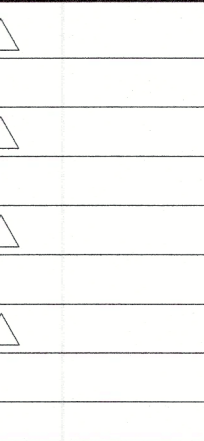
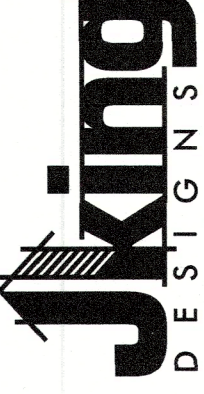


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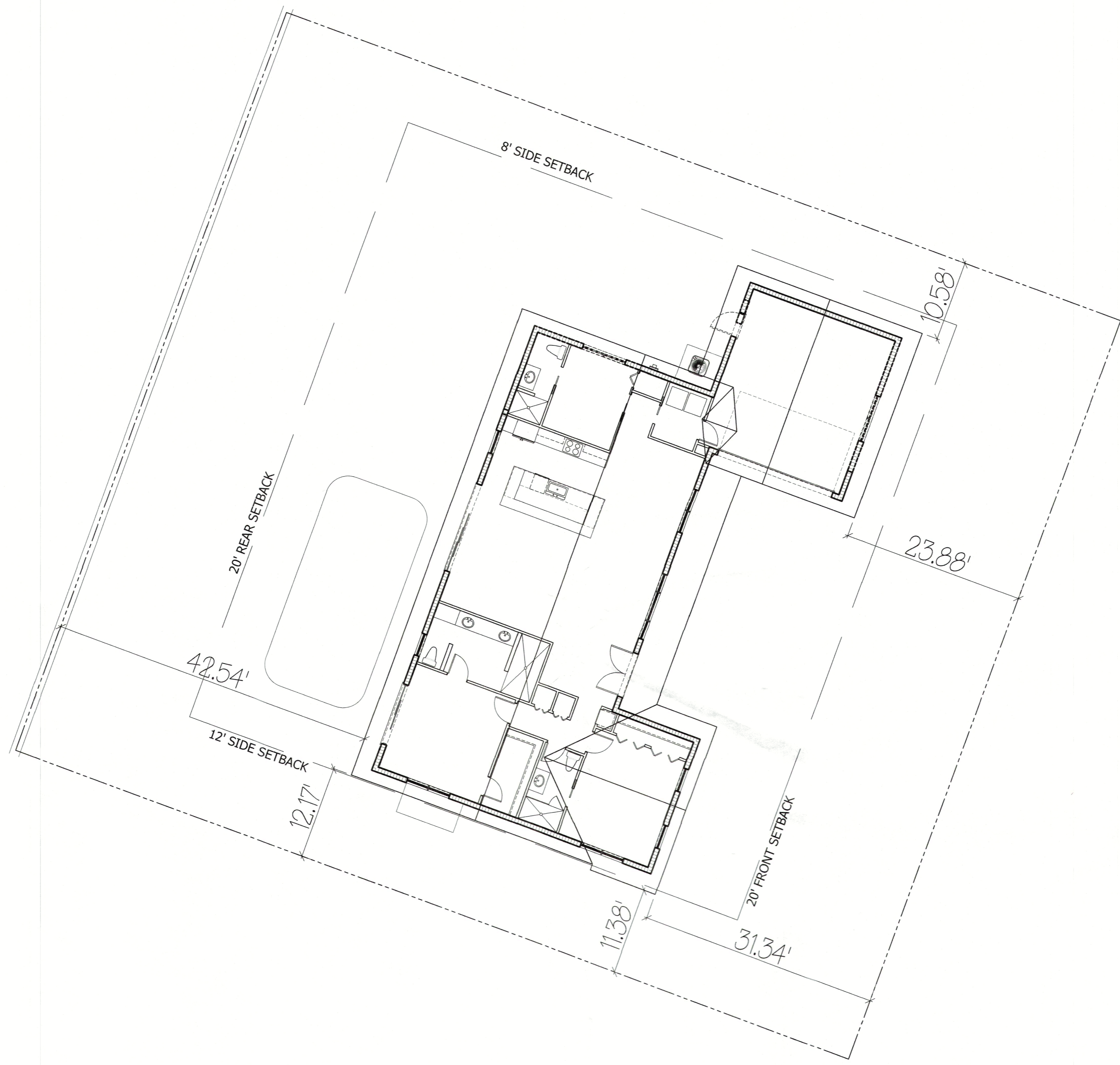
FILE COPY OF RECORD

LOT INFORMATION
549 CUTTER LANE
BASE FLOOD: AE 10

ZONING:	R-4SF
MAX BLDG HGT:	30'
MIN LOT WIDTH:	100'
BLDG SETBACKS:	
FRONT:	20'
REAR:	20'
SIDES:	8' MIN/20' TOTAL
MAX BLDG COVERAGE:	30%
MAX IMPERVIOUS COVERAGE:	50%

LOT BLDG. COVERAGE CALCULATIONS

TOTAL LOT	12,051 S.F.
TOTAL EXISTING S.F.	2,402 S.F.
TOTAL EXISTING MAX COVERAGE %	19.9 %
MAX ALLOWABLE BLDG COVERAGE	30% (3,615 S.F.)



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Planning, Zoning & Building

EXISTING SITE PLAN
1" = 10'

GIBSON RESIDENCE ADDITION
549 CUTTER LANE
LONGBOAT KEY, FL

ISSUE DATE
06.10.22

PROPOSED SITE
PLAN

SHEET NUMBER
ST-1

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GIBSON RESIDENCE ADDITION
549 CUTTER LANE
LONGBOAT KEY, FL

ISSUE DATE
05.19.23

PROPOSED SITE
PLAN

SHEET NUMBER
ST-2

LOT INFORMATION
549 CUTTER LANE
BASE FLOOD: AE 10

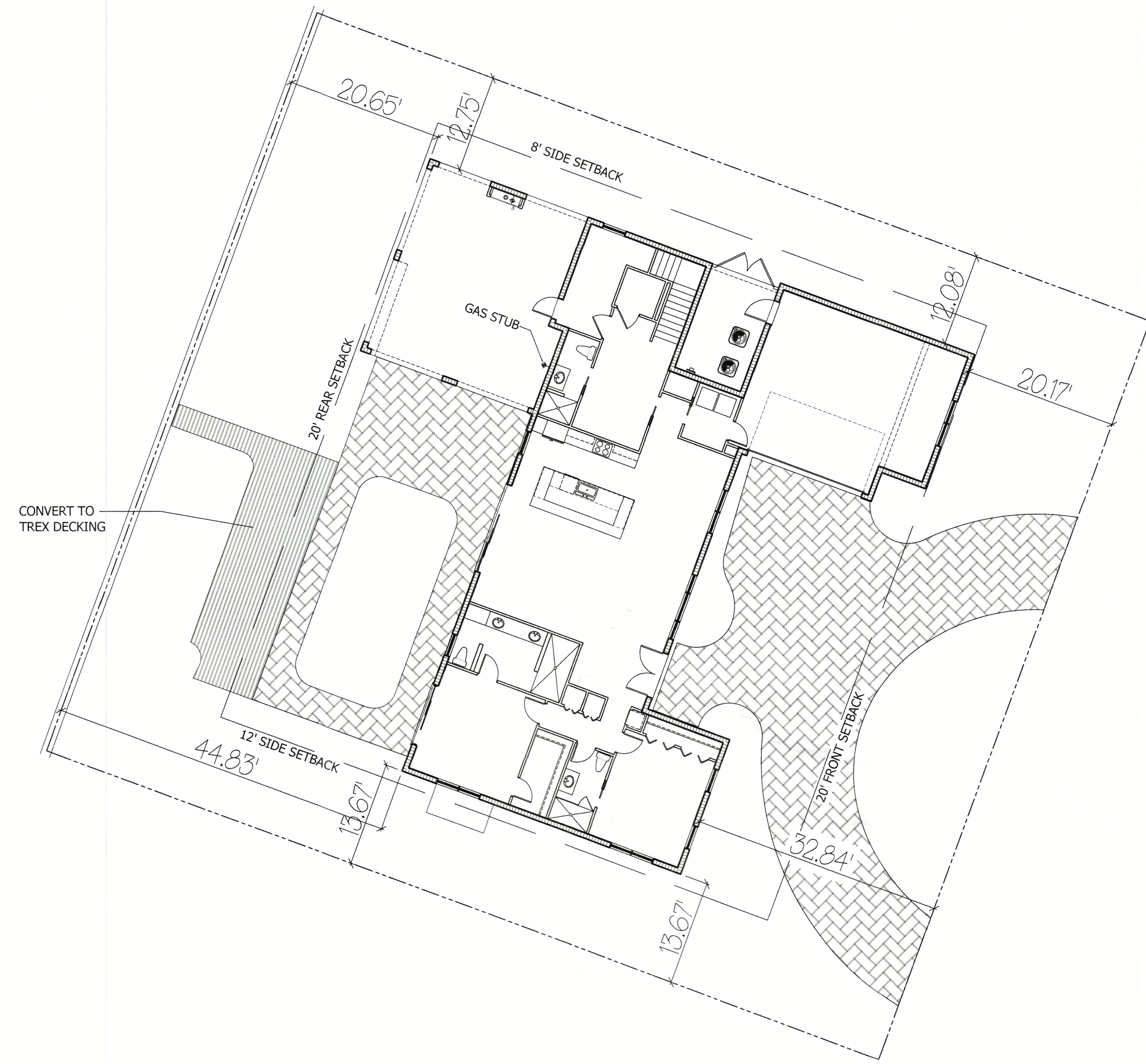
ZONING:	R-4SF
MAX BLDG HGT:	30'
MIN LOT WIDTH:	100'
BLDG SETBACKS:	
FRONT:	20'
REAR:	20'
SIDES:	8' MIN/20' TOTAL
MAX BLDG COVERAGE:	30%
MAX IMPERVIOUS COVERAGE:	50%

LOT BLDG. COVERAGE CALCULATIONS

TOTAL LOT	12,051 S.F.
TOTAL PROPOSED S.F.	3,522 S.F.
TOTAL PROPOSED MAX COVERAGE %	29.2 %
MAX ALLOWABLE BLDG COVERAGE	30% (3,615 S.F.)

LOT IMPERVIOUS COVERAGE CALCULATIONS

TOTAL LOT	12,051 S.F.
TOTAL PROPOSED BLDG. COVERAGE	3,522 S.F.
PROPOSED POOL & DECK	1,046 S.F.
DRIVEWAY & WALKWAY	1,444 S.F.
TOTAL PROPOSED MAX COVERAGE	6,012 S.F.
TOTAL PROPOSED MAX COVERAGE %	49.9 %
MAX ALLOWABLE IMPERVIOUS COVERAGE	50% (6,025 S.F.)



EXISTING SITE PLAN
1" = 10'

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1885 5th Street
 Suite 206
 (9) 941.465.0036
JKING
 DESIGNS LLC
 ARCHITECTURAL / INTERIOR DESIGN / CONSTRUCTION

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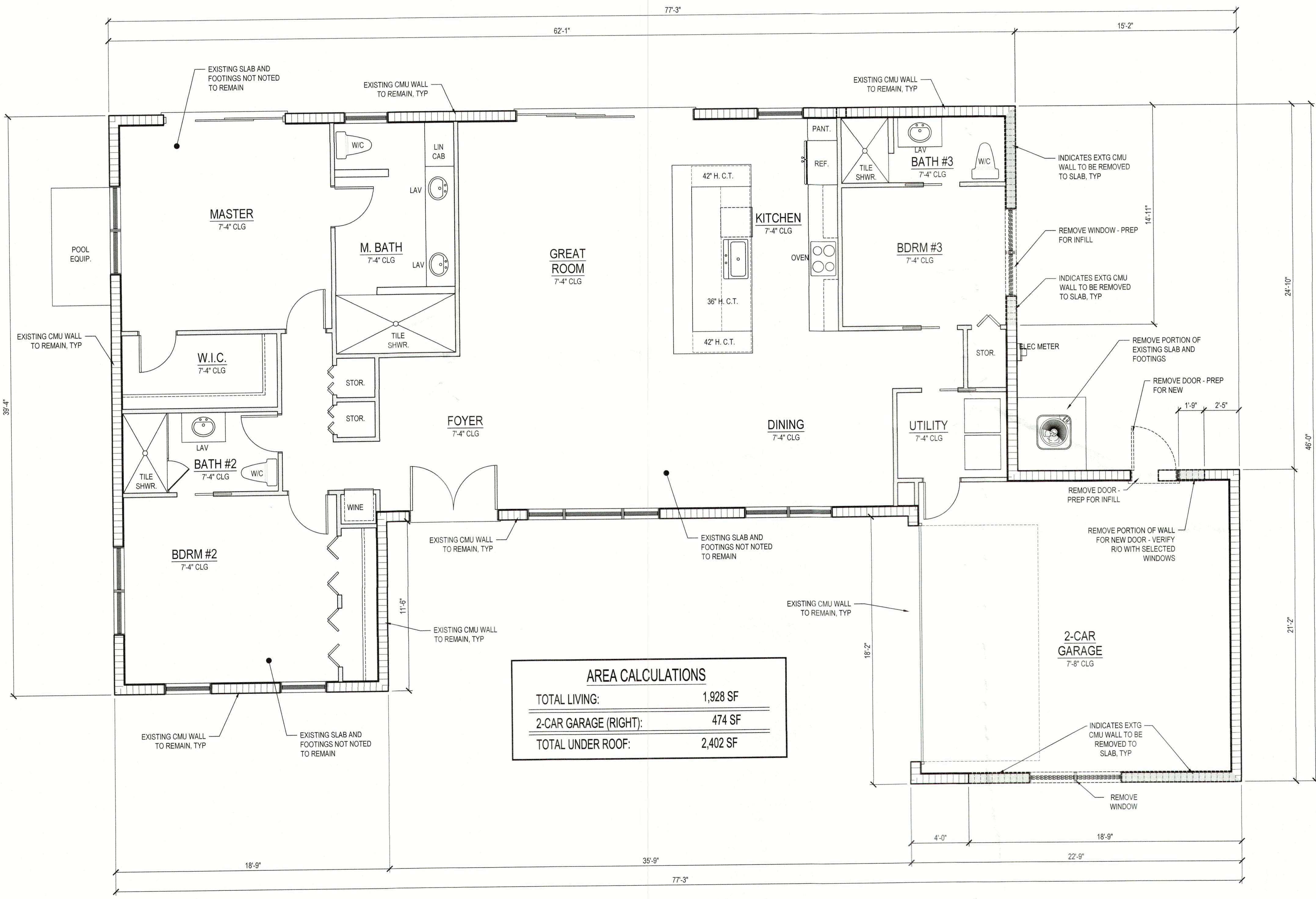
GIBSON RESIDENCE ADDITION
 549 CUTTER LANE
 LONGBOAT KEY, FL

ISSUE DATE
 05.19.23
 FLOOR PLAN
 SHEET NUMBER
 D1
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 TOWN OF LONGBOAT KEY
 PLANNING, ZONING & BUILDING DEPARTMENT
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WALL LEGEND

NEW 3 1/2" STUD WALL	
NEW 5 1/2" STUD WALL	
NEW 5 1/2" BEARING STUD WALL	
NEW 3 1/2" EXTERIOR STUD WALL	
NEW 5 1/2" EXTERIOR STUD WALL	
EXTG 8x16 CMU WALL W/ PT FURRING	
NEW 8x16 CMU WALL W/ PT FURRING	
EXTG 8x16 CMU WALL	
NEW 8x16 CMU WALL	

- #### DEMOLITION NOTES:
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF DEMOLITION TO ENSURE THAT NO STRUCTURAL MEMBER/COMPONENTS BECOME COMPROMISED AS SOME CONDITIONS REMAIN UNKNOWN. IF FIELD CONDITIONS DO NOT MATCH EXISTING CONDITIONS SHOWN HERE THE CONTRACTOR IS TO NOTIFY THE ARCHITECTS OFFICE IMMEDIATELY.
 - ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
 - THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF THE DEMOLITION. THE WORK MAY INCLUDE BUT NOT BE LIMITED TO WALL, DOORS, AND FIXTURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY AND THE STABILITY OF EXISTING STRUCTURES ENCOMPASSED IN THIS SCOPE OF WORK DURING DEMOLITION AND NEW CONSTRUCTION.
 - IT IS ALSO THEIR RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT AND SUPPORT SYSTEMS TO KEEP THE EXISTING STRUCTURE SAFE AND INTACT.
 - REPAIR / FINISH ALL WALLS/CEILINGS WHERE DEMO'D WALLS CONNECT. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.
 - ALL EXISTING WALLS NOT NOTED TO REMAIN INTACT.
 - DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
 - ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
 - WHEN EXISTING WALLS ARE BEING REMOVED CONTRACTOR TO ENSURE ALL ELECTRICAL IS OFF AND NO LIVE CIRCUITS ARE ABLE TO BE CONTACTED AT ANY TIME
 - EXISTING FLOORING TO BE REMOVED - VERIFY EXTENT WITH OWNER
 - PATCH/REPAIR DRYWALL AS NECESSARY IN WALLS NOT BEING REMOVED
 - EXISTING ROOF STRUCTURE TO BE REMOVED.
 - REMOVE AND REPLACE ALL GROUND FLOOR WINDOWS.
 - AC DESIGN AND LAYOUT BY OTHERS.
 - INTERIOR DOORS TO BE REPLACED PER PLANS.
 - EXISTING EXTERIOR WALLS TO REMAIN AS-IS.
 - GROUND FLOOR EXTERIOR DOORS TO BE REPLACED.



AREA CALCULATIONS

TOTAL LIVING:	1,928 SF
2-CAR GARAGE (RIGHT):	474 SF
TOTAL UNDER ROOF:	2,402 SF

EXISTING/DEMO FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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(O) 941.465.0036

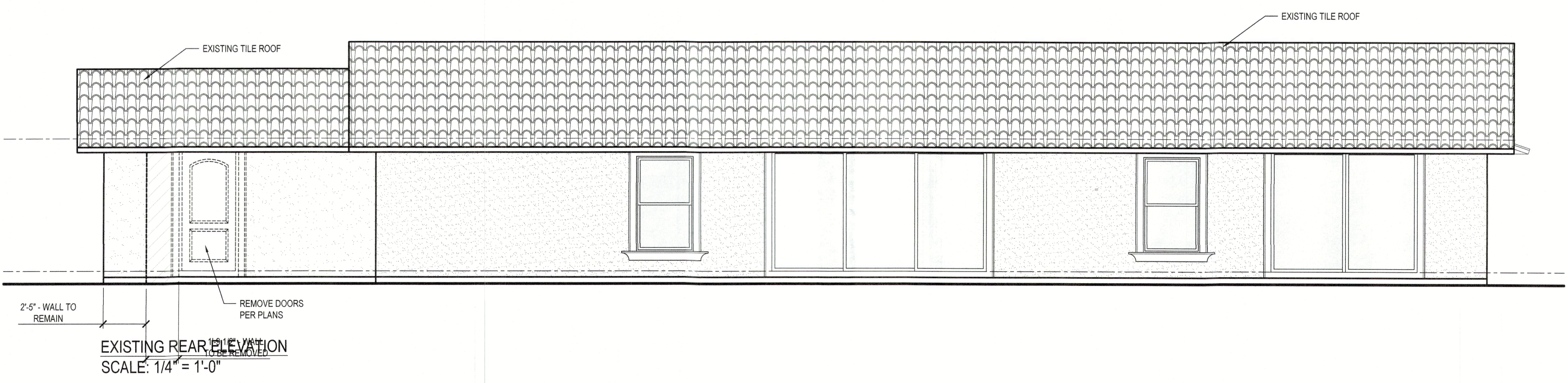
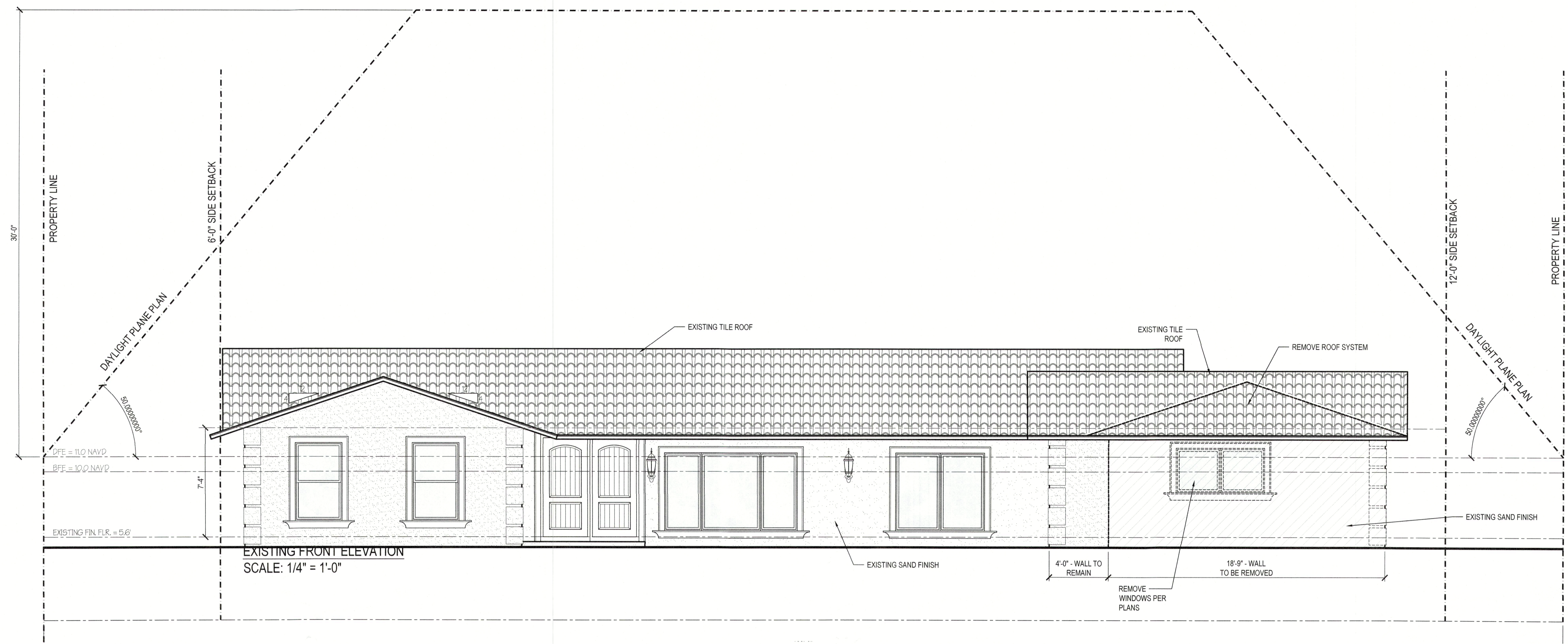
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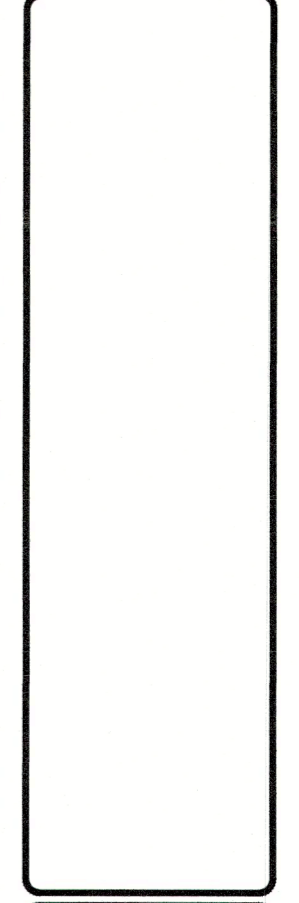
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Interior Design & Architecture

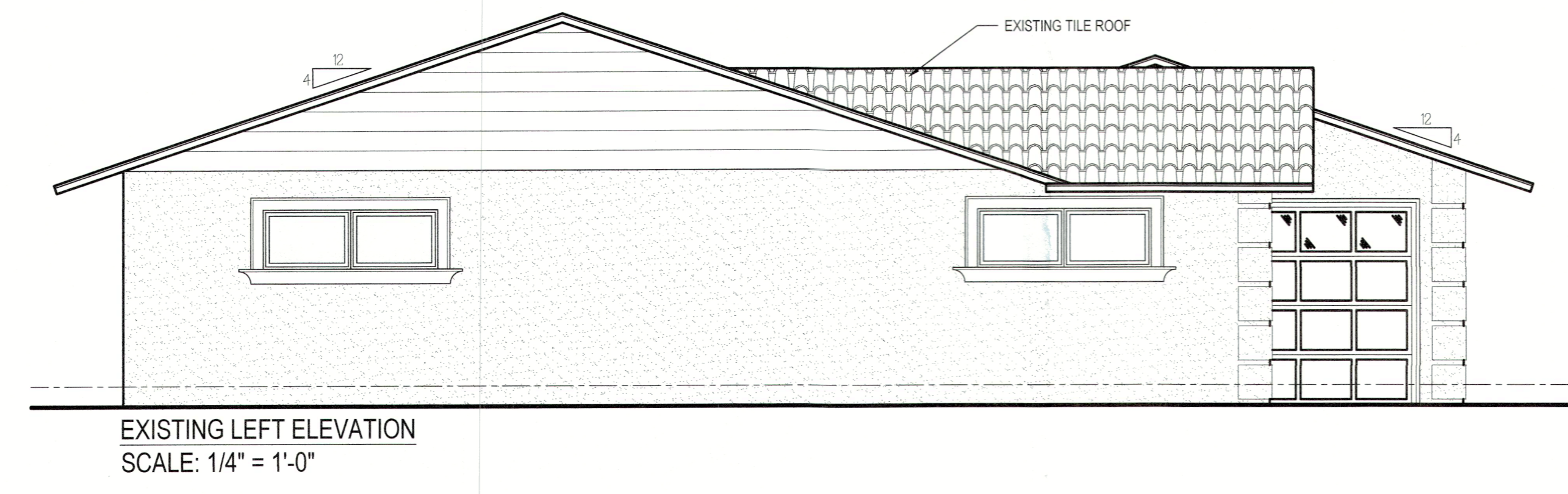
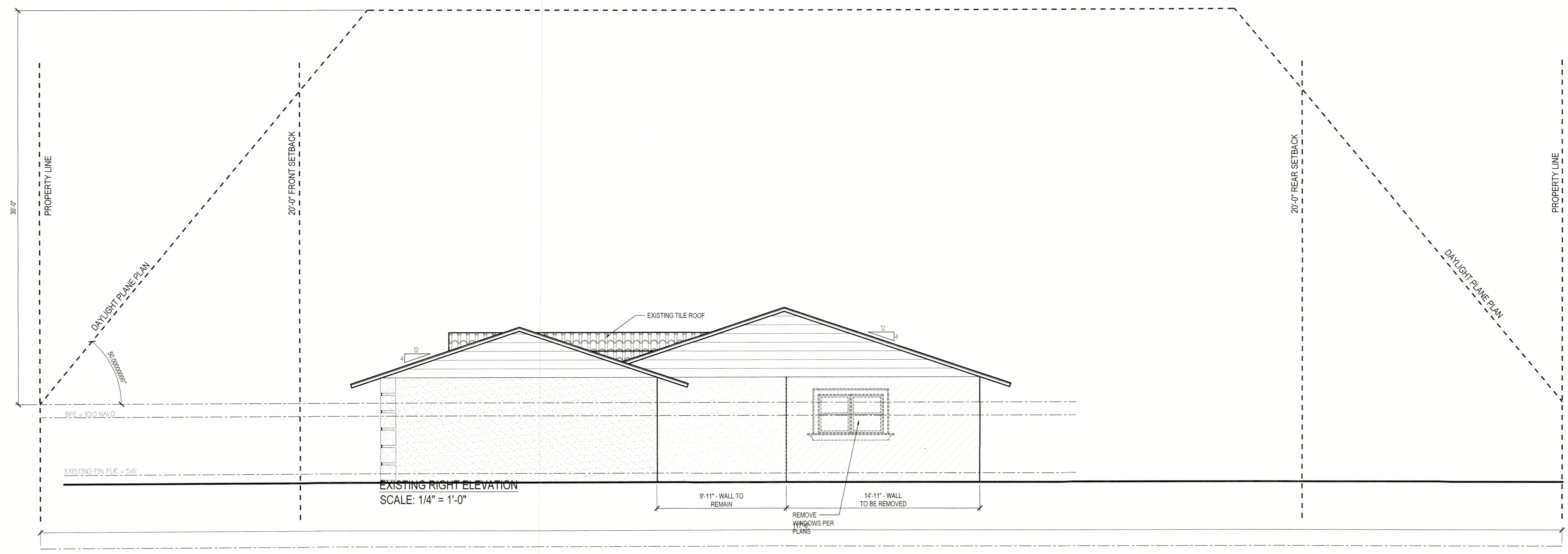


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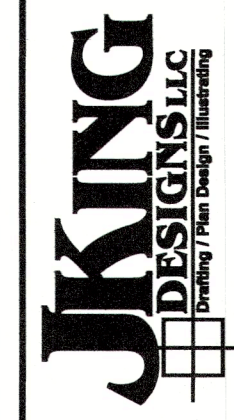
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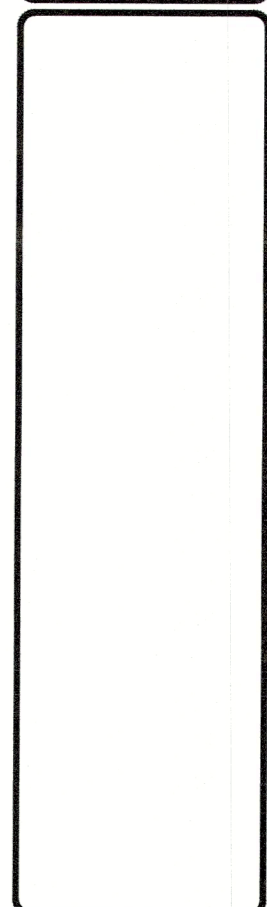
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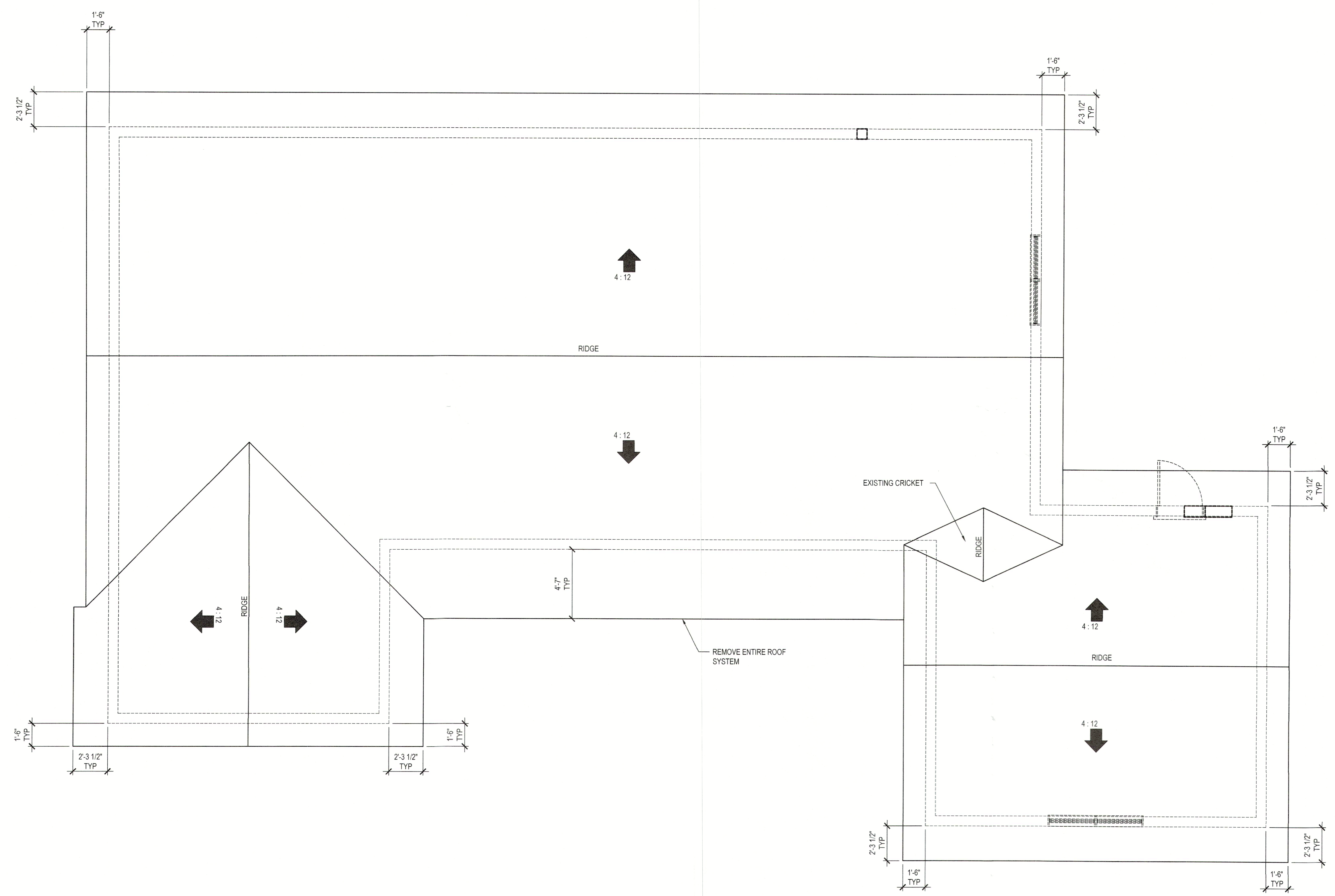
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ROOF LAYOUT

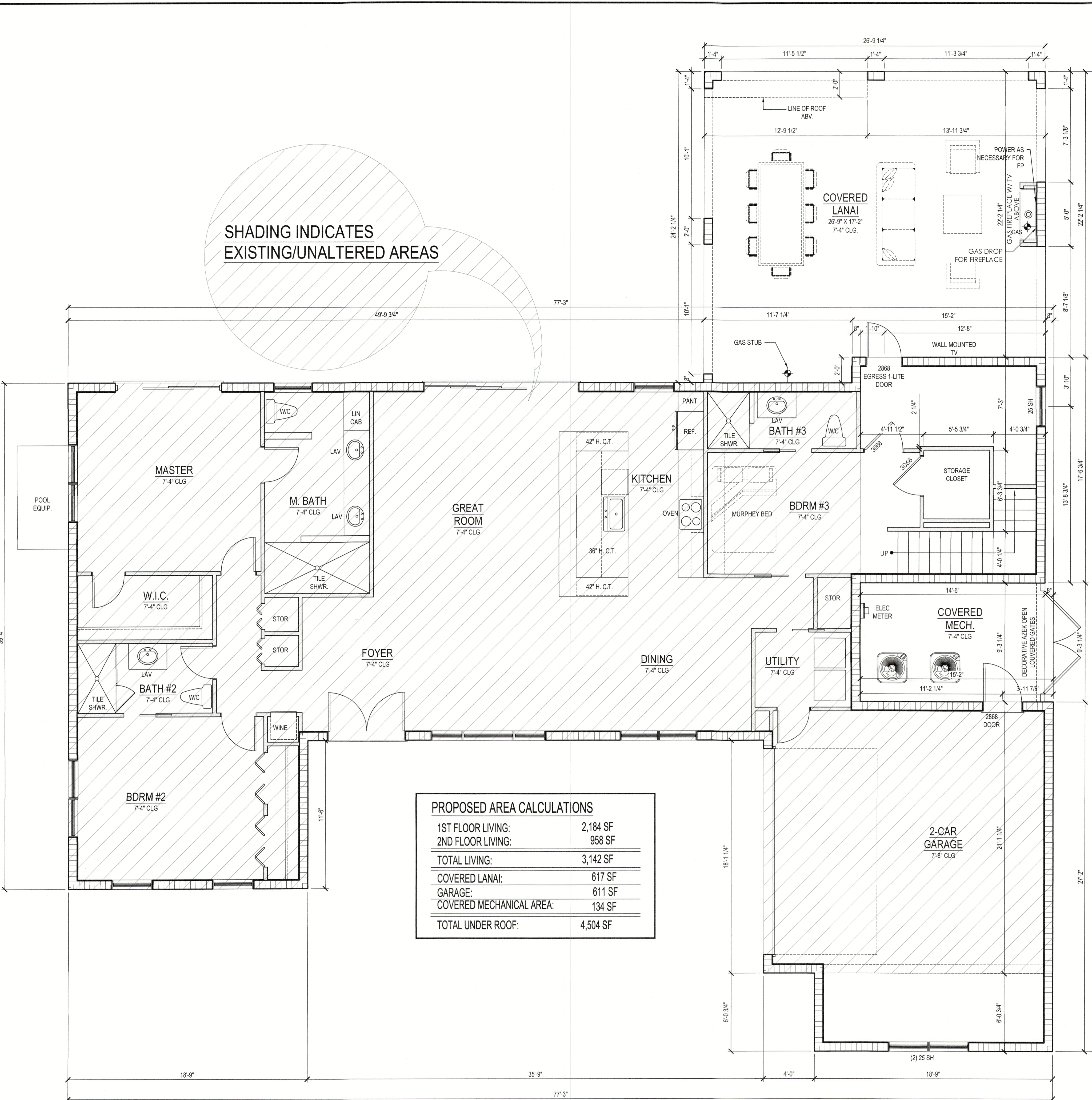
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EXISTING/DEMO ROOF LAYOUT
SCALE: 1/4" = 1'-0"



SHADING INDICATES EXISTING/UNALTERED AREAS

PROPOSED AREA CALCULATIONS	
1ST FLOOR LIVING:	2,184 SF
2ND FLOOR LIVING:	958 SF
TOTAL LIVING:	3,142 SF
COVERED LANAI:	617 SF
GARAGE:	611 SF
COVERED MECHANICAL AREA:	134 SF
TOTAL UNDER ROOF:	4,504 SF

WALL LEGEND

- NEW 3 1/2" STUD WALL
- NEW 5 1/2" STUD WALL
- NEW 5 1/2" BEARING STUD WALL
- NEW 3 1/2" EXTERIOR STUD WALL
- NEW 5 1/2" EXTERIOR STUD WALL
- EXTG 8x16 CMU WALL W/ PT FURRING
- NEW 8x16 CMU WALL W/ PT FURRING
- EXTG 8x16 CMU WALL
- NEW 8x16 CMU WALL

STEPS - 1ST FLOOR TO 2ND FLOOR:
 15 RISERS @ 7-1/4"
 14 TREADS @ 10"
 1 LANDING

WATER HEATER DRAIN PAN NOTES:
 P2801.5 REQUIRED PAN.
 WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A GALVANIZED STEEL PAN HAVING A MATERIAL THICKNESS OF NOT LESS THAN 0.0236 INCH (0.6010 MM) (NO. 24 GAGE), OR OTHER PANS APPROVED FOR SUCH USE. LISTED PANS SHALL COMPLY WITH CSA LC3.
 P2801.5.1 PAN SIZE AND DRAIN.
 THE PAN SHALL BE NOT LESS THAN 1 1/2 INCHES (38 MM) DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE OF NOT LESS THAN 3/4 INCH (19 MM) DIAMETER. PIPING FOR SAFETY PAN DRAINS SHALL BE OF THOSE MATERIALS LISTED IN TABLE P2905.5.
 P2801.5.2 PAN DRAIN TERMINATION.
 THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152 MM) AND NOT MORE THAN 24 INCHES (610 MM) ABOVE THE ADJACENT GROUND SURFACE.
GENERAL NOTES:
 PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL MATERIAL AND PIPING REQUIRED FROM ROUGH-IN LOCATION TO EQUIPMENT CONNECTION LOCATIONS. BOTH SUPPLY AND WASTE (DIRECT & INDIRECT), INCLUDING ASSOCIATED DEVICES, EQUIPMENT, CONTROLS AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONT. SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICTS WITH STRUCTURE, FINISHES OF WORK OF OTHER TRADES. THE DRAWINGS INDICATE GENERAL ROUTING AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, ETC.
 PIPING ROUGH-INS SHALL BE CONCEALED, AND STUBBED IN WALLS AND COLUMN LOCATIONS WHEREVER POSSIBLE.
 ALL HORIZONTAL PIPING LINES AS EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT HIGHEST POSSIBLE ELEVATION.
 PLUMBING CONTRACTOR TO INSTALL FAUCETS, AND WASTES ON SINKS AND MAKE FINAL CONNECTIONS. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.
 THE BUILDING DOMESTIC WATER SUPPLY (ABOVE AND BELOW GROUND) IS TO BE MINIMUM SCHEDULE 40 C-PVC PIPING OR EQUAL (IE: PEX SYSTEMS). PLUMBING CONTRACTOR TO PROVIDE HAMMER ARRESTORS OR CHAMBERS WHERE APPLICABLE.
 SANITARY DRAIN WASTE AND VENT PIPING IS TO BE MIN SCH-40 PVC-DWV (ASTM D-2665) ABOVE AND BELOW GROUND.
 VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF DRAINS, VENT AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL NOTIFY DESIGNER/ARCHITECT IMMEDIATELY.
 COORDINATE ALL WORK WITH OTHER TRADES. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.
 CONTRACTOR SHALL VISIT THE SITE AND ALLOW FOR ALL EXISTING CONDITIONS IN HIS BID.
 IF NO HOSE BIBBS ARE CURRENTLY INSTALLED AT THE EXTERIOR OF THE HOUSE, NOTIFY DESIGNER IMMEDIATELY FOR LOCATION.

REQUIRED SAFETY GLAZING IN HAZ. LOCATIONS

2406.3 HAZARDOUS LOCATIONS

2406.3 THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:

- GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. (0.84 M SQ.).
 - BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
- ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.
- GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

ROUGH OPENING NOTE:

- FIELD VERIFY MASSONRY AND FRAME OPENINGS OF WINDOWS AND DOORS WITH MANUFACTURE SPECIFICATIONS.

FLOOR PLAN GENERAL NOTES:

- PER FBC 7TH EDITION RESIDENTIAL (2020) (R308.4.5), GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, SHALL BE CONSIDERED A HAZARDOUS LOCATION. G.C. TO VERIFY IF HOMEOWNER SELECTS ANY OF THESE ITEMS LISTED. IF ANY OF THESE ITEMS LISTED IS INSTALLED, SUCH GLAZING FACING THOSE ITEMS IS TO BE TEMPERED
- ATTIC ACCESS TO BE JOB LOCATED. CONTRACTOR TO INSURE MINIMUM OF 30" CLEAR UNOBSTRUCTED HEIGHT ABOVE OPENING.
- CONDENSATE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF 12" FROM BLDG. IRRIGATION/SPRINKLER SYSTEMS - INCLUDING ALL RISERS AND SPRAY - SHALL NOT BE INSTALLED WITHIN 12" OF THE BLDG.
- CONTRACTOR TO ENSURE THAT PLUMBING AND TUB DECK DIMENSIONS PROPERLY COORDINATE WITH FINAL TUB CHOSEN. CONTRACTOR MUST VERIFY DECK DIMENSIONS AND PLUMBING WITH CHOSEN TUB PRIOR TO INSTALLING EITHER.
- ALL WINDOWS AND GLASS DOORS NOT IMPACT RATED MUST BE PROTECTED BY CORRUGATED METAL PANELS OR ANOTHER APPROVED METHOD. PLYWOOD COVERINGS ARE NOT ACCEPTABLE. INSTALL ALL PROTECTIONS PER MANUFACTURER'S DETAILS AND INSTRUCTIONS.
- EXISTING ROOF STRUCTURE TO REMAIN AS-IS.
- NEW FLOOR FINISHES STYLE AND COLOR BY OTHERS.
- REPAIR / FINISH ALL WALLS/CEILING WHERE DEMOD WALLS CONNECTED. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.
- COLOR AND STYLE OF NEW PLUMBING FIXTURES BY OTHERS.
- VERIFY ALL MEASUREMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.

PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS FOR DIMENSIONS; NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION.

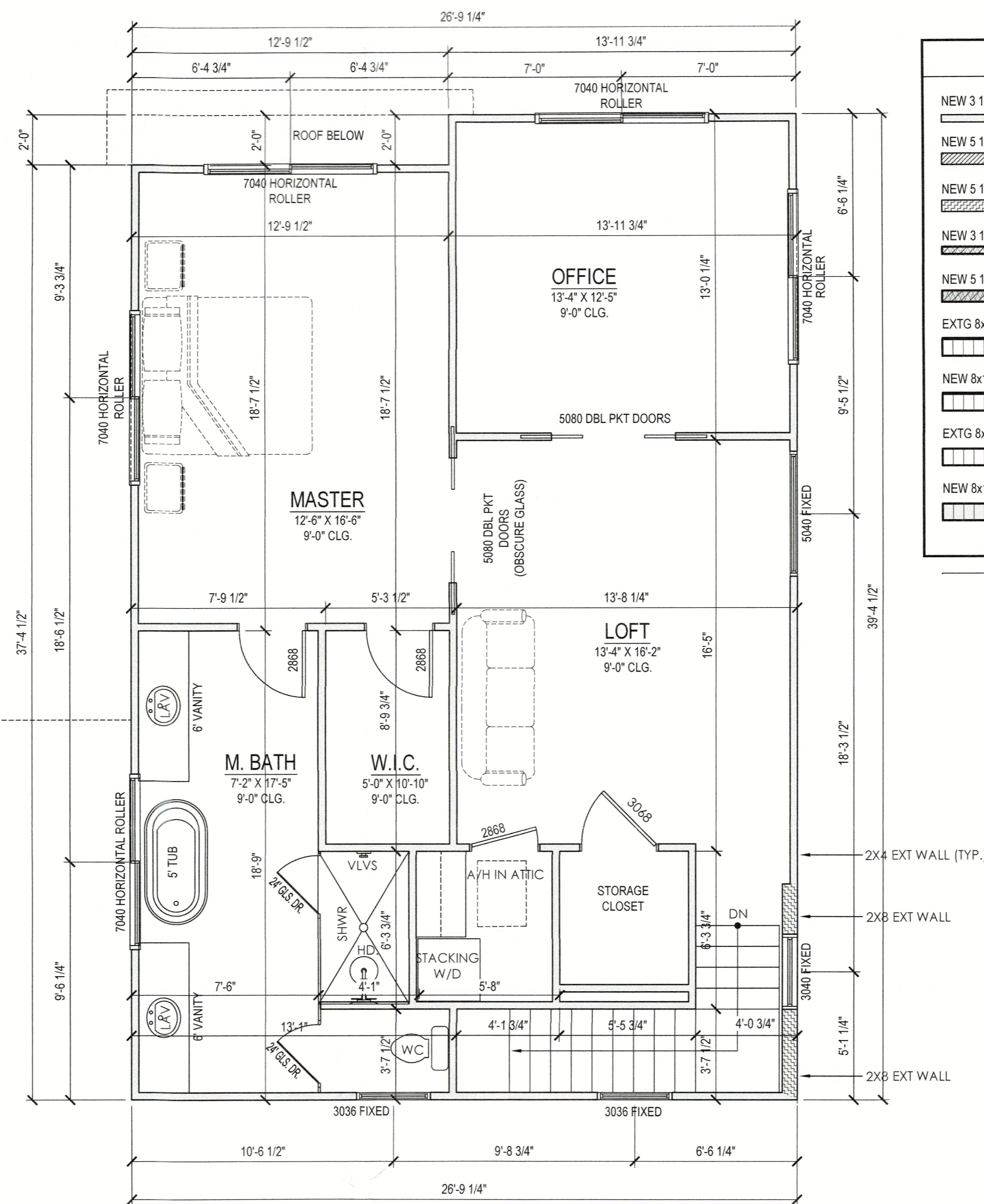
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 Sarasota, FL 34236
 (941) 465-0036

JKING
 DESIGNS, LLC
 PLUMBING CONTRACTOR

GIBSON RESIDENCE ADDITION
 549 CUTLER LANE
 LONGBOAT KEY, FL

ISSUE DATE: 05.19.23
 FLOOR PLAN
 SHEET NUMBER: A1

DATE: JUN 2 2023
 TIME: 10:00 AM
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WALL LEGEND	
[Symbol]	NEW 3 1/2" STUD WALL
[Symbol]	NEW 5 1/2" STUD WALL
[Symbol]	NEW 5 1/2" BEARING STUD WALL
[Symbol]	NEW 3 1/2" EXTERIOR STUD WALL
[Symbol]	NEW 5 1/2" EXTERIOR STUD WALL
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[Symbol]	NEW 8x16 CMU WALL

WATER HEATER DRAIN PAN NOTES:

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GENERAL NOTES:

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PLUMBING CONTRACTOR TO INSTALL FAUCETS, AND WASTES ON SINKS AND MAKE FINAL CONNECTIONS. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

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SANITARY DRAIN WASTE AND VENT PIPING IS TO BE MIN SCH-40 PVC-DWV (ASTM D-2685) ABOVE AND BELOW GROUND.

VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF DRAINS, VENT AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL NOTIFY DESIGNER/ARCHITECT IMMEDIATELY.

COORDINATE ALL WORK WITH OTHER TRADES. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

CONTRACTOR SHALL VISIT THE SITE AND ALLOW FOR ALL EXISTING CONDITIONS IN HIS BID.

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2406.3 HAZARDOUS LOCATIONS

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- GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. (0.84 M SQ.).
 - BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
- ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.
- GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

ROUGH OPENING NOTE:

- FIELD VERIFY MASONRY AND FRAME OPENINGS OF WINDOWS AND DOORS WITH MANUFACTURE SPECIFICATIONS.

FLOOR PLAN GENERAL NOTES:

- PER FBC 7TH EDITION RESIDENTIAL (2020) (R308.4.5), GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, SHALL BE CONSIDERED A HAZARDOUS LOCATION. G.C. TO VERIFY IF HOMEOWNER SELECTS ANY OF THESE ITEMS LISTED. IF ANY OF THESE ITEMS LISTED IS INSTALLED, SUCH GLAZING FACING THOSE ITEMS IS TO BE TEMPERED
- ATTIC ACCESS TO BE JOB LOCATED. CONTRACTOR TO INSURE MINIMUM OF 30" CLEAR UNOBSTRUCTED HEIGHT ABOVE OPENING.
- CONDENSATE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF 12" FROM BLDG. IRRIGATION/SPRINKLER SYSTEMS - INCLUDING ALL RISERS AND SPRAY - SHALL NOT BE INSTALLED WITHIN 12" OF THE BLDG.
- CONTRACTOR TO ENSURE THAT PLUMBING AND TUB DECK DIMENSIONS PROPERLY COORDINATE WITH FINAL TUB CHOSEN. CONTRACTOR MUST VERIFY DECK DIMENSIONS AND PLUMBING WITH CHOSEN TUB PRIOR TO INSTALLING EITHER.
- ALL WINDOWS AND GLASS DOORS NOT IMPACT RATED MUST BE PROTECTED BY CORRUGATED METAL PANELS OR ANOTHER APPROVED METHOD. PLYWOOD COVERINGS ARE NOT ACCEPTABLE. INSTALL ALL PROTECTIONS PER MANUFACTURER'S DETAILS AND INSTRUCTIONS.
- EXISTING ROOF STRUCTURE TO REMAIN AS-IS.
- NEW FLOOR FINISHES STYLE AND COLOR BY OTHERS.
- REPAIR / FINISH ALL WALLS/CEILING WHERE DEMO'D WALLS CONNECTED. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.
- COLOR AND STYLE OF NEW PLUMBING FIXTURES BY OTHERS.
- VERIFY ALL MEASUREMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.

PROPOSED 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS FOR DIMENSIONS NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION

1385 5th Street
 Suite 102
 (704) 941-4653/0036

JKING
 DESIGN LLC
 ARCHITECTURE • INTERIOR DESIGN • CONSTRUCTION MANAGEMENT

GIBSON RESIDENCE ADDITION
 549 CUTTER LANE
 LONGBOAT KEY, FL

ISSUE DATE
 05.19.23

FLOOR PLAN

SHEET NUMBER
 A2

JUN 7 2023
 TYPED BY: JCH/SGC/AT/KEV
 PLANNING, ZONING & BUILDING

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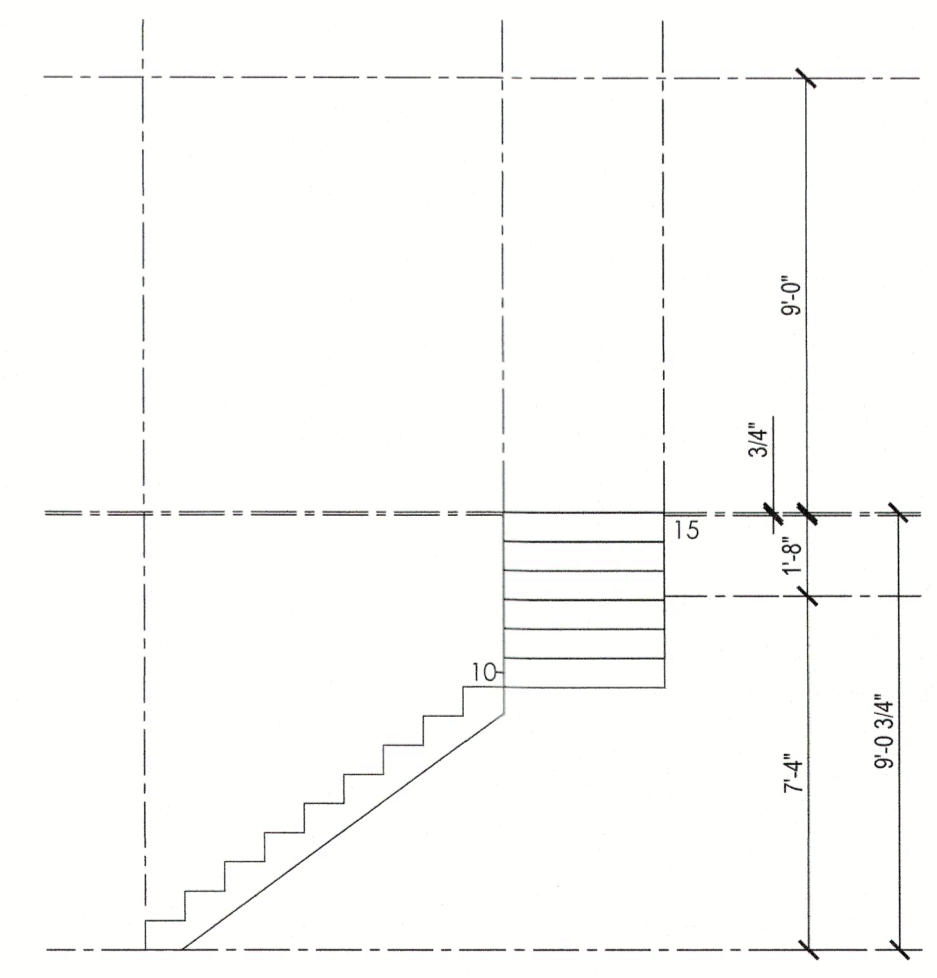
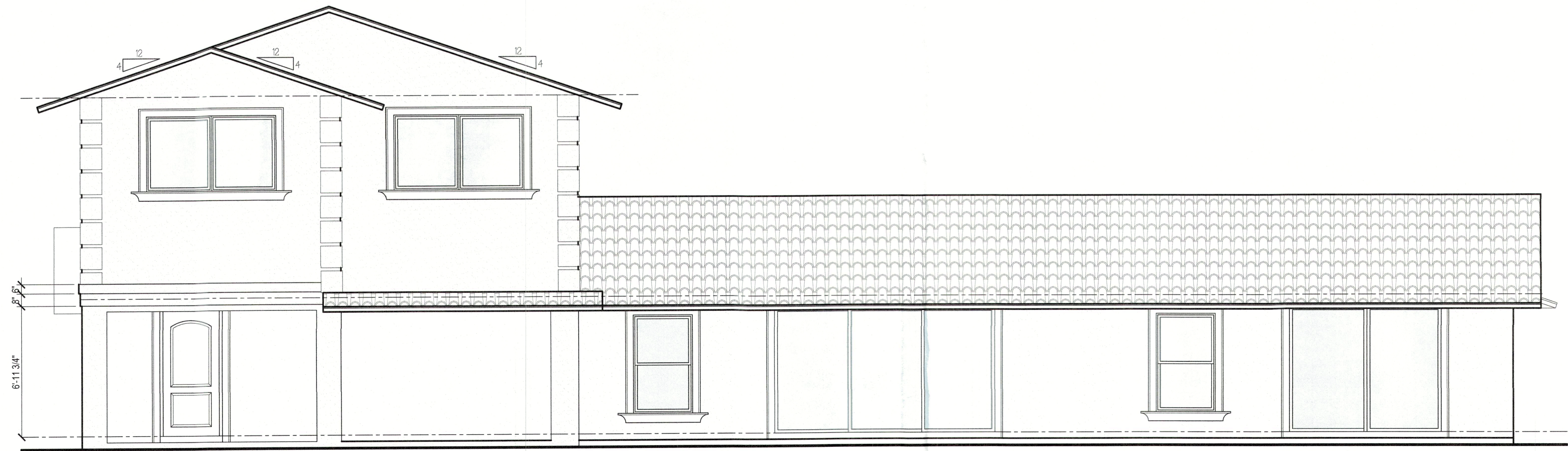
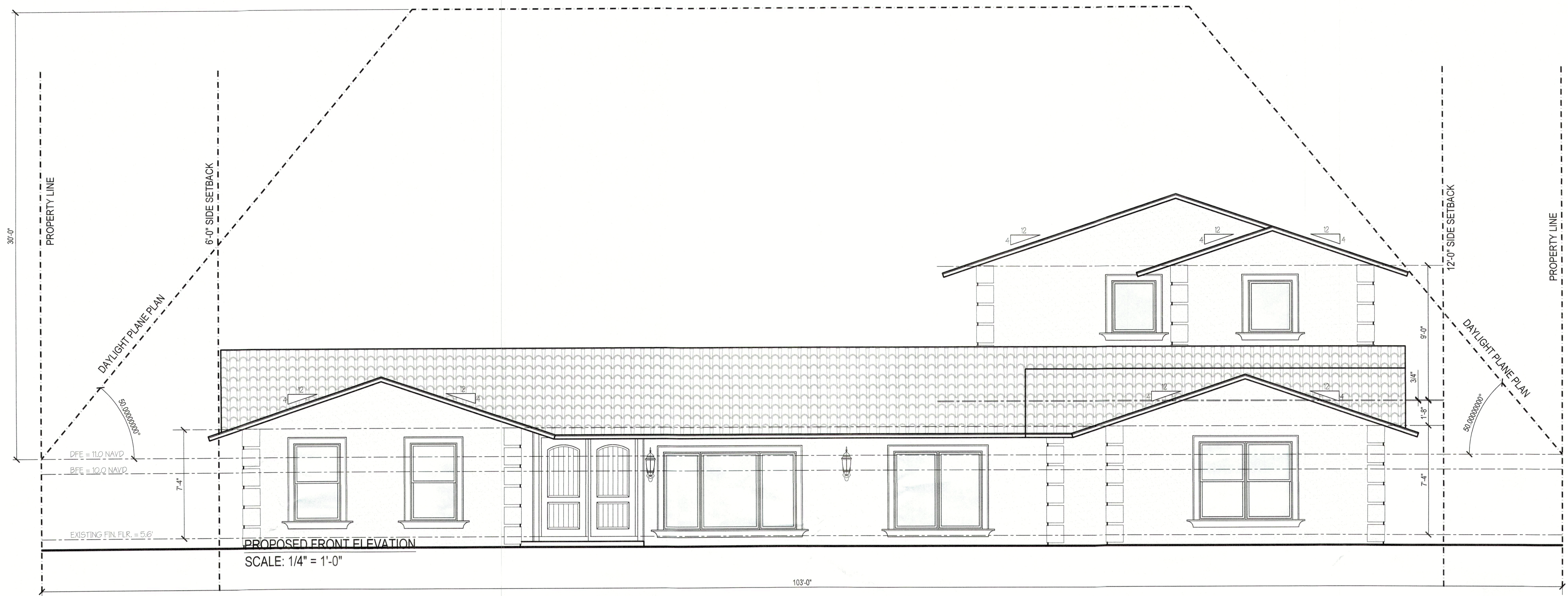
JKING
DESIGNS LLC
1835 5th Street
Suite 34236
Tampa, FL 33605
(813) 941-4655

GIBSON RESIDENCE ADDITION
549 CUTLER LANE
LONGBOAT KEY, FL

ISSUE DATE
05.18.23

ELEVATIONS

SHEET NUMBER
A3



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Planning, Zoning & Building

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FOR CLARIFICATION.

1385 5th Street
Sarasota, FL 34236
(941) 465-0038

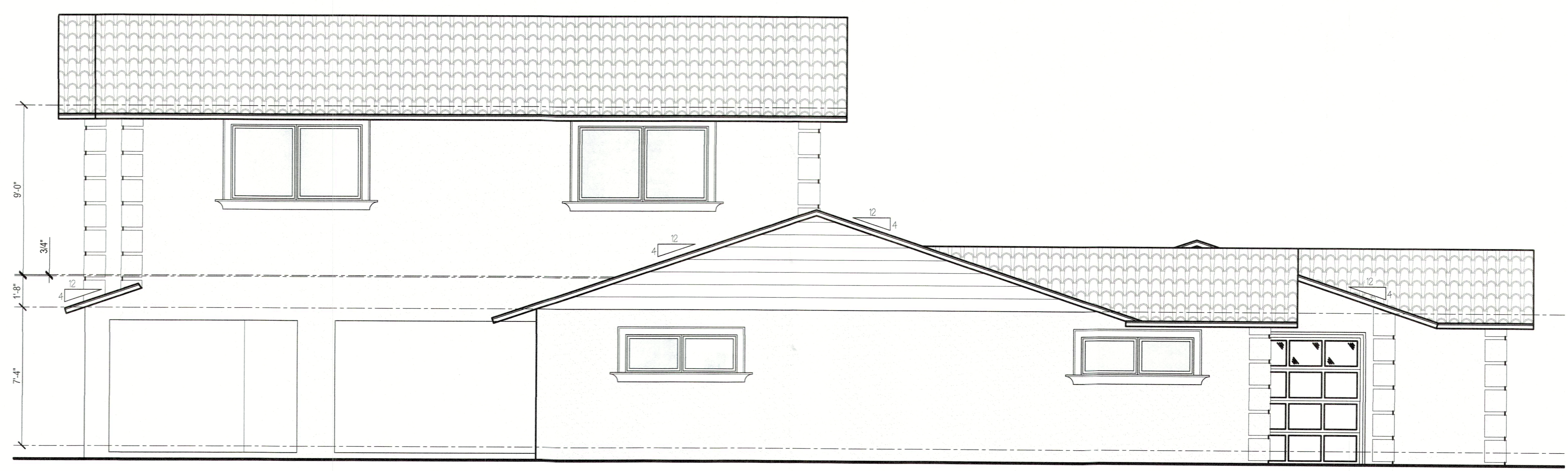
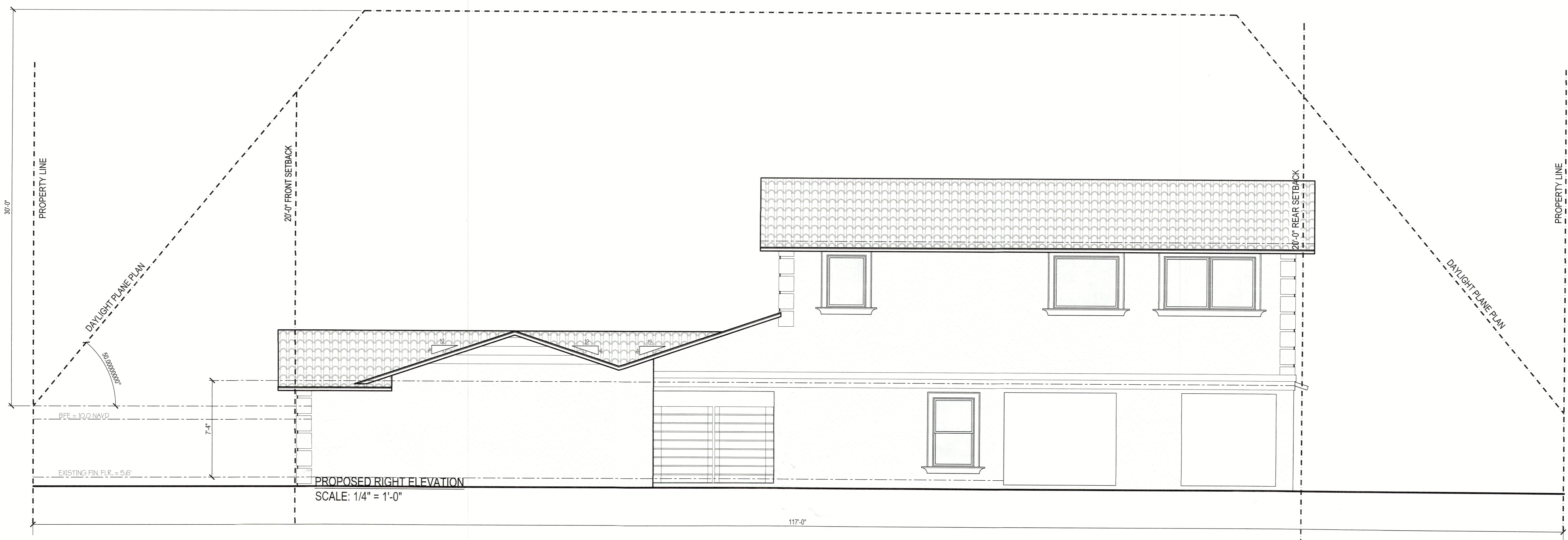
JKING
DESIGNS LLC
ARCHITECTURE / INTERIOR DESIGN

GIBSON RESIDENCE ADDITION
549 CUTTER LANE
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ELEVATIONS

SHEET NUMBER
A4



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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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PLAN COORDINATOR
FOR CLARIFICATION

1385 5th Street
Longboat Key, FL 34958
(941) 465-0036



JKING
DESIGNS LLC
ARCHITECTURE / INTERIOR DESIGN

GIBSON RESIDENCE ADDITION
549 CUTLER LANE
LONGBOAT KEY, FL

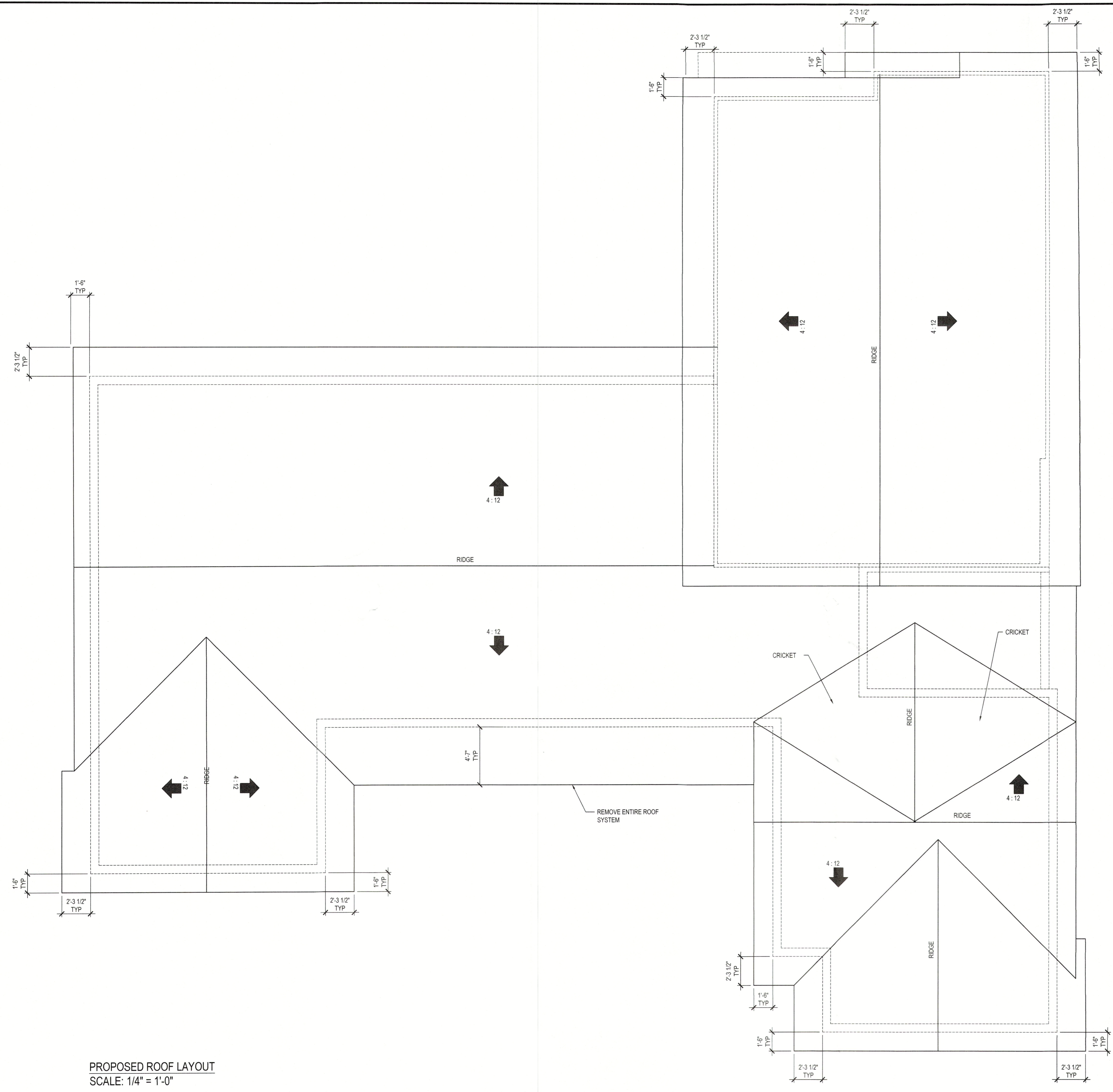
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ROOF LAYOUT

SHEET NUMBER
A5

INVESTIGATIVE
JUN 22 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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DO NOT SCALE DRAWINGS FOR DIMENSIONS NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION.

1385 5th Street
 Suite 200
 Ft. Lauderdale, FL 33326
 (954) 465-0036
JKING
DESIGNS LLC
 Electrical & Mechanical

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GIBSON RESIDENCE ADDITION
 549 CUTTER LANE
 LONGBOAT KEY, FL

ISSUE DATE
 06.19.23

FLOOR PLAN

SHEET NUMBER
 E1

RECEIVED
 JUN 22 2023
 TOTAL OF 120 SHEETS
 Planning, Zoning & Building

FILE COPY OF RECORD

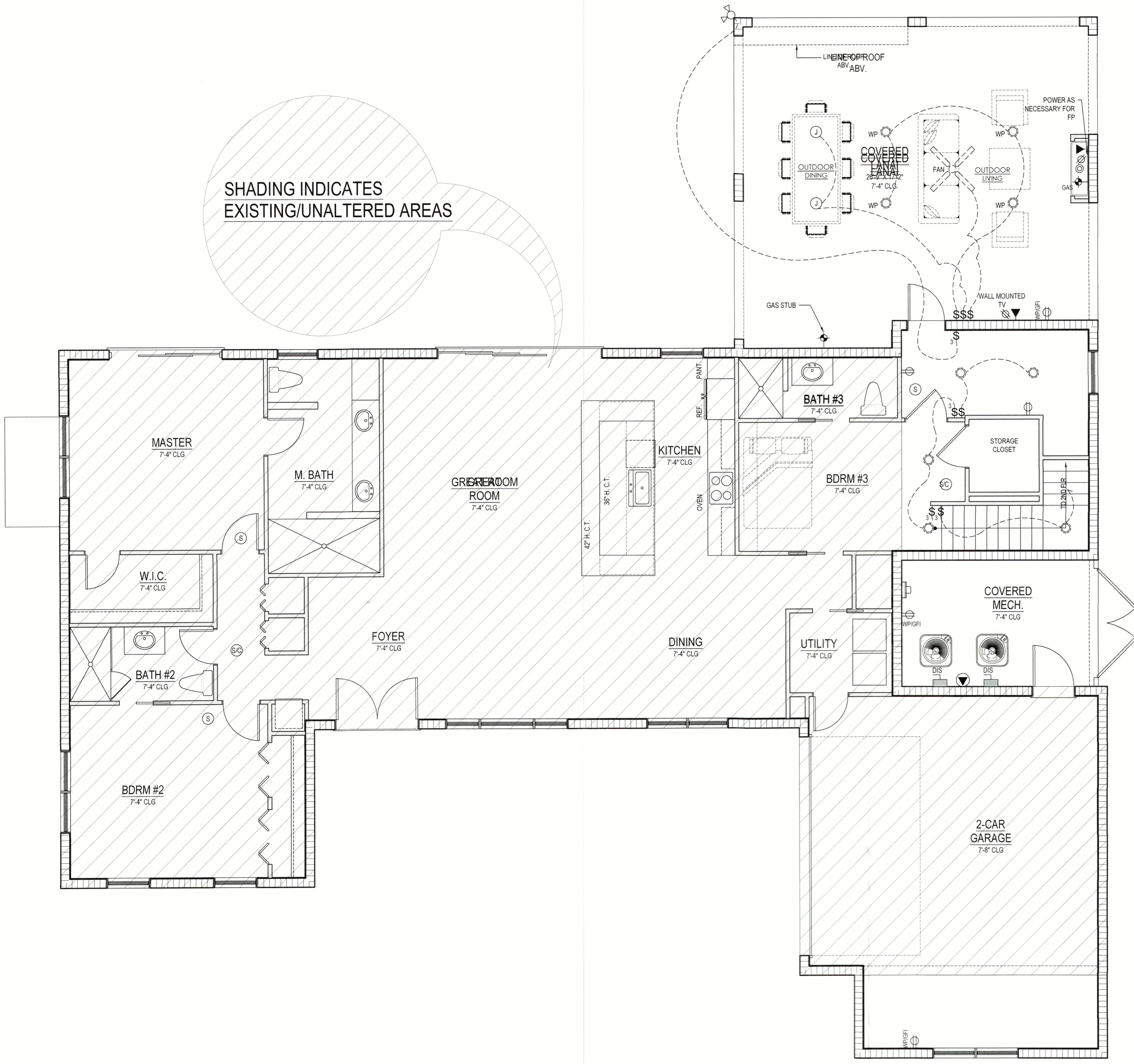
GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL DESIGN AND WORK SHALL BE IN STRICT COMPLIANCE WITH THE
 FBC 7TH EDITION (2020), RESIDENTIAL, PART 8-ELECTRICAL (2017 NATIONAL
 ELECTRIC CODE)
- PER NEC SECTION 210.12(A) ALL 120V SINGLE PHASE 15- AND 20 AMPERE
 BRANCH CIRCUITS IN ALL AREAS OF A DWELLING (EXCEPT FOR KITCHEN,
 BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS); SHALL
 BE AFCI PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER;
 COMBINATION TYPE.
 - CARBON MONOXIDE PROTECTION PER FLORIDA STATUTES 553.885 (2). TO BE
 INSTALLED WITHIN 10' OF EVERY SLEEPING ROOM.
 - PER NEC SECTION 210.8(B)(4) ALL 15A & 20A, 125V RECEPTACLES INSTALLED
 OUTDOORS MUST BE GFCI-PROTECTED.
 - PER NEC SECTION 210.8(B)(5) ALL 15A & 20A, 125V RECEPTACLES INSTALLED
 WITHIN 6' OF A SINK (IN NON-DWELLING UNIT OCCUPANCIES); e. OUTDOOR
 SUMMER KITCHENS RECEPTACLES) MUST BE GFCI-PROTECTED.
 - PER NEC SECTION 406.8(B)(1) 15A & 20A RECEPTACLES IN A WET LOCATION
 MUST BE WITHIN AN ENCLOSURE THAT IS WEATHERPROOF WHEN AN
 ATTACHMENT IS PLUGGED IN AND ALL NON-LOCKING RECEPTACLES SHALL
 BE LISTED AS WEATHER RESISTANT.
 - PER NEC SECTION 406.11 IN DWELLING UNITS, ALL 15A & 20A, 125V
 RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
 - PER NEC SECTION 800.156 NO LESS THAN ONE COMMUNICATIONS OUTLET
 SHALL BE INSTALLED WITHIN EACH DWELLING UNIT.
 - PER NEC SECTIONS R3.14.3 AND R315.1 SMOKE DETECTORS TO BE
 INSTALLED INSIDE EA SLEEPING AREA.
 - ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH
 UL 217, PER FBC 7TH EDITION (RESIDENTIAL) 314.1. GC TO INSTALL: KIDDE
 MODEL # I4618A SMOKE ALARM, OR APPROVED EQUAL.
 - VERIFY ALL LOW VOLTAGE LOCATIONS INCLUDING, BUT NOT LIMITED TO, TV,
 DATA, USB, SPEAKER, AND ALARM SYSTEMS PRIOR TO INSTALLATION.
 - ALL RECESSED LIGHTING TO BE LED
 - ALL TASK AND ACCENT LIGHTING AT CABINETS (ABOVE, BELOW, AND INSIDE)
 TO BE LED.
 - ALL STRIP FIXTURE (SUCH AS IN GARAGE) SHALL BE LED TYPE LIGHTING.
 - VERIFY LIGHTING COLOR OF LED FIXTURE (COOL, DAYLIGHT, ETC) WITH
 OWNER PRIOR TO INSTALLATION.
 - VERIFY WIRELESS DATA REQUIREMENTS WITH OWNER AND
 LOCATION/NUMBER OF WIRELESS ACCESS POINTS.
 - ALL HANGING FIXTURE, RECESSED LIGHTING, CEILING MOUNTED LIGHTS,
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 - ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO AC EQUIPMENT,
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 TIMERS TO BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION OF
 11.00' NAVD.
 - PER FEMA TECH BULLETIN #9 - UTILITIES, INCLUDING ELECTRICAL WIRING,
 BREAKER BOXES, POWER METERS, PLUMBING, CONDUITS, AND
 VENTILATION DUCTS, SHALL NOT BE PLACED IN OR ATTACHED TO
 BREAKAWAY WALL PANELS. BUILDING SUPPLY LINES AND OTHER UTILITY
 FIXTURES, SUCH AS LIGHT SWITCHES OR ELECTRICAL OUTLETS, MAY BE
 ATTACHED TO THE SHELTERED SIDE OF VERTICAL FOUNDATION MEMBERS
 AS ALLOWED BY APPLICABLE BUILDING CODES AND FLOODPLAIN
 MANAGEMENT REGULATIONS (WHICH GENERALLY REQUIRE THAT UTILITIES
 BE ELEVATED ABOVE THE BFE); IF UTILITY LINES MUST BE ROUTED INTO OR
 OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE
 CONSTRUCTED WITH A UTILITY BLOCKOUT (SEE FIGURES 13 AND 14).
 UTILITY LINES THAT PASS THROUGH THE BLOCKOUT SHALL BE
 INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF
 THE WALL PANELS BREAK AWAY.

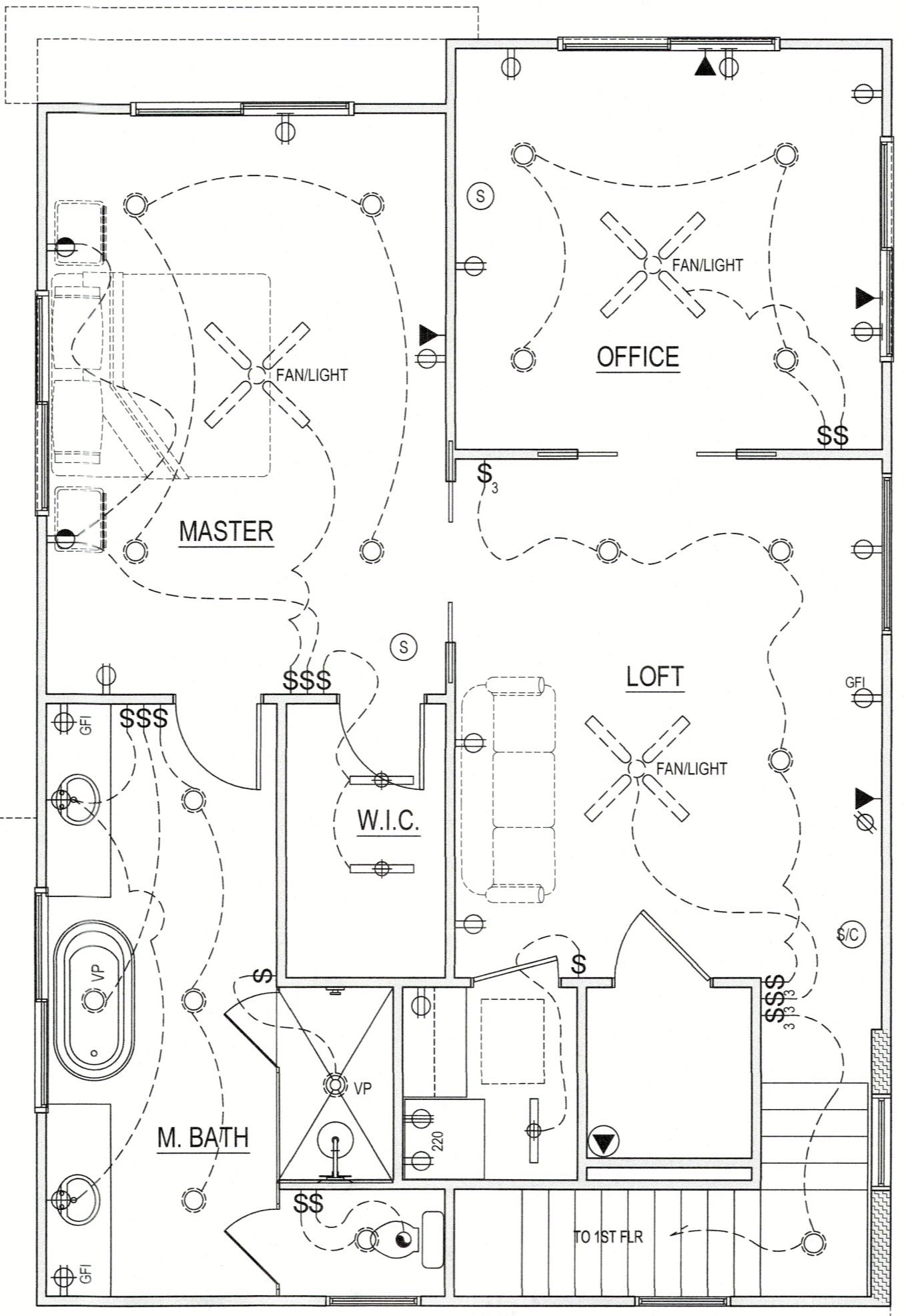
ELECTRICAL SYMBOL KEY

LIGHT FIXTURES	
	CEILING SURFACE MOUNT LIGHT
	6" RECESSED CAN LIGHT
	6" RECESSED CAN LIGHT - WATERPROOF
	6" RECESSED CAN LIGHT - WALL WASH
	4" Ø OR 4" SQ RECESSED JUNCTION BOX FOR HANGING FIT.
	CEILING (RECESSED) MINI-D EXHAUST FAN - 12x12 HOUSING
	WALL MINI-D JUNCTION BOX FOR SCONCE
	WALL MOUNT LIGHT
	4" RECESSED CAN LIGHT - VAPOR PROOF
	24" SURFACE MOUNTED FLUORESCENT LIGHT
	FLOOD LIGHTS (SINGLE OR MULTIPLE)
	CEILING FAN ONLY
	CEILING FAN / LIGHT COMBINATION
	48" SURFACE MOUNTED FLUORESCENT LIGHT
OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	WATERPROOF GFI OUTLET
	1/2" HOT DUPLEX OUTLET
	220V OUTLET
	USB OUTLET
	COUNTER HEIGHT GFI OUTLET
	QUADRUPLIX OUTLET
	TELEPHONE OUTLET
	DATA (NETWORK) OUTLET
	SPECIAL PURPOSE OR DEDICATED CIRCUIT
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
MISC. FIXTURES	
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR
	SURFACE MOUNTED SMOKE DETECTOR
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR COMBINATION
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON

SHADING INDICATES
 EXISTING/UNALTERED AREAS



ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"



GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL DESIGN AND WORK SHALL BE IN STRICT COMPLIANCE WITH THE FBC 7TH EDITION (2020), RESIDENTIAL, PART 8-ELECTRICAL (2017 NATIONAL ELECTRIC CODE)
- PER NEC SECTION 210.12(A) ALL 120V SINGLE PHASE 15- AND 20 AMPERE BRANCH CIRCUITS IN ALL AREAS OF A DWELLING (EXCEPT FOR KITCHEN, BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS); SHALL BE AFCI PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER-COMBINATION TYPE.
- CARBON MONOXIDE PROTECTION PER FLORIDA STATUTES 553.886 (2); TO BE INSTALLED WITHIN 10' OF EVERY SLEEPING ROOM.
- PER NEC SECTION 210.8(B)(4) ALL 15A & 20A, 125V RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI-PROTECTED.
- PER NEC SECTION 210.8(B)(5) ALL 15A & 20A, 125V RECEPTACLES INSTALLED WITHIN 6' OF A SINK (IN NON-DWELLING UNIT OCCUPANCIES-i.e. OUTDOOR SUMMER KITCHENS RECEPTACLES) MUST BE GFCI-PROTECTED.
- PER NEC SECTION 408.8(B)(1) 15A & 20A RECEPTACLES IN A WET LOCATION MUST BE WITHIN AN ENCLOSURE THAT IS WEATHERPROOF WHEN AN ATTACHMENT IS PLUGGED IN AND ALL NON-LOCKING RECEPTACLES SHALL BE LISTED AS WEATHER RESISTANT.
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- ALL TASK AND ACCENT LIGHTING AT CABINETS (ABOVE, BELOW, AND INSIDE) TO BE LED.
- ALL STRIP FIXTURE (SUCH AS IN GARAGE) SHALL BE LED TYPE LIGHTING.
- VERIFY LIGHTING COLOR OF LED FIXTURE (COOL, DAYLIGHT, ETC) WITH OWNER PRIOR TO INSTALLATION.
- VERIFY WIRELESS DATA REQUIREMENTS WITH OWNER AND LOCATION/NUMBER OF WIRELESS ACCESS POINTS.
- ALL HANGING FIXTURE, RECESSED LIGHTING, CEILING MOUNTED LIGHTS, AND SCENES TO BE ON DIMMERS. VERIFY ALL SWITCHING REQUIREMENTS PRIOR TO INSTALLATION
- WALL MOUNT TV PACKAGE TO HAVE HDMI CABLE, (1) DUPLEX RECP, (1) CAT 5, (1) R68 & PLYWOOD BACKING.
- VERIFY REQUIREMENT FOR EXTERIOR RECEPTACLES OR LIGHTING AT LANDSCAPING. VERIFY LOCATION OF SWITCHING (IF REQUIRED) WITH OWNER.
- ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO AC EQUIPMENT, WATER HEATERS, RECEPTACLES, SWITCHES, LIGHTING, PANELS, AND TIMERS TO BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION OF 11.00' NAVD.
- PER FEMA TECH BULLETIN #9 - UTILITIES, INCLUDING ELECTRICAL WIRING, BREAKER BOXES, POWER METERS, PLUMBING, CONDUITS, AND VENTILATION DUCTS, SHALL NOT BE PLACED IN OR ATTACHED TO BREAKAWAY WALL PANELS. BUILDING SUPPLY LINES AND OTHER UTILITY FIXTURES, SUCH AS LIGHT SWITCHES OR ELECTRICAL OUTLETS, MAY BE ATTACHED TO THE SHELTERED SIDE OF VERTICAL FOUNDATION MEMBERS AS ALLOWED BY APPLICABLE BUILDING CODES AND FLOODPLAIN MANAGEMENT REGULATIONS (WHICH GENERALLY REQUIRE THAT UTILITIES BE ELEVATED ABOVE THE BFE). IF UTILITY LINES MUST BE ROUTED INTO OR OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE CONSTRUCTED WITH A UTILITY BLOCKOUT (SEE FIGURES 13 AND 14). UTILITY LINES THAT PASS THROUGH THE BLOCKOUT SHALL BE INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF THE WALL PANELS BREAK AWAY.

ELECTRICAL SYMBOL KEY

LIGHT FIXTURES	
	CEILING SURFACE MOUNT LIGHT
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	6" RECESSED CAN LIGHT WATERPROOF
	6" RECESSED CAN LIGHT - WALL WASH
	4" Ø OR 4" SQ RECESSED JUNCTION BOX FOR HANGING FIXT.
	CEILING (RECESSED) MNTD EXHAUST FAN - 12x12 HOUSING
	WALL MNTD JUNCTION BOX FOR SCONCE
	WALL MOUNT LIGHT
	4" RECESSED CAN LIGHT - VAPOR PROOF
	24" SURFACE MOUNTED FLUORESCENT LIGHT
	FLOOD LIGHTS (SINGLE OR MULTIPLE)
	CEILING FAN ONLY
	CEILING FAN / LIGHT COMBINATION
	48" SURFACE MOUNTED FLUORESCENT LIGHT
OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	WEATHERPROOF GFI OUTLET
	WEATHERPROOF 1/2 HOT DUPLEX OUTLET
	220V OUTLET
	USB OUTLET
	COUNTER HEIGHT GFI OUTLET
	QUAD DUPLEX OUTLET
	TELEPHONE OUTLET
	DATA (NETWORK) OUTLET
	SPECIAL PURPOSE OR DEDICATED CIRCUIT
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
MISC FIXTURES	
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR
	SURFACE MOUNTED SMOKE DETECTOR
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR COMBINATION
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON

2ND FLOOR PLAN ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"

GIBSON RESIDENCE ADDITION
549 CUTLER LANE
LONGBOAT KEY, FL

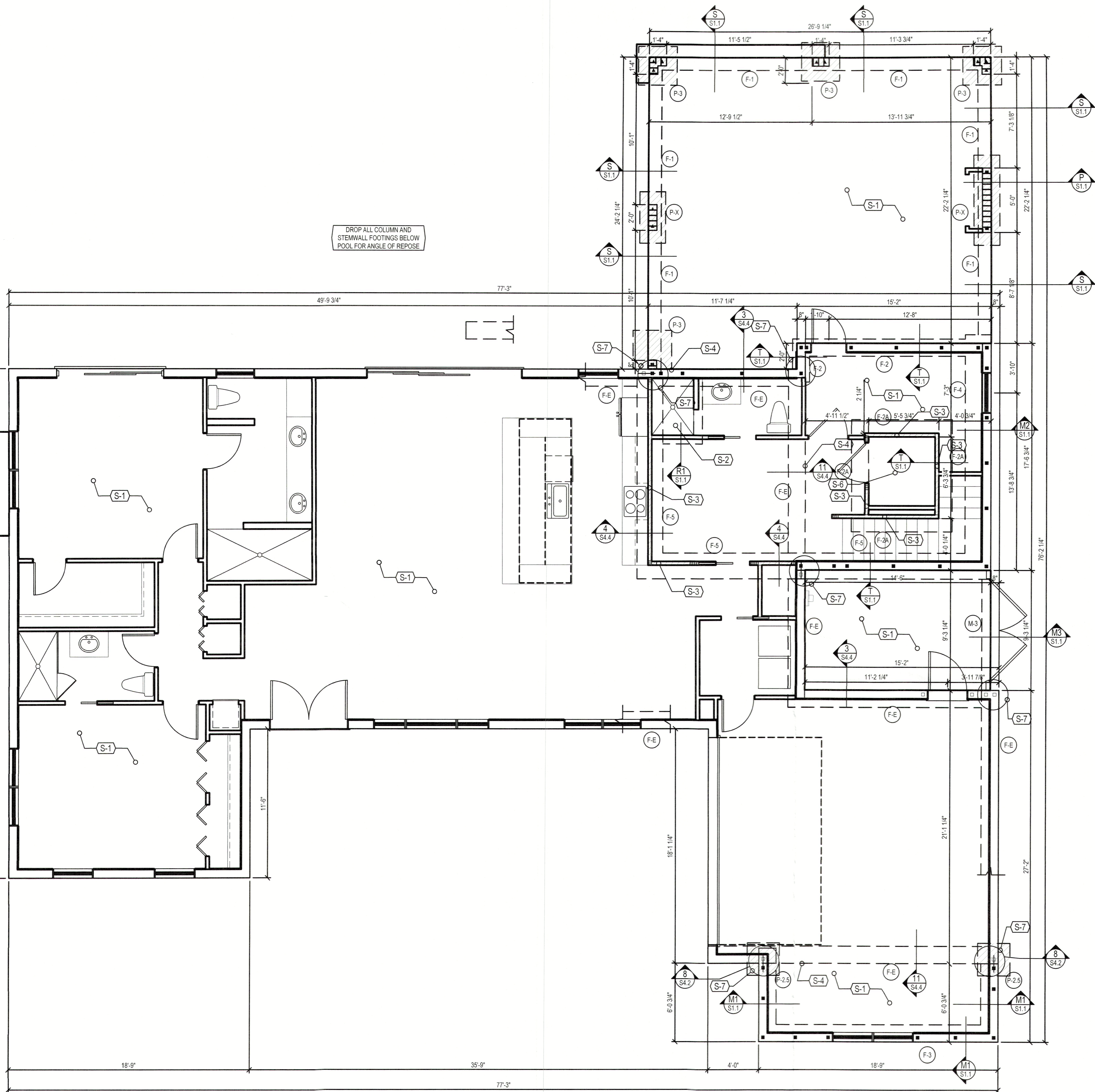
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05.19.23

FLOOR PLAN

SHEET NUMBER
E2

DROP ALL COLUMN AND STEMWALL FOOTINGS BELOW POOL FOR ANGLE OF REPOSE



RETROFIT NOTES

1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR ARE TO BE REPLACED OR RETROFITTED AS SHOWN.
2. SHORING SHALL BE PER OSHA STD. 1926 - BY OTHERS.
3. EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
4. NOTIFY EOR IF EXISTING STRUCTURAL ELEMENTS VARY FROM WHAT IS SHOWN ON PLANS.
5. NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR DIMENSIONAL DISCREPANCIES.
6. NOTIFY EOR OF ANY ADDITIONAL AREAS IN NEED OF REPAIR NOT ALREADY SHOWN ON PLAN.
7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

FOUNDATION NOTES

1. DO NOT SCALE FOOTING SIZE FROM PLAN.
2. SEE FOUNDATION / STEMWALL SECTIONS ON SHEET S1.1 FOR SIZES.
3. ISOLATED PAD FOOTINGS AND MONOLITHIC FOOTINGS CAN BE POURED INTEGRALLY, BOTTOMS AT THE SAME ELEVATION.
4. REFER TO DETAIL ON SHEET S1.1 FOR SHOWER RECESS REQUIREMENTS.
5. USE BORA-CARE FOR TERMITE PROTECTION IN ACCORDANCE WITH FBC SECTION R218.
6. MOISTURE PROTECTION BY OTHERS.
7. TOP OF ALL FOUNDATIONS SHALL BE A MINIMUM OF 6" BELOW ADJACENT GRADE / PAVERS / SLAB.

DIMENSION NOTES

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

CONCRETE SLAB NOTES

1. 4" THICK, 3000 PSI CONCRETE SLAB WITH STEEL TROWEL FINISH WITH FIBER ADDITIVE ON 6 MIL PLASTIC VAPOR BARRIER, LAPPED 6" AND TAPED ON CLEAN COMPACTED FILL.
2. REFER TO SHEET S4.0 'GENERAL NOTES' FOR COMPACTION REQUIREMENTS.

FILLED CELLS LEGEND

- INDICATES FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (2) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES EXISTING FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/SIMPSON SET-EPOXY.

STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	SLAB ON GRADE: 4" CONCRETE SLAB W/ FIBERMESH SLOPE TO DRAIN AS REQ'D.
S-2	SLAB: RECESS SLAB 4" AT SHOWER REFER TO DETAIL ON SHEET S1.1
S-3	LOAD BEARING WALL: ATTACH PT. BOTTOM PLATE TO FOOTING WITH 5/8" x 6" TITEN HDs AT 12" OR 16" O.C. MIN. (2) PER WALL SEGMENT
S-4	SLAB CONNECTION-DRILL & EPOXY #5 REBAR 6" INTO EXISTING STEMWALL SLAB W/SIMPSON SET EPOXY 12" FROM EDGE & MAX 24" O.C. EXTEND 6" INTO NEW SLAB
S-5	FOOTING: INCREASE FOOTING WIDTH MIN. 6" PAST CMU ON EACH SIDE W/ (1) #5 REBAR AT 8" O.C. EACH WAY, BOTTOM
S-6	RECESS ELEVATOR PIT SLAB PER MANUF. SPECS, DROP STEMWALL FOOTINGS AS REQUIRED
S-7	EXTEND REBAR FROM NEW FOOTING DRILL & EPOXY 6" INTO EXIST. FTG. W/SIMPSON SET-EPOXY.

WALL FOOTING SCHEDULE

MARK	SIZE / TYPE	REINFORCING	REMARKS
F-1	8"H x 12"W MONO FTG.	(2) #5s CONT.	REFER TO DETAIL S ON SHEET S1.1
F-2	20"H x 16"W THICK. EDGE	(2) #5s CONT.	REFER TO DETAIL T1 ON SHEET S1.1
F-2A	20"H x 16"W W/ STEEP FOR RECESS	(2) #5s CONT.	REFER TO DETAIL T1 ON SHEET S1.1
F-3	20"H x 16"W MONO FTG.	(2) #5s CONT.	REFER TO DETAIL M1 ON SHEET S1.1
F-4	20"H x 24"W MONO FTG.	(3) #5s CONT.	REFER TO DETAIL M2 ON SHEET S1.1
F-5	20"H x 24"W THICK. EDGE	(3) #5s CONT.	REFER TO DETAIL T, 4 ON SHEET S1.1, S4.4.
F-E	16"x16" EXISTING MONO FTG. (TO BE VERIFIED BY GC)	-	-

PAD FOOTING SCHEDULE

MARK	SIZE	REINFORCING	REMARKS
P-2	24" x 24" x 12" PAD	(3) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1
P-2.5	30" x 30" x 12" PAD	(3) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1
P-3	36" x 36" x 12" PAD	(5) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1
P-X	24"Wx12"D PAD - EXTEND 12" BEYOND CMU	(3) #5 LONG. REBAR & #5 TRAN REBAR AT 8" O.C.	SEE PAD FOOTING DETAIL ON S1.1

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 549 CUTTER LANE, LONGBOAT KEY, FL

FOUNDATION PLAN
 1/4" = 1' - 0"

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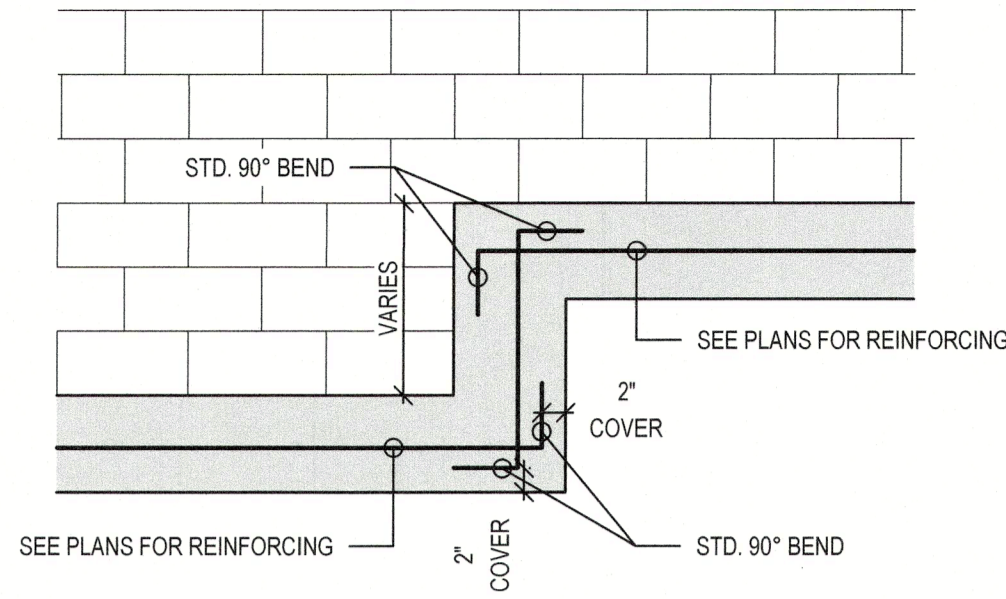
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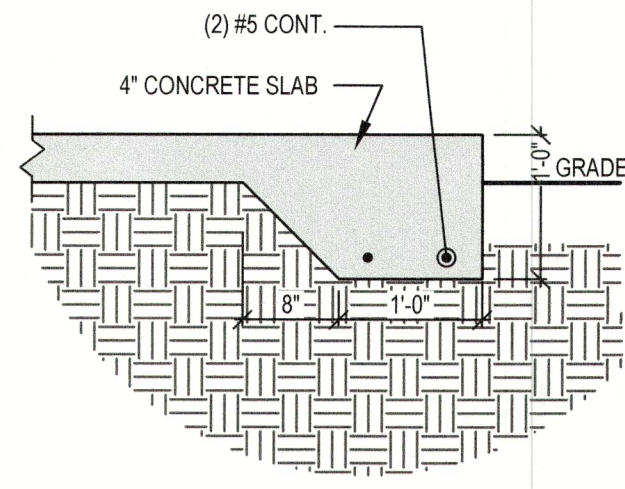
6771 Professional Parkway West
 Suite #201 - Lakewood Ranch, FL 34240
 www.YHEngineers.com Tel (941) 506-1225

JODY D. YOUNG, P.E.
 FLEP# 70781



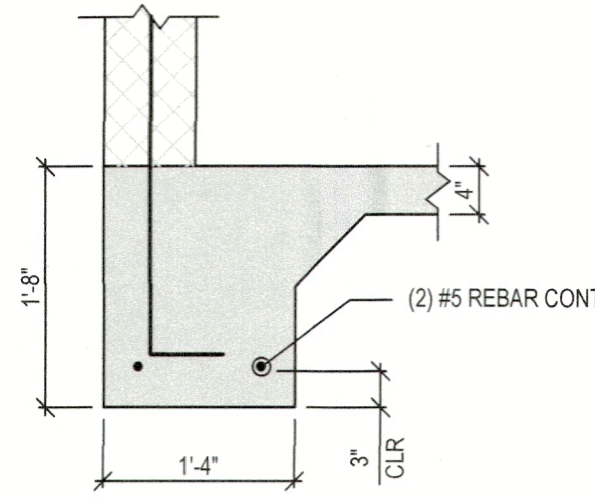
FOOTER STEP DETAIL, TYPICAL

1/2" = 1' - 0"

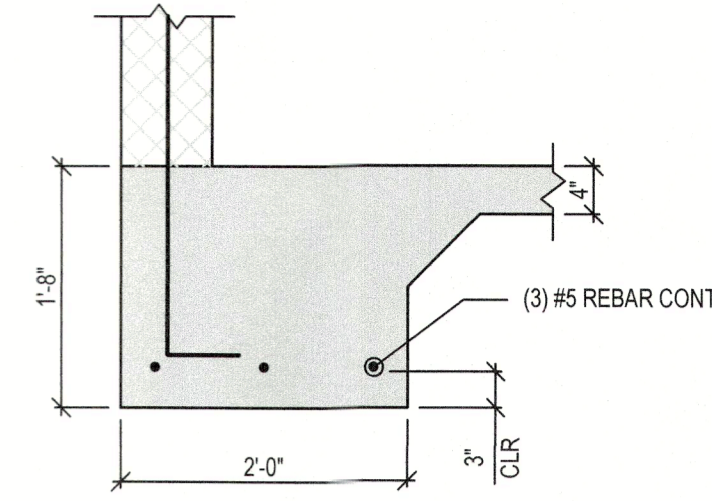


S SLAB EDGE

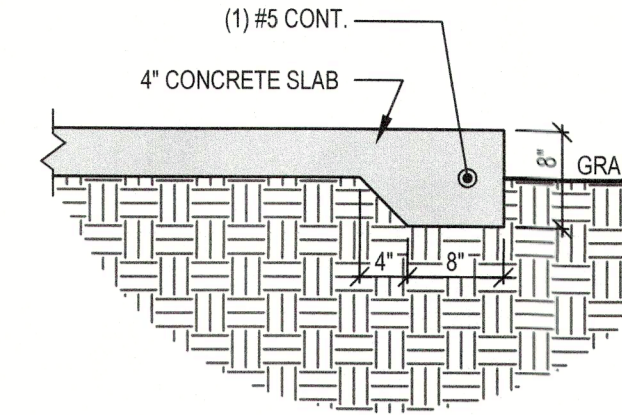
NTS



M1

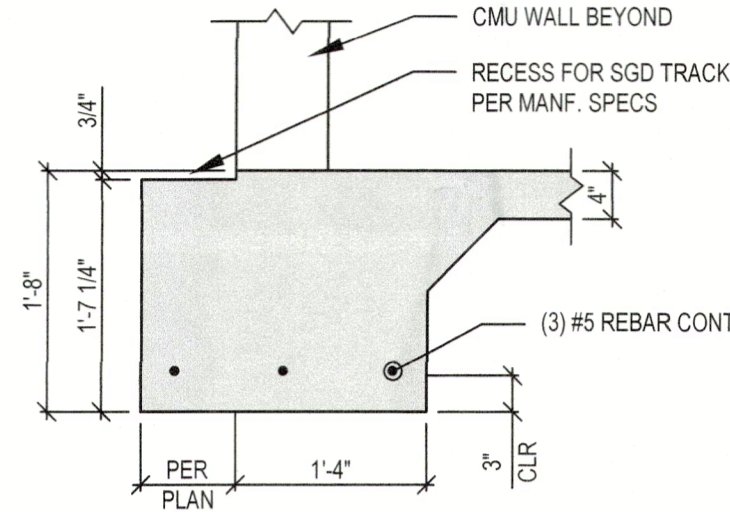


M2

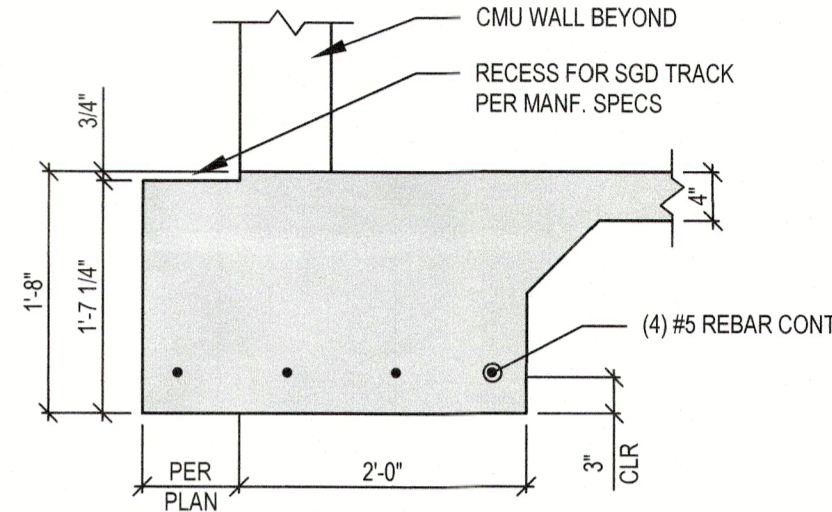


M3 SLAB EDGE - EQUIPMENT PAD

3/4" = 1' - 0"



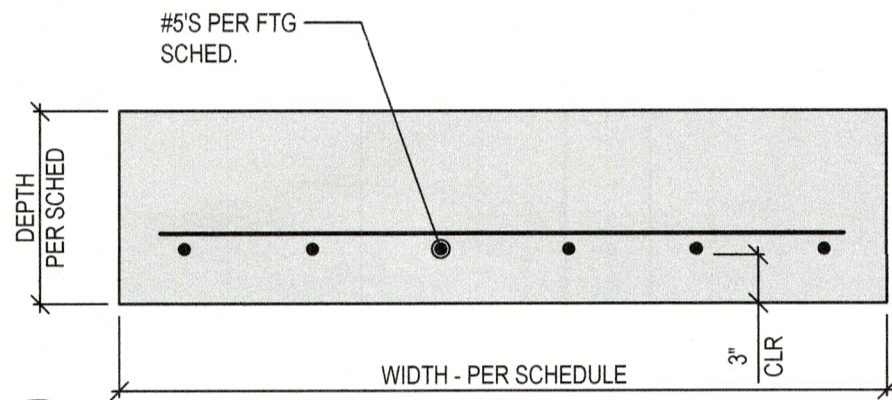
M1A



M2A

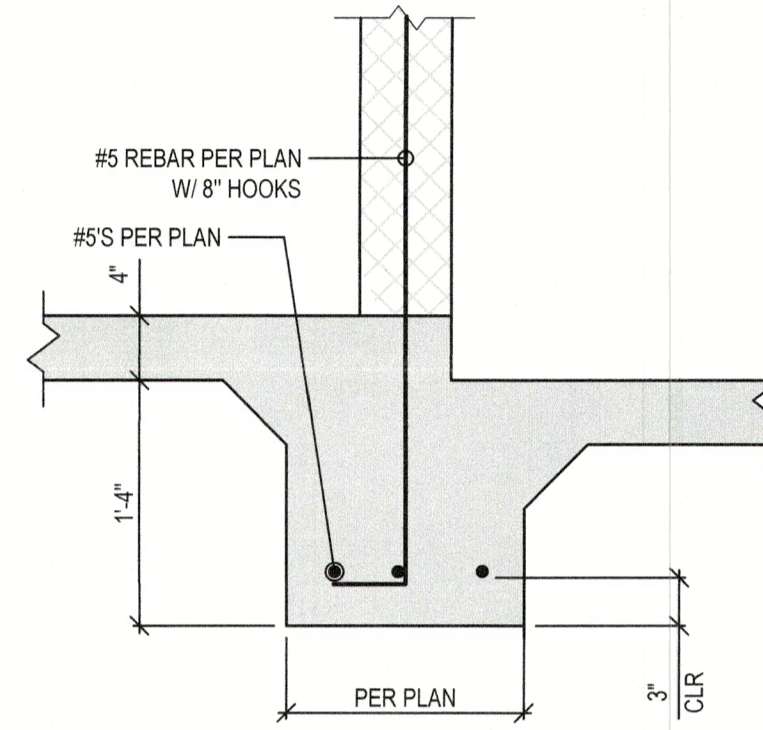
MONO FOOTING SECTIONS

3/4" = 1' - 0"



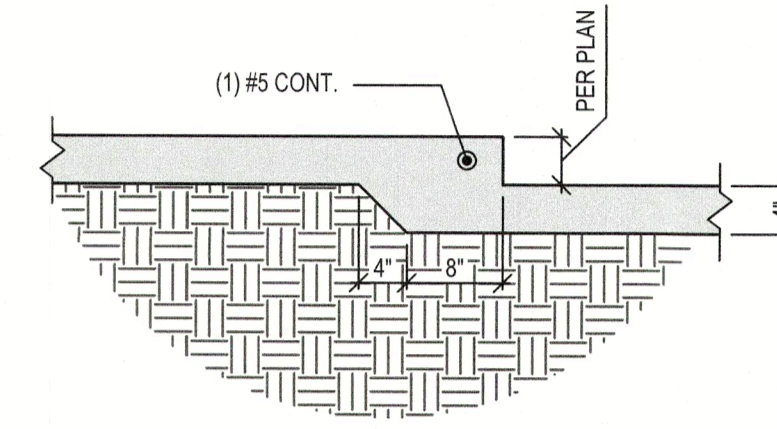
P PAD FOOTING, TYP.

NTS



T THICKENED SLAB FOOTING, TYP.

NTS



R1 SLAB RECESS - SHOWER

3/4" = 1' - 0"

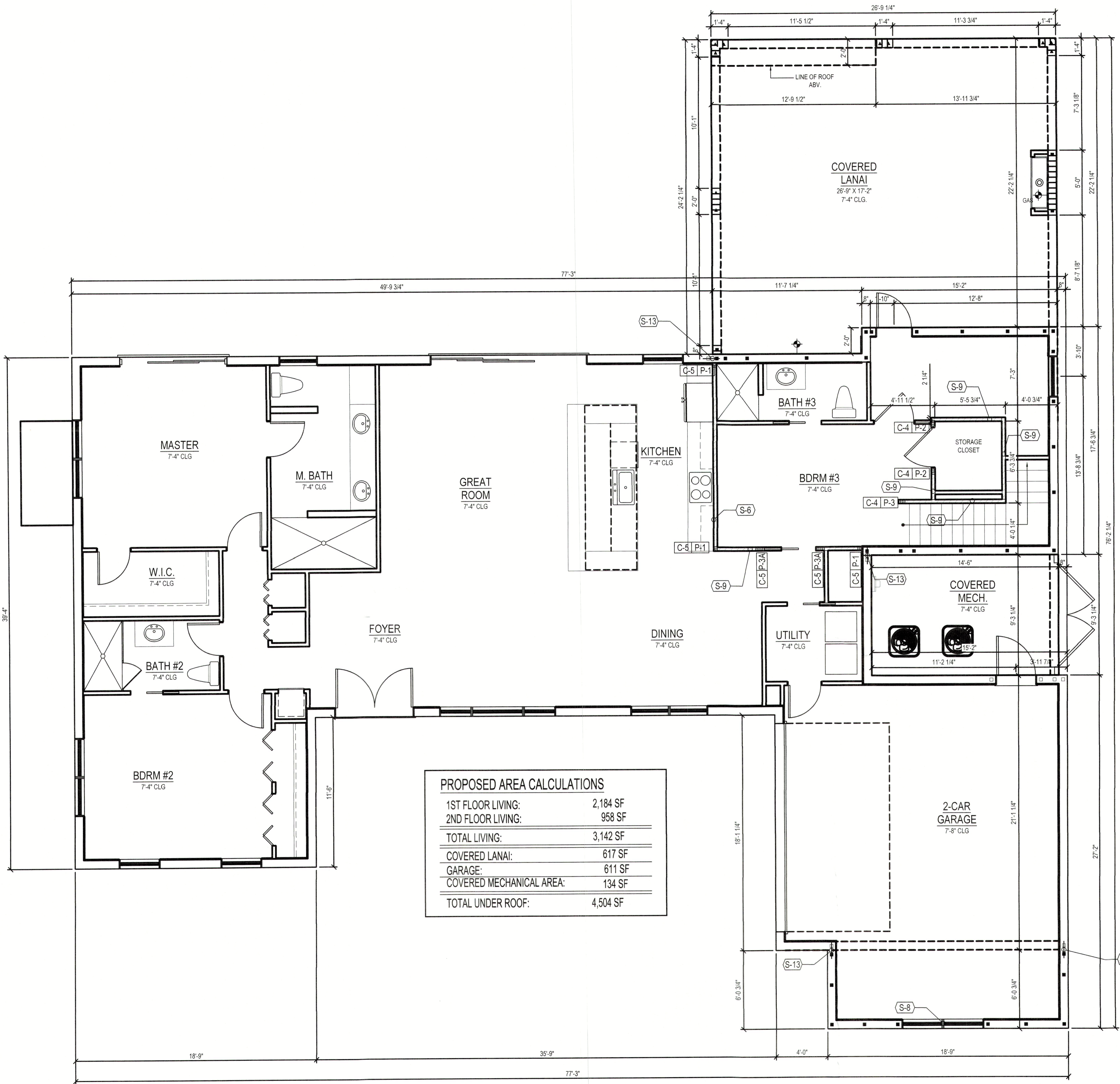
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FOUNDATION PLAN
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PROPOSED AREA CALCULATIONS	
1ST FLOOR LIVING:	2,184 SF
2ND FLOOR LIVING:	958 SF
TOTAL LIVING:	3,142 SF
COVERED LANAI:	617 SF
GARAGE:	611 SF
COVERED MECHANICAL AREA:	134 SF
TOTAL UNDER ROOF:	4,504 SF

RETROFIT NOTES

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- SHORING SHALL BE PER OSHA STD. 1926 - BY OTHERS.
- EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
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- NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR DIMENSIONAL DISCREPANCIES.
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- ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIMENSION NOTES

- SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

FILLED CELLS LEGEND

- INDICATES FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (2) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES EXISTING FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/ SIMPSON SET-EPOXY.

POST SCHEDULE

MARK	DESCRIPTION
P-1	(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-2	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L JACK STUD MATCH WALL THICKNESS
P-3	(3) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-3A	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L (2) 2 x JACK STUD MATCH WALL THICKNESS

CONNECTOR SCHEDULE

MARK	DESCRIPTION
C-1	(1) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW
C-2	(2) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW
C-3	(2) SIMPSON CS16 TO BEAM/WALL BELOW
C-4	(1) SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 4" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=1310#)
C-5	(1) SIMPSON HTT4 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=3810#)

STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	MASONRY WALL: (1) NO. 5 REBAR CONT. IN FULLY GROUTED COURSE AT TOP OF WALL
S-2	MASONRY WALL: (1) NO. 5 REBAR CONT. IN FULLY GROUTED COURSE BELOW SILL. EXTEND 24" BEYOND OPENING OR TO END OF WALL
S-3	MASONRY WALL: CMU BUMP-OUT SHALL BE INTEGRAL WITH ADJACENT MASONRY
S-4	MASONRY WALL: FILL ALL CELLS
S-5	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF
S-6	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7" - 4" AFF
S-7	WOOD POST: BEAR DIRECTLY ON CONCRETE SLAB OR STEEL SHIM. PROVIDE MOISTURE PROTECTION AS REQUIRED.
S-8	NON-BEARING MULLIONS BY WINDOW MANF.
S-9	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7" - 4" AFF
S-10	BALLOON FRAME WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT.
S-11	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF
S-12	LOAD BEARING WALL: 2x8 SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF
S-13	NO. 5 HORIZONTAL DOWELS DRILL & EPOXY 4" INTO EXIST. FILLED CELL W/ SET EPOXY HOOK 8" INTO NEW CELL, SPACE 16" O.C.

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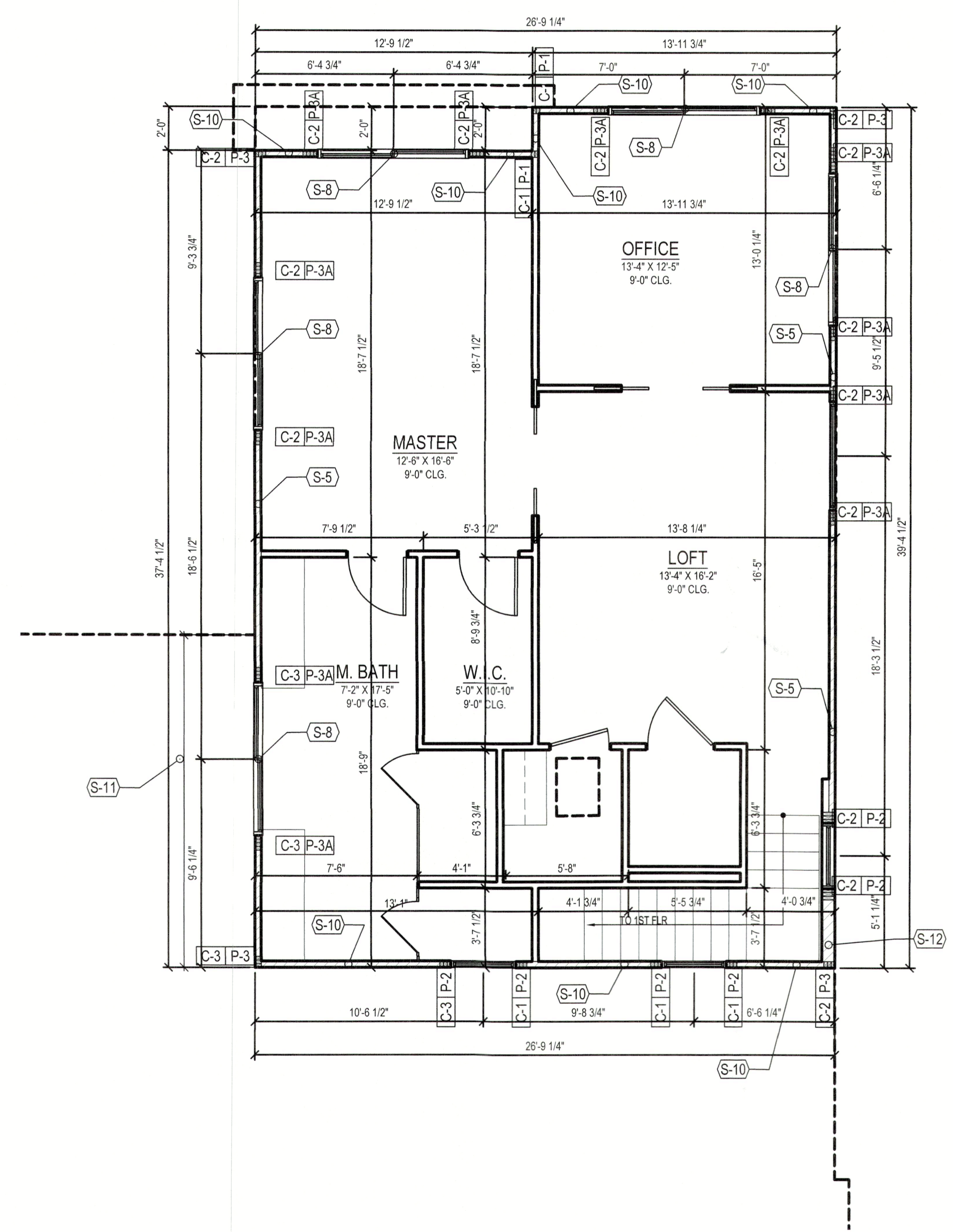
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DIMENSION NOTES

- SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.



FILLED CELLS LEGEND

	INDICATES FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 6" HOOKS
	INDICATES FILLED CELL w/ (2) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 6" HOOKS
	INDICATES EXISTING FILLED CELL w/ (1) NO. 5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/SIMPSON SET-EPOXY.

POST SCHEDULE

MARK	DESCRIPTION
P-1	(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-2	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L JACK STUD MATCH WALL THICKNESS
P-3	(3) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-3A	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L (2) 2 x JACK STUD MATCH WALL THICKNESS

CONNECTOR SCHEDULE

MARK	DESCRIPTION
C-1	(1) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW
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C-3	(2) SIMPSON CS16 TO BEAM/WALL BELOW
C-4	(1) SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 4" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T-1310#)
C-5	(1) SIMPSON HTT4 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T-3810#)

STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	MASONRY WALL: (1) NO. 5 REBAR CONT. IN FULLY GROUTED COURSE AT TOP OF WALL.
S-2	MASONRY WALL: (1) NO. 5 REBAR CONT. IN FULLY GROUTED COURSE BELOW SILL. EXTEND 24" BEYOND OPENING OR TO END OF WALL.
S-3	MASONRY WALL: CMU BUMP-OUT SHALL BE INTEGRAL WITH ADJACENT MASONRY.
S-4	MASONRY WALL: FILL ALL CELLS.
S-5	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF.
S-6	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7" - 4" AFF.
S-7	WOOD POST: BEAR DIRECTLY ON CONCRETE SLAB OR STEEL SHIM. PROVIDE MOISTURE PROTECTION AS REQUIRED.
S-8	NON-BEARING MULLIONS BY WINDOW MANF.
S-9	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7" - 4" AFF.
S-10	BALLOON FRAME WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT.
S-11	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF.
S-12	LOAD BEARING WALL: 2x8 SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18" - 0" AFF.
S-13	NO. 5 HORIZONTAL DOWELS DRILL & EPOXY 4" INTO EXIST. FILLED CELL W/ SET EPOXY HOOK 6" INTO NEW CELL. SPACE 16" O.C.

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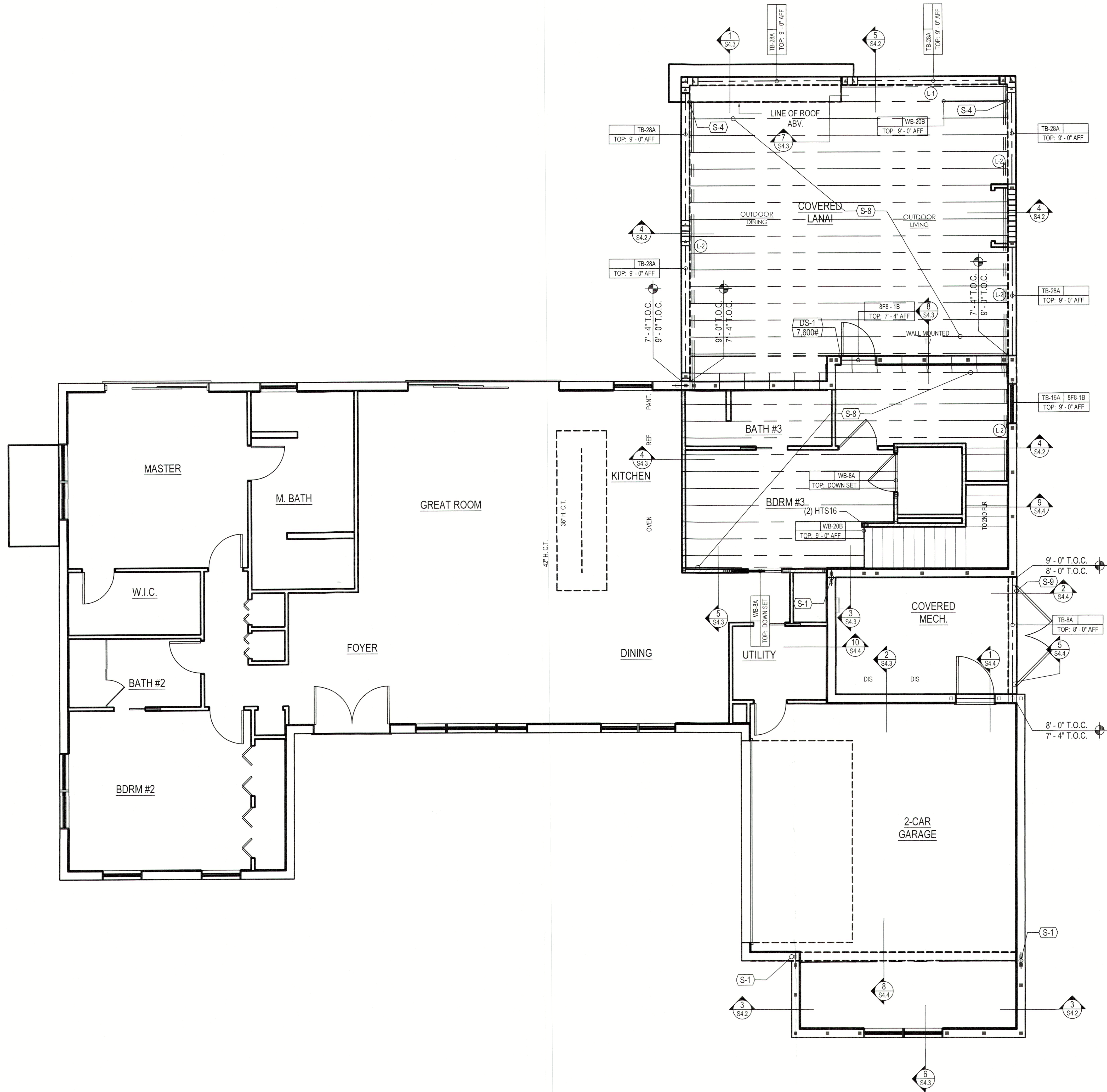
STRUCTURAL FLOOR PLAN
 1/4" = 1' - 0"

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DRAG STRUT SCHEDULE

MARK	DESCRIPTION
DS-1	WIND DRAG STRUT TRUSS TO TRANSFER 7,600# FROM ROOF DIAPHRAGM TO CMU WALL BELOW 1. ALIGN DRAG STRUT WITH THE OUTSIDE OF CMU WALL. 2. ATTACH TRUSS BOTTOM CHORD TO WALL WITH (10) SIMPSON MASA AT 18" O.C. MIN. 3. NAIL ROOF SHEATHING ABOVE WITH 10d RING-SHANK NAILS AT 4" O.C. 4. INSTALL ADDITIONAL TIE-DOWNS FOR UPLIFT AS REQUIRED.

GENERAL NOTES

- FILL ALL CELLS ABOVE PRECAST LINTELS.
- STUB RAISED HEEL ROOF TRUSSES BACK 3/4" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
- STUB FLOOR TRUSSES BACK 2-1/2" FOR RIMBOARD, PLYWOOD AND STUCCO.
- ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
- SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

DIMENSION NOTES

- SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

CONCRETE BEAM SCHEDULE

MARK	DESCRIPTION	TYPE
8F8-1B	8" x 8" PRECAST LINTEL BY CAST-CRETE (1) NO. 5 REBAR	1
TB-8A	8" x 8" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM	2
TB-16A	8" x 16" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM	2
TB-28A	8" x 28" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, MIDDLE (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 10" O.C.	3

TYPE 1	TYPE 2	TYPE 3

STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	VERIFY EXISTING FILLED CELL #5 EMBED 4" INTO EXISTING @ 24" O.C. WITH SIMPSON SET EPOXY EXTEND 4" INTO NEW BLOCK. NOTIFY EOR IF FILED CONDITIONS VARY
S-2	NON-BEARING WALL: PROVIDE SIMPSON HTC AT EACH TRUSS OR BLOCKING AT 24" O.C. TO DOUBLE TOP PLATE
S-3	TIE BEAM: REFER TO TIE-BEAM STEP DETAIL ON SHEET S4.1
S-4	HANGER: SIMPSON HUC410(MAX) WITH (18) 1/4" x 1-3/4" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1-1/2" FASTENER EDGE DISTANCE
S-5	MASONRY WALL: PROVIDE #5 AT 48" O.C. ABOVE LINTEL AND TIE BEAM
S-6	ATTACH EACH ROOF TRUSS TO TOP OF WOOD WALL W/SIMPSON H10A - INSTALL ONE TIE ON EACH TRUSS U.N.O.
S-7	COMBINATION ROOF/FLOOR TRUSS - TRUSS CO. TO LOAD THE INDICATED TRUSS WITH 2ND FLOOR ROOF LOAD.
S-8	20" HIGH PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. TOP AT 9'-0" AFF
S-9	DROPPED TOP CHORD GABLE END TRUSSES

WOOD BEAM SCHEDULE

MARK	DESCRIPTION	TYPE
WB-8A	(2) 1-3/4" x 7-1/4" 2.0E MICROLAM LVL	2
WB-10A	(2) 2x10 SYP NO. 2 WOOD BEAM W/ 1/2" CDX PLYWOOD FLITCH PLATES	1
WB-10B	(2) 1-3/4" x 9-1/4" 2.0E MICROLAM LVL	1
WB-10C	(4) 2x10 SYP NO. 2 WOOD BEAM W/ (3) 1/2" CDX PLYWOOD FLITCH PLATES	1
WB-20B	20" PRE-ENGINEERED WOOD GIRDER TRUSS BY TRUSS MANF.	3

TYPE 1	TYPE 2	TYPE 3

- NOTES:
- TYPE 1 BEAMS - NAIL (2) PLY BEAMS TOGETHER WITH (2) ROWS OF 12d NAILS AT 12" O.C. ADD ADD'L SYP PILES AND FLITCH PLATES AS REQ'D TO MATCH WALL THICKNESS
 - TYPE 2 BEAMS - REFER TO SHEET S4.0 FOR LVL NAILING / BOLTING PATTERNS.
 - TYPE 3 BEAMS - ATTACHMENT OF WOOD GIRDERS PER TRUSS MANUFACTURER.

LEDGER SCHEDULE

MARK	DESCRIPTION
L-1	1-2x8 PT LEDGER SEE TRUSS PARALLEL TO LEDGER DETAIL
L-2	2-2x8 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL
R-1	20" TRUSS OR LVL RIM BOARD BY TRUSS CO., 300 PLF WIND LOAD.

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 STRUCTURAL ENGINEERING
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ROOF FRAMING PLAN
 1/4" = 1' - 0"

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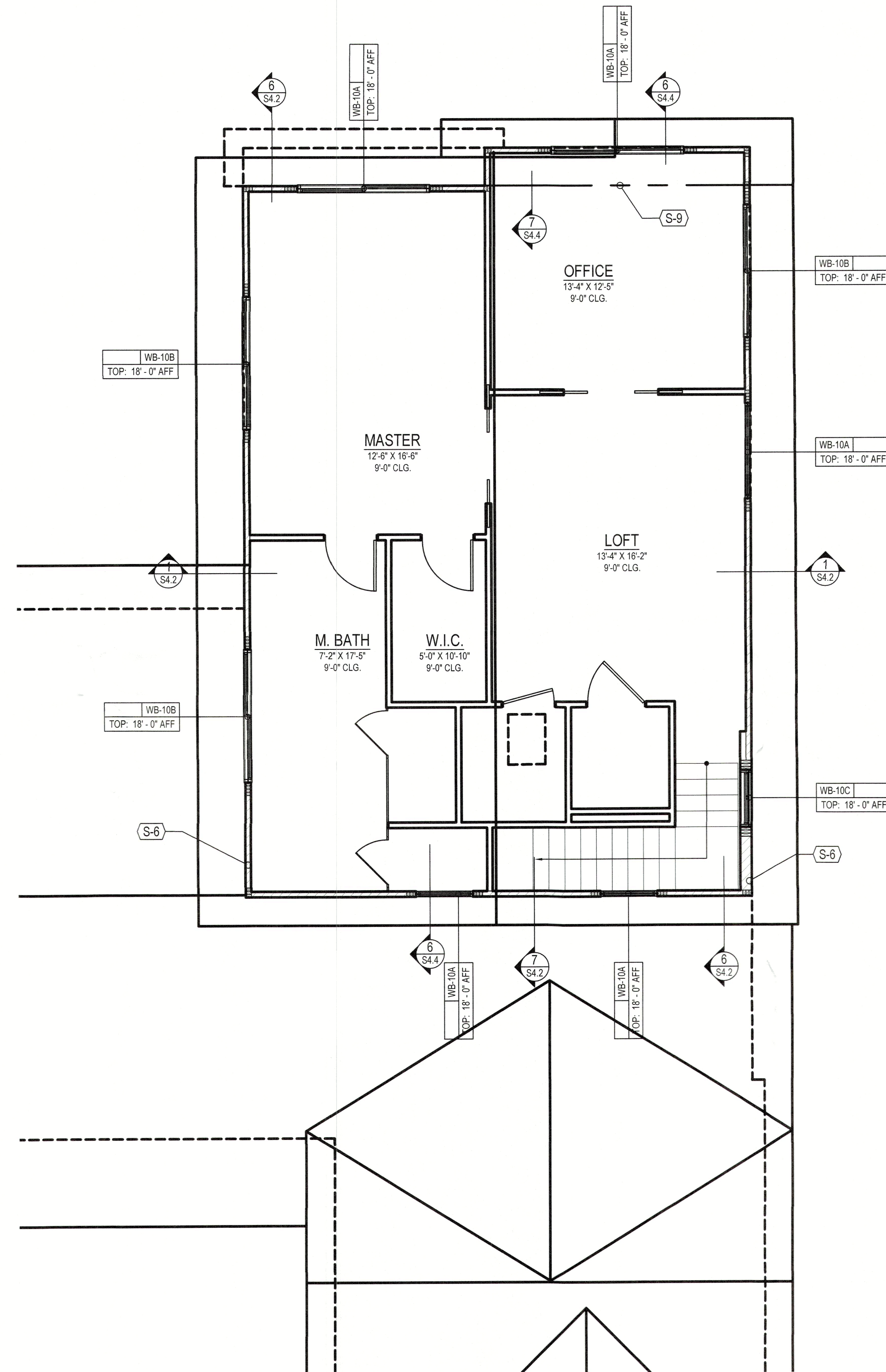
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7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL NOTES

1. FILL ALL CELLS ABOVE PRECAST LINTELS.
2. STUB RAISED HEEL ROOF TRUSSES BACK 3/4" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
3. STUB FLOOR TRUSSES BACK 2-1/2" FOR RIMBOARD, PLYWOOD AND STUCCO.
4. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
5. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

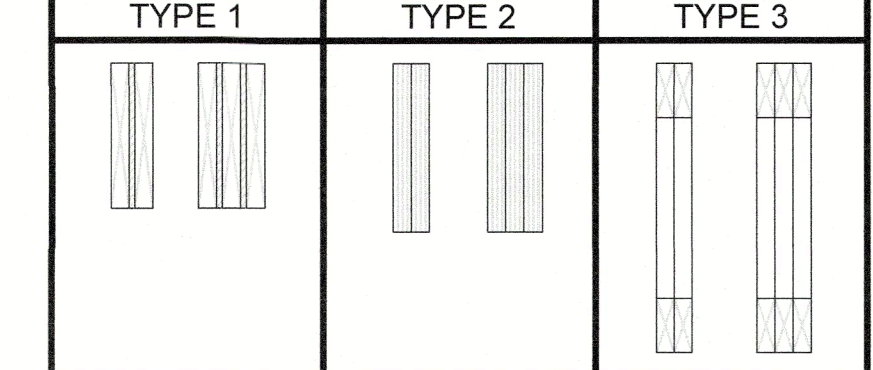
DIMENSION NOTES

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.



WOOD BEAM SCHEDULE

MARK	DESCRIPTION	TYPE
WB-8A	(2) 1-3/4" x 7-1/4" 2.0E MICROLAM LVL	2
WB-10A	(2) 2x10 SYP NO 2 WOOD BEAM W/ 1/2" CDX PLYWOOD FLITCH PLATES	1
WB-10B	(2) 1-3/4" x 9-1/4" 2.0E MICROLAM LVL	1
WB-10C	(4) 2x10 SYP NO 2 WOOD BEAM W/ (3) 1/2" CDX PLYWOOD FLITCH PLATES	1
WB-20B	20" PRE-ENGINEERED WOOD GIRDER TRUSS BY TRUSS MANF.	3



- NOTES:
1. TYPE 1 BEAMS - NAIL (2) PLY BEAMS TOGETHER WITH (2) ROWS OF 12d NAILS AT 12" O.C. ADD ADD'L SYP PLYS AND FLITCH PLATES AS REQ'D TO MATCH WALL THICKNESS
 2. TYPE 2 BEAMS - REFER TO SHEET S4.0 FOR LVL NAILING / BOLTING PATTERNS.
 3. TYPE 3 BEAMS - ATTACHMENT OF WOOD GIRDERS PER TRUSS MANUFACTURER.

STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	VERIFY EXISTING FILLED CELL #5 EMBED 4" INTO EXISTING @ 24" O.C. WITH SIMPSON SET EPOXY EXTEND 4" INTO NEW BLOCK. NOTIFY EOR IF FILED CONDITIONS VARY
S-2	NON-BEARING WALL: PROVIDE SIMPSON HTC AT EACH TRUSS OR BLOCKING AT 24" O.C. TO DOUBLE TOP PLATE
S-3	TIE BEAM: REFER TO TIE-BEAM STEP DETAIL ON SHEET S4.1
S-4	HANGER: SIMPSON HUC110(MAX) WITH (18) 1/4" x 1-3/4" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1-1/2" FASTENER EDGE DISTANCE
S-5	MASONRY WALL: PROVIDE #5 AT 48" O.C. ABOVE LINTEL TO RAKE TIE BEAM. PROVIDE HOOK AT LINTEL AND TIE BEAM
S-6	ATTACH EACH ROOF TRUSS TO TOP OF WOOD WALL W/ SIMPSON H10A - INSTALL ONE TIE ON EACH TRUSS U.N.O.
S-7	COMBINATION ROOF/FLOOR TRUSS - TRUSS CO. TO LOAD THE INDICATED TRUSS WITH 2ND FLOOR ROOF LOAD.
S-8	20" HIGH PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. TOP AT 9' - 0" AFF
S-9	DROPPED TOP CHORD GABLE END TRUSSES

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 549 CUTTER LANE, LONGBOAT KEY, FL

ROOF FRAMING PLAN
 1/4" = 1' - 0"

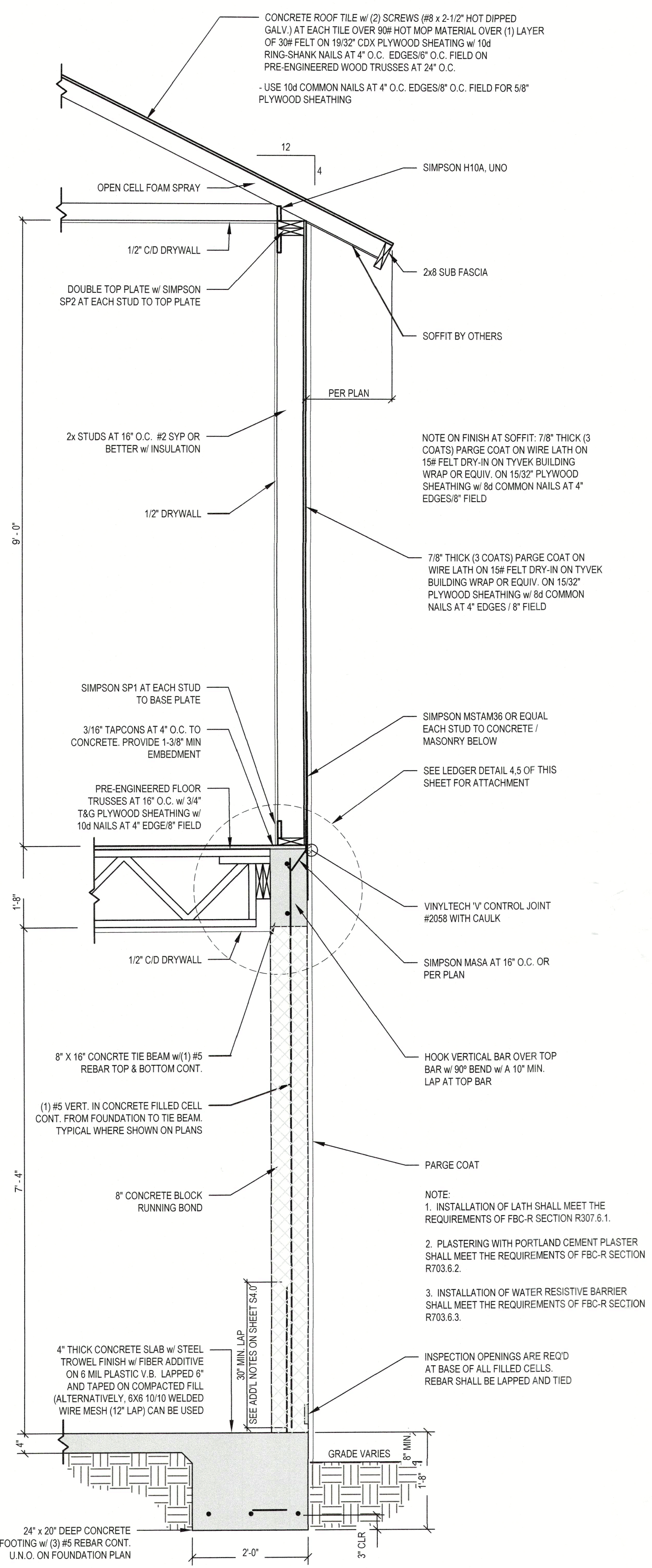
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BY	DATE
NPM	03.21.2023

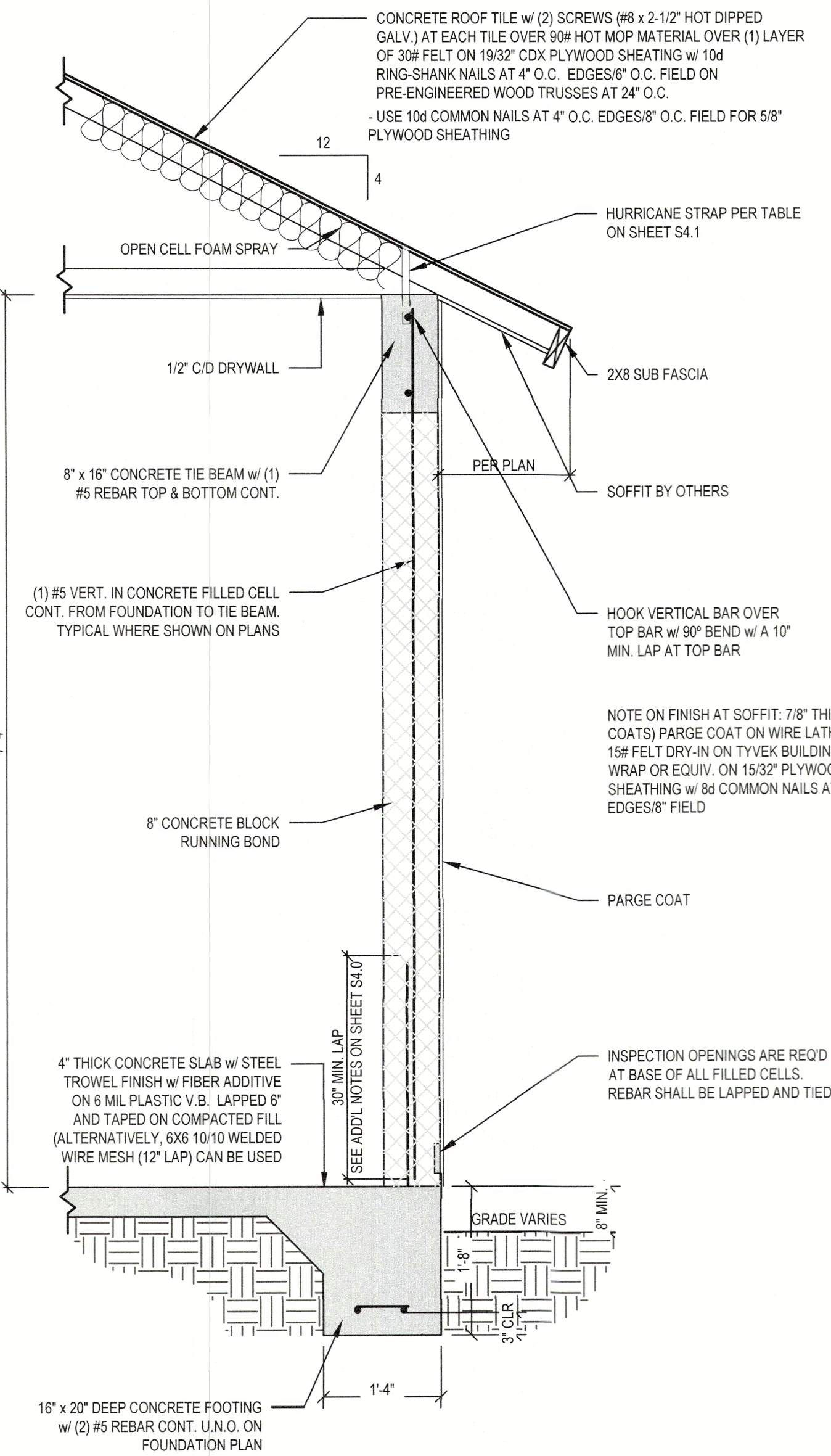
S3.1

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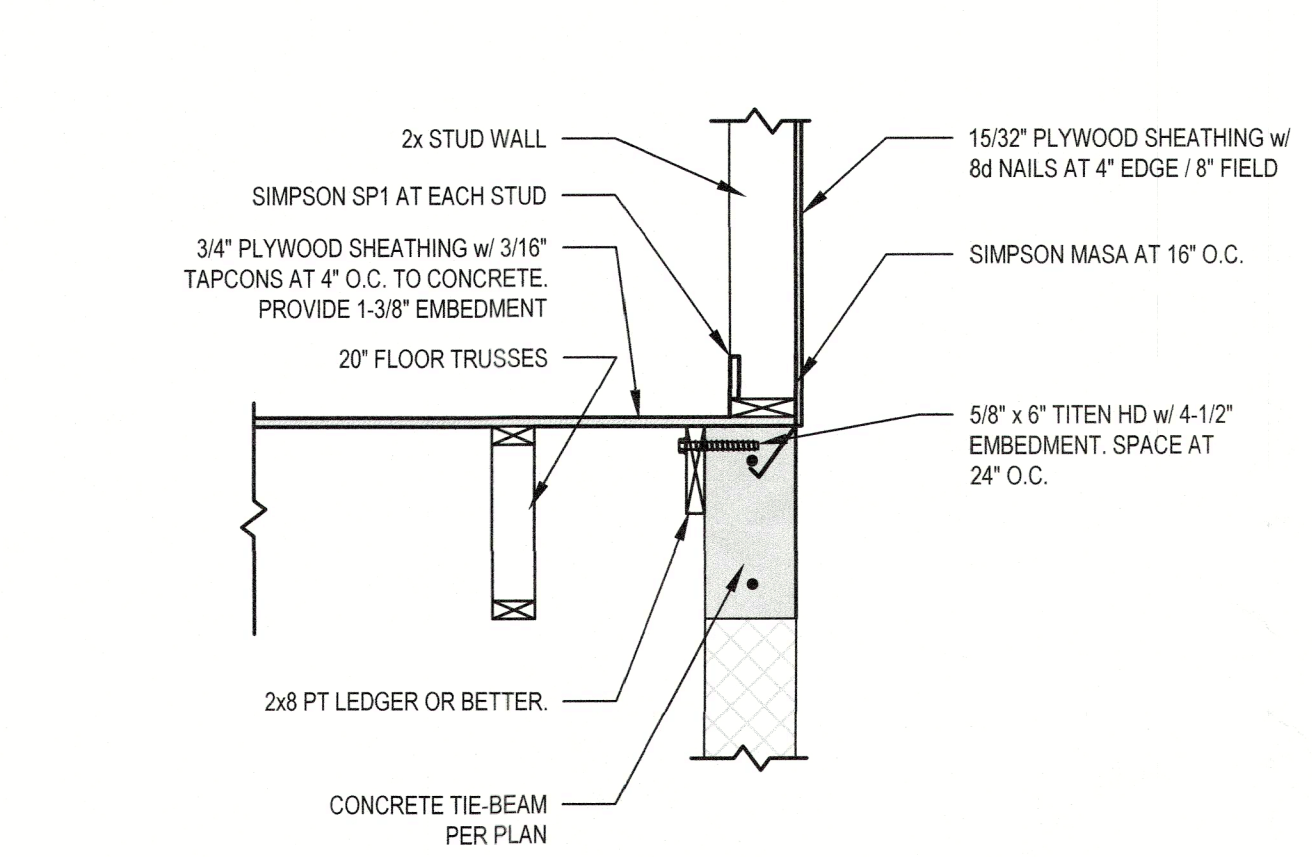
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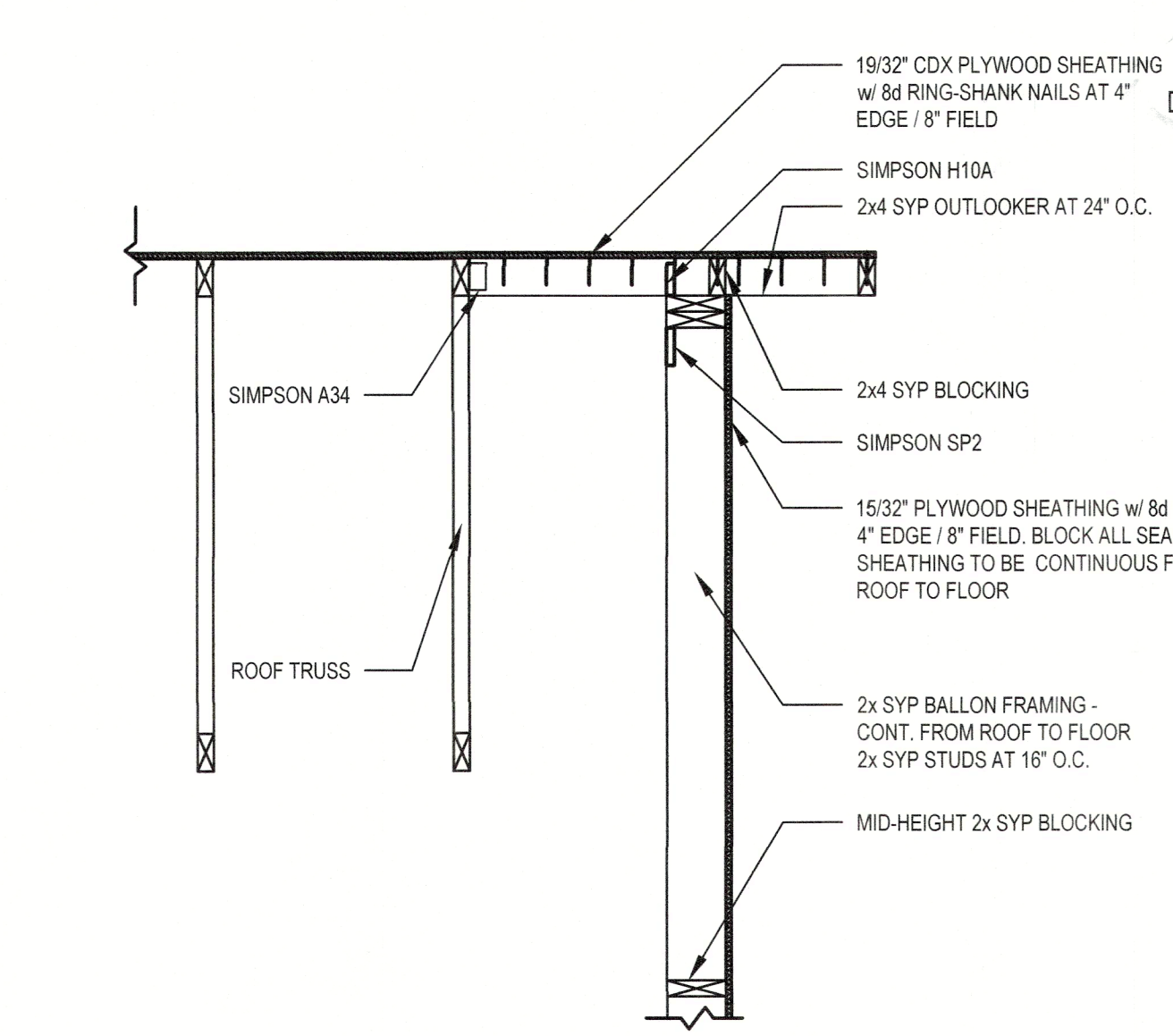
2 TYPICAL RAISED HEEL DETAIL
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4 TRUSSES PERPENDICULAR TO WALL
NTS



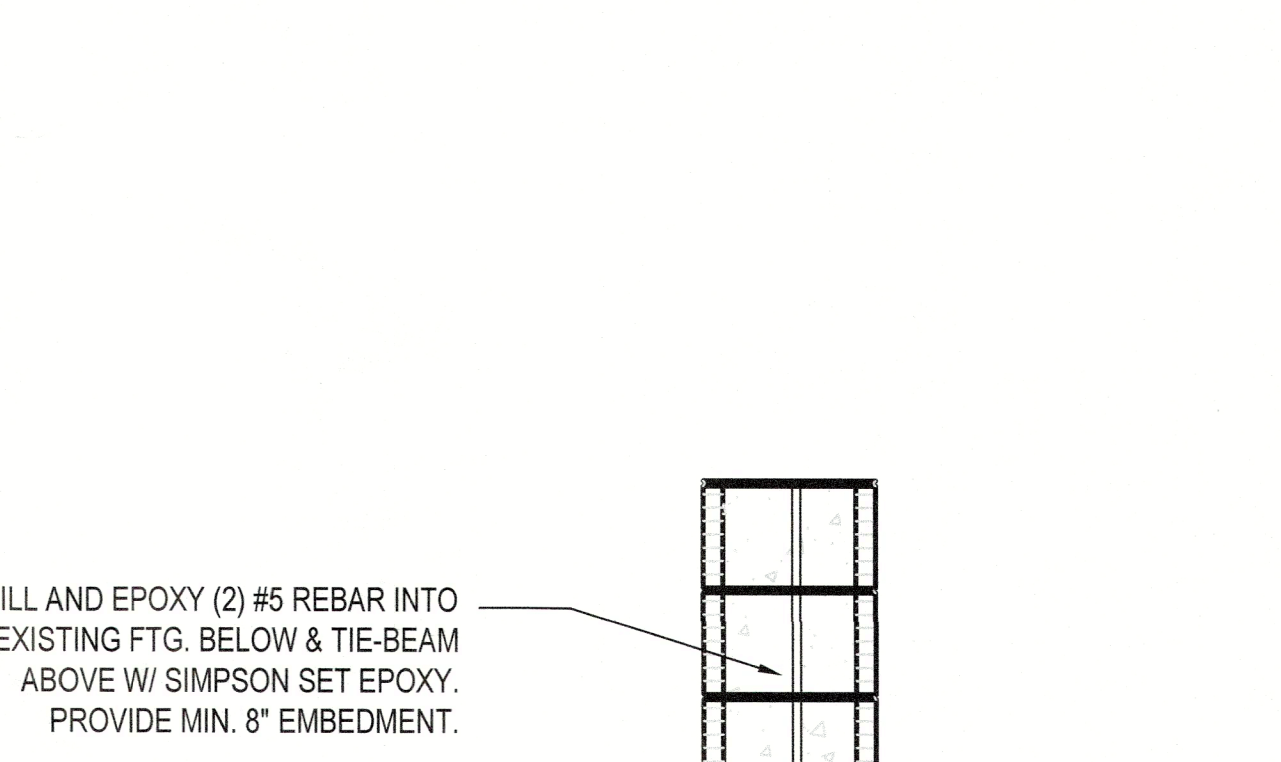
5 TRUSSES PARALLEL TO WALL
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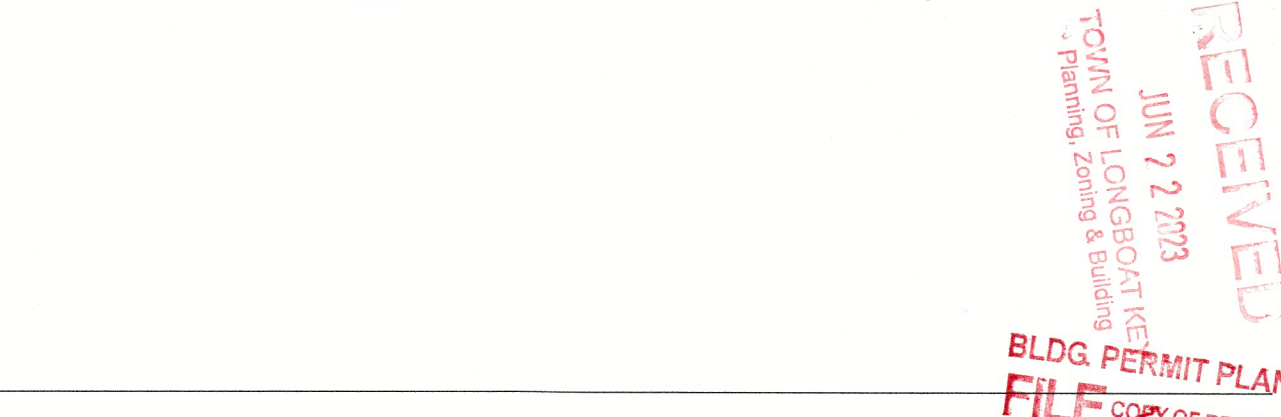
6 BALLOON FRAME WALL
NTS



7 SECTION
NTS



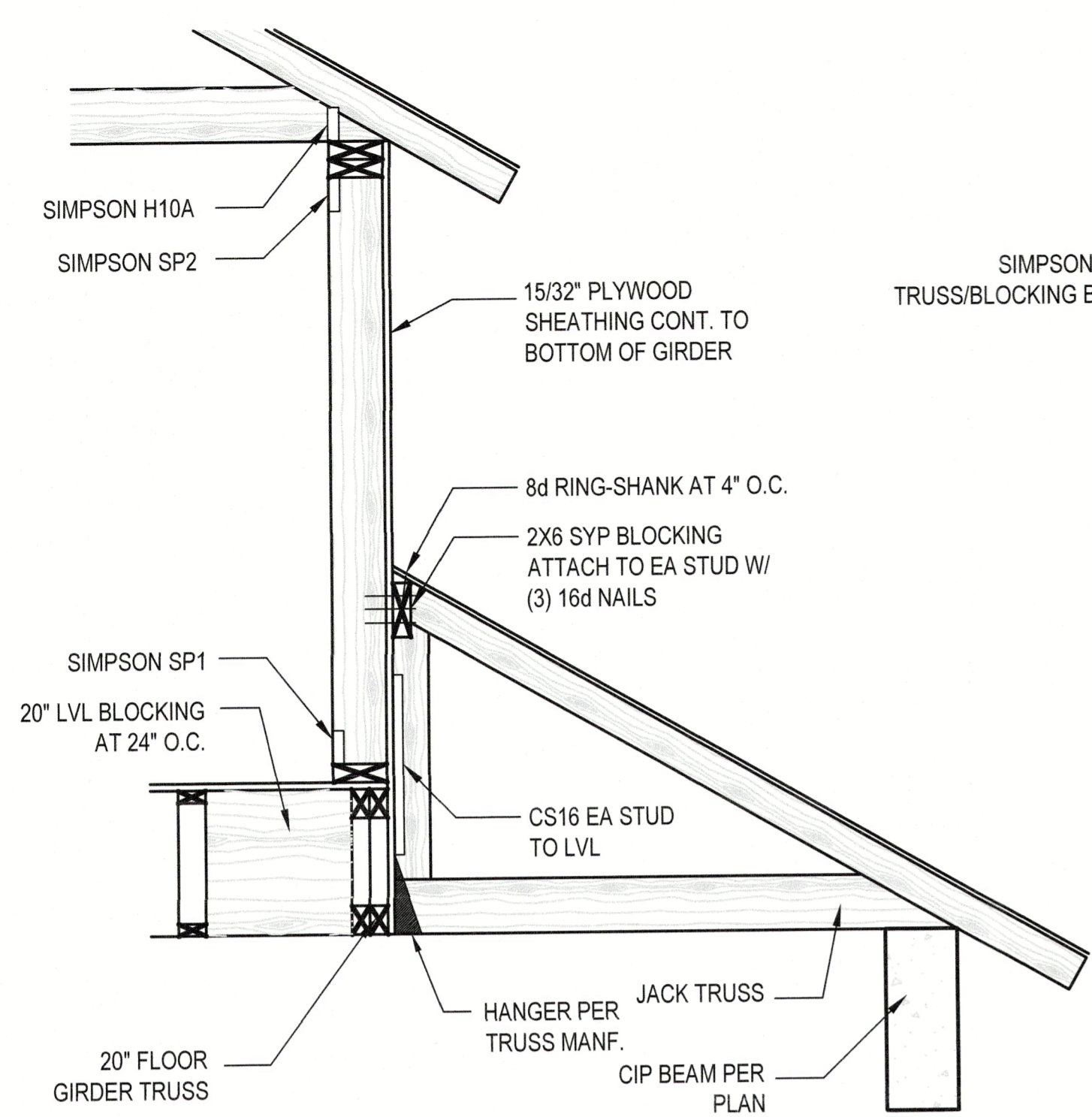
8 SECTION
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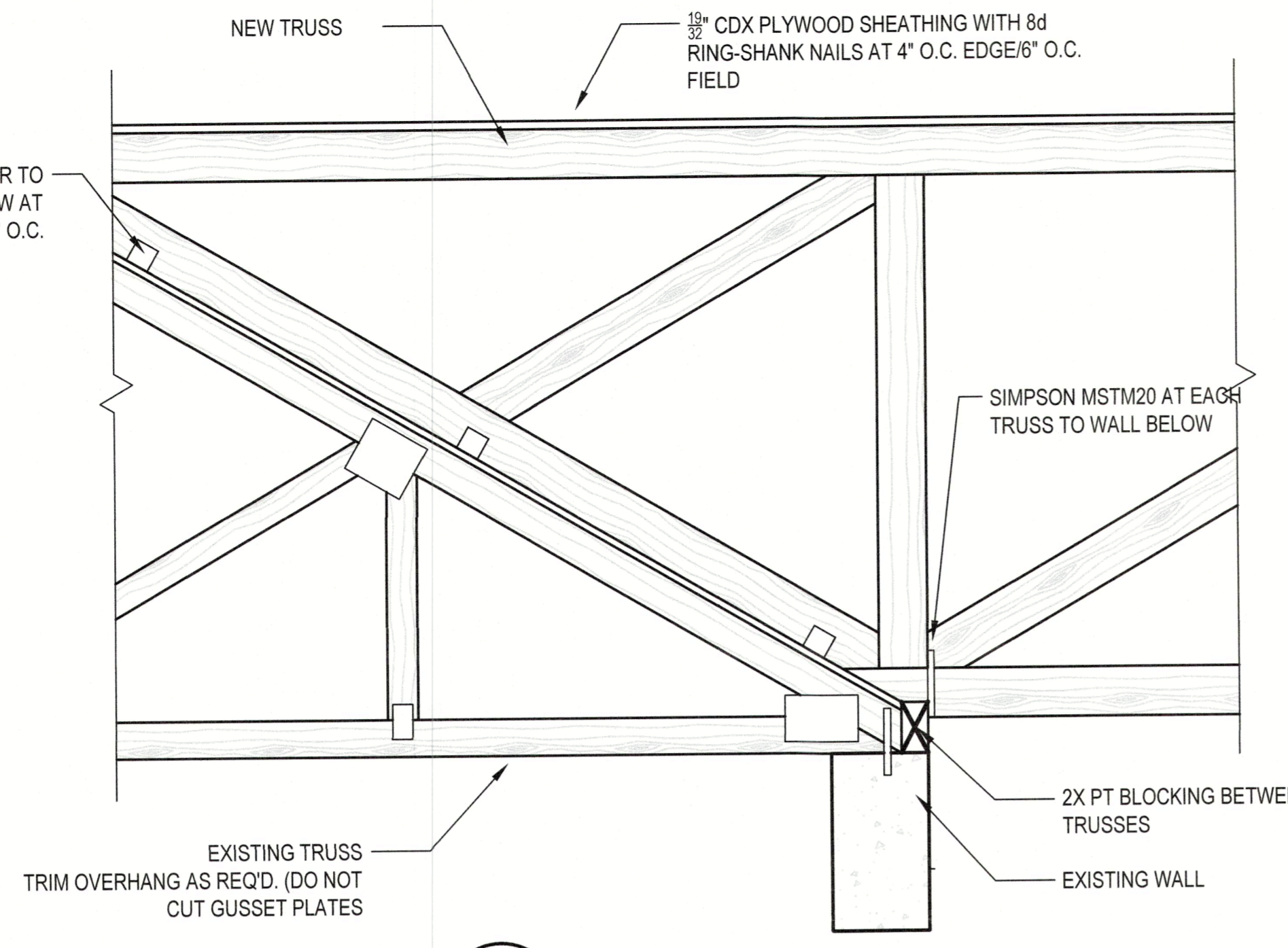
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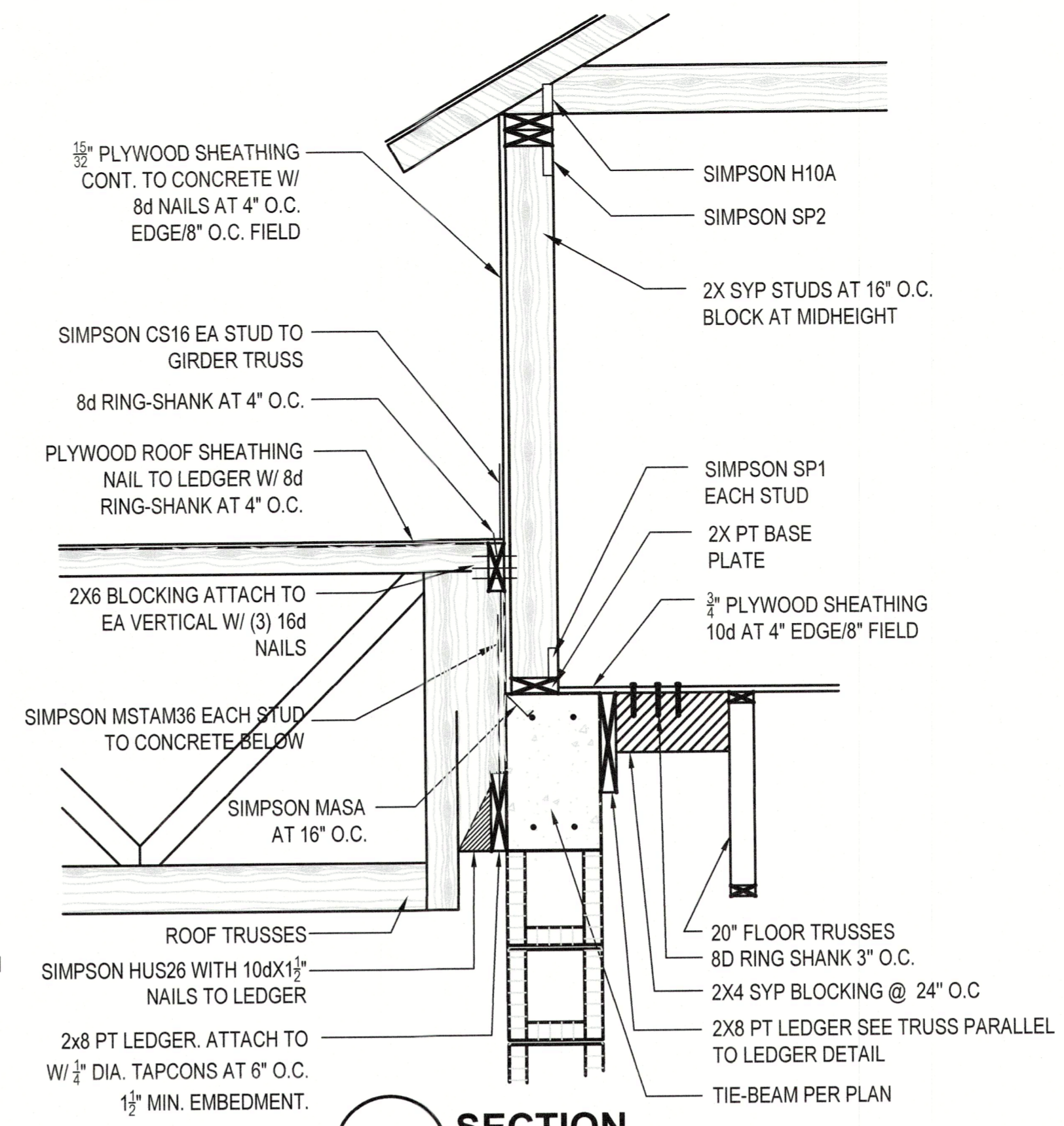
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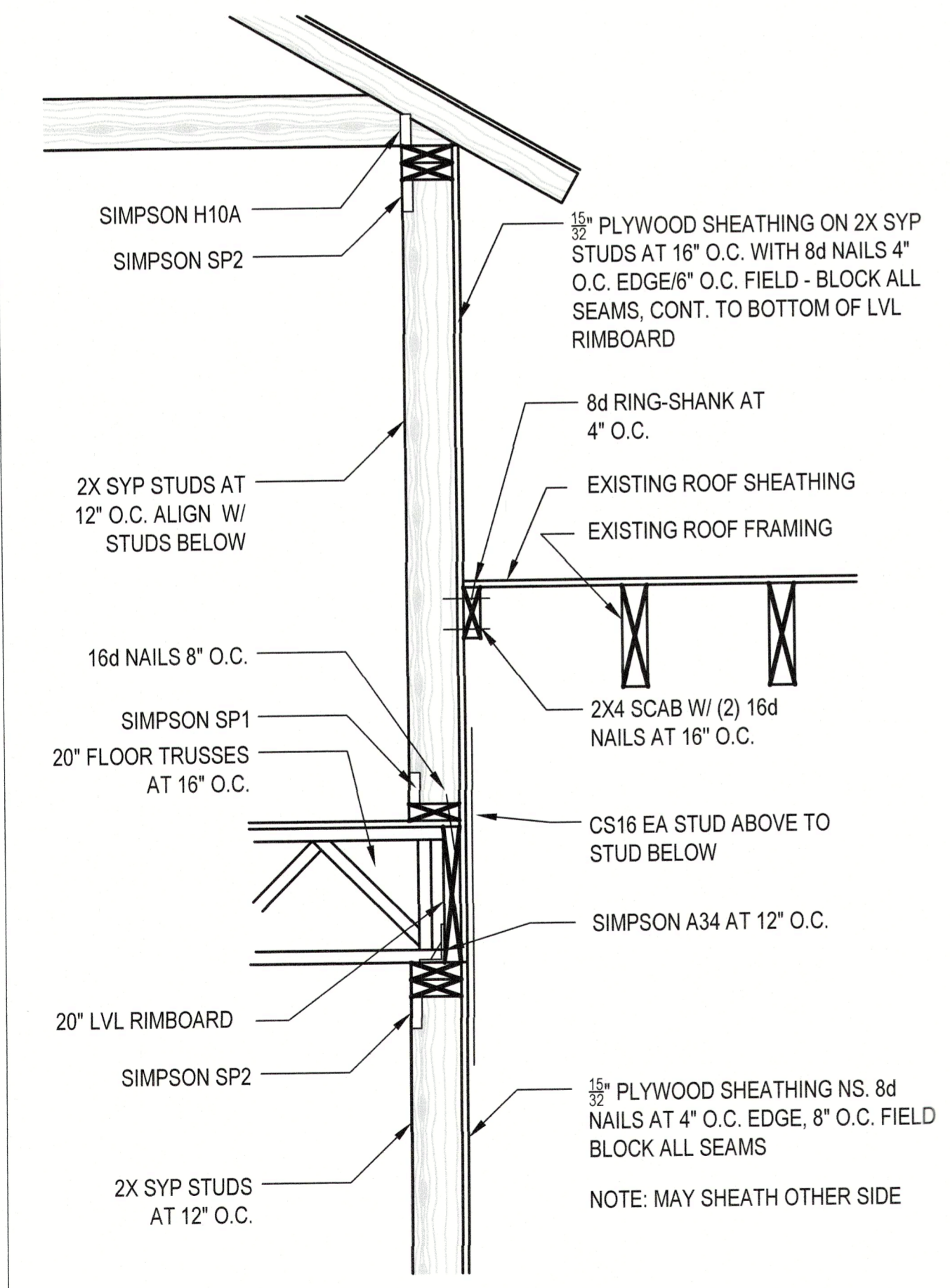
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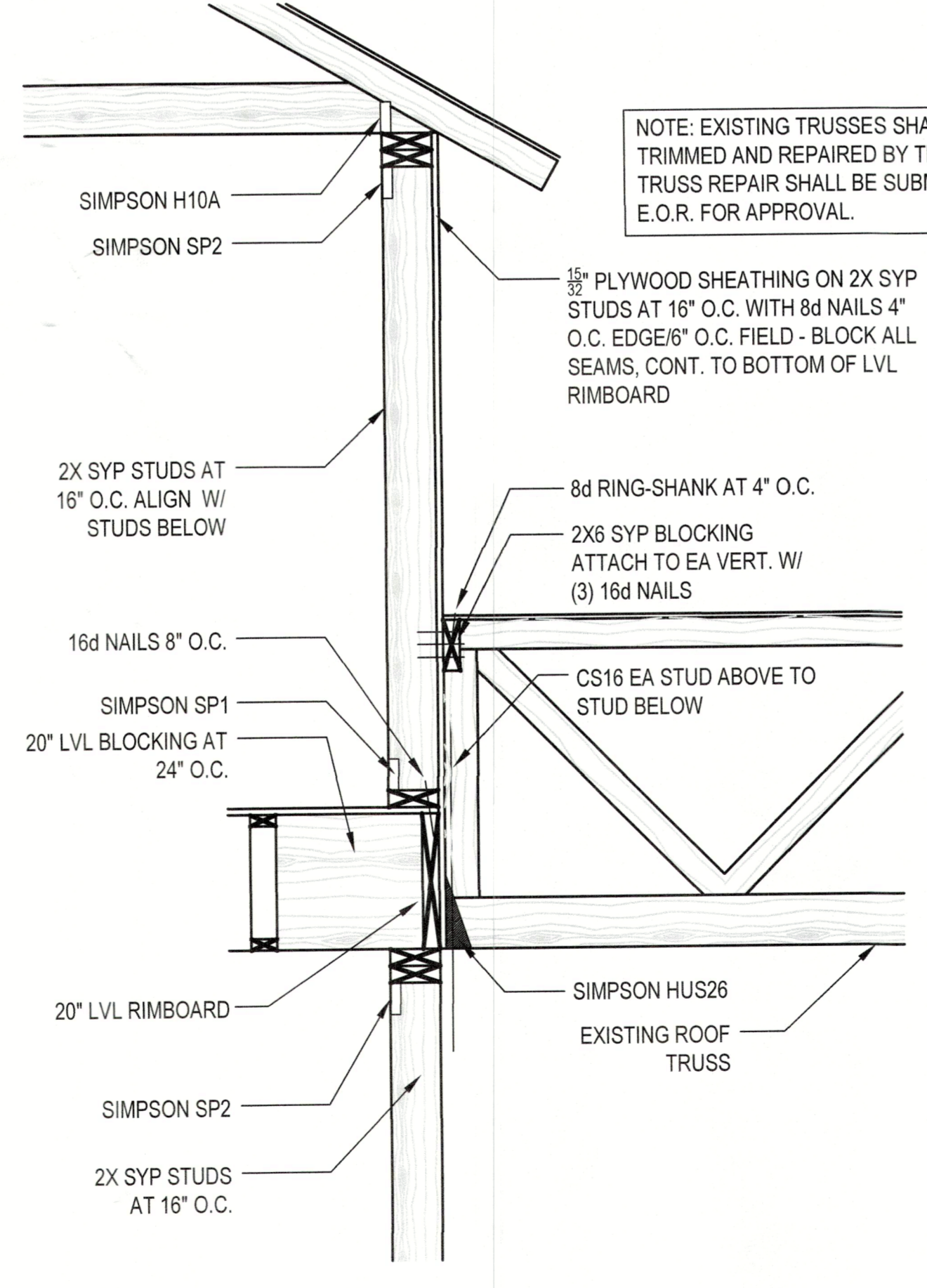
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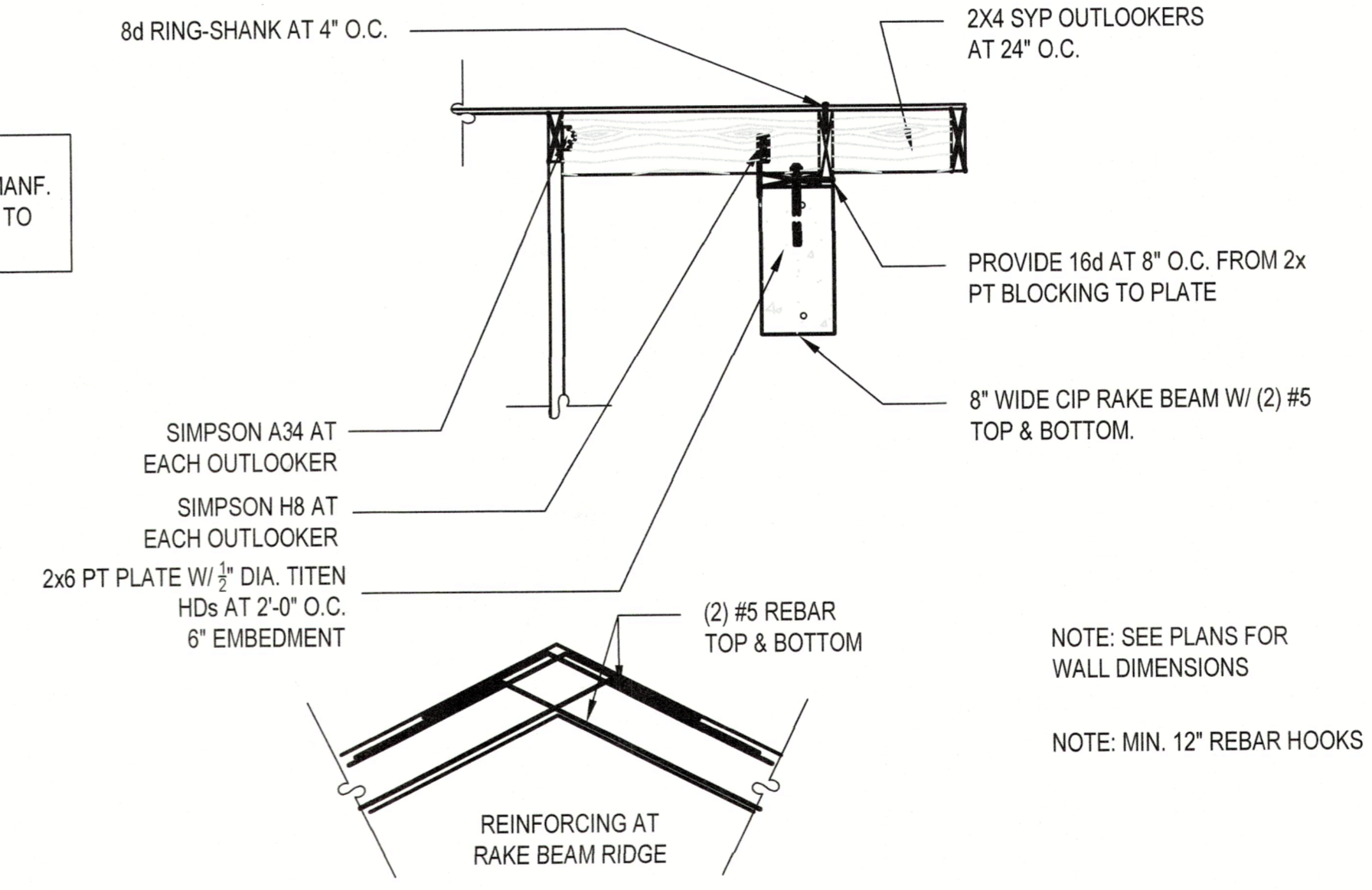
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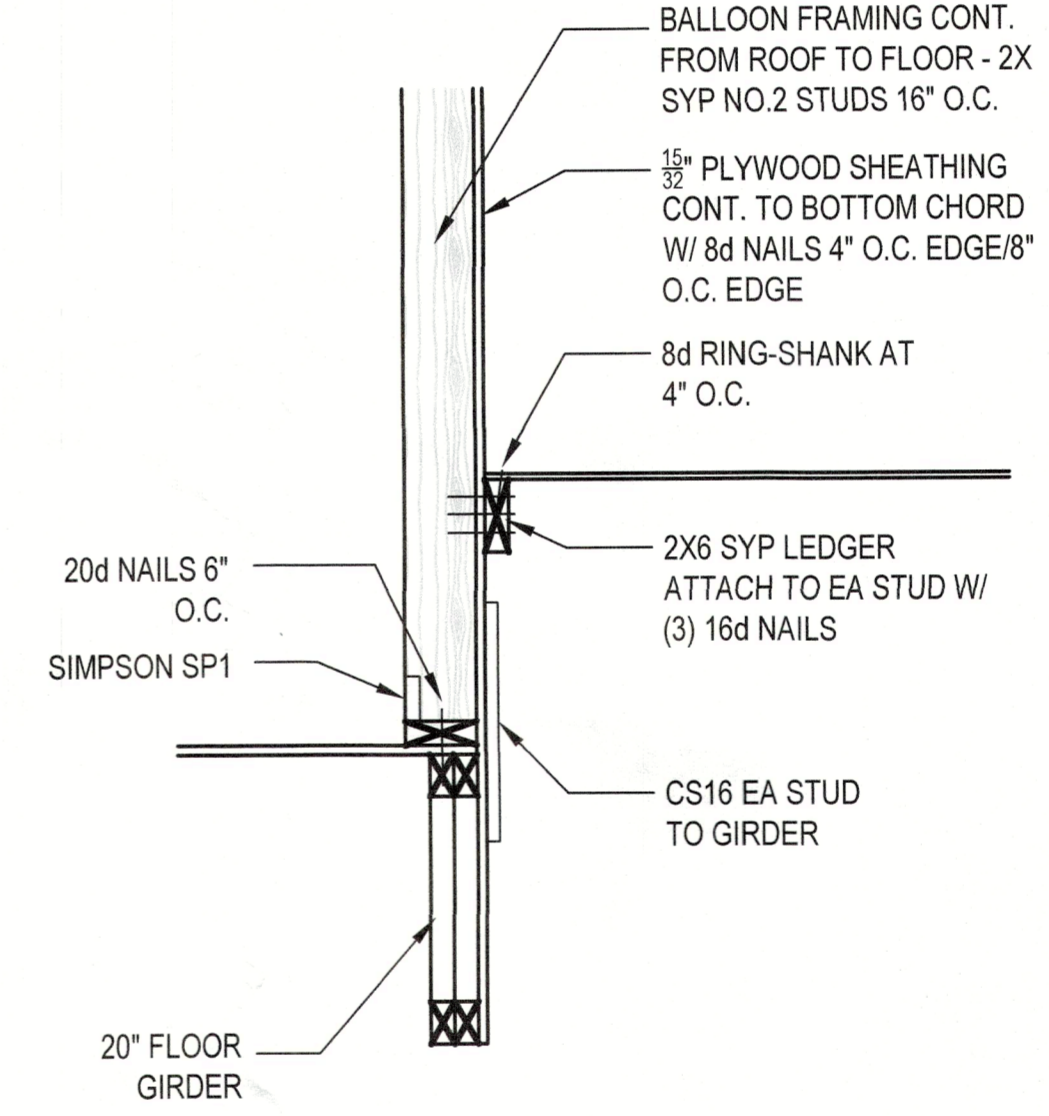
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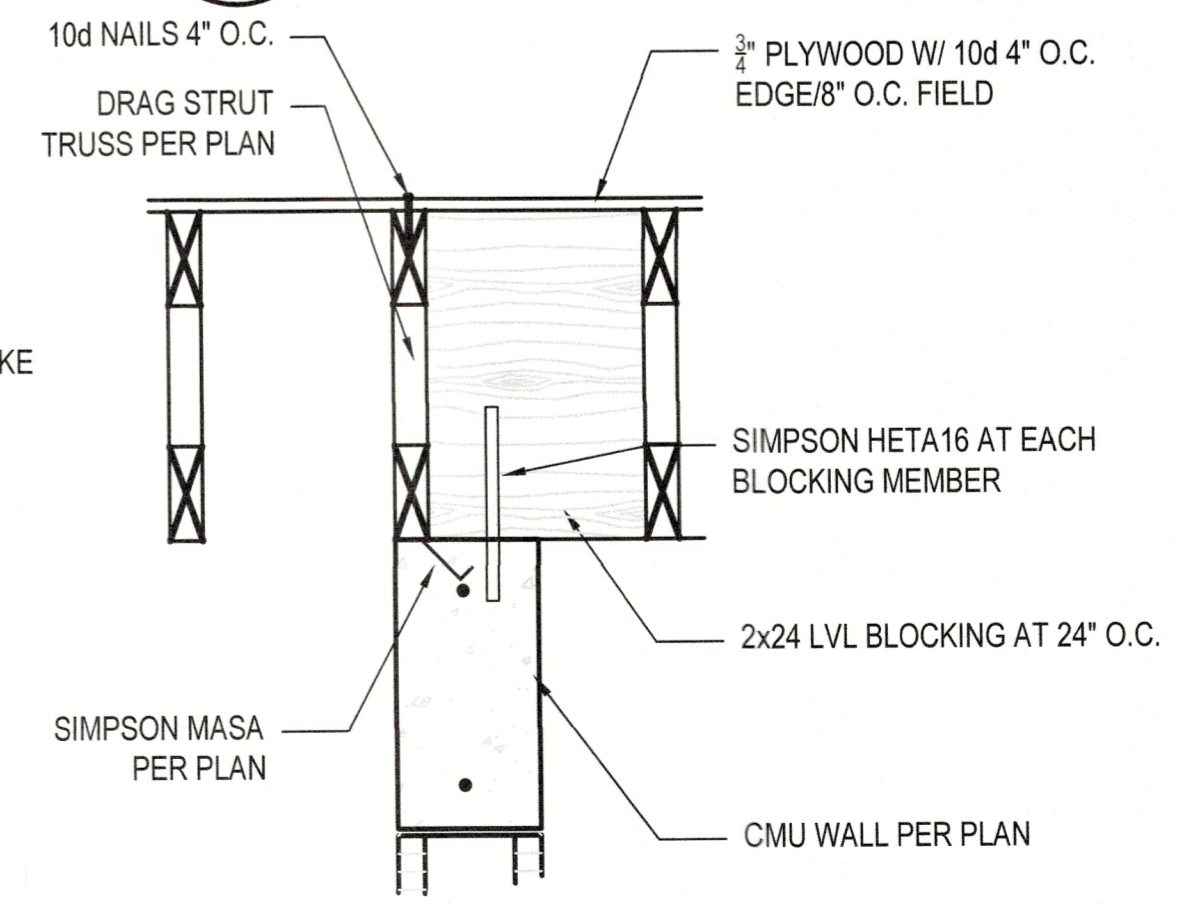
5 SECTION
NTS



6 SECTION
NTS



7 SECTION
NTS



8 SECTION
NTS

NOTE: EXISTING TRUSSES SHALL BE TRIMMED AND REPAIRED BY TRUSS MANF. TRUSS REPAIR SHALL BE SUBMITTED TO E.O.R. FOR APPROVAL.

NOTE: SEE PLANS FOR WALL DIMENSIONS
NOTE: MIN. 12\"/>

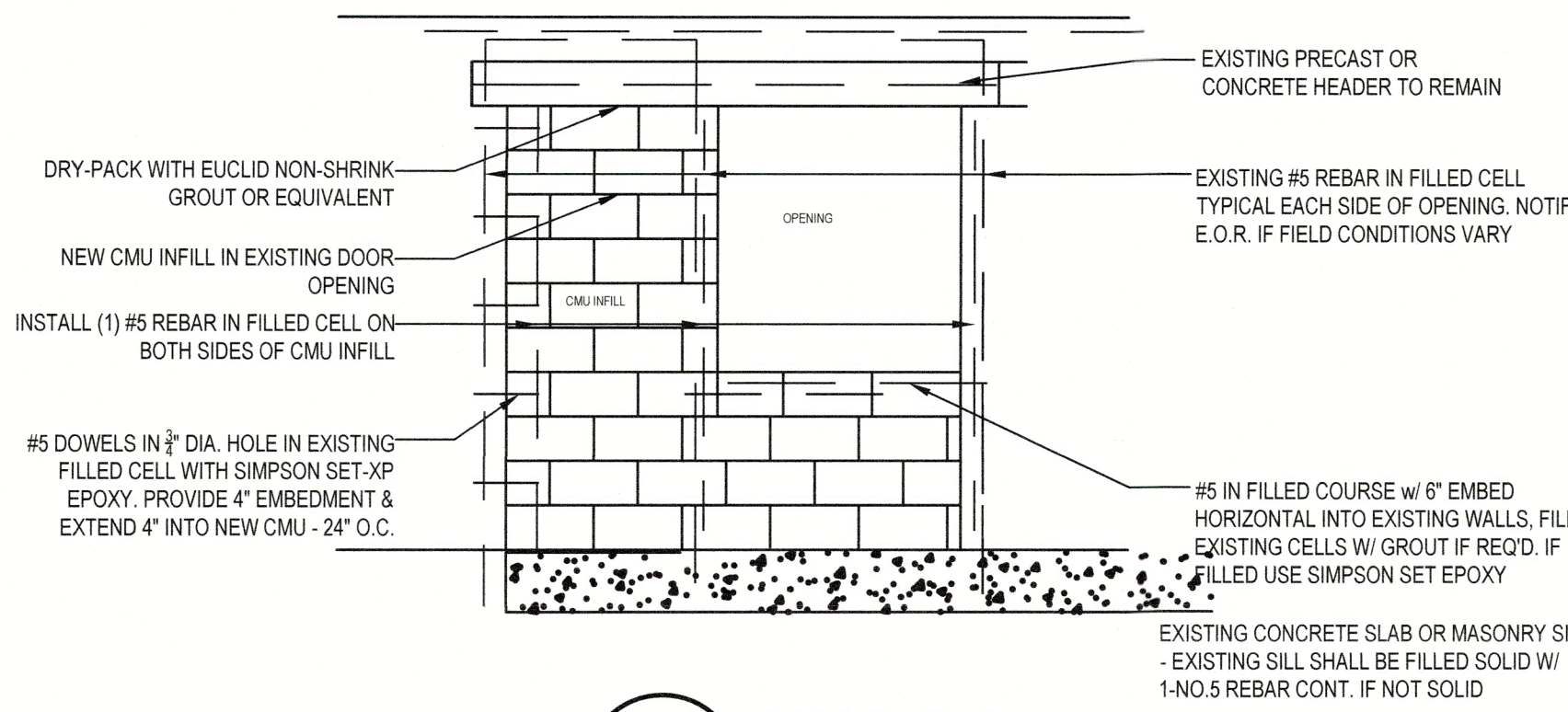
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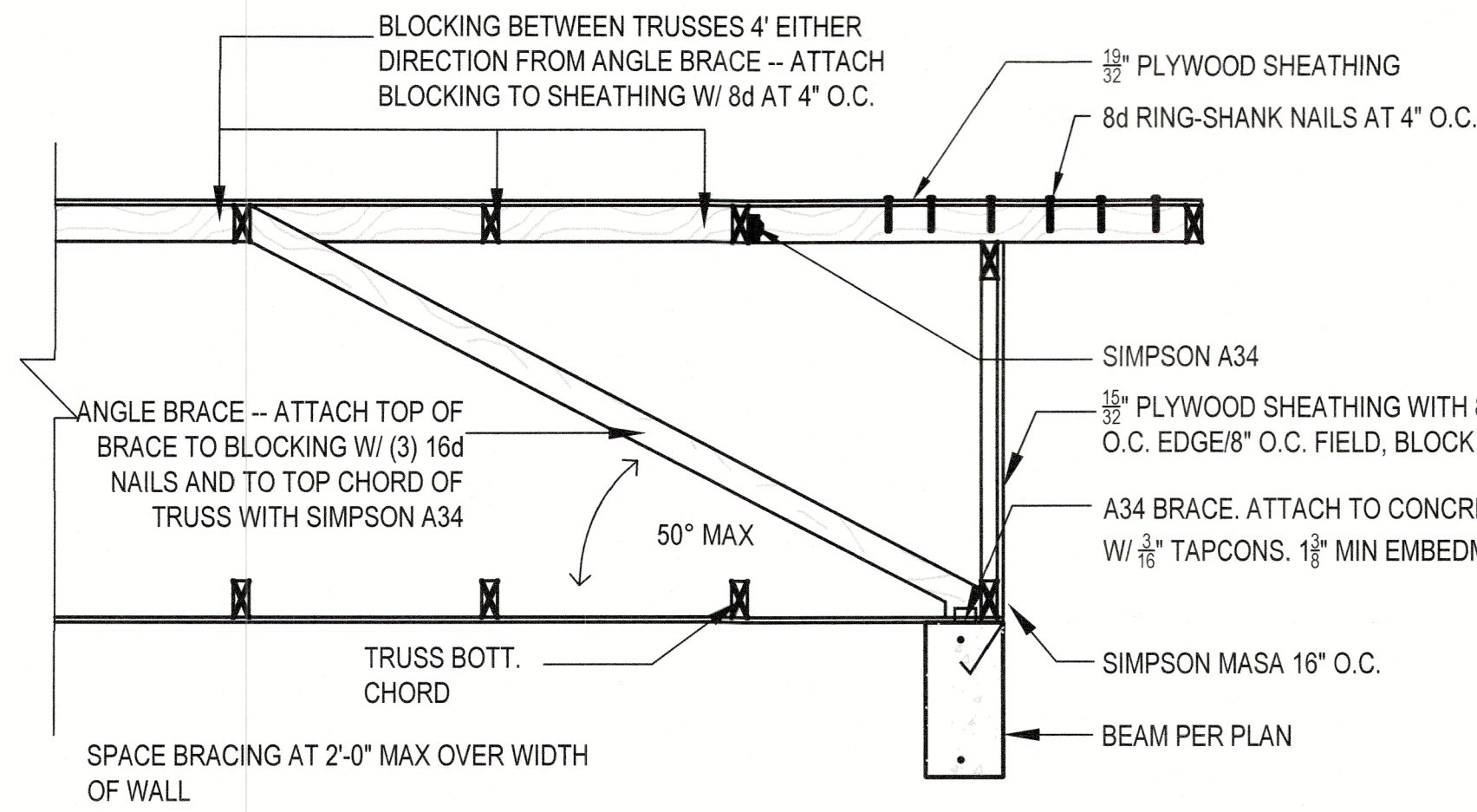
CONCRETE/MASONRY NOTES

- 1 ALL CONCRETE SHALL BE F_c=3000PSI.
- 2 MASONRY SHALL USE TYPE S MORTAR, F_m=1900PSI.
- 3 REINFORCING STEEL SHALL SATISFY ASTM A615, GD 60.
- 4 REINFORCING STEEL LAP LENGTH IN CONCRETE AND/OR MASONRY SHALL BE 30" IF REQUIRED.
- 5 MINIMUM CONCRETE COVER 3" CAST AGAINST SOIL AND 1/2" ELSE U.N.O. MAXIMUM CONCRETE COVER 6" U.N.O.
- 6 MASONRY WALLS SHALL BE BRACED IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" MASON CONTRACTORS ASSOCIATION OF AMERICA, JULY 2001.

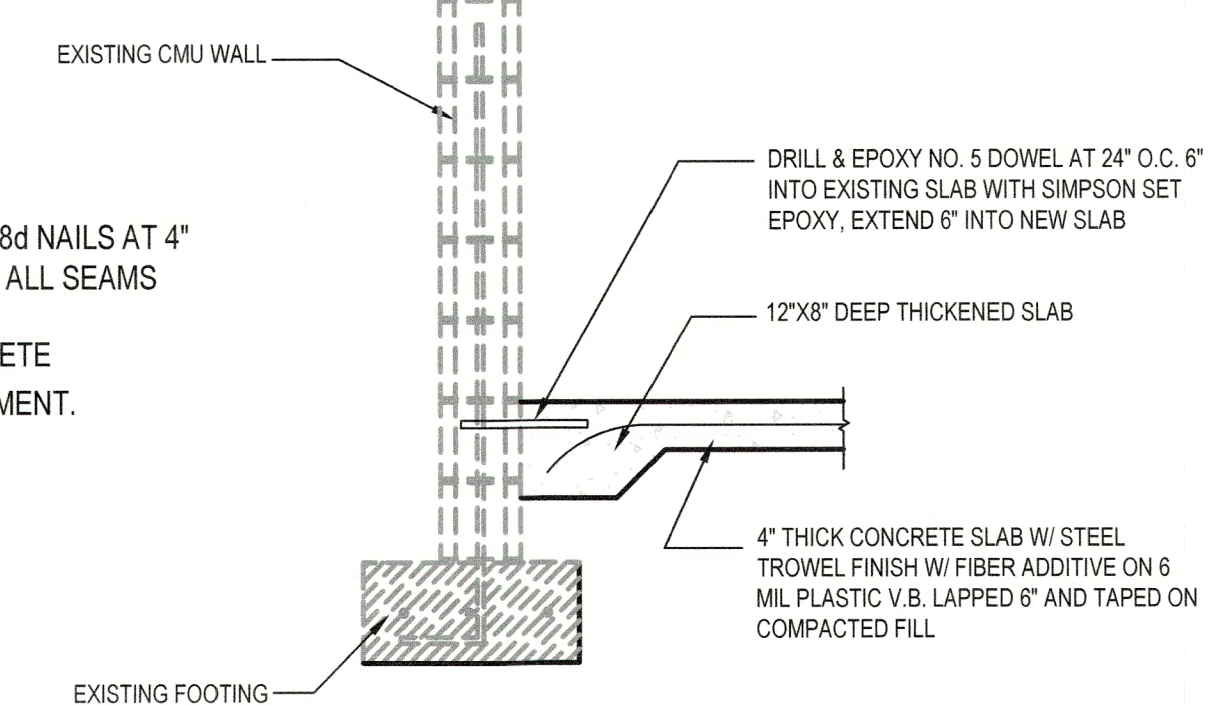
- NOTES:**
1. LATH AND STUCCO EXTERIOR AS REQUIRED. WATER PROOFING BY OTHERS.
 2. PROVIDE ADD'L NO.5 REBAR IN FILLED CELL AT CENTER OF WALL/FILL IF OPENING IS GREATER THAN 6-FT WIDE. DRILL & EPOXY 4" INTO HEADER & FOOTING W/ SIMPSON SET-XP.



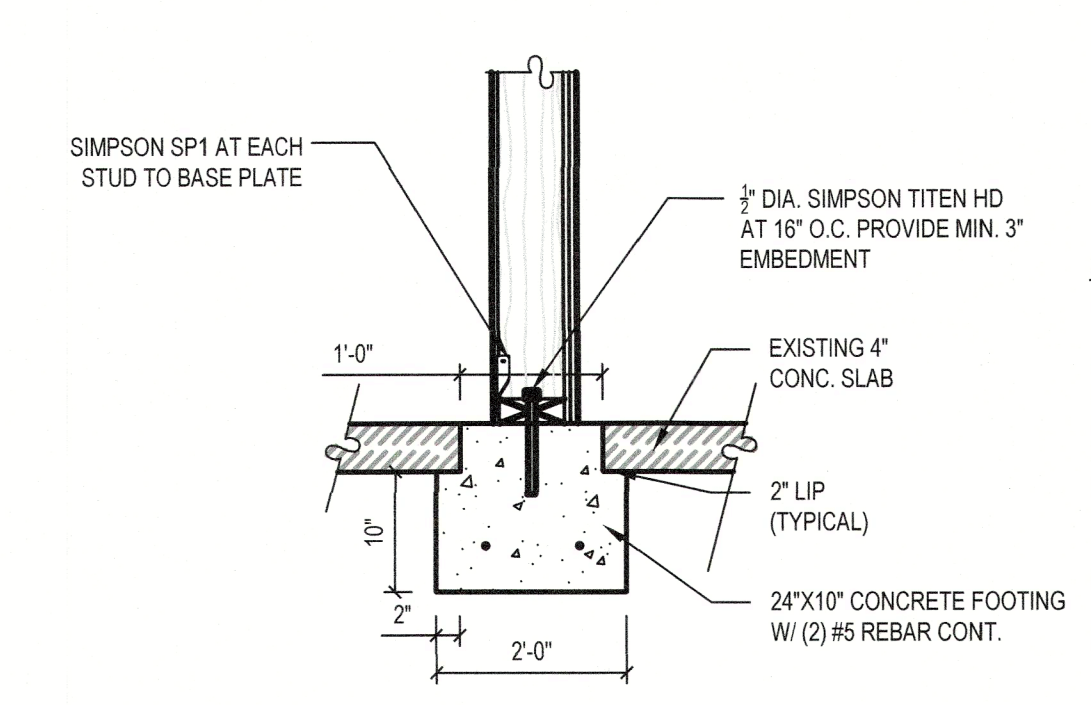
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2 SECTION
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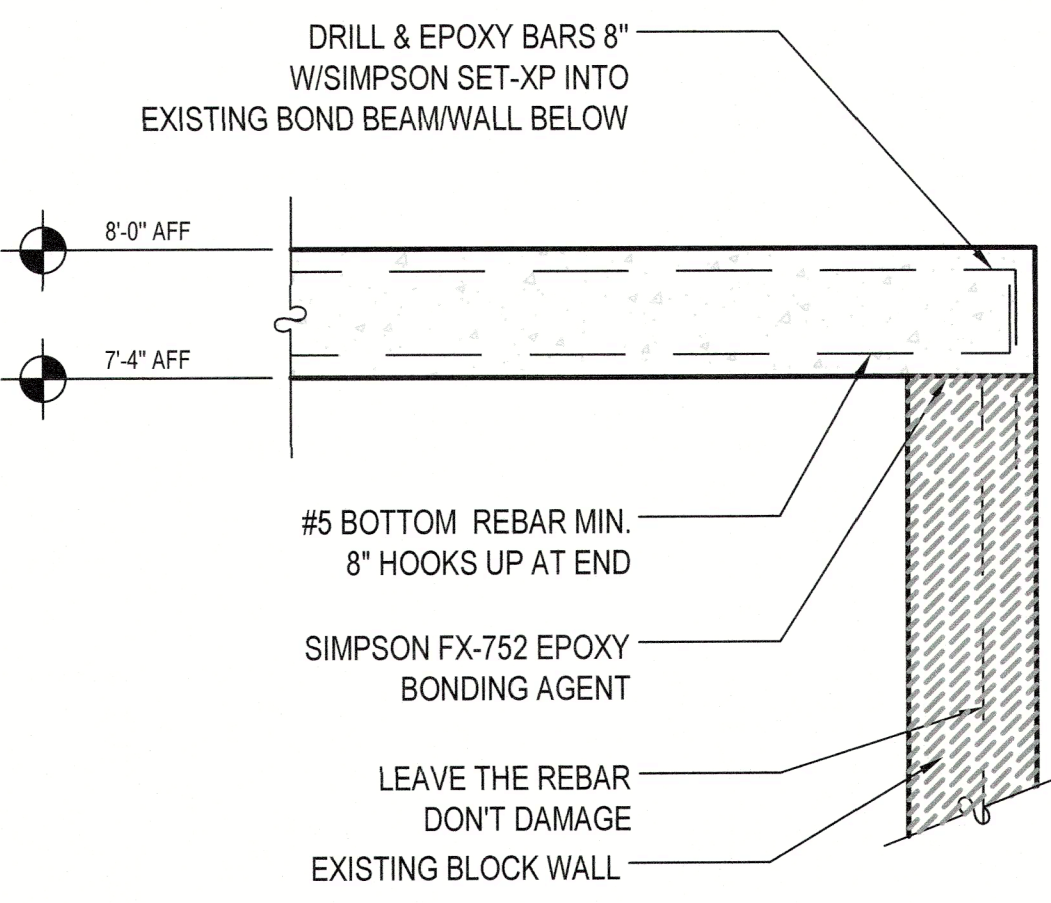
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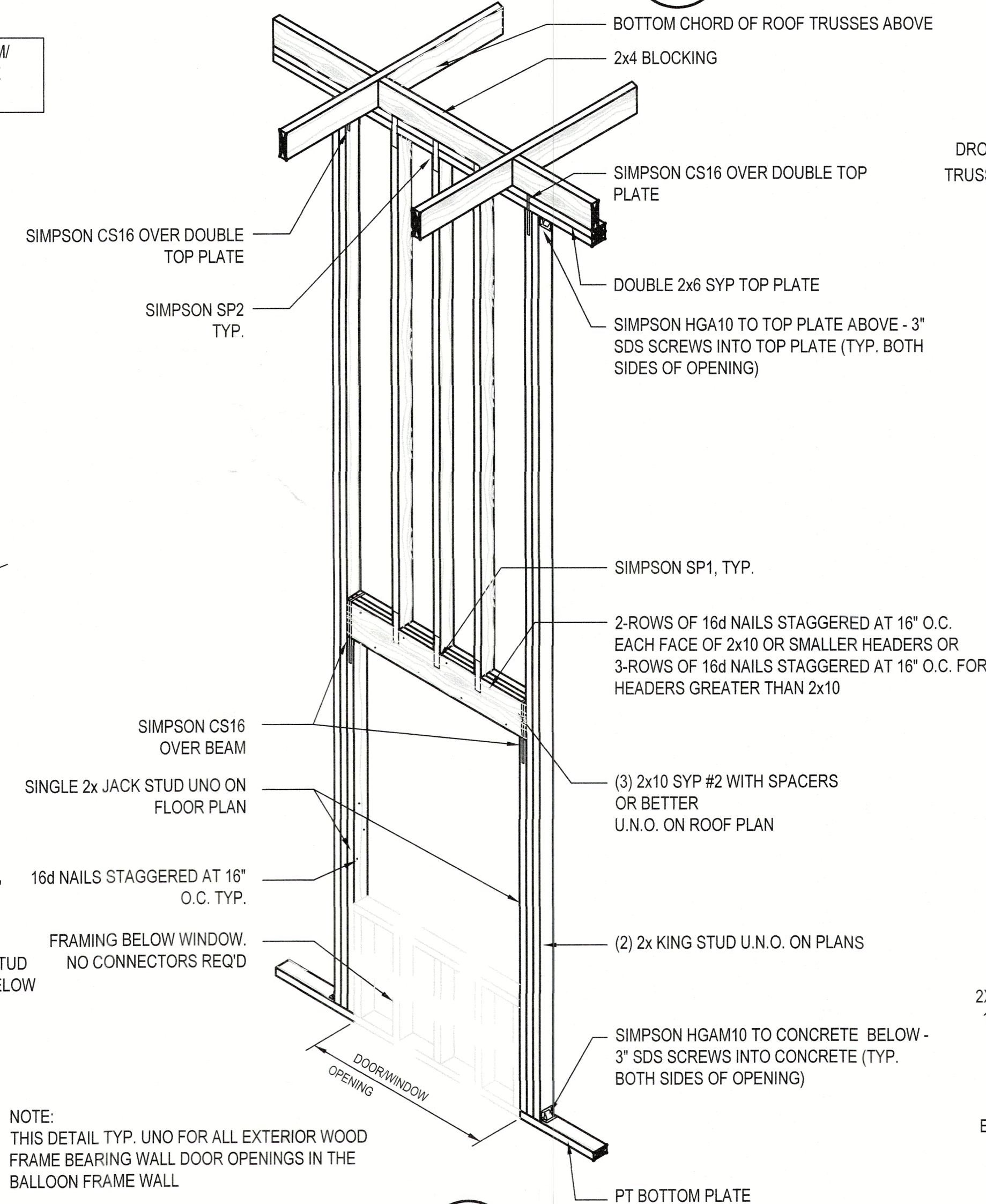
4 SECTION
NTS

- NOTES:**
1. SAW CUT EXISTING CONCRETE SLAB AS REQUIRED.
 2. REMOVE EXISTING FILL FOR NEW FOOTING. COMPACT TRENCH TO 2000PSF.
 3. PLACE 6 MIL PLASTIC V.B. TUCKED UNDER SLAB AS REQ'D.
 4. ADD SIMPSON FX-752 BONDING AGENT (OR SIM) BETWEEN NEW AND EXISTING CONCRETE.
 5. POUR NEW 3000PSI CONCRETE SLAB AS REQUIRED.
 6. PROVIDE 3\"/>

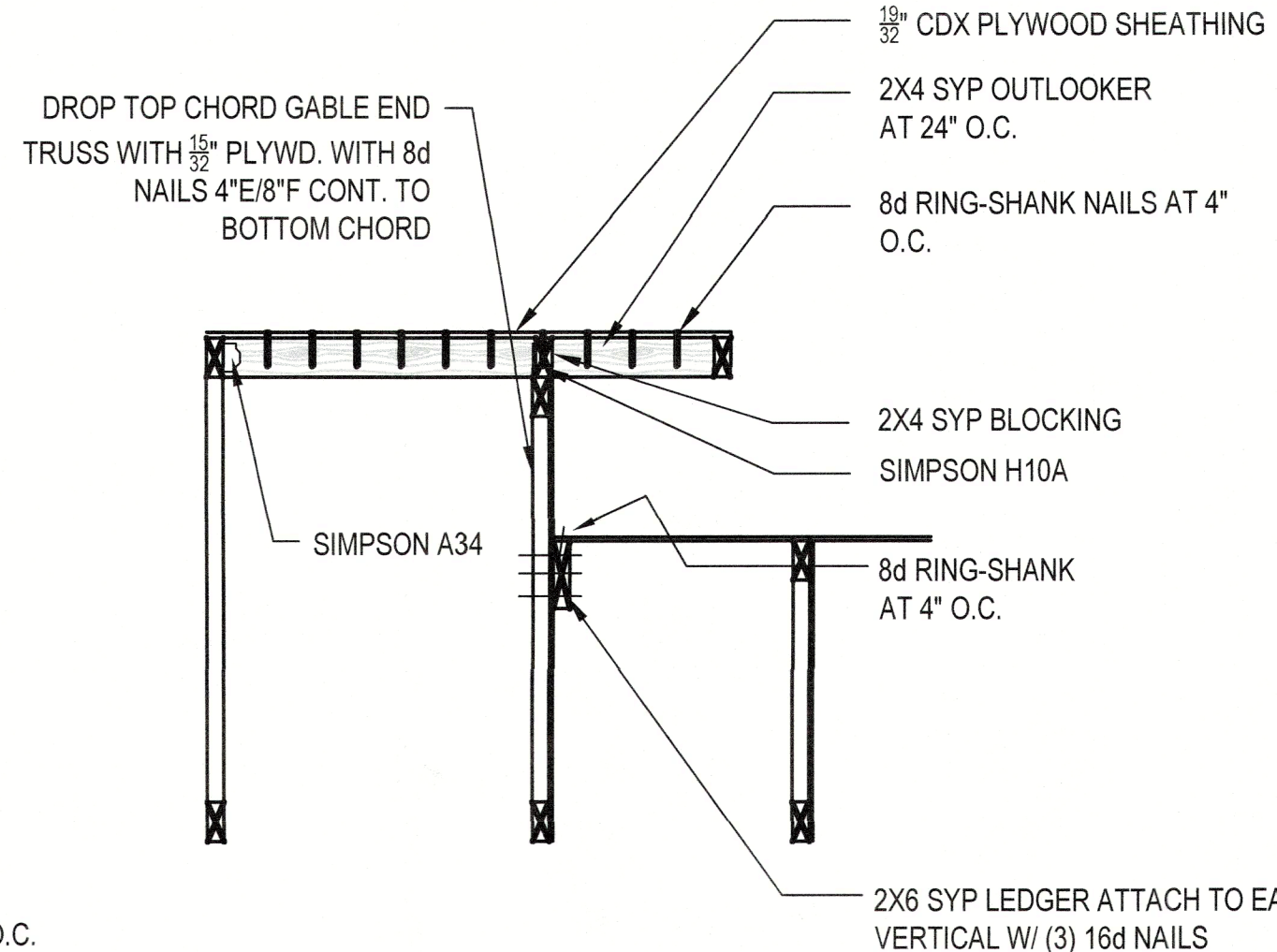
NOTE: NOTIFY E.O.R. IF EXISTING BEAM/ OR BLOCK BEARING WALL BELOW ARE DIFFERENT THAN SHOWN.



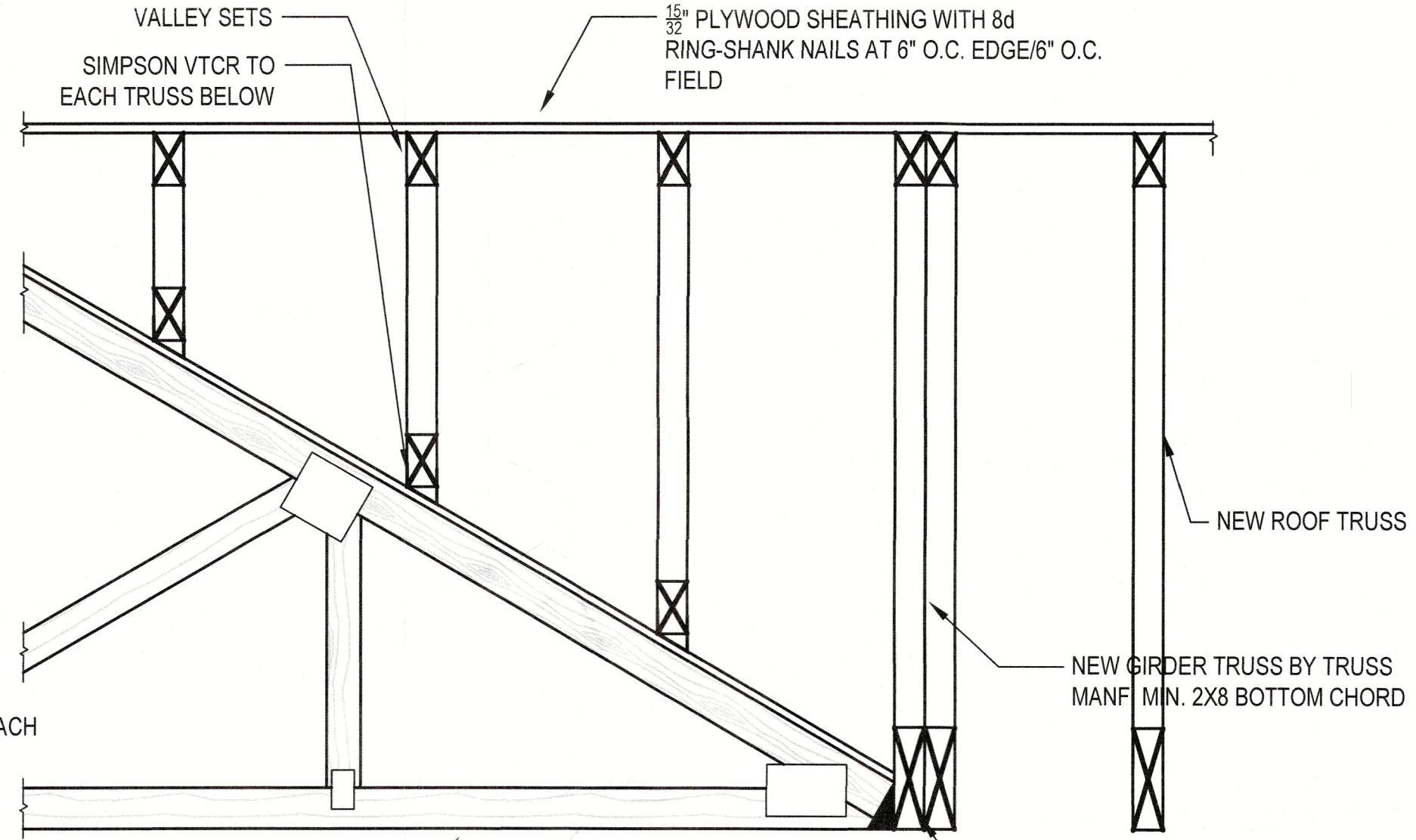
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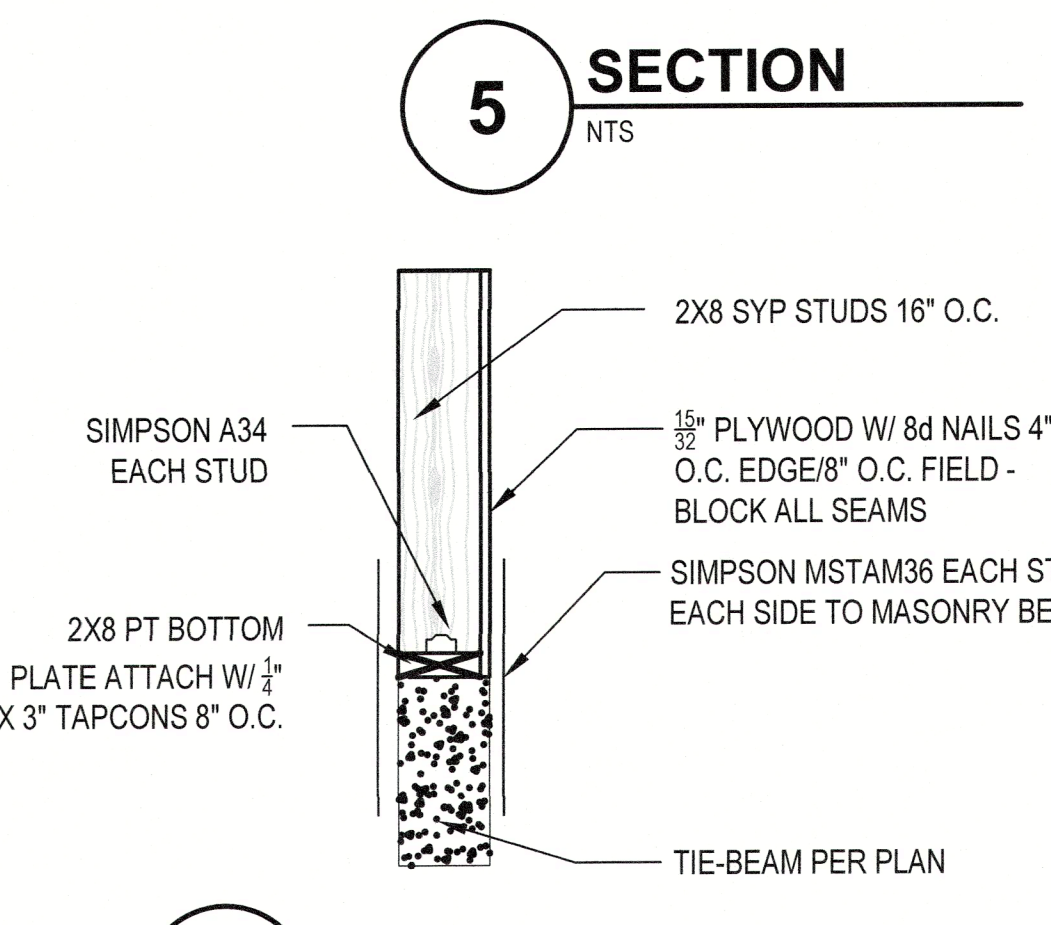
6 SECTION
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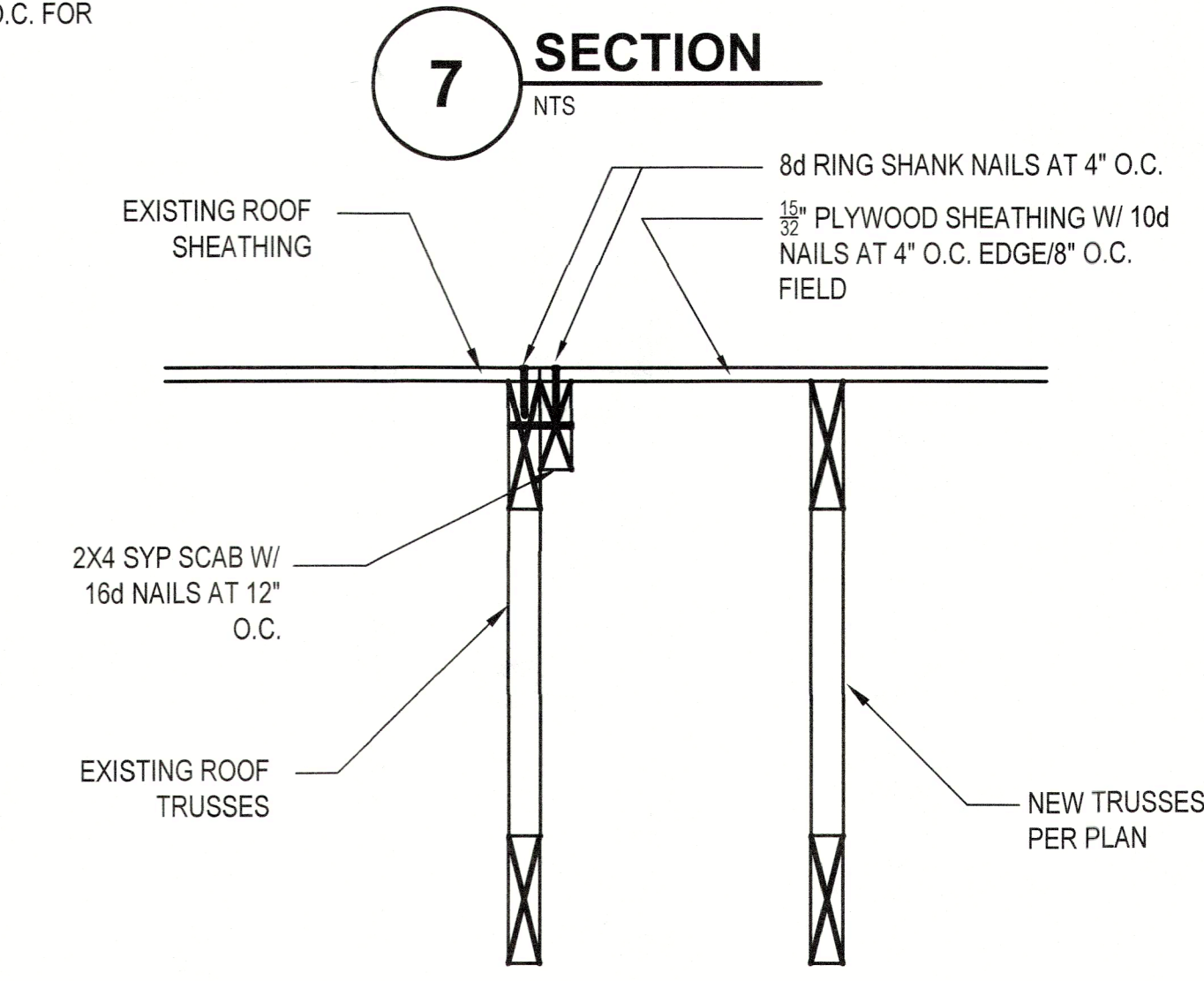
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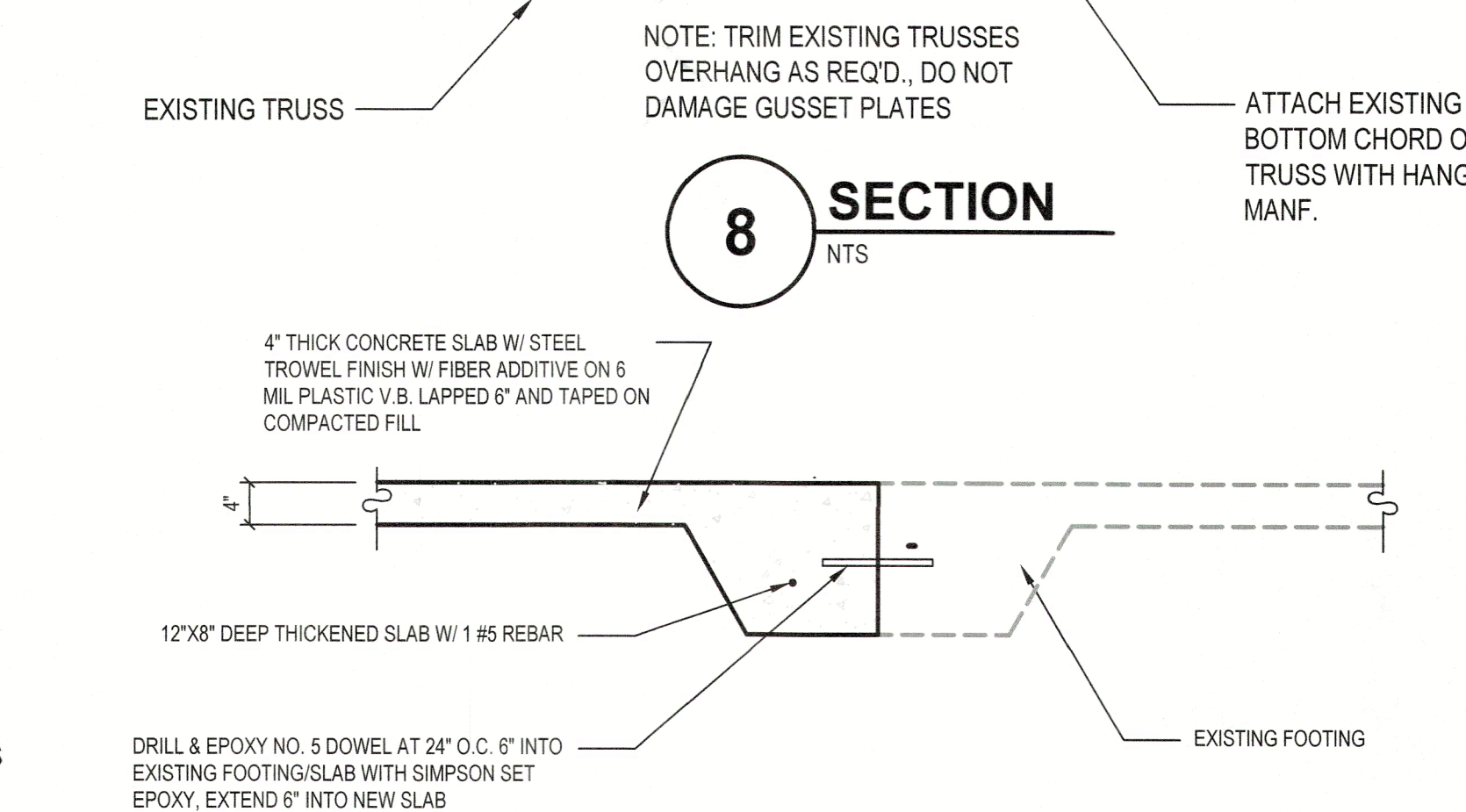
8 SECTION
NTS



9 SECTION
NTS



10 SECTION
NTS



11 SECTION
NTS

NOTE: THIS DETAIL TYP. UNO FOR ALL EXTERIOR WOOD FRAME BEARING WALL DOOR OPENINGS IN THE BALLOON FRAME WALL

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