

DN: c=US, o=Florida, dnQualifier=A01410D000 0017EDA5AC3A7000C2D A1, cn=Jody D Young Jr. Date: 2023.07.12 13:42:53 Adobe Acrobat version:

WP WATERPROOF(ING

WWM WELDED WIRE MESH

W.R. WATER RESISTANT W.S. WATER SOFTENER

WSCT WAINSCOT W.T.W. WALL TO WALL

THESE DRAWINGS/LETTERS HAVE BEEN ELECTRONICALLY SIGNED AND SEALED BY **JODY D**. YOUNG JR., PE, USING A DIGITAL SIGNATURE PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. SIGNED: STRUCTURAL ONLY

DATE SEALED: July 12, 2023

# SIBSON RESIDENCE ADDITION

549 CUTTER LANE LONGBOAT KEY, FL

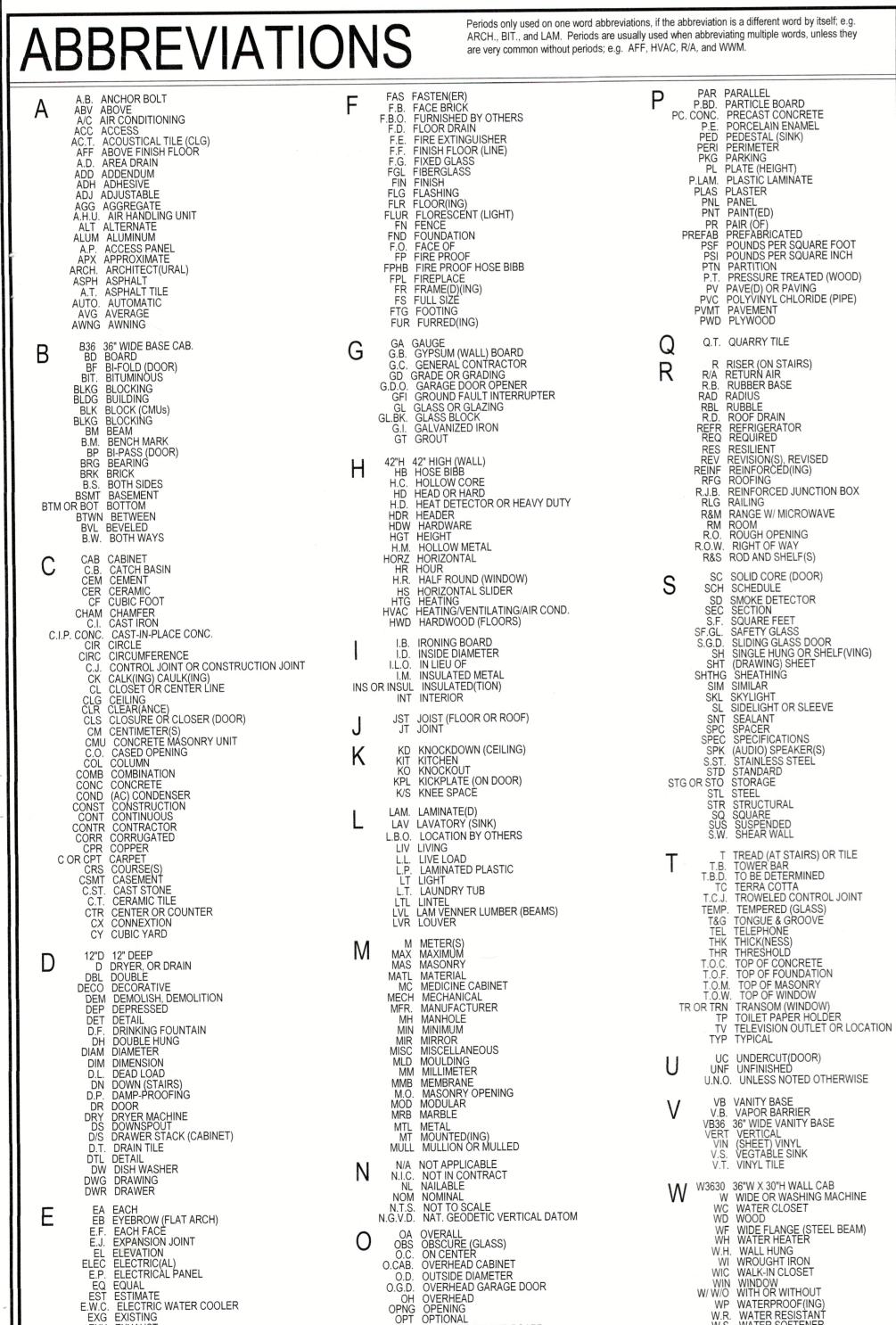


RECEIVED

JUL 1 2 2023 **TOWN OF LONGBOAT KEY** Planning, Zoning & Building



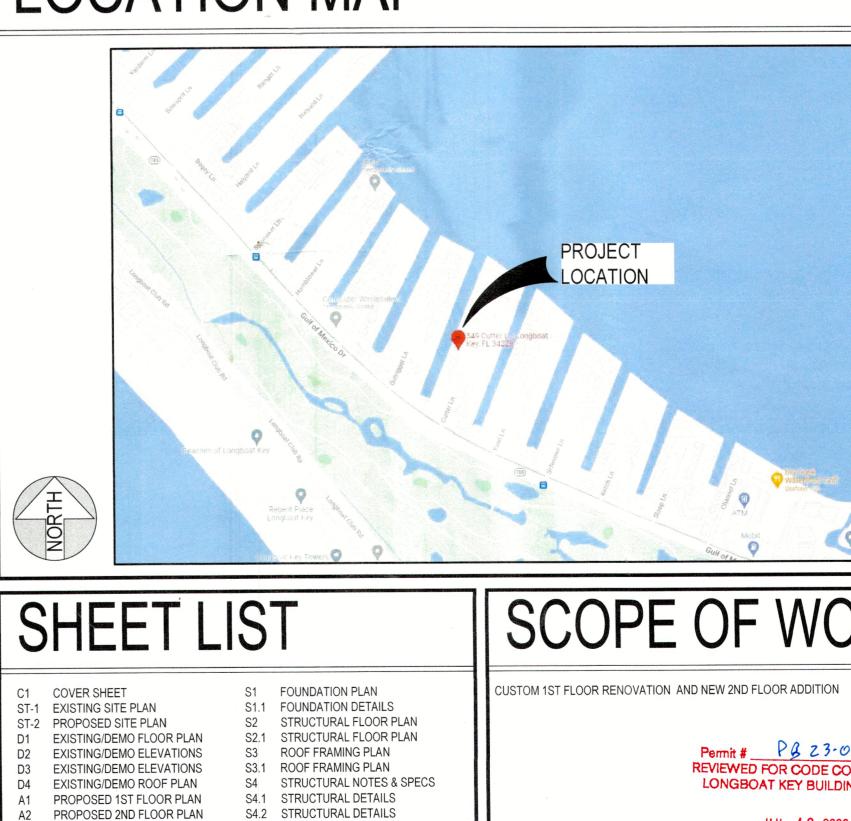
AN COORDINAT OR CLARIFICATION



OSB ORIENTED STRAND BOARD



### ISSUE DATE: REVISION DATE: SYMBOLS **PLYWOOD** ELEVATION KEY OR SECTION KEY INSULATING SHEATHING SAND OR GRAVEL FILL SHEET NUMBER BATT INSULATION WOOD STUD PARTITION DETAIL NUMBER OR SECTION KEY SHEET NUMBER 3-2X4 WOOD POST OR 2-2X6 RIGID INSULATION UNLESS OTHERWISE NOTED **ANGLE** CONCRETE BLOCK CENTERLINE LAVATORY HOSE BIBB (FREEZE PROOF) DIMENSIONAL LUMBER PERPENDICULAR **BLOCKING** FINISH GRADE WOOD ROUND OR DIAMETER



S4.3 STRUCTURAL DETAILS

S4.4 STRUCTURAL DETAILS

PROPOSED ELEVATIONS

PROPOSED ELEVATIONS

PROPOSED ROOF PLAN

1ST FLOOR ELECTRICAL PLAN

2ND FLOOR ELECTRICAL PLAN

# SCOPE OF WORK Permit # P& 23-0675 REVIEWED FOR CODE COMPLIANCE LONGBOAT KEY BUILDING DEPT. JUL 13 2023 **APPROVED**

05.19.23 COVER PAGE, NOTES, CALCS, **ABBREVIATIONS** 



LOT INFORMATION 549 CUTTER LANE BASE FLOOD: AE 10

ZONING: MAX BLDG HGT: MIN LOT WIDTH:

R-4SF 30' 100'

DO NOT SCALE
DRAWINGS FOR
DIMENSIONS NOT
SHOWN CONTACT
PLAN COORDINATOR
FOR CLARIFICATION.

BLDG SETBACKS: FRONT: 20' REAR:

SIDES: 8' MIN/20' TOTAL

MAX BLDG COVERAGE: MAX IMPERVIOUS COVERAGE: 50%

LOT BLDG. COVERAGE CALCULATIONS

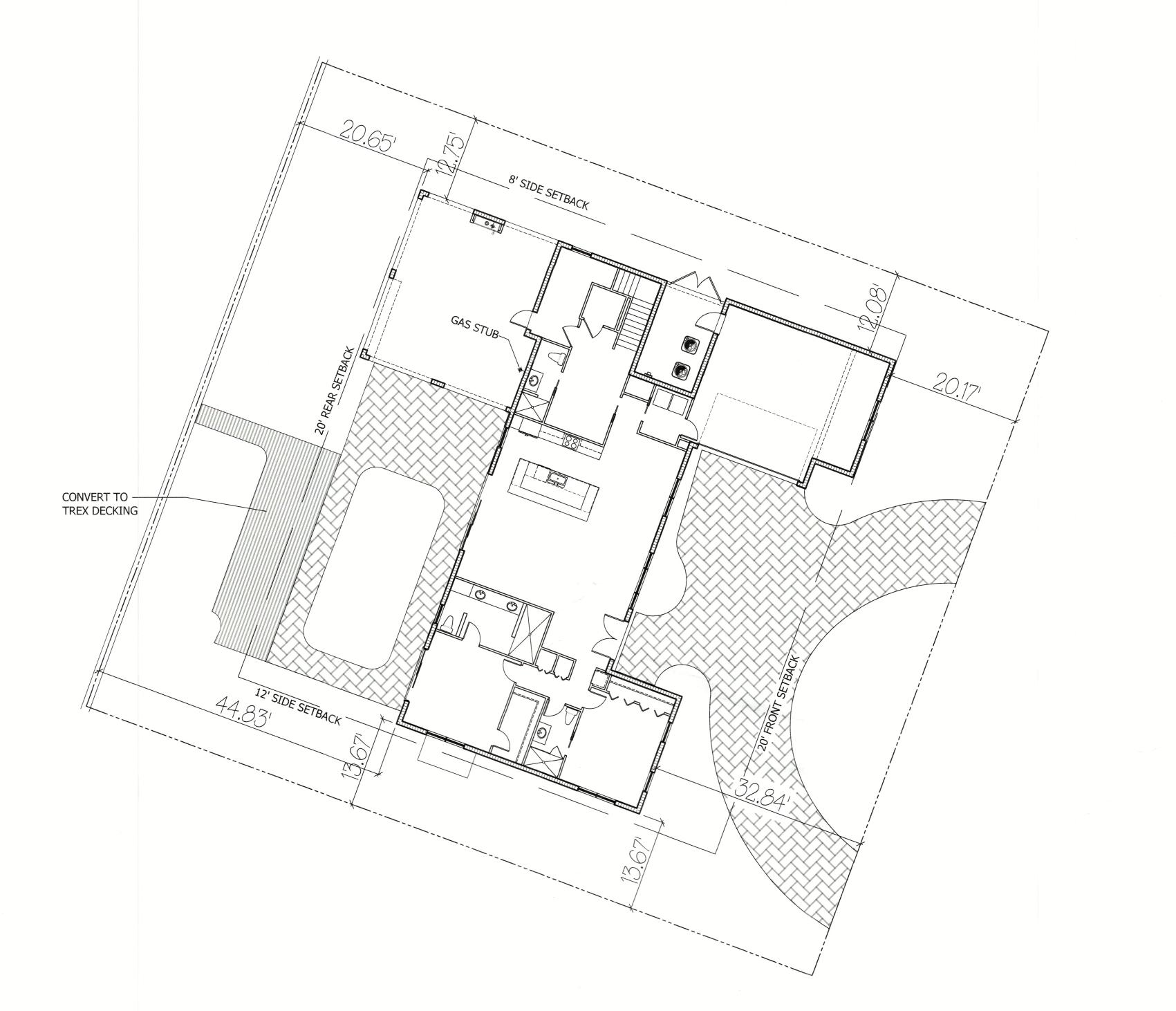
12,051 S.F. TOTAL LOT TOTAL EXISTING S.F. 2,402 S.F. TOTAL EXISTING MAX COVERAGE % 19.9 %

30% (3,615 S.F.) MAX ALLOWABLE BLDG COVERAGE

EXISTING SITE PLAN 1" = 10'

ISSUE DATE 06.10.22

PROPOSED SITE PLAN



LOT INFORMATION 549 CUTTER LANE BASE FLOOD: AE 10

**ZONING:** R-4SF MAX BLDG HGT: 30' MIN LOT WIDTH: 100' BLDG SETBACKS: FRONT: 20' REAR:

SIDES: 8' MIN/20' TOTAL MAX BLDG COVERAGE: MAX IMPERVIOUS COVERAGE: 50%

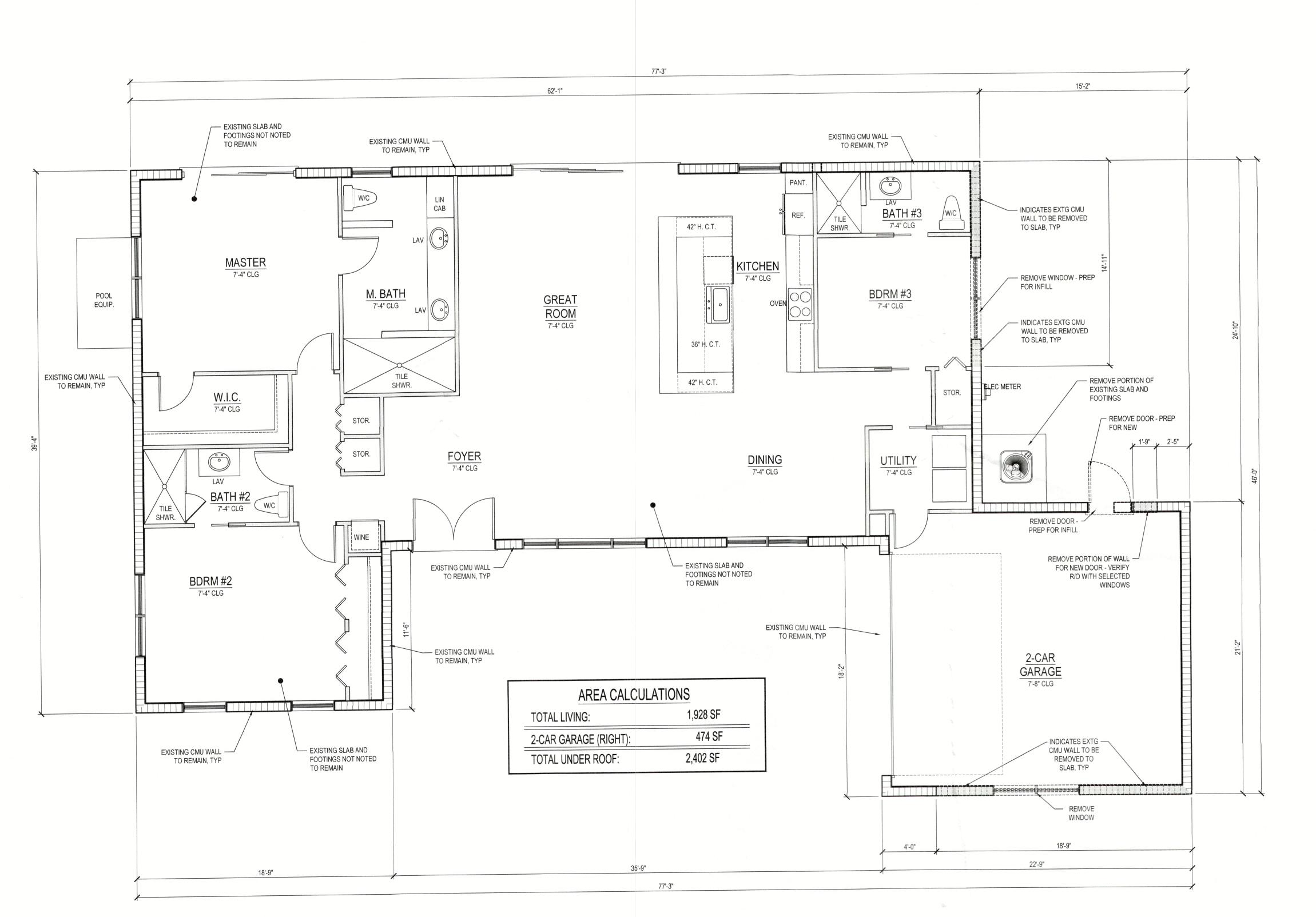
LOT BLDG. COVERAGE CALCULATIONS	
TOTAL LOT	12,051 S.F
TOTAL PROPOSED S.F.	3,522 S.F
TOTAL PROPOSED MAX COVERAGE %	29.2 %
MAX ALLOWABLE BLDG COVERAGE	30% (3,615 S.F.)

LOT IMPERVIOUS COVERAGE CALCULATION	S
TOTAL LOT	12,051 S.F.
TOTAL PROPOSED BLDG. COVERAGE PROPOSED POOL & DECK	3,522 S.F. 1,046 S.F.
DRIVEWAY & WALKWAY	1,444 S.F.
TOTAL PROPOSED MAX COVERAGE	6,012 S.F.
TOTAL PROPOSED MAX COVERAGE %	49.9 %
MAX ALLOWABLE IMPERVIOUS COVERAGE 50	% (6,025 S.F.)

DO NOT SCALE
DRAWINGS FOR
DIMENSIONS NOT
SHOWN CONTACT
PLAN COORDINATOR
FOR CLARIFICATION.

ISSUE DATE 05.19.23

PROPOSED SITE PLAN EXISTING SITE PLAN 1" = 10'



WALL LEGEND NEW 3 1/2" STUD WALL NEW 5 1/2" STUD WALL NEW 5 1/2" BEARING STUD WALL NEW 3 1/2" EXTERIOR STUD WALL NEW 5 1/2" EXTERIOR STUD WALL EXTG 8x16 CMU WALL W/ PT FURRING NEW 8x16 CMU WALL W/ PT FURRING EXTG 8x16 CMU WALL NEW 8x16 CMU WALL

#### EMOLITION NOTES:

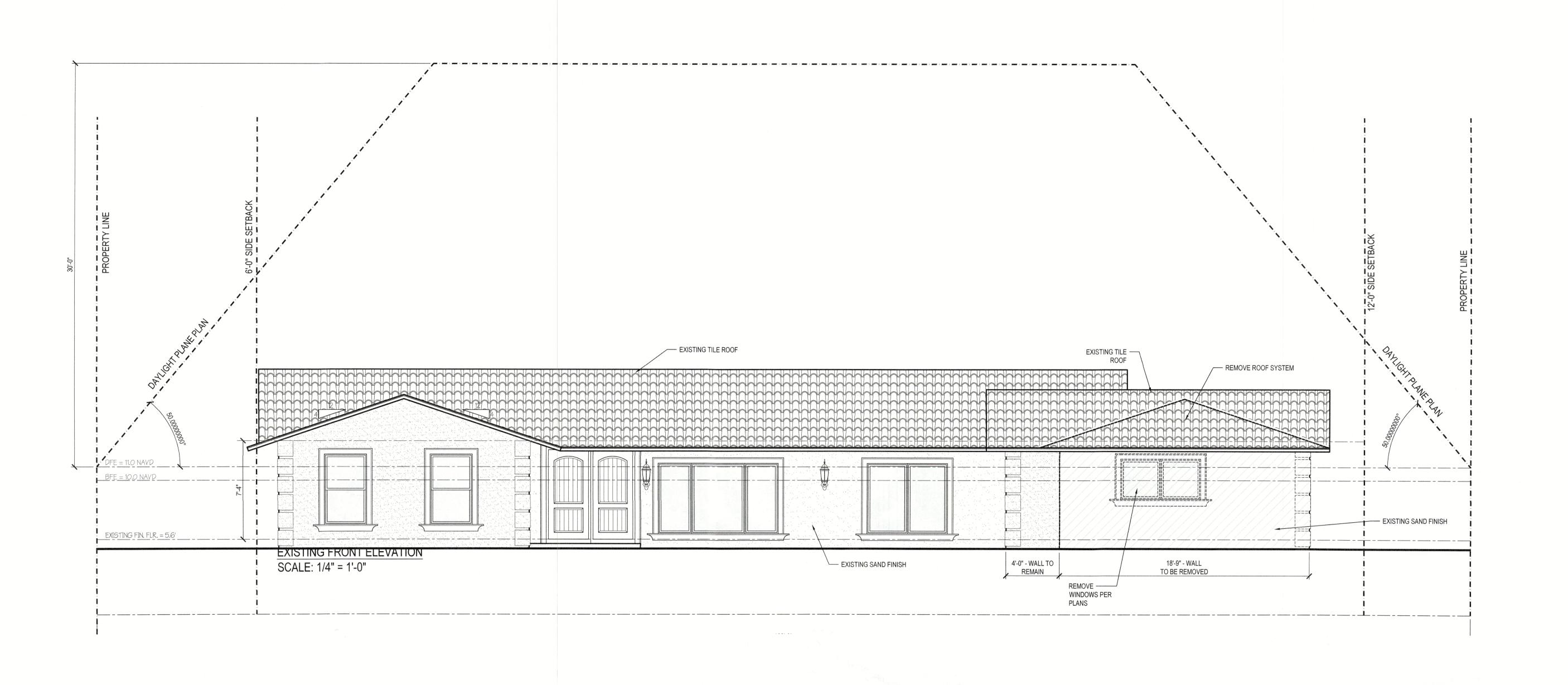
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF DEMOLITION TO ENSURE THAT NO STRUCTURAL MEMBER/COMPONENTS BECOME COMPROMISED AS SOME CONDITIONS REMAIN UNKNOWN. IF FIELD CONDITIONS DO NOT MATCH EXISTING CONDITIONS SHOWN HERE THE CONTRACTOR IS TO NOTIFY THE ARCHITECTS OFFICE IMMEDIATELY.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- 3. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF THE DEMOLITION. THE WORK MAY INCLUDE BUT NOT BE LIMITED TO WALL, DOORS, AND FIXTURES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY AND THE STABILITY OF EXISTING STRUCTURES ENCOMPASSED IN THERE SCOPE OF WORK DURING DEMOLITION AND NEW CONSTRUCTION.
- IT IS ALSO THEIR RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT AND SUPPORT SYSTEMS TO KEEP THE EXISTING STRUCTURE SAFE AND INTACT.
- REPAIR / FINISH ALL WALLS/CEILINGS WHERE DEMO'D WALLS CONNECT. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.
- 7. ALL EXISTING WALLS NOT NOTED TO REMAIN INTACT.
- 8. DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
- 10. WHEN EXISTING WALLS ARE BEING REMOVED CONTRACTOR TO ENSURE ALL ELECTRICAL IS OFF AND NO LIVE CIRCUITS ARE ABLE TO BE CONTACTED AT ANY
- 11. EXISTING FLOORING TO BE REMOVED VERIFY EXTENT WITH OWNER
- 12. PATCH/REPAIR DRYWALL AS NECESSARY IN WALLS NOT BEING REMOVED
- 13. EXISTING ROOF STRUCTURE TO BE REMOVED.
- 14. REMOVE AND REPLACE ALL GROUND FLOOR WINDOWS.
- AC DESIGN AND LAYOUT BY OTHERS.
- 16. INTERIOR DOORS TO REPLACED PER PLANS.
- 17. EXISTING EXTERIOR WALLS TO REMAIN AS-IS.
- 18. GROUND FLOOR EXTERIOR DOORS TO BE REPLACED.

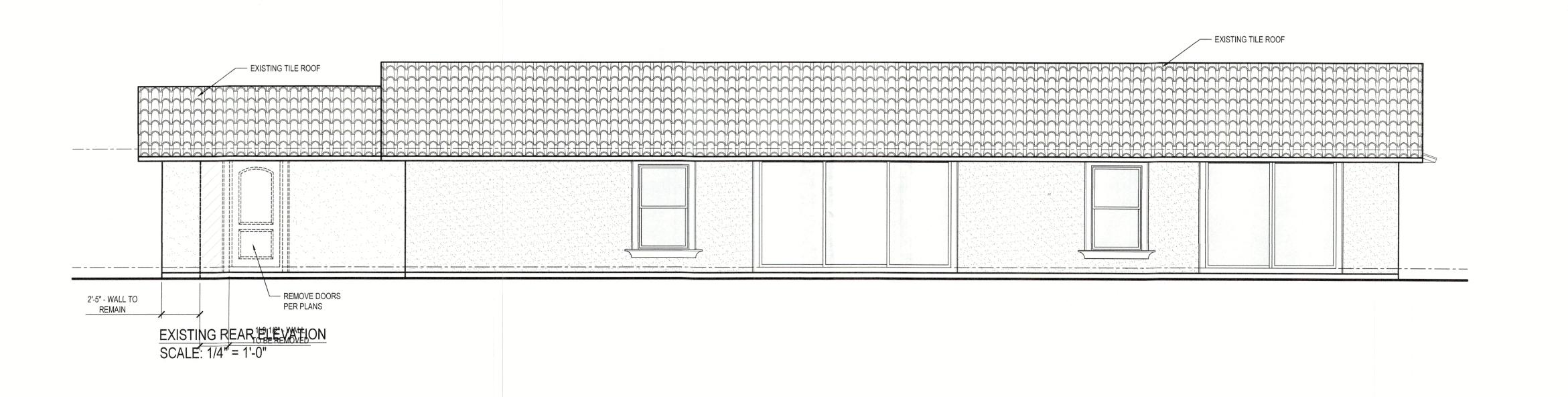
RESIDENCE 19 CUTTER NGBOAT KE

FLOOR PLAN

SHOWN CONTACT LAN COORDINATOR FOR CLARIFICATION

EXISTING/DEMO FLOOR PLAN SCALE: 1/4" = 1'-0"



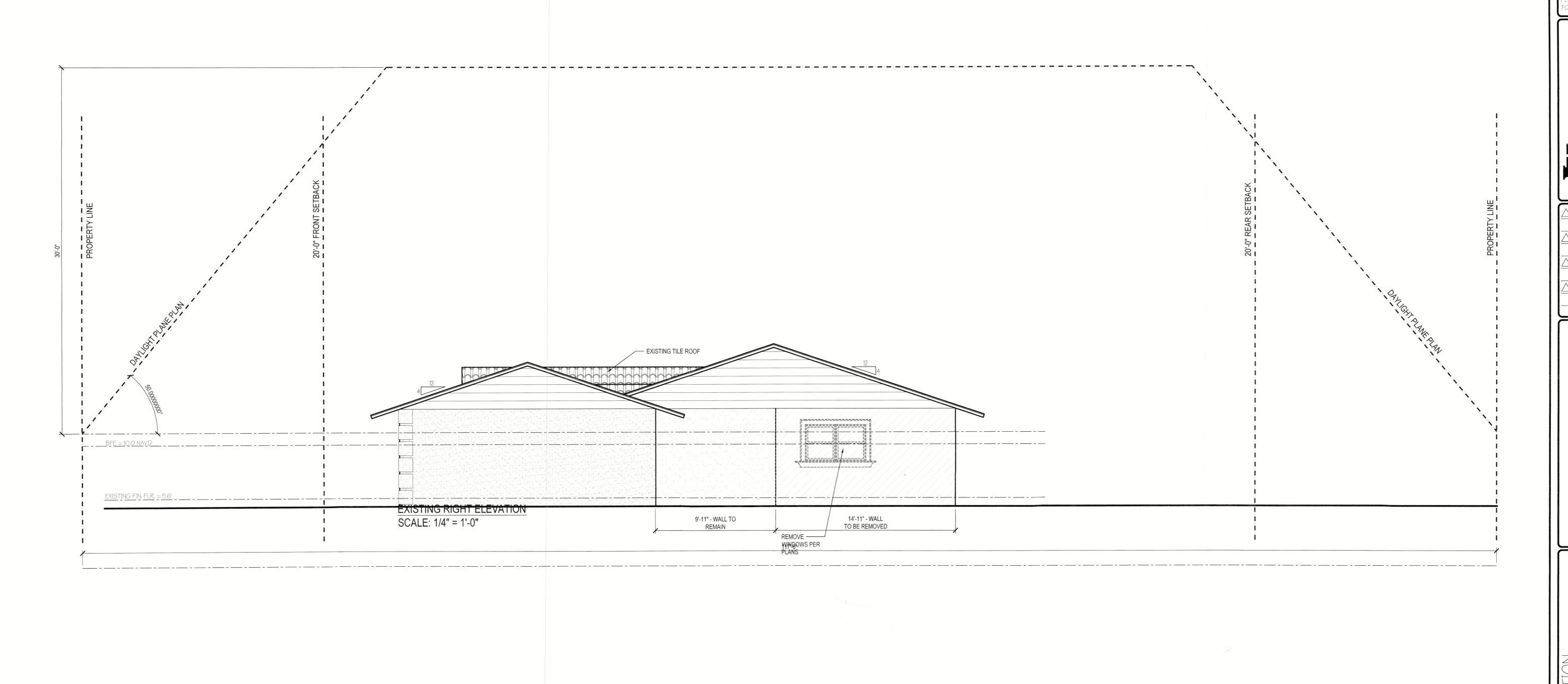


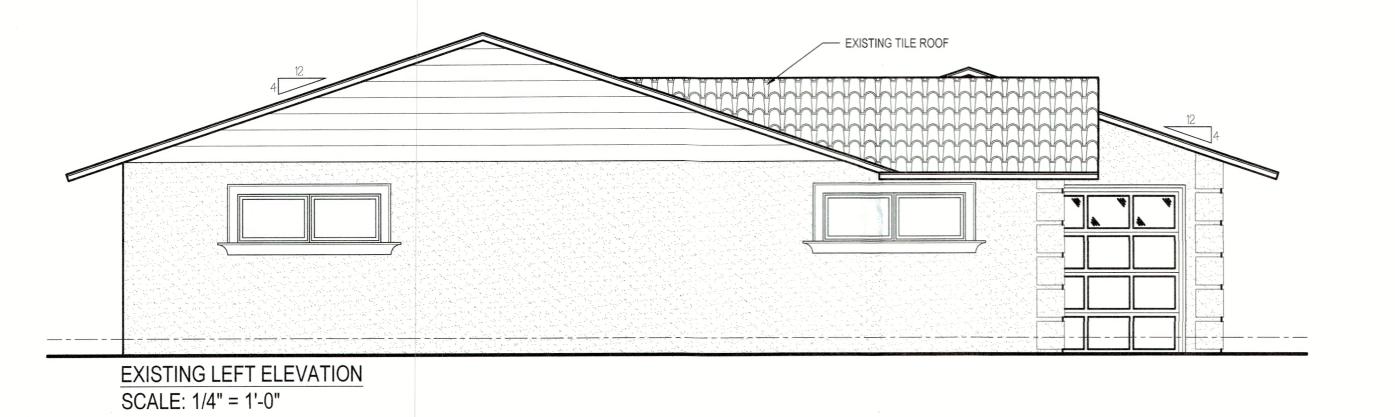
ON RESIDENCE ADDITION 549 CUTTER LANE

PLAN COORDINATO FOR CLARIFICATIO

ISSUE DATE 05.19.23

SHEET NUMBI



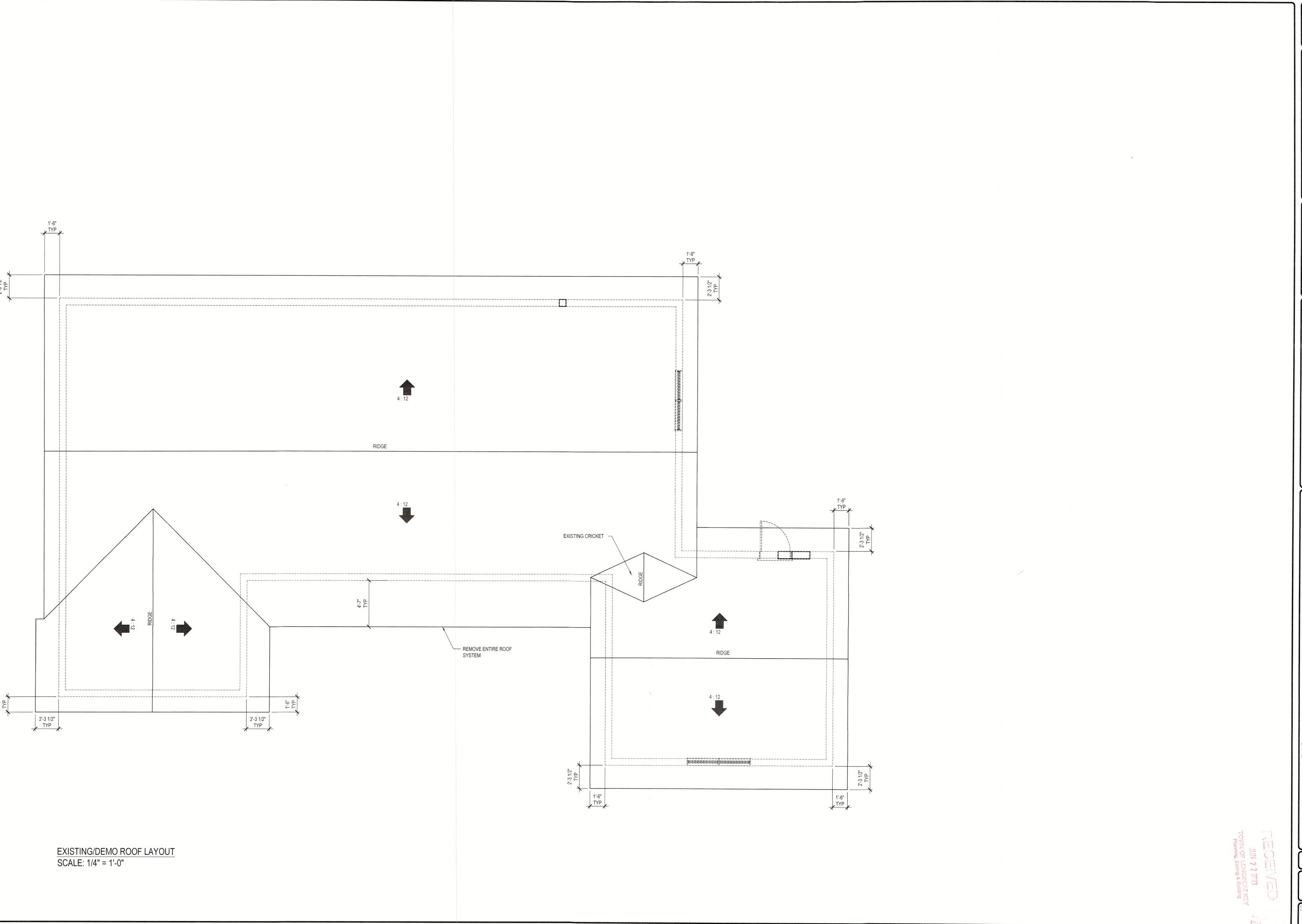


GIBSON RESIDENCE ADD 549 CUTTER LANE

ISSUE DAT 05.19.23

ELEVATIONS

EET NUMBER D3



1385 5th Street
Sarasota, FL 34236
(O) 941.465.0036

INS LLC

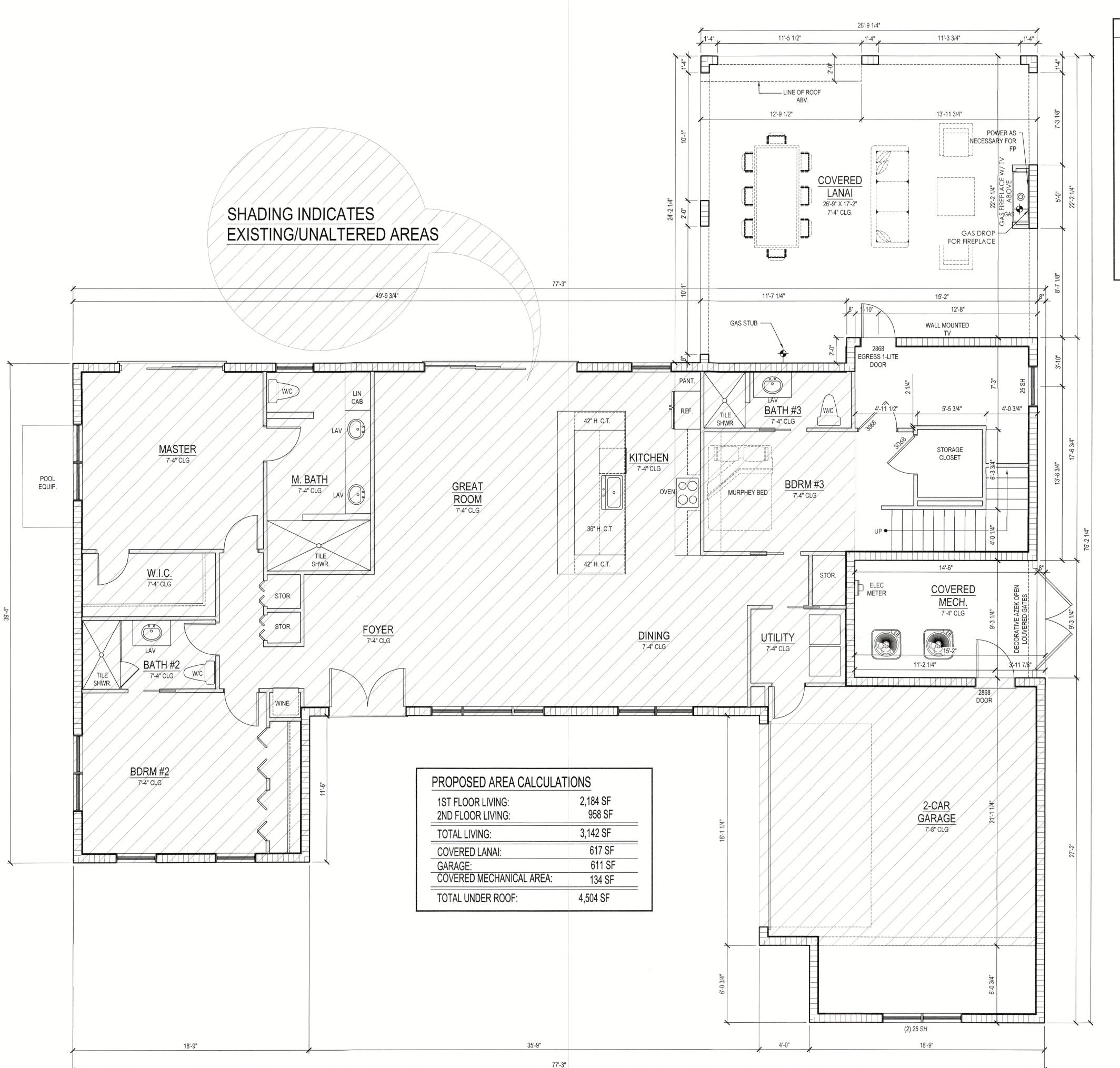
Sarasota, FL 34236
(O) 941.465.0036

DESIGNS LA Design / Illustra

SIDENCE ADDITION CUTTER LANE

ISSUE DATE 05.19.23

SHEET NUMBER



P2801.5 REQUIRED PAN. WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WALL LEGEND

NEW 3 1/2" STUD WALL

NEW 5 1/2" STUD WALL

NEW 5 1/2" BEARING STUD WALL

NEW 3 1/2" EXTERIOR STUD WALL

NEW 5 1/2" EXTERIOR STUD WALL

EXTG 8x16 CMU WALL W/ PT FURRING

NEW 8x16 CMU WALL W/ PT FURRING

EXTG 8x16 CMU WALL

NEW 8x16 CMU WALL

STEPS - 1ST FLOOR TO 2ND FLOOR:

15 RISERS @ 7-1/4" 14 TREADS @ 10"

1 LANDING

WATER HEATER DRAIN PAN NOTES:

WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A GALVANIZED STEEL PAN HAVING A MATERIAL THICKNESS OF NOT LESS THAN 0.0236 INCH (0.6010 MM) (NO. 24 GAGE), OR OTHER PANS APPROVED FOR SUCH USE. LISTED PANS SHALL COMPLY WITH CSA LC3. P2801.5.1 PAN SIZE AND DRAIN.

THE PAN SHALL BE NOT LESS THAN 11/2 INCHES (38 MM) DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE OF NOT LESS THAN 3/4 INCH (19 MM) DIAMETER. PIPING FOR SAFETY PAN DRAINS SHALL BE OF THOSE MATERIALS LISTED IN TABLE P2905.5.

P2801.5.2 PAN DRAIN TERMINATION. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE

RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152 MM) AND NOT MORE THAN 24 INCHES (610 MM) ABOVE THE ADJACENT GROUND SURFACE.

LOCATION TO EQUIPMENT CONNECTION LOCATIONS. BOTH SUPPLY AND WASTE (DIRECT & INDIRECT). INCLUDING ASSOCIATED DEVICES, EQUIPMENT, CONTROLS AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONT. SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICTS WITH

STRUCTURE, FINISHES OF WORK OF OTHER TRADES. THE DRAWINGS INDICATE GENERAL ROUTING AND DO NOT

SHOW ALL REQUIRED PIPING, FITTINGS, ETC.. PIPING ROUGH-INS SHALL BE CONCEALED, AND STUBBED IN WALLS AND COLUMN LOCATIONS WHEREVER

ALL HORIZONTAL PIPING LINES AS EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT HIGHEST POSSIBLE ELEVATION PLUMBING CONTRACTOR TO INSTALL FAUCETS, AND WASTES ON SINKS AND MAKE FINAL CONNECTIONS.

CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS. THE BUILDING DOMESTIC WATER SUPPLY (ABOVE AND BELOW GROUND) IS TO BE MINIMUM SCHEDULE 40 C-PVC

PIPING OR EQUAL (IE: PEX SYSTEMS). PLUMBING CONTRACTOR TO PROVIDE HAMMER ARRESTORS OR CHAMBERS

SANITARY DRAIN WASTE AND VENT PIPING IS TO BE MIN SCH-40 PVC-DWV (ASTM D-2665) ABOVE AND BELOW VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF DRAINS, VENT AND DOMESTIC WATER PIPING CONNECTIONS

PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL NOTIFY DESIGNER/ARCHITECT IMMEDIATELY.

COORDINATE ALL WORK WITH OTHER TRADES. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

CONTRACTOR SHALL VISIT THE SITE AND ALLOW FOR ALL EXISTING CONDITIONS IN HIS BID. IF NO HOSE BIBBS ARE CURRENTLY INSTALLED AT THE EXTERIOR OF THE HOUSE, NOTIFY DESIGNER IMMEDIATELY

REQUIRED SAFETY GLAZING IN HAZ. LOCATIONS

2406.3 HAZARDOUS LOCATIONS

FOR LOCATION.

2406.3 THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:

GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.

GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

4.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT (0.84 M SQ.).

4.2. BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.

4.3. TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.

SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

4.4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE

ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.

GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL

SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS

ROUGH OPENING NOTE:

FIELD VERIFY MASONRY AND FRAME OPENINGS OF WINDOWS AND DOORS WITH MANUFACTURE

LOOR PLAN GENERAL NOTES:

PER FBC 7TH EDITION RESIDENTIAL (2020) (R308.4.5), GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, SHALL BE CONSIDERED A HAZARDOUS LOCATION. G.C. TO VERIFY IF HOMEOWNER SELECTS ANY OF THESE ITEMS LISTED. IF ANY OF THESE ITEMS LISTED IS INSTALLED, SUCH GLAZING FACING THOSE ITEMS IS TO BE

ATTIC ACCESS TO BE JOB LOCATED. CONTRACTOR TO INSURE MINIMUM OF 30" CLEAR UNOBSTRUCTED HEIGHT ABOVE OPENING.

CONDENSATE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF 12" FROM BLDG. IRRIGATION/SPRINKLER SYSTEMS - INCLUDING ALL RISERS AND SPRAY - SHALL NOT BE INSTALLED WITHIN 12" OF THE BLDG.

CONTRACTOR TO ENSURE THAT PLUMBING AND TUB DECK DIMENSIONS PROPERLY COORDINATE WITH FINAL TUB CHOSEN. CONTRACTOR MUST VERIFY DECK DIMENSIONS AND PLUMBING WITH CHOSEN TUB PRIOR TO INSTALLING EITHER.

ALL WINDOWS AND GLASS DOORS NOT IMPACT RATED MUST BE PROTECTED BY CORRUGATED METAL PANELS OR ANOTHER APPROVED METHOD. PLYWOOD COVERINGS ARE NOT ACCEPTABLE. INSTALL ALL PROTECTIONS PER MANUFACTURER'S DETAILS AND INSTRUCTIONS.

EXISTING ROOF STRUCTURE TO REMAIN AS-IS.

NEW FLOOR FINISHES STYLE AND COLOR BY OTHERS.

REPAIR / FINISH ALL WALLS/CEILINGS WHERE DEMO'D WALLS CONNECTED. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.

COLOR AND STYLE OF NEW PLUMBING FIXTURES BY OTHERS.

0. VERIFY ALL MEASUREMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.

SHOWN CONTACT

AN COORDINATO

FOR CLARIFICATIO

FLOOR PLAN

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

WATER HEATER DRAIN PAN NOTES:

P2801.5 REQUIRED PAN.

WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A GALVANIZED STEEL PAN HAVING A MATERIAL THICKNESS OF NOT LESS THAN 0.0236 INCH (0.6010 MM) (NO. 24 GAGE), OR OTHER

PANS APPROVED FOR SUCH USE. LISTED PANS SHALL COMPLY WITH CSA LC3. P2801.5.1 PAN SIZE AND DRAIN. THE PAN SHALL BE NOT LESS THAN 11/2 INCHES (38 MM) DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN

INDIRECT WASTE PIPE OF NOT LESS THAN 3/4 INCH (19 MM) DIAMETER. PIPING FOR SAFETY PAN DRAINS SHALL BE OF THOSE MATERIALS LISTED IN TABLE P2905.5.

P2801.5.2 PAN DRAIN TERMINATION. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152

MM) AND NOT MORE THAN 24 INCHES (610 MM) ABOVE THE ADJACENT GROUND SURFACE.

LUMBING CONTRACTOR TO FURNISH AND INSTALL ALL MATERIAL AND PIPING REQUIRED FROM ROUGH-IN LOCATION TO EQUIPMENT CONNECTION LOCATIONS. BOTH SUPPLY AND WASTE (DIRECT & INDIRECT). INCLUDING ASSOCIATED DEVICES, EQUIPMENT, CONTROLS AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONT. SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICTS WITH STRUCTURE, FINISHES OF WORK OF OTHER TRADES. THE DRAWINGS INDICATE GENERAL ROUTING AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, ETC..

PIPING ROUGH-INS SHALL BE CONCEALED, AND STUBBED IN WALLS AND COLUMN LOCATIONS WHEREVER POSSIBLE.

ALL HORIZONTAL PIPING LINES AS EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT HIGHEST POSSIBLE ELEVATION

PLUMBING CONTRACTOR TO INSTALL FAUCETS, AND WASTES ON SINKS AND MAKE FINAL CONNECTIONS. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

THE BUILDING DOMESTIC WATER SUPPLY (ABOVE AND BELOW GROUND) IS TO BE MINIMUM SCHEDULE 40 C-PVC PIPING OR EQUAL (IE: PEX SYSTEMS). PLUMBING CONTRACTOR TO PROVIDE HAMMER ARRESTORS OR CHAMBERS WHERE APPLICABLE.

SANITARY DRAIN WASTE AND VENT PIPING IS TO BE MIN SCH-40 PVC-DWV (ASTM D-2665) ABOVE AND BELOW GROUND.

VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF DRAINS, VENT AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL NOTIFY DESIGNER/ARCHITECT IMMEDIATELY.

COORDINATE ALL WORK WITH OTHER TRADES. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

CONTRACTOR SHALL VISIT THE SITE AND ALLOW FOR ALL EXISTING CONDITIONS IN HIS BID.

IF NO HOSE BIBBS ARE CURRENTLY INSTALLED AT THE EXTERIOR OF THE HOUSE, NOTIFY DESIGNER IMMEDIATELY FOR LOCATION.

REQUIRED SAFETY GLAZING IN HAZ. LOCATIONS

2406.3 HAZARDOUS LOCATIONS

2406.3 THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF

GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.

GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

4.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT (0.84 M SQ.).

4.2. BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.

4.3. TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR. 4.4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE

GLAZING. ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING

STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.

GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

ROUGH OPENING NOTE:

FIELD VERIFY MASONRY AND FRAME OPENINGS OF WINDOWS AND DOORS WITH MANUFACTURE SPECIFICATIONS.

LOOR PLAN GENERAL NOTES:

PER FBC 7TH EDITION RESIDENTIAL (2020) (R308.4.5), GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, SHALL BE CONSIDERED A HAZARDOUS LOCATION. G.C. TO VERIFY IF HOMEOWNER SELECTS ANY OF THESE ITEMS LISTED. IF ANY OF THESE ITEMS LISTED IS INSTALLED, SUCH GLAZING FACING THOSE ITEMS IS TO BE

ATTIC ACCESS TO BE JOB LOCATED. CONTRACTOR TO INSURE MINIMUM OF 30" CLEAR UNOBSTRUCTED HEIGHT ABOVE OPENING.

CONDENSATE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF 12" FROM BLDG. IRRIGATION/SPRINKLER SYSTEMS - INCLUDING ALL RISERS AND SPRAY - SHALL NOT BE INSTALLED WITHIN 12" OF THE BLDG.

CONTRACTOR TO ENSURE THAT PLUMBING AND TUB DECK DIMENSIONS PROPERLY COORDINATE WITH FINAL TUB CHOSEN. CONTRACTOR MUST VERIFY DECK DIMENSIONS AND PLUMBING WITH CHOSEN TUB PRIOR TO INSTALLING EITHER.

ALL WINDOWS AND GLASS DOORS NOT IMPACT RATED MUST BE PROTECTED BY CORRUGATED METAL PANELS OR ANOTHER APPROVED METHOD. PLYWOOD COVERINGS ARE NOT ACCEPTABLE. INSTALL ALL PROTECTIONS PER MANUFACTURER'S DETAILS AND INSTRUCTIONS.

EXISTING ROOF STRUCTURE TO REMAIN AS-IS.

NEW FLOOR FINISHES STYLE AND COLOR BY OTHERS.

REPAIR / FINISH ALL WALLS/CEILINGS WHERE DEMO'D WALLS CONNECTED. MATCH EXISTING TEXTURES/COVERS AS APPLICABLE.

COLOR AND STYLE OF NEW PLUMBING FIXTURES BY OTHERS.

10. VERIFY ALL MEASUREMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.

SHOWN CONTACT

LAN COORDINATO

OR CLARIFICATION



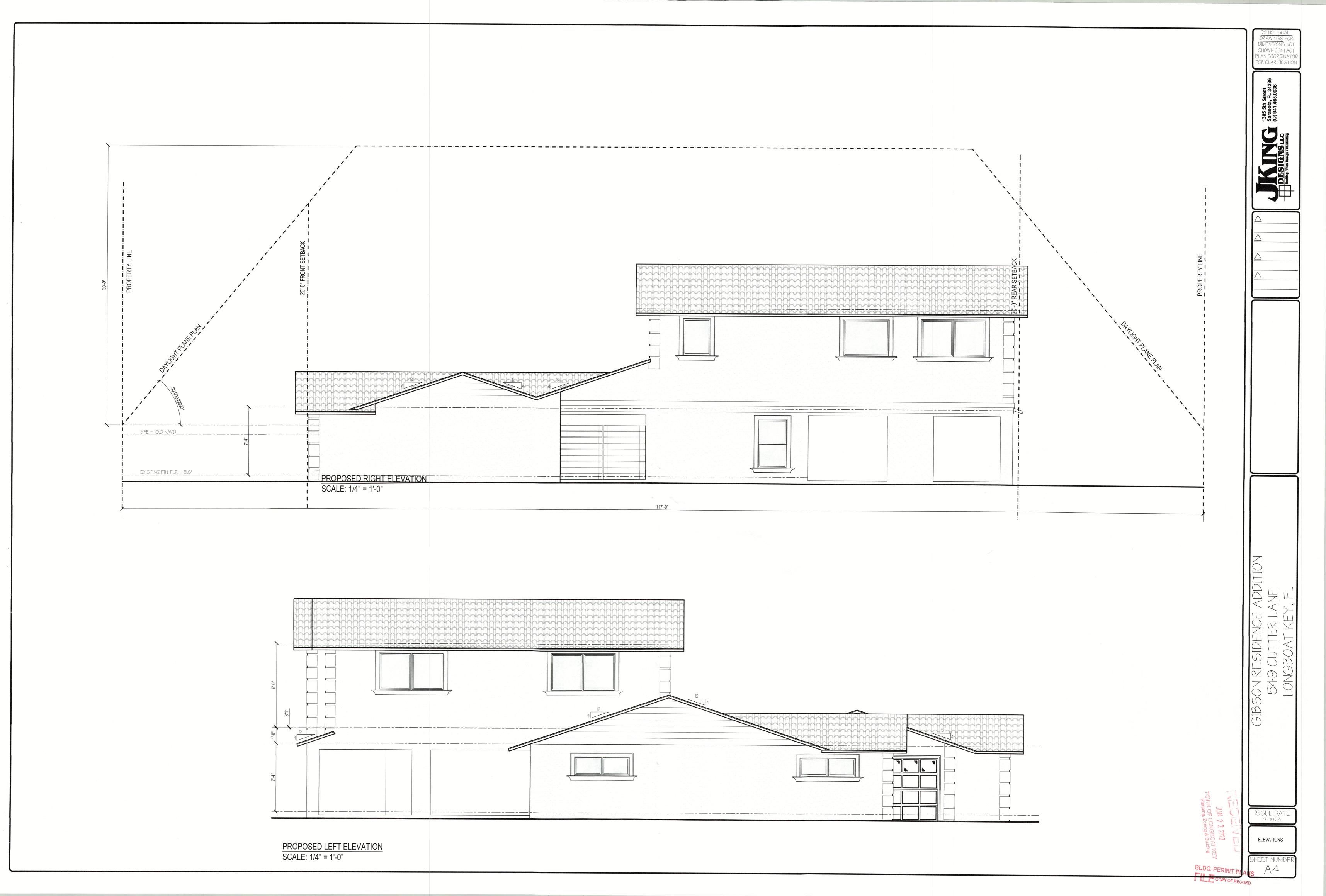
N RESIDENCE ADDITION 349 CUTTER LANE ONGROAT KFY FI

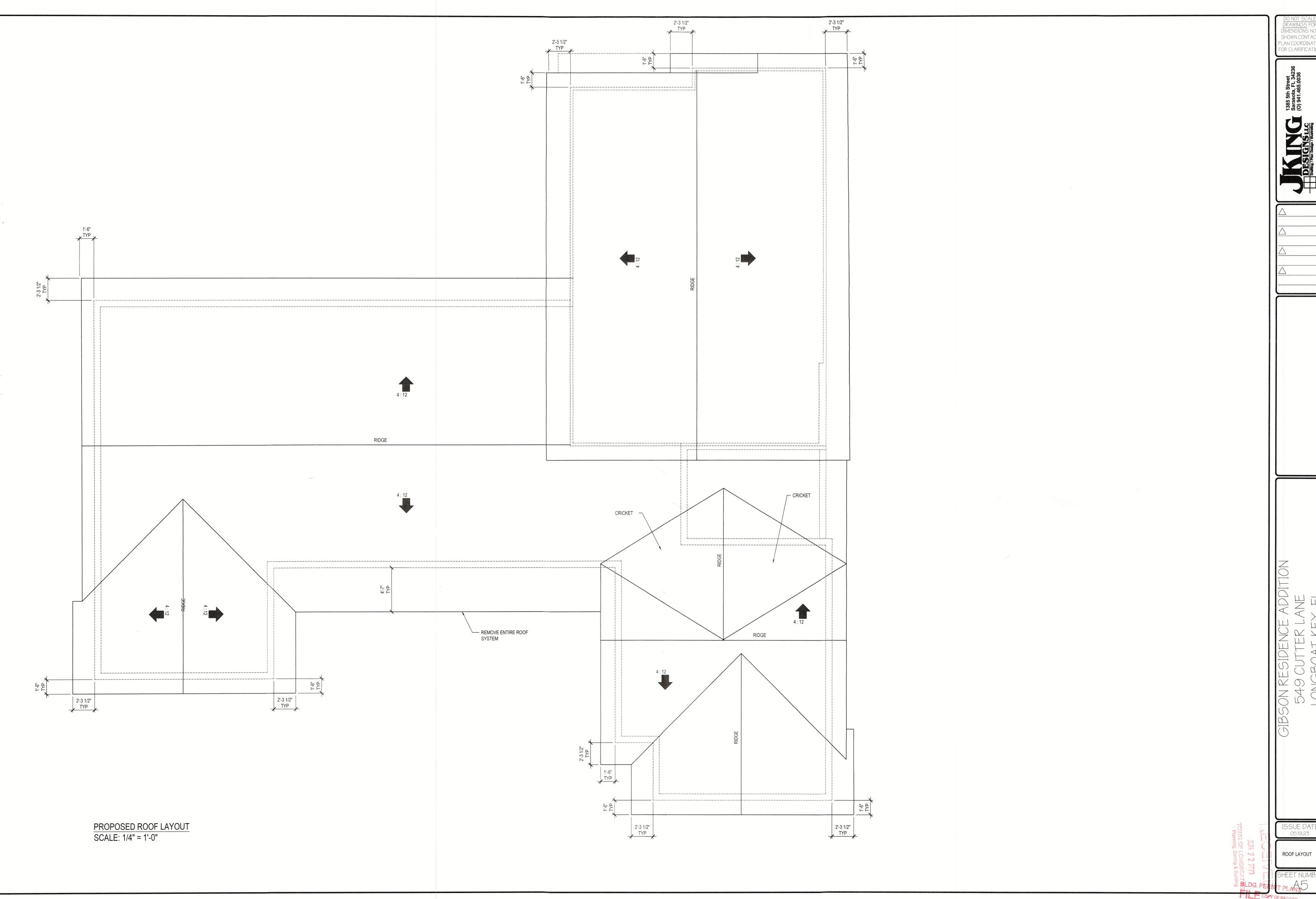
SHOWN CONTACT LAN COORDINATO FOR CLARIFICATION

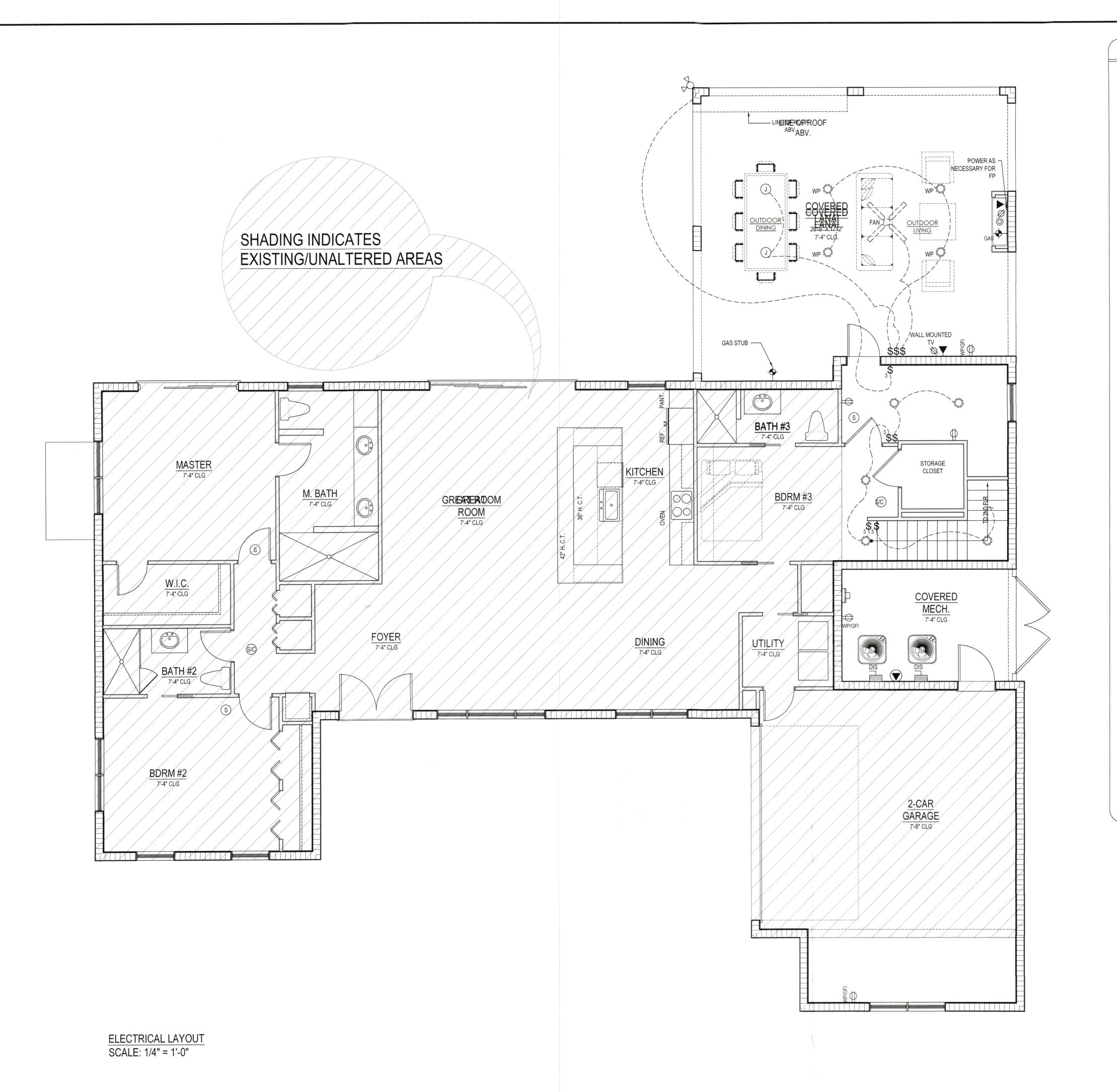
ISSUE DAT 05.19.23

ELEVATIONS

SHEET NUME A3







#### GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL DESIGN AND WORK SHALL BE IN STRICT COMPLIANCE WITH THE FBC 7TH EDITION (2020), RESIDENTIAL, PART 8-ELECTRICAL (2017 NATIONAL ELECTRIC CODE)

- 1. PER NEC SECTION 210.12(A) ALL 120V SINGLE PHASE 15- AND 20 AMPERE BRANCH CIRCUITS IN ALL AREAS OF A DWELLING (EXCEPT FOR KITCHEN, BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS): SHALL BE AFCI PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER: COMBINATION TYPE
- CARBON MONOXIDE PROTECTION PER FLORIDA STATUTES 553.885 (2). TO BE INSTALLED WITHIN 10' OF EVERY SLEEPING ROOM.
- 3. PER NEC SECTION 210.8(B)(4) ALL 15A & 20A, 125V RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI-PROTECTED.
- 4. PER NEC SECTION 210.8(B)(5) ALL 15A & 20A, 125V RECEPTACLES INSTALLED WITHIN 6' OF A SINK (IN NON-DWELLING UNIT OCCUPANCIES-i.e. OUTDOOR SUMMER KITCHENS RECEPTACLES) MUST BE GFCI-PROTECTED.
- 5. PER NEC SECTION 406.8(B)(1) 15A & 20A RECEPTACLES IN A WET LOCATION MUST BE WITHIN AN ENCLOSURE THAT IS WEATHERPROOF WHEN AN ATTACHMENT IS PLUGGED IN AND ALL NON-LOCKING RECEPTACLES SHALL BE LISTED AS WEATHER RESISTANT.
- PER NEC SECTION 406.11 IN DWELLING UNITS, ALL 15A & 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- PER NEC SECTION 800.156 NO LESS THAN ONE COMMUNICATIONS OUTLET SHALL BE INSTALLED WITHIN EACH DWELLING UNIT.
- INSTALLED INSIDE EA SLEEPING AREA.9. ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH

PER NEC SECTIONS R3.14.3 AND R315.1 SMOKE DETECTORS TO BE

MODEL # I4618A SMOKE ALARM, OR APPROVED EQUAL.

10. VERIFY ALL LOW VOLTAGE LOCATIONS INCLUDING, BUT NOT LIMITED TO, TV,

DATA, USB, SPEAKER, AND ALARM SYSTEMS PRIOR TO INSTALLATION.

UL 217, PER FBC 7TH EDITION (RESIDENTIAL) 314.1. GC TO INSTALL: KIDDE

- 11. ALL RECESSED LIGHTING TO BE LED
- 12. ALL TASK AND ACCENT LIGHTING AT CABINETS (ABOVE, BELOW, AND INSIDE) TO BE LED.
- 13. ALL STRIP FIXTURE (SUCH AS IN GARAGE) SHALL BE LED TYPE LIGHTING.
- 14. VERIFY LIGHTING COLOR OF LED FIXTURE (COOL, DAYLIGHT, ETC) WITH OWNER PRIOR TO INSTALLATION.
- 15. VERIFY WIRELESS DATA REQUIREMENTS WITH OWNER AND LOCATION/NUMBER OF WIRELESS ACCESS POINTS.
- 16. ALL HANGING FIXTURE, RECESSED LIGHTING, CEILING MOUNTED LIGHTS, AND SCONCES TO BE ON DIMMERS. VERIFY ALL SWITCHING REQUIREMENTS PRIOR TO INSTALLATION
- 17. WALL MOUNT TV PACKAGE TO HAVE HDMI CABLE, (1) DUPLEX RECPT, (1) CAT 5, (1) RG6 & PLYWOOD BACKING.
- VERIFY REQUIREMENT FOR EXTERIOR RECEPTACLES OR LIGHTING AT LANDSCAPING. VERIFY LOCATION OF SWITCHING (IF REQUIRED) WITH OWNER.
- 19. ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO AC EQUIPMENT, WATER HEATERS, RECEPTACLES, SWITCHES, LIGHTING, PANELS, AND TIMERS TO BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION OF 11.00' NAVD.
- 20. PER FEMA TECH BULLETIN #9 UTILITIES, INCLUDING ELECTRICAL WIRING, BREAKER BOXES, POWER METERS, PLUMBING, CONDUITS, AND VENTILATION DUCTS, SHALL NOT BE PLACED IN OR ATTACHED TO BREAKAWAY WALL PANELS. BUILDING SUPPLY LINES AND OTHER UTILITY FIXTURES, SUCH AS LIGHT SWITCHES OR ELECTRICAL OUTLETS, MAY BE ATTACHED TO THE SHELTERED SIDE OF VERTICAL FOUNDATION MEMBERS AS ALLOWED BY APPLICABLE BUILDING CODES AND FLOODPLAIN MANAGEMENT REGULATIONS (WHICH GENERALLY REQUIRE THAT UTILITIES BE ELEVATED ABOVE THE BFE). IF UTILITY LINES MUST BE ROUTED INTO OR OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE CONSTRUCTED WITH A UTILITY BLOCKOUT (SEE FIGURES 13 AND 14). UTILITY LINES THAT PASS THROUGH THE BLOCKOUT SHALL BE INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF THE WALL PANELS BREAK AWAY.

	_	
ECTRICAL NOTES.		ELECTRICAL SYMBOL KEY

LIGHT FIXTURES

CEILING SURFACE MOUNT LIGHT

6" RECESSED CAN LIGHT

OMM 6" RECESSED CAN LIGHT WATERPROOF

6" RECESSED CAN LIGHT - WALL WASH
4" Ø OR 4" SQ RECESSED JUNCTION BOX FOR HANGING FIXT.

CEILING (RECESSED) MNTD EXHAUST FAN - 12x12 HOUSING

WALL MNTD JUNCTION BOX FOR SCONCE

WALL MOUNT LIGHT

WALL MOUNT LIGHT

WALL MOUNT LIGHT - VAPOR PROOF

24" SURFACE MOUNTED FLUORESCENT LIGHT

FLOOD LIGHTS (SINGLE OR MULTIPLE)

CEILING FAN / LIGHT COMBINATION

48" SURFACE MOUNTED FLUORESCENT LIGHT

SWITCHES

SINGLE POLE SWITCH

SINGLE POLE SWITCH

HOW A FOUR-WAY SWITCH

DIS ELECTRICAL DISCONNECT

ELECTRICAL DISCONNECT

MISC FIXTURES

SURFACE MOUNTED CARBON MONOXIDE DETECTOR

SURFACE MOUNTED SMOKE DETECTOR

SURFACE MOUNTED CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR COMBINATION

ELECTRIC METER

ELECTRICAL PANEL

DOOR BELL CHIME

DOOR BELL PUSH BUTTON

GIBSON RESIDENCE AD 549 CUTTER LANI

SHOWN CONTACT LAN COORDINATO

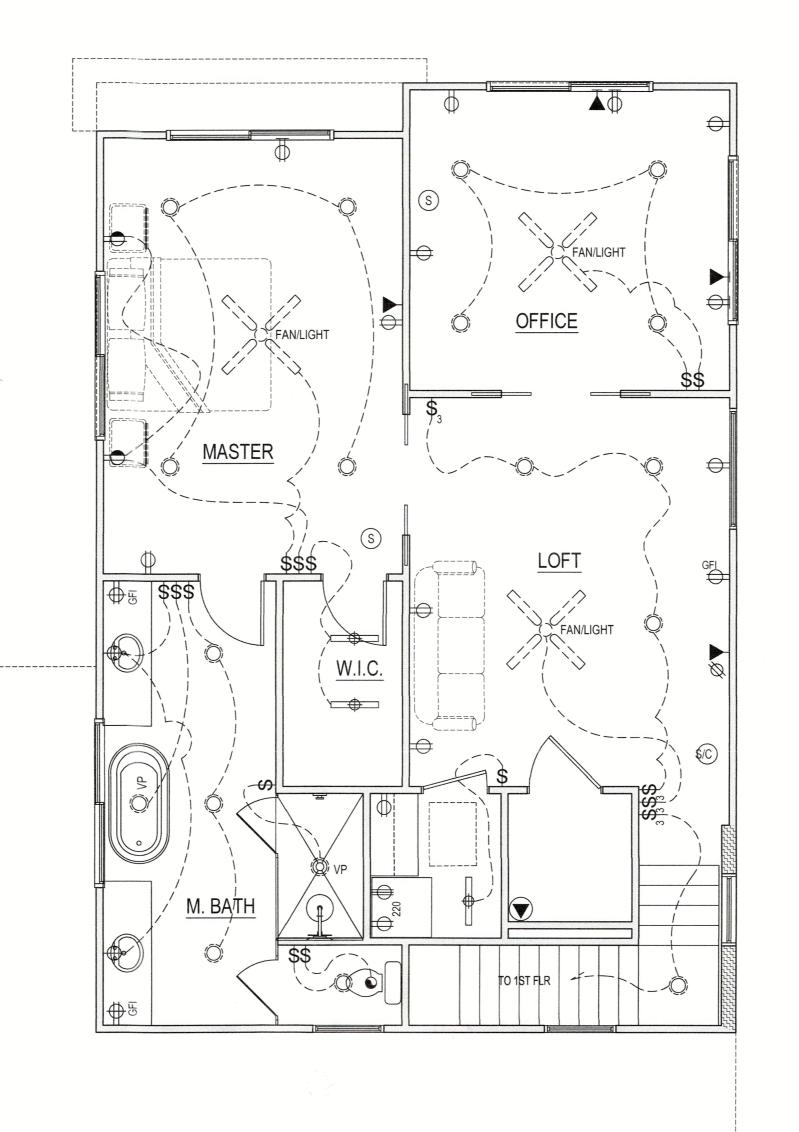
OR CLARIFICATIO

JUN 2 222 TOVAN OF LONGBO

FLOOR PLAN

EET NUMBER E1

LAINS



ALL ELECTRICAL DESIGN AND WORK SHALL BE IN STRICT COMPLIANCE WITH THE FBC 7TH EDITION (2020), RESIDENTIAL, PART 8-ELECTRICAL (2017 NATIONAL

- 1. PER NEC SECTION 210.12(A) ALL 120V SINGLE PHASE 15- AND 20 AMPERE BRANCH CIRCUITS IN ALL AREAS OF A DWELLING (EXCEPT FOR KITCHEN, BE AFCI PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER:
- 2. CARBON MONOXIDE PROTECTION PER FLORIDA STATUTES 553.885 (2). TO BE
- OUTDOORS MUST BE GFCI-PROTECTED.
- 4. PER NEC SECTION 210.8(B)(5) ALL 15A & 20A, 125V RECEPTACLES INSTALLED WITHIN 6' OF A SINK (IN NON-DWELLING UNIT OCCUPANCIES-i.e. OUTDOOR SUMMER KITCHENS RECEPTACLES) MUST BE GFCI-PROTECTED.
- 5. PER NEC SECTION 406.8(B)(1) 15A & 20A RECEPTACLES IN A WET LOCATION MUST BE WITHIN AN ENCLOSURE THAT IS WEATHERPROOF WHEN AN ATTACHMENT IS PLUGGED IN AND ALL NON-LOCKING RECEPTACLES SHALL BE LISTED AS WEATHER RESISTANT.
- 6. PER NEC SECTION 406.11 IN DWELLING UNITS, ALL 15A & 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- 8. PER NEC SECTIONS R3.14.3 AND R315.1 SMOKE DETECTORS TO BE INSTALLED INSIDE EA SLEEPING AREA.
- 9. ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217, PER FBC 7TH EDITION (RESIDENTIAL) 314.1. GC TO INSTALL: KIDDE MODEL # I4618A SMOKE ALARM, OR APPROVED EQUAL.
- DATA, USB, SPEAKER, AND ALARM SYSTEMS PRIOR TO INSTALLATION.
- 13. ALL STRIP FIXTURE (SUCH AS IN GARAGE) SHALL BE LED TYPE LIGHTING.
- 14. VERIFY LIGHTING COLOR OF LED FIXTURE (COOL, DAYLIGHT, ETC) WITH
- 15. VERIFY WIRELESS DATA REQUIREMENTS WITH OWNER AND
- 16. ALL HANGING FIXTURE, RECESSED LIGHTING, CEILING MOUNTED LIGHTS, AND SCONCES TO BE ON DIMMERS. VERIFY ALL SWITCHING REQUIREMENTS
- 5, (1) RG6 & PLYWOOD BACKING.
- 19. ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO AC EQUIPMENT. WATER HEATERS, RECEPTACLES, SWITCHES, LIGHTING, PANELS, AND TIMERS TO BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION OF
- 20. PER FEMA TECH BULLETIN #9 UTILITIES, INCLUDING ELECTRICAL WIRING, BREAKER BOXES, POWER METERS, PLUMBING, CONDUITS, AND VENTILATION DUCTS, SHALL NOT BE PLACED IN OR ATTACHED TO BREAKAWAY WALL PANELS. BUILDING SUPPLY LINES AND OTHER UTILITY FIXTURES, SUCH AS LIGHT SWITCHES OR ELECTRICAL OUTLETS, MAY BE AS ALLOWED BY APPLICABLE BUILDING CODES AND FLOODPLAIN OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE CONSTRUCTED WITH A UTILITY BLOCKOUT (SEE FIGURES 13 AND 14). UTILITY LINES THAT PASS THROUGH THE BLOCKOUT SHALL BE INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF

ENERAL	ELECTRICAL NOTES:	

ELECTRIC CODE)

- BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS): SHALL COMBINATION TYPE.
- INSTALLED WITHIN 10' OF EVERY SLEEPING ROOM.
- 3. PER NEC SECTION 210.8(B)(4) ALL 15A & 20A, 125V RECEPTACLES INSTALLED

- 7. PER NEC SECTION 800.156 NO LESS THAN ONE COMMUNICATIONS OUTLET SHALL BE INSTALLED WITHIN EACH DWELLING UNIT.

- 10. VERIFY ALL LOW VOLTAGE LOCATIONS INCLUDING, BUT NOT LIMITED TO, TV,
- ALL RECESSED LIGHTING TO BE LED
- 12. ALL TASK AND ACCENT LIGHTING AT CABINETS (ABOVE, BELOW, AND INSIDE) TO BE LED.
- OWNER PRIOR TO INSTALLATION.
- LOCATION/NUMBER OF WIRELESS ACCESS POINTS.
- PRIOR TO INSTALLATION
- 17. WALL MOUNT TV PACKAGE TO HAVE HOMI CABLE, (1) DUPLEX RECPT, (1) CAT
- 18. VERIFY REQUIREMENT FOR EXTERIOR RECEPTACLES OR LIGHTING AT LANDSCAPING. VERIFY LOCATION OF SWITCHING (IF REQUIRED) WITH OWNER.
- ATTACHED TO THE SHELTERED SIDE OF VERTICAL FOUNDATION MEMBERS MANAGEMENT REGULATIONS (WHICH GENERALLY REQUIRE THAT UTILITIES BE ELEVATED ABOVE THE BFE). IF UTILITY LINES MUST BE ROUTED INTO OR THE WALL PANELS BREAK AWAY.

ELECTRICAL SYMBOL KEY

LIGHT FIXTURES CEILING SURFACE MOUNT LIGHT (C) 6" RECESSED CAN LIGHT

O'AM 6" RECESSED CAN LIGHT WATERPROOF 6" RECESSED CAN LIGHT - WALL WASH  $(\Gamma)$  4" Ø OR 4" SQ RECESSED JUNCTION BOX FOR HANGING FIXT.

CEILING (RECESSED) MNTD EXHAUST FAN - 12x12 HOUSING WALL MNTD JUNCTION BOX FOR SCONCE **▶** | WALL MOUNT LIGHT

Odn 4" RECESSED CAN LIGHT - VAPOR PROOF 24" SURFACE MOUNTED FLUORESCENT LIGHT

FLOOD LIGHTS (SINGLE OR MULTIPLE)

NA7 CEILING EAN ONLY CEILING FAN / LIGHT COMBINATION

48" SURFACE MOUNTED FLUORESCENT LIGHT 

OUTLETS DUPLEX OUTLET GFI OUTLET 2200 PER PROOF GFI OUTLET

SB HOT DUPLEX OUTLET 220V OUTLET HID USB OUTLET

THƏIJ\NA

COUNTER HEIGHT GFI OUTLET QUADRUPLEX OUTLET TELEPHONE OUTLET

DATA (NETWORK) OUTLET SPECIAL PURPOSE OR DEDICATED CIRCUIT CEILING MOUNTED DUP. OUTLET FLOOR MOUNTED DUP. OUTLET

SWITCHES SINGLE POLE SWITCH

€9-3 | THREE-WAY SWITCH 69-4 FOUR-WAY SWITCH ELECTRICAL DISCONNECT

MISC FIXTURES

(3) SURFACE MOUNTED CARBON MONOXIDE DETECTOR S SURFACE MOUNTED SMOKE DETECTOR SURFACE MOUNTED CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR COMBINATION

ELECTRIC METER PANEL ELECTRICAL PANEL

DOOR BELL CHIME DOOR BELL PUSH BUTTON

SHOWN CONTACT PLAN COORDINATO FOR CLARIFICATION

BLDG PERM

2ND FLOOR PLAN ELECTRICAL LAYOUT SCALE: 1/4" = 1'-0"

#### **RETROFIT NOTES**

- 1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR ARE TO BE REPLACED OR RETROFITTED AS SHOWN.
- 2. SHORING SHALL BE PER OSHA STD. 1926 BY OTHERS.
- 3. EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE
- 4. NOTIFY EOR IF EXISTING STRUCTURAL ELEMENTS VARY FROM WHAT IS SHOWN ON PLANS.
- 5. NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR
  - DIMENSIONAL DISCREPANCIES.
- 6. NOTIFY EOR OF ANY ADDITIONAL AREAS IN NEED OF REPAIR NOT ALREADY SHOWN ON PLAN.
- 7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

### FOUNDATION NOTES

- DO NOT SCALE FOOTING SIZE FROM PLAN.
- 2. SEE FOUNDATION / STEMWALL SECTIONS ON SHEET S1.1 FOR SIZES.
- 3. ISOLATED PAD FOOTINGS AND MONOLITHIC FOOTINGS CAN BE POURED INTEGRALLY, BOTTOMS AT THE SAME ELEVATION.
- 4. REFER TO DETAIL ON SHEET \$1.1 FOR SHOWER RECESS 5. USE BORA-CARE FOR TERMITE PROTECTION IN ACCORDANCE WITH
- FBC SECTION R218.
- MOISTURE PROTECTION BY OTHERS.
- TOP OF ALL FOUNDATIONS SHALL BE A MINIMUM OF 6" BELOW ADJACENT GRADE / PAVERS / SLAB.

#### **DIMENSION NOTES**

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON

STRUCTURAL SHEETS.

#### **CONCRETE SLAB NOTES**

- 4" THICK, 3000 PSI CONCRETE SLAB WITH STEEL TROWEL FINISH WITH FIBER ADDITIVE ON 6 MIL PLASTIC VAPOR BARRIER, LAPPED 6" AND TAPED ON CLEAN COMPACTED FILL.
- 2. REFER TO SHEET S4.0 'GENERAL NOTES' FOR COMPACTION REQUIREMENTS.

FILLED CELLS LEGEND

- INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES EXISTING FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/SIMPSON SET-EPOXY.

STRU	JCTURAL NOTES (S.1)		
MARK	MARK DESCRIPTION		
S-1	SLAB ON GRADE: 4" CONCRETE SLAB W/ FIBERMESH SLOPE TO DRAIN AS REQ'D.		
S-2	SLAB: RECESS SLAB 4" AT SHOWER REFER TO DETAIL ON SHEET S1.1		
S-3	LOAD BEARING WALL: ATTACH PT. BOTTOM PLATE TO FOOTING WITH 5/8" x 6" TITEN HDs AT 12" OR 16" O.C. MIN. (2) PER WALL SEGMENT		
S-4	SLAB CONNECTION-DRILL & EPOXY #5 REBAR 6" INTO EXISTING STEMWALL/SLAB W/SIMPSON SET EPOXY 12" FROM EDGE & MAX 24" O.C.EXTEND 6" INTO NEW SLAB.		
S-5	FOOTING: INCREASE FOOTING WIDTH MIN. 6" PAST CMU ON EACH SIDE W/ (1) #5 REBAR AT 8" O.C., EACH WAY, BOTTOM		
S-6	RECESS ELEVATOR PIT SLAB PER MANUF. SPECS., DROP STEMWALL FOOTINGS AS REQUIRED		
S-7	EXTEND REBAR FROM NEW FOOTING DRILL & EPOXY 6" INTO EXIST. FTG. W/SIMPSON SET-EPOXY.		

WALL FOOTING SCHEDULE F-1				
MARK	SIZE / TYPE	REINFORCING	REMARKS	
F-1	8"H x 12"W MONO FTG.	(2) #5s CONT.	REFER TO DETAIL S ON SHEET S1.1	
F-2	20"H x 16"W THICK. EDGE	(2) #5s CONT.	REFER TO DETAIL T1 ON SHEET S1.1	
F-2A	20"H x 16"W W/ STEEP FOR RECESS	(2) #5s CONT.	REFER TO DETAIL T1 ON SHEET S1.1	
F-3	20"H x 16"W MONO FTG.	(2) #5s CONT.	REFER TO DETAIL M1 ON SHEET S1.1	
F-4	20"H x 24"W MONO FTG.	(3) #5s CONT.	REFER TO DETAIL M2 ON SHEET S1.1	
F-5	20"H x 24"W THICK. EDGE	(3) #5s CONT.	REFER TO DETAIL T, 4 ON SHEET S1.1, S4.4.	
F-E	16"x16" EXISTING MONO FTG. (TO BE VERIFIED BY	-	-	

PAD FOOTING SCHEDULE P-1				
MARK	SIZE	REINFORCING	REMARKS	
P-2	24" x 24" x 12" PAD	(3) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1	
P-2.5	30" x 30" x 12" PAD	(3) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1	
P-3	36" x 36" x 12" PAD	(5) #5s EACH WAY	SEE PAD FOOTING DETAIL ON S1.1	
P-X	24"Wx12"D PAD - EXTEND 12" BEYOND CMU	(3) #5 LONG. REBAR & #5 TRAN REBAR AT 8" O.C.	SEE PAD FOOTING DETAIL ON S1.1	

0 0	
JUN 2 2 2023 TOWN OF LONGBOAT KEY Planning, Zoning & Building	
N 2	
2 2 2023 2 0 2086 2 2 2086	-
CAT Build	1
30 -	

**S1.0** 

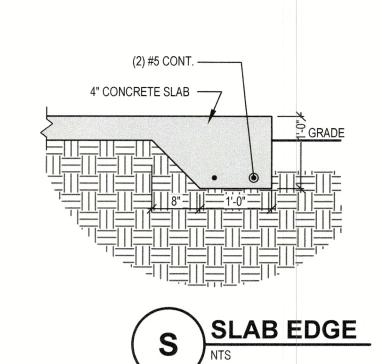
YOUNG X HEDRICK

A Custom Home for:

RESIDENCE ADDITION
ER LANE, LONGBOAT KEY, FL **o** 5

**FOUNDATION PL** 1/4" = 1' - 0"

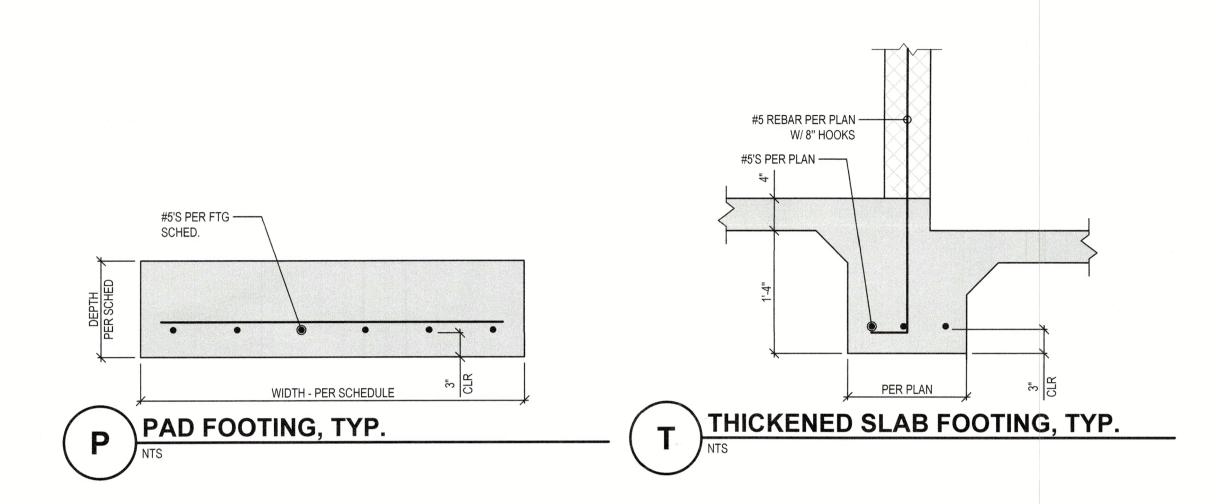
w\$1.1

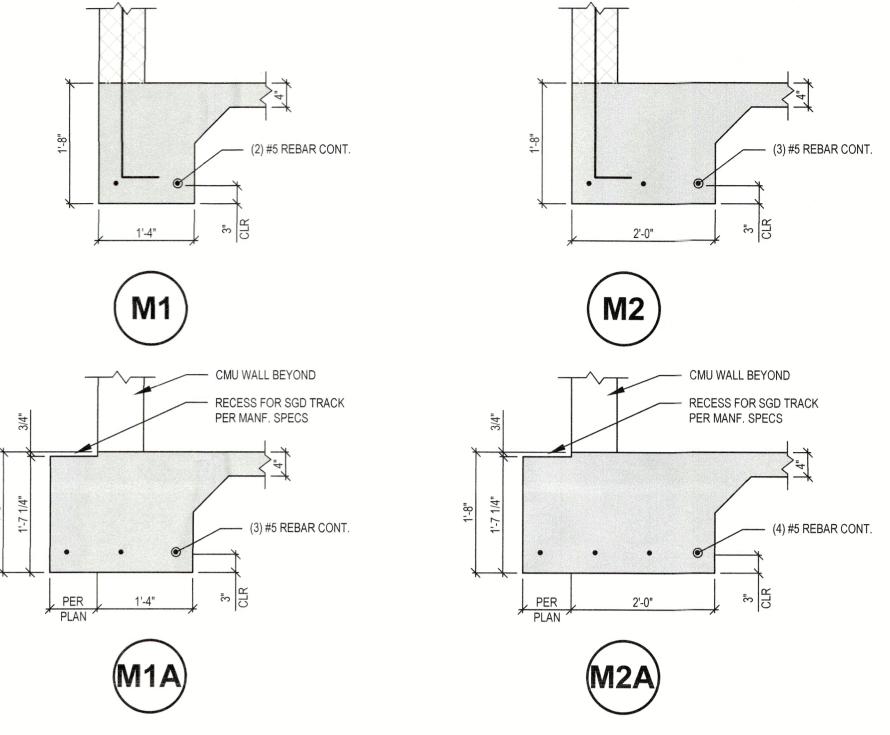


## FOOTER STEP DETAIL, TYPICAL

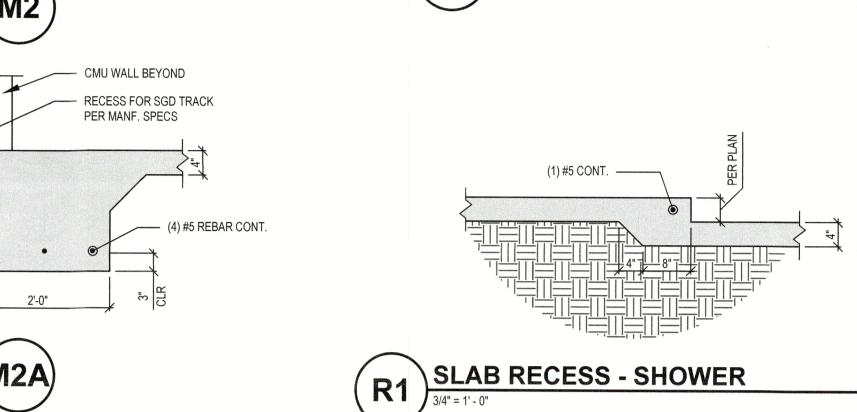
STD. 90 BEND -

SEE PLANS FOR REINFORCING —





MONO FOOTING SECTIONS

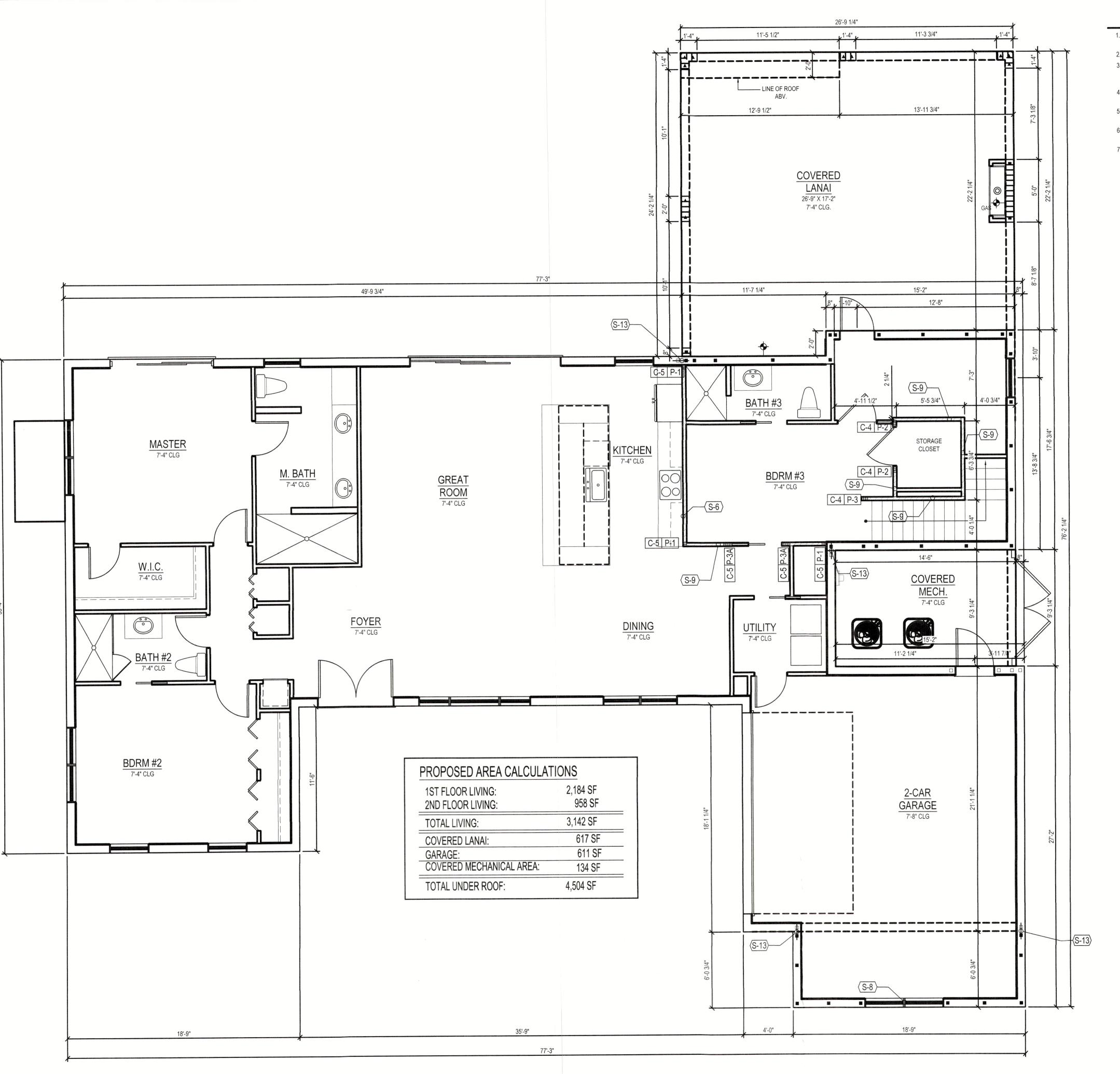


(1) #5 CONT. ———

M3 SLAB EDGE - EQUIPMENT PAD

3/4" = 1' - 0"

4" CONCRETE SLAB -



#### **RETROFIT NOTES**

- 1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR ARE TO BE REPLACED OR RETROFITTED AS SHOWN.
- 2. SHORING SHALL BE PER OSHA STD. 1926 BY OTHERS.
- EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
- 4. NOTIFY EOR IF EXISTING STRUCTURAL ELEMENTS VARY FROM WHAT IS SHOWN ON PLANS.
- NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR DIMENSIONAL DISCREPANCIES.
- 6. NOTIFY EOR OF ANY ADDITIONAL AREAS IN NEED OF REPAIR NOT ALREADY SHOWN ON PLAN.
- 7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

#### **DIMENSION NOTES**

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.



A Custom Home for:

RESIDENCE ADDITION
ER LANE, LONGBOAT KEY, FL

**GIBS**(549 CL

- **FLOOR PLAN** 

STRUCTURAL 1/4" =

FILLED CELLS LEGEND

INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES EXISTING FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/SIMPSON SET-EPOXY.

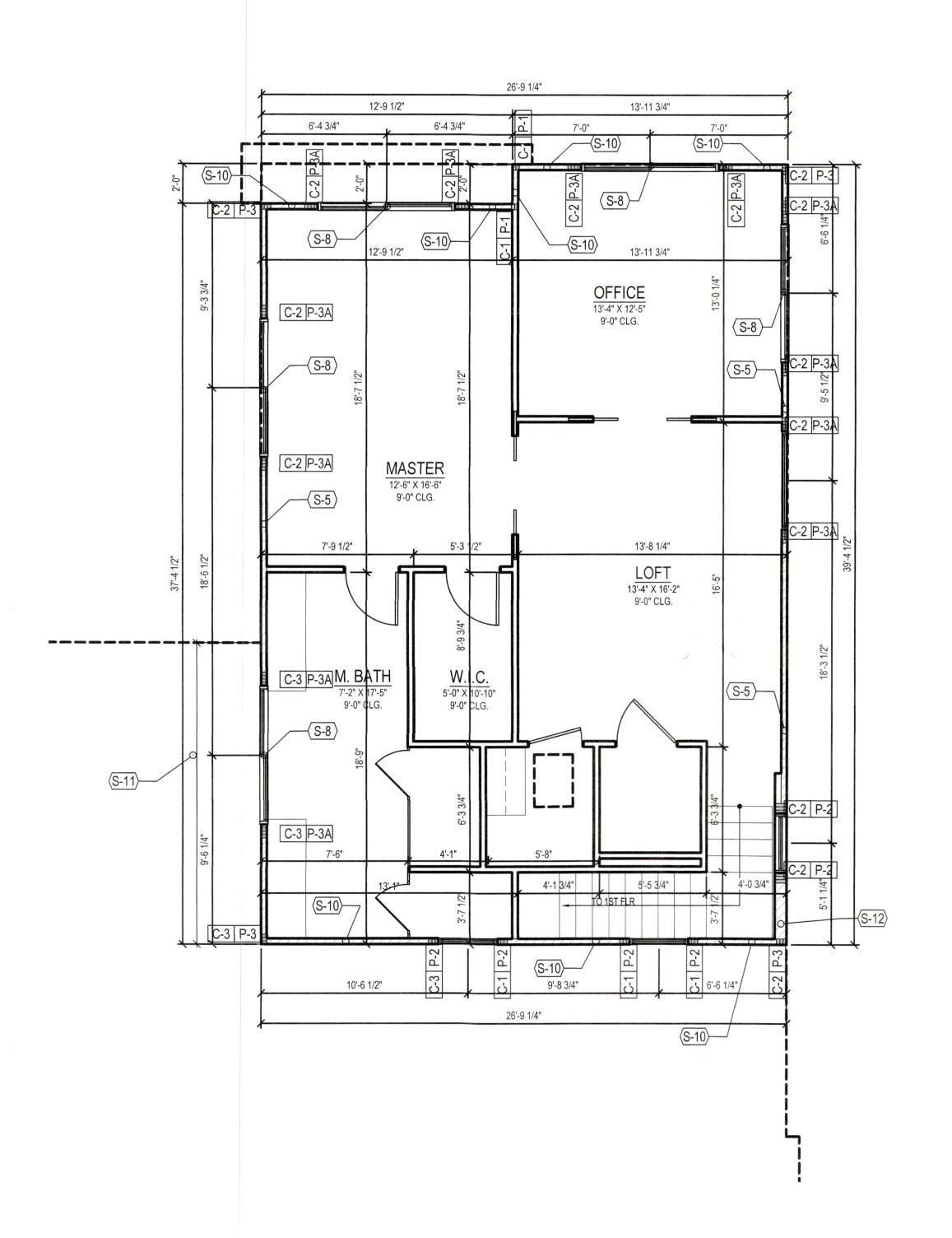
	POST	SCHEDULE
	MARK	DESCRIPTION
P-1		(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
	P-2	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L JACK STUD MATCH WALL THICKNESS
	P-3	(3) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
	P-3A	(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L (2) 2 x JACK STUD MATCH WALL THICKNESS

CONI	CONNECTOR SCHEDULE C-1			
MARK	DESCRIPTION			
C-1	(1) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW			
C-2	(2) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW			
C-3	(2) SIMPSON CS16 TO BEAM/WALL BELOW			
C-4	(1) SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 4" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=1310#)			
C-5	(1) SIMPSON HTT4 W/ 5/8 " DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=3610#)			

STRU	JCTURAL NOTES (S-1)
MARK	DESCRIPTION
S-1	MASONRY WALL: (1) NO.5 REBAR CONT. IN FULLY GROUTED COURSE AT TOP OF WALL
S-2	MASONRY WALL: (1) NO.5 REBAR CONT. IN FULLY GROUTED COURSE BELOW SILL. EXTEND 24" BEYOND OPENING OR TO END OF WALL
S-3	MASONRY WALL: CMU BUMP-OUT SHALL BE INTEGRAL WITH ADJACENT MASONRY
S-4	MASONRY WALL: FILL ALL CELLS
S-5	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-6	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7' - 4" AFF
S-7	WOOD POST: BEAR DIRECTLY ON CONCRETE SLAB OR STEEL SHIM. PROVIDE MOISTURE PROTECTION AS REQUIRED.
S-8	NON-BEARING MULLIONS BY WINDOW MANF.
S-9	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7' - 4" AFF
S-10	BALLOON FRAME WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT.
S-11	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-12	LOAD BEARING WALL: 2x8 SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-13	NO.5 HORIZONTAL DOWELS DRILL & EPOXY 4" INTO EXIST. FILLED CELL W/SET EPOXY HOOK 8" INTO NEW CELL, SPACE 16" O.C.

		RE	VISIONS
		BY	DATE
5		-	-
5		-	-
5 =		-	-
n Z	63	-	-
0 2	111	-	-
2 202 ONGB	100	-	-
023 BOAT K		NPM	03.21.2023

**S2.0** 



#### **RETROFIT NOTES**

- 1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR
- ARE TO BE REPLACED OR RETROFITTED AS SHOWN. 2. SHORING SHALL BE PER OSHA STD. 1926 - BY OTHERS.
- 3. EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
- 4. NOTIFY EOR IF EXISTING STRUCTURAL ELEMENTS VARY FROM
- WHAT IS SHOWN ON PLANS. 5. NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR
- DIMENSIONAL DISCREPANCIES.
- 6. NOTIFY EOR OF ANY ADDITIONAL AREAS IN NEED OF REPAIR NOT ALREADY SHOWN ON PLAN.
- 7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

#### **DIMENSION NOTES**

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.



A Custom Home for:

RESIDENCE ADDITION

R LANE, LONGBOAT KEY, FL

GIBSON 549 CUTTE

م

STRUCTURAL FLOOR

FILLED CELLS LEGEND

INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES EXISTING FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, IF MISSING DRILL & EPOXY 6" INTO FTG BELOW & TIE BEAM ABOVE W/SIMPSON SET-EPOXY.

SCHEDULE P-1
DESCRIPTION
(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L JACK STUD MATCH WALL THICKNESS
(3) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
(2) 2 x SYP NO. 2 KING STUDS W/ ADD'L (2) 2 x JACK STUD MATCH WALL THICKNESS

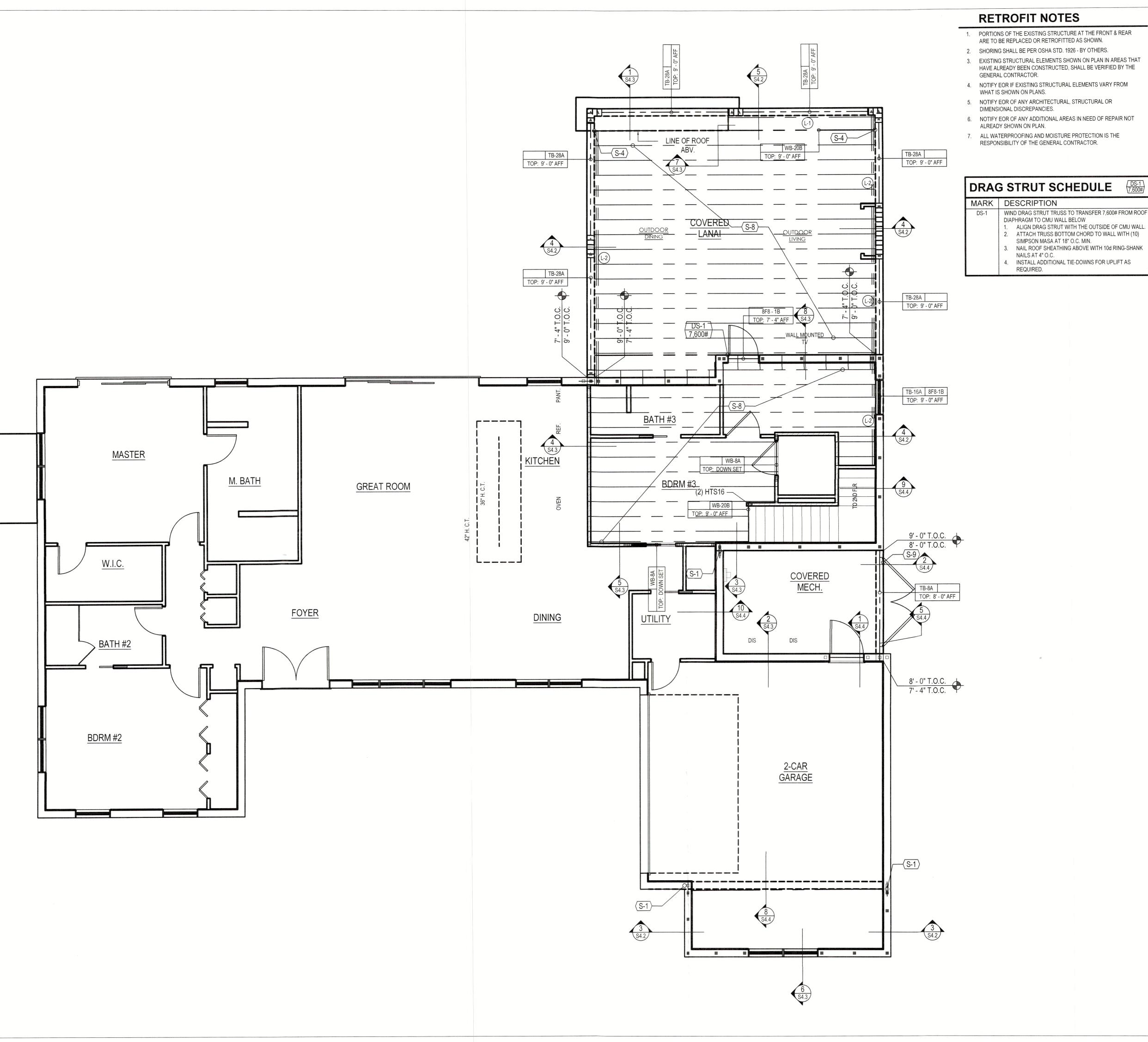
CONNECTOR SCHEDULE C1						
MARK	DESCRIPTION					
C-1	(1) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW					
C-2	(2) SIMPSON MSTAM36 TO CONCRETE / CMU WALL BELOW					
C-3	(2) SIMPSON CS16 TO BEAM/WALL BELOW					
C-4	(1) SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 4" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=1310#)					
C-5	(1) SIMPSON HTT4 W/ 5/8 " DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=3610#)					

STRU	JCTURAL NOTES (S-1)
MARK	DESCRIPTION
S-1	MASONRY WALL: (1) NO.5 REBAR CONT. IN FULLY GROUTED COURSE AT TOP OF WALL
S-2	MASONRY WALL: (1) NO.5 REBAR CONT. IN FULLY GROUTED COURSE BELOW SILL. EXTEND 24" BEYOND OPENING OR TO END OF WALL
S-3	MASONRY WALL: CMU BUMP-OUT SHALL BE INTEGRAL WITH ADJACENT MASONRY
S-4	MASONRY WALL: FILL ALL CELLS
S-5	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-6	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7' - 4" AFF
S-7	WOOD POST: BEAR DIRECTLY ON CONCRETE SLAB OR STEEL SHIM. PROVIDE MOISTURE PROTECTION AS REQUIRED.
S-8	NON-BEARING MULLIONS BY WINDOW MANF.
S-9	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 7' - 4" AFF
S-10	BALLOON FRAME WALL: 2x SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT.
S-11	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-12	LOAD BEARING WALL: 2x8 SYP STUDS AT 16" O.C. W/BLOCKING AT MID HEIGHT, TOP OF WALL: 18' - 0" AFF
S-13	NO.5 HORIZONTAL DOWELS DRILL & EPOXY 4" INTO EXIST. FILLED CELL W/SET EPOXY HOOK 8" INTO NEW CELL, SPACE 16 O.C.

**REVISIONS** BY DATE

NPM 03.21.2023 **S2.1** 

PLE COPY OF RECORD



- 1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR
- 3. EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE
  - STUCCO.

**GENERAL NOTES** 

MASONRY FOR PLYWOOD AND STUCCO.

1. FILL ALL CELLS ABOVE PRECAST LINTELS.

3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE

3. STUB FLOOR TRUSSES BACK 2-1/2" FOR RIMBOARD, PLYWOOD AND

2. STUB RAISED HEEL ROOF TRUSSES BACK 3/4" FROM FACE OF

4. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

#### **DIMENSION NOTES**

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

CONCRETE BEAM TB-XX TOP: X' - X" AFF SCHEDULE MARK DESCRIPTION TYPE 8" x 8" PRECAST LINTEL BY CAST-CRETE (1) NO.5 REBAR 8" x 8" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM 8" x 16" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM 8" x 28" FORM & POUR CONCRETE BEAM TB-28A (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, MIDDLE (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 10" O.C TYPE 1 TYPE 3 TYPE 2 TIES STRUCTURAL NOTES MARK DESCRIPTION VERIFY EXISTING FILLED CELL. #5 EMBED 4" INTO EXISTING @ 24" O.C. WITH SIMPSON SET EPOXY EXTEND 4" INTO NEW BLOCK. NOTIFY EOR IF FILED CONDITIONS VARY NON-BEARING WALL: PROVIDE SIMPSON HTC AT EACH TRUSS OR BLOCKING AT 24" O.C. TO DOUBLE TOP PLATE TIE BEAM: REFER TO TIE-BEAM STEP DETAIL ON SHEET S4.1 HANGER: SIMPSON HUC410(MAX) WITH (18) 1/4" x 1-3/4" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1-1/2" FASTENER EDGE DISTANCE MASONRY WALL: PROVIDE #5 AT 48" O.C. ABOVE LINTEL TO RAKE TIE BEAM. PROVIDE HOOK AT LINTEL AND TIE BEAM ATTACH EACH ROOF TRUSS TO TOP OF WOOD WALL W/SIMPSON H10A - INSTALL ONE TIE ON EACH TRUSS U.N.O. COMBINATION ROOF/FLOOR TRUSS - TRUSS CO. TO LOAD THE INDICATED TRUSS WITH 2ND FLOOR ROOF LOAD. 20" HIGH PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. TOP AT 9' - 0" AFF

WB-8A	(2) 1-3/4	2		
WB-10A	(2) 2x10 W/ 1/2"	1		
WB-10B	(2) 1-3/4	1		
WB-10C	(4) 2x10 W/ (3)1	1		
WB-20B	20" PRI TRUSS	3		
TVDE 4	TYPE 2 TYP			DE 2
TYPE 1		ITPEZ	1 11	PES
TYPE 1		TYPE 2		PE 3

DROPPED TOP CHORD GABLE END TRUSSES

WB-XX TOP: X' - X" AFF

TYPE

WOOD BEAM SCHEDULE

MARK DESCRIPTION

TYPE 1 BEAMS - NAIL (2) PLY BEAMS TOGETHER WITH (2) ROWS OF 12d NAILS AT 12" O.C. ADD ADD'L SYP PLIES AND FLITCH PLATES AS REQ'D TO MATCH WALL THICKNESS

TYPE 2 BEAMS - REFER TO SHEET S4.0 FOR LVL NAILING / BOLTING

TYPE 3 BEAMS - ATTACHMENT OF WOOD GIRDERS PER TRUSS

	MANUFACTURER.					
	LEDG	SER SCHEDULE				
	MARK	DESCRIPTION				
	L-1	1-2X8 PT LEDGER SEE TRUSS PARALLEL TO LEDGER DETAIL	9			
	L-2	2-2X8 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL	(			
A CONTRACTOR OF THE PARTY OF TH	R-1	20" TRUSS OR LVL RIM BOARD BY TRUSS CO., 300 PLF WIND LOAD.	D			

UNG XO H FBPE# 34899

A Custom Home for:

RESIDENCE ADDITION

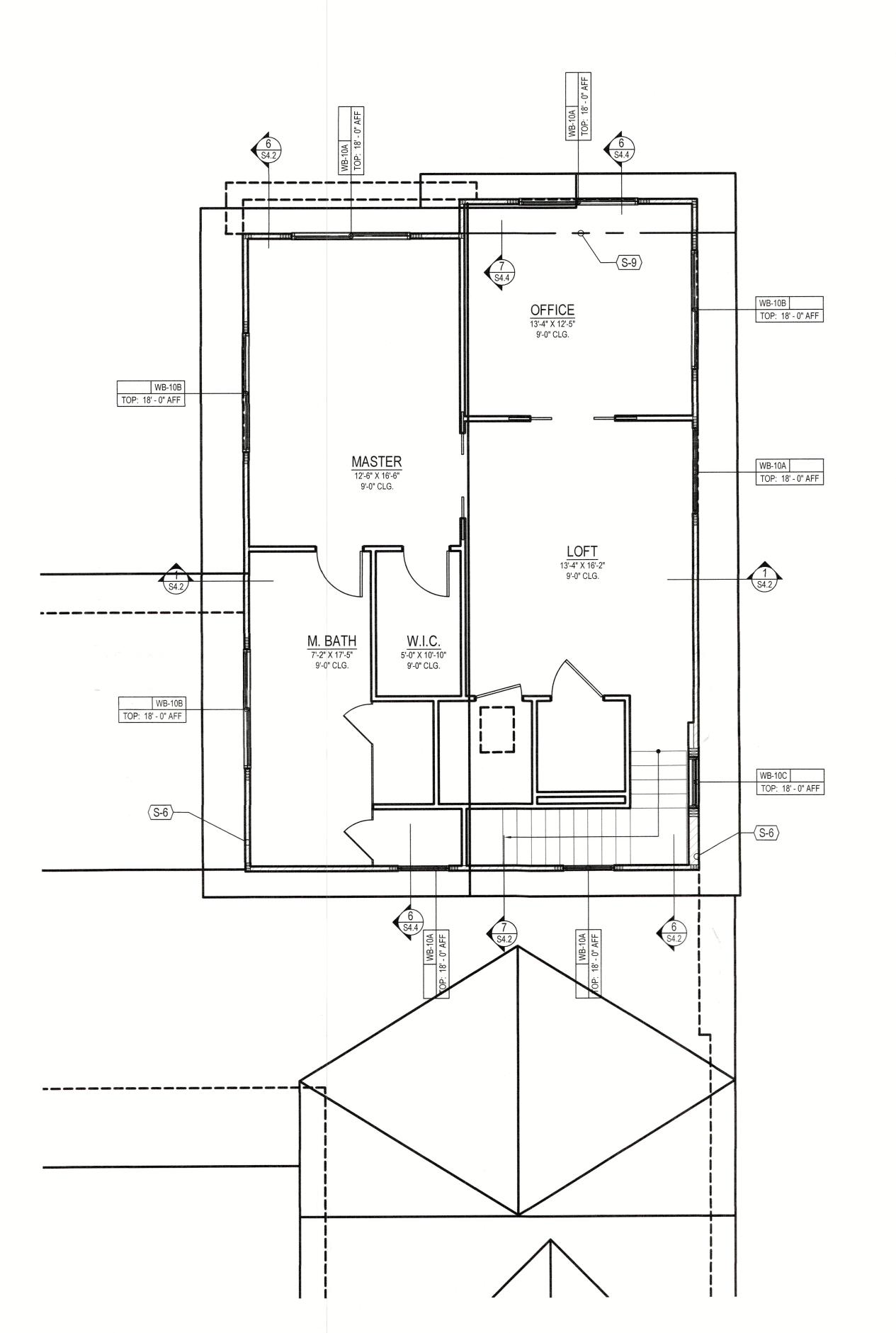
R LANE, LONGBOAT KEY, FL

**GIBS** 549 CI

**FRAMING** 1/4" = 1' - 0" ROOF

**REVISIONS** BY DATE

NPM 03.21.2023



#### RETROFIT NOTES

- 1. PORTIONS OF THE EXISTING STRUCTURE AT THE FRONT & REAR ARE TO BE REPLACED OR RETROFITTED AS SHOWN.
- 2. SHORING SHALL BE PER OSHA STD. 1926 BY OTHERS.
- 3. EXISTING STRUCTURAL ELEMENTS SHOWN ON PLAN IN AREAS THAT HAVE ALREADY BEEN CONSTRUCTED, SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
- 4. NOTIFY EOR IF EXISTING STRUCTURAL ELEMENTS VARY FROM WHAT IS SHOWN ON PLANS.
- 5. NOTIFY EOR OF ANY ARCHITECTURAL, STRUCTURAL OR DIMENSIONAL DISCREPANCIES.
- 6. NOTIFY EOR OF ANY ADDITIONAL AREAS IN NEED OF REPAIR NOT
- ALREADY SHOWN ON PLAN.
- 7. ALL WATERPROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

### **GENERAL NOTES**

- 1. FILL ALL CELLS ABOVE PRECAST LINTELS.
- 2. STUB RAISED HEEL ROOF TRUSSES BACK 3/4" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
- 3. STUB FLOOR TRUSSES BACK 2-1/2" FOR RIMBOARD, PLYWOOD AND 3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE
- 4. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

**DIMENSION NOTES** 



A Custom Home for:

RESIDENCE ADDITION
ER LANE, LONGBOAT KEY, FL

GIBSON 549 CUTTE

PLAN

**FRAMING** 1/4" = 1' - 0"

ROOF

WOOD BEAM SCHEDULE WB-XX TOP: X' - X" AFF						
MARK	DES	CRIPTION			TYPE	
WB-8A	(2) 1-3/-	(2) 1-3/4" x 7-1/4" 2.0E MICROLLAM LVL				
WB-10A		(2) 2x10 SYP NO.2 WOOD BEAM W/ 1/2" CDX PLYWOOD FLITCH PLATES				
WB-10B	(2) 1-3/	(2) 1-3/4" x 9-1/4" 2.0E MICROLLAM LVL				
WB-10C	(4) 2x10 SYP NO.2 WOOD BEAM W/ (3)1/2" CDX PLYWOOD FLITCH PLATES				1	
WB-20B	20" PRE-ENGINEERED WOOD GIRDER TRUSS BY TRUSS MANF.				3	
TYPE 1		TYPE 2		TY	PE 3	

TYPE 1 BEAMS - NAIL (2) PLY BEAMS TOGETHER WITH (2) ROWS OF 12d NAILS AT 12" O.C. ADD ADD'L SYP PLIES AND FLITCH PLATES AS REQ'D TO MATCH WALL THICKNESS

- TYPE 2 BEAMS REFER TO SHEET S4.0 FOR LVL NAILING / BOLTING PATTERNS.
- TYPE 3 BEAMS ATTACHMENT OF WOOD GIRDERS PER TRUSS MANUFACTURER.

STRU	JCTURAL NOTES (S-1)
MARK	DESCRIPTION
S-1	VERIFY EXISTING FILLED CELL. #5 EMBED 4" INTO EXISTING @ 24" O.C. WITH SIMPSON SET EPOXY EXTEND 4" INTO NEW BLOCK. NOTIFY EOR IF FILED CONDITIONS VARY
S-2	NON-BEARING WALL: PROVIDE SIMPSON HTC AT EACH TRUSS OR BLOCKING AT 24" O.C. TO DOUBLE TOP PLATE
S-3	TIE BEAM: REFER TO TIE-BEAM STEP DETAIL ON SHEET S4.1
S-4	HANGER: SIMPSON HUC410(MAX) WITH (18) 1/4" x 1-3/4" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1-1/2" FASTENER EDGE DISTANCE
S-5	MASONRY WALL: PROVIDE #5 AT 48" O.C. ABOVE LINTEL TO RAKE TIE BEAM. PROVIDE HOOK AT LINTEL AND TIE BEAM
S-6	ATTACH EACH ROOF TRUSS TO TOP OF WOOD WALL W/SIMPSON H10A - INSTALL ONE TIE ON EACH TRUSS U.N.O.
S-7	COMBINATION ROOF/FLOOR TRUSS - TRUSS CO. TO LOAD THE INDICATED TRUSS WITH 2ND FLOOR ROOF LOAD.
S-8	20" HIGH PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. TOP AT 9' - 0" AFF
S-9	DROPPED TOP CHORD GABLE END TRUSSES

REVISIONS

BLDG PERMIT PLANS

CONTACT SOILS FOR FOUNDATIONS SHALL BE COMPACTED TO A MINIMUM 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.

5. CONTACT SOILS FOR FOUNDATIONS SHALL BE TESTED AFTER COMPACTION.

6. FILL WITHIN STEMWALLS SHALL BE PLACED AND COMPACTED PER THE RECOMMENDATIONS OF GEOTECHNICAL REPORT.

FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 2000 PSF

CONTRACTOR TO VERIFY MANUFACTURED TRUSS PLAN PRIOR TO PLACEMENT OF STEMWALL OR MONOLITHIC FOOTING.

PLUMBER IS TO INFORM SUPERINTENDENT OF ANY VENTING WHICH UTILIZES A MASONRY WALL TO RESOLVE ANY POSSIBLE STRUCTURAL INTEGRITY

#### **WATERPROOFING NOTES**

ALL FLASHING AND WATERPROOFING IS THE RESPOSIBILITY OF THE GENERAL CONTRACTOR.

#### TYPICAL WALL SECTION NOTES

INSTALLATION OF LATH SHALL MEET THE REQUIREMENTS OF SECTION R703.7.1 OF THE FBC-R.

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2 OF THE FBC-R.

INSTALLATION OF WATER RESISTIVE BARRIER SHALL MEET THE REQUIREMENTS OF R703.7.3 OF THE FBC-R.

INSTALLATION OF FLASHING SHALL MEET THE REQUIREMENTS OF R703.4 OF THE FBC-R.

#### REMODEL NOTES

- 1. FILL ALL CELLS ABOVE PRECAST LINTELS.
- 2. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE
- REROOFING TO COMPLY WITH HURRICANE MITIGATION RETROFITS. CONTRACTOR TO SCHEDULE ONSITE FIELD INSPECTION WITH ENGINEER OF RECORD UPON REMOVAL OF EXISTING ROOF COVERING TO DETERMINE THE EXTENT OF RETROFIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SHEATHING REPLACEMENT, SHEATHING ATTACHMENT, TRUSS ANCHORING, AND SECONDARY WATER BARRIER REQUIREMENTS, ALL OF WHICH WILL BE PROVIDED TO THE BUILDING DEPARTMENT FOR APPROVAL.
- 4. IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED THAN ALL OF THE EXISTING ROOF SHEATHING SHALL BE RE-NAILED WITH 8d RING-SHANK NAILS AT 6" O.C. FIELD/6" O.C.
- 5. IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED THAN ALL OF THE EXISTING ROOF TO WALL CONNECTIONS SHALL BE STRENGTHENED TO MEET 2020 FBC UPLIFT
- IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OF REPAIRED, OBTAIN FURTHER STRUCTURAL REQUIREMENTS FROM THE ENGINEER OF RECORD.
- 7. SHORING SHALL MEET THE REQUIREMENTS OF OSHA 1926

#### **DESIGN LOADS AND NOTES**

25 PSF

100 PSF

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION. THE FOLLOWING SUPERIMPOSED LOADS HAVE BEEN UTILIZED:

LIVE LOAD - 20 PSF 40 PSF (NON-REDUCIBLE) LIVE LOAD

**STAIRS** 

ROOF:

WIND: ASCE 7-16 ULTIMATE WIND SPEED 160 MPH ALLOWABLE WIND SPEED 125 MPH **EXPOSURE** 

DEAD LOAD (SUPERIMPOSED)

FULLY ENCLOSED STRUCTURE RISK CATEGORY

#### SITE WORK

- 1. FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY XXXXXXX, DATED JANUARY 30, 2020. SOIL BORING LOGS AND SITE PREPARATION PROCEDURES ARE INCLUDED IN THE PROJECT SOILS REPORT WHICH IS AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS.
- 2. ALL SITE WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SOILS REPORT.
- DESIGN SOIL BEARING PRESSURE = 2,000 PSF
- 4. ALL BUILDING COLUMNS AND LOAD BEARING WALLS SHALL BE SUPPORTED ON SHALLOW SPREAD FOUNDATIONS. AN ALLOWABLE BEARING CAPACITY OF 2,000 PSF MAY BE USED.
- VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM PRIOR TO STARTING WORK LOCATE AND PROTECT ALL UTILITIES WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
- 6. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED TO PERFORM
- THE FOLLOWING TEST A. ONE DENSITY TEST FOR EACH 2,000 SQUARE FEET OF COMPACTED
- SUBGRADE AND COMPACTED FILI ONE DENSITY TEST AT EACH COLUMN FOOTING
- ONE DENSITY TEST PER 50 FEET OF WALL FOOTING ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO OWNER
- ARCHITECT, STRUCTURAL ENGINEER AND GENERAL CONTRACTOR
- THE SIDES OF FOOTINGS MAY BE EARTH-FORMED IF THE EXCAVATION CAN BE KEPT VERTICAL, CLEAN AND STABLE; OTHERWISE, PLYWOOD FORMS MUST BE USED.

#### PEST/DECAY PROTECTION NOTES

- 1. ALL PLANTINGS AND IRRIGATION / SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL BE AT LEAST 1'-0" FROM BUILDING STEMWALLS.
- 2. SOIL TREATMENTS FOR TERMITES SHALL MEET THE REQUIREMENTS OF FBC SECTION R320. SENTRICON SHALL BE USED.
- WOOD GRADE STAKES SHALL NOT BE USED.
- 4. PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH FBC SECTIONS R317 AND R318.
- 5. ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF FBC SECTIONS R703.7.5, R703.8, R903.2 AND R905.

### **GARAGE NOTES**

- 1. OPENINGS FROM GARAGE INTO LIVING SPACE OF RESIDENCE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.1
- 2. DUCTS IN THE GARAGE AND DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.2.
- 3. GARAGE AND LIVING SPACE SEPARATION SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.6
- 4. GARAGE DOORS SHALL SATISFY THE REQUIREMENTS OF FBC FOR WIND LOADS AS DEFINED IN ROOF FRAMING AND WIND NOTES

#### WOOD NOTES

- PSL: 1.8E PARALLEL STRAND LUMBER, Fb = 2400 PSI.
- LVL: 1.9E LAMINATED VENEER LUMBER, Fb = 2600 PSI
- PT: PRESSURE TREATED SOUTHERN PINE #2 GRADE OR BETTER
- SPF: SPRUCE PINE FIR #2 GRADE OR BETTER.

#### SHORING NOTES

- 1. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS AND TIEDOWNS.
- 3. NO STRUCTURAL CONCRETE SHALL BE STRIPPED UNTIL IT HAS REACHED AT LEAST TWO-THIRDS OF THE 28 DAY DESIGN STRENGTH. DESIGN, ERECTION AND REMOVAL OF ALL FORMWORK, SHORES AND RESHORES SHALL MEET THE REQUIREMENTS SET FORTH IN ACI STANDARDS 347 AND 301.

#### **ROOF FRAMING NOTES**

- 1. THE DESIGN OF ROOF FRAMING SHALL BE BASED ON THE REQUIREMENTS OF
- 2. DESIGN WIND LOADS SHALL BE APPLIED IN ACCORDANCE WITH FBC SECTION 1609. SEE WIND NOTES FOR WIND DESIGN REQUIREMENTS.
- ROOF TRUSS MANUFACTURER SHALL SUBMIT AND PROVIDE COMPLETE LAYOUT AND FURNISH THE FOLLOWING INFORMATION: ROOF PITCH, LUMBER SIZE, SPACING, SPECIES AND GRADING, LOCATION AND MAGNITUDE OF UPLIFT LOADS.
- 4. PRE-ENGINEERED TRUSS DESIGN SHALL BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.
- ROOF SHEATHING SHALL BE 19/32" CD PLYWOOD SHEATHING OR EQUAL. FASTENED WITH 8d RING-SHANK NAILS AT 4" O.C. EDGES AND 6" O.C. FIELD WITHIN 4'-0" OF RIDGES AND EDGES OF ROOF AND 3" O.C. WITHIN 4'-0" OF EXTERIOR ROOF CORNERS.
- 6. CONTRACTORS SHALL VERIFY WITH ROOF TRUSS PLAN PRIOR TO PLACEMENT OF FOOTINGS.
- TRUSS LAYOUT AND PROFILES SHALL BE SUBMITTED TO ENGINEER OF RECORD FOR REVIEW AND ACCEPTANCE PRIOR TO PRODUCTION.

#### FRAMING NOTES

- 1. ALL DOOR HEADERS AT BEARING WALLS TO BE (2) 2X10 SYP OR BETTER, U.N.O.
- 2. EXTERIOR FRAME WALLS, BEARING OR NON-BEARING SHALL BE SHEATHED WITH 15/32" PLYWOOD OR EQUAL. BLOCKED AND NAILED WITH 8d NAILS AT 4" O.C. EDGES, 8" O.C. FIELD.
- 3. SHEAR WALL AND EXTERIOR WALL PLYWOOD SHEATHING SHALL BE BLOCKED.
- 4. TRUSSES AND BEAMS SHALL BEAR DIRECTLY ON PSL OR SYP POSTS, U.N.O. WHERE REQUIRED, SHIMS TO BE A36 STEEL U.N.O.
- 5. PSL OR SYP POST SHALL BEAR DIRECTLY ON CONCRETE SLAB OR ON SYP OR
- 6. UPLIFTS AND REACTIONS SHOWN ON MANUFACTURED TRUSS PLANS SHALL BE USED U.N.O. ON ENGINEER'S SEALED ROOF/FLOOR LAYOUT PLAN.

7. BUILD-OUTS SHALL BE ATTACHED TO THE MASONRY/CONCRETE WITH 3/16"

TAPCONS AT 16" O.C. WITH MINIMUM EMBEDMENT OF 1-3/8".

8. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD SHEATHING OR EQUAL. FASTEN WITH 10d NAILS AT 4" O.C. EDGES AND 8" O.C. FIELD U.N.O.

#### TRUSS/FRAME CONNECTION NOTES

- . ROOF TRUSSES: USE SIMPSON H10A OR H10A-2 AT EACH TRUSS WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS FOR UPLIFTS IN EXCESS OF GIVEN ALLOWABLE VALUES. WHERE H10A OR H10A-2 CANNOT BE USED (EX. 3-PLY GIRDERS, CORNERS, ETC.) USE SIMPSON H2.5A PLUS ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT LOADS.
- 2. FLOOR TRUSSES: USE SIMPSON H2.5A AT EACH TRUSS (WITH OR WITHOUT UPLIFT) WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWN AS REQUIRED TO MEET UPLIFT LOADS.

#### **GENERAL CONNECTIONS NOTES**

- . CONNECTIONS SHOWN ARE RECOMMENDED, BUT OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED THE UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.
- FOR ADDITIONAL TIE DOWN INFORMATION, SEE SIMPSONS OR USP
- FOR POST-INSTALLED ANCHORS: HOLE PREPARATION, CARTRIDGE PREPARATION, AND EPOXY FILLING SHALL BE PERFORMED PER MANUFACTURER'S ADHESIVE ANCHOR INSTALLATION INSTRUCTIONS
- 4. AN EPOXY INSPECTION MAY BE REQUIRED DEPENDING ON JURISDICTION, CONTRACTOR MUST VERIFY.

#### **DRAFTSTOPPING NOTES**

- WHERE THE FLOOR / CEILING ASSEMBLY IS CONSTRUCTED FROM COMBUSTIBLE, OPEN-WEB TRUSS OR PERFORATED MEMBERS, DRAFTSTOP SHALL BE PROVIDED AND INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT AND INSTALLED PER FBC-R302.12.
- DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.
- DRAFTSTOPPING MATERIAL SHALL BE IN ACCORDANCE WITH FBC-R302.12.1

#### **EXTERIOR CEILING NOTES**

ENTRY / LANAI / CABANA CEILINGS (AREAS EXPOSED TO WIND): PROVIDE 2x4 BLOCKING AT 48" O.C. AT THE BOTTOM CHORD OF ALL TRUSSES. PROVIDE 5/8" EXTERIOR GRADE DRYWALL OR 15/32" EXTERIOR GRADE PLYWOOD SHEATHING WITH 8d NAILS AT 8" O.C. FIELD / 4" O.C. EDGES.

#### **CONCRETE NOTES**

- ALL CAST IN PLACE CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-14. THE ACI MANUAL OF STANDARD PRACTICE, AND THE CRSI MANUAL OF STANDARD PRACTICE.
- ALL CONCRETE SHALL BE NORMAL WEIGHT 145 PCF WET CONCRETE DENSITY AND SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE USE, WITH COMPRESSIVE STRENGTHS AS FOLLOWS: FOUNDATIONS AND SLAB ON GRADE: -3000 psi ALL OTHER STRUCTURAL CONCRETE: -4000 psi
- CONCRETE SHALL BE PLACED AND CURED ACCORDING TO ALL STANDARDS AND SPECIFICATIONS.
- SUBMIT PROPOSED MIX DESIGN WITH RECENT FIELD CYLINDER OR LAB TESTS FOR REVIEW PRIOR TO USE. MIX SHALL BE UNIQUELY IDENTIFIED BY MIX NUMBER OR OTHER POSITIVE IDENTIFICATION. MIX SHALL MEET THE REQUIREMENTS OF ASTM C33 FOR COARSE AGGREGATE. FOR ALL FLATWORK, AT LEAST 75% OF LARGE AGGREGATE SHALL CONSIST OF #57 STONE. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, FRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED.
- THE MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LAB TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ALL SLABS SHALL BE CURED USING A DISSIPATING CURING COMPOUND MEETING ASTM STANDARD C309 TYPE 1-D AND SHALL HAVE A FUGITIVE DYE. THE COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCUFFED OR BROKEN AREAS IN THE CURING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED; OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
- CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL SO AS TO CAUSE SEGREDATION OF AGGREGATE. HOPPERS, VERTICAL CHUTES, OR TRUNKS SHALL BE USED IN SUFFICIENT NUMBERS SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED SIX FEET AND TO ENSURE THAT THE CONCRETE IS KEPT LEVEL AT ALL TIMES.
- SAND BLAST EXISTING CONCRETE TO 1/4" AMPLITUDE BEFORE FRESH CONCRETE IS PLACED AGAINST CONCRETE IN PLACE, THE CONTACT SURFACE OF CONCRETE IN-PLACE SHALL BE THOROUGHLY CLEANED. ALL LAITANCE SHALL BE REMOVED AND THE CONTACT SURFACES SHALL BE THOROUGHLY SLOSHED WITH GROUT CONSISTING OF ONE PART SAND TO ONE PART CEMENT WITH MINIMUM WATER

#### PLUMBING SLEEVES / CONDUIT

- MINIMUN SLEEVE / CONDUITS SPACING IN CONCRETE SHALL BE SPACED SUCH THAT THE CENTER TO CENTER DISTANCE BETWEEN CONDUITS IS A MINIMUM OF THREE TIMES THE OUTSIDE DIAMETER OF THE LARGEST SLEEVE / CONDUIT.
- 2. CONDUIT HAVING OUTSIDE DIAMETER LARGER THAN ONE THIRD OF THE SLAB THICKNESS SHALL NOT BE PERMITTED.
- 3. CONDUITS THAT CROSS EACH OTHER IN SLAB SHALL NOT CONSUME AT POINT OF INTERSECTION MORE THAN ONE THIRD OF THE SLAB THICKNESS
- 4. ALUMINUM CONDUITS ARE NOT PERMITTED IN CONCRETE ELEMENTS.
- 5. PRIOR TO CONSTRUCTION SLEEVE LOCATIONS AND SIZES SHALL BE APPROVED BY THE ENGINEER.

- REINFORCING STEEL TO CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS, FREE FROM OIL, SCALE AND RUST AND PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAM AND PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. SECURE APPROVAL OF SHOP DRAWINGS PRIOR TO COMMENCING FABRICATION.
- WELDED WIRE MESH TO CONFORM TO ASTM A-185, FREE FROM OIL, SCALE AND RUST AND PLACED IN ACCORDANCE WITH THE TYPICAL PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. MINIMUM LAP SHALL BE ONE SPACE PLUS TWO
- 3. LAP LENGTH OF INDIVIDUAL BARS WITHIN A BUNDLE SHALL BE THAT FOR THE INDIVIDUAL BAR, INCREASED 20% FOR HREE-BAR BUNDLE, AND 33% FOR FOUR-BAR BUNDLE.
- INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF THE BEAM SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40 BAR DIA, STAGGER.
- ALL WELDING OF REINFORCING TO BE DONE WITH E90XX ELECTRODES IN ACCORDANCE WITH A.W.S. SPECIFICATIONS D1.4 (LATEST EDITION)
- ALL MECHANICAL SPLICES USED MUST BE "TENSION-COMPRESSION" TYPE AND SHALL COMPLY WITH ACI 318 SECTION 12.14.3 UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. SHOP DRAWINGS SUBMITTED FOR ENGINEERS APPROVAL MUST INDICATE THE USE AND TYPE OF ANY MECHANICAL SPLICES USED. SPLICE MUST DEVELOP 125% OF REBAR YIELD STRENGTH.
- UNLESS NOTED OTHERWISE ON PLANS, THE FOLLOWING CONCRETE CLEAR COVER SHALL BE PROVIDED FOR ALL NON-PRESTRESSED CONCRETE REINFORCEMENT PER ACI 318: CONCRETE CAST AGAINST EARTH: ALL BARS -3\* CONCRETE EXPOSED TO EARTH (FORMED FACE): ALL BARS -2" CONCRETE EXPOSED TO WEATHER: #6 BARS AND GREATER -2" #5 BARS AND SMALLER -1-1/2" WHERE NOT EXPOSED TO EARTH OR WEATHER: SLABS, WALLS AND JOISTS: #14 AND #18 BARS -1-1/2" #11 BARS AND SMALLER -3/4" BEAMS AND COLUMNS: ALL BARS -1-1/2"

#### MIX DESIGN / TESTING

- SUBMIT PROPOSED MIX DESIGN WITH RECENT FIELD CYLINDER OR LAB TESTS FOR REVIEW PRIOR TO USE. MIX SHALL BE UNIQUELY IDENTIFIED BY MIX NUMBER OR OTHER POSITIVE IDENTIFICATION. MIX SHALL MEET THE REQUIREMENTS OF ASTM C33 FOR COARSE AGGREGATE. FOR ALL FLATWORK, AT LEAST 75% OF LARGE AGGREGATE SHALL CONSIST OF #57 STONE. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED.
- THE MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LAB TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ALL SLABS SHALL BE CURED USING A DISSIPATING CURING COMPOUND MEETING ASTM STANDARD C309 TYPE 1-D AND SHALL HAVE A FUGITIVE DYE. THE COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCUFFED OR BROKEN AREAS IN THE CURING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED; OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
- 3. ALL CONCRETE MIX DESIGNS SHALL INCLUDE A WRITTEN DESCRIPTION INDICATING WHERE EACH PARTICULAR MIX IS TO BE PLACED WITHIN THE STRUCTURE.
- 4. ALL CONCRETE DESIGN MIX SUBMITTALS SHALL INCLUDE TESTED, STATISTICAL BACK-UP DATA AS PER CHAPTER 5 OF ACI 318.
- AN INDEPENDENT TESTING LABORATORY SHALL PERFORM THE FOLLOWING TESTS ON CAST IN PLACE CONCRETE: A. ASTM C143 - "STANDARD TEST METHOD FOR SLUMP OF PORTLAND CEMENT CONCRETE." MAXIMUM SLUMP SHALL BE 4-6 INCHES, PRIOR TO ADDING A SUPER PLASTISIZER. B. ASTM C39 - "STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF CYLINDRICAL CONCRETE SPECIMENS." A SEPARATE TEST SHALL BE CONDUCTED FOR EACH CLASS, FOR EVERY 50 CUBIC YARDS (OR FRACTION THEREOF), PLACED PER DAY. REQUIRED CYLINDER(S) QUANTITIES AND TEST AGE AS FOLLOWS: 1 AT 7 DAYS, 2 AT 28 DAYS
- ONE ADDITIONAL RESERVE CYLINDER TO BE TESTED UNDER THE DIRECTION OF THE ENGINEER, IF REQUIRED. IF 28 DAY STRENGTH IS ACHIEVED, THE ADDITIONAL CYLINDER(s) MAY BE DISCARDED.

#### NON-SHRINK GROUT

1. NON-SHRINK GROUT SHALL BE A HIGH-STRENGTH MORTAR OR GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 psi AT 28 DAYS. THE GROUT IS TO BE NON-METALLIC, NON-CORROSIVE, CEMENT-BASED AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1107. IT SHALL BOND PERMANENTLY TO A CLEAN METAL BASEPLATE AND CONCRETE SUBSTRATE AND WILL NOT SHRINK IN ITS PLASTIC STATE, AS TESTED IN ACCORDANCE WITH ASTM C827.

#### CHEMICAL ANCHORS

1. SHALL BE AN EQUAL TWO PART EPOXY POLYMER INJECTION SYSTEM, SUCH AS SIMPSON SET-XP "STRUCTURAL ANCHORING ADHESIVE ", HILTI HIT-HY 150 MAX-SD OR ENGINEER APPROVED SUBSTITUTION, INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. INSTALLERS SHALL BE TRAINED BY THE MANUFACTURER'S REPRESENTATIVE. BRUSH AND

#### **MASONRY**

- 1. ALL MASONRY CONSTRUCTION SHALL COMPLY WITH CURRENT EDITION OF ACI 530/ASCE 5/TMS 402, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES".
- 2. GALVANIZED HORIZONTAL JOINT REINFORCEMENT SHALL BE PLACED IMMEDIATELY ABOVE AND BELOW ALL OPENINGS AND AT 16" O.C. PROVIDE BOND BEAM AT MAXIMUM SPACING OF 8'-0" O.C. REINFORCED WITH (2) #5.
- 3. ALL VERTICAL WALL REINFORCEMENT INTERRUPTED BY WALL OPENINGS, THE EQUAL AMOUNT OF REINFORCING SHALL BE
- PLACED IMMEDIATELY ADJACENT TO EACH SIDE OF THE OPENINGS. 4. ALL MASONRY CELLS CONTAINING BOLTS OR REINFORCEMENT SHALL BE FILLED WITH (FINE OR COARSE) GROUT PER
- SPECIFICATIONS.
- 5. GROUT SHALL NOT BE DROPPED THROUGH REINFORCING STEEL SO AS TO CAUSE SEGREGATION OF AGGREGATE. HOPPERS. VERTICAL CHUTES, OR TRUNKS SHALL BE USED IN SUFFICIENT NUMBERS SO THAT THE FREE UNCONFINED FALL OF GROUT SHALL NOT EXCEED FIVE FEET AND TO ENSURE THAT THE GROUT IS KEPT LEVEL AT ALL TIMES.
- 6. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 5 FEET.
- 7. PROVIDE DOWELS WITH STANDARD BAR HOOK IN FOOTING TO MATCH DIAMETER AND SPACING OF VERTICAL REINFORCEMENT. MINIMUM SPLICE LENGTH = 24 INCHES.
- 8. PROVIDE 2-#5 CORNER BARS AT ALL BOND BEAM CORNERS TO LAP A MINIMUM OF 48 BAR DIAMETERS (U.N.O.).
- 9. PROVIDE ADJUSTABLE MASONRY ANCHORS TO STEEL BEAMS AND COLUMNS WHICH ARE EMBEDDED IN MASONRY AT 2'-8" O.C.
- 10. ALL CMU GROUT SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 11. PROVIDE CRACK CONTROL JOINTS AT ALL WALL RETURNS AND JAMBS OF OPENINGS AND AT A MAXIMUM SPACING OF 30-FEET
- 12. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 192 DIAMETERS OF THE REINFORCEMENT OR 10 FEET.
- 13. ALL CELLS CONTAINING REINFORCEMENT SHALL BE FILLED SOLIDLY WITH GROUT. ALL GROUT SHALL BE CONSOLIDATED AT TIME OF POURING BY PUDDLING OR VIBRATING AND THEN RECONSOLIDATED AGAIN BY PUDDLING LATER, BEFORE PLASTICITY
- 14. WHEN THE GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR OF GROUT NOT LESS THAN 1/2 INCH BELOW THE TOP OF THE UPPERMOST UNIT GROUTED.
- 15. ALL REINFORCED HOLLOW UNIT MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS TO BE FILLED. WALLS AND CROSS WEBS FORMING SUCH CELLS TO BE FILLED SHALL BE FULL-BEDDED IN MORTAR TO
- CONTINUOUS VERTICAL CELL MEASURING NOT LESS THAN 3" AND HAVING A CLEAR AREA OF 10 SQUARE INCHES. 17. WHERE BOND BEAMS ARE INTERRUPTED BY STRUCTURAL STEEL COLUMNS OR BEAMS, BOND BEAM REINFORCING SHALL BE WELDED TO THE COLUMN TO PROVIDE CONTINUITY OF THE BOND BEAM. 18. NO BACKFILLING AGAINST BASEMENT AND

RETAINING WALLS SHALL BE PERFORMED UNTIL THE GROUT AND SUPPORTING FLOORS HAVE REACHED 100% OF THE DESIGN

16. VERTICAL CELLS TO BE FILLED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED.

### WIND LOAD SCHEDULE

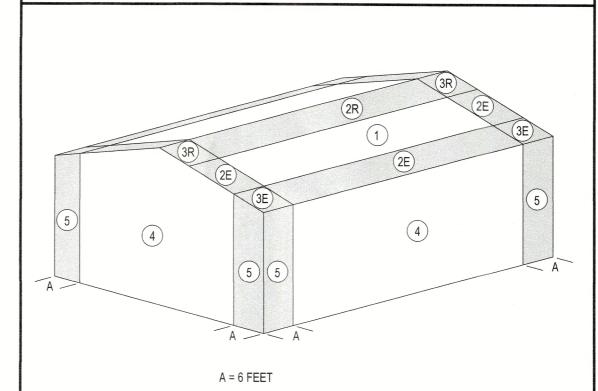
#### **COMPONENT AND CLADDING LOADS** TRIBUTARY AREA POSITIVE NEGATIVE ZONE DESCRIPTION ZONE (+ PSF) (SQ. FT.) (- PSF) LESS THAN 20 34.3 85.1 ROOF - INTERIOR ZONE 29.6 20 - 100 85.1 **GREATER THAN 100** 18.7 44.5 **OVERHANG** LESS THAN 20 97.6 LESS THAN 20 34.3 85.1 **ROOF - INTERIOR** 20 - 100 29.6 85.1 EDGE ZONE **GREATER THAN 100** 18.7 56.3 **OVERHANG** LESS THAN 20 97.6 LESS THAN 20 34.3 124.1 **ROOF - INTERIOR** END, RIDGE ZONES 2n, 2r 20 - 100 107.3 29.6 CORNER ZONES GREATER THAN 100 18.7 67.7 **OVERHANG** LESS THAN 20 160.0 LESS THAN 20 147.5 27.9 ROOF - END RIDGE ZONE 25.2 126.4 20 - 100 **GREATER THAN 100** 18.7 77.3 OVERHANG LESS THAN 20 187.3 LESS THAN 20 50.0 WALL, INTERIOR ZONE 20 - 100 44.0 47.9 **GREATER THAN 100** 39.2 43.1 LESS THAN 20 41.6 61.7 WALL, CORNER ZONE 20 - 100 44.0 57.5

### ROOF AND WALL ZONES FOR COMPONENTS AND CLADDING WIND PRESSURES

**GREATER THAN 100** 

39.1

47.9



THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS FOR THIS ESIDENCE COMPLY WITH THE APPLICABLE STRUCTURAL PROVISIONS OF THE 020 EDITION OF THE FLORIDA BUILDING CODE, 7TH EDITION RESIDENTIAL (FBC-R).

DDITION (EY, FL 34) · S III C 

**(**) o

**(1)** 

**REVISIONS** BY DATE NPM 03.21.2023

BLDG PERMIT PLAN

### TRUSS UPLIFT ANCHORS - MASONRY / CONCRETE

TRUSS ANCHORS TO MASONRY OR CONCRETE BE AS FOLLOWS:

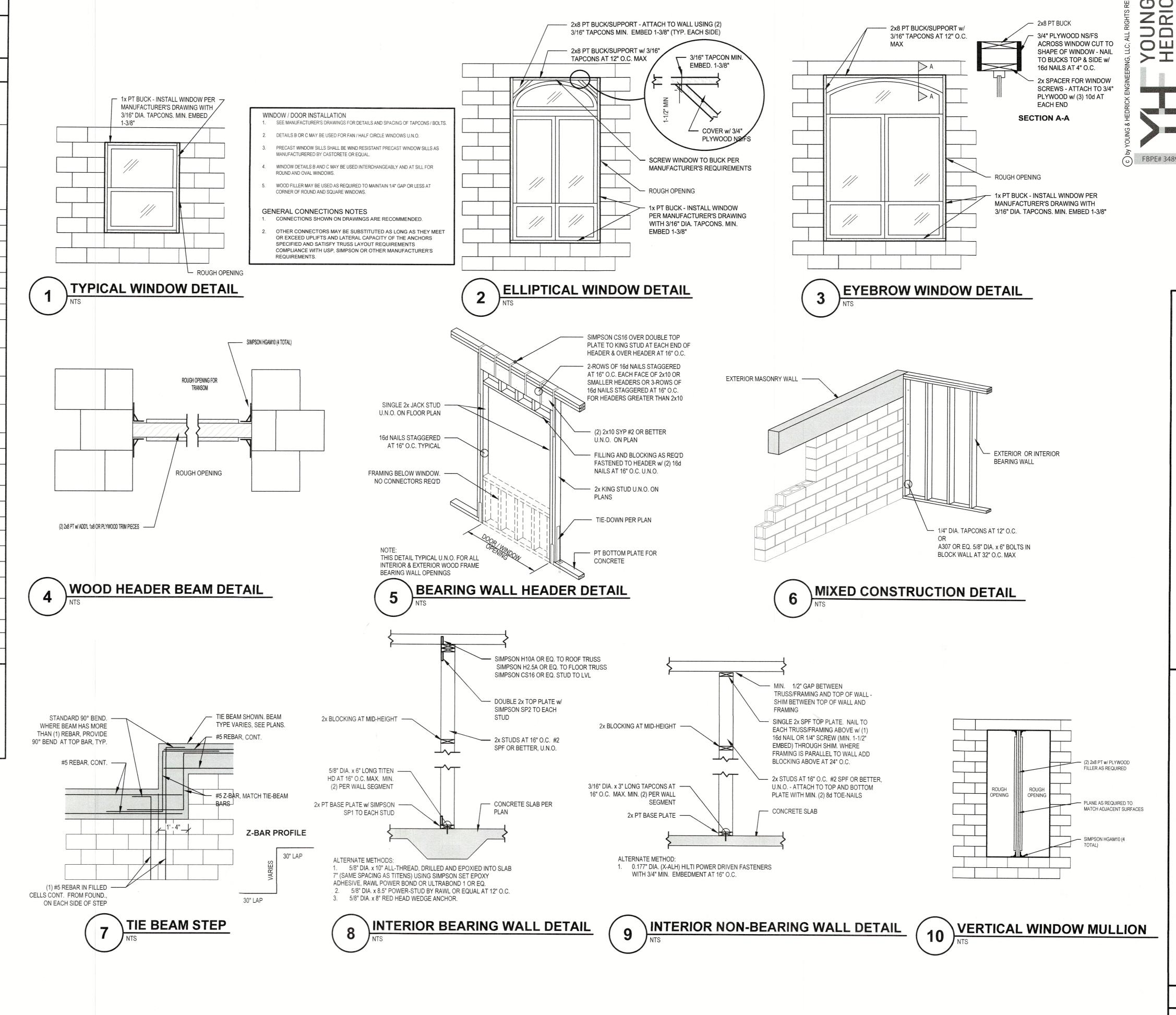
(REFER TO SIMPSON 2019-20 CATALOG #C-C-2019)

OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE

TYPE MEMBER	NOMINAL UPLIFT CAPACITY	CONNECTOR TYPE	PRODUCT APPROVAL #	NAILS TO TRUSS FOR NOMINAL UPLIFT	NOTES AND COMMENTS
SINGLE PLY, CMU 595#		SIMPSON HM9KT	FL11473.6	(4) SDS 1/4" X 1-1/2" LONG TO TRUSS AND (5) 1/4" X 2-1/4" SIMPSON TITEN SCREW TO CMU	POST INSTALLED
SINGLE PLY, CONCRETE	595#	SIMPSON HM9KT	FL11473.6	(4) SDS 1/4" X 1-1/2" LONG TO TRUSS AND (5) 1/4" X 1-3/4" SIMPSON TITEN SCREW TO CMU	POST INSTALLED
	1065#	SIMPSON H10S	FL11478.4	(8) 8d X 1-1/2" LONG TO TRUSS AND (2) 3/8" X 4" SIMPSON TITEN SCREW TO CMU	POST INSTALLED
	1450#	SIMPSON META12	FL11473.4	(7) 10d x 1-1/2" LONG	-
	1520#	SIMPSON HETA12	FL11473.4	(7) 10d x 1-1/2" LONG	-
SINGLE PLY	1810#	SIMPSON HETA16	FL11473.4	(9) 10d x 1-1/2" LONG	-
	1810#	SIMPSON HETA20	FL11473.4	(9) 10d x 1-1/2" LONG	-
	1985#	(2) SIMPSON META12	FL11473.4	(10) 10d x 1-1/2" LONG	NOTE 1
	2035#	(2) SIMPSON HETA12	FL11473.4	(10) 10d x 1-1/2" LONG	NOTE 1
	2035#	(2) SIMPSON HETA20	FL11473.4	(10) 10d x 1-1/2" LONG	NOTE 1
SINGLE OR MULTI-PLY,	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48" O.C.	FL11473.11 FL11473.6	(7) 10d TO TRUSS AND (4) 1/4" x 2-1/4" SIMPSON TITEN SCREW TO CMU	POST INSTALLED, MISSING EMBEDS
CMU	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48" O.C.	FL11473.11 FL11473.6	(8) 10d TO TRUSS AND (4) 1/4" x 1-3/4" SIMPSON TITEN SCREW TO CONCRETE	POST INSTALLED, MISSING EMBEDS
SINGLE OR MULTI-PLY, CONCRETE	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48" O.C.	FL11473.11 FL11473.6	(7) 10d TO TRUSS AND (4) 1/4" x 1-3/4" SIMPSON TITEN SCREW TO CONCRETE	POST INSTALLED, MISSING EMBEDS
	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48" O.C.	FL11473.11 FL11473.6	(8) 10d TO TRUSS AND (4) 1/4" x 1-3/4" SIMPSON TITEN SCREW TO CONCRETE	POST INSTALLED, MISSING EMBEDS
SINGLE OR MULTI PLY	3330#	SIMPSON MGT	FL11470.7	(22) 10d x 1-1/2" LONG	NOTE 2
	2150#	SIMPSON LGT2	FL11470.6	(16) 10d SINKERS	POST INSTALLED, NOTE
DOUBLE PLY	10980#	SIMPSON HGT-2	FL10456.10 FL10866.10	(16) 10d	NOTE 3
DOUBLE OR TRIPLE	1900#	(2) SIMPSON META12	FL11473.3	(14) 16d	NOTE 1
PLY, CMU	2500#	(2) SIMPSON HETA12	FL11473.3	(12) 16d	NOTE 1
	2565#	(2) SIMPSON META12	FL11473.3	(14) 16d	NOTE 1
DOUBLE OR TRIPLE PLY, CONCRETE	2700#	(2) SIMPSON HETA12	FL11473.3	(12) 16d	NOTE 1
7 ET, GONORETE	3350#	(2) SIMPSON HHETA12	FL11473.9	(14) 16d	NOTE 1
	3285#	SIMPSON LGT3-SDS2.5	FL11470.6	(12) SDS 1/4" x 2-1/2" LONG	POST INSTALLED, NOTE
TRIPLE PLY	10790#	SIMPSON HGT-3	FL10456.8 FL10866.10	(16) 10d	NOTE 3
QUAD PLY	11455#	SIMPSON HGT-4	FL10456.8 FL10866.10	(16) 10d	NOTE 3
	1450#	SIMPSON META12	FL11473.3	(6) 16d	-
MULTI PLY	1520#	SIMPSON HETA12	FL11473.3	(7) 16d	-
	1810#	SIMPSON HETA16	FL11473.3	(8) 16d	-

- 1. FOR (2) CONNECTORS: (A) THE NAILS SHALL NOT BE DRIVEN IN CONFLICT WITH EACH OTHER OR THE SECOND CONNECTOR, AND
- (B) STRAPS SHALL NOT OVERLAP THE 2ND CONNECTOR.
- 2. FASTENER TO CMU/CONCRETE: (1) 5/8" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH 3. FASTENER TO CMU/CONCRETE: (2) 3/4" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH
- 4. FASTENER TO CMU WALL: (7) 1/4"x21/4" LONG SIMPSON TITEN SCREW
- FASTENER TO CONCRETE WALL: (7) 1/4"x13/4" SIMPSON TITEN SCREW
- 5. FASTENER TO WALL: (4) 3/8"x5" LONG SIMPSON TITEN HD

### MULTIPLE MEMBER CONNECTION FOR 1.9E MICROLLAM LVL BEAMS 2 PIECES - 1-3/4" WIDE: MINIMUM (2) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS LESS THAN 14" DEEP MINIMUM (3) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 14" DEEP 3 PIECES - 1-3/4" WIDE: • (3) ROWS OF 12d NAILS AT 12" O.C.; OR (2) ROWS OF 1/2" BOLTS AT 12" O.C.; OR (2) ROWS OF 1/4" X 3-1/2" LAG SCREWS AT 12" O.C. (2) ROWS OF 1/2" BOLTS AT 12" O.C.; OR (2) ROWS OF 1/4" X 6" LAG SCREWS AT 12" O.C. GENERAL NOTES: A307 BOLTS WITH WASHERS REQUIRED. BOLT HOLES TO BE 9/16" DIA. SCREWS MUST HAVE SELF-DRILLING TIPS AND MINIMUM BENDING YIELD STRENGTH OF 217,000 PSI. 6" LONG SCREWS REQUIRED • CONNECTION INSTRUCTIONS ON PLAN SUPERSEDE PRECEDING.



BY DATE NPM 03.21.2023

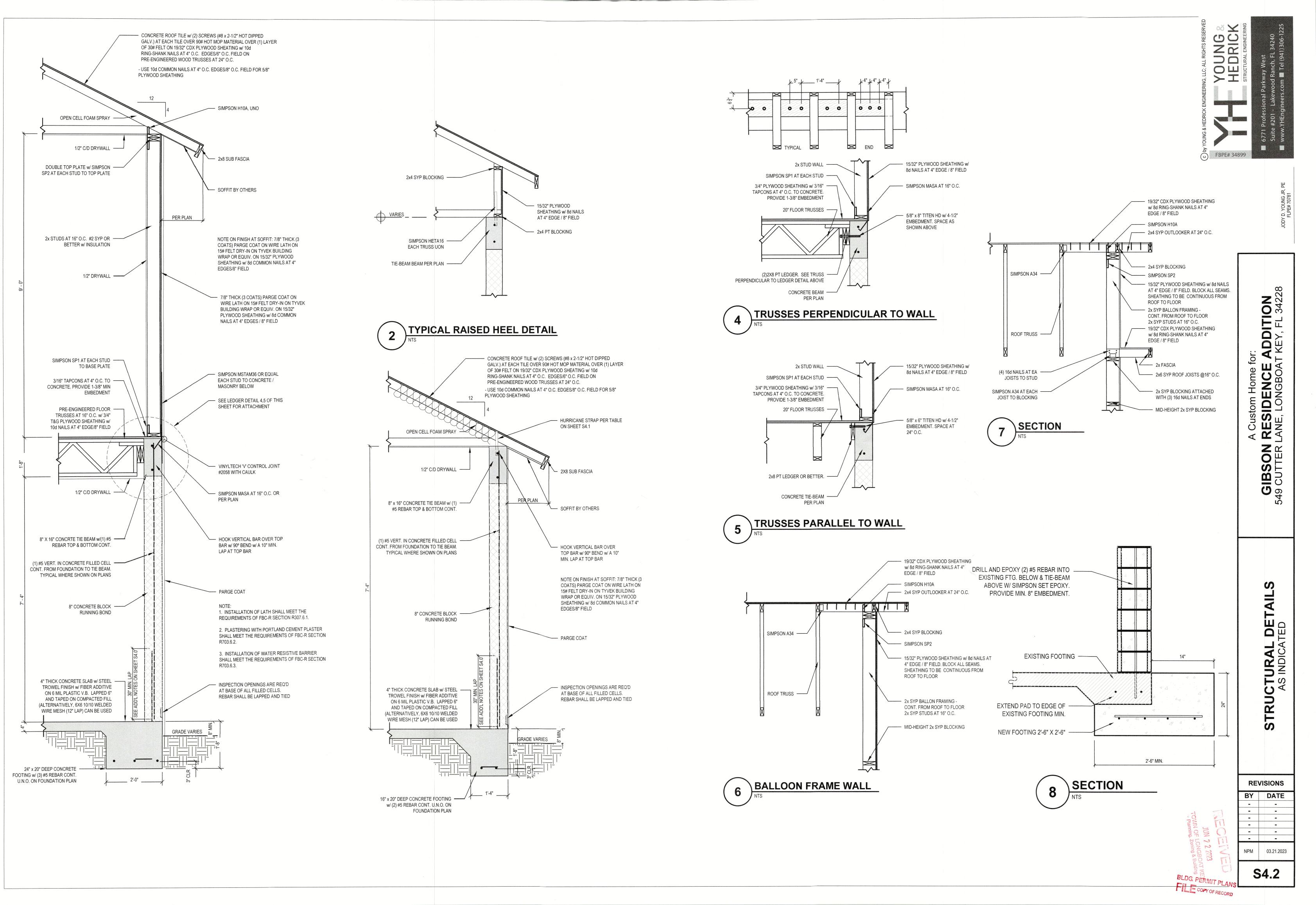
A Custom Home for:

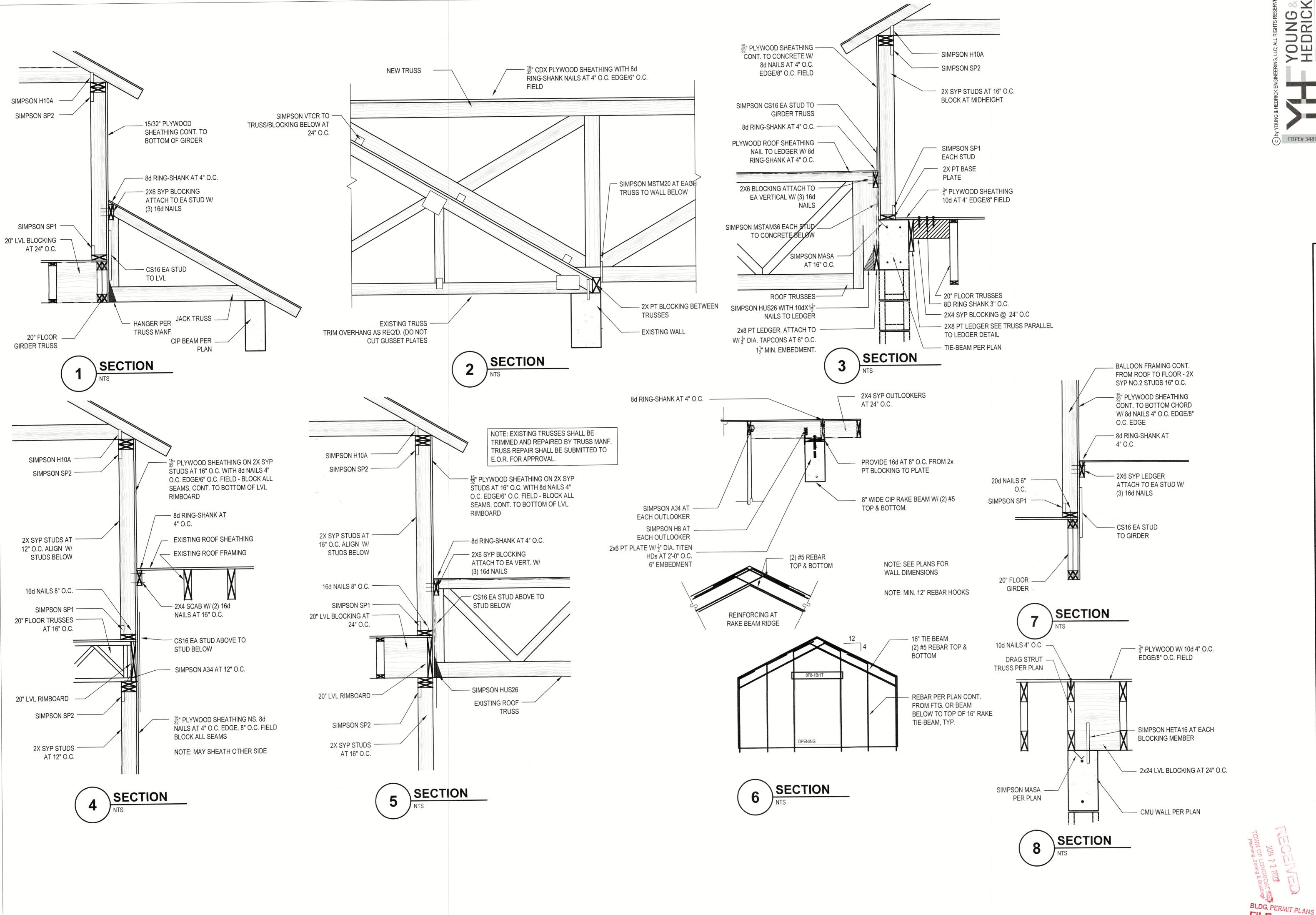
RESIDENCE ADDITION

ANE, LONGBOAT KEY, FL 34228

STRUCTURAL DETAIL
AS INDICATED

REVISIONS





YOUNG № HEDRICK

A Custom Home for:

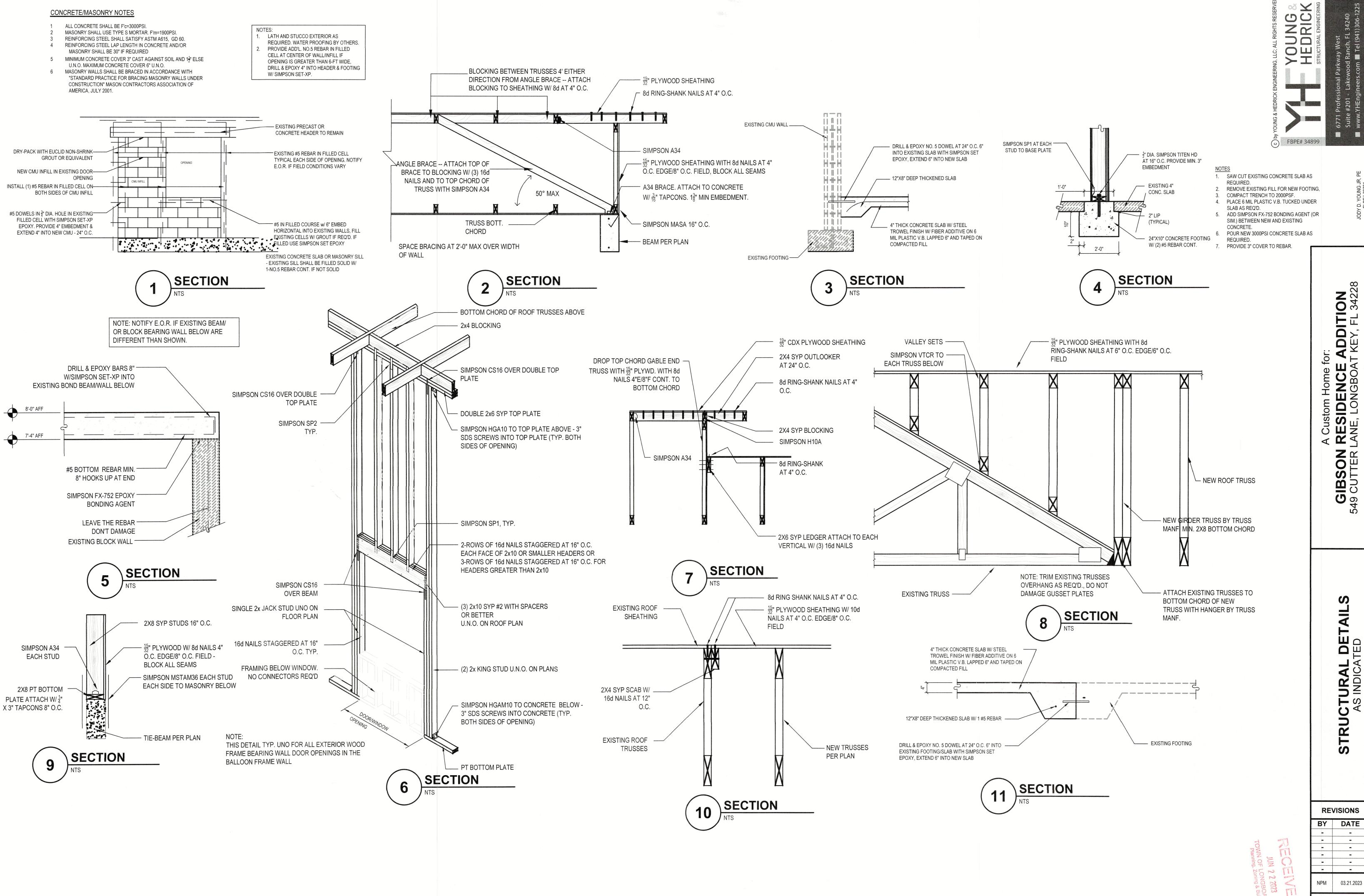
RESIDENCE ADDITION
LANE, LONGBOAT KEY, FL 34228 SON **GIB**, 549 CU

TRUCTURAL DETAIL
AS INDICATED

**REVISIONS** 

BY DATE NPM 03.21.2023 **S4.3** 

FLECOPY OF RECORD



**S4.4** 

BLDG PERMIT PLANS F COPY OF RECORD