

**GENERAL NOTES**

ALL PLUMBING, MECHANICAL, ELECTRICAL EQUIPMENT, GENERATORS AND DUCTWORK TO BE LOCATED ABOVE REQUIRED BASE FLOOD ELEVATION OF EL. + 8.0' + 24" FREEBOARD

REFERENCE LEVEL NOTE  
AVERAGE GRADE CALCULATION INCLUDE ALL AVERAGE ELEVATION OF ADJOINING PROPERTIES AT FINISH GRADE AT RESPECTIVE BOUNDARY LINES (SEE SURVEY).

SEWER NOTE  
LOCATE EXISTING SEWER LINES ON SITE. COORDINATE NEW CONNECTION TO CITY SEWER LINES.

GAS NOTE  
LOCATE EXISTING GAS LINES ON SITE. COORDINATE NEW CONNECTION TO CITY GAS SUPPLY LINES.

PERFORM EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION.

CALL BEFORE YOU DIG: CONTACT CALL BEFORE YOU DIG SERVICE PRIOR TO COMMENCING ANY EARTHWORK OPERATIONS. NUMBER IS 1-800-922-4455.

MAILBOX NOTE  
LOCATION AND SECTION T.B.D. BY OWNER

LANDSCAPE NOTE  
LANDSCAPING LAYOUT IS TO BE PER SUPPLEMENTAL DRAWING PREPARED BY LANDSCAPE CONSULTANT. SEE LANDSCAPE DRAWINGS FOR SETTING OUT OF DRIVEWAYS AND WALKWAYS.

ALL FINISHED GRADE TO BE SLOPED MIN @ 1/4" / FT. AWAY FROM BUILDING WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.

ALL EXTERIOR CONCRETE SLABS TO BE SLOPED @ 1/8" PER FT. AWAY FROM BUILDING WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.

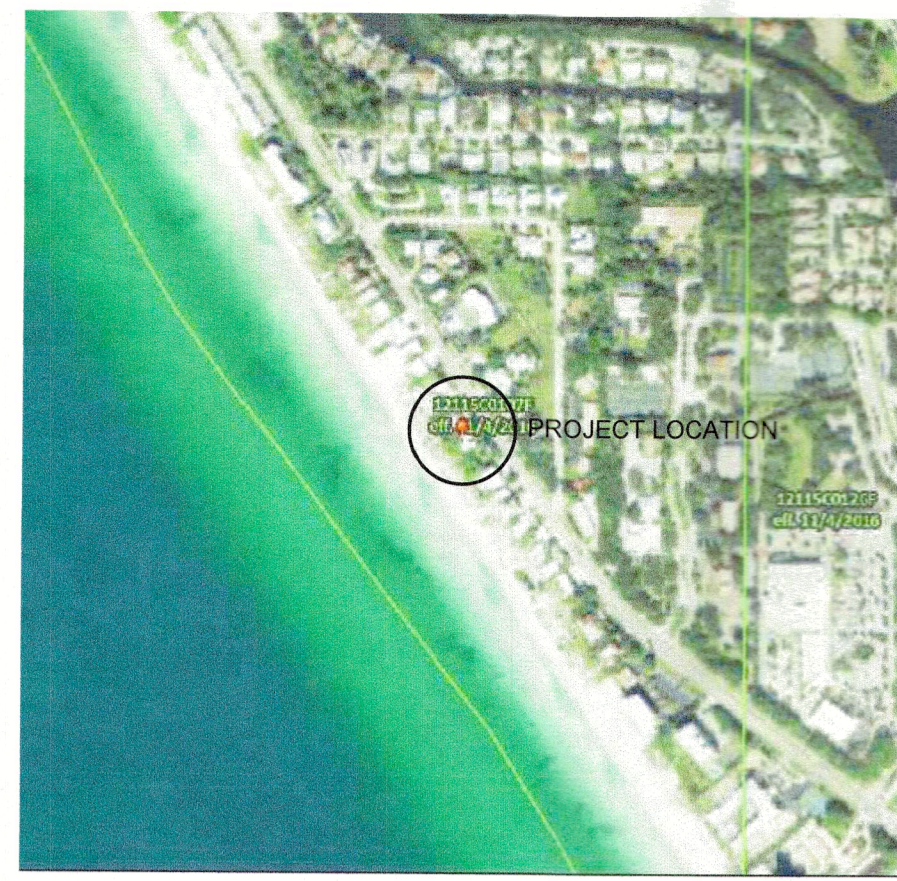
UNLESS NOTED OTHERWISE, IT IS THE INTENT THAT ALL EXISTING VEGETATION OUTSIDE OF THE FOOTPRINT TO REMAIN. PROTECT EXISTING VEGETATION FROM DAMAGE DUE TO CONSTRUCTION PROCESSES AND PROCEDURES. PROVIDE BARRIERS TO PROTECT ALL VEGETATION WITHIN THE LIMITS OF CONSTRUCTION.

PRIOR TO CUTTING OR PRUNING ANY EXISTING VEGETATION OBTAIN OWNER'S APPROVAL. COORDINATE WITH LANDSCAPE ARCHITECT CONTRACT LIMITS LINE.

IDENTIFY ALL VEGETATION WITHIN THE FOOTPRINT OF THE EXISTING CONSTRUCTION AND TRANSPLANT OR REMOVE AS DIRECTED BY OWNER.

MECHANICAL NOTE  
DUCT TEST AND ENVELOPE LEAKAGE TEST AS REQUIRED.

STREET NUMBER NOTE  
THE STREET ADDRESS NUMBERS WILL NEED TO BE LOCATED ON THE FRONT AND WATERFRONT SIDES OF THE PROPERTY. EACH NUMBER SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT AND BE PLAIN, AND IN AN EASILY READABLE STYLE. SCRIPT OR CURSIVE CHARACTERS SHALL NOT BE USED. NUMBERS AND LETTERING SHALL CONTRAST WITH THE BACKGROUND UPON WHICH THEY ARE MOUNTED. ADDRESS NUMBERING SHALL BE POSTED WHERE THEY ARE CLEARLY VISIBLE FROM THE STREET WHERE THE STRUCTURE IS LOCATED.



**LOCATION MAP & PROJECT INFORMATION**

COMPLY WITH - FLORIDA BUILDING CODE 2020 - 7TH EDITION - EXISTING BUILDING - 101.2, 101.4

**ZONING CODE**

PARCEL NUMBER: 0005 16 0007  
 BASE FLOOD ELEVATION (FLOOD ZONE): AE (EL. 8'-0")  
 ZONING CLASSIFICATION: R3MX  
 CONSTRUCTION TYPE: V-B  
 SPRINKLER: NO  
 WIND DESIGN: 150mph  
 RISK CATEGORY: 2  
 EXPOSURE CATEGORY: D

PROPOSED SCOPE OF WORK SHALL COMPLY WITH THE CURRENT FLORIDA BUILDING CODE 2020 - 7TH EDITION

BUILDING CODE: 2020 EXISTING BUILDING FLORIDA BUILDING CODE, 7TH EDITION

MECHANICAL CODE: 2020 FLORIDA BUILDING CODE, 7TH EDITION, MECHANICAL

PLUMBING CODE: 2020 FLORIDA BUILDING CODE, 7TH EDITION, PLUMBING

ELECTRICAL CODE: NFPA 70 - NEC 2020

**INDEX OF DRAWINGS**

SHT. NO.	DESCRIPTION
A1	SITE PLAN AND NOTES
A2	EXISTING AND DEMOLITION FLOOR AND ROOF PLAN
A3	PROPOSED FLOOR PLAN
A4	PROPOSED ROOF PLAN
A5	PROPOSED EXTERIOR ELEVATIONS
A6	PROPOSED ELECTRICAL PLAN
A7	PROPOSED SECTIONS

**CODES**

1. COMPLY WITH - FLORIDA BUILDING CODE 2020 - 7TH EDITION - EXISTING BUILDING - 101.2, 101.4
2. BUILDING USE: SINGLE FAMILY RESIDENCE TYPE 2
3. CONSTRUCTION TYPE II-B, NON-SPRINKLED
4. ALTERATION LEVEL 2

**SCOPE OF WORK**

1. NEW INTERIOR WALLS AND DOORS AND FLOOR FINISHES
2. NEW EXTERIOR STRUCTURAL WALLS (SEE STRUCTURAL)
3. PARTIAL REMOVAL OF EXISTING A/C SPACE
4. NEW DETACHED PAVILION
5. NEW EXTERIOR FINISHES AND FEATURES
6. REMOVAL AND REPLACEMENT OF EXISTING ROOF STRUCTURE

**HVAC NOTES**

1. PROVIDE HEAT AND A/C TO ALL ROOMS
2. RETURN AIR IS IN CONDITIONED SPACE
3. TOTAL SYSTEM SIZE LESS THAN 15 TONS
4. SYSTEM SIZE TO BE DETERMINED BY HVAC CONTRACTOR
5. DUCT SIZE TO BE DETERMINED BY HVAC CONTRACTOR
6. VENT LOCATION TO BE DETERMINED BY HVAC CONTRACTOR
7. EXISTING A/H TO REMAIN

CUSTOM HOME DESIGN & DRAFTING

**HausDesign Studio, LLC**  
 Phone: 941.580.4603  
 mbade@hausdesignstudio.com

**James L. Brown**  
 Phone: (941) 504-4273  
 jimbrown514@verizon.net  
 Florida Reg. No. 7061

SEAL

Florida Reg. No. 7061

GENERAL CONTRACTOR

**BLUEWATER CONSTRUCTION**

Clyde Alstrom  
 12615 River Road  
 Myakka City, Florida 34251  
 Phone: 941-383-8043  
 clyde@bluewaterfl.com

License Number: CGC1506434

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**RENOVATION / ADDITION**  
**to the Trulask Residence**  
 2923 Gulf of Mexico Drive  
 Longboat Key, Florida 34228

PERMIT PLAN

PROJECT

BLDG. PERMIT PLANS  
 FILE COPY OF RECORD

Permit # PB 23-0215  
 REVIEWED FOR CODE COMPLIANCE  
 LONGBOAT KEY BUILDING DEPT.

MAY 18 2023

APPROVED  
 Reviewer: [Signature]

RECEIVED

MAY 17 2023

TOWN OF LONGBOAT KEY  
 Planning, Zoning & Building

**COMPLIANCE STATEMENT**

TO THE BEST OF MY KNOWLEDGE:

PROPOSED DESIGN AND SPECIFICATIONS COMPLIES WITH FLORIDA ADMINISTRATIVE CODE, SECTION 62B-33.007

THIS BUILDING HAS BEEN DESIGNED IN COMPLIANCE WITH ANSI / ASCE 7-10 FOR MINIMUM DESIGN LOADS TO WITHSTAND WIND SPEED OF 150 MPH.

THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH THE ANS/ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 150 MPH.

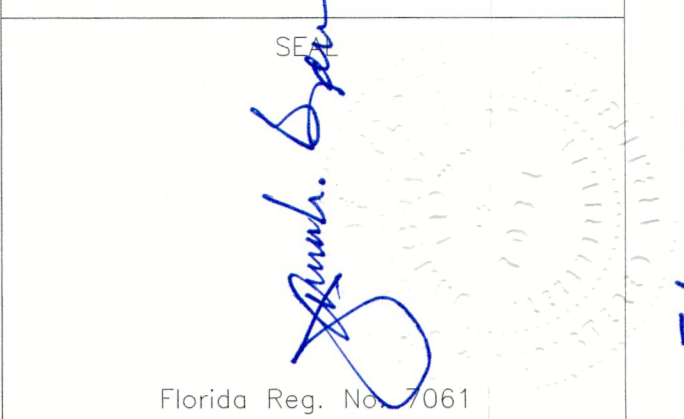
PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH WIND BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE, RESIDENTIAL 7TH ADDITION 2020.

1 SITE PLAN  
 A1 SCALE: 1/8" = 1'-0"



SHEET NUMBER  
**A1**

May 13, 2023



GENERAL CONTRACTOR  
**BLUEWATER CONSTRUCTION**

Clyde Alstrom  
 12615 River Road  
 Myakka City, Florida 34251  
 Phone: 941-383-8043  
 clyde@bluewaterfl.com

License Number: CGC1506434

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PROJECT  
**RENOVATION / ADDITION  
 to the Trulasko Residence**  
 2923 Gulf of Mexico Drive  
 Longboat Key, Florida 34228  
**PERMIT PLAN**

ADDENDUM / REVISION		
No.	Date	Description

SCALE  
**SCALE: 1/4" = 1'-0"**

DRAWN BY  
**MB**

CHECKED BY  
**MB**

DATE  
**February 09, 2023**

SHEET TITLE  
**EXISTING / DEMOLITION  
 FLOOR AND ROOF  
 PLAN**

SHEET NUMBER

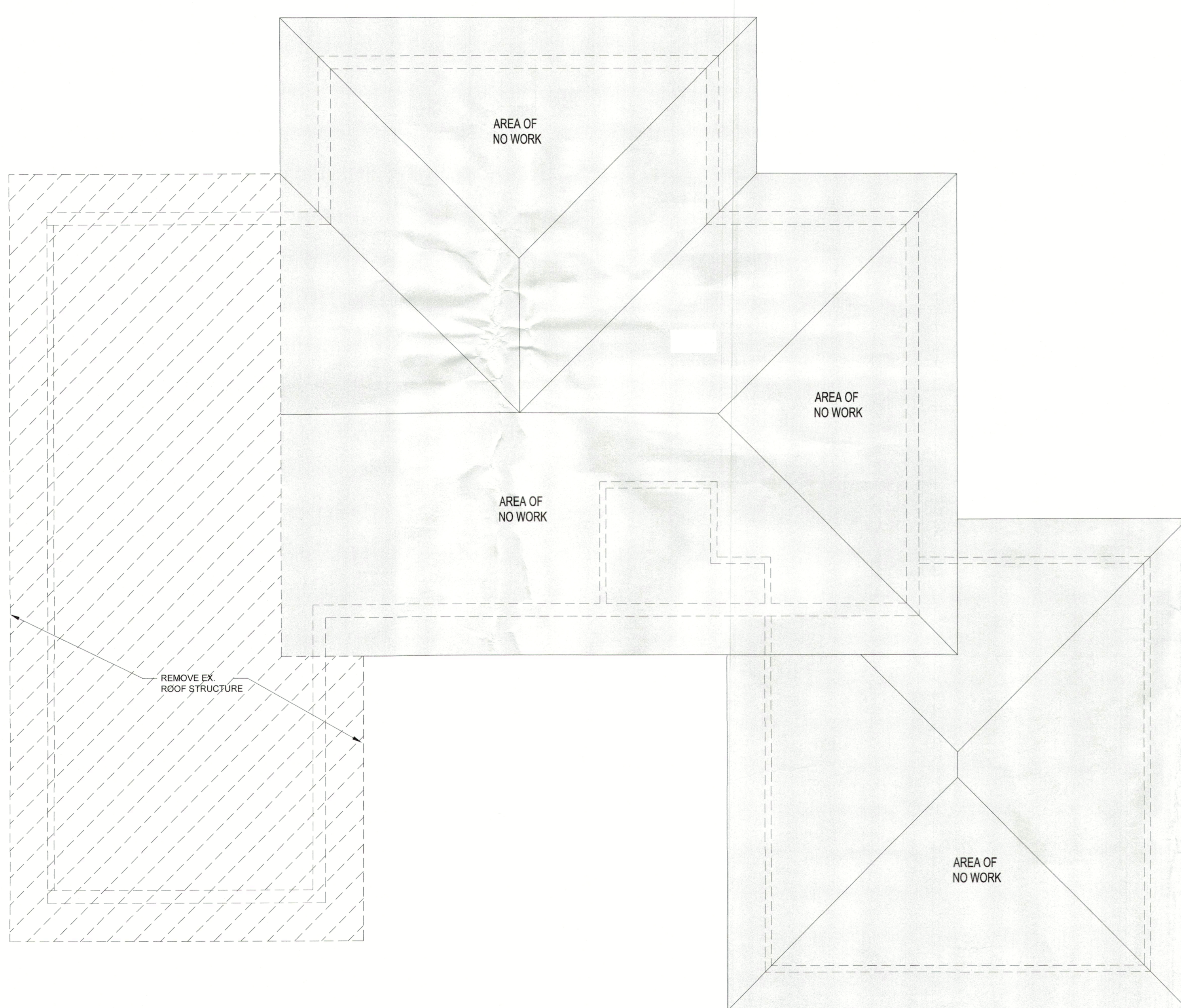
**A2**

**LEGEND**

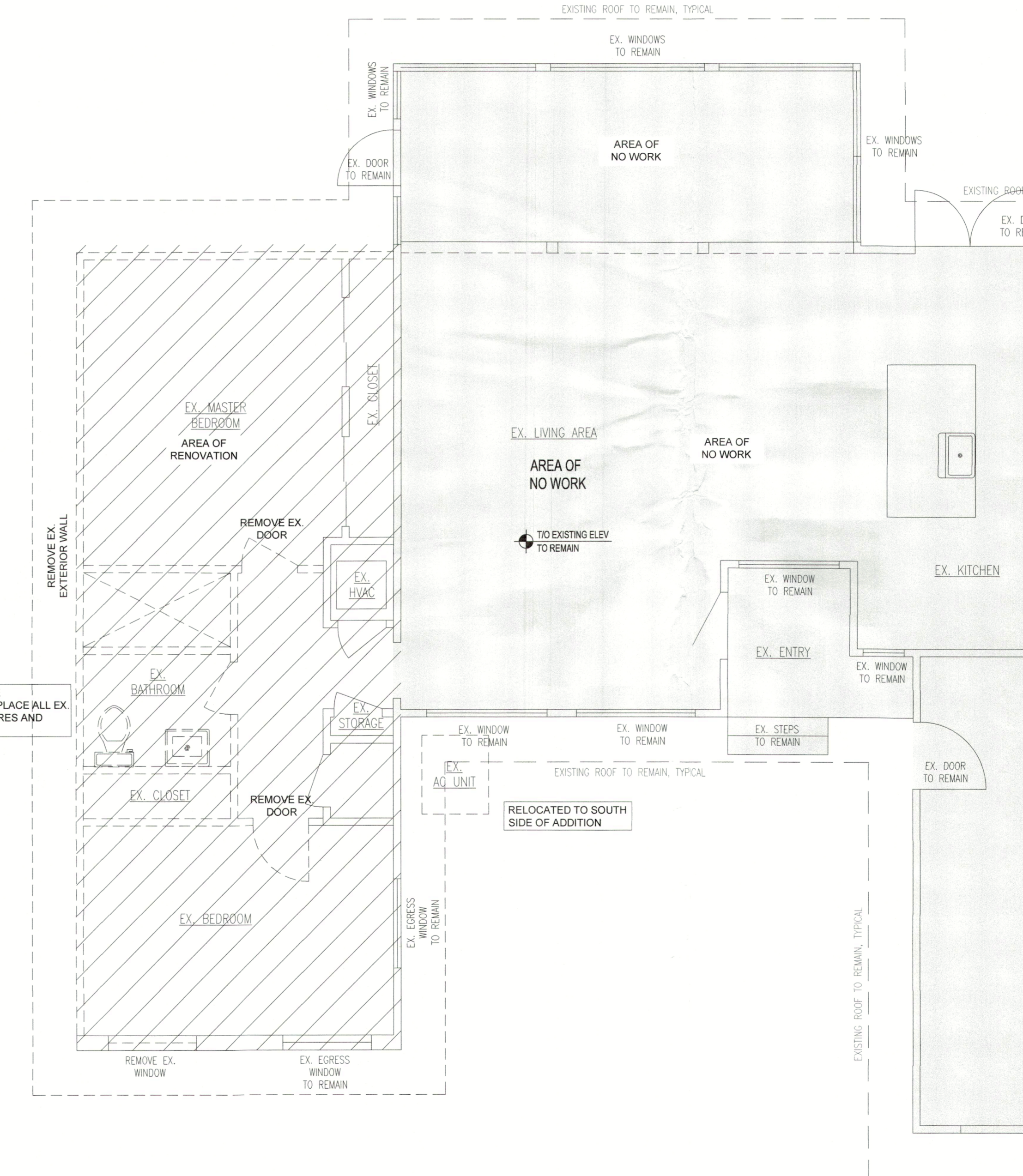
- EXISTING WALL, DOORS, WINDOWS, FIXTURES TO REMAIN
- WALLS, WINDOWS, DOORS, FIXTURES, AND STAIRS TO BE REMOVED
- REMOVE EXISTING
- NO WORK IN THIS AREA

**DEMOLITION GENERAL NOTES**

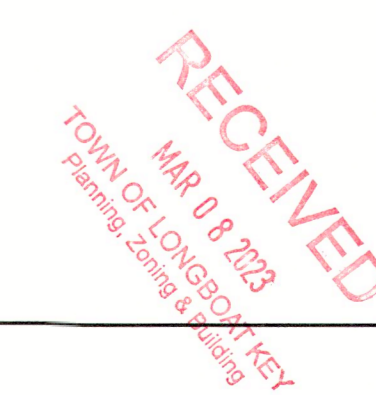
1. DEMOLITION SHALL BE RESTRICTED TO ONLY THE AMOUNT REQUIRED TO ACCOMPLISH THIS WORK.
2. TYPICAL DEMOLITION- REMOVE ALL, BUT NOT EXCLUSIVE TO:
  - MECHANICAL EQUIP., LIGHTING, CEILING FANS, APPLIANCES AND FIXTURES
  - CONTRACTOR TO COORDINATE W/ OWNER WHICH ITEMS TO BE REMOVED DURING DEMOLITION ARE TO BE SAVED, STORED AND/OR REUSED.
3. ALL REMOVED ITEMS SHALL REMAIN OWNER'S PROPERTY AND DISPOSED OF AS DIRECTED BY OWNER OR BY OWNER'S REPRESENTATIVE AS SHOWN ON THE CONSTRUCTION DOCUMENTS FOR THE RENOVATION OF THE EXISTING STRUCTURE AND THE PREPARATION FOR THE CONNECTION TO THE NEW WORK.
4. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS NOTED TO BE REMOVED OR MODIFIED.
5. WHEN REMOVAL OF STRUCTURAL ELEMENTS INDICATED, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS & METHODS INCLUDING BUT NOT LIMITED TO: PROPER SHORING OF REMAINING ELEMENTS UNTIL STRUCTURAL MODIFICATIONS HAVE BEEN IMPLEMENTED/COMPLETED.
6. NO ELECTRICAL WIRING SPLICES ARE ALLOWED BETWEEN EXISTING AND NEW ELECTRICAL WIRING DURING DEMOLITION AND RENOVATION PHASES ANY ENCOUNTERED ELECTRICAL WIRING SHALL BE REPLACED ON ITS ENTIRE RUN TO MEET ALL APPLICABLE CODES.



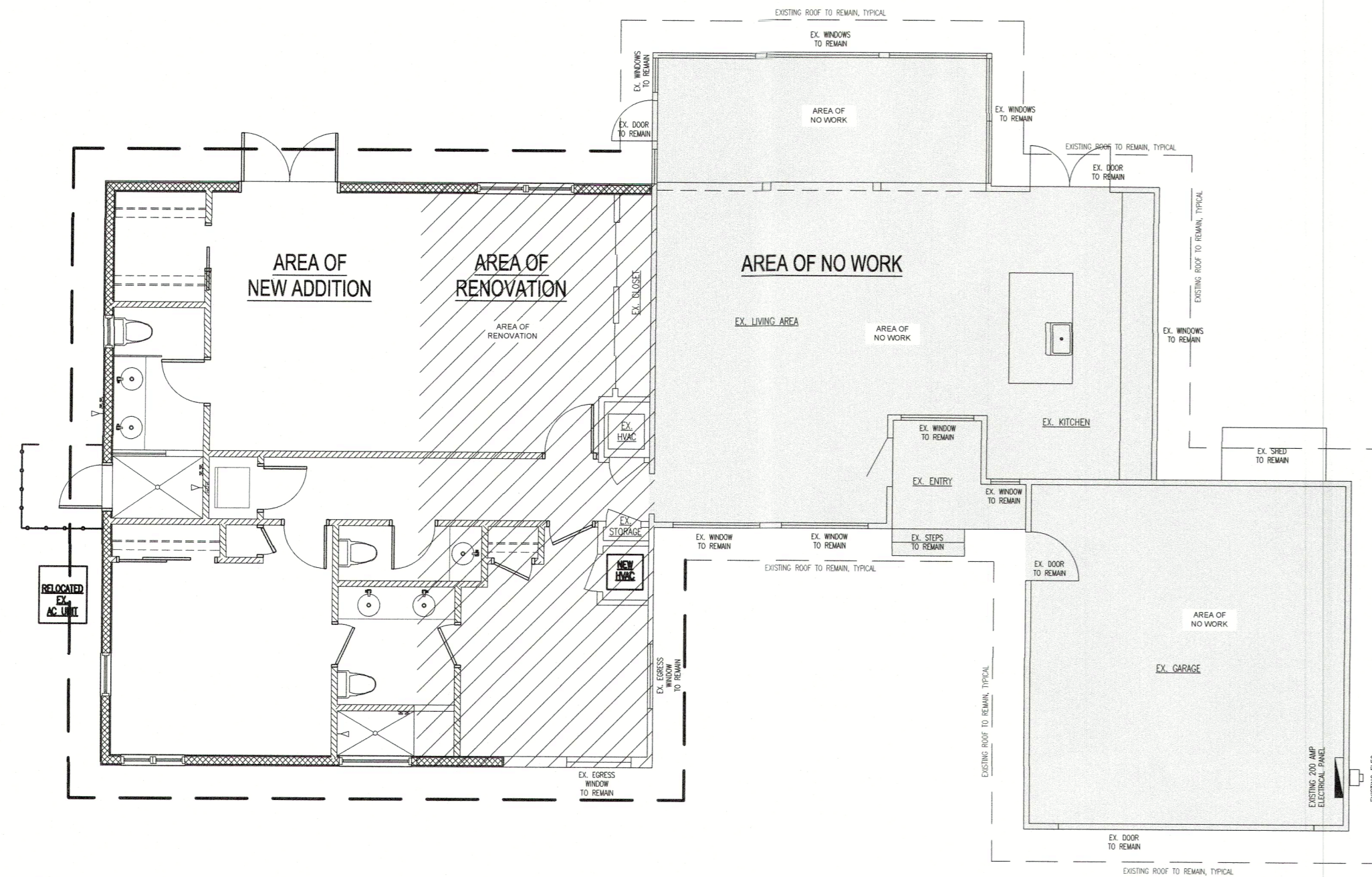
**2**  
 A2 EXISTING AND DEMOLITION ROOF PLAN  
 SCALE: 1/4" = 1'-0"



**1**  
 A2 PARTIAL EXISTING CONDITION AND DEMOLITION FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



Feb 10, 2023



2  
A3  
KEY PLAN  
SCALE: 1/8" = 1'-0"

**LEGEND**

- 2x6 STUD WALL PARTITION @ 16 O.C
- 2x4 STUD WALL PARTITION @ 16 O.C
- EXISTING WALL TO REMAIN

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE CONSTRUCTION. ALL WALLS TO BE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED ON DRAWINGS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE INTO ACCOUNT ALL METAL HAT CHANNELS AND WALL INSULATION WHEN LOCATING INTERIOR STUD WALLS. THIS IS CRITICAL WHEN LOCATING DOORS WHICH MAY NEED TO BE BALANCED OR CENTERED AS SHOWN ON PLANS. ADJUST OPENING LOCATIONS ACCORDINGLY.
- CONFIRM BASE CABINET HEIGHTS AND DEPTHS WITH OWNER AND FINAL PLUMBING FIXTURE APPROVAL. KITCHEN CABINETS ARE ASSUMED TO BE 36" HIGH AS MEASURED TO THE TOP RIM OF SINKS. DROP CABINET HEIGHT TO ALLOW FOR TOP MOUNTED VESSEL SINKS AS REQUIRED. CONFIRM ALL CABINET DESIGN AND FIXTURE LOCATIONS WITH INTERIOR DESIGNER TO BE APPROVED BY OWNER.
- SOUND CONTROL - PROVIDE RIGID SPRAYED FOAM INSULATION (ENTIRE STUD DEPTH) IN STUD WALLS AT THE FOLLOWING ROOM LOCATIONS: BATH WALLS MASTER BATH SHOWER WALLS / LAUNDRY WALLS / WIC AND EQUIPMENT WALLS.
- PROVIDE BLOCKING AT ALL TOWEL BARS, ACCESSORIES, CABINETS ETC. VERIFY ALL FINAL LOCATIONS WITH INTERIOR DESIGNER TO BE APPROVED BY OWNER.
- WALL AND FLOOR TILE NOTE: ALL TILE SHALL BE INSTALLED WITH NO CUT OR FACTORY EDGES EXPOSED TO ANY VIEW ANGLE. PROVIDE MATCHING BULL NOSE TILE AT ALL EDGE CONDITIONS AS REQUIRED.
- ALL CEILING DRYWALL SHALL BE MATCH EXISTING. ALL DRYWALL SHALL MATCH EXISTING.
- ALL DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND TRIMS, DECORATIVE INTERIOR TREATMENTS AND FINISHES, FLOOR FINISHES SHALL APPROVED BY OWNER.
- FOR MILDEWS CONTROL - AVOID USING WALL PAPER AT ANY INTERIOR SIDE OF EXTERIOR BLOCK WALLS. USE PAINT AND CONSTRUCTION MATERIALS (INCLUDING WALL PAPER GLUE) WHICH "BREATH" TO ALLOW ANY TRAPPED MOISTURE TO PASS THROUGH FOR A/C DEHUMIDIFICATION.

CUSTOM HOME DESIGN & DRAFTING

**HausDesign Studio, LLC**  
Phone: 941.580.4603  
mbade@hausdesignstudio.com

&

**James L. Brown**  
Phone: (941) 504-4273  
jimbrown514@verizon.net  
Florida Reg. No. 7061

GENERAL CONTRACTOR

**BLUEWATER CONSTRUCTION**

Clyde Alstrom  
12615 River Road  
Myakka City, Florida 34251  
Phone: 941-383-8043  
clyde@bluewaterfl.com

License Number: CGC1506434

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PROJECT

**RENOVATION / ADDITION to the Trulask Residence**  
2923 Gulf of Mexico Drive  
Longboat Key, Florida 34228

PERMIT PLAN

ADDENDUM / REVISION

No.	Date	Description

SCALE  
SCALE: 1/4" = 1'-0"

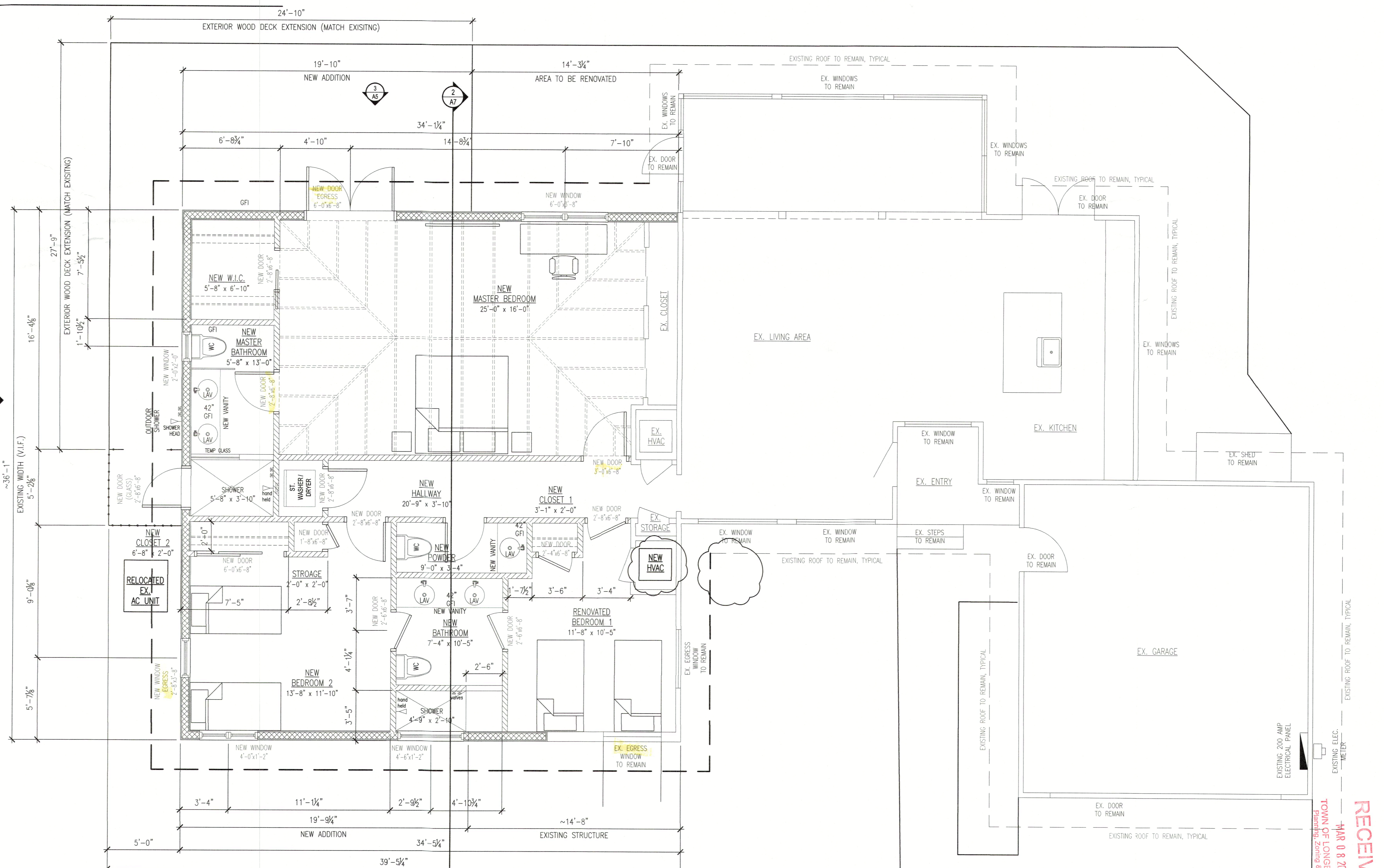
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DATE  
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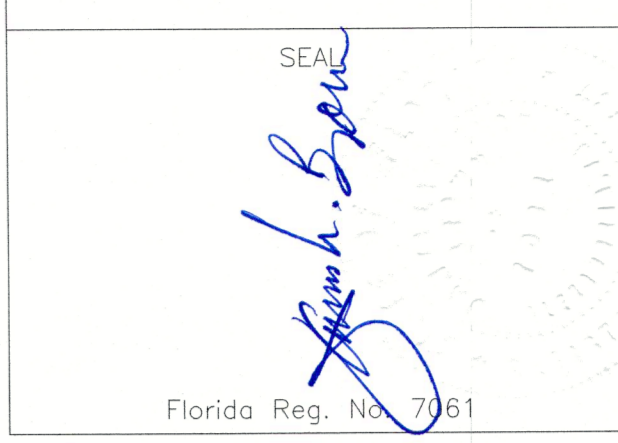
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PROPOSED FLOOR PLAN

SHEET NUMBER



1  
A3  
PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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HAR 0 8 2023  
TOWN OF LONGBOAT KEY  
Planning Zoning & Building



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**BLUEWATER CONSTRUCTION**

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 12615 River Road  
 Myakka City, Florida 34251  
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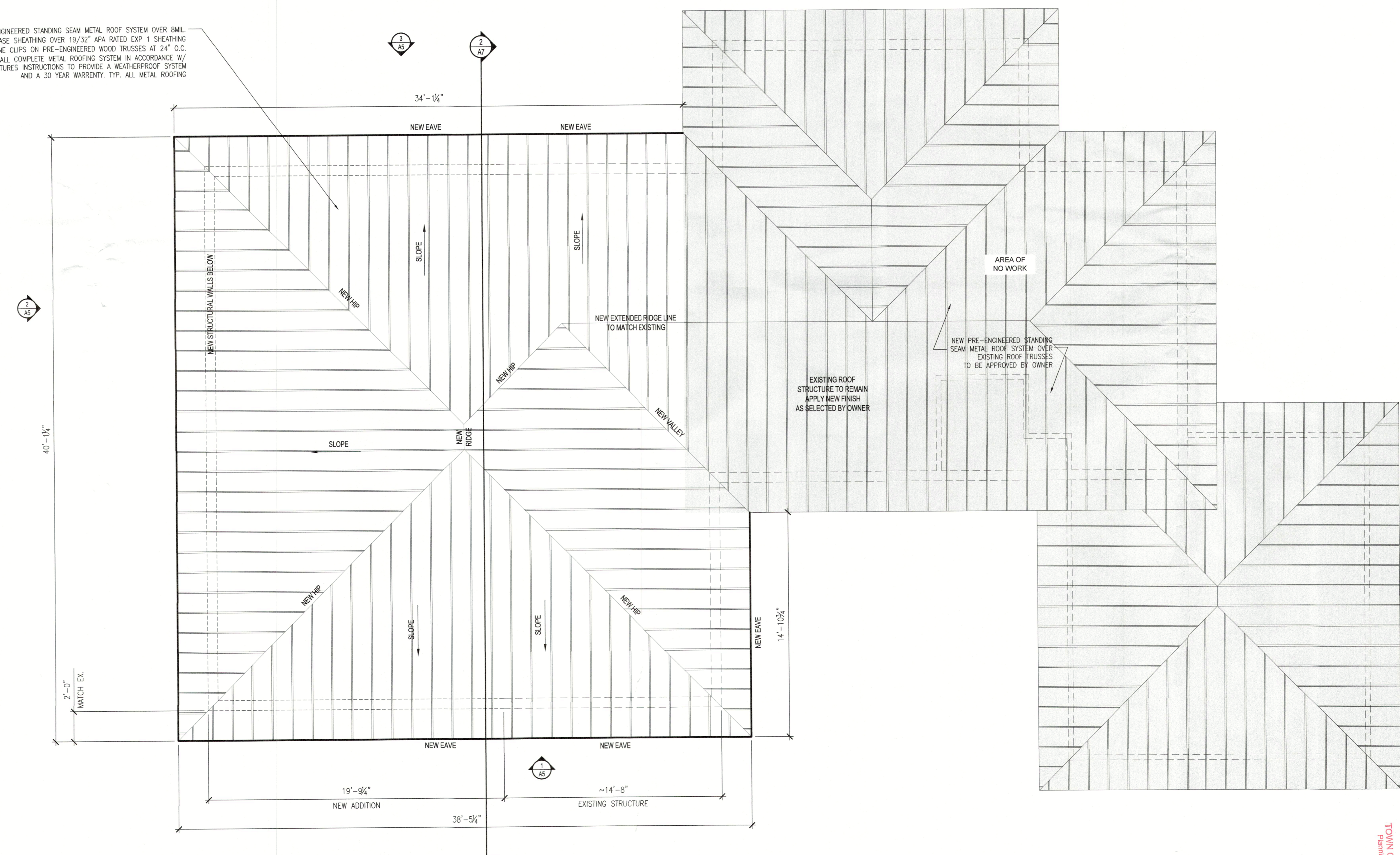
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PRE-ENGINEERED STANDING SEAM METAL ROOF SYSTEM OVER 8MIL POLYSTYCK BASE SHEATHING OVER 19/32" APA RATED EXP 1 SHEATHING W/ HURRICANE CLIPS ON PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. INSTALL COMPLETE METAL ROOFING SYSTEM IN ACCORDANCE W/ MANUFACTURER'S INSTRUCTIONS TO PROVIDE A WEATHERPROOF SYSTEM AND A 30 YEAR WARRANTY, TYP. ALL METAL ROOFING



**1**  
**A4**  
**PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**RENOVATION / ADDITION**  
**to the Trulask Residence**  
 2923 Gulf of Mexico Drive  
 Longboat Key, Florida 34228

**PERMIT PLAN**

PROJECT

ADDENDUM / REVISION	No.	Date	Description

SCALE  
**SCALE: 1/4" = 1'-0"**

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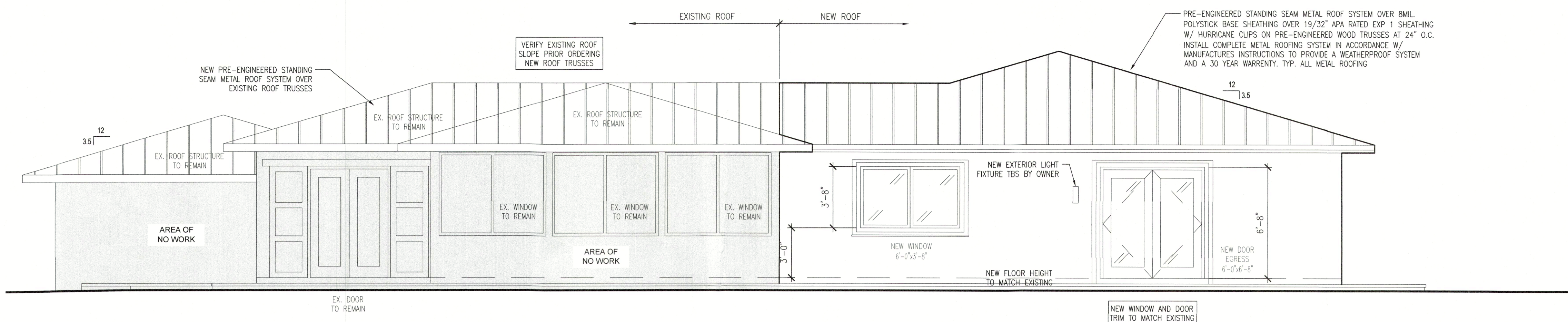
CHECKED BY  
**MB**

DATE  
**February 09, 2023**

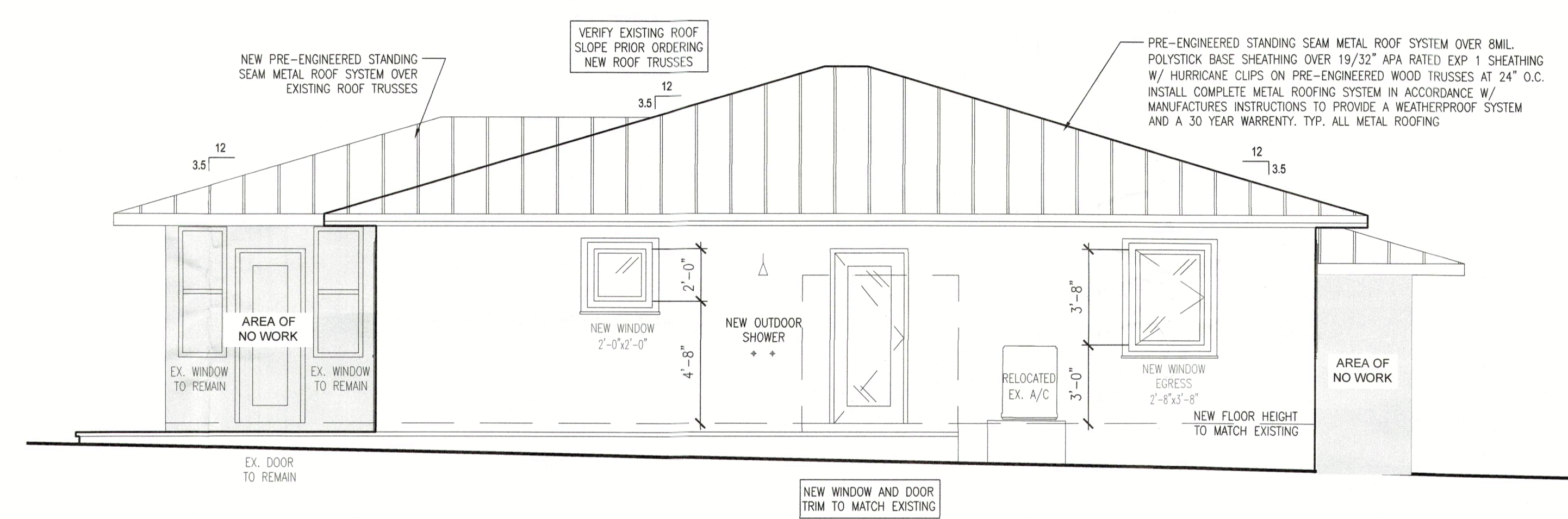
SHEET TITLE  
**PROPOSED ROOF PLAN**

SHEET NUMBER  
**A4**

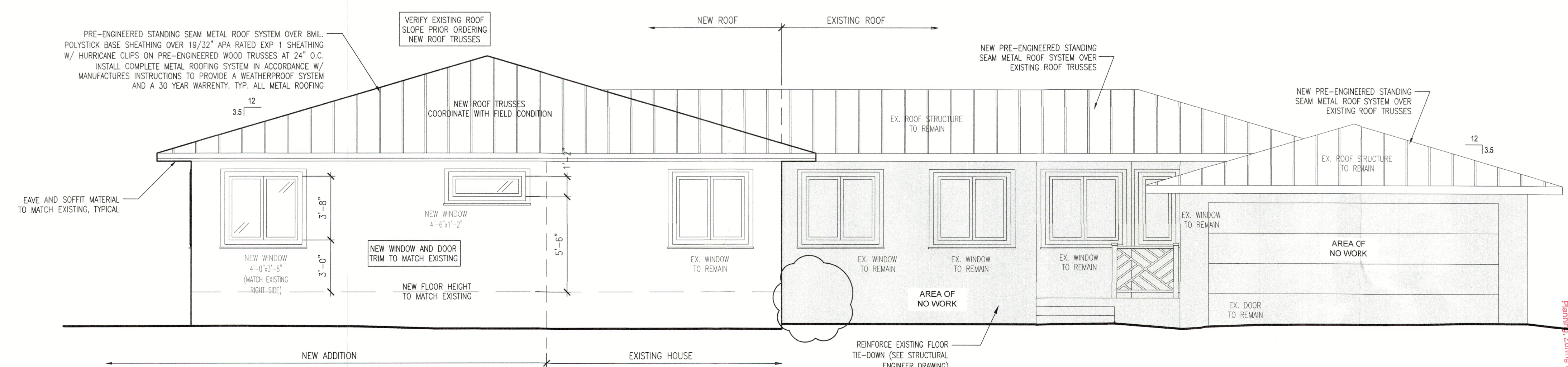
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 TOWN OF LONGBOAT KEY  
 Planning, Zoning & Building



3  
A5  
PROPOSED EXTERIOR ELEVATION (REAR)  
SCALE: 1/4" = 1'-0"



2  
A5  
PROPOSED EXTERIOR ELEVATION (LEFT SIDE)  
SCALE: 1/4" = 1'-0"



1  
A5  
PROPOSED EXTERIOR ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"

SEAL  
Florida Reg. No. 7061  
Feb 10, 2023

GENERAL CONTRACTOR  
BLUEWATER CONSTRUCTION

Clyde Alstrom  
12615 River Road  
Myakka City, Florida 34251  
Phone: 941-383-8043  
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PROJECT  
**RENOVATION / ADDITION**  
**to the Trulasko Residence**  
2923 Gulf of Mexico Drive  
Longboat Key, Florida 34228  
PERMIT PLAN

ADDENDUM / REVISION	No.	Date	Description

SCALE  
1/4" = 1'-0"

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DATE  
February 09, 2023

SHEET TITLE  
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A5

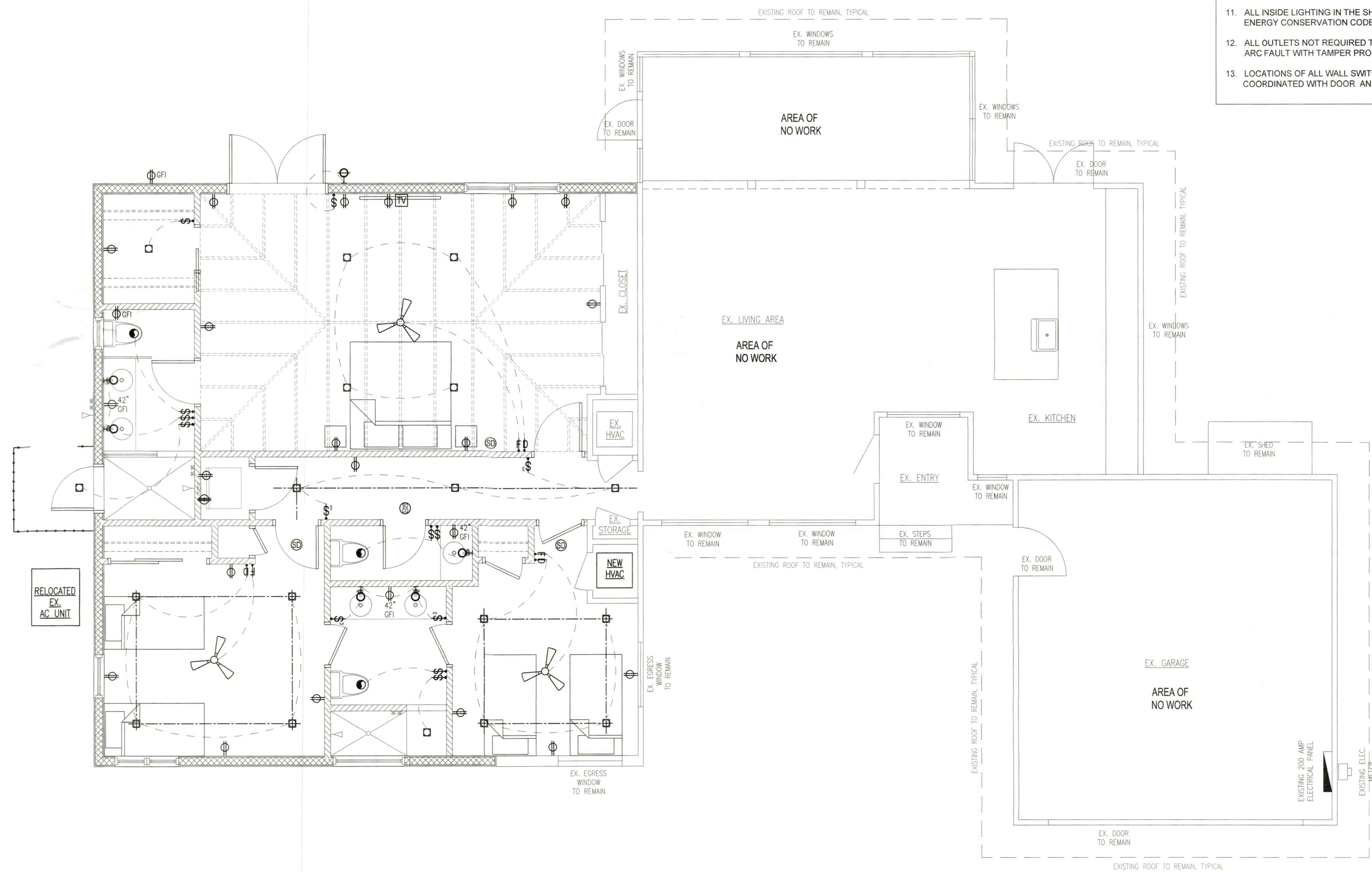
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Planning & Services

**ELECTRICAL LEGEND**

- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- ⊕ PENDANT FIXTURE
- ⊖ EXHAUST FAN
- INTERIOR WALL MOUNTED LIGHT FIXTURE
- ⊕ DUPLEX RECEPTACLE - AFI (ARC FAULT INTERRUPTION)
- ⊖ SINGLE POLE SWITCH MOUNT AT 40" A.F.F. U.N.O.
- ⊖ THREE-WAY SWITCH MOUNT AT 40" A.F.F. U.N.O.
- ⊖ GFI

**ELECTRICAL NOTES**

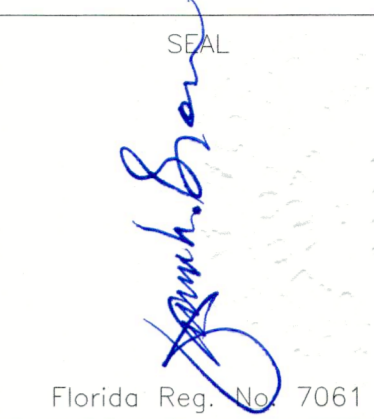
1. VERIFY ALL APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS WITH MANUFACTURERS AND MODELS SELECTED BY OWNER.
2. ALL RECESSED LIGHTING FIXTURES SHALL BE EQUIPPED WITH THERMALLY PROTECTED HOUSINGS WHICH ARE IC RATED AND U.L. LISTED FOR USE IN DIRECT CONTACT WITH CEILING INSULATION.
3. FIELD VERIFY LOCATIONS OF REMOTE TRANSFORMERS FOR LOW VOLTAGE LIGHTING, IF ANY.
4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2014 NATIONAL ELECTRIC CODE AND WITH LOCAL AMENDMENTS.
5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER OPERATION, CONSISTENT WITH GOOD WORKMANSHIP, SHALL BE INCLUDED AS PART OF THIS CONTRACT.
6. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS OR BY ACTUAL FIELD MEASUREMENT.
7. ALL INTERIOR SWITCHES AND RECEPTACLES SHALL BE LEVITON "DECORA" STYLE.
8. ALL SWITCHES SHALL BE MOUNTED AT 40" A.F.F. UNLESS OTHERWISE INDICATED.
9. ALL WIRE ON PROJECT SHALL BE COPPER.
10. CONTRACTOR SHALL COORDINATE WITH CABINET MAKER LIGHTS AND WIRING LOCATION AT KITCHEN AND LIVING ROOM CABINETS PRIOR INSTALLATION.
11. ALL INSIDE LIGHTING IN THE SHALL COMPLY WITH THE 2020 ENERGY CONSERVATION CODE SECTION R404.1
12. ALL OUTLETS NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC FAULT WITH TAMPER PROOF RECP.T.
13. LOCATIONS OF ALL WALL SWITCHES SHALL BE FULLY COORDINATED WITH DOOR AND WALL TRIM TREATMENTS.



CUSTOM HOME DESIGN & DRAFTING

**HausDesign Studio, LLC**  
 Phone: 941.580.4603  
 mbade@hausdesignstudio.com

**James L. Brown**  
 Phone: (841) 504-4273  
 jimrbrown514@verizon.net  
 Florida Reg. No. 7061



Feb 16, 2023

GENERAL CONTRACTOR

**BLUEWATER CONSTRUCTION**

Clyde Alstrom  
 12915 River Road  
 Myakka City, Florida 34251  
 Phone: 941-383-8043  
 clyde@bluewaterfl.com

License Number: CGC1506434

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PROJECT

**RENOVATION / ADDITION  
 to the Trulasko Residence**

2923 Gulf of Mexico Drive  
 Longboat Key, Florida 34228

PERMIT PLAN

ADDENDUM / REVISION

No.	Date	Description

SCALE  
 1/4" = 1'-0"

DRAWN BY  
 MB

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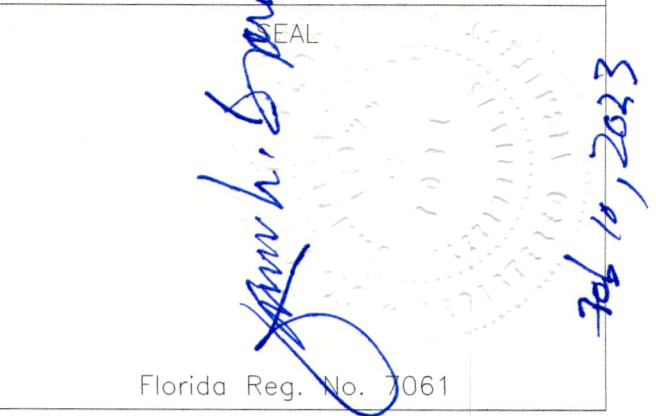
DATE  
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SHEET TITLE  
**PROPOSED  
 ELECTRICAL PLAN**

SHEET NUMBER

**A6**

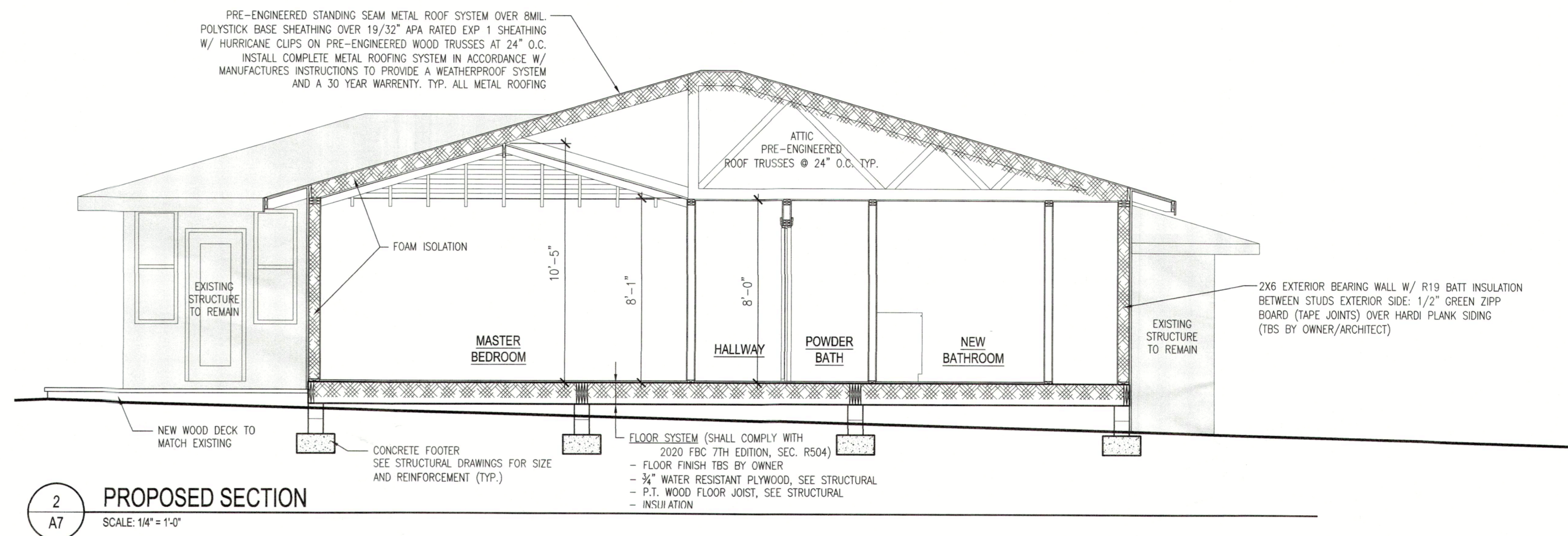
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APPROXIMATE MEAN HIGH WATER

PLATTED LOT LINE

FLOOD ZONE VE (EL. 15)  
 FLOOD ZONE VE (EL. 12)

EROSION CONTROL LINE

BEACH

EXISTING SEAWALL

PROPOSED FILL AREA

EXISTING GRADE

GULF OF MEXICO DRIVE

~226'-11" TO EDGE OF EXISTING STRUCTURE (TO CCCL)

~218'-10" EDGE OF PROPOSED ADDITION STRUCTURE (TO CCCL)

FLOOD ZONE VE (EL. 12)  
 FLOOD ZONE AE (EL. 11)

FRONT PROPERTY LINE

- BOTTOM OF STRUCTURE  
EL. = +18.0' NAVD
- DESIGN FLOOD ELEVATION (+3'-0")  
EL. = +15.0' NAVD
- BASE FLOOD ELEVATION (VE 12)  
EL. = +12.0' NAVD  
T/O EXISTING AND NEW FLOOR
- EL. = +10.3' NAVD

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1 A7

**PROPOSED SIDE SECTION**  
 SCALE: 1/8" = 1'-0"

PROJECT  
**RENOVATION / ADDITION to the Trulask Residence**  
 2923 Gulf of Mexico Drive  
 Longboat Key, Florida 34228  
**PERMIT PLAN**

ADDENDUM / REVISION  
 No. Date Description

SCALE  
 1/4" = 1'-0"

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DATE  
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SHEET TITLE  
**PROPOSED SECTIONS**

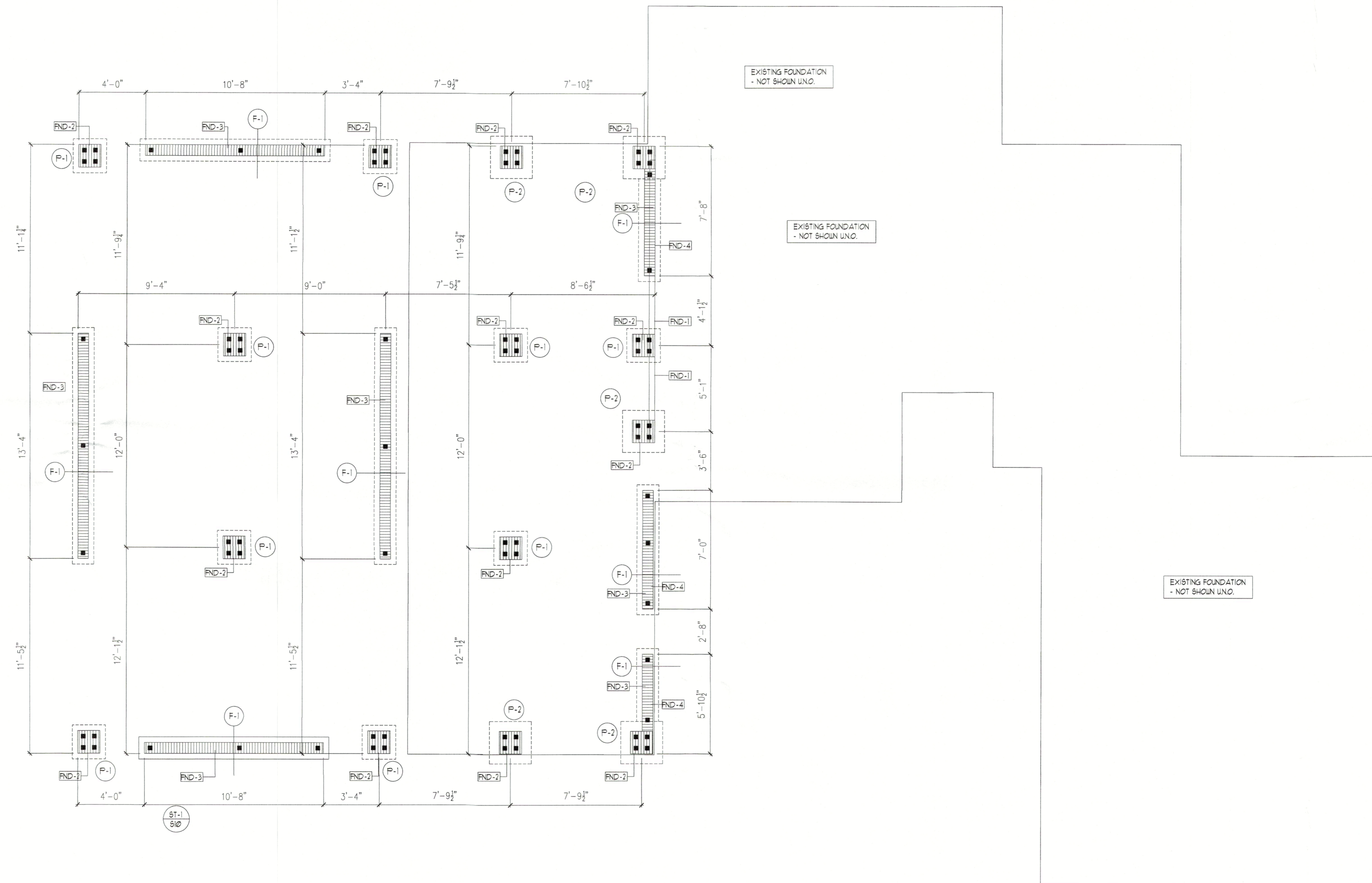
SHEET NUMBER

**A7**

**DIMENSION NOTES**  
SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

**STRUCTURAL SCHEDULE** [END:1]

MARK	DESCRIPTION
FND-1	SHEAR WALL ABOVE (SEE SHEET S3 FOR TIEDOWN CONNECTIONS)
FND-2	NEW 16X16 PILASTER / COLUMN 1. FORM & POUR TOP OF PILASTER 8" AS REQUIRED FOR FINISH LEVEL WITH BOTTOM OF FLOOR FRAMING 2. PROVIDE SIMPSON HETA16 AT EACH FLOOR BEAM
FND-3	NEW 8" THICK CMU WALL 1. FORM & POUR TOP OF WALL 8" AS REQUIRED FOR FINISH LEVEL WITH BOTTOM OF FLOOR FRAMING WITH 2. #5 REBAR CONTINUOUS AT TOP OF WALL 3. PROVIDE SIMPSON HETA16 AT EACH FLOOR BEAM / JOIST 4. SIMPSON MASA OR HGAM10 AT 12" O.C. TO RIM JOIST
FND-4	ALIGN EDGE OF CMU WALL WITH EDGE OF BEAM / RIM JOIST ABOVE



**FOOTING SCHEDULE**

MARK	SIZE/TYPE	REINF.	REM.
F-1	10" H x 16" W STRIP FTG.	2-#5 CONT.	
P-1	24" x 24" x 12" H PAD	3-#5 EW.	-
P-2	30" x 30" x 12" H PAD	4-#5 EW.	-

**GENERAL NOTES:**  
a. REINFORCEMENT IN FOOTINGS IS 3" FROM BOTTOM UNO.  
b. VERIFY STEMWALL HEIGHT IN FIELD.

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RENOVATION / ADDITION  
**TRULASKE RESIDENCE**  
2923 GULF OF MEXICO DRIVE  
LONGBOAT KEY, FL 34228

**FOUNDATION PLAN**

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**GENERAL NOTES**

- DO NOT SCALE FOOTING SIZE FROM PLAN
- SEE ARCHITECTURAL PLANS FOR PLUMBING, ADDITIONAL INFORMATION

**FILLED CELLS**

- INDICATES FILLED CELL w/ #5 REBAR
- ▴ INDICATES FILLED CELL w/ #2#5 OR #1#1 REBAR

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

<b>ENGINEER</b> JAMES L. MCCALL PEP 84555
<b>DATE ISSUED</b> JUL 11 11/02/2022
<b>REVISIONS</b>
<b>SHEET</b> <b>S1</b>

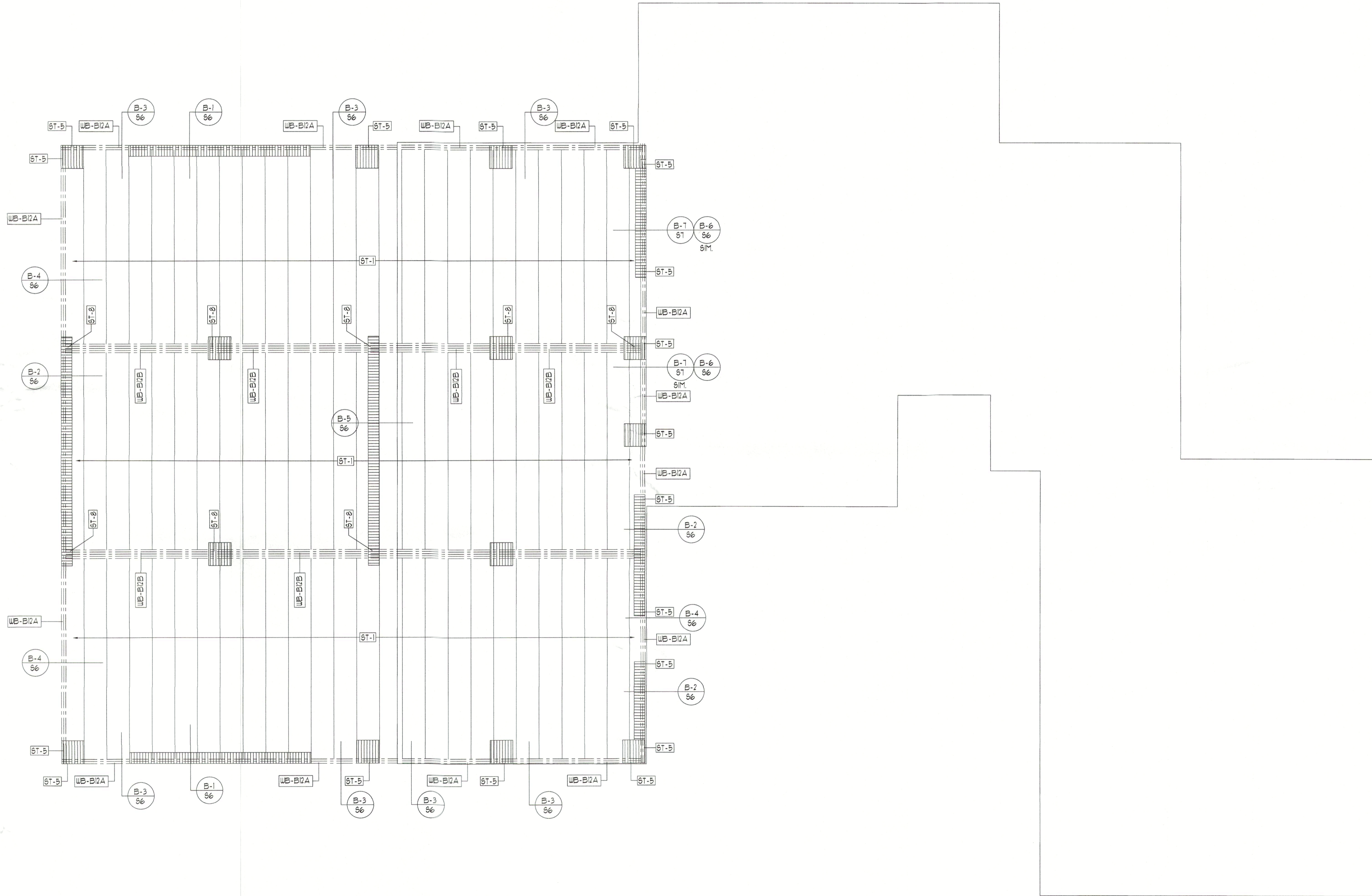


**DIMENSION NOTES**

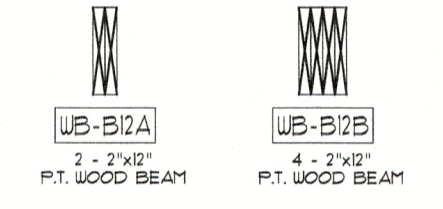
SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

**STRUCTURAL SCHEDULE**

MARK	DESCRIPTION
ST-1	2X12 FT AT 16" O.C.
ST-2	EXISTING 2X12 FLOOR FRAMING (NOT TO BE REMOVED OR MODIFIED, REPAIR AS REQUIRED)
ST-3	EXISTING FLOOR BEAM
ST-4	2-2X12 FT BEAM
ST-5	ATTACH 2-2X12 FT TO CMU PILASTER / WALL W/ 2-SIMPSON HETA16 OR 2-SIMPSON MSTAM24
ST-6	ATTACH 2-2X12 FT TO CMU PILASTER W/ 1-SIMPSON HETA16 OR 1-SIMPSON MSTAM24
ST-7	1-SIMPSON LUS210-2
ST-8	ATTACH 4-2X12 FT TO CMU PILASTER/WALL W/ 1-SIMPSON HETA16 OR 1-SIMPSON HTS16



**WOOD BEAM SCHEDULE**



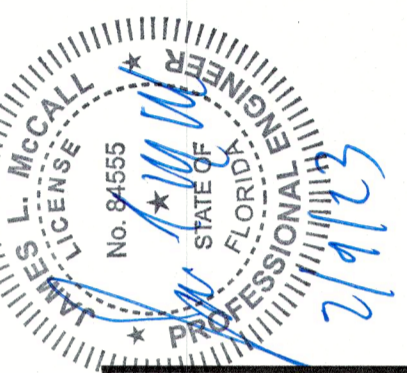
**STRUCTURAL NOTES**

- ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.

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RENOVATION / ADDITION  
**TRULASKE RESIDENCE**  
 2923 GULF OF MEXICO DRIVE  
 LONGBOAT KEY, FL 34228

**FLOOR FRAMING PLAN**

ENGINEER	JAMES L. MCCALL PEP 84555
DATE ISSUED	JUN 11 11/02/2022
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SHEET

S2

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**FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

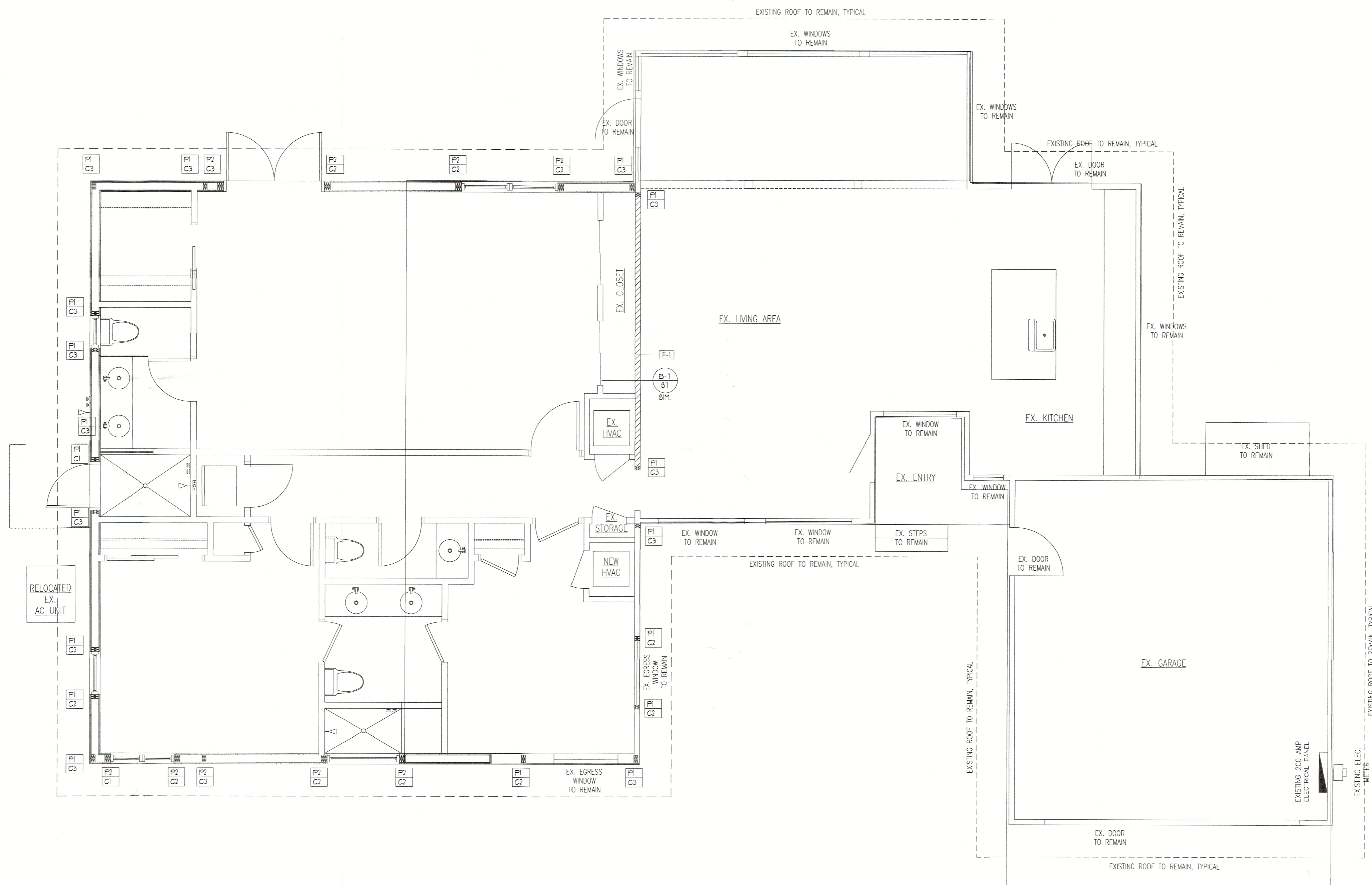
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**DIMENSION NOTES**  
SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

**POST SCHEDULE**

MARK	DESCRIPTION
P1	2-2X SYP POST - MATCH WALL THICKNESS
P2	2-2X SYP POST WITH ADDITIONAL JACK STUDS MATCH WALL THICKNESS

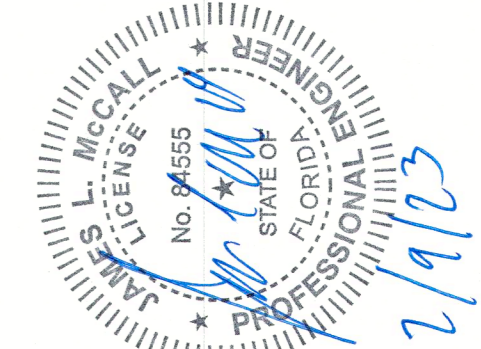


**CONNECTOR SCHEDULE**

MARK	DESCRIPTION
C1	1-SIMPSON C816 TO BEAM/WALL BELOW
C2	2-SIMPSON C816 TO BEAM/WALL BELOW
C3	1-SIMPSON M6TCM40 TO BEAM/WALL BELOW

**STRUCTURAL SCHEDULE**

MARK	DESCRIPTION
F-1	EXISTING WALL W/ 2X4 FT @ 16" O.C. (VERIFY BY GC) EXTEND WALL TO ROOF SHEATHING W/ RAKED BALLOON-FRAMED WALL SHEATH W/ 5/8" PLYWOOD W/ Bd @ 4" O.C. EDGE, 8' O.C. FIELD



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RENOVATION / ADDITION  
**TRULASKE RESIDENCE**  
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**FLOOR PLAN**

ENGINEER  
 JAMES L. MCCALL  
 P.E. # 84555  
 DATE ISSUED  
 JUL 11/02/2022  
 REVISIONS

SHEET  
**S3**

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**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

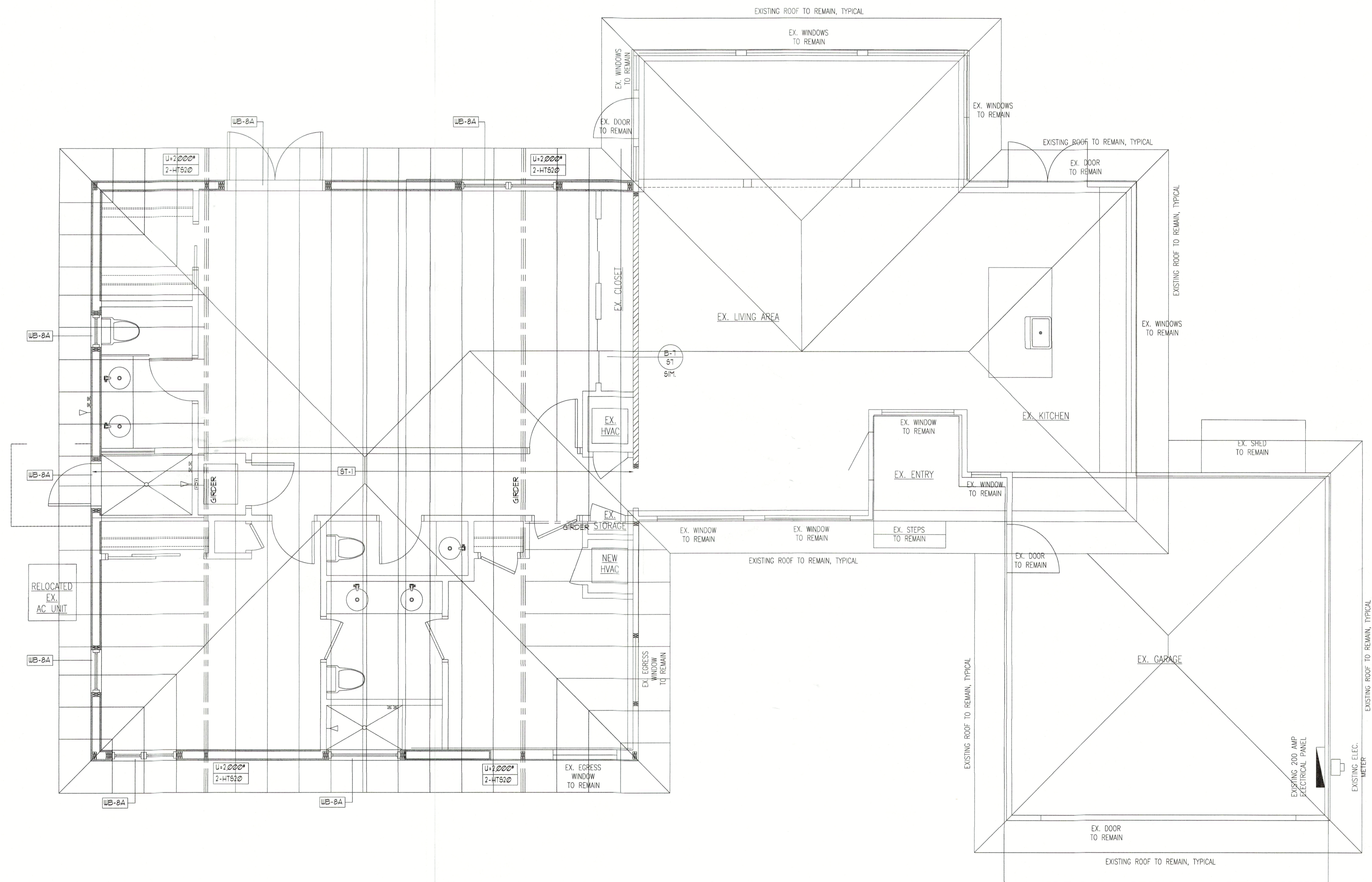
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**DIMENSION NOTES**  
SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

STRUCTURAL SCHEDULE		ST-1
MARK	DESCRIPTION	
ST-1	PRE-MANUFACTURED ROOF TRUSSES AT 24" O.C.	
ST-2	DROP TOP CHORD GABLE END TRUSS SHEATH EXTERIOR FACE OF GABLE END TRUSS WITH 5/8" PLYWOOD WITH 8d NAILS AT 4" O.C. EDGE/8" O.C. FIELD - BLOCK ALL BEAMS - TRUSS COMPANY TO PROVIDE STRONGBACKS AS REQD.	

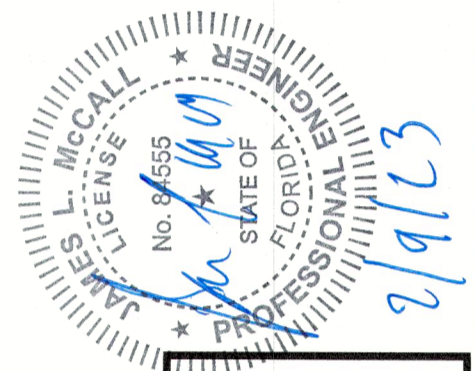
WOOD BEAM SCHEDULE	
MARK	DESCRIPTION
UB-8A	3 - 2x8 DYP WOOD BEAM WITH 2-1/2" 20# PLYWOOD FLITCH PLATES



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**ROOF FRAMING PLAN**

ENGINEER	JAMES L. MCCALL PE# 84555
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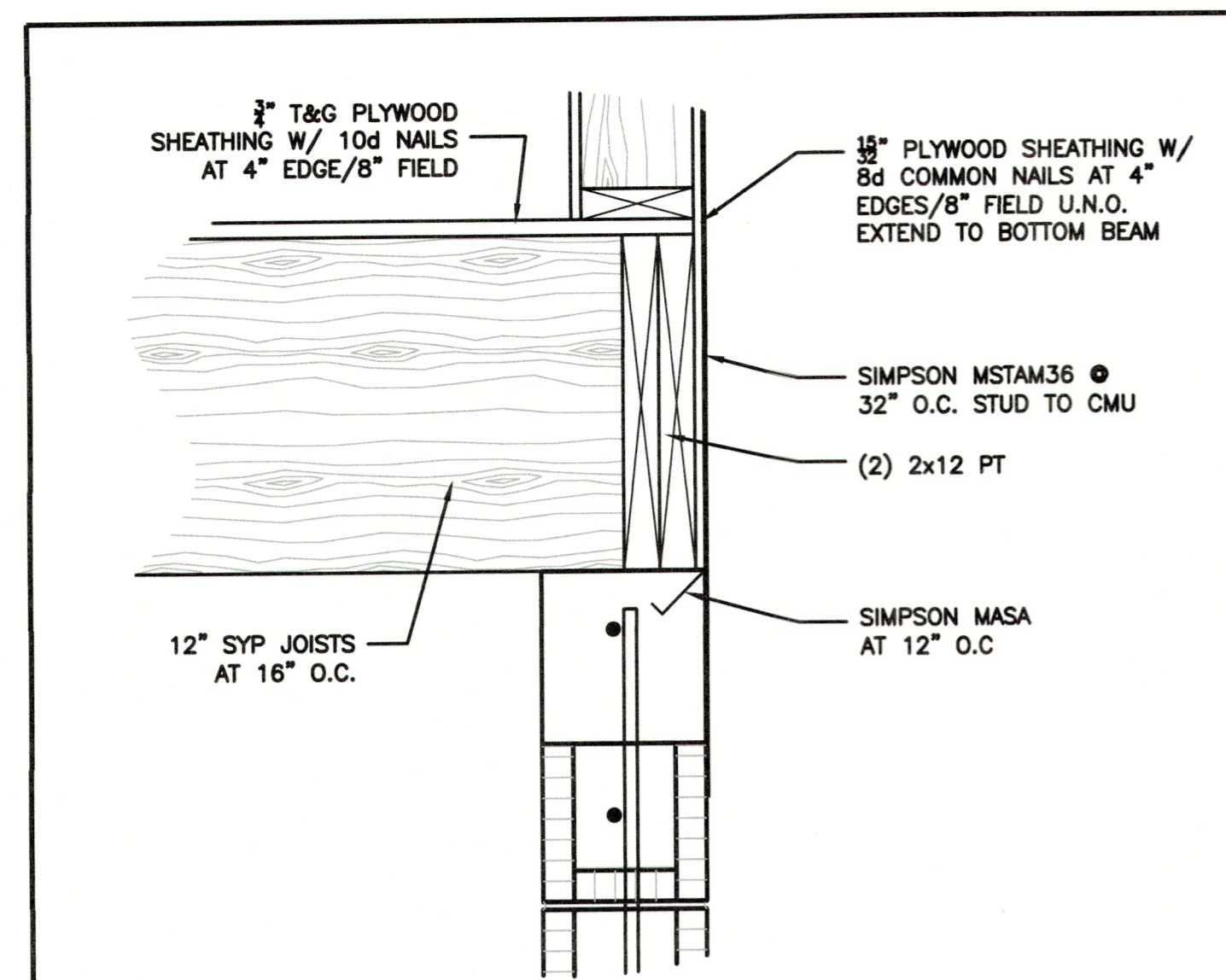
**S4**

**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

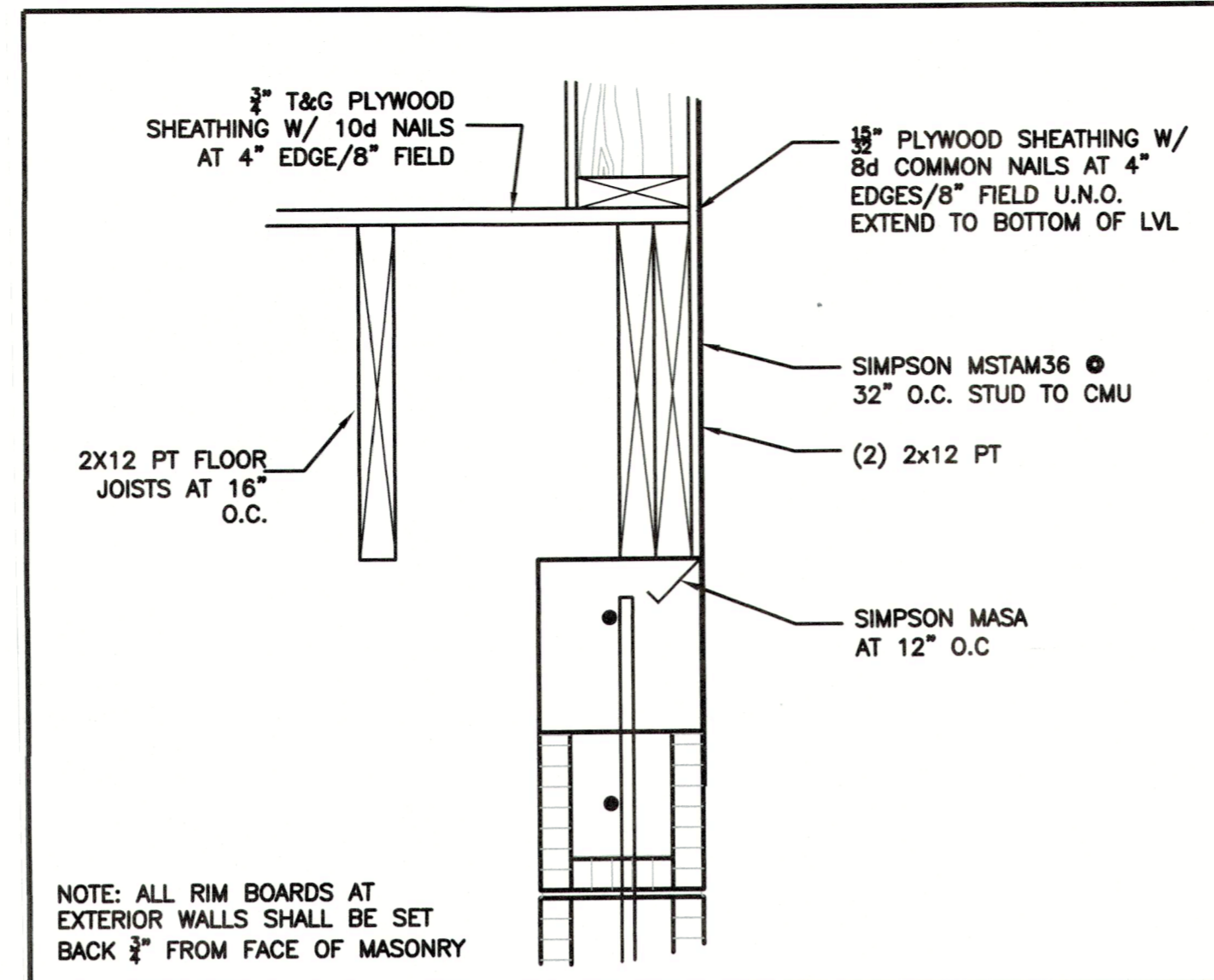
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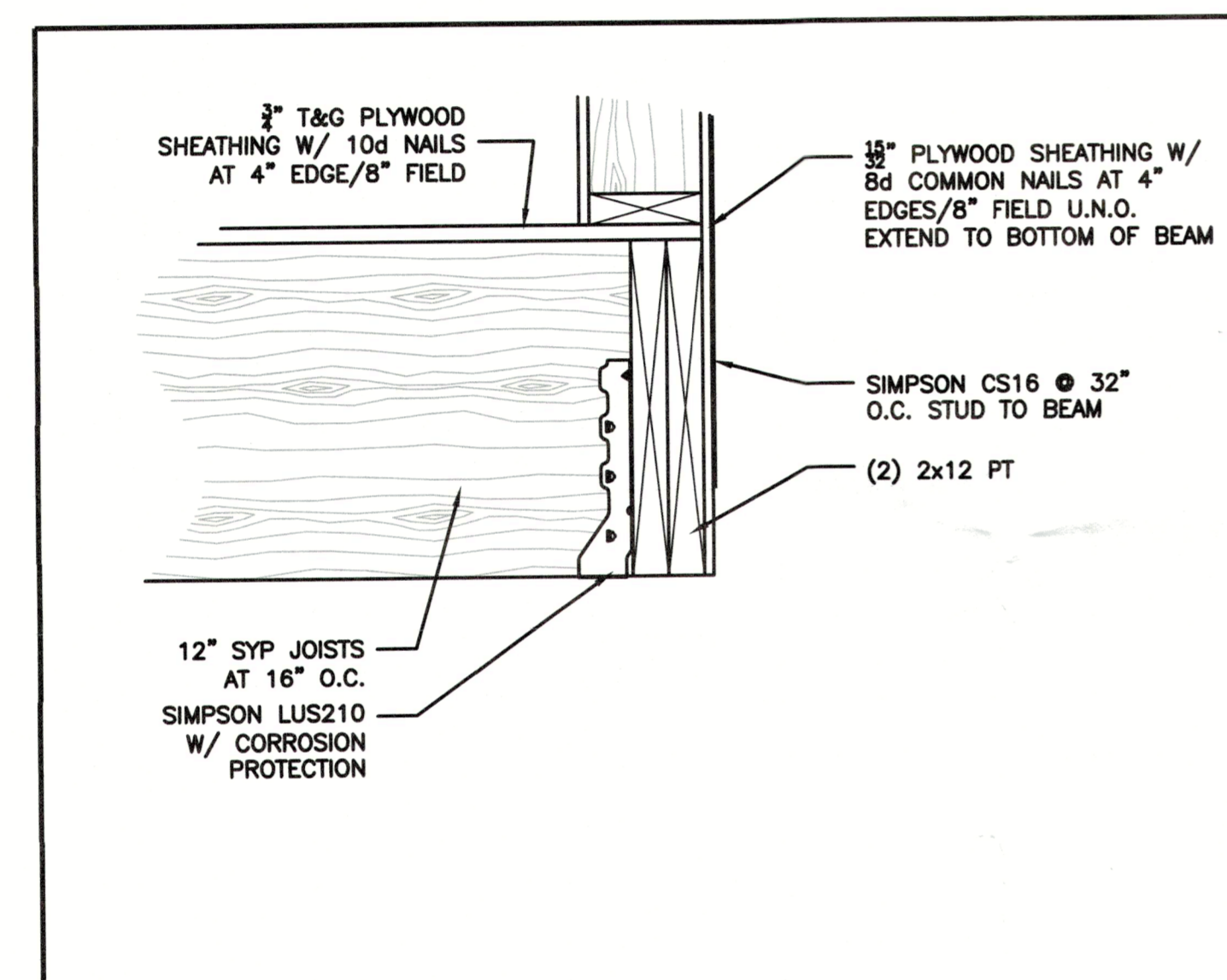


JOIST PERPENDICULAR TO WALL **B-1**

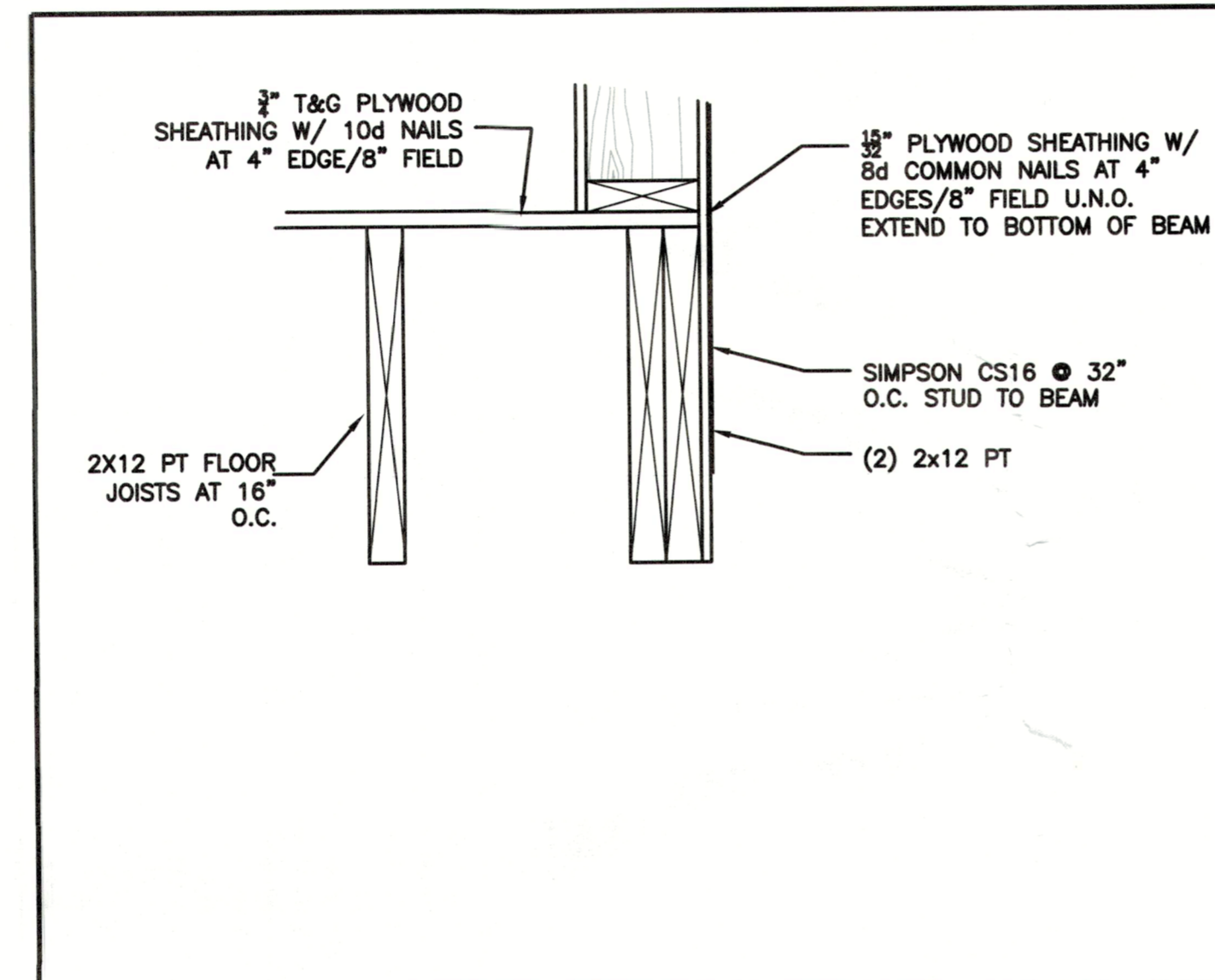


JOISTS PARALLEL TO WALL **B-2**

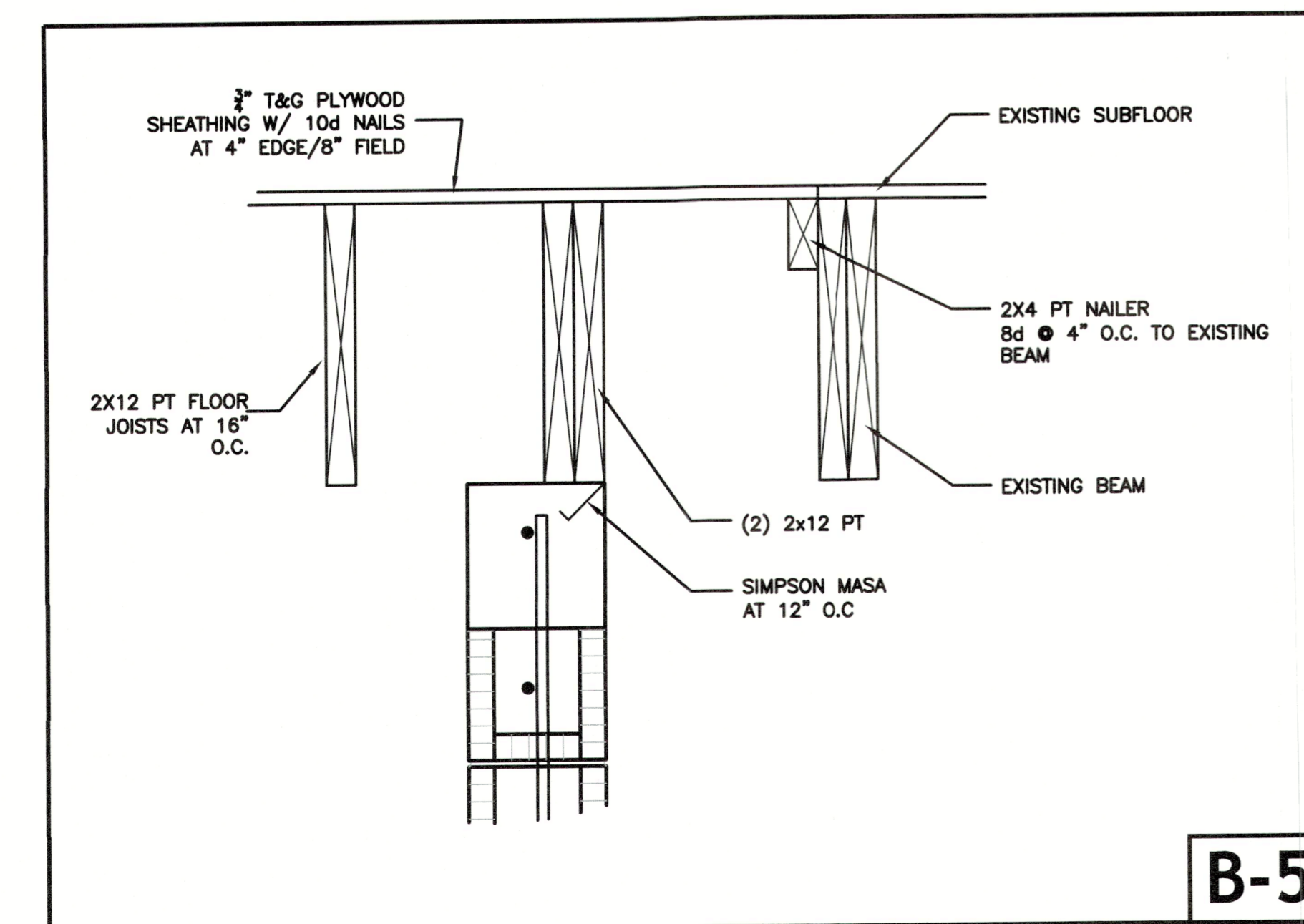
NOTE: ALL RIM BOARDS AT EXTERIOR WALLS SHALL BE SET BACK 3/4" FROM FACE OF MASONRY



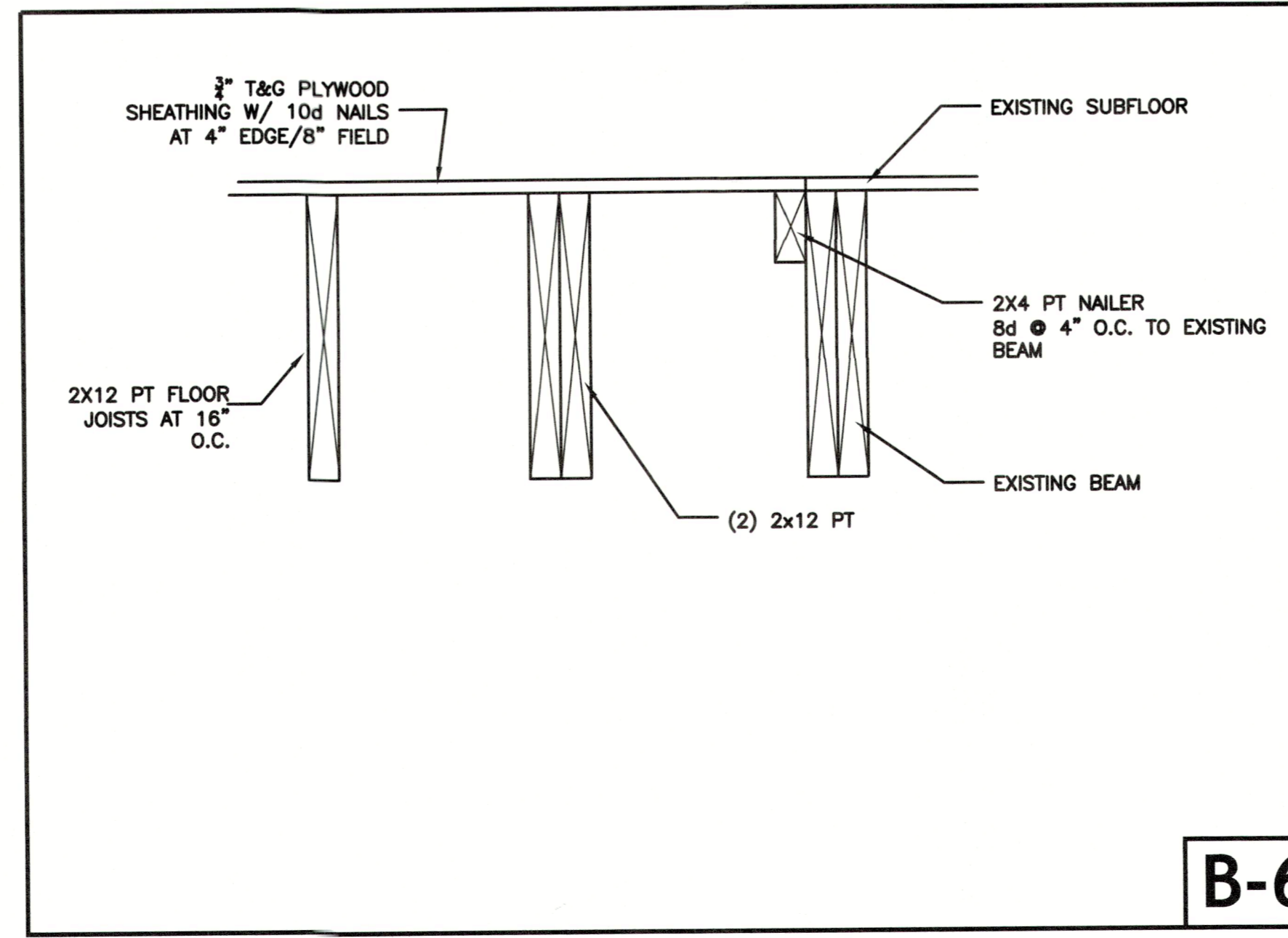
JOIST PERPENDICULAR TO WALL **B-3**



JOISTS PARALLEL TO WALL **B-4**



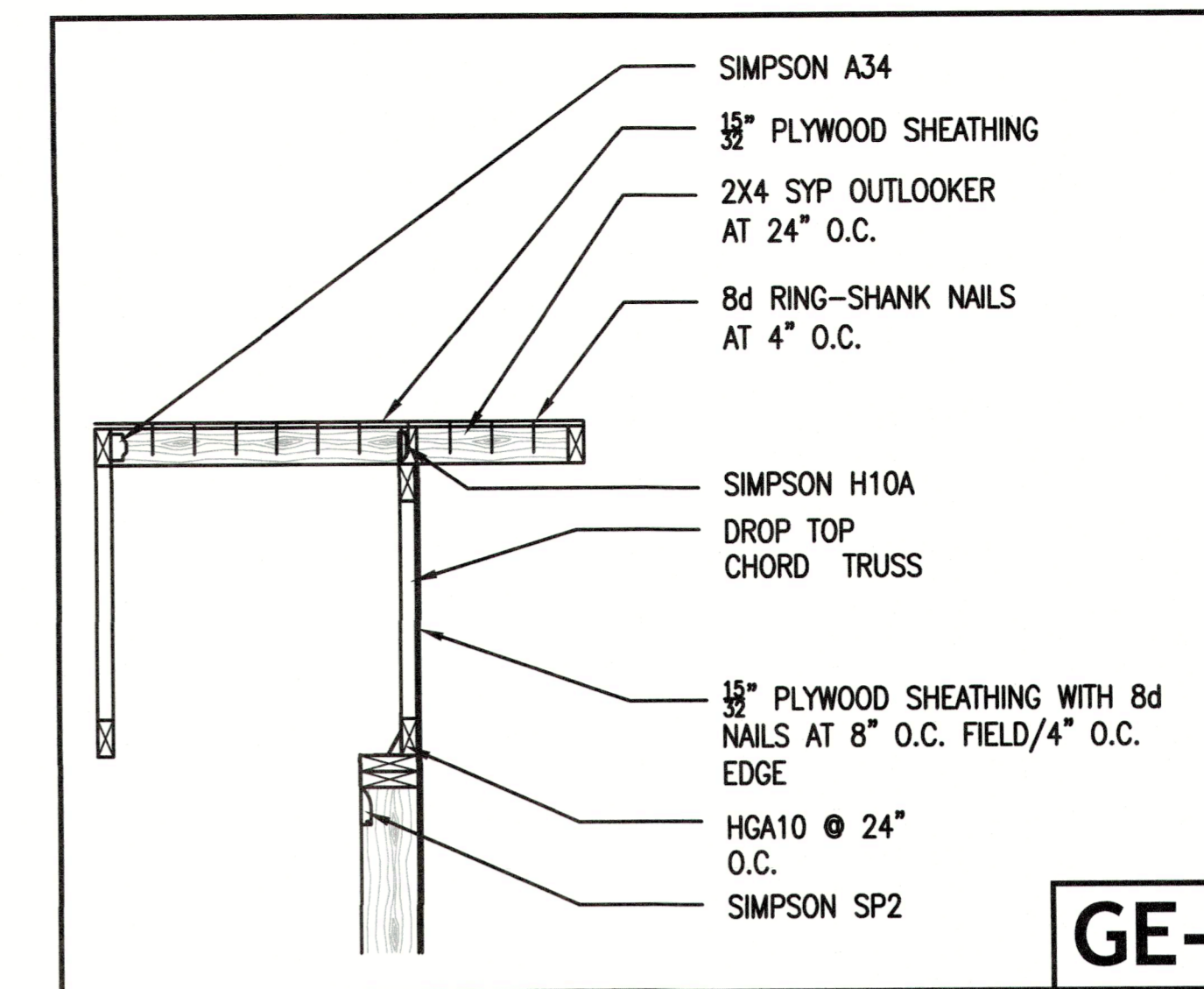
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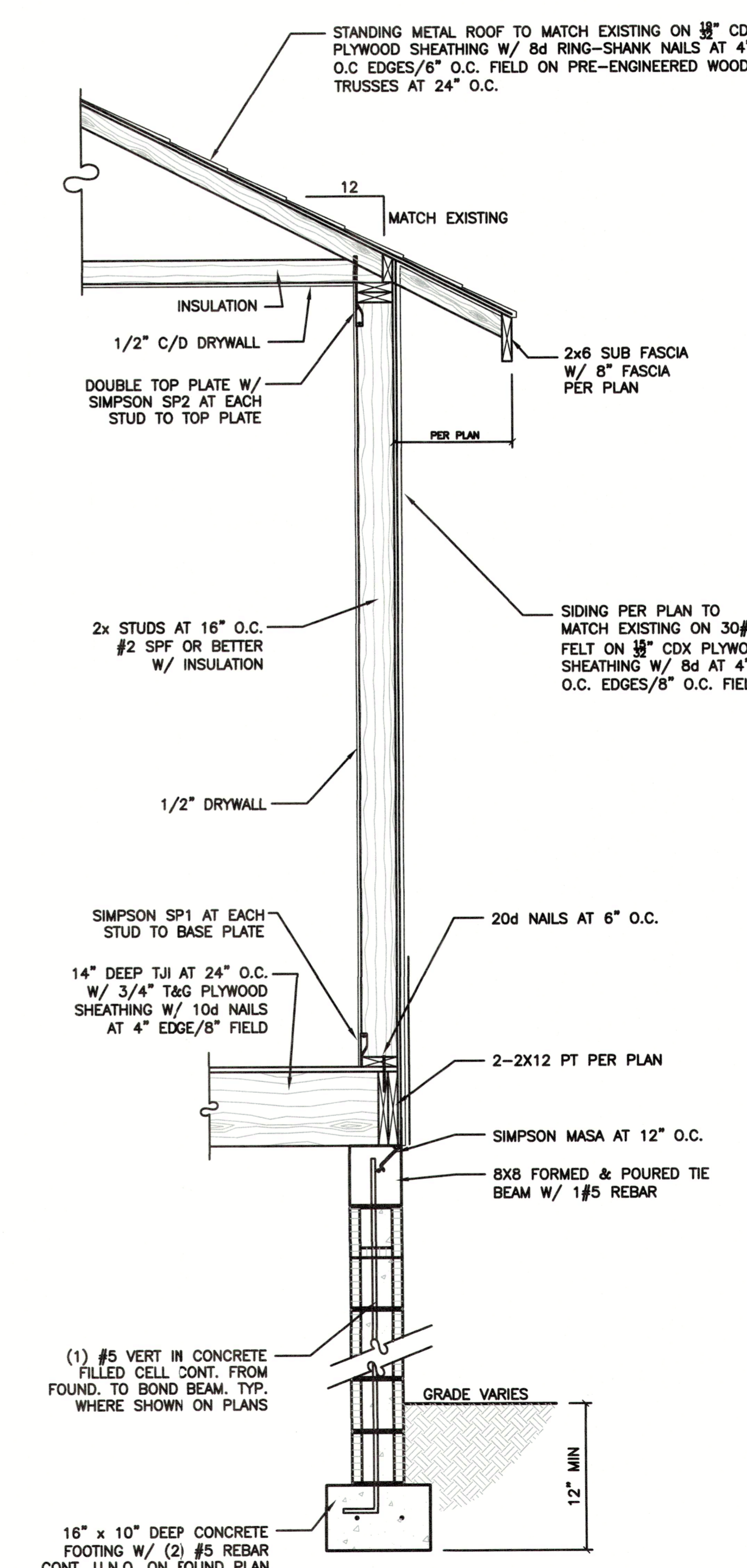
**B-6**

**17. REMODEL NOTES**

- 17.1 ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
- 17.2 REROOFING TO COMPLY WITH HURRICANE MITIGATION RETROFITS. CONTRACTOR TO SCHEDULE ONSITE FIELD INSPECTION WITH ENGINEER OF RECORD UPON REMOVAL OF EXISTING ROOF COVERING TO DETERMINE THE EXTENT OF RETROFIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SHEATHING REPLACEMENT, SHEATHING ATTACHMENT, TRUSS ANCHORING, AND SECONDARY WATER BARRIER REQUIREMENTS, ALL OF WHICH WILL BE PROVIDED TO THE BUILDING DEPARTMENT FOR APPROVAL.
- 17.3 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED THAN ALL OF THE EXISTING ROOF TO WALL CONNECTIONS SHALL BE STRENGTHENED TO MEET 2017 FBC UPLIFT REQUIREMENTS.
- 17.4 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED, OBTAIN FURTHER STRUCTURAL REQUIREMENTS FROM THE ENGINEER OF RECORD.
- 17.5 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED, OBTAIN FURTHER STRUCTURAL REQUIREMENTS FROM THE ENGINEER OF RECORD.
- 17.6 SHORING SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS.
- 17.7 NOTIFY EOR IF ANY OF THE ASSUMED AS-BUILT CONDITIONS VARY.
- 17.8 ALL WATERPROOFING BY OTHERS.



**GE-1**




TYPICAL ONE STORY WALL SECTION

SCALE: 3/4" = 1'-0"

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RENOVATION / ADDITION  
**TRULASKE RESIDENCE**  
2923 GULF OF MEXICO DRIVE  
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**STRUCTURAL  
DETAILS**

ENGINEER  
JAMES L. MCCALL  
PE# 84555

DATE ISSUED  
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REVISIONS

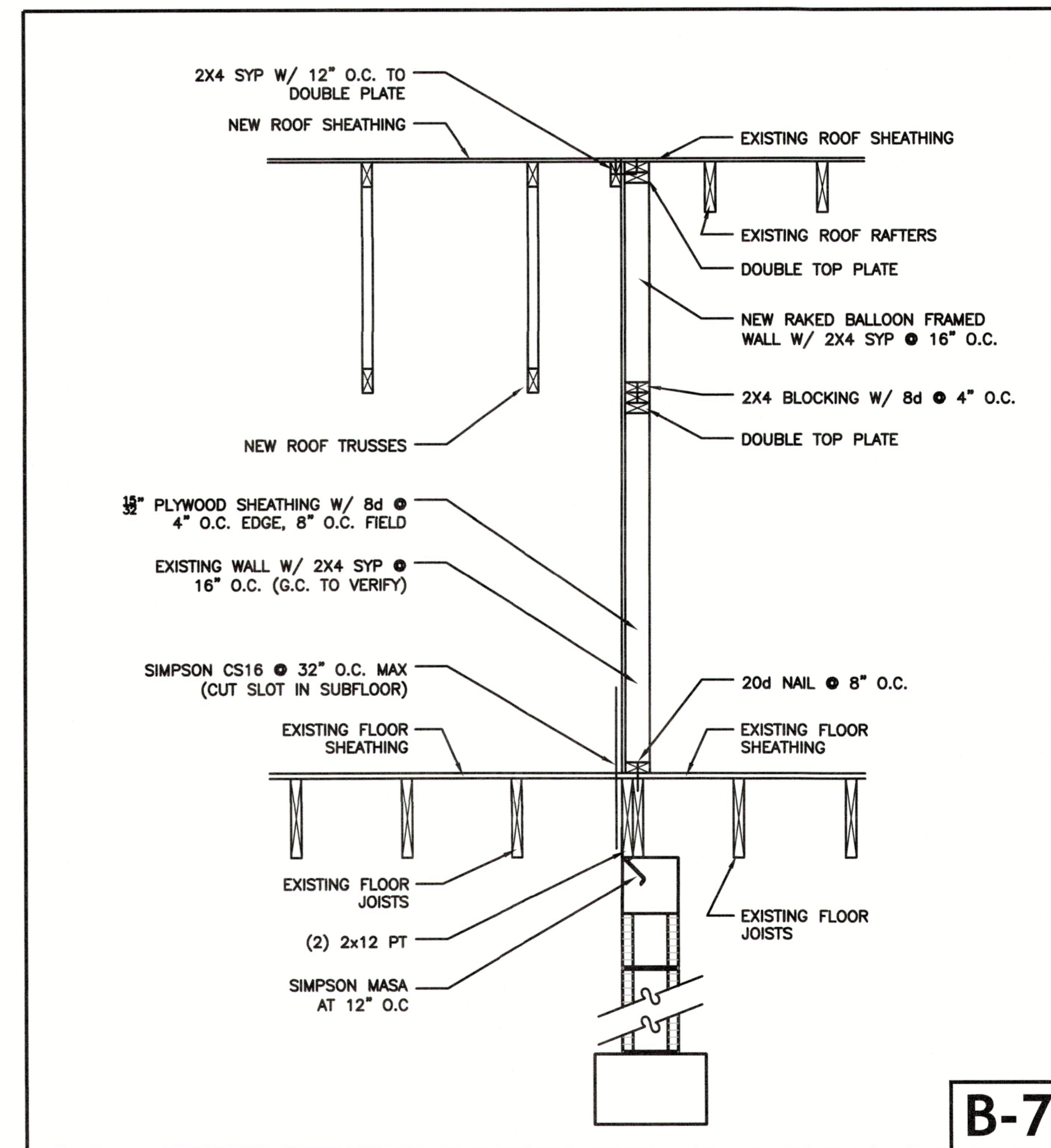
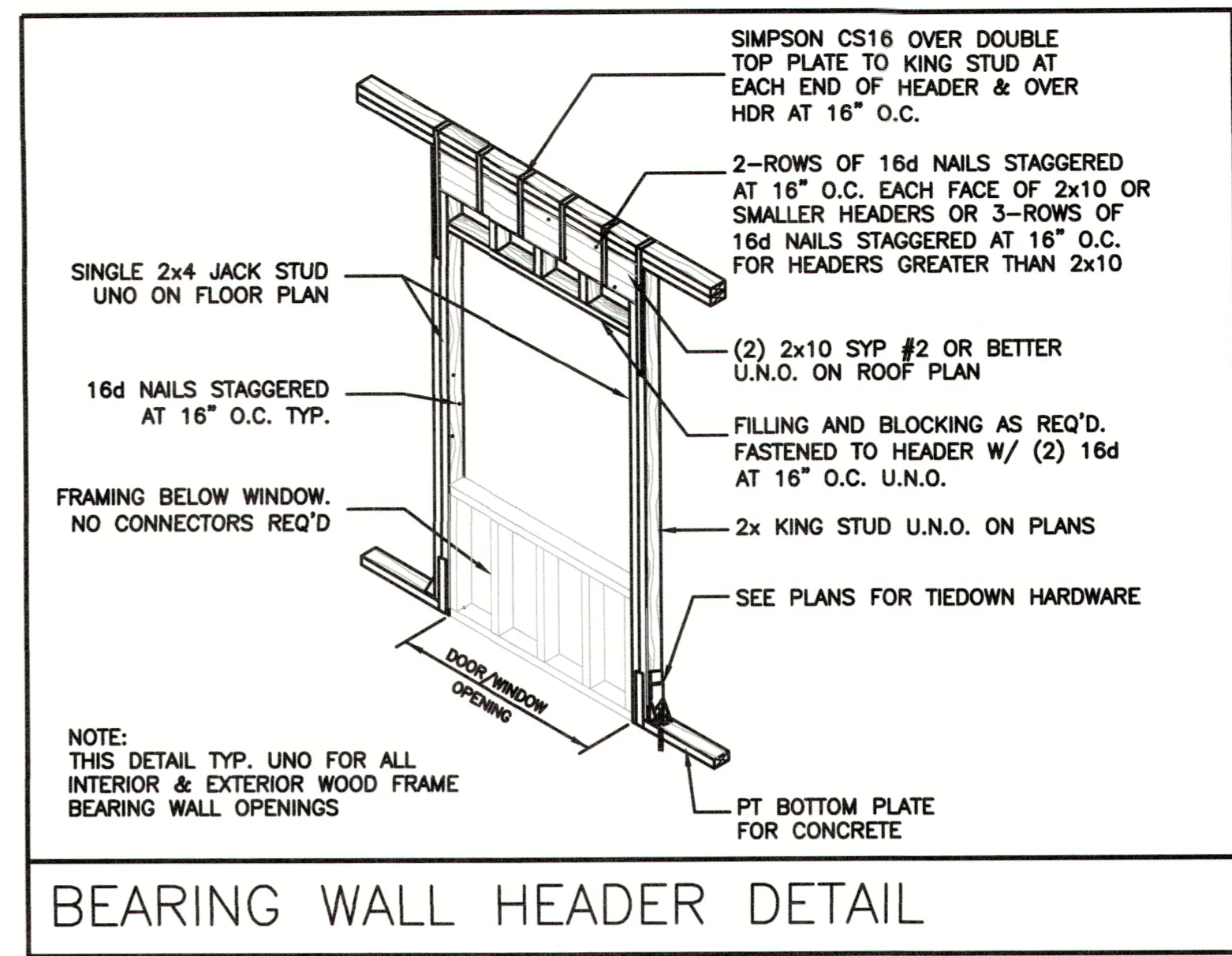
SHEET

**S6**

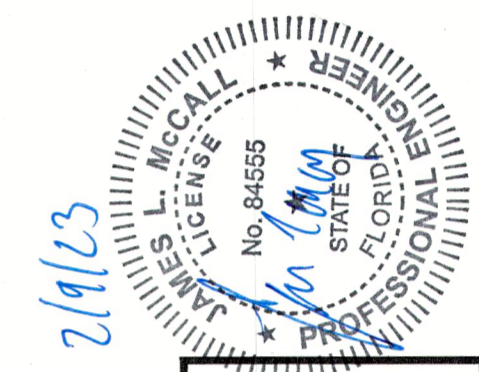
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RENOVATION / ADDITION  
**TRULASKE RESIDENCE**  
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**STRUCTURAL  
 DETAILS**

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SHEET  
**S7**

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