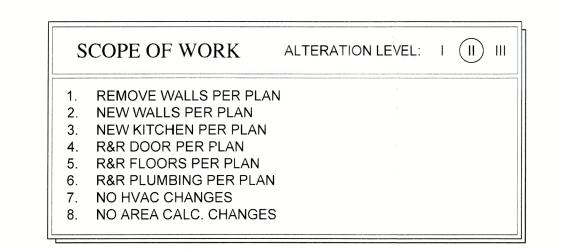
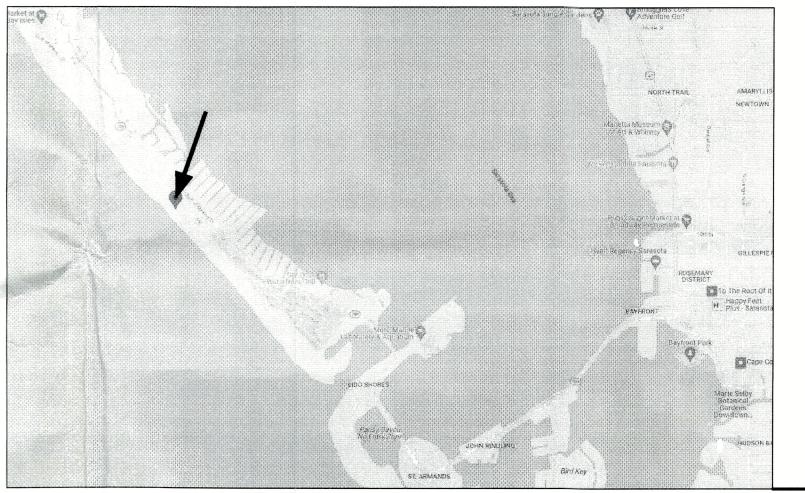
AN INTERIOR CONDO REMODEL FOR: THE PILLA RESIDENCE

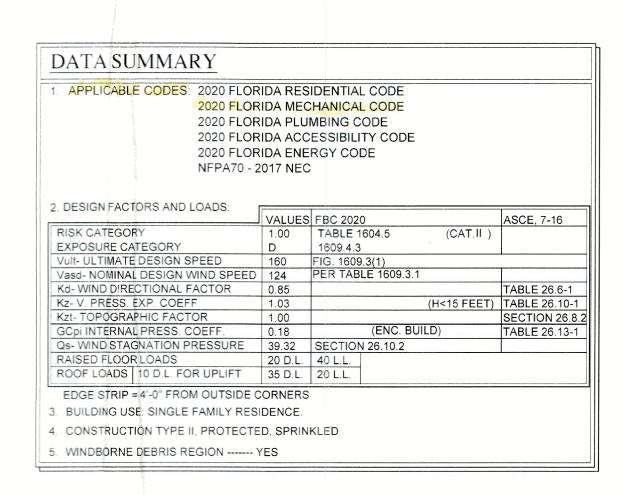
1211 GULF OF MEXICO RD. UNIT 210 - LBK, FL

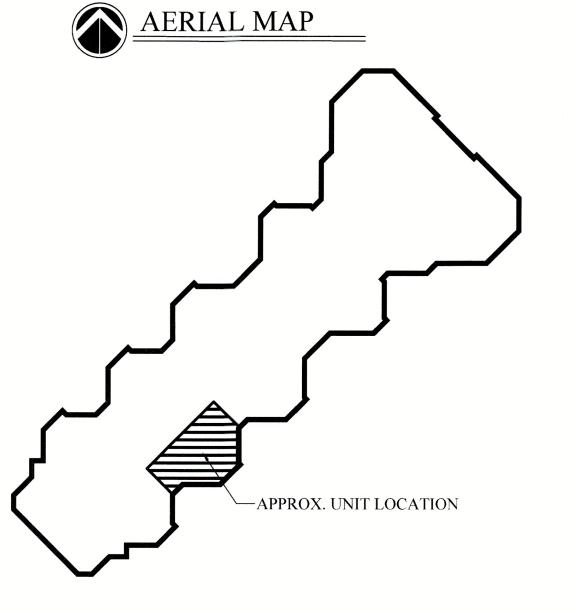
















REVIEWED FOR CODE COMPLIANCE LONGBOAT KEY BUILDING DEPT.

JUL 27 2023

DRAWING INDEX C-1..... COVER SHEET AD-1.1... DEMO PLAN A-1.1... FLOOR PLAN, DOOR SCHEDULE A-1.2... DIMENSION PLAN A-2.1... ✓ ELECTRICAL PLAN

RECEIVED

JUL 17 2023 TOWN OF LONGBOAT KEY

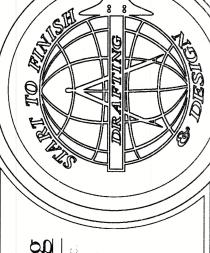


DAVID M BLACK

Date: 2023.06.21

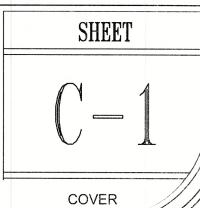
10:58:49 -04'00'

TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA, FBC 106.1 & 109.3.6.4.4. IN RECOGNITION OF THE RELATIVE RISKS, REWARDS AND BENEFITS OF THIS PROJECT IT IS ACKNOWLEDGED BY ALL ASSOCIATED PARTIES THAT THE ARCHITECT'S LIABILITY FOR ANY AND ALL INJURIES, CLAIMS, LOSSES, EXPENSES, OR DAMAGES FOR ANY CAUSE ARISING OUT OF THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHALL NOT EXCEED THE TOTAL AMOUNT OF FEES RECEIVED FOR PROFESSIONAL SERVICES BY THE ARCHITECT.

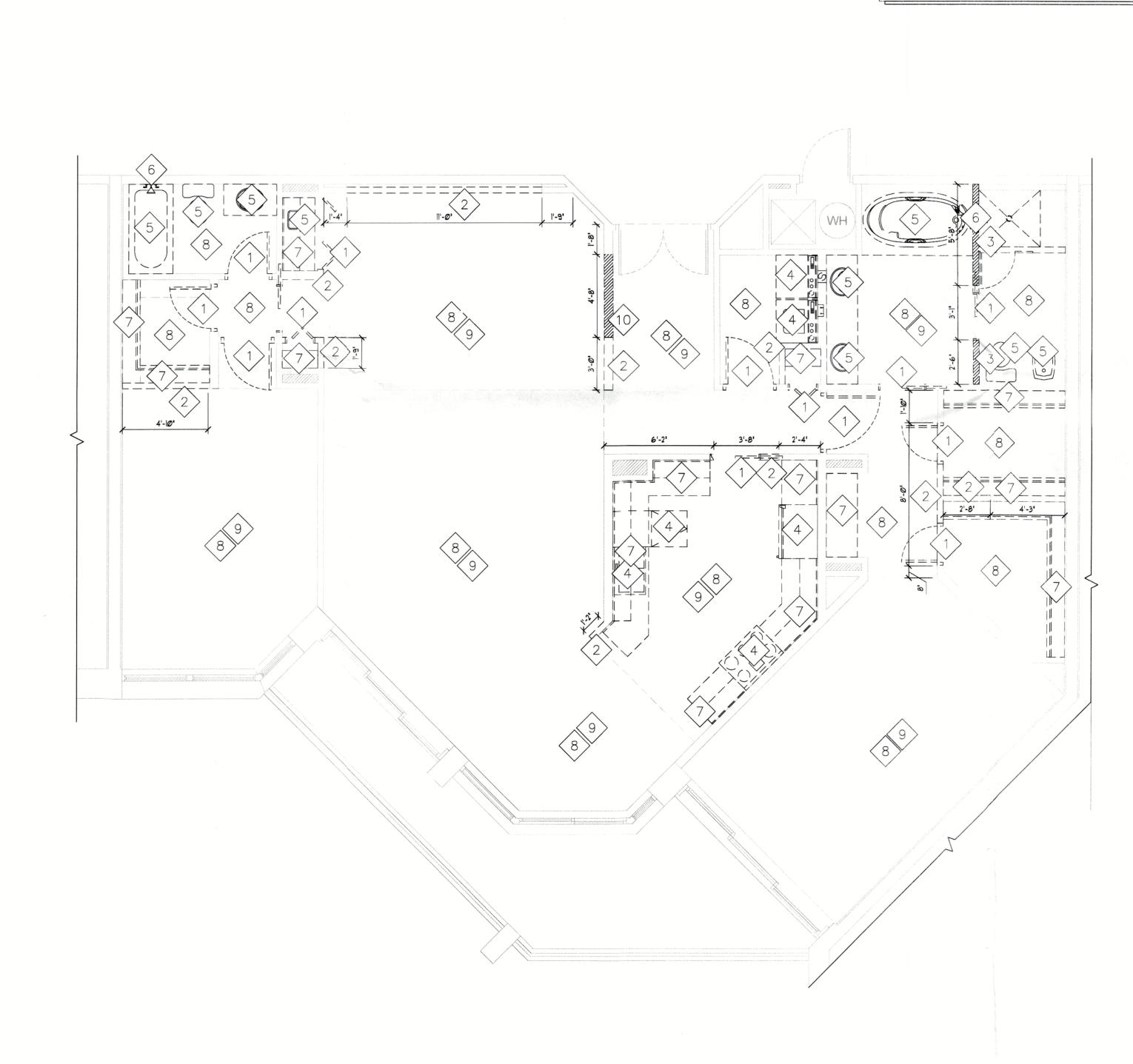


JMK/QMB

Date: Job #:







DEMOLITION KEYNOTES

> REMOVE EXISTING DOOR & FRAME

REMOVE PORTION OF EXISTING INTERIOR PARTITION AS SHOWN

REMOVE UPPER PORTION OF EXISTING INTERIOR PARTITION AS

SHOWN, NEW TOP AT 48" A.F.F. REMOVE EXISTING APPLIANCE

(SALVAGE FOR POSS. REUSE)

REMOVE EXISTING PLUMBING FIXTURE

REMOVE EX. SHOWER - HEAD, VALVES, PAN, DRAIN, CURB

REMOVE CASEWORK, CABINET, COUNTERS AND/OR SHELVING

8 > REMOVE EX. FLOORING & BASE

REMOVE ALL INTERIOR FINISHES (9) (WALLPAPER, TILE, ETC) & PREP SURFACE FOR NEW FINISH REMOVE UPPER PORTION OF

(10) EXISTING INTERIOR PARTITION AS SHOWN, NEW TOP AT 3'-8" A.F.F.

DEMOLITION NOTES:

SCOPE

A. COMPLETE ALL DEMOLITION WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

CONDITIONS AT SITE

A. VISIT THE SITE AND EXAMINE THE EXISTING STRUCTURE. NOTE ALL CONDITIONS AS TO THE CHARACTER AND EXTENTS OF WORK INVOLVED.

PERMITS, ORDINANCES, ETC.

A. PROCURE AND PAY FOR ALL NECESSARY PERMITS OR CERTIFICATES REQUIRED TO COMPLETE THE WORK SPECIFIED. MAKE ANY AND ALL REQUIRED NOTIFICATIONS AND COMPLY WITH

ALL APPLICABLE FEDERAL, STATE AND LOCAL

ORDINANCES.

GENERAL NOTES

- DURING CONSTRUCTION, PROTECT AND ISOLATE
AREAS OF THE EXISTING HOUSE NOT SCHEDULED FOR NEW CONSTRUCTION, & SHORE UP ANY HEADERS, BEAMS AND/OR WALLS AS NECESSARY CONTRACTOR IS RESPONSIBLE FOR SECURING THE NEEDED ENGINEERING APPROVALS. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IF ANY DISCREPANCIES ARE DISCOVERED PRIOR TO PROCEEDING WITH DEMOLITION OF ANY

OTHER NEW CONSTRUCTION. ADDITIONAL ENGINEERING MAY BE REQUIRED AT THIS TIME. CONTRACTOR TO FIELD VERIFY & COORDINATE WITH TRUSS MANUFACTURER ALL EXISTING BEARING HEIGHT CONDITIONS IN RELATIONSHIP WITH PROPOSED STRUCTURE. IF DURING THE COURSE OF CONSTRUCTION ADDITIONAL STRUCTURAL CONDITIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THESE PLANS, SOME COMPONENTS MAY REQUIRE

FURTHER ENGINEERING.

DIRECTED

PROTECTIONS

A. EXECUTE ALL DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ANY EXISTING STRUCTURES, INCLUDING ANY PARTS OF THE SURROUNDING AREAS WHICH ARE TO REMAIN. BARRICADE AND COVER AS NECESSARY TO PROTECT PEDESTRIANS, WORKMEN, LANDSCAPING, AND ADJACENT PROPERTIES. PROTECT ANY ACTIVE SERVICE LINES, INDICATED

B. AVOID ANY ENCROACHMENT ON ADJACENT PROPERTIES. REPAIR AND MAKE GOOD ANY DAMAGE TO ADJOINING PROPERTIES OR IMPROVEMENTS CAUSED BY OPERATIONS. INCLUDING ANY DAMAGE OR LOSS TO ADJOINING TENANTS OR PROPERTY OWNERS, WHETHER TO BUILDINGS, STOCKS OF MERCHANDISE, TRADE

FIXTURES OR THE LIKE. . PROTECT AND SECURE THE BUILDING AGAINST WEATHER OR INTRUSION DURING THE DEMOLITION PERIOD AND LEAVE SUCH SECURE AGAINST FUTURE INTRUSION UNTIL CONSTRUCTION COMMENCES.

D. IN THE EVENT THAT ASBESTOS MATERIALS ARE PRESENT IN THE EXISTING BUILDING, CEASE DEMOLITION AND NOTIFY THE CITY OR COUNTY BUILDING DEPARTMENT, ANY OTHER CITY, COUNTY OR STATE AGENCY HAVING JURISDICTION INCLUDING THE HEALTH DEPARTMENT IMMEDIATELY. PROCEED ONLY AS

PROTECT FROM DAMAGE ANY MATERIALS TO BE REUSED PER DRAWINGS.

DISPOSITION OF REMOVED MATERIALS A. ALL MATERIAL REMOVED UNDER THIS CONTRACT

WHICH IS NOT TO BE SALVAGED OR REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE PROMPTLY REMOVED FROM THE SITE. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE SITE.

B. DISPOSE OF ANY ASBESTOS MATERIALS IN FULL COMPLIANCE WITH REQUIREMENTS OF THE HEALTH DEPARTMENT AND THE CITY OR COUNTY SANITATION DEPARTMENT, OR ANY OTHER CITY, COUNTY OR STATE AGENCY HAVING JURISDICTION.

CLEAN UP
- ON COMPLETION OF DEMOLITION WORK, LEAVE AND SATISFACTORY TO LOCAL AUTHORITIES, THE BUILDING OWNER, DRAFTSMAN AND THE OWNER.

EXECUTION A. KEEP ALL THROUGH LINES AND DRIVES CLEAN AND CLEAR AT ALL TIMES. B. CONDUCT OPERATIONS SO AS NOT TO INTERFERE

WITH ADJACENT ROADS, STREETS, ALLEYS, DRIVES, WALKS, SERVICE LINES AND THE LIKE. DISCONNECT ANY ELECTRIC, TELEPHONE, GAS, WATER, STEAM OR OTHER SERVICING THE STRUCTURE PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. . NEW CONSTRUCTION REQUIRED FOR DEMOLITION SHALL BE COMPLETED PRIOR TO DEMOLITION OF

ADJACENT MATERIALS WHERE THE NEW MATERIALS ARE REQUIRED TO MAINTAIN

STRUCTURAL INTEGRITY.

JUL 17 2023 TOWN OF LONGBOAT KEY Planning, Zoning & Building

WALL LEGEND

= EXISTING TO BE DEMOLISHED = EXISTING WALL TO REMAIN

DAVID MICHAEL BLACK ARCHITECT OF RECORD FL:AR94980 941:504:7828

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD ON: DATE 2023.06.21

Finish

Start

THE PILLA RESIDE INTERIOR CONDO REMODEL IN THE PILLA RESIDE IN TENT OF MEXICO DR. UN LONG BOAT KEY, FL

DP : JMK/QMB

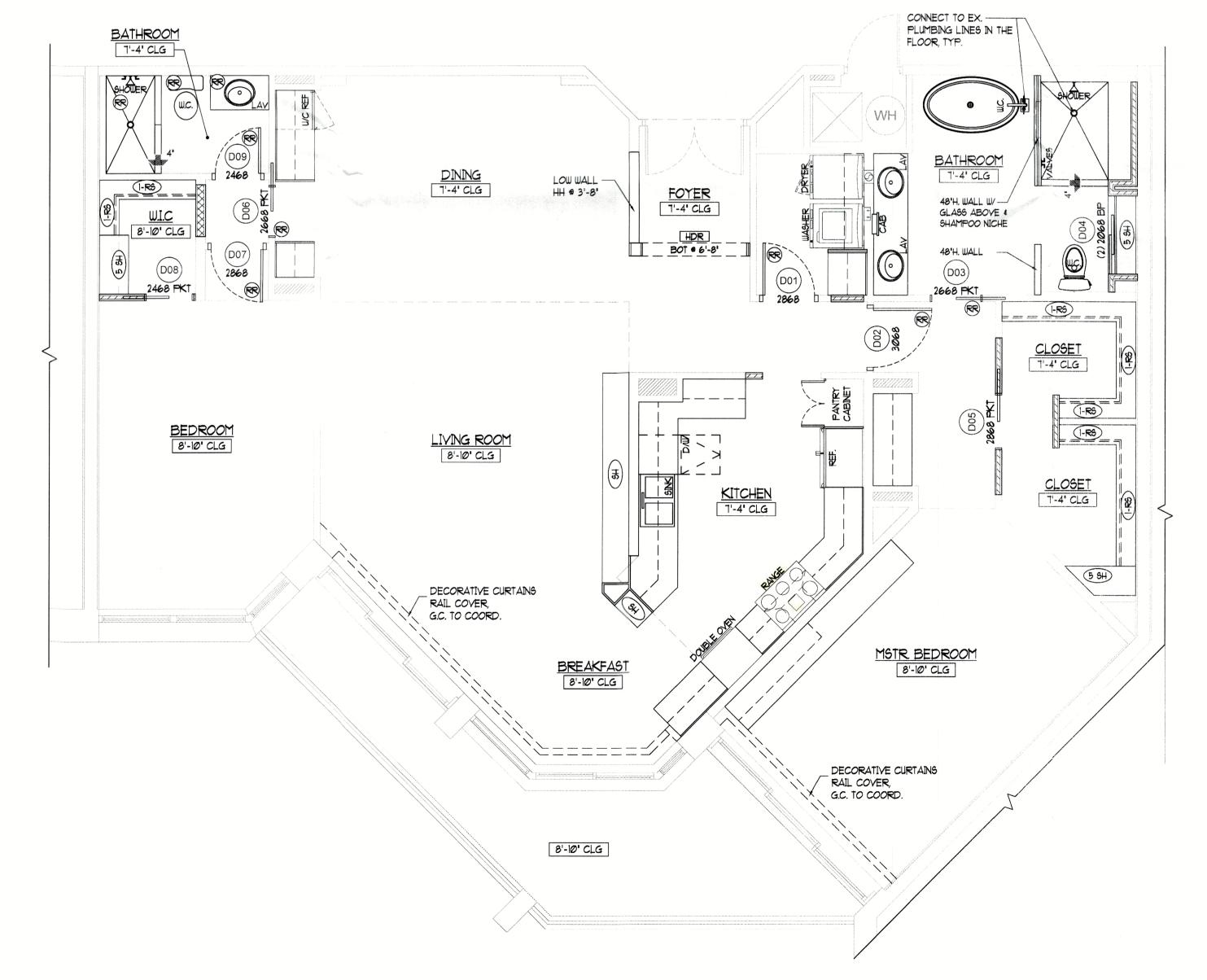
06-21-23 Drawn By: Di 23-054 Checked By: J

SHEET

BLDG PERMIT PL

= NO WORK DEMO PLAN - 1ST FLOOR
SCALE:

					The second of th
DOOR SCHEDULE					
MARK	STYLE	OPENING			REMARKS
		WIDTH	HEIGHT		REMARKS
D01	2868 HINGED	2'-8"	6'-8"	T	
D02	3068 HINGED	3'-0"	6'-8"	1	
D03	2668 POCKET	2'-6"	6'-8"		
D04	(2) 2068 BI-PASS	4'-0"	6'-8"		
D05	2868 POCKET	2'-8"	6'-8"		
D06	2668 POCKET	2'-6"	6'-8"		
D07	2868 HINGED	2'-8"	6'-8"		
D08	2468 POCKET	2'-4"	6'-8"		
D09	2468 HINGED	2'-4"	6'-8"		





AREA CALCULATIONS

NO AREA CALC. CHANGES

GENERAL NOTES:

GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE BUILDING SITE & VERIFY ALL PERTINENT CONDITIONS PRIOR TO SUBMISSION OF BID. ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND/OR

TO FINISH DRAFTING" FOR CORRECTION.

DRAWINGS ARE NOT TO BE SCALED FOR EXACT MEASUREMENTS. WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK. VERIFY ALL DIMENSIONS ON SITE PRIOR TO

SPECIFICATIONS ARE TO BE REPORTED TO "START

- ORDERING MATERIALS, COMPONENTS, FIXTURES AND FITTINGS. CONTRACTOR IS RESPONSIBLE FOR THE PROPER
- EXECUTION OF ALL WORK, INCLUDING THE APPROVAL OF ALL SHOP DRAWINGS.
 ALL EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA101/I.S.2/A440 OR TAS202, EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED
- & LABELED AS CONFORMING TO AAMA/WDMA/CSA101/I.S.2/A440 OR COMPLY WITH FBC SECTION 1709.5.2. EXTERIOR WINDOWS & DOORS SHALL BE LABELED IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY, SEE FBC 1709.5.1 FOR SPECIFIC
- LABELING REQUIREMENTS. EACH DOOR & WINDOW SHALL BE WIND LOAD RESISTANT TO MEET THE LIMITS OF THE DESIGN LOADS SPECIFIED. NO SHRUBS OR SPRINKLER HEADS SHALL BE PLACED, NOR SHALL CONDENSATE LINES NOR DOWNSPOUTS DISCHARGE WITHIN ONE FOOT OF
- THE STRUCTURE. PROVIDE TEMPERED GLASS AS REQUIRED IN
- THESE LOCATIONS:
 6.1. ALL SLIDING GLASS DOORS 6.2. ALL GLASS WITHIN 24" OF A DOOR OPENING 6.3. ALL GLASS LESS THAN 18" FROM FINISHED
- 6.4. ALL GLASS WITHIN 60" VERT. OF TUB/SHOWER
- FLOOR AND 36" HOR. FROM EXIT GARAGE DOOR TO RESIDENCE SHALL MEET FBC-R SECTION R302.5.1 & BE 20 MIN. FIRE-RATED ALL WALL FINISH MATERIALS BELOW D.F.E. ARE TO BE OF WATER-RESISTANT MATERIALS MEETING
- ALL CEILING HEIGHTS NOTED ARE A.F.F. (ABOVE FINISHED FLOOR) O. TYPICAL "ALIGN" NOTE WHERE STUD FRAME WALLS MEET CMU WALLS: ALIGN EDGE OF STUD W/

THE REQ'S OF FEMA TECHNICAL BULLETIN 2

- EDGE OF FURRING STRIP SO FINISHED DRYWALL SURFACE IS CO-PLANAR. ALL PLUMBING, ELECTRICAL & MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED & APPROVED BEFORE REQUESTING THE FRAMING
- INSPECTION. 12. MANDATORY AIR LEAKAGE TEST SHALL BE DONE PRIOR TO FINAL BUILDING INSPECTION

LEGEND

DENOTES DOOR THAT MEETS 32' CLEAR OPENING ADA REQ'T

DRYER EXHAUST FAN

WATER SUPPLY HOOKUPS FOR WASHER

T.O.W. TOP OF WALL (TYP.) - CAN ALSO MEAN "TOP OF WINDOW" FOR ELEVATIONS

M.C. = MIXED CONSTRUCTION ----T.AN. = TYPICAL ALIGN NOTE: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED SURFACE IS CO-PLANAR

WO1 TRANSOM ABOVE

= EXISTING WALL TO REMAIN

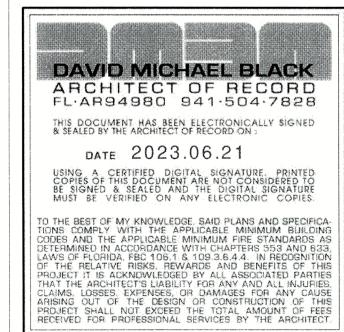
= NEW 4" STUD WALL

= NEW 6' STUD WALL = NEW 8' STUD WALL = NEW CMU WALL

NOTE: ALL WALLS ARE DESIGNED AS SHEARWALLS ■ (1) *5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS & AT 6'-0" O.C. MAX, TYP. PROVIDE #5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0" W.

- ▲ (2) *5 REBAR OR (1) *1 FOR OPENINGS 16'-0" OR LARGER, TYP.
- (1) *5 REBAR BELOW SLAB (IN STEMWALL) OR (1) *5 REBAR RETROFIT (FOR RENOVATION) 5/8'X6' LONG TITEN HD W/ 3'X3'XI/8' WASHER ® 18'
 O.C. ON BOTTOM PLATE, 6-12' FROM ENDS OF WALLS

JUL 17 2023 TOWN OF LONGBOAT KEY
Ranning, Zoning & Building



SHEET

BLDG PERMIT PLANS FILE COPY OF RECORD

THE PILLA RESIDENCE

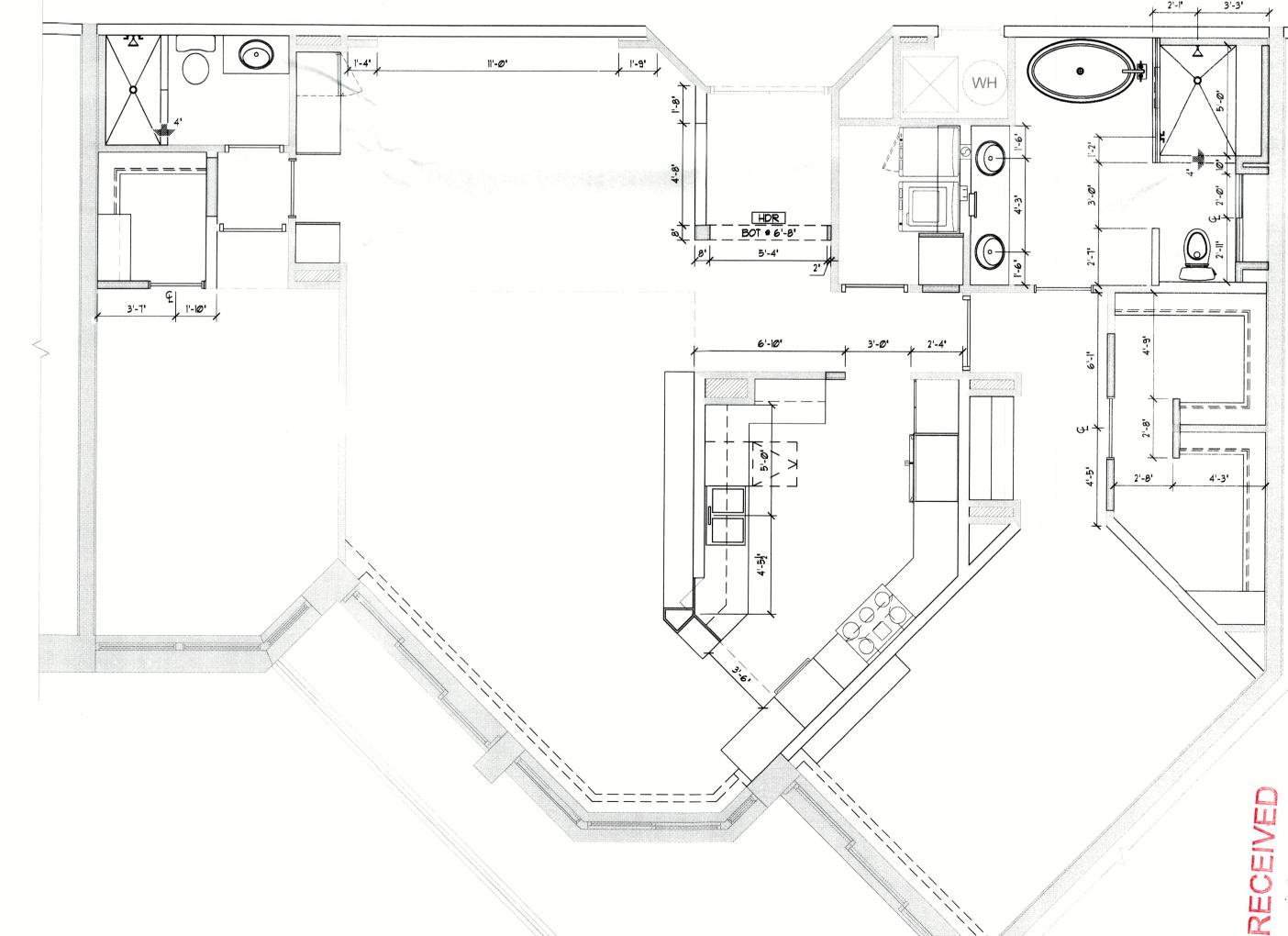
1211 GULF OF MEXICO DR. UNIT 2

LONG BOAT KEY, FL

JMK/DMB

 06-21-23
 Drawn By: D

 23-054
 Checked By:



DIMENSION PLAN
SCALE: 1/4"=1'-0"



GENERAL CONTRACTOR AND ALL
SUB-CONTRACTORS SHALL VISIT THE BUILDING
SITE & VERIFY ALL PERTINENT CONDITIONS PRIOR TO SUBMISSION OF BID. ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND/OR

SPECIFICATIONS ARE TO BE REPORTED TO "START TO FINISH DRAFTING" FOR CORRECTION. DRAWINGS ARE NOT TO BE SCALED FOR EXACT MEASUREMENTS. WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK. VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING MATERIALS, COMPONENTS, FIXTURES

CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORK, INCLUDING THE APPROVAL OF ALL SHOP DRAWINGS.

ALL EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA101/I.S.2/A440 OR TAS202, EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED & LABELED AS CONFORMING TO AAMA/WDMA/CSA101/I.S.2/A440 OR COMPLY WITH FBC SECTION 1709.5.2. EXTERIOR WINDOWS & DOORS SHALL BE LABELED IDENTIFYING

MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY, SEE FBC 1709.5.1 FOR SPECIFIC LABELING REQUIREMENTS. EACH DOOR & WINDOW SHALL BE WIND LOAD RESISTANT TO MEET THE LIMITS OF THE DESIGN LOADS SPECIFIED.

NO SHRUBS OR SPRINKLER HEADS SHALL BE PLACED, NOR SHALL CONDENSATE LINES NOR DOWNSPOUTS DISCHARGE WITHIN ONE FOOT OF

THE STRUCTURE.
PROVIDE TEMPERED GLASS AS REQUIRED IN

THESE LOCATIONS:

6.1. ALL SLIDING GLASS DOORS

6.2. ALL GLASS WITHIN 24" OF A DOOR OPENING

6.3. ALL GLASS LESS THAN 18" FROM FINISHED

6.4. ALL GLASS WITHIN 60" VERT. OF TUB/SHOWER FLOOR AND 36" HOR. FROM EXIT GARAGE DOOR TO RESIDENCE SHALL MEET FBC-R SECTION R302.5.1 & BE 20 MIN. FIRE-RATED

ALL WALL FINISH MATERIALS BELOW D.F.E. ARE TO BE OF WATER-RESISTANT MATERIALS MEETING THE REQ'S OF FEMA TECHNICAL BULLETIN 2 ALL CEILING HEIGHTS NOTED ARE A.F.F. (ABOVE FINISHED FLOOR)

0. TYPICAL "ALIGN" NOTE WHERE STUD FRAME WALLS MEET CMU WALLS: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED DRYWALL SURFACE IS CO-PLANAR.

. ALL PLUMBING, ELECTRICAL & MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED & APPROVED BEFORE REQUESTING THE FRAMING INSPECTION. 12. MANDATORY AIR LEAKAGE TEST SHALL BE DONE PRIOR TO FINAL BUILDING INSPECTION

LEGEND

DENOTES DOOR THAT MEETS 32'
CLEAR OPENING ADA REQ'T

O DRYER EXHAUST FAN WATER SUPPLY HOOKUPS FOR WASHER

---- HOSE BIBB +OSE BIBB T.O.W. TOP OF WALL (TYP.) - CAN ALSO MEAN 'TOP OF WINDOW' FOR ELEVATIONS

___M.C. = MIXED CONSTRUCTION __T.A.N. = TYPICAL ALIGN NOTE: ALIGN EDGE

OF STUD W/ EDGE OF FURRING STRIP SO FINISHED SURFACE IS CO-PLANAR

W01 TRANSOM ABOVE MAIN WINDOW

= EXISTING WALL TO REMAIN

= NEW 4' STUD WALL = NEW 6' STUD WALL

= NEW 8' STUD WALL = NEW CMU WALL

NOTE: ALL WALLS ARE DESIGNED AS SHEARWALLS ■ (1) *5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS & AT 6'-0' O.C. MAX, TYP. PROVIDE *5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0' W.

▲ (2) *5 REBAR OR (1) *7 FOR OPENINGS 16'-0" OR LARGER, TYP. (1) *5 REBAR BELOW SLAB (IN STEMWALL) OR

(1) *5 REBAR RETROFIT (FOR RENOVATION) ● 5/8'X6' LONG TITEN HD W/ 3'X3'X1/8' WASHER @ 18' O.C. ON BOTTOM PLATE, 6-12" FROM ENDS OF WALLS

DAVID MICHAEL BLACK ARCHITECT OF RECORD FL:AR94980 941-504-7828 THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED 8. SEALED BY THE ARCHITECT OF RECORD ON : DATE 2023.06.21

TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING COOES AND THE APPLICABLE MINIMUM FIRE STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA, FBC 106.1 & 109.3.6.4.4. IN RECOGNITION OF THE RELATIVE RISKS, REWARDS AND BENEFITS OF THIS PROJECT IT IS ACKNOWLEDGED BY ALL ASSOCIATED PARTIES THAT THE ARCHITECT'S LIABILITY FOR ANY AND ALL INJURIES, CLAIMS, LOSSES, EXPENSES OR DAMAGES FOR ANY CAUSE ARISING OUT OF THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHALL NOT EXCEED THE TOTAL AMOUNT OF FEES RECEIVED FOR PROFESSIONAL SERVICES BY THE ARCHITECT.

THE PILLA RESIDENC 21211 GULF OF MEXICO DR. UNIT 21 LONG BOAT KEY, FL

JMK/DMB

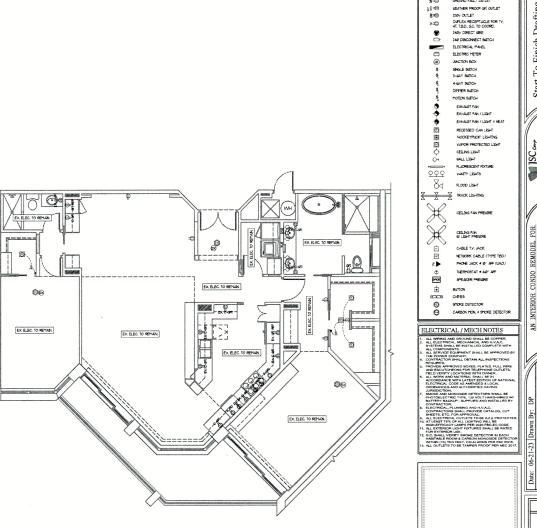
06-21-23 Drawn By: DI
23-054 Checked By: J
Revisions

Date: Job #:

BLDG PERMIT PLANS FILE COPY OF RECORD

Drafting

SHEET



• • • • • • • • DUPLEX OUTLET # 16" AFF (AF1 UNG RECEPTACLE AFT DUPLEX 42" AFF. SPLIT SUTTCHED OUTLET QUAD OUTLET . IS" AFF (AFI UNO) SPECIALTY OUTLET CELLING OUTLET FLOOR OUTLET 9=€ GROUND FAULT OUTLET Start To Finish Drafting 2427 POKTER LAKE DR. STE. #102 SARASOTA, FL 34240 (941)-342-9401 STARTTOFINISHDRAFTING.COM AN INTERIOR CONDO REMODEL FOR THE PILLA RESIDENCE IZII GULF OF MEXICO DR. UNIT 210 LONG BOAT KEY, FL No. Date 2 3 3

ELECTRICAL LEGEND

FOLL E COPY OF RECORD
SNET 1 11111 SLDG PERMIT PLANS

BLDG PERMIT PLANS

THESE

00

BEMSE

AOR

5

REDCINE

7-27-2023

0

D

S

ELECTRICAL PLAN
SCALE: 1/4"-1'-0"







ELECTRICAL LEGEND

DUPLEX OUTLET # 18" AFF (AFI. UN.O.) RECEPTACLE AFI DUPLEX 42' AFF. SPLIT SWITCHED OUTLET QUAD OUTLET # 18" AFF (AFI. UN.O.) \rightarrow SPECIALTY OUTLET CEILING OUTLET

FLOOR OUTLET GROUND FAULT OUTLET WEATHER PROOF GFI OUTLET

220 VOUTLET DUPLEX RECEPTACLE FOR TV, HT. T.B.D., G.C. TO COORD.

240Y DIRECT WIRE 240 DISCONNECT SWITCH ELECTRICAL PANEL ELECTRIC METER JUNCTION BOX

SINGLE SWITCH 3-WAY SWITCH 4-WAY SWITCH DIMMER SWITCH MOTION SWITCH

EXHAUST FAN EXHAUST FAN / LIGHT EXHAUST FAN / LIGHT & HEAT

RECESSED CAN LIGHT \odot 'HOCKEYPUCK' LIGHTING **P** VAPOR PROTECTED LIGHT -**\(\-**CEILING LIGHT

 \bigcirc WALL LIGHT FLUORESCENT FIXTURE Н VANITY LIGHTS

Ď۵

FLOOD LIGHT

CEILING FAN PREWIRE

W/LIGHT PREWIRE

CABLE T.Y. JACK PHONE JACK # 18" AFF (UN.O.)

THERMOSTAT # 60" AFF SPEAKER PREWIRE

0 0 0 SMOKE DETECTOR CARBON MON. 4 SMOKE DETECTOR

ELECTRICAL / MECH NOTES

 ALL WIRING AND GROUND SHALL BE COPPER.
 ALL ELECTRICAL, MECHANICAL AND H.V.A.C. SYSTEMS SHALL BE INSTALLED COMPLETE WITH

ALL COMPONENTS.

3. ALL SERVICE EQUIPMENT SHALL BE APPROVED BY THE POWER COMPANY.

4. CONTRACTOR SHALL OBTAIN ALL INSPECTIONS REQUIRED. i. PROVIDE APPROVED BOXES, PLATES, PULL WIRE AND ESCUTCHEONS FOR TELEPHONE OUTLETS.

FIELD VERITY LOCATIONS WITH OWNER. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF NATIONAL ELECTRICAL CODE AS AMENDED & LOCAL ORDINANCES AND AUTHORITIES HAVING

JURISDICTION. SMOKE AND MONOXIDE DETECTORS SHALL BE PHOTOELECTRIC TYPE, 120 VOLT HARD-WIRED W/ BATTERY BACKUP - SUPPLIED AND INSTALLED BY

8. ELECTRICAL, PLUMBING AND H.V.A.C.
CONTRACTORS SHALL PROVIDE CATALOG, CUT
SHEETS, ETC. FOR APPROVAL.

9. ALL ELECTRICAL OUTLETS TO BE A.F.I. PROTECTED.

10. AT LEAST 75% OF ALL LIGHTING WILL BE
HIGH-EFFICACY LAMPS PER 2020 FBC-EC CODE

13. ALL OUTLETS TO BE TAMPER PROOF PER NEC 2017.

11. ALL EXTERIOR LIGHT FIXTURES SHALL BE RATED FOR EXTERIOR USE. 12. G.C. SHALL VERIFY SMOKE DETECTOR IN EACH HABITABLE ROOM & CARBON MONOXIDE DETECTOR WITHIN (10) TEN FEET. CM ALARMS PER FBC R315.

DAVID MICHAEL BLACK ARCHITECT OF RECORD FL:AR94980 941:504:7828 THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED & SEALED BY THE ARCHITECT OF RECORD ON:

DATE 2023.06.21

TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA, FBC 108,1 & 109,3.6.4.4. IN RECOGNITION OF THE RELATIVE RISKS, REWARDS AND BENEFITS OF THIS PROJECT IT IS ACKNOWLEDGED BY ALL ASSOCIATED PARTIES THAT THE ARCHITECT'S LIABILITY FOR ANY AND ALL INJURIES, CLAIMS, LOSSES, EXPENSES, OR DAMAGES FOR ANY CAUSE ARISING OUT OF THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHALL NOT EXCEED THE TOTAL AMOUNT OF FEES RECEIVED FOR PROFESSIONAL SERVICES BY THE ARCHITECT

Drafting

To Finish

Start

06-21-23 Drawn By: D 23-054 Checked By: Date: Job #:

THE PILLA RESIDE

1211 GULF OF MEXICO DR. UN

LONG BOAT KEY, FL

SHEET