GENERAL NOTES

ALL PLUMBING, MECHANICAL, ELECTRICAL EQUIPMENT. GENERATORS AND DUCTWORK TO BE LOCATED ABOVE REQUIRED BASE FLOOD ELEVATION OF EL. + 8.0' + 24" FREEBOARD

REFERENCE LEVEL NOTE

AVERAGE GRADE CALCULATION INCLUDE ALL AVERAGE ELEVATION OF ADJOINING PROPERTIES AT FINISH GRADE AT RESPECTIVE BOUNDARY LINES (SEE SURVEY).

SEWER NOTE

LOCATE EXISTING SEWER LINES ON SITE, COORDINATE NEW CONNECTION TO CITY SEWER LINES.

GAS NOTE

LOCATE EXISTING GAS LINES ON SITE, COORDINATE NEW CONNECTION TO CITY GAS SUPPLY LINES.

PERFORM EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION.

CALL BEFORE YOU DIG: CONTACT CALL BEFORE YOU DIG SERVICE PRIOR TO COMMENCING ANY EARTHWORK OPERATIONS. NUMBER IS 1-800-922-4455.

MAILBOX NOTE

LOCATION AND SECTION T.B.D. BY OWNER

LANDSCAPE NOTE

LANDSCAPING LAYOUT IS TO BE PER SUPPLEMENTAL DRAWING PREPARED BY LANDSCAPE CONSULTANT. SEE LANDSCAPE DRAWINGS FOR SETTING OUT OF DRIVEWAYS AND WALKWAYS.

ALL FINISHED GRADE TO BE SLOPED MIN. @ 1/4" / FT. AWAY FROM BUILDING WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.

ALL EXTERIOR CONCRETE SLABS TO BE SLOPED @ 1/8" PER FT. AWAY FROM BUILDING WALLS UNLESS NOTED OTHERWISE ON

UNLESS NOTED OTHERWISE, IT IS THE INTENT THAT ALL EXISTING VEGETATION OUTSIDE OF THE FOOTPRINT TO REMAIN. PROTECT EXISTING VEGETATION FROM DAMAGE DUE TO CONSTRUCTION PROCESSES AND PROCEDURES. PROVIDE BARRIERS TO PROTECT ALL VEGETATION WITHIN THE LIMITS OF CONSTRUCTION.

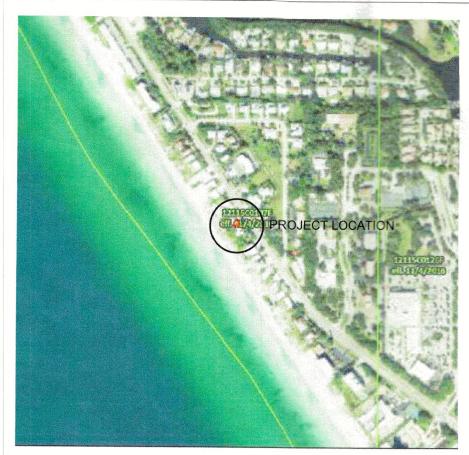
PRIOR TO CUTTING OR PRUNING ANY EXISTING VEGETATION OBTAIN OWNER'S APPROVAL. COORDINATE WITH LANDSCAPE ARCHITECT CONTRACT LIMITS LINE.

IDENTIFY ALL VEGETATION WITHIN THE FOOTPRINT OF THE EXISTING CONSTRUCTION AND TRANSPLANT OR REMOVE AS DIRECTED BY OWNER.

MECHANICAL NOTE

DUCT TEST AND ENVELOPE LEAKAGE TEST AS REQUIRED.

THE STREET ADDRESS NUMBERS WILL NEED TO BE LOCATED ON THE FRONT AND WATERFRONT SIDES OF THE PROPERTY. EACH NUMBER SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT AND BE PLAIN, AND IN AN EASILY READABLE STYLE. SCRIPT OR CURSIVE CHARACTERS SHALL NOT BE USED. NUMBERS AND LETTERING SHALL CONTRAST WITH THE BACKGROUND UPON WHICH THEY ARE MOUNTED. ADDRESS NUMBERING SHALL BE POSTED WHERE THEY ARE CLEARLY VISIBLE FROM THE STREET WHERE THE STRUCTURE IS LOCATED.



ZONING CODE

EXPOSURE CATEGORY

PARCEL NUMBER: BASE FLOOD ELEVATION (FLOOD ZONE): ZONING CLASSIFICATION: CONSTRUCTION TYPE: SPRINKLER: WIND DESIGN: RISKCATEGORY:

AE (EL. 8'-0") R3MX V-B NO 150mph

0005 16 0007

PROPOSED SCOPE OF WORK SHALL COMPLY WITH THE CURRENT FLORIDA BUILDING CODE 2020 - 7th EDITION

2020 EXISTING BUILDING FLORIDA BUILDING CODE, 7th EDITION

MECHANICAL CODE: 2020 FLORIDA BUILDING CODE, 7th EDITION, MECHANICAL

2020 FLORIDA BUILDING CODE, 7th EDITION, PLUMBING

ELECTRICAL CODE:

NFPA 70 - NEC 2020

RENOVATION

NEW ADDITION

CODES

COMPLY WITH - FLORIDA BUILDING CODE 2020 - 7TH EDITION -EXISTING BUILDING - 101.2, 101.4

EXISTING AND DEMOLITION FLOOR AND ROOF PLAN

2. BUILDING USE: SINGLE FAMILY RESIDENCE TYPE 2

PROPOSED EXTERIOR ELEVATIONS

PROPOSED ELECTRICAL PLAN

- CONSTRUCTION TYPE II-B, NON-SPRINKLED 4. ALTERATION LEVEL 2

SCOPE OF WORK

INDEX OF DRAWINGS

SITE PLAN AND NOTES

PROPOSED FLOOR PLAN

PROPOSED ROOF PLAN

PROPOSED SECTIONS

SHT. NO. DESCRIPTION

NEW INTERIOR WALLS AND DOORS AND FLOOR FINISHES

- NEW EXTERIOR STRUCTURAL WALLS (SEE STRUCTURAL)
- PARTIAL REMOVAL OF EXISTING A/C SPACE
- NEW DETACHED PAVILION
- NEW EXTERIOR FINISHES AND FEATURES 6. REMOVAL AND REPLACEMENT OF EXISTING ROOF STRUCTURE

- RETURN AIR IS IN CONDITIONED SPACE

HVAC NOTES

- PROVIDE HEAT AND A/C TO ALL ROOMS
- DUCT SIZE TO BE DETERMENT BY HVAC CONTRACTOR

- SYSTEM SIZE TO BE DETERMENT BY HVAC CONTRACTOR
- VENT LOCATION TO BE DETERMENT BY HVAC CONTRACTOR

- TOTAL SYSTEM SIZE LESS THAN 15 TONS
- EXISTING A/H TO REMAIN

Phone: 941-383-8043 clyde@bluewaterfl.com

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CUSTOM HOME DESIGN & DRAFTING

SEAL

Florida Reg. No

BLUEWATER CONSTRUCTION

GENERAL CONTRACTOR

Myakka City, Florida 34251

License Number: CGC1506434

Clyde Alstrom 12615 River Road

HausDesign Studio, LLC

mbade@hausdesignstudio.com

Phone: 941.580.4603

James L. Brown

Phone: (941) 504-4273

Florida Reg. No. 7061

jimbrown514@verizon.net

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ADDITION Residence

Trulaske RENO to the PERMIT PL

Description

Comment (03.20.2023)

ADDENDUM / REVISION

No. Date A 04.04.2023

BLDG PERMIT PLANS

COFYOFRECORD

Permit # P3 23-02|5 REVIEWED FOR CODE COMPLIANCE LONGBOAT KEY BUILDING DEPT.

MAY 18 2023

RECEIVED

MAY 1 7 2023

TOWN OF LONGBOAT KEY Planning, Zoning & Building

B 05.14.2023 Comment (04.25.2023)

SCALE

1/8" = 1'-0"

MB

DRAWN BY

CHECKED BY

MB

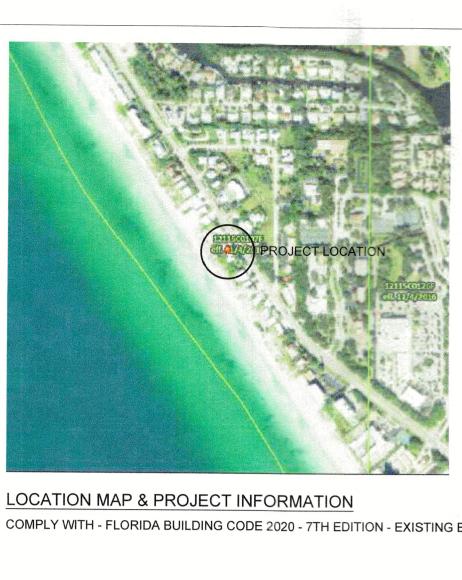
DATE

February 09, 2023

SHEET TITLE

SITE PLAN AND **GENERAL NOTES**

SHEET NUMBER



COMPLY WITH - FLORIDA BUILDING CODE 2020 - 7TH EDITION - EXISTING BUILDING - 101.2, 101.4 POWERPOLE**GARAGE** NO WORK IN THIS ENTRY EXISTING AREA OF LIVING AREA WORK T/O EX. FLOOR EL.= TO REMAIN AREA OF INTERIOR

MEXICO

PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH WIND BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE, RESIDENTIAL 7TH ADDITION

THEIR USE INCORPORATED INTO THE DESIGN AND

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS

PROPOSED DESIGN AND SPECIFICATIONS COMPLIES WITH FLORIDA ADMINISTRATIVE CODE, SECTION 62B-33.007

THIS BUILDING HAS BEEN DESIGNED IN COMPLIANCE WITH ANSI /

ASCE 7-10 FOR MINIMUM DESIGN LOADS TO WITHSTAND WIND

THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND

SPECIFICATIONS IN ACCORDANCE WITH THE ANSI/ASCE 7-10,

ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 150 MPH.

COMPLIANCE STATEMENT

SPEED OF 150 MPH.

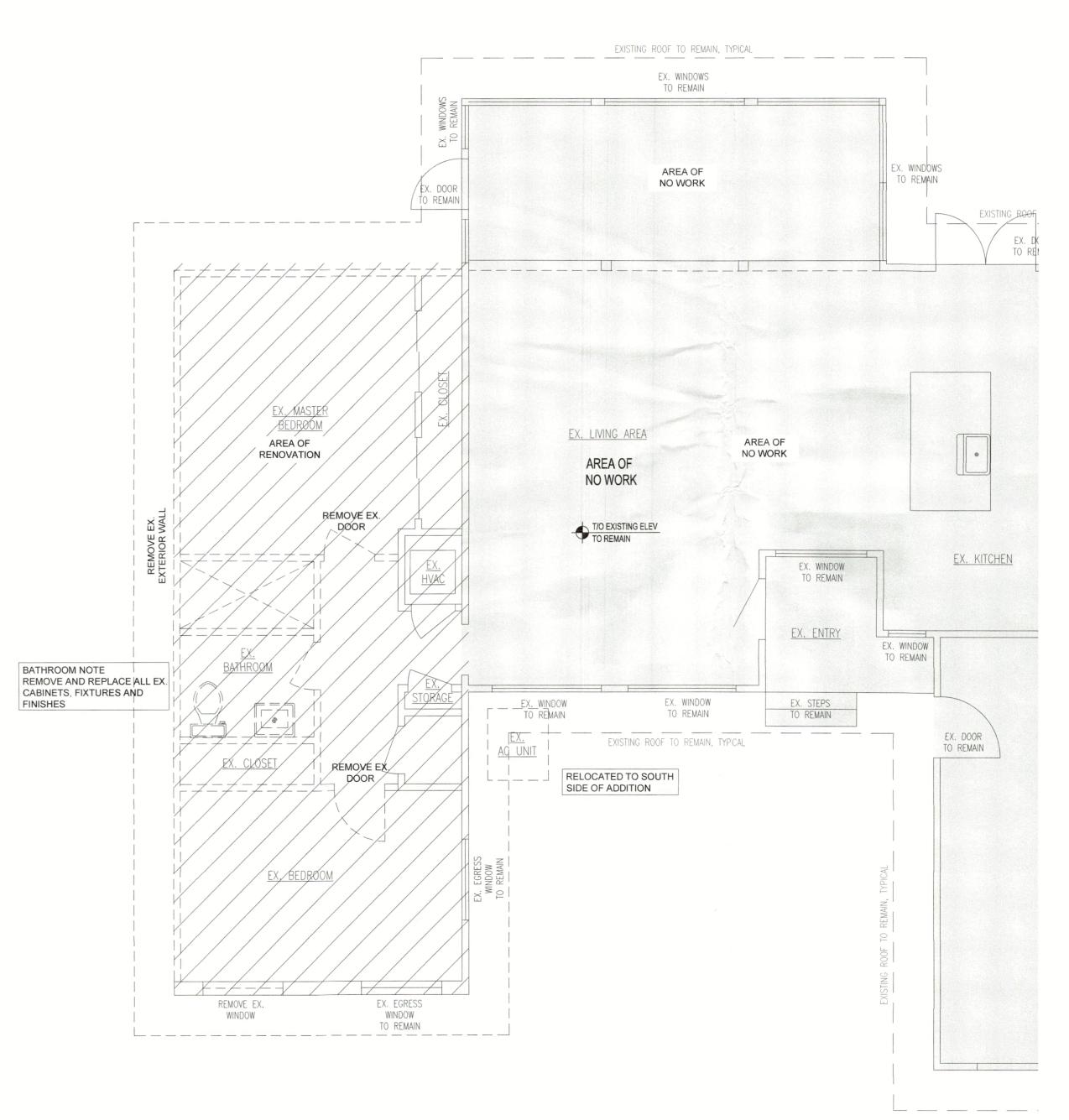
TO THE BEST OF MY KNOWLEDGE:

SITE PLAN SCALE: 1/16" = 1'-0"

GUIH

DEMOLITION GENERAL NOTES

- 1. DEMOLITION SHALL BE RESTRICTED TO ONLY THE AMOUNT REQUIRED TO ACCOMPLISH THIS WORK.
- MECHANICAL EQUIP., LIGHTING, CEILING FANS, APPLIANCES AND FIXTURES
- CONTRACTOR TO COORDINATE W/ OWNER WHICH ITEMS TO BE REMOVED DURING DEMOLITION ARE TO BE SAVED, STORED AND/OR REUSED.
- 3. ALL REMOVED ITEMS SHALL REMAIN OWNER'S PROPERTY AND DISPOSED OF AS DIRECTED BY OWNER OR BY OWNER'S REPRESENTATIVE AS SHOWN ON THE CONSTRUCTION DOCUMENTS FOR THE RENOVATION OF THE EXISTING STRUCTURE AND THE PREPARATION FOR THE CONNECTION TO THE NEW WORK.
- 4. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS NOTED TO BE REMOVED OR MODIFIED.
- WHEN REMOVAL OF STRUCTURAL ELEMENTS INDICATED, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS & METHODS INCLUDING BUT NOT LIMITED TO: PROPER SHORING OF REMAINING ELEMENTS UNTIL STRUCTURAL MODIFICATIONS HAVE BEEN IMPLEMENTED/COMPLETED.
- 6. NO ELECTRICAL WIRING SPLICES ARE ALLOWED BETWEEN EXISTING AND NEW ELECTRICAL WIRING. DURING DEMOLITION AND RENOVATION PHASES ANY ENCOUNTERED ELECTRICAL WIRING SHALL BE REPLACED ON ITS ENTIRE RUN TO MEET ALL APPLICABLE CODES.



EXISTING AND DEMOLITION ROOF PLAN SCALE: 1/4" = 1'-0"

- REMOVE EX.

RØOF STRUCTURE

AREA OF

NO WORK

AREA OF NO WORK

AREA OF NO WORK

AREA OF NO WORK

PARTIAL EXISTING CONDITION AND DEMOLITION FLOOR PLAN

CUSTOM HOME DESIGN & DRAFTING HausDesign Studio, LLC Phone: 941.580.4603 mbade@hausdesignstudio.com

James L. Brown Phone: (941) 504-4273 jimbrown514@verizon.net Florida Reg. No. 7061 Florida Reg. No

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/ ADDITION Residence RENOVATION / to the Trulaske

No.	Date	Description
COALE		
SCALE	LE: 1/4" :	41.011

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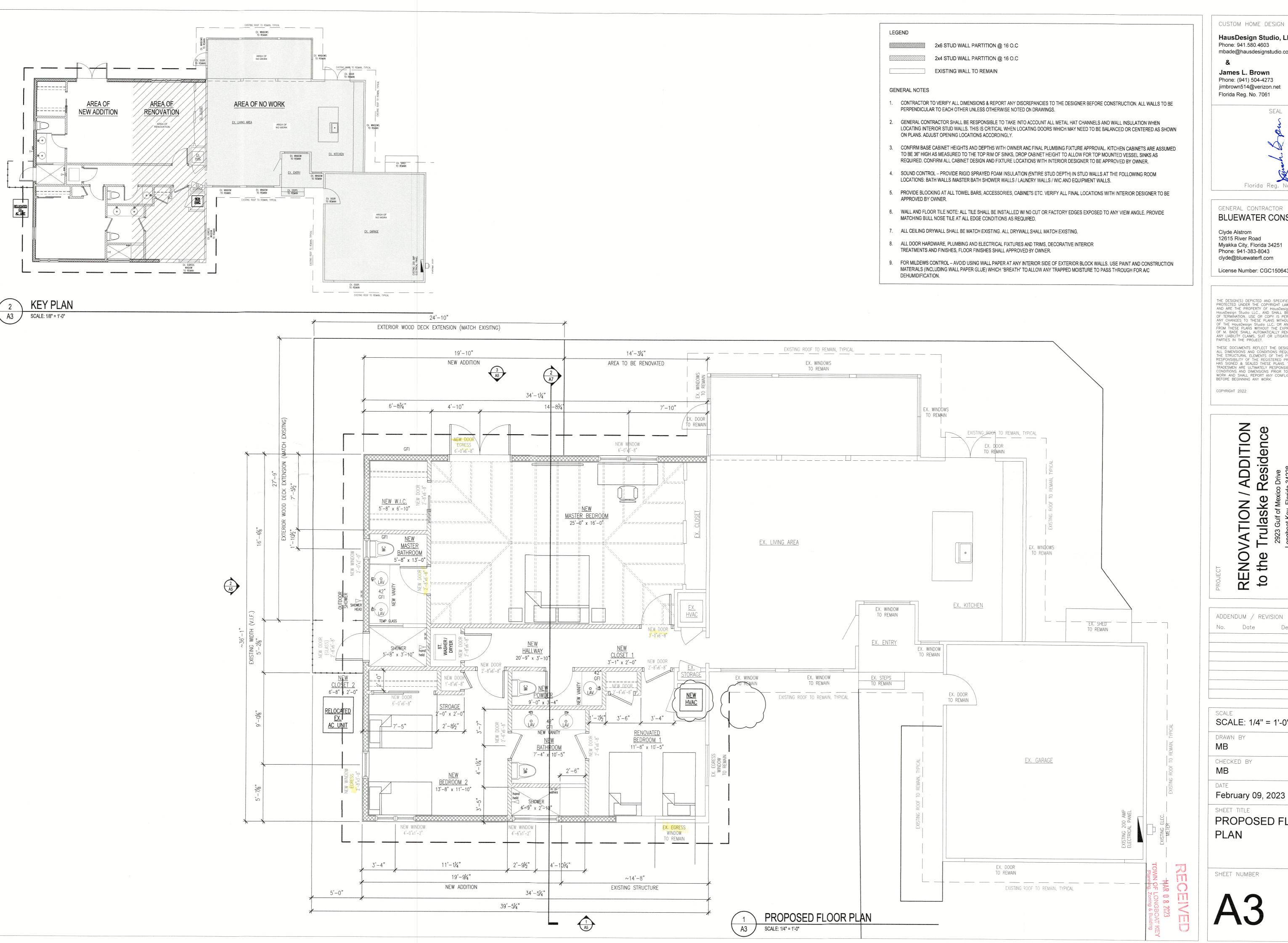
February 09, 2023

EXISTING / DEMOLITION FLOOR AND ROOF **PLAN**

SHEET NUMBER

BLDG PERMIT PLANS

COPY OF RECORD



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Residence RENOVATION / / to the Trulaske F 2923 Gulf of Mexico Longboat Key, Florida

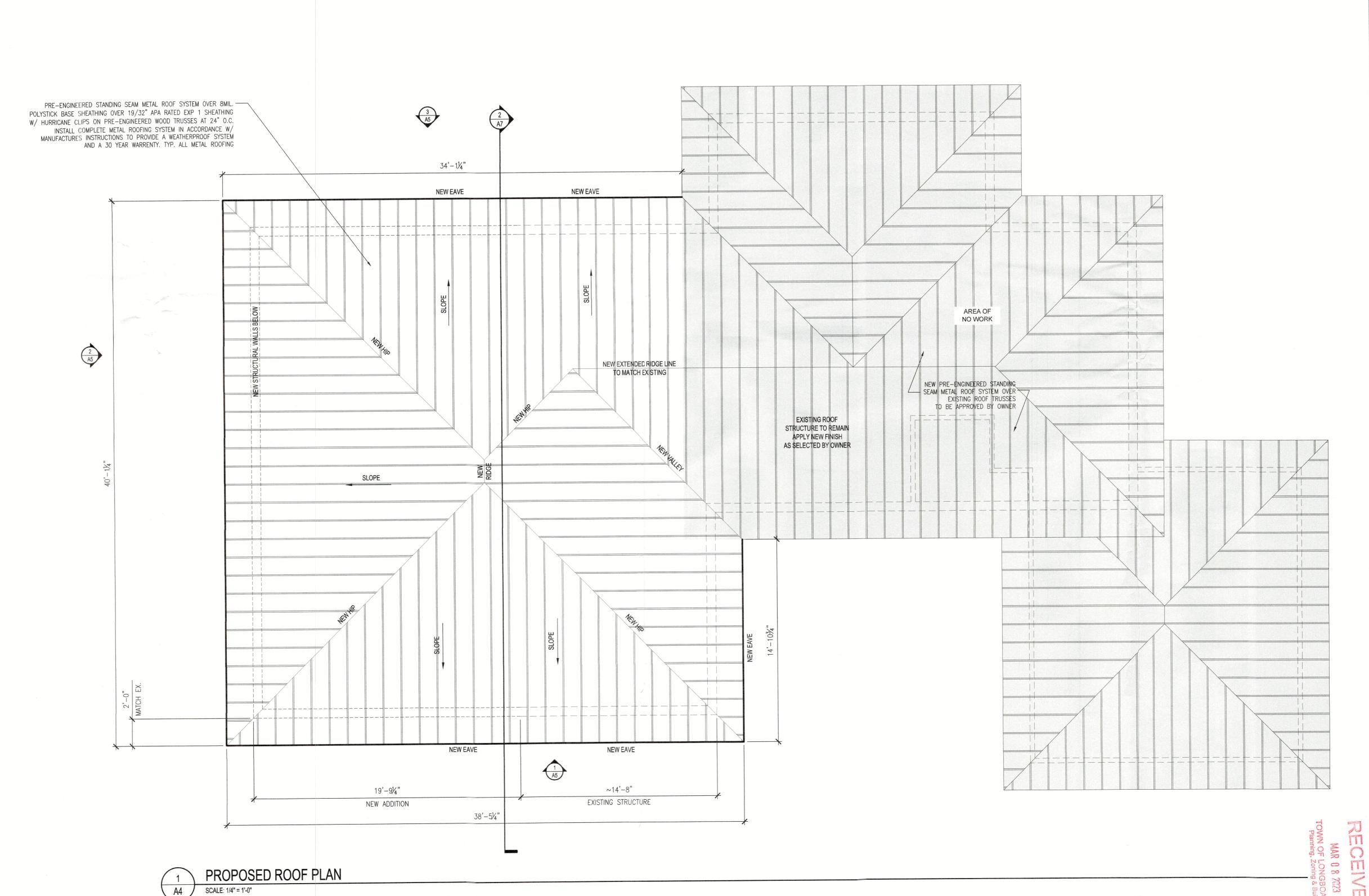
ADDENDUM / REVISION No. Date Description SCALE: 1/4" = 1'-0"

February 09, 2023

PROPOSED FLOOR

SHEET NUMBER

BLDG PERMIT PLANS
COPY OF RECORD

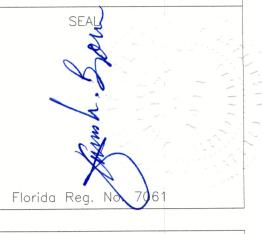


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RENOVATION / ADDITION to the Trulaske Residence

ADDLIN	DUM /	1121010			
No.	Date		Descri	otion	
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SCALE: 1/4" = 1'-0"

DRAWN BY MB

CHECKED BY

February 09, 2023

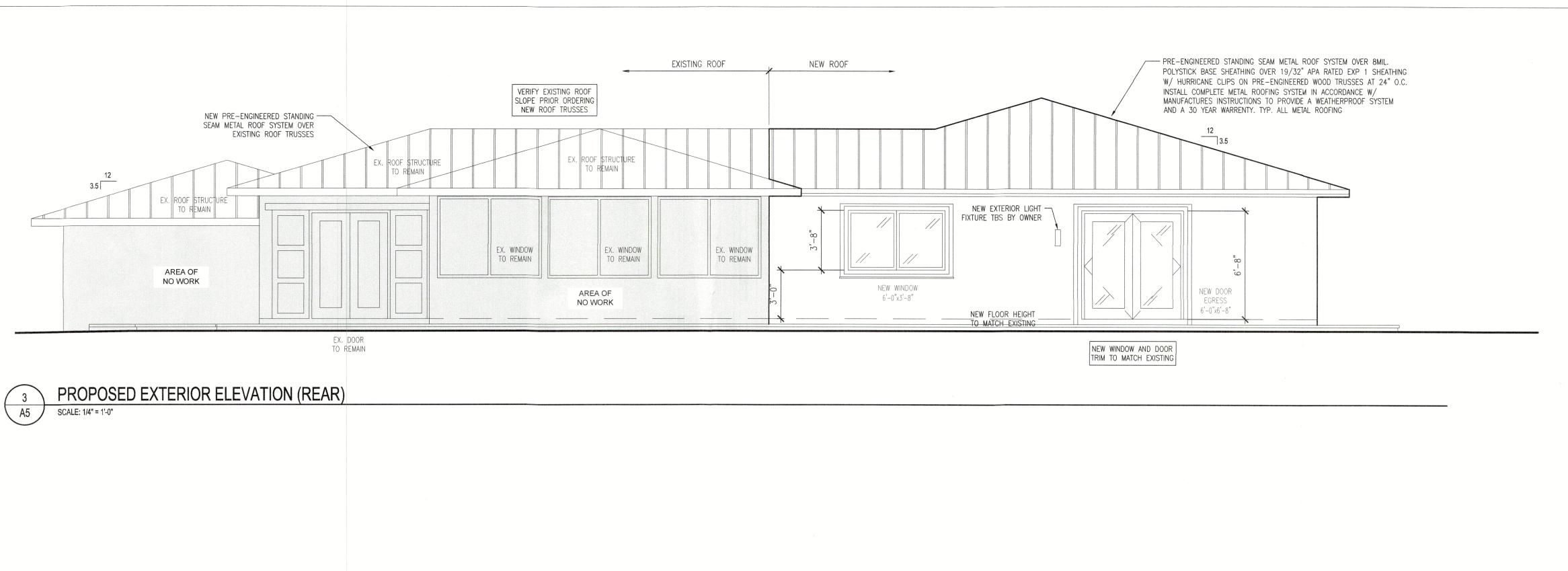
SHEET TITLE

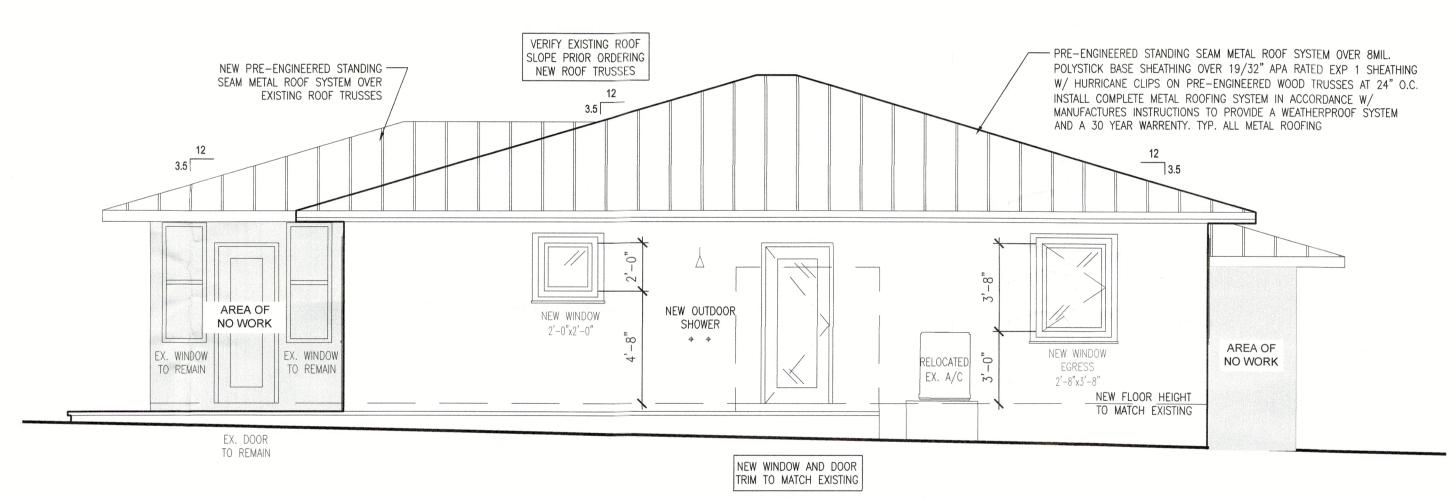
PROPOSED ROOF PLAN

SHEET NUMBER

A4

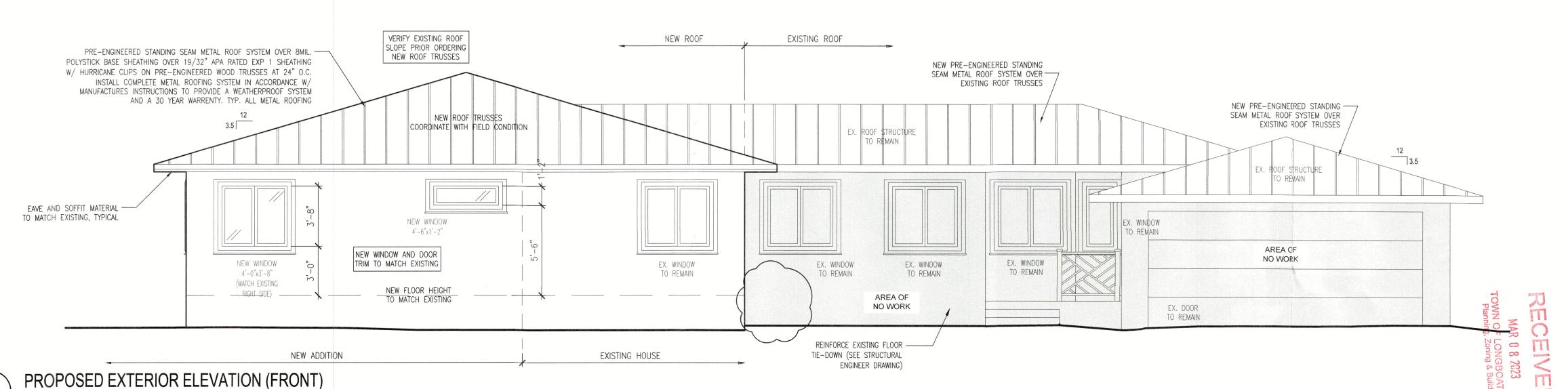
DG PERMIT PLANS





PROPOSED EXTERIOR ELEVATION (LEFT SIDE)

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

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RENOVATION / ADDITION to the Trulaske Residence 2923 Gulf of Mexico Drive Longboat Key, Florida 34228 PERMIT PLAN

ADDENDUM /	/	REVISION	1
No. Date	е		Description

SCALE 1/4" = 1'-0"

MB CHECKED BY

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February 09, 2023

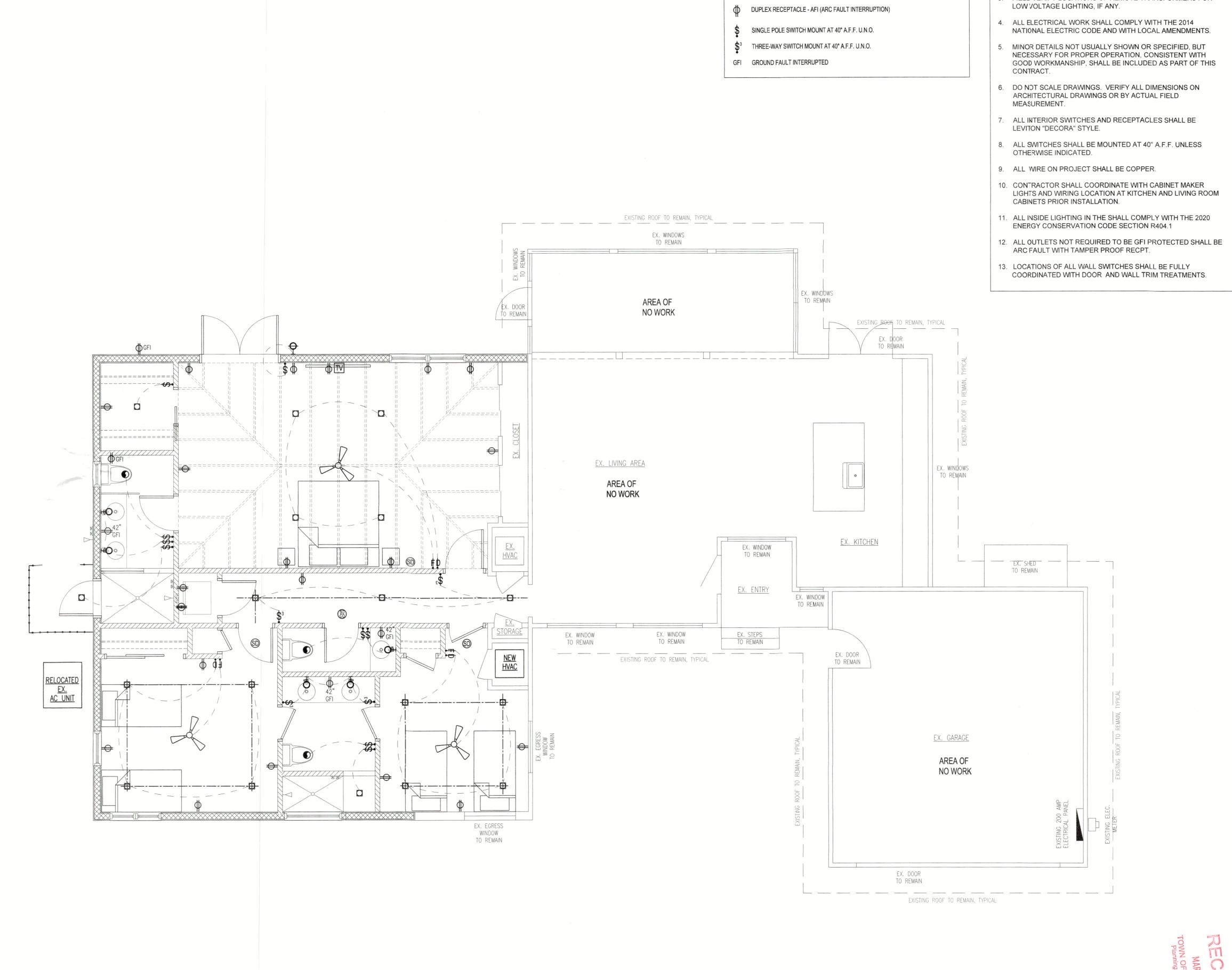
SHEET TITLE

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A5

BLDG PERMIT PLANS



PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

ELECTRICAL LEGEND

RECESSED LIGHT FIXTURE

P INTERIOR WALL MOUNTED LIGHT FIXTURE

-P- PENDANT FIXTURE

EXHAUST FAN

-CEILING MOUNTED LIGHT FIXTURE

- 1. VERIFY ALL APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS WITH MANUFACTURERS AND MODELS SELECTED BY OWNER.
- 2. ALL RECESSED LIGHTING FIXTURES SHALL BE EQUIPPED WITH THERMALLY PROTECTED HOUSINGS WHICH ARE IC RATED AND U.L. LISTED FOR USE IN DIRECT CONTACT WITH CEILING INSULATION.
- 3. FIELD VERIFY LOCATIONS OF REMOTE TRANSFORMERS FOR

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ADDENDUM / REVISION No. Date Description

SCALE 1/4" = 1'-0"

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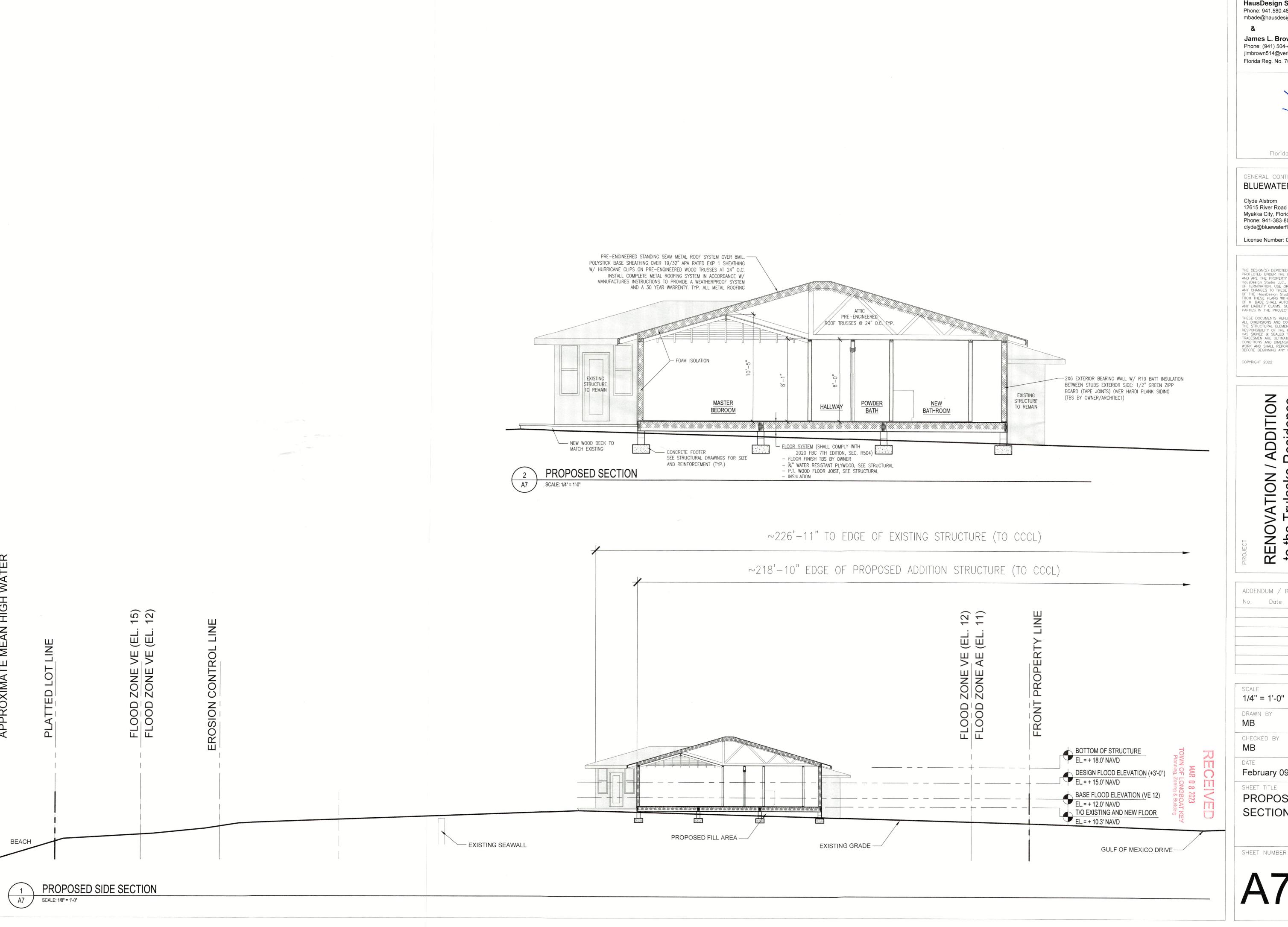
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February 09, 2023

SHEET TITLE PROPOSED ELECTRICAL PLAN

SHEET NUMBER

BLDG PERMIT PLANS



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/ ADDITION Residence

RENOVATION / /
to the Trulaske R
2923 Gulf of Mexico
Longboat Key, Florida

ADDENDUM / REVISION No. Date Description

DRAWN BY

CHECKED BY

DATE February 09, 2023

PROPOSED SECTIONS

SHEET NUMBER

BLDG. PERMIT PLANS

COPY OF RECORD



SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

STE	RUCTURAL SCHEDULE FND-1
MARK	DESCRIPTION
FND-I	SHEAR WALL ABOVE (SEE SHEET S3 FOR TIEDOWN CONNECTIONS)
FND-2	NEW 16X16 PILASTER / COLUMN 1. FORM & POUR TOP OF PILASTER 8" AS REQUIRED FOR FINISH LEVEL WITH BOTTOM OF FLOOR FRAMING 2. PROVIDE SIMPSON HETAIG AT EACH FLOOR BEAM
FND-3	NEW 8" THICK CMU WALL 1. FORM & POUR TOP OF WALL 8" AS REQUIRED FOR FINISH LEVEL WITH BOTTOM OF FLOOR FRAMING 2. 1#5 REBAR CONTINUOUS AT TOP OF WALL 3. PROVIDE SIMPSON HETAIS AT EACH FLOOR BEAM / JOIST 4. SIMPSON MASA OR HGAMIO AT 12" O.C. TO RIM JOIST





FOO	OTING SCHEDUL		
MARK	SIZE/TYPE	REINF.	REI
F-1	10"H x 16"W STRIP FTG.	2-#5 CONT.	
P-1	24" × 24" × 12"H PAD	3-#5 E.W.	-
P-2	30" x 30" x 12"H PAD	4-#5 E.W.	-

GENERAL NOTES: a. REINFORCEMENT IN FOOTINGS IS 3" FROM BOTTOM U.N.O. b. VERIFY STEMWALL HEIGHT IN FIELD.

TRULASKE RESIDEN
2923 GULF OF MEXICO DRIVE
LONGBOAT KEY, FL 34228 CONSTRUCTION FOR

FOUNDATION PLAN

ENGINEER

JAMES L. MCCALL
PE# 84555

DATE ISSUED

JLM | 11/02/2022

REVISIONS

APPROVED

GENERAL NOTES

DO NOT SCALE FOOTING SIZE FROM PLAN SEE ARCHITECTURAL PLANS FOR PLUMBING, ADDITIONAL INFORMATION

FILLED CELLS

FOUNDATION PLAN

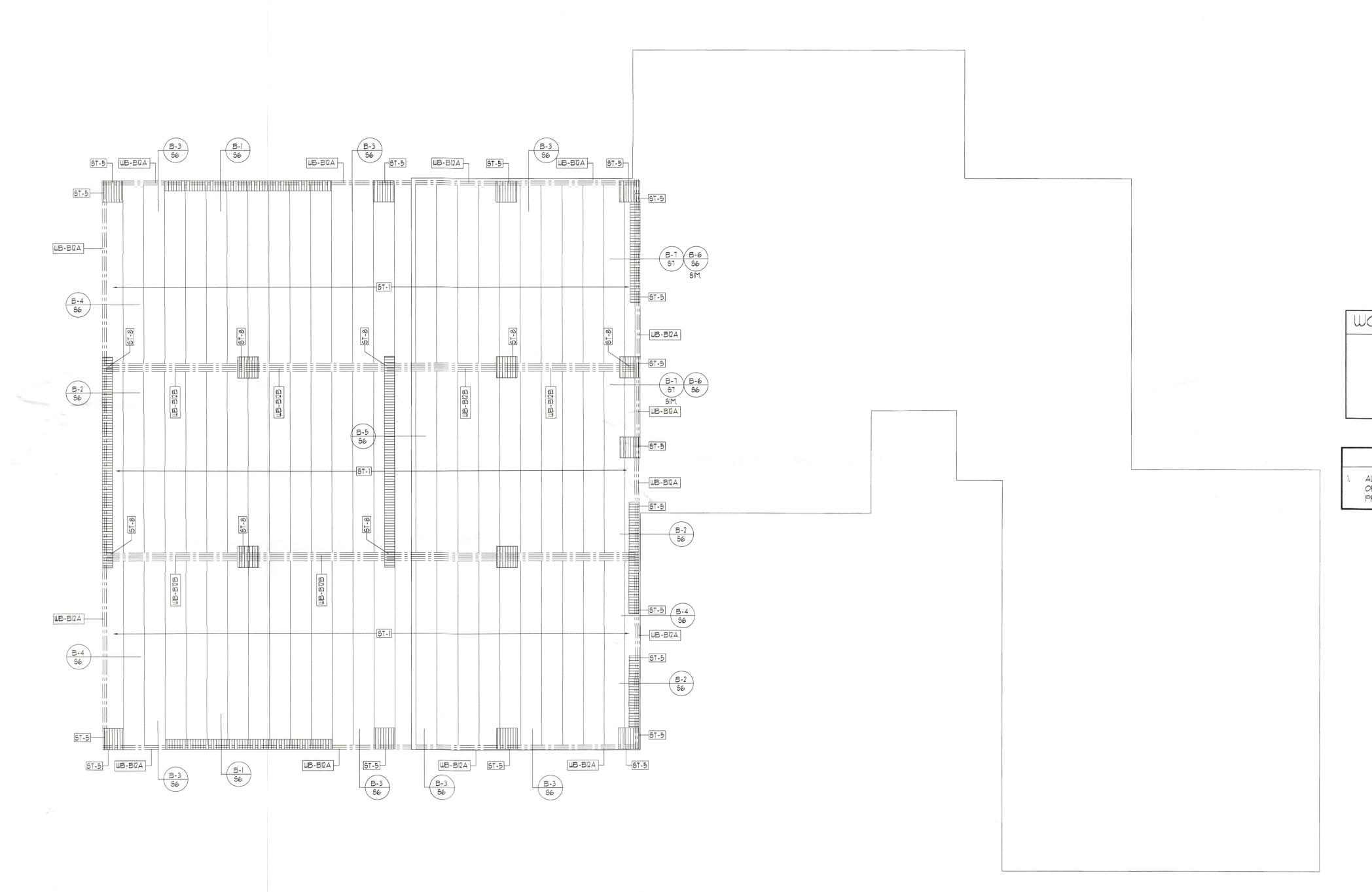
SCALE: 1/4" = 1'-0"

- INDICATES FILLED CELL w/(1)#5 REBAR

► INDICATES FILLED CELL w/(2)#5 OR (1)#1 REBAR

BLDG PERMIT PLANS

SHEET



DIMENSION NOTES

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

STRUCTURAL SCHEDULE ST-1 MARK DESCRIPTION ST-1 2×12 PT AT 16" O.C. ST-2 EXISTING 2XI2 FLOOR FRAMING (NOT TO BE REMOVED OR MODIFIED. REPAIR AS REQUIRED) ST-3 EXISTING FLOOR BEAM ST-4 2-2×12 PT BEAM ST-5 ATTACH 2-2×12 PT TO CMU PILASTER / WALL W/ 2-SIMPSON HETAIG OR 2-SIMPSON MSTAM24 ST-6 ATTACH 2-2×12 PT TO CMU PILASTER W/ 1-SIMPSON HETAIG OR 1-SIMPSON MSTAM24 ST-7 1-SIMPSON LUS210-2 ST-8 ATTACH 4-2X12 PT TO CMU PILASTER/WALL W/ 1-SIMPSON HETAIG OR 1-SIMPSON HTSIG



WOOD BEAM SCHEDULE

WB-B12A WB-B12B 2 - 2"x12" P.T. WOOD BEAM 4 - 2"x12" P.T. WOOD BEAM

STRUCTURAL NOTES

ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.

TRULASKE RES
2923 GULF OF MEXICO **FOR CONSTRUCTION**

FLOOR RAMING PL

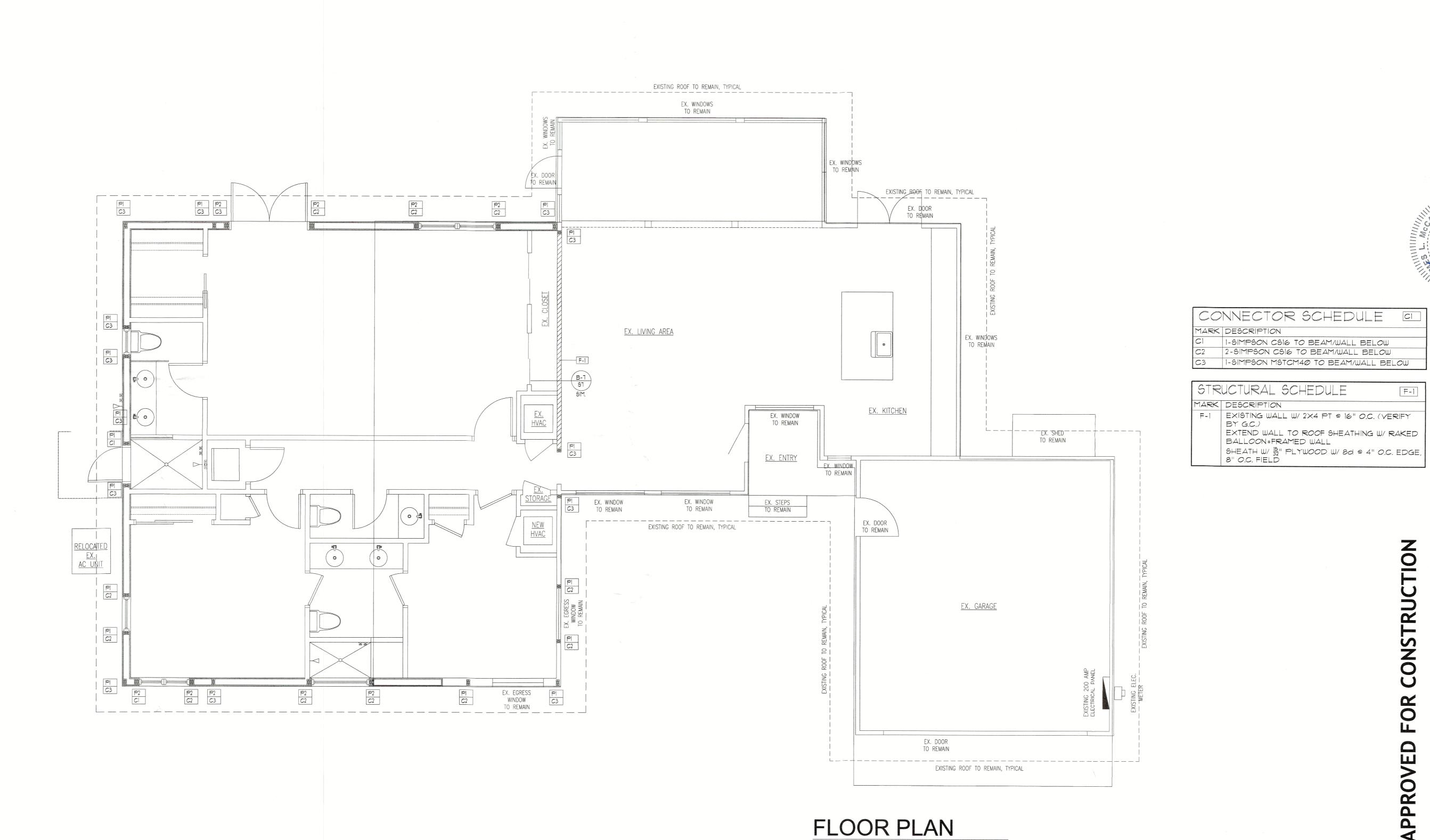
ENGINEER

JAMES L. MCCALL
PE# 84555 DATE ISSUED
JLM | 11/02/2022
REVISIONS

FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

APPROVED

SHEET



SCALE: 1/4" = 1'-0"

CONSTRUCTION FOR

ENGINEER

JAMES L. MCCALL
PE# 84555 DATE ISSUED

JLM | 11/02/2022

REVISIONS

APPROVED

DIMENSION NOTES

POST SCHEDULE

MARK DESCRIPTION

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

2-2X SYP POST - MATCH WALL THICKNESS 2-2X SYP POST WITH ADDITIONAL JACK STUDS MATCH WALL THICKNESS

DIMENSION NOTES

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

STRUCTURAL SCHEDULE

ST-1

MARK DESCRIPTION ST-1 PRE-MANUFACTURED ROOF TRUSSES AT 24" O.C.

ST-2 DROP TOP CHORD GABLE END TRUSS. SHEATH EXTERIOR FACE OF GABLE END TRUSS WITH $\frac{15}{32}$ " PLYWOOD WITH 8d NAILS AT 4" O.C. EDGE/8" O.C. FIELD - BLOCK ALL SEAMS - TRUSS COMPANY TO PROVIDE STRONGBACKS AS REQD.

3 - 2X8 SYP WOOD BEAM WITH 2-1/2" CDX PLYWOOD FLITCH PLATES

<u>Z</u>

CONSTRUCT

FOR

APPROVED

DATE ISSUED

JLM | 11/02/2022

REVISIONS

BLDG. PERMIT F

ROOF FRAMING PLAN

- 1.2 FBC-R REFERS TO 2017 FLORIDA BUILDING CODE. 1.3 COMPACT BACK FILL 5'-0" FROM STRUCTURE. MINIMUM
- ALLOWABLE BEARING CAPACITY SHALL BE 2000 PSF. 1.4 CONTRACTOR TO VERIFY MANUFACTURED TRUSS PLAN PRIOR TO PLACEMENT OF STEMWALL OR MONOLITHIC
- FOOTING. 1.5 PLUMBER IS TO INFORM SUPERINTENDENT OF ANY VENTING WHICH UTILIZES A MASONRY WALL TO RESOLVE ANY POSSIBLE STRUCTURAL INTEGRITY ISSUES.

2. CONCRETE/MASONRY NOTES

- 2.1 ALL CONCRETE SHALL BE F'c=3000PSI. 2.2 MASONRY SHALL USE TYPE S MORTAR. F'm=1900PSI. 2.3 REINFORCING STEEL SHALL SATISFY ASTM A615, GD
- 60. FOOTING MAY USE GD 40 STEEL. 2.4 WHERE INDICATED ON FLOOR PLANS, PROVIDE CONCRETE FILLED CELL WITH REINFORCING STEEL FROM FOOTING TO TIE BEAM HOOKED & TIED BEFORE INSPECTION. IF GROUT LIFT EXCEEDS 4'-0", AN INSPECTION HOLE TO

VERIFY GROUTING SHALL BE PROVIDED AT THE BOTTOM

- 2.5 PROVIDE (1) #5 VERTICAL REINFORCING STEEL ELECTRICAL GROUND TO FOUNDATION STEEL.
- 2.6 FOUNDATION DOWELS AND VERTICAL REINFORCING SPACES AS SHOWN ON FLOOR PLANS. IN THE EVENT OF CONFLICTS, THE FLOOR PLANS SHALL TAKE PRECEDENCE OVER THE FOUNDATION PLAN.
- 2.7 ALL FOOTINGS TO BE SMOOTH AND LEVEL. 2.8 REINFORCING STEEL LAP LENGTH IN CONCRETE AND/OR MASONRY SHALL BE:
- #5 REBAR -30" #6 REBAR -36" #7 REBAR -45"
- 2.9 LAP LENGTH OF INDIVIDUAL BARS WITHIN A BUNDLE SHALL BE THAT FOR THE INDIVIDUAL BAR, INCREASED 20% FOR THREE-BAR BUNDLE, AND 33% FOR FOUR-BAR BUNDLE.
- 2.10 INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF THE BEAM SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40DB STAGGER. 2.11 A FILLED CELL WITH (1) #5 VERTICAL SHALL BE LOCATED AT GIRDER TRUSSES WITH UPLIFT EXCEEDING
- 2000LBS U.N.O. 2.12 MINIMUM CONCRETE COVER 3" CAST AGAINST SOIL AND 13" ELSE U.N.O. MAXIMUM CONCRETE COVER 6" U.N.O.
- 2.13 EMBEDDED TRUSS ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
- 2.14 EMBEDDED ANCHORS/TIEDOWNS SHALL HAVE MIN 2" 2.15 MASONRY WALLS SHALL BE BRACED IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY
- WALLS UNDER CONSTRUCTION" MASON CONTRACTORS ASSOCIATION OF AMERICA, JULY 2001. 2.16 THE CONCRETE TIE BEAM AT THE TOP OF ALL WALLS SHALL BE AN 8" X 16" FORM AND POUR BEAM WITH
- (1) NO. 5 REBAR CONTINUOUS TOP AND BOTTOM UNO. 2.17 BEAM SIZES SHOWN ON DRAWINGS ARE MINIMUM NOMINAL DIMENSIONS. BEAM SIZES MAY BE INCREASED BY UP TO 12" TO ACCOMMODATE ON-SITE BEAM REQUIREMENTS PROVIDED THAT THE DISTANCE BETWEEN TOP AND BOTTOM REINFORCING STEEL REMAINS THE SAME OR IS INCREASED.

3. FRAMING NOTES

- 3.1 ALL DOOR HEADERS AT BEARING WALLS TO BE (2) 2X10 SYP OR BETTER, U.N.O.
- 3.2 EXTERIOR FRAME WALLS, BEARING OR NON BEARING, SHALL BE SHEATHED WITH 15" PLYWOOD OR EQUAL, BLOCKED AND NAILED WITH 8d AT 4" O.C. EDGES, 8" O.C. FIELD.
- 3.3 SHEAR WALL AND EXTERIOR WALL PLYWOOD SHEATHING SHALL BE BLOCKED.
- 3.4 TRUSSES AND BEAMS SHALL BEAR DIRECTLY ON PSL OR SYP POSTS U.N.O. WHERE REQUIRED, SHIMS TO BE A36 STEEL U.N.O.
- 3.5 PSL OR SYP POSTS SHALL BEAR DIRECTLY ON CONCRETE SLAB OR ON SYP OR PT PLATE U.N.O. 3.6 UPLIFTS AND REACTIONS SHOWN ON MANUFACTURED
- TRUSS PLANS SHALL BE USED U.N.O. ON ENGINEER'S SEALED ROOF/FLOOR LAYOUT PLAN. 3.7 BUILD-OUTS SHALL BE ATTACHED TO THE MASONRY/CONCRETE WITH 3" TAPCONS AT 16" O.C.
- WITH MINIMUM EMBEDMENT OF 18" 3.8 FLOOR SHEATHING SHALL BE 3 T&G PLYWOOD OR EQUAL. FASTENED WITH 10d NAILS AT 4" O.C. EDGES

4. WOOD NOTES

- 4.1 PSL: 1.8E PARALLEL STRAND LUMBER, Fb=2400psi 4.2 LVL: 1.9E LAMINATED VENEER LUMBER, Fb=2600psi
- 4.3 PT: PRESSURE TREATED SOUTHERN PINE #2 GRADE OR BETTER
- 4.4 SPF: SPRUCE PINE FIR #2 GRADE OR BETTER

5. ROOF FRAMING NOTES

AND 8" O.C. FIELD U.N.O.

- 5.1 THE DESIGN OF ROOF FRAMING SHALL BE BASED ON THE REQUIREMENTS OF THE FBC-R.
- 5.2 DESIGN WIND LOADS SHALL BE APPLIED IN ACCORDANCE WITH FBC SECTION 1609. SEE WIND NOTES FOR WIND DESIGN REQUIREMENTS. 5.3 ROOF TRUSS MANUFACTURER SHALL SUBMIT AND PROVIDE
- COMPLETE LAYOUT AND FURNISH THE FOLLOWING INFORMATION: ROOF PITCH, LUMBER SIZE, SPACING, SPECIES AND GRADING, LOCATION AND MAGNITUDE OF UPLIFT LOADS. 5.4 PRE-ENGINEERED TRUSS DESIGN SHALL BE SIGNED AND
- SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.
- 5.5 PRE-ENGINEERED TRUSS DESIGN SHALL BE SUBMITTED TO E.O.R. FOR REVIEW AND APPROVAL.
- 5.6 ROOF SHEATHING SHALL BE 19/32" CDX PLYWOOD OR EQUAL FASTENED WITH ASTM F1667 RSRS-03 (23" x 0.131") NAILS AT 4" O.C. EDGES AND 4" O.C. FIELD U.N.O. NAILING SHALL BE AT 4" O.C. EDGES AND FIELD WITHIN 4'-0" OF RIDGES AND EDGES OF ROOF AND 3" O.C. WITHIN 4'-0" OF EXTERIOR ROOF CORNERS.
- 5.7 CONTRACTORS SHALL VERIFY WITH ROOF TRUSS PLAN PRIOR TO PLACEMENT OF FOOTINGS.

6. DESIGN LOADS AND NOTES

- 6.1 ROOF TRUSSES D+L 55PSF W/ 1.33 STRESS INCREASE FACTOR, OR 45PSF W/ 1.25 STRESS INCREASE FACTOR, OR 41PSF W/ 1.00 STRESS INCREASE FACTOR.
- 6.2 FLOOR D+L 65PSF W/ 1.00 STRESS INCREASE FACTOR.
- 6.3 DL = 10PSF IN COMBINATION WITH WIND LOADS. 6.4 MEAN ROOF HEIGHT SHALL BE DETERMINED BY CONTRACTOR.
- 6.5 LATERAL LOADS AT TOP OF EXTERIOR WALLS SHALL BE BASED ON 40.4 PSF ON WALL.
- 6.6 LATERAL LOADS IN TRUSSES ARE RESISTED BY ROOF DIAPHRAGM AT POINT OF WIND LOAD INPUT U.N.O. 6.7 TRUSS MANUFACTURER'S TRUSS LAYOUT SHALL SHOW
- ALL CONNECTIONS BETWEEN TRUSSES AND OTHER TRUSSES AND BETWEEN TRUSSES AND WOOD BEAMS. 6.8 TRUSSES MUST BE DESIGNED TO SUPPORT WALLS AGAINST OUT-OF-PLANE LOADS IN ACCORDANCE WITH ITEM 6.5. THIS APPLIES TO ALL TRUSSES WITH A
- 6.9 NO PROVISION HAS BEEN MADE IN THE STRUCTURAL DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO RESIST STRESSES OR INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ASSUME COMPLETE

RAISED HEEL CONDITION THAT BEAR ON AN EXTERIOR

7. WIND NOTES

- 7.1 WIND LOADS ARE BASED ON A WIND VELOCITY OF 150 MPH APPLIED FOR A PARTIALLY ENCLOSED STRUCTURE. 7.2 THIS BUILDING IS DESIGNED AS A PARTIALLY ENCLOSED
- BUII DING. 7.3 WIND DESIGN LOADS WERE DETERMINED BASED ON THE
- FOLLOWING: BASIC WIND SPEED = 150 MPH (LRFD), BUILDING CATEGORY II, WIND EXPOSURE = D, INTERNAL PRESSURE COEFFICIENT = 0.55

PARTIALLY ENCLOSED BUILDING

RESPONSIBILITY FOR SUCH MEASURES.

DESIGN WIND PRESSURES (ASD) FOR COMPONENTS AND CLADDING

POSITIVE PRESSURES = INWARD NEGATIVE PRESSURES = OUTWARD (SUCTION) ALL PRESSURE VALUES ARE IN PSF.

COMPONENT AREA (SQ. FT.)	ZONE 4	ZONE 5
10	+50.1/-53.3	+50.1/-63.0
20	+48.5/-51.7	+48.5/-59.4
- 30	+47.5/-50.7	+47.5/-57.5
40	+46.5/-49.7	+46.5/-56.2
50	+46.2/-49.4	+46.2/-54.9
75	+45.2/-48.5	+45.2/-53.0
100	+44.3/-47.5	+44.3/-51.7
150	+44.3/-47.5	+44.3/-51.0

8. PEST/DECAY PROTECTION NOTES

- 8.1 ALL PLANTINGS AND IRRIGATION/SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL BE AT LEAST 1'-0" FROM BUILDING SIDEWALLS.
- 8.2 SOIL TREATMENT FOR TERMITES SHALL MEET THE REQUIREMENTS OF FBC SECTION R320. SENTRICON SHALL BE USED.
- 8.3 WOOD GRADE STAKES SHALL NOT BE USED.
- 8.4 PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH FBC SECTIONS R317
- 8.5 ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF FBC SECTIONS R703.7.5, R703.8, R903.2 AND R905.

10.1 CONNECTIONS SHOWN ARE RECOMMENDED, BUT OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR

10. GENERAL CONNECTIONS NOTES

- OTHER MANUFACTURER'S REQUIREMENTS. 10.2 FOR ADDITIONAL TIE DOWN INFORMATION, SEE SIMPSON OR USP CATALOGS.
- 10.3 FOR POST-INSTALLED ANCHORS: HOLE PREPARATION. CARTRIDGE PREPARATION, AND EPOXY FILLING SHALL BE PERFORMED PER MANUFACTURER'S ADHESIVE ANCHOR INSTALLATION INSTRUCTIONS.
- 10.4 AN EPOXY INSPECTION MAY BE REQUIRED DEPENDING ON JURISDICATION. CONTRACTOR MUST VERIFY.

TRUSS UPLIFT ANCHORS - MASONRY/CONCRETE

TRUSS ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS

(REFER TO SIMPSON 2009-2010 CATALOG #C-2009) OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

TYPE MEMBER	NOMINAL UPLIFT CAPACITY	CONNECTOR TYPE	NAILS TO TRUSS FOR NOMINAL UPLIFT	NOTES AND COMMENTS
SINGLE PLY, CMU	595#	SIMPSON HM9KT	(4) SDS ¼"x1½" LONG TO TRUSS AND (5) ¼"x2¼" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
SINGLE PLY, CONCRETE	595#	SIMPSON HM9KT	(4) SDS ¼"x1½" LONG TO TRUSS AND (5) ¼"x1¾" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
	1065#	SIMPSON H10S	(8) 8dx1½" LONG TO TRUSS AND (2) ¾"x4" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
	1450#	SIMPSON META12	(7) 10dx1 ¹ ₂ " LONG	-
SINGLE PLY	1520#	SIMPSON HETA12	(7) 10dx1 ¹ 2" LONG	-
	1810#	SIMPSON HETA16	(9) 10dx1 ¹ 2" LONG	-
	1985#	(2) SIMPSON META12	(10) 10dx1½" LONG	NOTE 1
	2035#	(2) SIMPSON HETA12	(10) 10dx1½" LONG	NOTE 1
SINGLE OR MULTI PLY,	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) \(\frac{1}{4}\)"x2\(\frac{1}{4}\)" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
CMU	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) \(\frac{1}{4}\)"\times 2\(\frac{1}{4}\)" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY, CONCRETE	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) \(\frac{1}{4}\)"x1\(\frac{3}{4}\)" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) ½"×1¾" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY	3330#	SIMPSON MGT	(22) 10dx1 ¹ / ₂ " LONG	NOTE 2
	2150#	SIMPSON LGT2	(16) 1Gd SINKERS	POST-INSTALLED, NOTE
DBL PLY	10980#	SIMPSON HGT-2	(16) 10d	NOTE 3
DBL OR TPL PLY,	1900#	(2) SIMPSON META12	(14) 16d	NOTE 1
CMU	2500#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
	2565#	(2) SIMPSON META12	(14) 16d	NOTE 1
DBL OR TPL PLY, CONCRETE	2700#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
	3350#	(2) SIMPSON HHETA12	(14) 16d	NOTE 1
TOL DIV	3285#	SIMPSON LGT3-SDS2.5	(12) SDS ¼"x2½" LONG	POST-INSTALLED, NOTE 5
TPL PLY	10530#	SIMPSON HGT-3	(16) 10d	NOTE 3
QUAD PLY	9250#	SIMPSON HGT-4	(16) 10d	NOTE 3
	1450#	SIMPSON META12	(6) 16d	_
MULTI PLY	1520#	SIMPSON HETA12	(7) 16d	_
	1810#	SIMPSON HETA16	(8) 16d	_

- FOR (2) CONNECTORS: (A) THE NAILS SHALL NOT BE DRIVEN IN CONFLICT WITH EACH OTHER OR THE SECOND CONNECTOR, AND (B) STRAPS SHALL NOT OVERLAP THE 2ND CONNECTOR.
- FASTENER TO CMU/CONCRETE: (1) 5" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED
- FASTENER TO CMU/CONCRETE: (2) 3" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED
- . FASTENER TO CMU WALL: (7) \(\frac{1}{4}\)"x2\(\frac{1}{4}\)" LONG SIMPSON TITEN SCREW
- FASTENER TO CONCRETE WALL: (7) 4"x13" SIMPSON TITEN SCREW 5. FASTENER TO WALL: (4) 3"x5" LONG SIMPSON TITEN HD

11. TRUSS TO FRAME CONNECTION NOTES

- 11.1 ROOF TRUSSES: USE SIMPSON H10A OR H10-2 AT EACH TRUSS WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS FOR UPLIFTS IN EXCESS OF GIVEN ALLOWABLE VALUES. WHERE H10 OR H10-2 CANNOT BE USED (E.G. 3-PLY GIRDERS, CORNERS, ETC.) USE SIMPSON H2.5 PLUS ADDITIONAL TIE-DOWNS AS
- REQUIRED TO MEET UPLIFT LOADS. 11.2 FLOOR TRUSSES: USE SIMPSON 2.5 AT EACH TRUSS (WITH OR WITHOUT UPLIFT) WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT

12. EXTERIOR CEILINGS NOTES

12.1 ENTRY/LANAI/CABANA CEILINGS (AREAS EXPOSED TO WIND): PROVIDE 2X4 BLOCKING AT 48" O.C. AT THE BOTTOM CHORD OF ALL TRUSSES. PROVIDE & EXTERIOR GRADE DRYWALL OR 3" EXTERIOR GRADE PLYWOOD WITH 8d NAILS AT 8" O.C. FIELD/4" O.C. EDGES.

13. WALL SECTION NOTES

- 13.1 INSTALLATION OF LATH SHALL MEET THE REQUIREMENTS OF SECTION R703.7.1 OF THE FBC 7TH EDITION (2020) RESIDENTIAL. 13.2 PLASTERING WITH PORTLAND CEMENT PLASTER MEET
- SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2 OF THE FBC 7TH EDITION (2020) RESIDENTIAL. 13.3 INSTALLATION OF WEEP SCREEDS SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2.1 OF THE FBC
- 7TH EDITION (2020) RESIDENTIAL. 13.4 INSTALLATION OF WATER RESISTIVE BARRIER SHALL MEET THE REQUIREMENTS OF SECTION R703.7.3 OF THE FBC 7TH EDITION (2020) RESIDENTIAL. 13.5 INSTALLATION OF FLASHING SHALL MEET THE

REQUIREMENTS OF SECTION R703.4 OF THE FBC 7TH

14. WATERPROOFING NOTES

EDITION (2020) RESIDENTIAL.

14.1 ALL WATERPROOFING, FLASHING, & MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

POST UPLIFT ANCHORS - MASONRY/CONCRETE

POST ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS

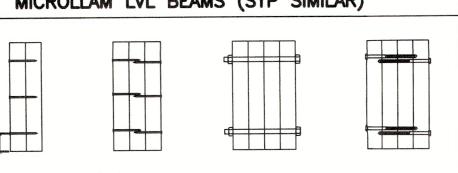
(REFER TO SIMPSON 2009-2010 CATALOG #C-2009) OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

MINIMUM POST THICKNESS	NOMINAL UPLIFT CAPACITY FOR SYP OR BTR	CONNECTOR TYPE	FASTENER TO POST FOR NOMINAL UPLIFT	ANCHOR BOLT DIAMETER
1 <mark>1</mark> "	1310#	SIMPSON LTT19	(8) 10dx1 ¹ LONG NAILS	1", 5" OR 3"
	1350#	SIMPSON LTTI31	(18) 10dx1½" LONG NAILS	<u>5</u> " 8
	3610#	SIMPSON HTT4	(18) 10dx1½" LONG NAILS	<u>5</u> " 8
	4350#	SIMPSON HTT5	(26) 10dx1½" LONG NAILS	5" 8
	2405#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	§" OR ¾"
2 <mark>1</mark> "	3955#	SIMPSON HTT16	(18) 16dx2½ LONG NAILS	5%
	4235#	SIMPSON HTT4	(18) 16dx2½ LONG NAILS	5"
	5090#	SIMPSON HTT5	(26) 16dx2½" LONG NAILS	5" 8
	3835#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	§" OR ¾"
3"	4165#	SIMPSON HTT22	(32) 10d NAILS	5" 8
	4670#	SIMPSON HTT5	(26) 10d NAILS	5" 8
	6480#	SIMPSON HD5	(3) 7 DIAM STUD BOLTS	7" OR 1"
3 <u>1</u> "	5010#	SIMPSON HD5	(2) ¾ DIAM STUD BOLTS	<u>3</u> "
	6480#	SIMPSON HD7	(3) 7 DIAM STUD BOLTS	₹" OR 1"
	10330#	SIMPSON HD9	(3) 1" DIAM STUD BOLTS	₹" OR 1"
	11350#	SIMPSON HD12	(4) 1" DIAM STUD BOLTS	1"

- 1" DIAMETER A307 ALL THREAD SET IN 16" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 5"
- § DIAMETER A307 ALL THREAD SET IN 3" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 8" • 3 DIAMETER A307 ALL THREAD SET IN 7 DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 6".

• 1" DIAMETER A307 ALL THREAD SET IN 11 DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 9".

MULTIPLE MEMBER CONNECTIONS FOR 1.9E MICROLLAM LVL BEAMS (SYP SIMILAR)



- 2 PIECES 1¾ WIDE: MINIMUM (2) ROWS OF 12d NAILS AT 12" O.C. FOR
- MEMBERS LESS THAN 14" DEEP MINIMUM (3) ROWS OF 12d NAILS AT 12" O.C. FOR
- 3 PIECES $-1\frac{3}{4}$ WIDE:

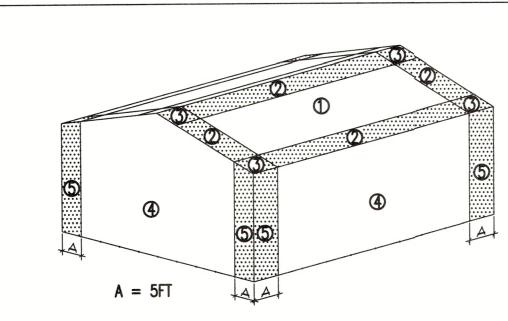
MEMBERS GREATER THAN 14" DEEP

- (3) ROWS OF 12d NAILS AT 12" O.C.; OR • (2) ROWS OF ¹/₂" BOLTS AT 12" O.C.; OR
- (2) ROWS OF $\frac{1}{4}$ " X $3\frac{1}{2}$ " LAG SCREWS AT 12" O.C. 4 PIECES $-1\frac{3}{4}$ WIDE:
- (2) ROWS OF $\frac{1}{2}$ " BOLTS AT 12" O.C.; OR

PRECEDING.

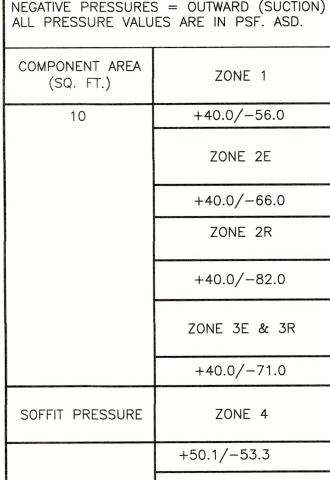
- (2) ROWS OF 1" X 31" LAG SCREWS AT 12" O.C. GENERAL NOTES: A307 BOLTS WITH WASHERS REQUIRED. BOLT HOLES
- TO BE 윰" MAXIMUM. SCREWS MUST HAVE SELF-DRILLING TIP AND MINIMUM BENDING YIELD STRENGTH OF 217,000PSI.
- 6" LONG SCREWS REQUIRED. CONNECTION INSTRUCTIONS ON PLAN SUPERSEDE

ROOF AND WALL ZONES FOR COMPONENTS AND CLADDING WIND PRESSURES



FOR COMPONENTS AND CLADDING POSITIVE PRESSURES = INWARD

DESIGN WIND PRESSURES



ZONE 5

A.F.F. ABOVE FINISHED FLOOR A.O.R. ANGLE OF REPOSE C.M.U. CONCRETE MASONRY UNIT E.O.R. ENGINEER OF RECORD F&P FORMED & POURED MANF. MANUFACTURER MAX. MAXIMUM

15. ABBREVIATIONS

MYE MCCALL & YOUNG ENGINEERING, LLC O.C. ON CENTER O.D. OUTER DIAMETER

PLF POUNDS PER LINEAR FOOT REINF. REINFORCING STEEL REQ'S REQUIREMENTS

OPG. OPENING

SIM. SIMILAR STD. STANDARD SS STAINLESS STEEL

STL. STEEL T.O.C. TOP OF CONCRETE T.O.P. TOP OF PLATE U.N.O. UNLESS NOTED OTHERWISE W/ WITH

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS FOR THIS RESIDENCE COMPLY WITH THE APPLICABLE STRUCTURAL PROVISIONS OF THE 2017 EDITION OF THE FLORIDA BUILDING CODE, RESIDENTIAL (FBC-R), 6TH EDITION.

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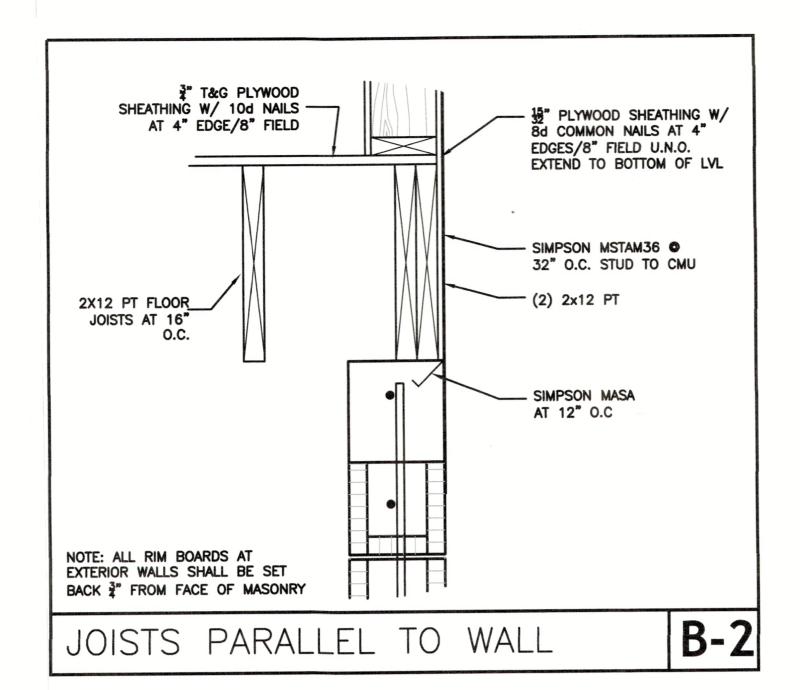
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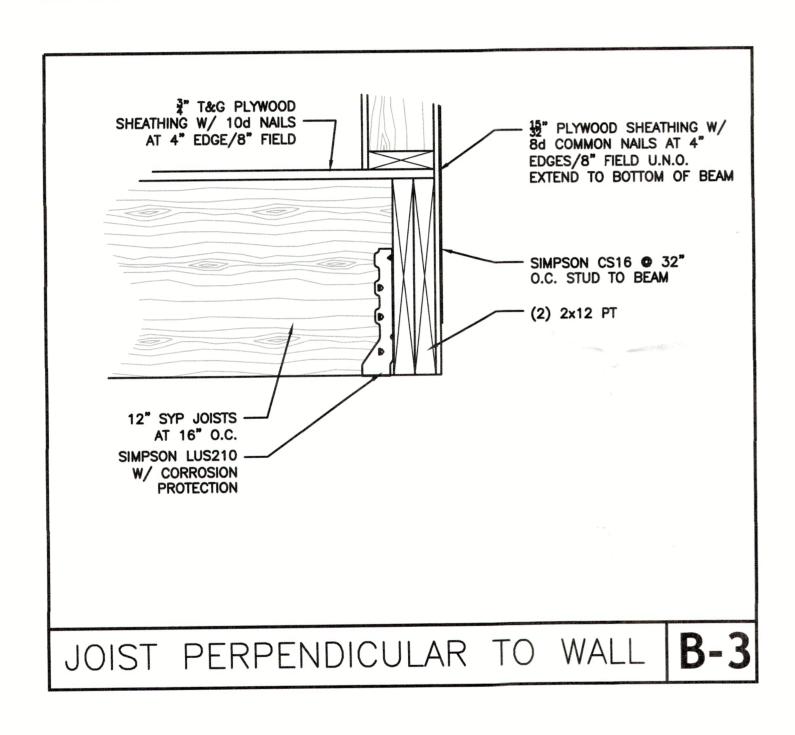
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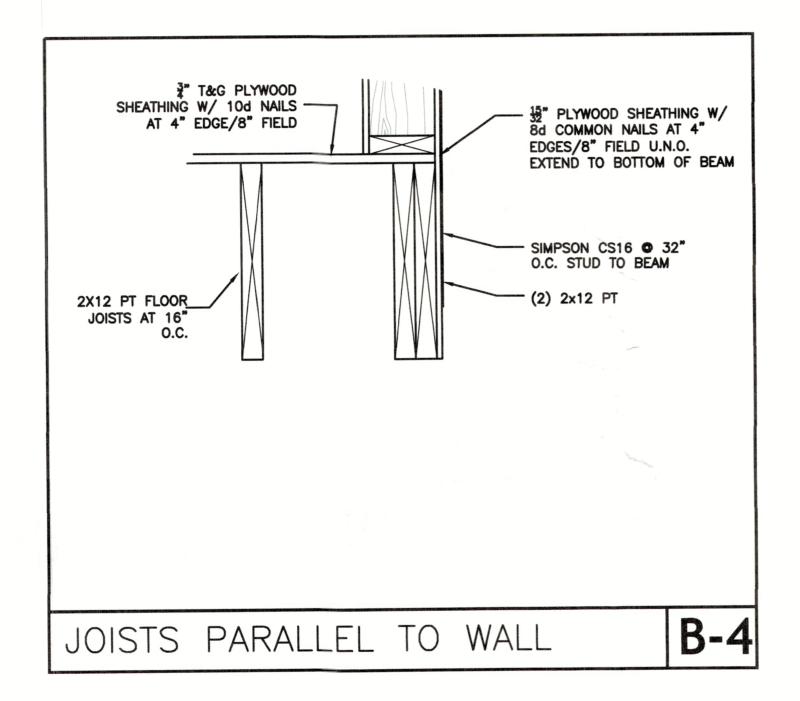
ENGINEER AMES L. MCCALL PE# 84555

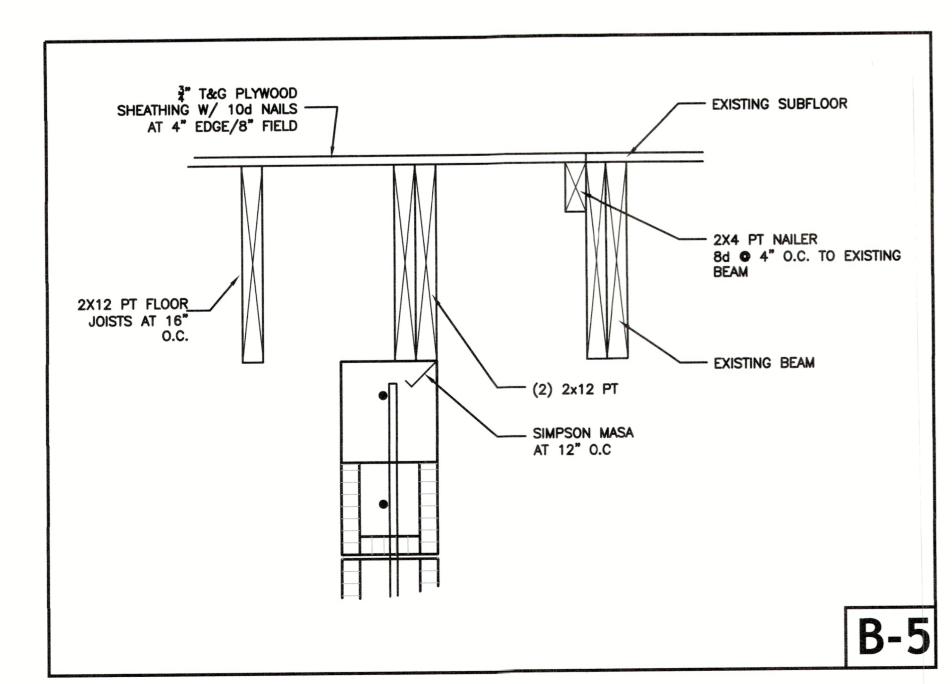
DATE ISSUED JLM 02/08/2023 REVISIONS

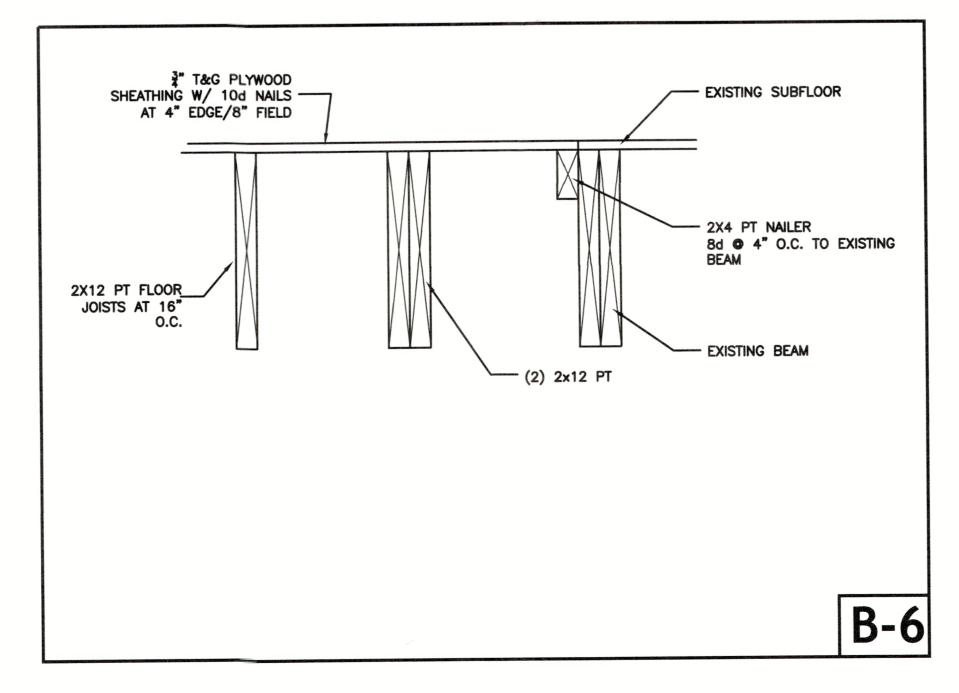
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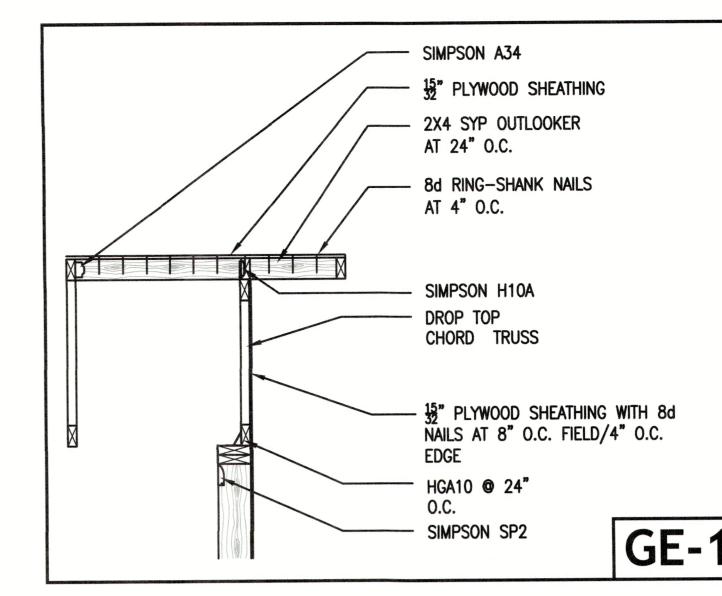
17. REMODEL NOTES

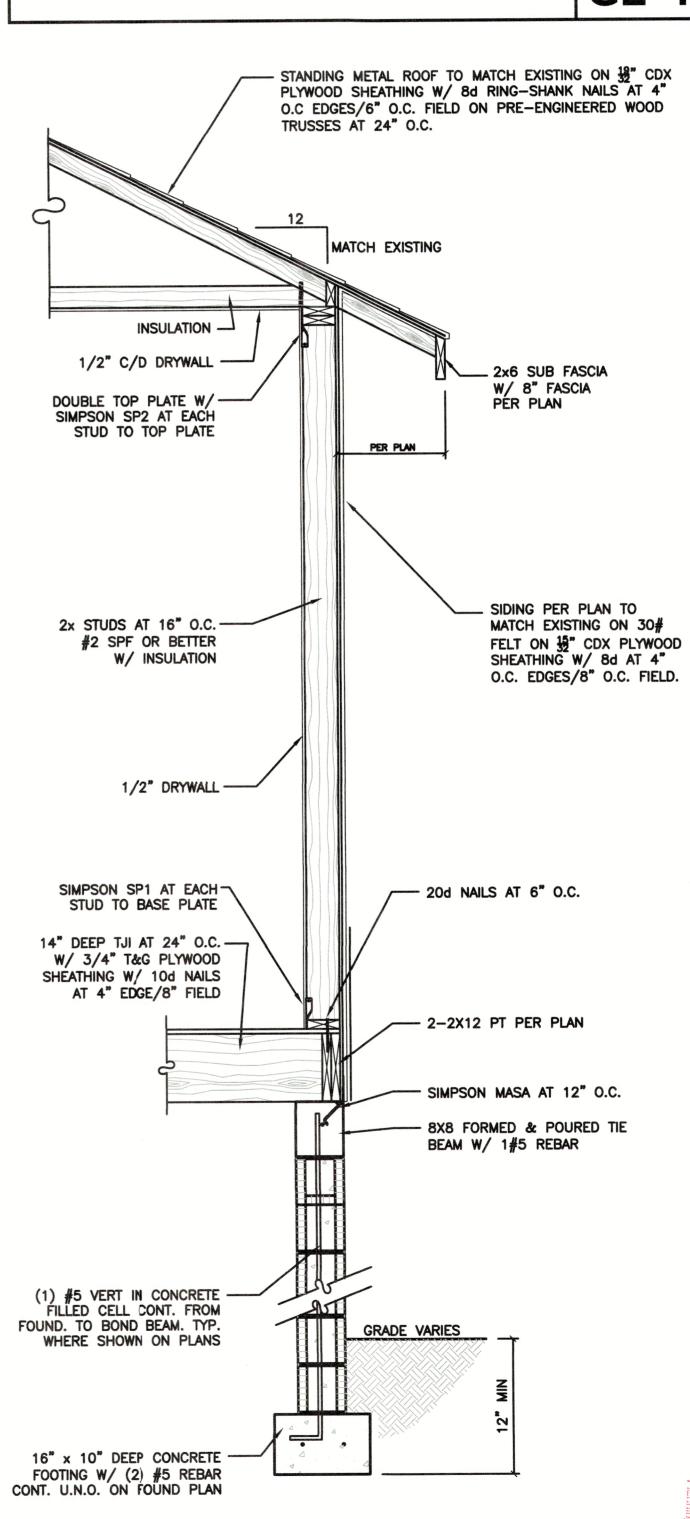
- 17.1 ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
- 17.2 REROOFING TO COMPLY WITH HURRICANE MITIGATION RETROFITS. CONTRACTOR TO SCHEDULE ONSITE FIELD INSPECTION WITH ENGINEER OF RECORD UPON REMOVAL OF EXISTING ROOF COVERING TO DETERMINE THE EXTENT OF RETROFIT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SHEATHING REPLACEMENT, SHEATHING ATTACHMENT, TRUSS ANCHORING, AND SECONDARY WATER BARRIER REQUIREMENTS, ALL OF WHICH WILL BE PROVIDED TO THE BUILDING DEPARTMENT FOR APPROVAL.
- 17.3 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED THAN ALL OF THE EXISTING ROOF SHEATHING SHALL BE RE-NAILED WITH 8d RING-SHANK NAILS AT 6" O.C. FIELD/6" O.C.
- 17.4 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OR REPAIRED THAN ALL OF THE EXISTING ROOF TO WALL CONNECTIONS SHALL BE STRENGTHENED TO MEET 2017 FBC UPLIFT
- REQUIREMENTS.

 17.5 IF MORE THAN 25% OF THE TOTAL EXISTING ROOF SHEATHING IS REPLACED OF REPAIRED, OBTAIN FURTHER STRUCTURAL REQUIRMENTS FROM THE ENGINEER OF RECORD.
- 17.6 SHORING SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS.
- REGULATIONS.

 17.7 NOTIFY EOR IF ANY OF THE ASSUMED AS—BUILT
- CONDITIONS VARY.

 17.8 ALL WATERPROOFING BY OTHERS.





TYPICAL ONE STORY WALL SECTION

SCALE: 3/4" = 1'-0"

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TRULASKE RESIDENCE
2923 GULF OF MEXICO DRIVE
LONGBOAT KEY, FL 34228

TRUCTURAL DETAILS

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APPROVED

ENGINEER

JAMES L. MCCALL
PE# 84555

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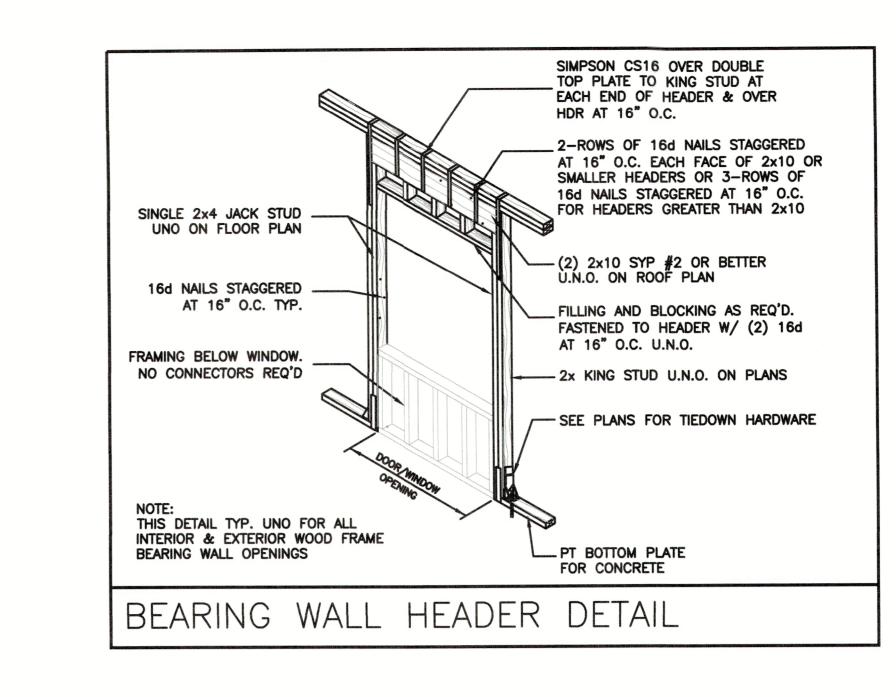
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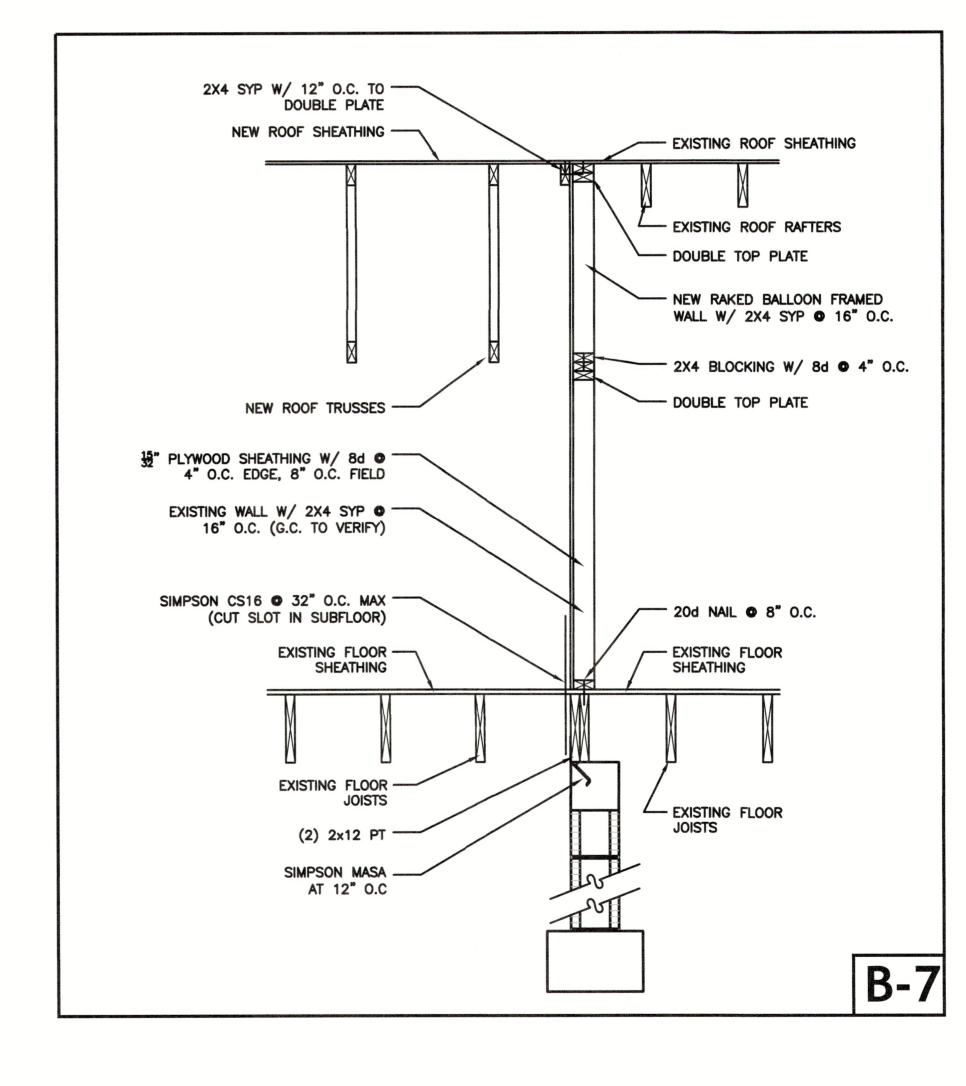
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PE# 84555 DATE ISSUED

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