE PRIVATE SET. HINGE MOUNT DOOR STOP. PAINTED DOOR CASING. PAINT PER OWNER COLOR SELECTION.
5	2'-4 7/8" x 31" PAINTED PREHANG SOLID CORE WASHNET DECORATIVE INTERIOR DOOR. LEVER HANDLE PRIVATE SET. HINGE MOUNT DOOR STOP. PAINTED DOOR CASING. PAINT PER OWNER COLOR SELECTION.
6	NOT USED
7	2'-4 7/8" x 31" PAINTED OVERHEAD BULOOR DOOR. FACTORY TRACK AND HARDWARE. PAINT PER OWNER COLOR SELECTION.
8	2'-4 7/8" x 31" PAINTED PREHANG SOLID CORE WASHNET DECORATIVE INTERIOR DOOR. LEVER HANDLE PASSAGE SET. WALL MOUNT DOOR BUMPER. PAINTED DOOR CASING. PAINT PER OWNER COLOR SELECTION.



**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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**SANDS POINT CONDOMINIUM, UNIT 220**  
**INTERIOR RENOVATION**  
100 SANDS POINT RD, UNIT 220  
LONGBOAT KEY, FLORIDA 34228

Issue Date: 09/12/2023  
Project No: SIA23103

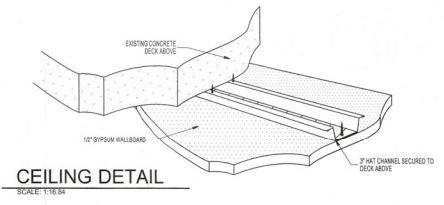
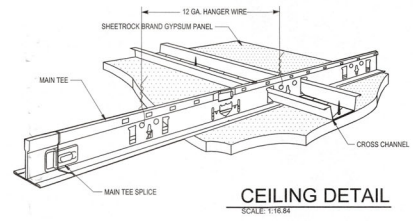
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**FLOOR PLAN / SCHEDULES / DETAILS & SECTIONS**  
BLDD PERMIT PLANS  
1000 N. US HWY 1  
Suite 100  
Tallahassee, Florida 32310

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REFLECTED CEILING LEGEND	
SYMBOL	DESCRIPTION
	SURFACE MOUNTED STRIP LED LIGHT FIXTURE
	6" RECESSED LED FIXTURE
	6" RECESSED LED VAPOR PROOF FIXTURE
	WALL MOUNTED OVER THE LAVATORY LED LIGHT FIXTURE
	PAINTED SKIP TROWEL TEXTURED GYPSUM WALLBOARD CEILING
	HVAC SUPPLY AIR GRILLE
	HVAC RETURN AIR GRILLE
	HVAC SUPPLY SIDEWALL GRILLE
	HVAC SIDEWALL TRANSFER GRILLE
	EXHAUST FAN
	CEILING HEIGHT
	INTERCONNECTED SMOKE DETECTOR



STEVEN M. ISAACSON, ARCHITECT  
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**SANDS POINT CONDOMINIUM, UNIT 220  
INTERIOR RENOVATION**  
100 SANDS POINT RD, UNIT 220  
LONGBOAT KEY, FLORIDA, 34228

Issue Date: 09/12/2023  
Project No: SIA23103

Revisions:

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△	11/14/2023	POST 5040 REV

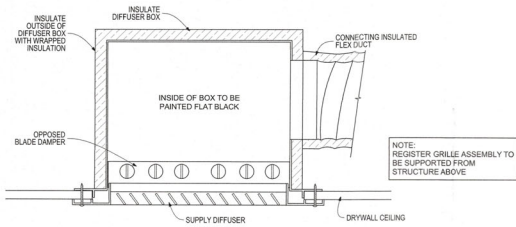
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REFLECTED CEILING PLAN / REFLECTED CEILING SCHEDULE / CEILING DETAILS / BLDG PERMIT PLANS

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**A-102**

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**SURFACE MOUNT SUPPLY REGISTER DETAIL**  
SCALE: NONE

**GENERAL**

1. THE ELECTRICAL CONTRACTOR REFERRED TO HEREAFTER, AS THE "CONTRACTOR" SHALL PROVIDE COMPLETE ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.
2. CONTRACTOR SHALL PROVIDE PROTECTIVE DEVICES: CONDUCTORS, SUPPORTS, RACEWAYS, AND MISCELLANEOUS MATERIALS TO SERVE ALL DEVICES REQUIRING ELECTRICAL POWER.
3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED TO COMMENCE AND COMPLETE ELECTRICAL WORK.
4. CONTRACTOR SHALL MAINTAIN A COMPLETE TEMPORARY POWER AND LIGHTING SYSTEM DURING CONSTRUCTION.
5. ALL WORK SHALL BE PERFORMED DURING PERIODS ACCEPTABLE TO THE OWNER. SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING.
6. THE CONTRACTOR SHALL PERFORM TEMPORARY WORK NECESSARY TO MAINTAIN CONTINUITY OF ELECTRICAL SERVICE WHEN CONNECTIONS MADE TO EXISTING SYSTEMS AND FACILITIES. EXISTING SERVICE SHALL NOT BE INTERRUPTED WITHOUT PRIOR CONSENT OF THE OWNER'S REPRESENTATIVE.
7. AT PROJECT COMPLETION, THE CONTRACTOR SHALL INSURE THAT ALL ELECTRICAL SYSTEMS OPERATE PROPERLY. CONTRACTOR SHALL DEMONSTRATE OPERATION OF EACH SYSTEM WITH THE OWNER'S REPRESENTATIVE.

**CODES AND STANDARDS**

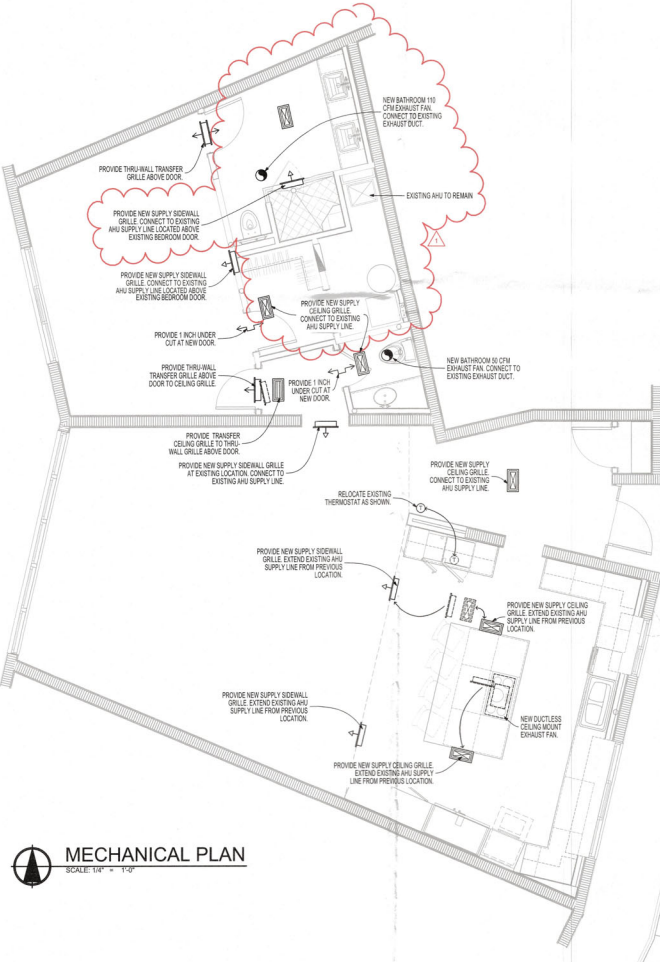
1. ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF:
  - NFPA 70 (NATIONAL ELECTRICAL CODE)
  - NFPA 701 (LIFE SAFETY CODES)
  - CODES SPECIFIC TO OTHER SECTIONS HEREIN
2. ELECTRICAL WORK SHALL COMPLY WITH ALL LOCAL AND STATE ELECTRICAL CODES AND IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION (AHJ).

**SMOKE ALARMS:**

1. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
  - A. IN EACH SLEEPING ROOM.
  - B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - C. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL. PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
2. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ANY ONE ALARM WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHER SMOKE ALARMS. ALL SMOKE ALARMS SHALL BE EQUIPPED WITH A BATTERY BACK-UP FEATURE IN CASE OF PRIMARY POWER FAILURE AND/OR INTERRUPTION. ALL SMOKE ALARMS ARE EQUIPPED WITH A "HUSH" BUTTON.
3. ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE NEC AND THE HOUSHOLD FIRE WIRING EQUIPMENT PROVISIONS OF NFPA 72.
4. THE REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.

EXISTING ELECTRICAL DEVICES AND FIXTURES NOT REMOVED DURING DEMOLITION WORK SHALL REMAIN INTACT. NOT ALL EXISTING ELECTRICAL DEVICES AND FIXTURES ARE SHOWN ON THIS PLAN. ELECTRICAL CONTRACTOR TO CONDUCT A SURVEY OF EXISTING ELECTRICAL DEVICES AND FIXTURES TO DETERMINE OPERATION AND WORKING CONDITION. REPAIR AS NEEDED.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	SURFACE MOUNTED STRIP LED LIGHT FIXTURE ABOVE DOOR
	6" LOW PROFILE LED FIXTURE
	6" LOW PROFILE LED VAPOR PROOF FIXTURE
	WALL MOUNTED OVER THE LAVATORY LED LIGHT FIXTURE TO BE SELECTED BY OWNER
	EXHAUST FAN REPLACE EXISTING
	INTERCONNECTED SMOKE DETECTOR

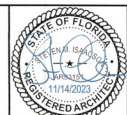


**PANEL NAME: UNIT 220**  
MFD 120 SQUARES 2 WDG FULCRUM MNT, N-1  
RATING 10,000 AC FULLY RATED  
100 A MISC. 100 A COPPER BUS  
VOLTAGE PHASE 240 1 PH 3W

DISB	AMPS	LOCATION	CRT	JA	B	CRT	LOCATION	AMPS	DISB
2	30	AHU	1	AM	2	COOK TOP	25	2	
1	20	DISHWASHER	3	AM	4	WALL OVENS	30	2	
1	20	KITCHEN RCPT	5	AM	6	WALL OVENS	30	2	
1	20	KITCHEN RCPT	7	AM	8				
1	20	WINE AND ICE	9	AM	10	WTR HEATER	30	2	
1	20	KITCHEN LTG	11	AM	12				
1	20	LIVING RCPT	13	AM	14	DISHWASHER	20	1	
1	20	LIVING LTG	15	AM	16	DISPOSAL	20	1	
1	20	MASTER RCPT	17	AM	18	SPARE			
1	20	MASTER LTG	19	AM	20	REF/FRGE	20	1	
1	20	BATH RCPT	21	AM	22	HOT HOOD	20	1	
1	20	BATH LTG	23	AM	24	DUMP PUMP	20	1	
		SPARE	25	AM	26	CU	30	2	
2	30	DRYER	27	AM	28				
		SPARE	29	AM	30	SPARE			
1	15	WASHER	31	AM	32				
			33	AM	34				
			35	AM	36				
			37	AM	38				
			39	AM	40				
			41	AM	42				

DEMAND LOAD SUMMARY

DISB	COMMENTS	LOAD
1-43	LIGHTING AND SMALL APPLANCE LOAD	10,342 VA
1-00	USE HEAT LOAD FOR CALCULATION	0 VA
1-00	MISC	0 VA
		3,600 VA
TOTAL DEMAND LOAD:		19,342 VA
TOTAL DEMAND CURRENT:		80.6 Amps
MINIMUM SERVICE AMPS REQUIRED:		80.6 Amps



STEVEN M. ISAACSON, ARCHITECT  
FLORIDA REGISTRATION NO. 69151

11/14/2023

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**SANDS POINT CONDOMINIUM, UNIT 220**  
**INTERIOR RENOVATION**  
100 SANDS POINT RD., UNIT 220  
LONGBOAT KEY, FLORIDA 34228

Issue Date: 09/12/2023  
Project No: SIA23103

Revisions:

Mark	Date	Description
△	11/14/2023	POST DEMO KEY

Drawing Name:

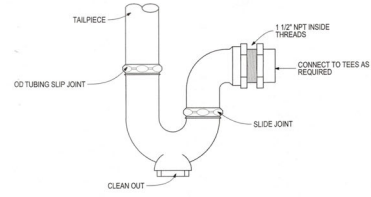
MECHANICAL / PLUMBING / ELECTRICAL  
BIDS PERMIT PLANS  
FILE

Sheet: **MEP-101**

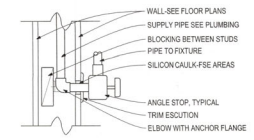
NOV 14 2023  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building



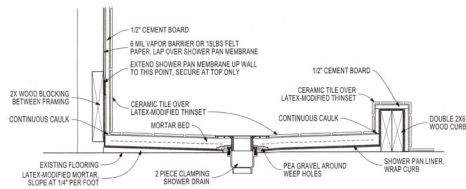
PLUMBING FIXTURE SCHEDULE							
MARK	DESCRIPTION	COLD WATER	HOT WATER	WASTE	VENT	MANUFACTURER AND TRIM	REMARKS
WC-1	WATER CLOSET - 1.6 GAL	EXISTING	-	EXISTING	EXISTING	TO BE SELECTED BY OWNER	REPLACE EXISTING
WC-2	WALL-HUNG IN WALL TANK WITH CARRIER 0.8-1.6 GAL DUAL FLUSH	EXISTING	-	EXISTING	EXISTING	TO BE SELECTED BY OWNER	REPLACE EXISTING
LV-1	LAVATORY AND FAUCET	EXISTING	EXISTING	EXISTING	EXISTING	TO BE SELECTED BY OWNER	CONNECT TO EXISTING VENTING PIPING ABOVE CEILING
FWD-1	FOOD WASTE DISPOSER	-	-	1 1/2"	-	INSURKATOR, BADGER S&P	3/4 HP, 120V, 5.5 AMPS
KS-1	TWO COMPARTMENT KITCHEN SINK AND FAUCET	1 1/2"	1 1/2"	1 1/2"	2"	TO BE SELECTED BY OWNER	CONNECT TO EXISTING VENTING PIPING ABOVE CEILING
IMC-1	ICE MACHINE, REFRIGERATOR	1 1/2"	-	-	-	TO BE SELECTED BY OWNER	-
IMC-2	ICE MACHINE, UNDERCOUNTER	1 1/2"	-	-	-	TO BE SELECTED BY OWNER	-
WV-1	WASHER VALVE DRAIN BOX	1 1/2"	1 1/2"	2"	2"	TO BE SELECTED BY CONTRACTOR	VERIFY WATER SUPPLY SIZE WITH MFG.
SD-1	SHOWER DRAIN	-	-	2"	-	ZURN, Z415B	-



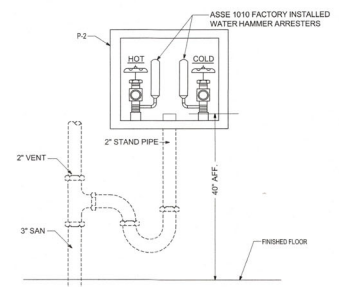
**P-TRAP DETAIL**  
SCALE: NONE



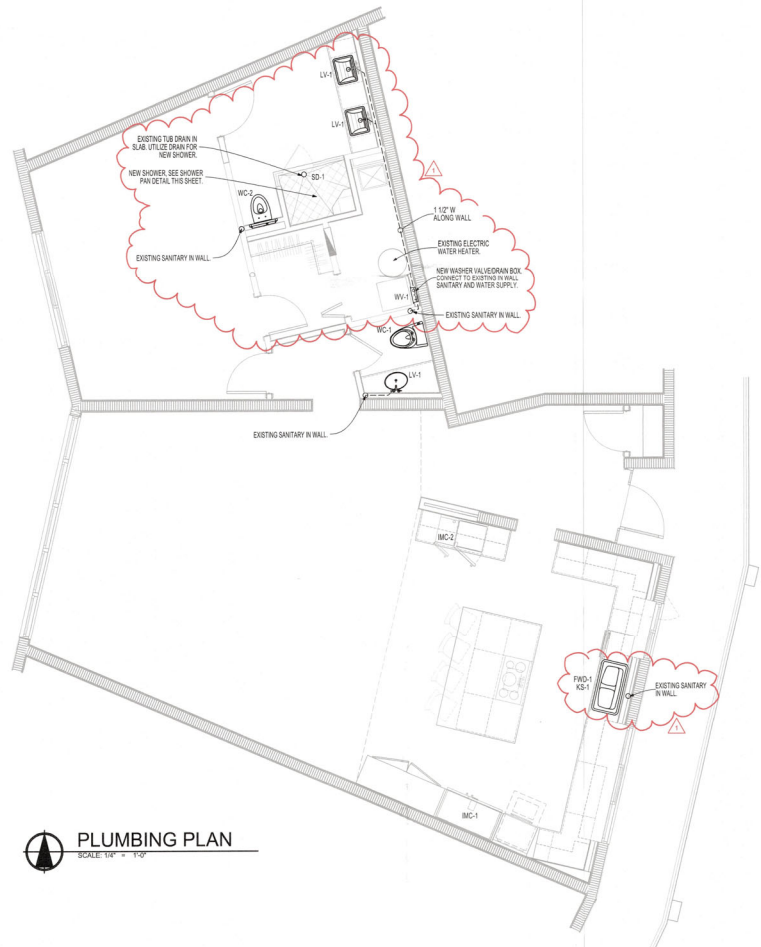
**SUPPLY AND STOP DETAIL**  
SCALE: NONE



**SHOWER LINER**  
NOT TO SCALE



**WASHER VALVE DRAIN BOX DETAIL**  
SCALE: NONE



**PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

**PLUMBING NOTES**

SCOPE: ALL WORK SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL PERFORMED BY THE STANDARDS SET BY NFPA, ASPE AND UL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH THEIR TRADES.

THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT, LOCATIONS OF EQUIPMENT AND DEVICES. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION REGARDING EXISTING CONDITIONS.

CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES APPEARING AMONG THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS OR BETWEEN MANUFACTURER'S RECOMMENDATIONS AND CONTRACT DOCUMENTS.

TESTING AND BALANCING: THE CONTRACTOR SHALL ENSURE THAT ALL DEVICES AND SYSTEMS ARE COMPLETE, TESTED AND READY FOR OPERATION WHEN FACILITY IS HANDED OVER TO THE OWNER.

WARRANTY: THE ONE-YEAR GUARANTEE PERIOD SHALL NOT START UNTIL THE PROJECT IS FULLY COMPLETED AND THE CONTRACTOR HAS RECEIVED THE FINAL PAYMENT AND CERTIFICATION OF COMPLETION. ALL EQUIPMENT AND WORK SHALL BE FULLY GUARANTEED PARTS AND LABOR, FOR ONE YEAR FROM DATE OF THE CERTIFICATE OF COMPLETION. REPAIRS MADE DURING THIS PERIOD MUST BE FULLY GUARANTEED FOR AN ADDITIONAL ONE-YEAR PERIOD.

STERILIZATION OF DOMESTIC WATER SYSTEM: THE ENTIRE DOMESTIC WATER DISTRIBUTION SYSTEM SHALL BE THOROUGHLY STERILIZED AS REQUIRED BY THE HEALTH AUTHORITY HAVING JURISDICTION OR IN THE ABSENCE OF A PRESCRIBED METHOD THE PROCEDURE DESCRIBED IN OTHER AWWA 6501 OR AS DESCRIBED IN SECTION 913.01.3.P.

WATER PIPING: WATER PIPING SHALL BE CPVC TUBING. TUBING, FITTINGS AND CEMENT SHALL MEET ASTM D-2648, 100 PSI @ 180°F CONTINUOUS RATING. CPVC TUBING AND FITTINGS SHALL MEET 2500 FLAME SPREAD/SMOKE DEVELOPED REQUIREMENTS FOR PLUMBING. CONTRACTOR SHALL INSTALL CPVC IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL PROVIDE FOR EXPANSION AND CONTRACTION OF TUBING. TUBING SHALL BE SLEEVED AT PENETRATION OF CONCRETE SLABS OR WALLS. CPVC TUBING SHALL BE 50°C/CONCH FLOW/SHIELD GOLD OR APPROVED EQUAL.

EXPOSED PIPING: PROVIDE TRUSRO INSULATED WATER AND WASTE LINE COVERINGS FOR WALL HUNG SINKS AND LAVATORIES.

SANITARY, DRAIN AND VENT PIPING: BURIED AND UNBURIED SANITARY, WASTE, VENT AND STORM: SCHEDULE 40 PVC-DWV PIPING AND FITTINGS. SLOPE OF SANITARY OR DRAINAGE PIPING 2-1/2" INCHES AND SMALLER SHALL BE A MINIMUM OF 1/8" INCH PER LINEAR FOOT; PIPING 3 INCHES AND LARGER SHALL BE SLOPED A MINIMUM OF 1/8" INCH PER LINEAR FOOT. CLEANOUTS WILL BE LOCATED NOT MORE THAN 100 FEET APART AND AT EACH CHANGE OF DIRECTION GREATER THAN 45 DEGREES ALONG THE HORIZONTAL DRAIN.

VENTING: SANITARY VENTS THROUGH ROOF SHALL EXTEND TO A POINT NOT LESS THAN 12" ABOVE ROOF. PENETRATIONS THROUGH ROOF SHALL BE MADE WATER-TIGHT. VENTS SHALL BE OFFSET IN ATTIC AS REQUIRED TO PROVIDE A MINIMUM 10 FT CLEARANCE FROM ANY FRESH AIR INTAKE. THE TWO EXISTING VENTS WERE APPLICABLE.

PLUMBING FIXTURES AND TRIM: PLUMBING FIXTURES SHALL BE FURNISHED AND INSTALLED IN A NEAT AND WORKMANLIKE MANNER AND PROPER CONNECTIONS TO SUPPLY AND DRAINAGE PIPING. ALL FIXTURES SHALL BE FREE OF FLAWS AND DEFECTS OF ANY SORT IN MATERIAL OR WORKMANSHIP AND SHALL OPERATE PERFECTLY WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

CONTRACTOR SHALL PROVIDE ROUGH-IN AND SHALL CONNECT ALL FIXTURES TO THE PLUMBING SYSTEMS. ALL FIXTURES TO BE PROVIDED WITH CHROME-PLATED SUPPLIES WITH STOPS. PROVIDE CONCEALED ARM CARRIERS AND SUPPORTS FOR ALL FIXTURES REQUIRING SAME.

EQUIPMENT FURNISHED BY OTHERS: WHERE SHOWN ON THE DRAWINGS, THE PLUMBING CONTRACTOR SHALL MAKE ALL PIPING CONNECTIONS TO EQUIPMENT FURNISHED BY OTHERS. THIS WORK SHALL INCLUDE FURNISHING AND INSTALLATION OF ALL WATER AND DRAIN PIPING. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS OF EQUIPMENT MANUFACTURER.



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BLDG PERMIT PLANS

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TOWN OF LONGBOAT KEY  
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**MEP-102**  
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