



Town of Longboat Key
Planning, Zoning and Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
941-316-1966
941-316-1970 FAX

E-May 1
7-9-22

BUILDING PERMIT APPLICATION

Application must be completed in ink or typed. Please submit one copy of application and three copies of supporting documentation. License holder or owner signatures must be notarized. All sections of the application must be accurately completed including the Work Description with a thorough description of all work proposed by this application. All required supporting documents, engineering, plans, etc., must be submitted for the application to be valid for review.

OFFICE USE ONLY:

Permit No. PB22-0699 Fees Due _____ Receipt No. _____

REVIEWED UNDER CURRENT FLORIDA BUILDING CODES AND STATE STATUTES
IF PAYING BY CREDIT CARD, PLEASE COMPLETE A CREDIT CARD AUTHORIZATION FORM

Amount of contract: \$ 50,000 ~~640,458.00~~ If contract, or price, is \$2,500 or more, a recorded Notice of Commencement is required to be submitted prior to the issuance of the permit.

JOB SITE

PROJECT/COMPLEX NAME (IF ANY): Sea Gate Club Condominium Association, Inc

STREET ADDRESS: 2425 Gulf of Mexico Drive UNIT # _____

COUNTY: ☐ MANATEE ☒ SARASOTA LOT(s) # _____ PARCEL ID #: 0007121001

OWNER OF RECORD Sea Gate Club Condominium Association, Inc

BUILDING PERMIT CONTRACTOR/APPLICANT OR OWNER AS CONTRACTOR

☐ If Property Owner is applicant, please skip to Property Owner Information

LICENSES: STATE # CGC 1518091

MANATEE CO: _____ SARASOTA CO: _____

APPLICANT/QUALIFIER NAME: Joel Kevin Phillips

COMPANY NAME: R. L. James, Inc General Contractor

STREET/MAILING ADDRESS: 3949 Evans Ave, Suite 109

CITY: Ft. Myers, STATE: FL ZIP: 33901

PHONE #: 941-758-8557 CELL #: _____ FAX: # 941-758-8555

EMAIL ADDRESS: sarasota@rljames.com

PROPERTY OWNER (Required)

NAME AS ON PROPERTY RECORDS: Sea Gate Club Condominium Association, Inc

COMPANY NAME: Sea Gate Club Condominium

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TOWN OF LONGBOAT KEY
JUN 15 2022
Planning, Zoning & Building

STREET/MAILING ADDRESS: 2425 Gulf of Mexico Drive

CITY: Longboat Key STATE: FL ZIP: 34228

PHONE #: 941-383-4900 CELL #: _____ FAX: # _____

EMAIL ADDRESS: seagate@mgmt.tv

Scope of Work (describe what you are doing): Building pergola; Deck and Fencing around ;
new pool and spa; Pavers, dune Deck, site lighting; irrigation

Utilizing the categories below, please check one type of work associated with this building permit application. Building Permit Applications that include multiple categories may be best described as an "Other" under miscellaneous.

Building Project:

Carport ☐ Concrete Repair ☐ Garage ☐

Total Area of new work or affected area _____ **(square feet)**

Entry Doors ☐ Replacement Sliding Glass Doors ☐

Garage Door ☐ Replacement Windows ☐

Shutters ☐ Deck ☐

Demolition ☐ Lanai/Screen Enclosure/Pool Cage ☐

(must provide Owner's Authorization Form)

Pre-Construction/Pre-Engineered Shed ☐

Structures Over Water:

Residential Dock ☐ Lift (including davit or hoist) ☐

Seawall (Provide EOR) ☐ Pilings ☐

Miscellaneous

Generator ☐ Gutter, Soffits, Siding and Facia ☐

Handrail ☐ Solar Energy Systems ☐

Permanent Free-Standing Sign ☐ Wall Sign ☐

Stairs ☐

Other Miscellaneous Not Listed: _____

Pools:

New/Replacement Pool/Spa ☐ Pool Safety Barrier ☒

Pool Repair ☐ Resurface Pool ☐

Other Trades Involved:

Electrical ☒ Mechanical ☐ Plumbing ☒ Low Voltage Wiring ☐ Fire Sprinklers ☐

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Gas ☐ Alarm Wiring ☐ Other ☐ _____

DESIGN PROFESSIONAL(s)- Florida Licensed (must be completed for all associated design professionals)

Licensed Architect ☐ Licensed Engineer ☒ Licensed Interior Designer ☐

Florida License No. _____

NAME OF PROFESSIONAL Brian Stirling

COMPANY NAME: Stirling & Wilbur Engineering Group

STREET/MAILING ADDRESS: 7085 South Tamiaim Trail

CITY: Sarasota STATE: FL ZIP: 34231

PHONE #: 941-729-1558 CELL #: _____ FAX: # _____

EMAIL ADDRESS: bstirling@stirlingwilbur.com

NEW CONSTRUCTION ☐ **ACCESSORY USE** ☐ **Addition** ☐ **Alteration** ☐

Type of Construction: I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☐ V-B ☐

Single-Family ☐ Duplex ☐ Multifamily ☐ Number of Units: _____

Commercial ☐ Number of Units: _____ Other: _____

Total Stories from grade: _____ Fire Sprinklered: Yes ☐ No ☐

Flood Zone for Proposed Building: _____

Total Area of new work or affected area _____ **(square feet)**

EXISTING PRINCIPAL STRUCTURE – DESCRIPTION OF STRUCTURE (Additions or Alterations Only)

Type of Construction: I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☐ V-B ☐

Building is Flood Code: Conforming ☐ Non-conforming ☐ Year Built: _____

Fire Sprinklered: Yes ☐ No ☐

Flood Zone Designation for Building: _____ Total Stories from grade: _____

Building Occupancy: Single-Family ☐ Duplex ☐ Multifamily ☐ Commercial ☐

Other : _____

Applicant's Affidavit: I certify that all the information is accurate and complete. I further certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed in accordance with the standards of all laws regulating construction in this jurisdiction. **I understand that a separate permit must be secured for applicable independent trade work associated with the building permit.**

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Town of Longboat Key Building Permit Application
Page 4 of 5

Note: If owner is applying for this permit as a contractor under F.S. 489.103 (and applicable Florida Building Code), said owner must personally appear at the Town Planning, Zoning and Building Department to sign this application form and submit a completed Homeowner Affidavit Form.

I hereby acknowledge that I have read and understood the above affidavit on this 19th day of June, 2022.

Signature [Signature]
Print Name Joel Kevin Phillips

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Planning, Zoning & Building

NOTARIZATION OF SIGNATURE

State of Florida

County of Manatee

The foregoing instrument was acknowledged before me by means of physical presence ☒ or online notarization ☐, this 19th day of June, 2022 By Joel Kevin Phillips

as (type of authority) _____ for (name of party on behalf) _____

Signature of Notary Public [Signature]

Printed/Stamped Name of Notary Public Laura D. Bernhardt



Laura D. Bernhardt
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG276420
Expires 11/13/2022

Personally known ☒ OR produced identification ☐ Type of ID. _____

OWNER'S SUBMISSION STATEMENT: Under penalty of perjury, I declare that all the information contained in this permit application is true and correct.

CONTRACTOR/AGENT/OWNER AFFIDAVIT:

Application is hereby made to obtain a permit to the work and installation as indicated. I certify that all the information is accurate and complete. I certify that where required, all plans have been prepared by, or under the direct supervision of, an engineer registered and licensed by the state. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I further certify that I have entered into a contract with the owner/agent of the subject property to make the specified improvements to, or perform the contracting at, the real property specified in this application. I have also made the owner/agent aware of the provisions of the Homebuyers Protection Act. I certify that all the foregoing information is accurate and that the work will be done in compliance with all applicable laws regulating construction and zoning. I acknowledge and accept responsibility for compliance with the correct Florida Building Code, regulations, and ordinances, as well as the payment of all legally constituted fees regarding this development application including but not limited to ALL REVIEW FEES AND PERMIT FEES. I understand that a separate permit must be secured for applicable independent trade work associated with the building permit. **NOTICE:** In addition to the requirements for this permit, there may be additional restrictions to this property that may be found in the public records of the county or that may be required from other governmental entities such as water management district, state agencies or federal agencies.

Note: If owner is applying for this permit as a contractor under F.S. 489.103 (and applicable Florida Building Code), said owner must personally appear at the Town Planning, Zoning and Building Department to sign this application form and submit a completed Owner Affidavit Form.

OWNERS AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning. I agree to allow any authorized employee of the Town of Longboat Key to enter upon the premises associated with this project for the purpose of ascertaining compliance with the terms and conditions of the application, or permit, and/or permit stipulations.

WARNING TO OWNERS: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENT TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED

AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

The applicant by signature on this application certifies that he or she will deliver this statement to the person whose property is subject to attachment in accordance with the provisions of F.S. 713. The Right, Title and Interest of the person who has contracted for the improvement may be subject to attachment under the Construction Lien Law.

Revised 01/15/2021

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

NOTICE OF COMMENCEMENT

6/21/2022 10:26 AM

KAREN E. RUSHING

CLERK OF THE CIRCUIT COURT
SARASOTA COUNTY, FLORIDA

RL James, Inc.
3949 Evans Ave Suite 109,
Fort Myers, Florida 33901

SIMPLIFILE

Receipt # 2878265

Permit # PSPS22-0038 Tax Folio # 0007121093 State of FLORIDA County of SARASOTA

The UNDERSIGNED hereby gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description and street address): Sea Gate Club Condominium 2425 Gulf of Mexico Dr Longboat Key, FL 34228, Lots 10, 11, 12 and the South 1/2 of Lot 13, Longboat Acres Subdivision, as recorded in Plat Book 5, Page 46, of the Public Records of Sarasota County, Florida, Section 8, Township 35 South, Range 17 East
2. General Description of improvement: Install Pool and Spa, Dune Deck, Pergola, Irrigation, Site Lighting, Fencing, and related work
3. Owner Information:
 - a. Name and complete address: Sea Gate Club Condominium Association 2425 Gulf of Mexico Dr Longboat Key, FL 34228
 - b. Interest in Property: The Association is the entity responsible for the operation and maintenance of the common elements of Sea Gate Club, a Condominium
 - c. Name and address of Fee Simple Title Holder (if other than owner): none
4. Contractor Information:
 - a. Company name and complete address: RL James, Inc. 3949 Evans Ave Suite 109 Fort Myers, FL 33901
 - b. Phone Number: (239) 936-6002 c. Fax Number: (239) 936-8175
5. Surety Information:
 - a. Name and complete address: none
 - b. Amount of Bond: \$ none
 - c. Phone Number: _____ d. Fax Number: _____
6. Lender
 - a. Name and complete address: _____
 - b. Phone Number: _____ c. Fax Number: _____
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by in Section 713.13 (1) (a) 7., Florida Statutes:
 - a. Name and complete address: _____
 - b. Phone Number: _____ c. Fax Number: _____
8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.12 (1) (b), Florida Statutes
 - a. Name and complete address: none
 - b. Phone Number: _____ c. Fax Number: _____
9. Expiration date of Notice of Commencement (the expiration date is one (1) year from date of recording unless a different date is specified):
June 1, 2023

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Robert Minca
Owner's Name

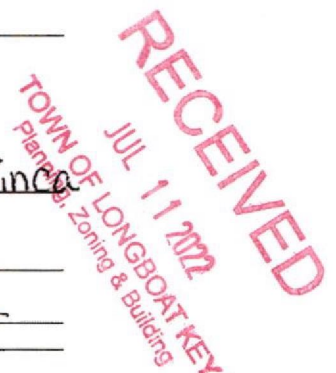
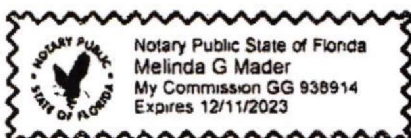
[Signature]
Signature

STATE of Florida COUNTY of Sarasota

Sworn to (or affirmed) and subscribed before me this 20th day of June, 2022, by Robert Minca
who is personally known or produced _____ as identification.

Exp. Date: 12/11/2023 Commission Number: 938914

Signature of Notary Public: Melinda G Mader
Printed Name of Notary Public: Melinda G Mader





Waterproofing • Restoration • Painting
RL JAMES INC.
GENERAL CONTRACTOR

CGC1518091

Quality and Excellence Since 1988

Licensed Architect

FL License No. LA0001649

Name of Professional : David W Young

Company name: DWY Landscape Architects

Address: 1350 5th St Unit 004

Sarasota, FL 34236

Phone: 941-365-6530

Fax: 941-955-4986

Licensed Engineer

FL License No. 33678

Name of Professional : James Kent

Company name: Kimes Engineering

Address: 3990 SR64

Bradenton, FL 34208

Phone: 941-749-0311

Fax: 941-955-4986

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3949 Evans Avenue Suite 109, Ft. Myers, FL 33901
Sarasota/Bradenton Fort Myers/Naples (239) 936-6002 Orlando/Daytona
(941) 379-1978 Toll Free: (800)755-3348 (407) 217-5934



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
Office of Resilience and Coastal Protection
Coastal Construction Control Line Program
2600 Blair Stone Road - Mail Station 3522
Tallahassee, Florida 32399-2400
(850) 245-2094

PERMIT NUMBER: ST002104 M1

PERMITTEE

Sea Gate Club
c/o Phil Graham Landscape Architecture
535 Central Avenue
St. Petersburg, Florida 33701

BLDG PERMIT PLANS
FILE
Copy of Record

MODIFICATION OF PERMIT AND NOTICE TO PROCEED FOR CONSTRUCTION
OR OTHER ACTIVITIES PURSUANT TO SECTION 161.053, FLORIDA STATUTES

FINDINGS OF FACT: An application for authorization to conduct altered work seaward of the coastal construction control line as shown in the project description was filed by the applicant/permittee named herein on June 29, 2021, and was determined to be complete pursuant to rule on September 24, 2021. Authorization to conduct activities as originally permitted was approved on December 17, 2017. The proposed project is to be located landward of the 30-year erosion projection and within the existing line of construction established by seaward limit of major structures in the immediate area.

CONCLUSIONS OF LAW: After considering the merits of the proposal and any written objections from affected persons, the Department finds that upon compliance with the permit conditions, the activities indicated in the project description of this modified permit are of such a nature that they will result in no significant adverse impacts to the beach/dune areas or to adjacent properties; that the work is not expected to adversely impact nesting sea turtles, their hatchlings, or their habitat; that the work is expendable in nature and/or is appropriately designed in accordance with Section 62B-33.005, Florida Administrative Code. The direct and cumulative impacts to the beach and dune system that will be caused by the seaward location and shore-parallel width of the proposed construction represent the maximum such impacts that are acceptable to the Department. Therefore, future construction on the site seaward of the coastal construction control line shall not extend further seaward of, or increase the shore-parallel coverage occupied by, the proposed structures approved pursuant to this permit. Based on the foregoing considerations, the Department approves the application; authorizes construction and/or activities at the location indicated below in strict accordance with the project description, the approved plans (if any) and the General Permit Conditions which are by this reference incorporated herein, and any additional conditions shown below, pursuant to Section 161.053(4), Florida Statutes.

EXPIRATION DATE: December 14, 2023

LOCATION: Between approximately 140-480 feet south of the Department of Environmental Protection's reference monument R-12, in Sarasota County. Project address: 2425 Gulf of Mexico Drive, Sarasota.

PROJECT DESCRIPTION:

Renovation of Existing Swimming Pool

1. Location relative to control line: ~~A maximum of 48~~ 243 feet seaward.

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

2. Exterior dimensions: ~~40~~ 17 feet to 25 feet in the shore-parallel direction by ~~20~~ 61 feet in the shore-parallel direction.
3. Type of foundation: concrete.
4. Deck elevation of swimming pool: ~~+7.15~~ +6.5 feet (NAVD).
5. Maximum depth of swimming pool: ~~5.5~~ 5 feet.

Excavation/Fill

1. Total volume of excavation: Approximately ~~56~~ 212 cubic yards. Volume of net excavation: None; excavated material to be placed as fill on the project site.
2. Location of excavation: From approximately ~~29.64 feet to 68~~ 218 feet to 274 feet seaward of the control line.
3. Volume of fill to be placed: Approximately ~~134~~ 275 cubic yards.
4. Location of fill to be placed: From approximately ~~29.64~~ 198 feet to ~~68~~ 218 feet and from 283 feet to 296 feet seaward of the control line.

Other Structures and Activities

1. A ~~cabana~~ pergola ~~14~~ 25 feet in the shore-parallel direction by ~~24~~ 12 feet shore normal direction is to be located north of the proposed pool as depicted on the approved drawings, approximately 16.21 feet seaward of the control line.
2. A composite deck 13.3 feet in the shore-normal direction by 52.6 feet in the shore-parallel direction is to be located a maximum of ~~70.24~~ 260 feet seaward of the control line.
3. New fencing and gates around the pool and spa as depicted on the approved plans.
4. Landscaping and plantings.
5. A fountain and walkway south of the pool and existing building.
6. Demolition. See Special Permit Condition 7.

SPECIAL PERMIT CONDITIONS:

1. Prior to commencement of construction activity authorized by this permit, a preconstruction conference shall be held at the site among the contractor, the owner or authorized agent, and a staff representative of the Department to establish an understanding among the parties as to the items specified in the special and general conditions of the permit. The proposed locations of the structures shall be staked out for the conference. **Contact Shannon Kennedy at (813)-957-7381 to schedule a conference.**

2. Prior to commencement of construction activity authorized by this permit, a temporary construction fence shall be erected along the perimeter of the permitted activity. The fence shall remain in place until the construction authorized by this permit is complete. The optimum siting of the construction fence shall be determined during the preconstruction conference by the staff representative so as to provide maximum protection to the existing native vegetation and dune features located on the site.
3. All imported fill material shall be obtained from a source landward of the control line and shall consist of sand which is similar to that already on the site in both grain size and coloration. This fill material shall be free of construction debris, rocks, or other foreign matter. A sample of the sand shall be provided to the staff representative of the Department during the preconstruction conference.
4. Prior to completion of construction activities authorized by this permit, the permittee shall plant a mix of a minimum of three native salt-tolerant species to restore the frontal dune and any disturbed natural area seaward of the authorized structures. Dune restoration plantings shall consist of salt-tolerant species indigenous to the native plant communities existing on or near the site or with other native species approved by the Department. Sod composed of non-native grasses is not authorized seaward of a major structure or decks. Plantings in other areas of the project site shall not include invasive nuisance plant species such as listed in the Florida Exotic Pest Plant Council's List of Category I and II Invasive Species.
5. No pool lighting is authorized. There may be a decrease in the wattage of each approved lamp and a decrease in the total number of each approved fixture without submitting a modified lighting plan for review and approval. However, if a lamp is changed to a different type, manufacturer or catalog number for any reason, or if the location of any fixture is changed it shall be submitted for review and approval by the Department prior to installation. No additional lighting is authorized.
6. Permittee shall submit compliance reports as specified in Special and General Permit Conditions of this permit. General Permit Conditions ~~1(q), and 1(s)~~ 1(r) pertain to written reports which must be submitted to the Department of Environmental Protection at specified times. The form for the report: ~~1(q) Periodic Progress Report (DEP Form 73-111), and 1(s) 1(r) Final Certification (DEP Form 73-115B)~~ are is available by clicking on the following link at the website: <http://www.dep.state.fl.us/beaches/forms.htm#CCCL>. The form may be submitted electronically. Each form may be submitted electronically. The periodic reports are due in the office monthly. No progress reports are required until construction activities have started.
7. All **rubble and debris** resulting from this construction shall be removed to a location landward of the coastal construction control line.

GENERAL PERMIT CONDITIONS:

(1) The following general permit conditions shall apply, unless waived by the Department or modified by the permit:

(a) The permittee shall carry out the construction or activity for which the permit was granted in accordance with the plans and specifications that were approved by the Department as part of the permit. Deviations therefrom, without written approval from the Department, shall be grounds for suspension of the work and revocation of the permit pursuant to section 120.60(7), F.S., and shall result in assessment of civil fines or issuance of an order to alter or remove the unauthorized work, or both. No other construction

or activities shall be conducted. No modifications to project size, location, or structural design are authorized without prior written approval from the Department. A copy of the notice to proceed shall be conspicuously displayed at the project site. Approved plans shall be made available for inspection by a Department representative.

(b) The permittee shall conduct the construction or activity authorized under the permit using extreme care to prevent any adverse impacts to the beach and dune system, marine turtles, their nests and habitat, or adjacent property and structures.

(c) The permittee shall allow any duly identified and authorized member of the Department to enter upon the premises associated with the project authorized by the permit for the purpose of ascertaining compliance with the terms of the permit and with the rules of the Department until all construction or activities authorized or required in the permit have been completed and all project performance reports, certifications, or other documents are received by the Department and determined to be consistent with the permit and approved plans.

(d) The permittee shall hold and save the State of Florida, the Department, and its officers and employees harmless from any damage, no matter how occasioned and no matter what the amount, to persons or property that might result from the construction or activity authorized under the permit and from any and all claims and judgments resulting from such damage.

(e) The permittee shall allow the Department to use all records, notes, monitoring data, and other information relating to construction or any activity under the permit, which are submitted, for any purpose necessary except where such use is otherwise specifically forbidden by law.

(f) Construction traffic shall not occur and building materials shall not be stored on vegetated areas seaward of the control line unless specifically authorized by the permit. If the Department determines that this requirement is not being met, positive control measures, such as temporary fencing, designated access roads, adjustment of construction sequence, or other requirements, shall be provided by the permittee at the direction of the Department. Temporary construction fencing shall not be sited within marine turtle nesting habitats.

(g) The permittee shall not disturb existing beach and dune topography and vegetation except as expressly authorized in the permit. Before the project is considered complete, any disturbed topography or vegetation shall be restored as prescribed in the permit with suitable fill material or revegetated with appropriate beach and dune vegetation. When required for mitigation, dune vegetation will be considered successfully established if within 180 days of planting, a minimum of 80 percent of the planting units survive, a minimum of 80 percent of the planted area is covered with native species and the vegetation is continuous without gaps along the shoreline.

(h) All fill material placed seaward of the CCCL shall meet the requirements of subsection 62B-33.005(7), F.A.C. All such fill material shall be free of construction debris, rocks, clay, or other foreign matter; and shall be obtained from a source landward of the CCCL.

(i) If surplus sand fill results from any approved excavation seaward of the control line, such material shall be distributed seaward of the control line on the site, as directed by the Department, unless otherwise specifically authorized by the permit. Sand fill placed seaward of the frontal dune, bluff or coastal armoring in marine turtle nesting habitat shall be configured such that it does not interfere with marine turtle nesting.

(j) Any native salt-tolerant vegetation destroyed during construction shall be replaced with plants of the same species or, by authorization of the Department, with other native salt-tolerant vegetation suitable for beach and dune stabilization. Unless otherwise specifically authorized by the Department, all plants installed in beach and coastal areas – whether to replace vegetation displaced, damaged, or destroyed during construction or otherwise – shall be of species indigenous to Florida beaches and dunes, such as sea oats, sea grape, saw palmetto, panic grass, saltmeadow hay cordgrass, seashore saltgrass, and railroad vine, and grown from stock indigenous to the region in which the project is located.

(k) All topographic restoration and revegetation work is subject to approval by the Department, and the status of restoration shall be reported as part of the final certification of the actual work performed.

(l) If not specifically authorized elsewhere in the permit, no operation, transportation, or storage of equipment or materials is authorized seaward of the dune crest or rigid coastal structure during the marine turtle nesting season. The marine turtle nesting season is May 1 through October 31 in all counties except Brevard, Indian River, St. Lucie, Martin, Palm Beach, and Broward counties where leatherback turtle nesting occurs during the period of March 1 through October 31.

(m) If not specifically authorized elsewhere in the permit, no temporary lighting of the construction area is authorized at any time during the marine turtle nesting season and no additional permanent exterior lighting is authorized.

(n) All non-opaque walls, balcony railings, deck railings, windows and doors visible from any point on the beach must be tinted to a transmittance value (light transmission from inside to outside) of 45 percent or less through the use of tinted glass or window film.

(o) The permit has been issued to a specified property owner and is not valid for any other person unless formally transferred. An applicant requesting transfer of the permit shall sign the permit transfer agreement form, agreeing to comply with all terms and conditions of the permit, and return it to the Department. The transfer request shall be provided on the form entitled "Permit Transfer Agreement" – DEP Form 73-103 (Revised 1/04), which is hereby adopted and incorporated by reference. No work shall proceed under the permit until the new owner has received a copy of the transfer agreement approved by the Department. A copy of the transfer agreement shall be displayed on the construction site along with the permit. An expired permit shall not be transferred. Copies of the "Permit Transfer Agreement" form are available at the following website: <https://floridadep.gov/water/coastal-construction-control-line/content/coastal-construction-control-line-cccl-forms>.

(p) The permittee shall immediately inform the Department of any change of mailing address of the permittee and any authorized agent until all requirements of the permit are met.

(q) For permits involving habitable major structures, all construction on the permitted structure shall stop when the foundation pilings have been installed. At that time the foundation location form shall be submitted to and accepted by the Department prior to proceeding with further vertical construction above the foundation. The form shall be signed by a professional surveyor, licensed pursuant to chapter 472, F.S., and shall be based upon such surveys performed in accordance with chapter 472, F.S., as are necessary to determine the actual configuration and dimensioned relationship of the installed pilings to the control line. The information shall be provided to the Department using the form entitled "Foundation Location Certification" – DEP Form 73-114B (Revised 9/05), which is hereby adopted and incorporated by reference. Phasing of foundation certifications is acceptable. The Department shall notify the permittee of approval or rejection of the form within seven (7) working days after staff receipt of the form. All survey information upon which the form is based shall be made available to the Department upon request. Permits for repairs or additions to existing structures with nonconforming foundations are exempt from this condition.

(r) For permits involving major structures and exterior lighting on major structures, the permittee shall provide the Department with a report by a registered professional within 30 days following completion of the work. For permits involving armoring or other rigid coastal structures, the permittee shall provide the Department with a report by an engineer licensed in the State of Florida within 30 days following completion of the work. The report shall state that all locations specified by the permit have been verified and that other construction and activities authorized by the permit, including exterior lighting, have been performed in compliance with the plans and project description approved as a part of the permit and all conditions of the permit; or shall describe any deviations from the approved plans, project description, or permit conditions, and any work not performed. Such report shall not relieve the permittee of the provisions of paragraph 62B-33.0155(1)(a), F.A.C. If none of the permitted work is performed, the permittee shall inform the Department in writing no later than 30 days following expiration of the permit. The report shall

be provided on the form entitled "Final Certification" DEP Form 73-115B (Revised 9/05), which is hereby adopted and incorporated by reference. Copies of the "Final Certification" form are available at the following website: <https://floridadep.gov/water/coastal-construction-control-line/content/coastal-construction-control-line-cccl-forms>.

(s) Authorization for construction of armoring or other rigid coastal structures is based on an engineering review and assessment of the design and anticipated performance and impact of the structure as a complete unit. Construction of any less than the complete structure as approved by the Department is not authorized and shall result in the assessment of an administrative fine and the issuance of an order to remove the partially constructed structure. Modifications to the project size, location, or structural design shall be authorized by the Department in accordance with rule 62B-33.013, F.A.C.

(2) The permittee shall not commence any excavation, construction, or other physical activity on or encroaching on the sovereignty land of Florida seaward of the mean high water line or, if established, the erosion control line until the permittee has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use.

(3) The permittee shall obtain any applicable licenses or permits required by Federal, state, county, or municipal law.

(4) This permit does not authorize trespass onto other property.

(5) In the event of a conflict between a general permit condition and a special permit condition, the special permit condition shall prevail.

(6) Copies of any forms referenced above can be obtained by contacting the Department of Environmental Protection, 2600 Blair Stone Road, MS 3522, Tallahassee, Florida 32399-2400, at <https://floridadep.gov/water/coastal-construction-control-line/content/coastal-construction-control-line-cccl-forms> or by telephoning (850)245-8336.

Modified approved plans are incorporated into this permit by reference, as are any previously approved plans which are not superseded by modified approved plans. This modified permit, with the referenced attachments, comprises the entire permit and supersedes the permit as previously issued.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;

- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

PERMITTEE: Sea Gate Club
PERMIT NUMBER: ST002104 M1
PAGE 8

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in Tallahassee, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Rolando R. Gómez, Permit Manager
Coastal Construction Control Line Program

Attachment(s): Approved plans.

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Mitchell Mansell, Agent, mitchell@dwyla.com
Sea Gate Club (John Mills), Property Owner seagate@mgmt.tv
Greg Schneider, Building Official, gschneider@venicegov.com
Shannon Kennedy, Field Inspector, Shannon.Kennedy@FloridaDEP.gov

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F. S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

12/16/21
Date



SEA GATE
CONDOMINIUM

100% CD

<input type="checkbox"/>	SCHEMATIC DESIGN	<input type="checkbox"/>	DESIGN DEVELOPMENT	<input checked="" type="checkbox"/>	CONSTRUCT DOCUMENTS
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NO.	DATE	DESCRIPTION
01	09.17.2021	FDEP PERMIT COMMENT

JUL 07 2022

REGISTERED LANDSCAPE ARCHITECT
DAVID W. YOUNG
LA0001649
— ★ —
STATE
OF
★ FLORIDA ★

SCALE: 1/32" = 1'-0"

SCALE: 1/32" = 1'-0"

L-1.0

30 JUNE 2021

RECEIVED
JUN 16 2002TOWN OF LONGBOURNE
Planning, Zoning & BuildingTOWN OF LONGBOURNE
Planning, Zoning & Building

SEA GATE
CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

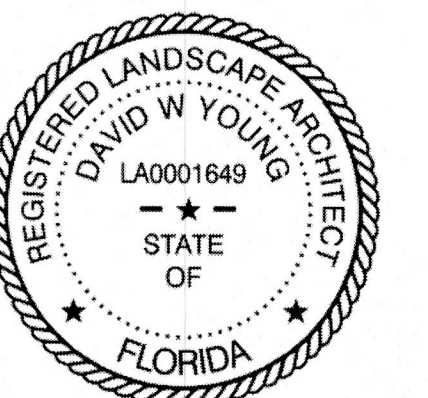
100% CD

DISPOSITION
PLAN

ISO-MATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
01	08/17/2021	FDPP PERMIT COMMENTS



SCALE: 1/16" = 1'-0"

L-1.1

30 JUNE 2021

EXISTING SEAGRAPE, BUTTONWOOD, AND SABAL PALMS TO REMAIN
GROOM BACK TO PROPERTY AS REQUIRED
REMOVE ALL OTHER GROUND COVER / INVASIVES

REMOVE ALL EXISTING POOL EQUIPMENT
PREP NEW LOCATION FOR ALL UTILITIES
AS REQUIRED

REMOVE ALL EXISTING POOL FENCE AND GATES

REMOVE EXISTING STACKED
BLOCK RETAINING WALL

DEMO AND REMOVE POOL
AND POOL COPING
PREP AREA FOR NEW POOL
AND FILL AS REQUIRED

REMOVE ALL EXISTING
PAVERS

REMOVE ALL OVERGROWN PLANTING
BUILDING SIDE OF WALL
GROOM REMAINING DUNE PLANTING AT WALL

PREP AREA FOR NEW SOD

POOL
LEASED AREA
C.B. 7, PG. 1

PREP AREA FOR NEW SOD

REMOVE EXISTING CABANA STRUCTURE

REMOVE STACKED BLOCK WALL ON TOP OF EXISTING SEAWALL TO REMAIN
APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

APPROVED CONSTRUCTION AND ANY OTHER AUTHORIZED ACTIVITIES MUST
COMPLY WITH ALL CONDITIONS OF THE PERMIT. CONSTRUCTION SHALL
BE STRICTLY LIMITED TO THOSE BOTH SHOWN ON THE APPROVED PLAN
AND DESCRIBED IN THE PROJECT DESCRIPTION. THIS PERMIT IS ISSUED
PURSUANT TO CH. 161, F.S. AND OTHER PERMITS MAY BE REQUIRED.

REMOVE DUNE PLANTING AS REQUIRED FOR NEW DECK
(APPROX. 12' X 12' AREA)

SABAL PALMS TO
CONTRACTOR TO VERIFY LOC

SEE L-3.0 FOR REPLACEMENT PL

(2) SABAL PALMS SEAWARD OF WALL TO REMAIN

December 15, 2021

1/2" (N) NW OF
PROPERTY LINE

DISPOSITION PLAN
SCALE: 1/16"=1'-0"

GENERAL NOTES

- PRIOR TO CLEARING OF VEGETATION OR THE GRUBBING OF LAND, ALL TREES SHOWN AS EXISTING TO REMAIN SHALL BE BARRICADED AND PROTECTED AS REQUIRED BY AHJ/ALL APPLICABLE CODES. IMMEDIATELY FOLLOWING VEGETATION REMOVAL, EXISTING SLOPES GREATER THAN 3 TO 1 SHALL BE PROTECTED FROM EROSION AS REQUIRED BY AHJ CODE.
- REQUIRED TREE REMOVAL/RELOCATION PERMITS SHALL BE PROCURED BY CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY AN APPROVED BARRIER PLACED SO AS TO PREVENT DAMAGE TO THE TREE FROM CONSTRUCTION RELATED ACTIVITIES AND EXCAVATION. THE FOLLOWING ACTIVITIES ARE SPECIFICALLY PROHIBITED WITHIN THE BARRICADED AREA: VEHICULAR AND PEDESTRIAN TRAFFIC; STORAGE OF CONSTRUCTION MATERIALS; PLACEMENT OF EXCAVATED MATERIALS; AND ANY ACTIVITIES THAT MAY DISTURB THE ROOT SYSTEM WITHIN THE BARRICADED AREA. BARRICADES SHALL BE CONSTRUCTED OF THE MATERIALS REFERENCED ABOVE IN THE TREE PROTECTION DETAIL DIAGRAMS.
- BARRICADES SHALL BE PLACED PRIOR TO ANY LAND ALTERATION AND SHALL BE REMOVED ONLY AFTER THE CERTIFICATE OF USE FOR THE PROJECT IS ISSUED OR ADMINISTRATIVE APPROVAL GRANTED.
- UNLESS OTHERWISE APPROVED, NO SLOPES SHALL BE GREATER THAN 4:1 AND SHALL BE STABILIZED IMMEDIATELY FOLLOWING GRADING BY PLACEMENT OF SOD SO AS TO COMPLETELY COVER SLOPE AREAS GREATER THAN 3,000 SQ. FT. WHICH HAVE BEEN CLEARED SHALL BE WATERED AS NECESSARY TO PREVENT WIND EROSION AND IMPACT ON ADJACENT PROPERTIES.
- DRAINAGE EASEMENTS SHALL BE MAINTAINED SO THEIR FUNCTION IS NOT IMPAIRED THROUGH DEBRIS OR PERMANENT FENCES BLOCKING INGRESS OR EGRESS TO THIS AREA.
- ALL PROPOSED PLANT MATERIAL SHALL CONFORM TO STANDARDS OF FLORIDA #1 OR BETTER AS ESTABLISHED BY FL. DEPARTMENT OF AGRICULTURE. ALL SHRUBS SHALL BE MAINTAINED AT SIX FEET OR LESS IN HEIGHT. NO PLANTS SHALL BE PLACED IN EASEMENT AS SUCH PLANTS WILL ADVERSELY AFFECT OR RESTRICT THE INTENDED USE OF THE EASEMENT.
- ALL PROPOSED LANDSCAPE MATERIAL (TREES, SHRUBS, GROUNDCOVERS AND SOD) SHALL MEET OR EXCEED ALL JURISTICTIONAL CODE REQUIREMENTS FOR QUALITY, SIZE, QUANTITY AND OTHER AS MAY BE APPLICABLE.
- TO THE BEST OF OUR KNOWLEDGE THE EXISTING TREES SHOWN ON THIS PLAN TO BE RETAINED WILL SURVIVE SURROUNDING DEVELOPMENT. IF FOR ANY REASON THE EXISTING TREES ARE HARMED TO THE POINT OF CERTAIN DECLINE THEY SHALL BE REMOVED AND REPLACED WITH TREES IN COMPLIANCE WITH COUNTY CODE GUIDELINES.
- A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATIVE REMOVAL WITHIN THE DRIPLINE OF A TREE, AND/OR TREE REMOVAL.
- PERFORM ALL NEW PLANTING INSTALLATIONS, RELOCATIONS IN ACCORDANCE WITH ALL TRANSPLANTED MATERIALS RELOCATED ON SITE SHALL BE IN STRICT ACCORDANCE WITH TREE AND SHRUB TRANSPLANTING MANUAL BY E.B. HIMELICK AND PRINCIPLES AND PRACTICE OF PLANTING TREES AND SHRUBS BY GARY W. WATSON & E.B. HIMELICK AS WELL AS ACCEPTABLE INDUSTRY PRACTICES OF INTERNATIONAL SOCIETY OF ARBORICULTURE

TREE REMOVAL / REPLACEMENT SUMMARY

TREES/PALMS TO REMAIN	Qty
SABAL PALMS	20

TREE DISPOSITION NOTES:

- ALL SABAL PALMETTOS (CABBAGE PALMS) TO REMAIN U.N.O. - GROOM AS DIRECTED BY L.A.
- ALL SEAGRAPES TO REMAIN U.N.O. - GROOM & LIMB UP AS DIRECTED BY L.A.
- REMOVE ALL INVASIVES

GENERAL DEMOLITION NOTES:

- THE IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO PROVIDE FOR ALL REQUIRED DEMOLITION TO BE PERFORMED AS NECESSARY WITHOUT SPECIFICALLY ADDRESSING EACH AND EVERY ITEM. PROVIDE ALL INCIDENTAL AND ASSOCIATED DEMOLITION TASKS REQUIRED FOR RENOVATED OR NEW WORK TO BE CONSIDERED COMPLETE.
- CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO ADJACENT BUILDING AREAS TO REMAIN AS POSSIBLE. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. PROTECT EXISTING SUPPORTING STRUCTURAL WALLS. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- STRUCTURE - PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF EXISTING STRUCTURE TO REMAIN. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- ERECT AND MAINTAIN DUST BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES, OR SMOKE TO OTHER PARTS OF THE BUILDING TO REMAIN.
- PRIOR TO COMMENCEMENT OF WORK, THE DEMOLITION CONTRACTOR SHALL, IN THE COMPANY OF THE GENERAL CONTRACTOR VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF W/ EXISTING CONDITIONS.

TREE DISPOSITION LEGEND:

- EXISTING TREE | PALM TO REMAIN
- TREE | PALM TO BE RELOCATED
- RELOCATED TREE | PALM
- TREE | PALM TO BE REMOVED
- UNDERSTORY | ACCENT TO BE REMOVED
- UNDERSTORY | ACCENT TO REMAIN

RECEIVED
September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1

BLDG PERMIT PLANS
FILE
Copy of Record

RECEIVED
JUN 16 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

KEYED LEGEND & NOTES

BID STATUS	CODE	DESCRIPTION	DETAIL REFERENCE / REMARKS	SAMPLES	ENGINEERED SHOP DRAWINGS FOR REVIEW & APPROVAL	CUT SHEET	TIE INTO AUTOMATED BLDG CONTROL SYSTEM	MOCK-UP	MAINTENANCE DATA	ATTIC STOCK/ SPARE PARTS	SEE STRUCTURAL FOR DETAILS
	1	PROPOSED POOL - ENG. BY OTHER	SEE 1/L-2.3 FOR COPING DETAIL, 1,405 SF SURFACE AREA								
	2	PROPOSED SPA - ENG. BY OTHER	SEE 1/L-2.3 FOR COPING DETAIL, FINISH TBD - 84 SF SURFACE AREA								
	3	PERGOLA - BY OTHER	SEE L-2.3 / SEE STRUCTURAL ALT TO POWDER COATED ALUMINUM LOUVERS - WOOD								
	4	PROPOSED DUNE DECK - BY OTHER NO MODIFICATIONS TO LAYOUT PREVIOUSLY APPROVED UNDER PERMIT ST-2104	TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS								
	5	PROPOSED POOL EQUIPMENT LOCATION	PROVIDE ALL REQUIRED UTILITY CONNECTIONS 9" HIGH SOUND ATTENUATING ENCLOSURE FINAL LOCATION AND LAYOUT TBD BY OTHER								
	6	SOCIAL ROOM PATIO EXPANSION	RETAIN EXISTING LAYOUT, REPLACE PAVERS WITH PROPOSED								
	7	OUTDOOR SHOWER	DRAIN TO ADJACENT PLANTING AREA PROVIDE WATER CONNECTION CALAZZO.COM MODEL PLS1150								
	8	POOL SIGNAGE	UNDER SEPARATE POOL PERMIT TO COMPLY W/ FLORIDA DOH REQS								
	9	FENCE GATE	48" HIGH GATE W/ LATCH AT 54" FINISH TO MATCH FENCE - TBD								

HARDSCAPE LEGEND & NOTES

EXISTING STRUCTURE TO REMAIN	PAVER	POOL / SPA	WHITE BEACH SAND	WOOD DECKING	4" ALUM. EDGING, MILL FINISH	REFERENCES [QUANTITY] AND KEYED NOTE	PLANTING AREA	FENCE SOUTH FENCE AND GATE CONFIG* TBD*	FENCE - 2
	COTTO DE ESTE - PORCELAIN PAVER LIMESTONE - CLAY - 24"x48" MUDSET OVER POURED SLAB		+/- 650 SF, 3" DEPTH OVER #57 ROCK	TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS	SEE L-3.0	BY LANDSCAPE CONTRACTOR - SEE L-3.0	48" HIGH POWDER COATED VERTICAL POSTS AND RAILING W/ GLASS PANELS GATES & LATCH TO MEET FBC LIFE SAFETY AND FLORIDA STATUTE MIN. REQS. ±330 L.F.	48" HIGH BLACK VINYL COATED CHAINLINK FENCE	

GENERAL HARDSCAPE NOTES:

- THE PROJECT ENGINEER IS RESPONSIBLE FOR ENSURING THE STRUCTURAL INTEGRITY AND COMPLIANCE WITH ALL LOCAL CODES, OF ALL ELEMENTS DESIGNED WITHIN THIS ISSUED SET OF DRAWINGS. THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR THE LAYOUT, AESTHETIC DETAILING OF SITE ELEMENTS, AND THE FINISH SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO BEGINNING CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE THE LAYOUT PLAN (OR RETAIN A REGISTERED SURVEYOR, IF REQUIRED) IN THE FIELD AND HAVE SUCH STAKING APPROVED BY THE LANDSCAPE ARCHITECT & OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE BUILDING CONTRACTOR SHALL REPORT ALL LAYOUT DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
- ALL WATERPROOFING AND DRAINAGE IS BY OTHERS. RELATED NOTES AND INFORMATION HEREIN IS FOR REFERENCE ONLY.
- SEE POOL CONSULTANT'S DRAWINGS FOR MEP AND OTHER POOL/FOUNTAIN DETAILS.
- SEE ARCHITECTURAL FOR ALL LIFE SAFETY & ADA INFORMATION.
- WHERE NOTED IN SUBMITTAL SCHEDULE, FULLY DETAILED AND COORDINATED SHOP DRAWINGS ARE REQUIRED FOR THE REVIEW & APPROVAL OF THE LANDSCAPE ARCHITECT.
- SEE CIVIL DRAWINGS FOR ALL EXTERIOR FINISHED GRADES, SITE DRAINAGE, AND UTILITY LAYOUT, OTHER THAN THOSE INCLUDED IN THIS SET OF DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MIN. OF 1% PITCH.
- SEE ARCHITECTURAL FOR ALL STAIR, RAMP, HANDRAIL, AND GUARDRAIL DETAILS.

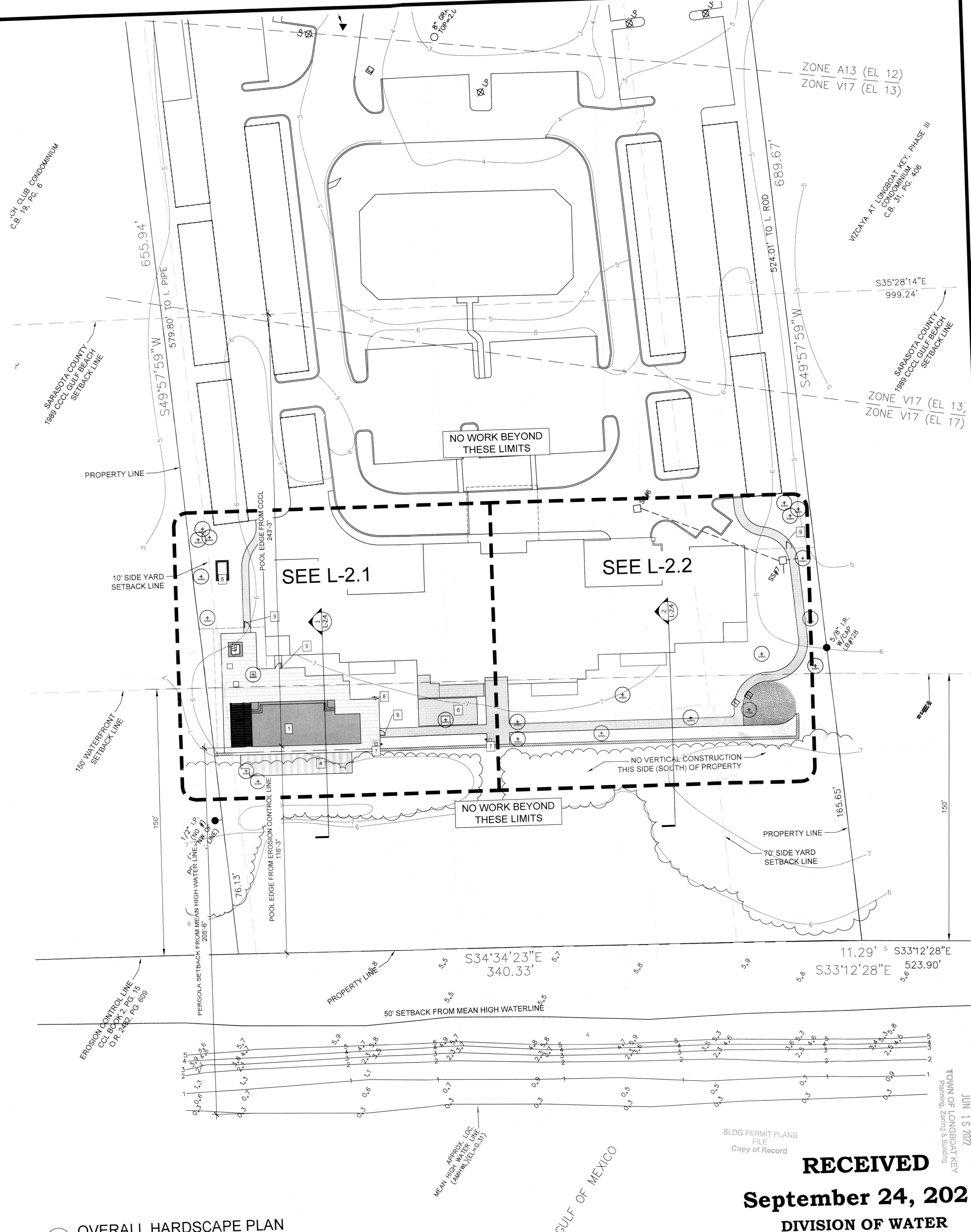
HARDSCAPE FINISH NOTES & SPECIFICATIONS:

- 2" X 2" SAMPLES TO BE PROVIDED REVIEW AND SELECTION BY OWNER AND L.A.
- ALL HARDSCAPE MATERIALS TO BE SEAL WITH MATTE FINISH PENETRATING SEALER SUITED FOR EXTERIOR USE, PER SUBCONTRACTOR/MANUFACTURER'S RECOMMENDATIONS.
- SEE CIVIL AND/OR ARCHITECTURAL FOR ALL INFO REGARDING TOP OF SLAB ELEVATIONS, SLOPES/RAMPS, STAIRS, AND ADA COMPLIANT TRANSITIONS.
- SLIP COEFFICIENT OF FINISHED PRODUCT SHOULD BE .5 OR GREATER, MEETING ADA STANDARDS.

LOT NON-OPEN SPACE:		
EXISTING BUILDING:	16,001	SQFT
EXISTING IMPERVIOUS:	85,608	SQFT
TOTAL EXISTING:	101,609	SQFT
PROPOSED DEMO:	-4,052	SQFT
PROPOSED ADDITIONS:	+7,219	SQFT
TOTAL NON-OPEN SPACE:	104,776	SQFT
TOTAL LAND AREA:	235,480	SQFT
NON-OPEN SPACE %:	44.49%	

LOT COVERAGE:		
EXISTING BUILDING:	16,001	SQFT
EXISTING STRUCTURES:	21,338	SQFT
TOTAL EXISTING:	37,339	SQFT
PROPOSED DEMO:	-197	SQFT
PROPOSED ADDITIONS:	+300	SQFT
TOTAL LOT COVERAGE:	37,442	SQFT
TOTAL LAND AREA:	235,480	SQFT
LOT COVERAGE %:	15.9%	

1 OVERALL HARDSCAPE PLAN
SCALE: 1/32"=1'-0"



DWY
landscapearchitects

1350 5th Street, Unit 004
Sarasota, FL 34236
Tel. 941.365.6530
Fax. 941.955.4986
FL 0001649 LC 0000372
dwyla.com

SEA GATE
CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

100% CD

HARDSCAPE
KEY

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO. DATE DESCRIPTION
01 08.12.2021 POE PERMIT COMMENTS

REGISTERED LANDSCAPE ARCHITECT
DAVID W. YOUNG
LA0001649
STATE OF FLORIDA

SCALE: 1/32" = 1'-0"

L-2.0

30 JUNE 2021

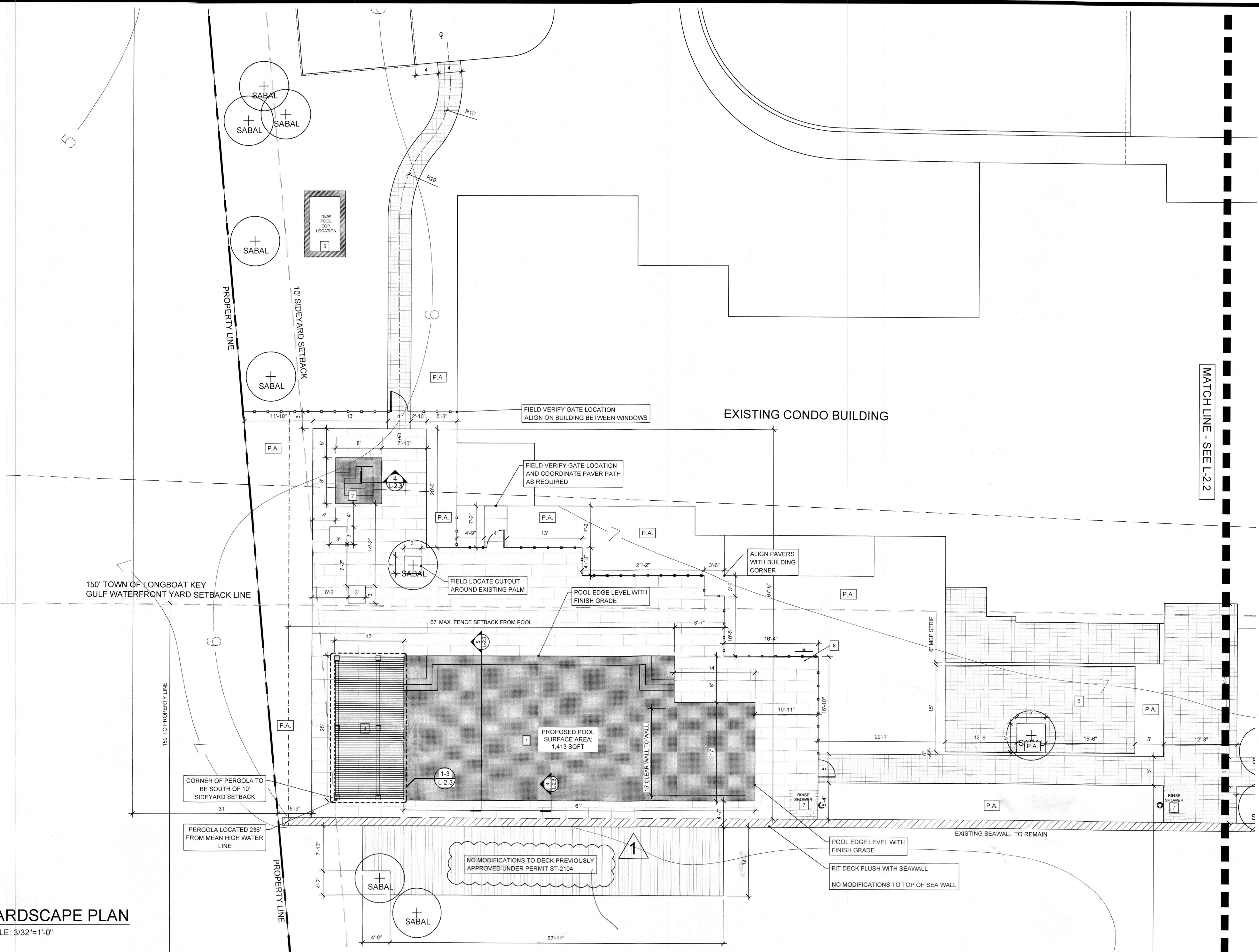
RECEIVED
September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1

RECEIVED
September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1

APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
APPROVED CONSTRUCTION AND ANY OTHER AUTHORIZED ACTIVITIES MUST
COMPLY WITH ALL CONDITIONS OF THE PERMIT. CONSTRUCTION AND
ACTIVITIES ARE STRICTLY LIMITED TO THOSE BOTH SHOWN ON THE APPROVED
PLANS AND LISTED IN THE PROJECT DESCRIPTION. THIS PERMIT IS ISSUED
PURSUANT TO CH. 161, F.S. AND OTHER PERMITS MAY BE REQUIRED.

Reviewed by _____ Date December 15, 2021

1
L-2.1
HARDSCAPE PLAN
SCALE: 3/32"=1'-0"



GENERAL HARDSCAPE NOTES:

- THE PROJECT ENGINEER IS RESPONSIBLE FOR ENSURING THE STRUCTURAL INTEGRITY AND COMPLIANCE WITH ALL LOCAL CODES, OF ALL ELEMENTS DESIGNED WITHIN THIS ISSUED SET OF DRAWINGS. THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR THE LAYOUT, AESTHETIC DETAILING OF SITE ELEMENTS, AND THE FINISH SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO BEGINNING CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE THE LAYOUT PLAN (OR RETAIN A REGISTERED SURVEYOR, IF REQUIRED) IN THE FIELD AND HAVE SUCH STAKING APPROVED BY THE LANDSCAPE ARCHITECT & OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE BUILDING CONTRACTOR SHALL REPORT ALL LAYOUT DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
- ALL WATERPROOFING AND DRAINAGE IS BY OTHERS. RELATED NOTES AND INFORMATION HEREIN IS FOR REFERENCE ONLY.
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- SEE ARCHITECTURAL FOR ALL LIFE SAFETY & ADA INFORMATION.
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- SEE ARCHITECTURAL FOR ALL STAIR, RAMP, HANDRAIL, AND GUARDRAIL DETAILS.

HARDSCAPE FINISH NOTES & SPECIFICATIONS:

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- SLIP COEFFICIENT OF FINISHED PRODUCT SHOULD BE .6 OR GREATER, MEETING ADA STANDARDS.

KEYED LEGEND & NOTES				SAMPLES	ENGINEERED SHOP DRAWINGS FOR REVIEW & APPROVAL	CUT SHEET	TIE INTO AUTOMATED BLDG CONTROL SYSTEM	MOCK-UP	MAINTENANCE DATA	ATTIC STOCK/ SPARE PARTS	SEE STRUCTURAL FOR DETAILS
BID STATUS	CODE	DESCRIPTION	DETAIL REFERENCE / REMARKS								
	1	PROPOSED POOL - ENG. BY OTHER	SEE 1L-2.3 FOR COPING DETAIL, 1,405 SF SURFACE AREA								
	2	PROPOSED SPA - ENG. BY OTHER	SEE 1L-2.3 FOR COPING DETAIL, FINISH TBD - 64 SF SURFACE AREA								
	3	PERGOLA - BY OTHER	SEE L-2.3 / SEE STRUCTURAL ALT TO POWDER COATED ALUMINUM LOUVERS - WOOD								
	4	PROPOSED DUNE DECK - BY OTHER NO MODIFICATIONS TO LAYOUT PREVIOUSLY APPROVED UNDER PERMIT ST-2104	TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS								
	5	PROPOSED POOL EQUIPMENT LOCATION	PROVIDE ALL REQUIRED UTILITY CONNECTIONS 18 HIGH SOUND ATTENUATING ENCLOSURE FINAL LOCATION AND LAYOUT TBD BY OTHER								
	6	SOCIAL ROOM PATIO EXPANSION	RETAIN EXISTING LAYOUT, REPLACE PAVERS WITH PROPOSED								
	7	OUTDOOR SHOWER	DRAIN TO ADJACENT PLANTING AREA PROVIDE WATER CONNECTION CALAZZO.COM MODEL PLS1150								
	8	POOL SIGNAGE	UNDER SEPARATE POOL PERMIT, TO COMPLY W/ FLORIDA DOH REGS								
	9	FENCE GATE	48" HIGH GATE W/ LATCH AT 54" FINISH TO MATCH FENCE - TBD								

HARDSCAPE LEGEND & NOTES				SAMPLES	SHOP DRAWINGS FOR APPROVAL BY L.A. (ENGINEERED AS REQ.)	CUT SHEET	PRODUCT DATA	MOCK-UP	MAINTENANCE DATA	ATTIC STOCK/ SPARE PARTS	SEE STRUCTURAL FOR DETAILS
		EXISTING STRUCTURE TO REMAIN									
		PAVER	COTTO DE ESTE - PORCELAIN PAVER LIMESTONE - CLAY - 24"x48" MUDSET OVER POURED SLAB								
		POOL / SPA									
		WHITE BEACH SAND	+/- 650 SF, 3" DEPTH OVER #57 ROCK								
		WOOD DECKING	TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS								
		4" ALUM. EDGING, MILL FINISH	SEE L-3.0								
		REFERENCES [QUANTITY] AND KEYED NOTE									
		PLANTING AREA	BY LANDSCAPE CONTRACTOR - SEE L-3.0								
		FENCE "SOUTH FENCE AND GATE CONFIG" TBD	48" HIGH POWDER COATED VERTICAL POSTS AND RAILING W/ GLASS PANELS GATES & LATCH TO MEET FBC LIFE SAFETY AND FLORIDA STATUTE MIN. REGS ±330 L.F.								
		FENCE - 2	48" HIGH BLACK VINYL COATED CHAINLINK FENCE								



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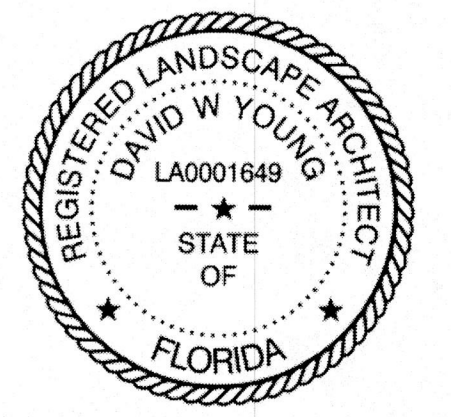
HARDSCAPE
PLAN

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
01	09.17.2021	PREP PERMIT COMMENTS

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SCALE: 3/32" = 1'-0"

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HARDSCAPE PLAN

☐ SCHEMATIC DESIGN
 ☐ DESIGN DEVELOPMENT
 ☒ CONSTRUCTION DOCUMENTS

REVISIONS

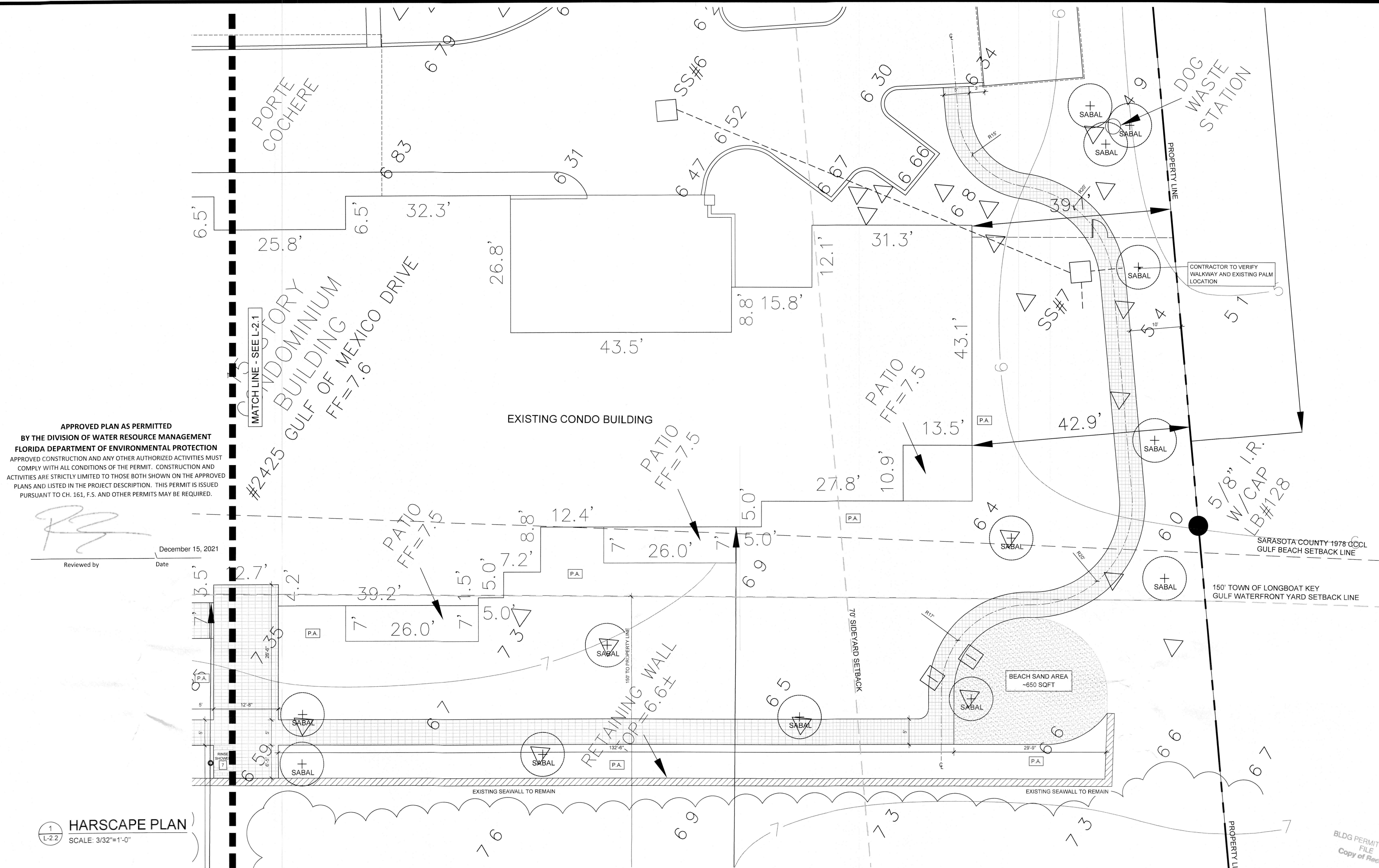
NO.	DATE	DESCRIPTION
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SCALE: $\frac{3}{32}'' = 1'-0''$

L-2.2

30 JUNE 2021



KEYED LEGEND & NOTES

[illegible]

HARDSCAPE LEGEND & NOTES

[illegible]

GENERAL HARDSCAPE NOTES:

1. THE PROJECT ENGINEER IS RESPONSIBLE FOR ENSURING THE STRUCTURAL INTEGRITY AND COMPLIANCE WITH ALL LOCAL CODES, OF ALL ELEMENTS DESIGNED WITHIN THIS ISSUED SET OF DRAWINGS. THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR THE LAYOUT, AESTHETIC DETAILING OF SITE ELEMENTS, AND THE FINISH SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO BEGINNING CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
3. CONTRACTOR SHALL STAKE THE LAYOUT PLAN (OR OBTAIN A REGISTERED SURVEYOR, IF REQUIRED) IN THE FIELD AND HAVE SUCH STAKING APPROVED BY THE LANDSCAPE ARCHITECT & OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE BUILDING CONTRACTOR SHALL CORRECT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
4. ALL WATERPROOFING AND DRAINAGE IS BY OTHERS. RELATED NOTES AND INFORMATION HEREIN IS FOR REFERENCE ONLY.
5. SEE POOL CONSULTANTS DRAWINGS FOR MEP AND OTHER POOL/FOUNTAIN DETAILS.
6. SEE ARCHITECTURAL FOR ALL LIFE SAFETY & ADA INFORMATION.
7. SEE MECHANICAL & ELECTRICAL SCHEDULE, FULLY DETAILED AND COORDINATED SHOP DRAWINGS ARE REQUIRED FOR THE REVIEW & APPROVAL OF THE LANDSCAPE ARCHITECT.
8. SEE CIVIL DRAWINGS FOR ALL EXTERIOR FINISHED GRADES, SITE DRAINAGE AND UTILITY LAYOUT OTHER THAN THOSE INCLUDED IN THIS SET OF DRAWINGS.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT A MIN. OF 1% PITCH.
10. SEE ARCHITECTURAL FOR ALL STAIR, RAMP, HANDRAIL, AND GUARDRAIL DETAILS.

HARDSCAPE FINISH NOTES & SPECIFICATIONS:

1. 2' X 2' SAMPLES TO BE PROVIDED REVIEW AND SELECTION BY OWNER AND L.A.
2. ALL HARDSCAPE MATERIALS TO BE SEAL WITH MATTE FINISH PENETRATING SEALER SUITED FOR EXTERIOR USE, PER SUBCONTRACTOR/MANUFACTURER'S RECOMMENDATIONS.
3. SEE CIVIL/ENGINEER ARCHITECTURAL FOR ALL INFO REGARDING TOP OF SLAB ELEVATIONS, SLOPES/RAMPS, STAIRS, AND ADA COMPLIANT TRANSITIONS.
4. SLIP COEFFICIENT OF FINISHED PRODUCT SHOULD BE .6 OR GREATER, MEETING ADA STANDARDS.

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HARDSCAPE
DETAILS

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO. DATE DESCRIPTION
01 09.17.2021 RDEP PERMIT COMMENTS



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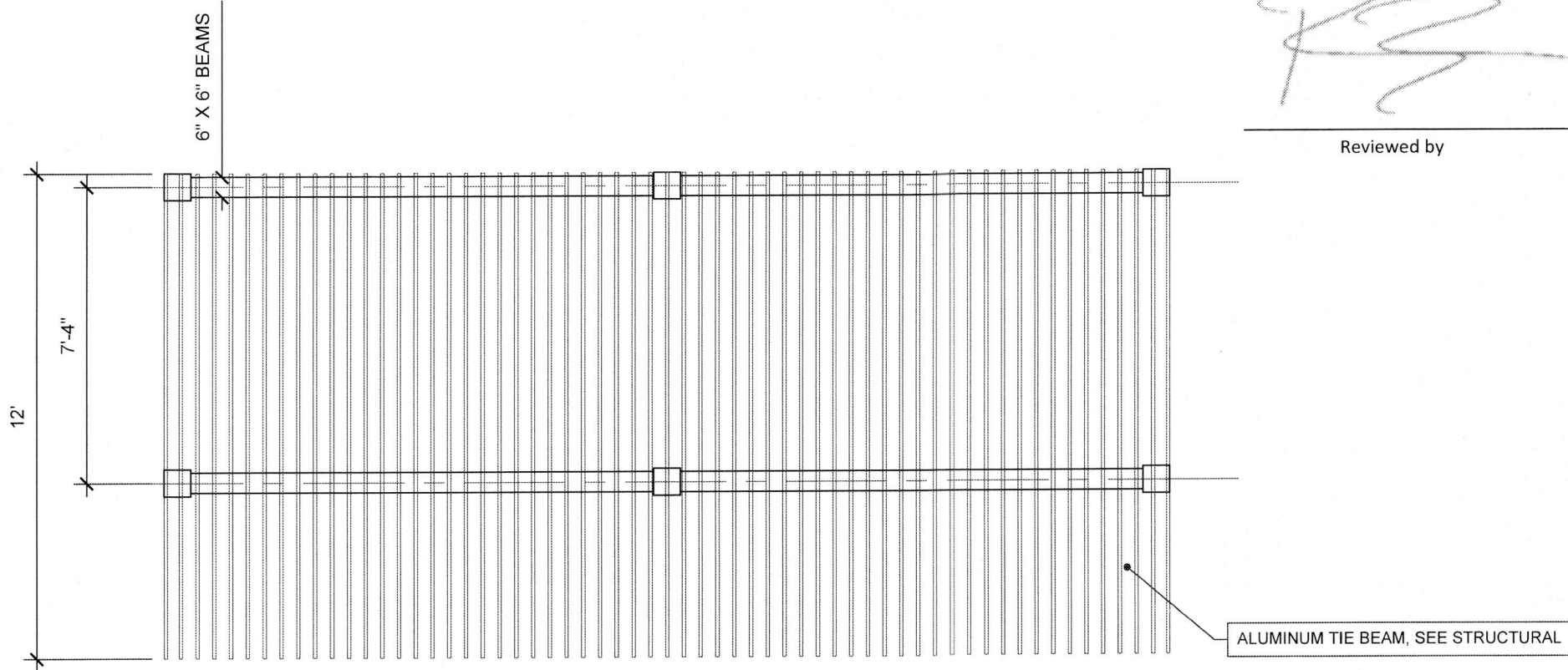
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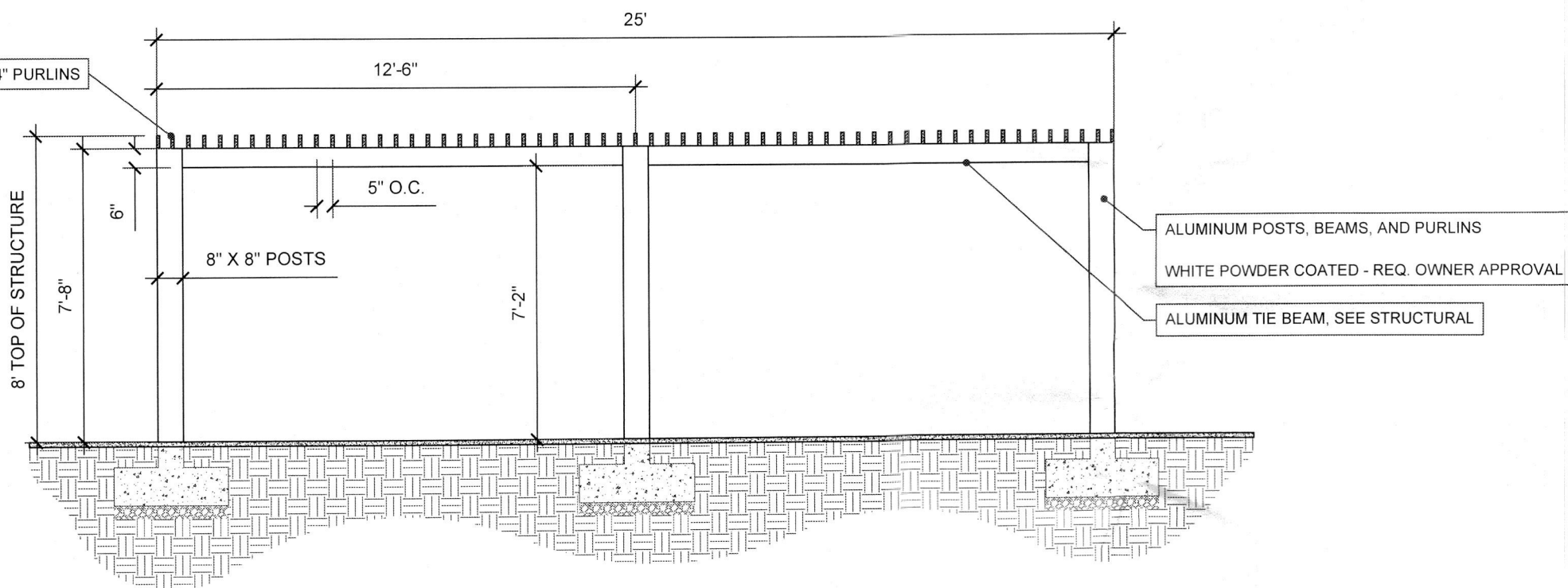
APPROVED PLAN AS PERMITTED
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FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
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Reviewed by [Signature] Date December 15, 2021

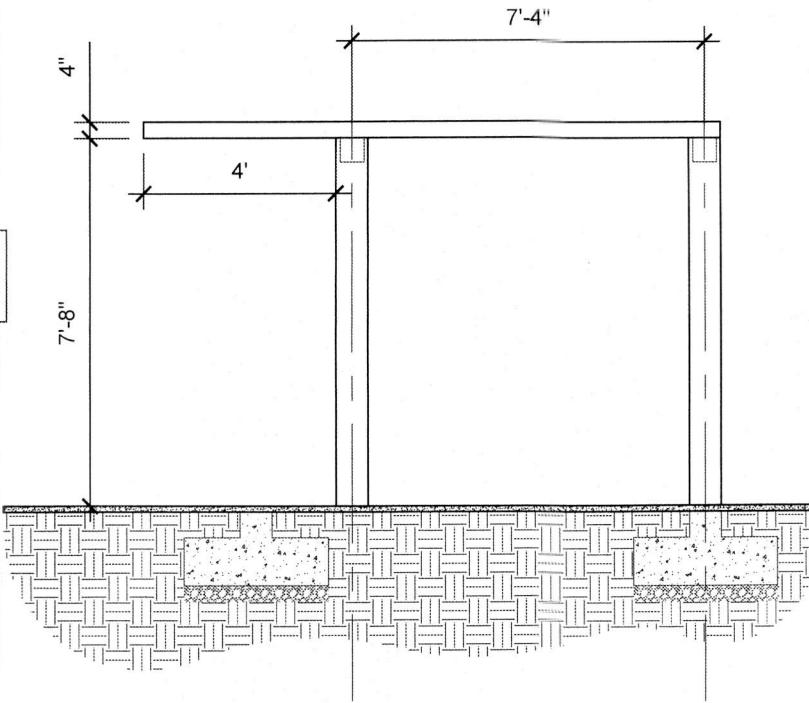


1 PERGOLA ROOF PLAN
SCALE: 1/4"=1'-0"

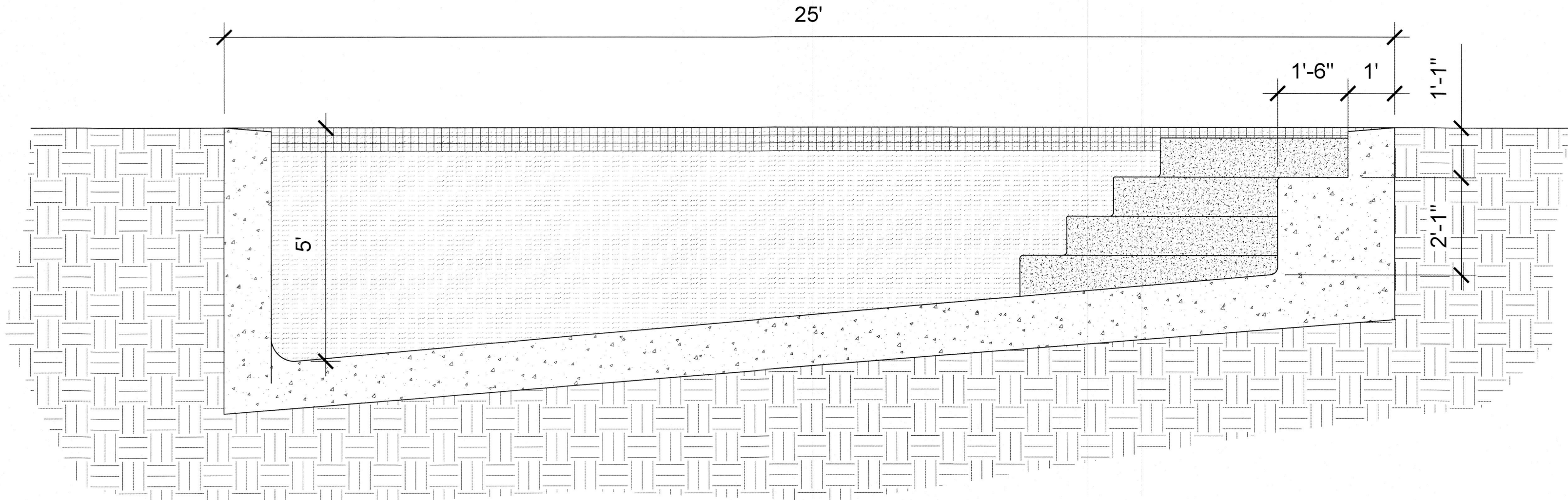
NOTE: ROOF COVERAGE OF
STRUCTURE NOT TO EXCEED 300 SF



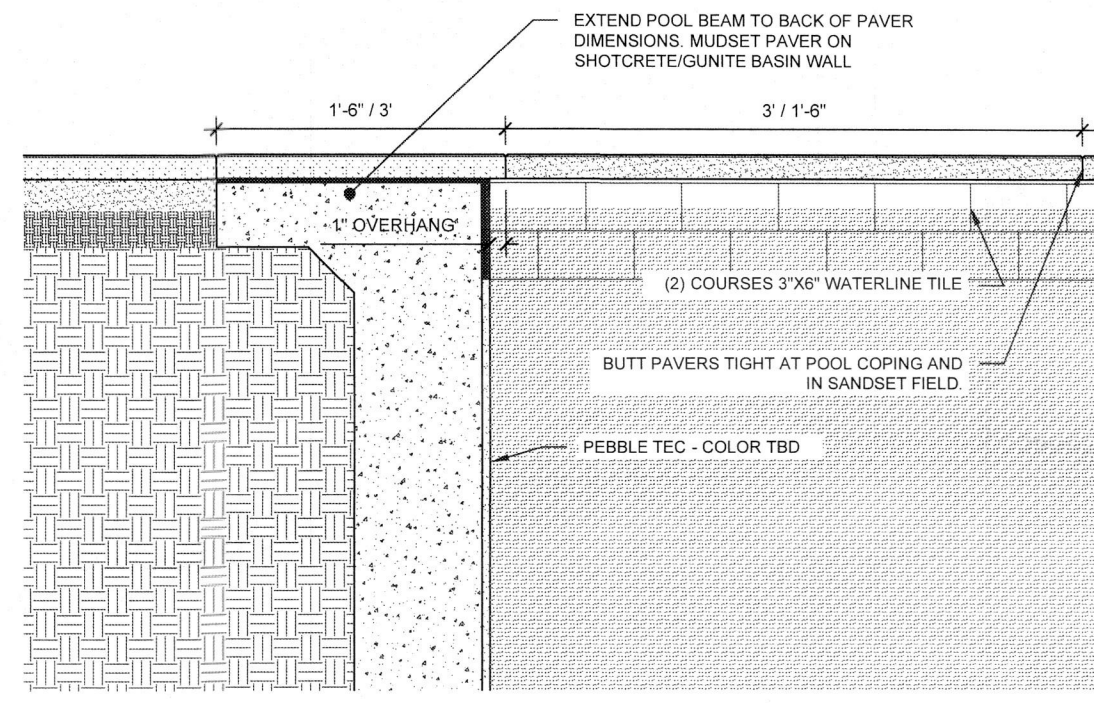
2 PERGOLA ELEVATION
SCALE: 1/4"=1'-0"



3 PERGOLA ELEVATION
SCALE: 1/4"=1'-0"



5 POOL SECTION
SCALE: 1/2"=1'-0"



4 POOL AND SPA COPING DETAIL
SCALE: 1"=1'-0"

GENERAL HARDSCAPE NOTES:
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FOR THE LAYOUT, AESTHETIC DETAILING OF SITE ELEMENTS, AND THE FINISH
SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR
TO BEGINNING CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL STAKE THE LAYOUT PLAN (OR RETAIN A REGISTERED
SURVEYOR, IF REQUIRED) IN THE FIELD AND HAVE SUCH STAKING APPROVED BY THE
LANDSCAPE ARCHITECT & OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE
BUILDING CONTRACTOR SHALL REPORT ALL LAYOUT DISCREPANCIES IMMEDIATELY TO
THE LANDSCAPE ARCHITECT FOR DIRECTION.
4. ALL WATERPROOFING AND DRAINAGE IS BY OTHERS. RELATED NOTES AND
INFORMATION HEREIN IS FOR REFERENCE ONLY.
5. SEE POOL CONSULTANT'S DRAWINGS FOR MEP AND OTHER POOL/FOUNTAIN
DETAILS.
6. SEE ARCHITECTURAL FOR ALL LIFE SAFETY & ADA INFORMATION.
7. WHERE NOTED IN SUBMITTAL SCHEDULE, FULLY DETAILED AND COORDINATED
SHOP DRAWINGS ARE REQUIRED FOR THE REVIEW & APPROVAL OF THE LANDSCAPE
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8. SEE CIVIL DRAWINGS FOR ALL EXTERIOR FINISHED GRADES, SITE DRAINAGE, AND
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9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY
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10. SEE ARCHITECTURAL FOR ALL STAIR, RAMP, HANDRAIL, AND GUARDRAIL
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HARDSCAPE FINISH NOTES & SPECIFICATIONS:
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RECOMMENDATIONS.
3. SEE CIVIL AND/OR ARCHITECTURAL FOR ALL INFO REGARDING TOP OF SLAB
ELEVATIONS, SLOPES/RAMPS, STAIRS, AND ADA COMPLIANT TRANSITIONS.
4. SLIP COEFFICIENT OF FINISHED PRODUCT SHOULD BE .6 OR GREATER, MEETING
ADA STANDARDS.

KEYED LEGEND & NOTES			SAMPLES	ENGINEERED SHOP DRAWINGS FOR REVIEW & APPROVAL	CUT SHEET	TIE INTO AUTOMATED BLDG CONTROL SYSTEM	MOCK-UP	MAINTENANCE DATA	ATTIC STOCK/ SPARE PARTS	SEE STRUCTURAL FOR DETAILS
BID STATUS	CODE	DESCRIPTION	DETAIL REFERENCE / REMARKS							
	1	PROPOSED POOL - ENG. BY OTHER	SEE 1/L-2.3 FOR COPING DETAIL, 1,405 SF SURFACE AREA							
	2	PROPOSED SPA - ENG. BY OTHER	SEE 1/L-2.3 FOR COPING DETAIL FINISH TBD - 64 SF SURFACE AREA							
	3	PERGOLA - BY OTHER	SEE L-2.3 / SEE STRUCTURAL ALT TO POWDER COATED ALUMINUM LOUVERS - WOOD							
	4	PROPOSED DUNE DECK - BY OTHER NO MODIFICATIONS TO LAYOUT PREVIOUSLY APPROVED UNDER PERMIT ST-2104	TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS							
	5	PROPOSED POOL EQUIPMENT LOCATION	PROVIDE ALL REQUIRED UTILITY CONNECTIONS 6" HIGH SOUND ATTENUATING ENCLOSURE FINAL LOCATION AND LAYOUT TBD BY OTHER							
	6	SOCIAL ROOM PATIO EXPANSION	RETAIN EXISTING LAYOUT, REPLACE PAVERS WITH PROPOSED							
	7	OUTDOOR SHOWER	DRAIN TO ADJACENT PLANTING AREA PROVIDE WATER CONNECTION CALAZZO.COM MODEL PLS1150							
	8	POOL SIGNAGE	UNDER SEPARATE POOL PERMIT. TO COMPLY W/ FLORIDA DOH REQS							
	9	FENCE GATE	48" HIGH GATE W/ LATCH AT 54" FINISH TO MATCH FENCE - TBD							

HARDSCAPE LEGEND & NOTES			SAMPLES	SHOP DRAWINGS FOR APPROVAL BY L.A. [ENGINEERED AS REQ.]	CUT SHEET	PRODUCT DATA	MOCK-UP	MAINTENANCE DATA	ATTIC STOCK/ SPARE PARTS	SEE STRUCTURAL FOR DETAILS
EXISTING STRUCTURE TO REMAIN	PAVER	COTTO DE ESTE - PORCELAIN PAVER LIMESTONE - CLAY - 24"x48" MUDSET OVER POURED SLAB								
	POOL / SPA									
WHITE BEACH SAND		+/- 650 SF, 3" DEPTH OVER #57 ROCK								
WOOD DECKING		TIMBERTECH AZEK VINTAGE COLLECTION COLOR: TBD W/ CONCEALED S.S. FASTENERS								
4" ALUM. EDGING, MILL FINISH		SEE L-3.0								
REFERENCES [QUANTITY] AND KEYED NOTE										
PLANTING AREA		BY LANDSCAPE CONTRACTOR - SEE L-3.0								
FENCE "SOUTH FENCE AND GATE CONFIG" TBD		48" HIGH POWDER COATED VERTICAL POSTS AND RAILING W/ GLASS PANELS GATES & LATCH TO MEET FBC LIFE SAFETY AND FLORIDA STATUTE MIN. REQS. #330 L.F.								
FENCE - 2		48" HIGH BLACK VINYL COATED CHAINLINK FENCE								

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LONGBOAT KEY, FL

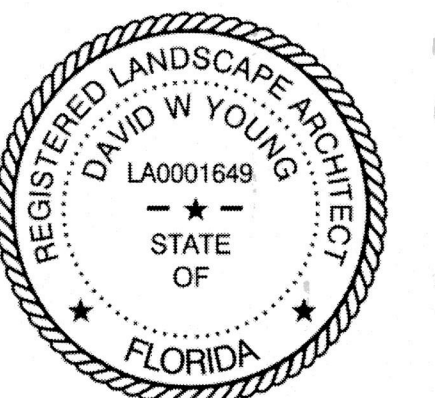
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SITE
SECTIONS

☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☒ CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
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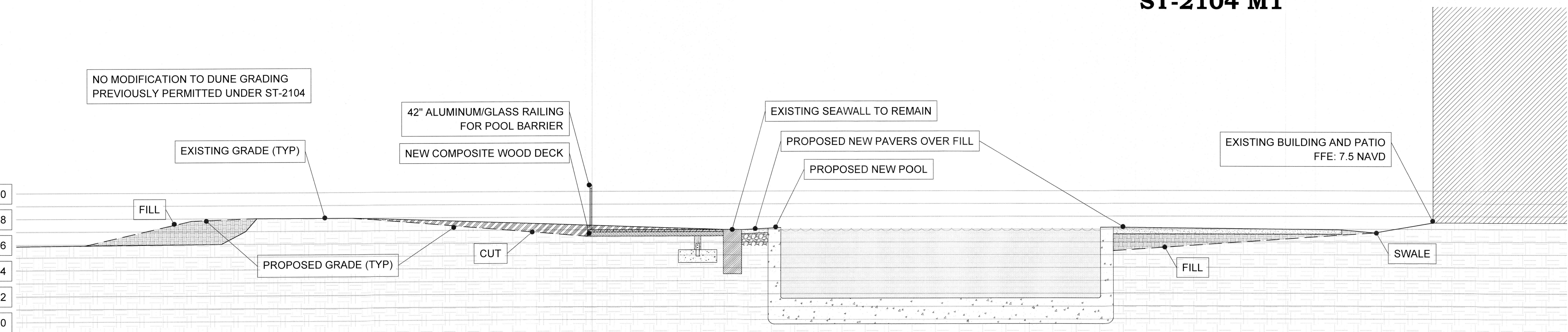
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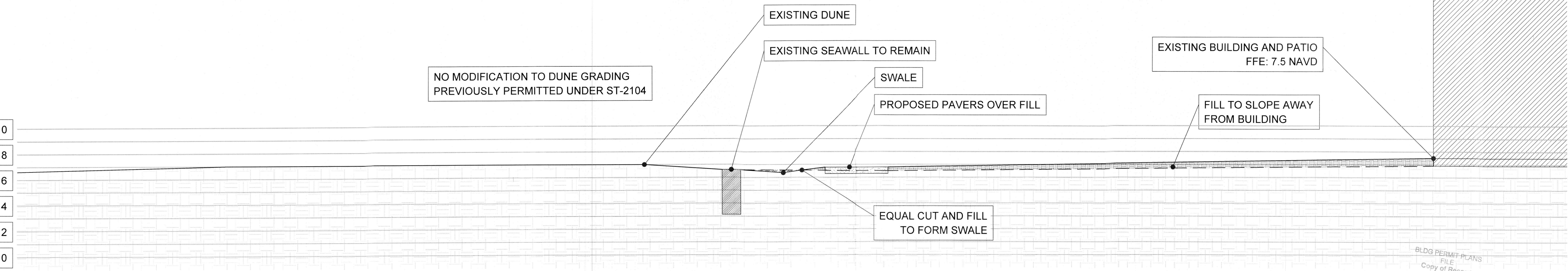
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1 SITE CROSS SECTION - A
SCALE: 1/4"=1'-0"

APPROVED PLAN AS PERMITTED
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December 15, 2021
Reviewed by Date



2 SITE CROSS SECTION - B
SCALE: 1/4"=1'-0"

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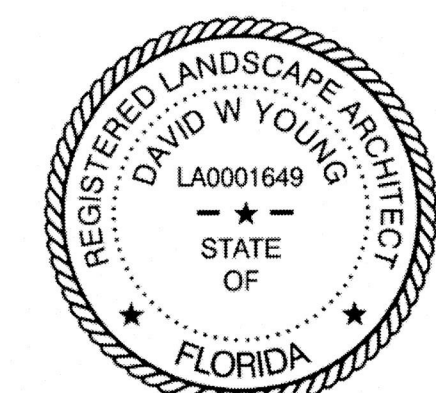
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LANDSCAPE
KEY

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

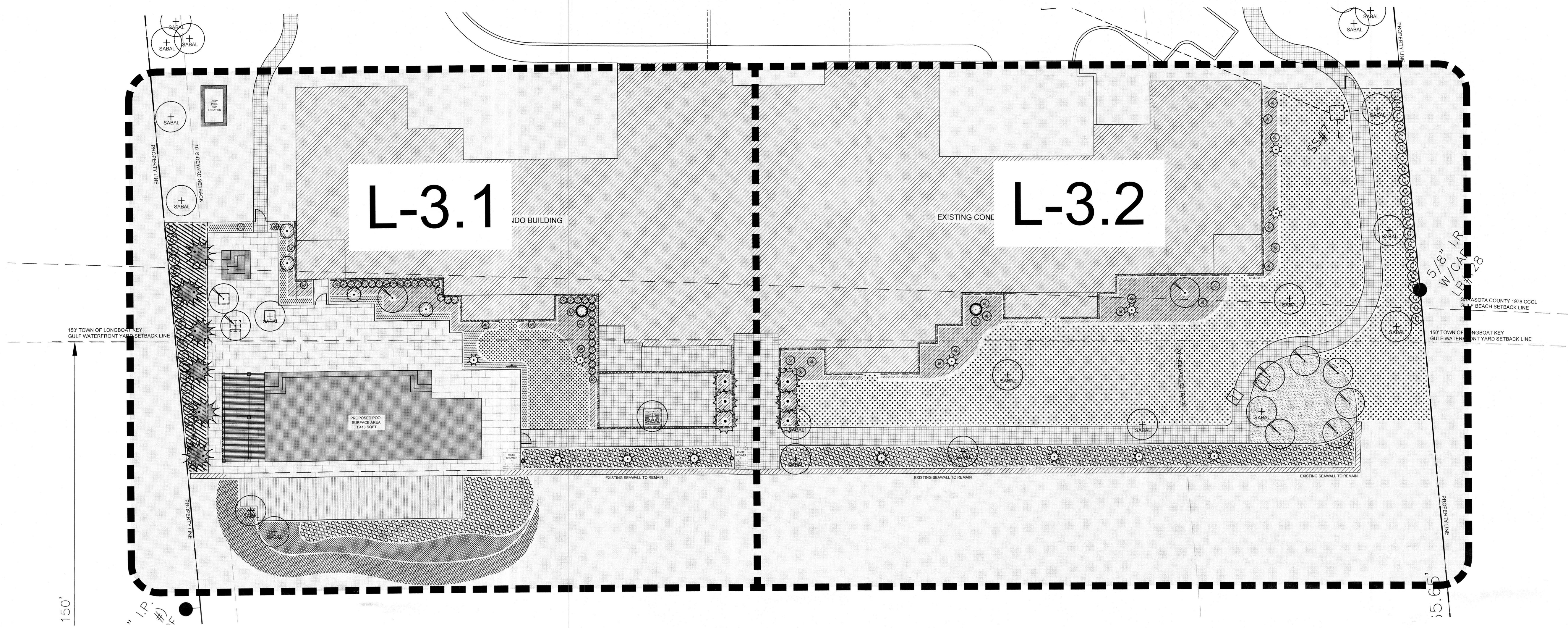
NO. DATE DESCRIPTION
01 08.17.2021 FDEP PERMIT COMMENTS



SCALE: 1/16" = 1'-0"

L-3.0

30 JUNE 2021



1
L-3.0
PLANTING KEY
SCALE: 1/16"=1'-0"

DUNE PLANTING SCHEDULE

GROUND COVER	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	IP	IPOMOEA PES-CAPRAE RAILROAD VINE	1 GAL/18" OC	180 / 425 SF
	BA	BORRICHIA ARBORESCENS SEA OXEYE	1 GAL / 24" OC	100 / 390 SF
	EL	ERNODEA LITTORALIS GOLDEN BEACH CREEPER	1 GAL / 24" OC	150 / 615 SF

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Reviewed by
Date

PLANTING SCHEDULE

TREES & PALMS	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	SP	SABAL PALMETTO CABBAGE PALM W/ CHARACTER CURVE AS INDICATED ON PLAN. L.A. TO APPROVE	16'-18" O.A. CURVED, REGEN	6
	PS1	PSEUDOPHOENIX SARGENTII BUCCANEER PALM	8'-10" O.A.	6
	PS2	PSEUDOPHOENIX SARGENTII BUCCANEER PALM	15 GAL 4'-6" O.A.	4
	CM	COCCOTHRINAX MACROGLOSSA 'AZUL'	15 GAL SINGLE 4'-6" O.A.	2
	SA	SANTALUM MACEWATSONI MONTGOMERY PALM	12" POT SINGLE	15
SHRUBS & ACCENTS	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	CG	CLUSIA GUTTIFERA SMALL LEAF CLUSIA	15 GAL	45
	CI	CHRYSOBALANUS ICACO 'HORIZONTAL' COCOPLUM	7 GAL	33
	AD	AECHMEA 'DEAN' BROMELIAD	10" POT	11
	AI	ALCANTAREA IMPERIALIS BROMELIAD	10" POT	14
GROUND COVER	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY / SF
	TF	TRIPSACUM FLORIDANUM DW. FAKAHATCHEE GRASS	1 GAL/18" O.C.	215 / 550 SF
	MC	MUHLENBERGIA CAPILLARIS MUHLY GRASS	1 GAL/18" OC ALT: @ 24" OC	600 / 1500 SF 400
	IP	IPOMOEA PES-CAPRAE RAILROAD VINE	1 GAL/18" OC	634 / 1235 SF
	OJ	OPHIPOGON JAPONICUS MONDO GRASS	4" POT/12" OC	50 / 50 SF
	BR	BARLERIA REPENS 'PINK' CORAL CREEPER - PINK	1 GAL / 18" OC	105 / 220 SF
	SAND	WHITE BEACH SAND, 3" SPREAD OVER #57 ROCK		650 SF
	SOD	ZOYSIA 'ICON' SOD ROLLS		6100 SF
	MBP	MEXICAN BEACH PEBBLE - WHITE		250 SF
	EDGE	4" MILLED ALUMINUM EDGING		425 LF
	ROOT	ROOT BARRIER, RIGID, 24" DEEP		225 LF
NOT SHOWN: MULCH: 'COCO BROWN' FROM BIG EARTH 3" DEPTH IN ALL NEW BED AREAS				

These plants are not part
of the activities approved
under this permit.

NOTE: IN ALL PLANTING AREAS - FINISHED GRADE TO PITCH TOWARDS DRAINS.
ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURE.

CONSTRUCTION GRADE TO BE PROVIDED BY GENERAL/SITE CONTRACTOR,
TO WIN 3" OF FINISHED GRADE
LANDSCAPE CONTRACTOR TO PROVIDE FINISHED GRADE.

- NOTES:
- LANDSCAPE CONTRACTOR TO PROVIDE, FOR REVIEW AND APPROVAL BY L.S., PHOTOS OF ALL TREES & PALMS TO BE PROVIDED AND INSTALLED ON SITE PRIOR TO PROCUREMENT.
 - CONTRACTOR TO VERIFY ALL QUANTITIES
 - PRE-EMERGENT HERBICIDE TO BE APPLIED IN ALL PLANTING AREAS INCLUDING NEW TURF AREA, IN ADVANCE OF NEW LANDSCAPING INSTALLATION. EXISTING WEEDS TO BE FULLY ERADICATED WITH A MINIMUM 2 APPLICATIONS OF SPRAY HERBICIDE. CONTRACTOR TO FOLLOW ALL APPLICABLE JURISDICTIONAL GUIDELINES RELATED TO APPLICATION OF ALL HERBICIDE, FUNGICIDE AND FERTILIZER AND SHALL NOTIFY LANDSCAPE ARCHITECT BY WRITTEN REPORT OF APPLICATION DATES, PRODUCTS AND QUANTITIES.
 - NO SUBSTITUTIONS OR ALTERNATIVES OR SPECIES WITH OUT WRITTEN AUTHORIZATION BY DWY LANDSCAPE ARCHITECTS.
 - LINE ALL VESSELS WITH FILTER FABRIC AND LAY GRAVEL BELOW PLANTING MEDIUM.
 - PLANTING MEDIUM TO BE PROVIDED BY LANDSCAPE CONTRACTOR.
 - GC TO PROVIDE CONSTRUCTION GRADE WHERE APPLICABLE; L.S. CONTRACTOR TO PROVIDE FINISHED GRADE ONLY.

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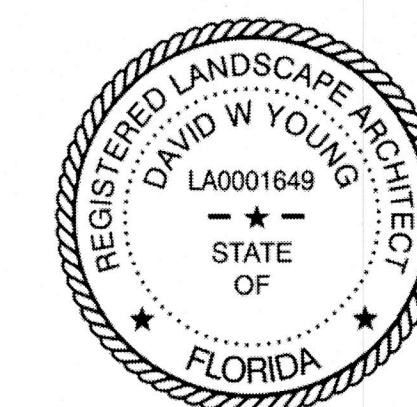
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LANDSCAPE
PLAN

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SCALE: 3/32" = 1'-0"

L-3.1

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[Signature]
Reviewed by

December 15, 2021
Date

150' TOWN OF LONGBOAT KEY
GULF WATERFRONT YARD SETBACK LINE

EXISTING CONDO BUILDING

SEE L-3.2

DUNE PLANTING SCHEDULE

GROUND COVER	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	IP	IPOMOEAE PES-CAPRAE RAILROAD VINE	1 GAL/18" OC	180 / 425 SF
	BA	BORRICHIA ARBORESCENS SEA OXEYE	1 GAL / 24" OC	100 / 390 SF
	EL	ERNODEA LITTORALIS GOLDEN BEACH CREEPER	1 GAL / 24" OC	150 / 615 SF

PLANTING SCHEDULE

TREES & PALMS	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	SP	SABAL PALMETO CABBAGE PALM W/ CHARACTER CURVE AS INDICATED ON PLAN. L.A. TO APPROVE	16'-18" O.A. CURVED, REGEN	6
	PS1	PSEUDOPHOENIX SARGENTII BUCCANEER PALM	8'-10" O.A.	6
	PS2	PSEUDOPHOENIX SARGENTII BUCCANEER PALM	15 GAL 4'-6" O.A.	4
	PS3	VERTICILLATA MONTGOMERY PALM	11'-12" O.A. SINGLE	10
	CM	COCCOTHRINAX MACROGLOSSA 'AZUL'	15 GAL SINGLE 4'-6" O.A.	2
	BA	OPUNTIA 'MIDNIGHT'	24" GAL SINGLE 6'-8" O.A.	10
SHRUBS & ACCENTS	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY
	CG	CLUSIA GUTTIFERA SMALL LEAF CLUSIA	15 GAL	45
	CI	CHRYSOBALANUS ICACO HORIZONTAL COCOPLUM	7 GAL	33
	AD	AECHMEA 'DEAN' BROMELIAD	10" POT	11
	AI	ALCANTAREA IMPERIALIS BROMELIAD	10" POT	14

These plants are not
part of the activities
approved under this permit.

1
L-3.1
PLANTING PLAN
SCALE: 3/32"=1'-0"

GROUND COVER	CODE	BOTANICAL NAME COMMON NAME	SIZE	QTY / SF
	TF	TRIPSACUM FLORIDANUM DW. FAKAHATCHEE GRASS	1 GAL/18" O.C.	215 / 550 SF
	MC	MUHLENBERGIA CAPILLARIS MUHLY GRASS	1 GAL/18" OC ALT. @ 24" OC	600 / 1500 SF 400
	IP	IPOMOEAE PES-CAPRAE RAILROAD VINE	1 GAL/18" OC	634 / 1235 SF
	OJ	OPHIPOGON JAPONICUS MONDO GRASS	4" POT/12" OC	50 / 50 SF
	BR	BARLERIA REPENS "PINK" CORAL CREEPER - PINK	1 GAL / 18" OC	105 / 220 SF
	SAND	WHITE BEACH SAND, 3" SPREAD OVER #57 ROCK		650 SF
	SOD	ZOYSIA 'ICON'	SOD ROLLS	6100 SF
	MBP	MEXICAN BEACH PEBBLE - WHITE		250 SF

EDGE 4" MILLED ALUMINUM EDGING 425 LF
ROOT ROOT BARRIER, RIGID, 24" DEEP 225 LF

NOT SHOWN: MULCH: "COCO BROWN" FROM BIG EARTH
3" DEPTH IN ALL NEW BED AREAS

NOTE: IN ALL PLANTING AREAS - FINISHED GRADE TO PITCH TOWARDS DRAINS.
ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURE.

CONSTRUCTION GRADE TO BE PROVIDED BY GENERAL/SITE CONTRACTOR.
TO WIN 3" OF FINISHED GRADE
LANDSCAPE CONTRACTOR TO PROVIDE FINISHED GRADE.

NOTES:

- LANDSCAPE CONTRACTOR TO PROVIDE, FOR REVIEW AND APPROVAL BY L.S., PHOTOS OF ALL TREES & PALMS TO BE PROVIDED AND INSTALLED ON-SITE PRIOR TO PROCUREMENT.
- CONTRACTOR TO VERIFY ALL QUANTITIES.
- PRE-EMERGENT HERBICIDE TO BE APPLIED IN ALL PLANTING AREAS INCLUDING NEW TURF AREA, IN ADVANCE OF NEW LANDSCAPING INSTALLATION. EXISTING WEEDS TO BE FULLY ERADICATED WITH A MINIMUM 2 APPLICATIONS OF SPRAY HERBICIDE. CONTRACTOR TO FOLLOW ALL APPLICABLE JURISDICTIONAL GUIDELINES RELATED TO APPLICATION OF ALL HERBICIDE, FUNGICIDE AND FERTILIZER AND SHALL NOTIFY LANDSCAPE ARCHITECT BY WRITTEN REPORT OF APPLICATION DATES, PRODUCTS AND QUANTITIES.
- NO SUBSTITUTIONS OR ALTERNATIVES OR SPECIES WITH OUT WRITTEN AUTHORIZATION BY DWY LANDSCAPE ARCHITECTS.
- LINE ALL VESSELS WITH FILTER FABRIC AND LAY GRAVEL BELOW PLANTING MEDIUM.
- PLANTING MEDIUM TO BE PROVIDED BY LANDSCAPE CONTRACTOR.
- GC TO PROVIDE CONSTRUCTION GRADE WHERE APPLICABLE; L.S. CONTRACTOR TO PROVIDE FINISHED GRADE ONLY.

SEA GATE
CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

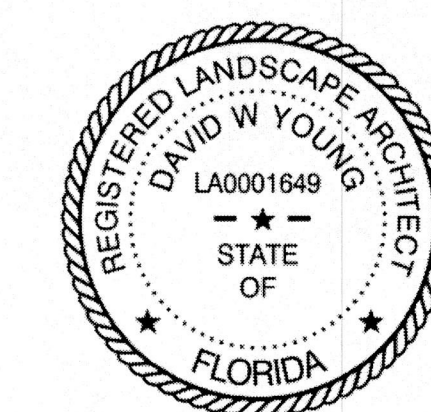
100% CD

LANDSCAPE
PLAN

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO. DATE DESCRIPTION
01 09.17.2021 FDEP PERMIT COMMENTS

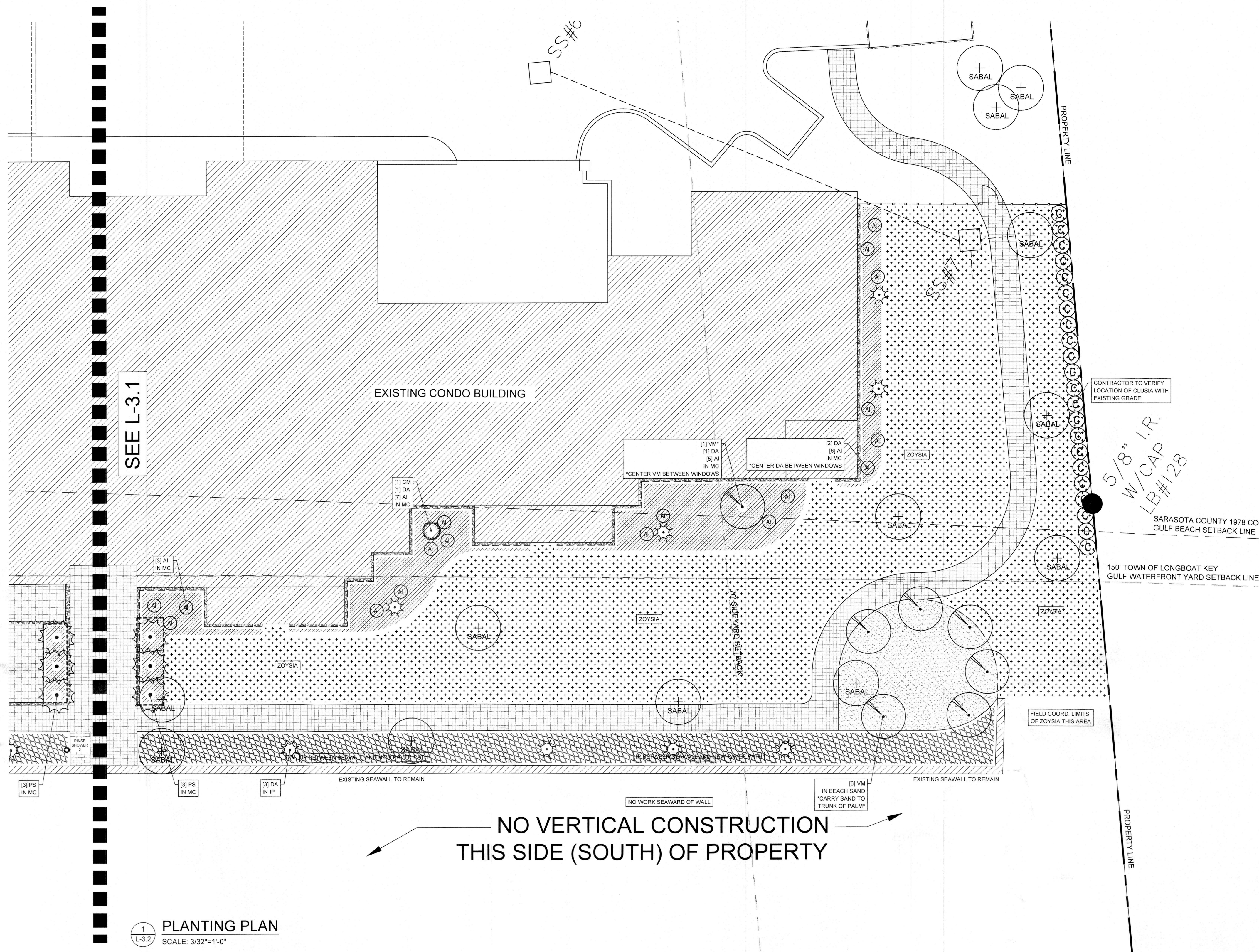


SCALE: 3/32" = 1'-0"

L-3.2

30 JUNE 2021

RECEIVED
September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1



APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
APPROVED CONSTRUCTION AND ANY OTHER AUTHORIZED ACTIVITIES MUST
COMPLY WITH ALL CONDITIONS OF THE PERMIT. CONSTRUCTION AND
ACTIVITIES ARE STRICTLY LIMITED TO THOSE BOTH SHOWN ON THE APPROVED
PLANS AND LISTED IN THE PROJECT DESCRIPTION. THIS PERMIT IS ISSUED
PURSUANT TO CH. 161, F.S. AND OTHER PERMITS MAY BE REQUIRED.

Reviewed by Date December 15, 2021

DUNE PLANTING SCHEDULE

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	EL	ERNODEA LITTORALIS GOLDEN BEACH CREEPER	1 GAL / 24" OC	150 / 615 SF

These plants are not
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PLANTING SCHEDULE

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	PS2	PSEUDOPHOENIX SARGENTII BUCCANEER PALM	15 GAL 4'-8" O.A.	4
	CM	COCCOCHRINAX MACROGLOSSA 'AZUL'	15 GAL, SINGLE 2'-6" O.A.	2
	BR	BARLERIA REPENS 'PINK' CORAL CREEPER - PINK	23 GAL, SINGLE 6'-8" O.A.	13
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	IP	IPOMOEA PES-CAPRAE RAILROAD VINE	1 GAL/18" OC	834 / 1235 SF
	OJ	OPHIPOGON JAPONICUS MONDO GRASS	4" POT/12" OC	50 / 50 SF
	BR	BARLERIA REPENS 'PINK' CORAL CREEPER - PINK	1 GAL / 18" OC	105 / 220 SF
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---	EDGE	4" MILLED ALUMINUM EDGING	425 LF
----	ROOT	ROOT BARRIER, RIGID, 24" DEEP	225 LF
---	NOT SHOWN	MULCH: "COCO BROWN" FROM BIG EARTH	
---	NOT SHOWN	3" DEPTH IN ALL NEW BED AREAS	
---	NOTE:	IN ALL PLANTING AREAS - FINISHED GRADE TO PITCH TOWARDS DRAINS. ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURE.	
---	NOTES:	CONSTRUCTION GRADE TO BE PROVIDED BY GENERAL/SITE CONTRACTOR, TO WIN 3" OF FINISHED GRADE. LANDSCAPE CONTRACTOR TO PROVIDE FINISHED GRADE.	

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- PLANTING MEDIUM TO BE PROVIDED BY LANDSCAPE CONTRACTOR.
- GC TO PROVIDE CONSTRUCTION GRADE WHERE APPLICABLE. L.S. CONTRACTOR TO PROVIDE FINISHED GRADE ONLY.

LANDSCAPE INSTALLATION NOTES

1. Landscape Contractor shall keep a field set of Planting and Irrigation Drawings and Landscape Specifications on site at all times during planting phase.
2. Landscape Contractor shall verify all quantities of materials shown on the drawings prior to submitting his bid. Planting Plan to take precedence over Plant List. Where applicable, final quantities of sod, top soil, crushed shell, gravel, rock, edging and mulch to be verified on site by the Landscape Contractor.
3. All plant material to be Florida Grade #1 or better, as defined in Grades and Standards for Nursery Plants, State Plant Board of Florida. Plant material noted as Specimen shall be Florida Fancy Grade.
4. All sizes shown for plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. All trees to be SINGLE trunked, unless otherwise noted on plans.
5. The Landscape Contractor shall fully inspect and familiarize himself with the site and all work conditions so as to include in his bid, a cost for all plant removals, transplants, sod adjustments, debris removal and finish grading.
6. Landscape Contractor to coordinate landscape installation with other contractors to ensure orderly and timely completion of work.
7. Site preparation shall include removal of any weeds, patches of grass, clean up of any dead material and finish grading. Any building construction material or foreign material shall be removed from planting areas and replaced with top soil.
8. Landscape Contractor shall be responsible for all finish grading in sod areas. Hand rake prior to installing sod. Contractor to cut and match in all new sod to existing sod. Stagger and kick all joints tight. All sod to be rolled immediately after installation.
9. Landscape Contractor shall apply a minimum of 2 applications of Roundup herbicide (or approved equal) on existing turf where it is required to be removed for planting. Roundup must be sprayed prior to commencing any grading operations. Contractor shall review turf kill with Landscape Architect for approval. All herbicides must be applied by licensed applicators per manufacturers recommended rates and instructions. Post all applications. Planting in weed infested soil is not acceptable.
10. All trees and palms 8' in height and over shall be staked according to the Staking Details. All non-biodegradable wrapping such as twine, wire, or nylon cord shall be removed from the tree root ball before planting. Top of tree root ball shall be planted flush with existing grade.
11. Staking Detail is for general implementation. Landscape Contractor shall be responsible for any necessary staking modifications due to restricted planting/staking areas.
12. Mulch all planting beds (new and existing) with shredded cedar bark mulch to a minimum depth of 3" (unless otherwise noted). In areas of existing mulch, the mulch shall be taken up and replaced after plant installation.
13. The Landscape Contractor shall verify the location of all plant material on site with the Landscape Architect prior to installation. The Landscape Architect shall be given a 48 hour minimum notice prior to the plant arrival on site for flagging.
14. Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner or Landscape Architect. Where underground construction or obstructions will not permit the planting of plant materials in accordance with the plans, new locations for the plant material will be designated by the Landscape Architect.
15. The Landscape Contractor shall exercise caution to protect all existing sod and irrigation. Any damage to the sod or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
16. The Landscape Contractor shall at all times keep the job site clean and free from accumulated waste material, debris, and rubbish. All sod removed for planting areas shall be removed from the site.
17. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation. A decision shall be made at the time to keep the existing plant material and adjust the plan or remove the existing plant material.
18. Install all ground cover plants 18" and all shrubs 24" away from the edges of all walks, driveways, terraces, walls, or adjoining planting beds edges.
19. Tree removal/relocation to include backfilling of holes to a level flush with the existing grade. All rubbish material to be removed from the site.
20. The Landscape Architect will advise the Contractor on pruning and trimming trees and shrubs. The Contractor shall notify the Landscape Architect 24 hours prior to such work. All pruned and trimmed plant material shall be fertilized with an 8-4-8 sulfur coated fertilizer.
21. Location of plant materials (trees, palms, shrubs, ground covers and vines), walks, and other landscape features may be relocated on site at the discretion of the Landscape Architect or owner.
22. Quantities and specifications of plant materials maybe subject to change during the installation at the discretion of the Landscape Architect, owner or developer.
23. Landscape Contractor shall be responsible for installation of trees and palms away from overhead power and telephone lines. Notify Landscape Architect where conflicts occur with overhead lines and planting location.
24. Planting soil for all trees and shrubs shall consist of 50% topsoil and 50% landscape mix for aeration. Planting mix shall have a pH of 6.0-6.5/mix 25% planting soil with 75% on-site soil for planting soil backfill. Test soil over the entire site after fill operations for proper pH and drainage. Amend soil as necessary for plant material requirements per soil test results. Backfill all trees and shrubs. (See project manual section 02900)
25. Landscape Contractor shall hand water all plant material as required and shall be liable for replacing trees and shrubs experiencing transplant shock due to lack of water at any time during the course of landscape installation.
26. Landscape Contractor shall be responsible for providing irrigation with 100% coverage to all new, additional and/or relocated material.
27. Landscape Contractor shall install Agriform Planting Tablets, per manufactures specification, in planting pits of all new and relocated palm trees.
28. Landscape Contractor shall apply Diehard products to all palm trees, turf, Bromeliad, shrub and groundcover installations. Use the following according to manufacturers recommendations: Diehard-Palm Transplant; Diehard Transplant; Diehard Turf. 800.628.6373
29. All plant material shall be fertilized according to the fertilization chart (this page).
30. Refer to Landscape Management notes (this page) for maintenance requirements.

FERTILIZATION

All plantings shall be fertilized with Agriform 20-10-15 planting tablets at the time of installation and prior to completion of backfilling. Agriform planting tablets shall be placed uniformly around the root mass at the depth that is between the middle and the bottom of the root mass.

21 gram tablet								10 gram tablet	
1 gallon can plants	3 gallon can plants	5 gallon can plants	7 gallon can plants	Large trees or B&B trees	Mature palms	Well rooted liners	Small groundcovers or perennials		
1 tablet	2 tablets	3 tablets	4 tablets	Trees: 5 tablets each Shrubs: 1 tablet for each 1' of height	10 tablets per palm	1 to 2 tablets each	1 tablet each		

Agriform 20-10-15 Planting Tablets as manufactured by Sierra Chemical Company.
Landscape Architect may make a random sampling of plant pits to determine the uniformity of application.

LANDSCAPE MANAGEMENT

Upon final acceptance of project by the Landscape Architect and Owner, Owner shall be responsible for contracting with a professional landscape maintenance provider.

The Landscape Contractor shall be responsible for providing monthly reports detailing observations made regarding the conditions of the plant material and any recommendations for changes to the maintenance program. These reports shall be submitted to the owner, with a copy to the Landscape Architect, for the length of the agreed upon maintenance period.

It is the responsibility of the Landscape Contractor to remove all stakes, braces, guy wires and other support items associated with the installation. Removal of these items shall occur no later than the end of the warranty period or one year, which ever is greater.

GARANTEE AND REPLACEMENT

All plant materials shall be guaranteed to be alive and in satisfactory growth, equivalent to Florida No. 1 Grade or better, as to their species, at the end of the guarantee period. Guarantee periods for plant materials shall be as follows:

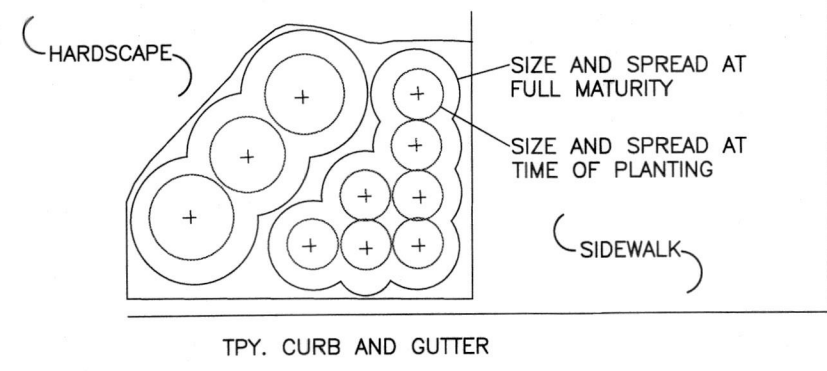
Trees / Palms	12 months
Groundcover & Vines	12 months
Shrubs	12 months
Sod	6 months
Annuals	1 month

Upon acceptance of the landscape installation, the Landscape Contractor shall supply the Owner with a complete and adequate maintenance program to be followed during and after the guarantee period. The Landscape contractor shall make periodic inspections of the job during the guarantee period to determine if proper maintenance is being given and provide reports as noted above. It shall be understood that, in accordance with the terms of the guarantee, the Landscape Contractor must promptly inform the Owner if proper maintenance is not being given to the installation. Such notice shall be in writing, outlining corrective measures to be taken, with a copy to the Landscape Architect.

All replacements included within the guarantee shall be at the Contractor's expense, including plants and labor. Replacements required because of damage due to over fertilization, improper chemical sprays or weed killers shall be the responsibility of the Owner or whomever the Owner engaged to do the maintenance.

IRRIGATION NOTES

1. Irrigation Contractor shall visit the site to verify all conditions and dimensions as shown on the plans prior to submission of bid. The plans are schematic and the contractor shall determine and all necessary materials and labor needed to meet the intent of the drawings.
2. Irrigation Contractor shall provide a fully operational irrigation system for 100% overlap coverage of all landscape and turf areas as indicated on the landscape and irrigation plans.
3. The Irrigation Contractor is responsible for all piping and wire take-offs. The Irrigation Contractor shall also be responsible for all fittings and connections at the water source. All pipe and fittings shall be schedule 40 PVC.
4. The Irrigation Contractor shall verify existing GPM/PSI from the source provided by owner and if needed, the Contractor shall also add heads as necessary to meet actual GPM/PSI requirements. The Contractor shall also add heads as needed for full 100% coverage if schematic plan locations are insufficient.
5. Consult the Owner or General Contractor for the location of electrically operated irrigation controller. Provide wall mounted controller near available electric outlet, or as specified by the Irrigation Plan. Coordinate operation of the controller for proper zone sequencing and optimum watering time. Review operation of controller with Owner.
6. Turfgrass areas, annual flower beds, and vegetable gardens shall be irrigated on separate irrigation zones from tree, shrub and groundcover areas.
7. The head location layout is a guide for installation purposes only. All irrigation heads shall be placed a minimum of 6" away from all walkways, driveways, and walls. It is the responsibility of the Irrigation Contractor to see that full and adequate water coverage occurs in all irrigated areas. Adjust the radius of spray as necessary.
8. Piping on plans is diagrammatically routed for graphic clarity, actual placement shall be located within property boundary and in "Greenspace" areas adjacent to paving or structures as per industry standards. Coordinate installation with planting plan so conflicts with proposed locations of trees, palms and shrubs will be avoided, place piping in trench adjacent to curbing or edge of payment where possible.
9. Contractor shall reference the landscape plans and specifications to determine where irrigation heads shall be installed on risers. Use 12" pop-ups in all ground cover areas, 6" pop-ups in all turf areas, spray heads on black PVC risers in all shrub areas and flood bubblers on all trees and palms. Risers shall be painted black with professional quality flat enamel spray paint. No riser shall be installed adjacent to any pedestrian walkway.
10. Location of valves may vary according to the location of the water source and field obstructions. Field adjust zones as necessary.
11. Contractor shall determine locations of all underground utilities and improvements prior to start of work on-site. Coordinate with General Contractor and Site Lighting Contractor for installation of proposed lighting and electrical conduits. The Irrigation Contractor shall be responsible for the immediate repair of any damage caused by his work. The Irrigation Contractor shall bear sole responsibility for any and all damage that results from his activities due to improper verification of utilities and/or operator error during excavations, see related civil plans for additional information.
12. Irrigation Contractor shall obtain any and all permits required by governing agencies. Submit copies of permits to owner's construction representative. Irrigation Contractor shall be properly licensed and insured.
13. Adjust sprinkler arc, radii, and trajectory after landscape installation is completed to insure 100% overlap coverage. Install proper nozzle as field conditions require for overlap coverage. Raise or lower sprinkler heads as required after landscape installation.
14. Pipe sizing shall be as indicated on the Irrigation Plan and/or in accordance with good industry practice.
15. Where mainline or lateral lines are covered by paving, a schedule 40 PVS sleeve shall be installed with the specified lateral line and stubbed up with end caps as shown in detail. Sleeve size shall be two times larger (I.D.) than the size of the lateral line "wet pipe" size indicated on the plans.
16. All mainlines shall be buried a minimum of 18" below finish grade. Mainline shall be buried a minimum of 24" at road crossings. All lateral lines shall be buried a minimum depth of 12" below finish grade. Install mainline in some trench as lateral lines where possible.
17. All pop-up sprinkler heads shall be installed on 1/2" or 3/4" by 18" spears flex pipe connection. Flex pipe cement shall be used on all connections between flexible PVC and rigid PVC.
18. All electric valves are to be installed below grade in Amex valve boxes or equal. All wire splices shall be made in valve boxes using Rainbird "snap tit" wire splice kits and sealant.
19. All zones are based on approximately 25-30 GPM at 30 PSI. Irrigation Contractor to verify and notify Landscape Architect of any discrepancies.
20. Irrigation contractor shall provide "as built" for review by Landscape Architect.
21. Irrigation system shall be installed for efficient and effective use of water to the landscape area in accordance with all local codes/ordinances including the new "Water Efficient Landscaping Regulations."

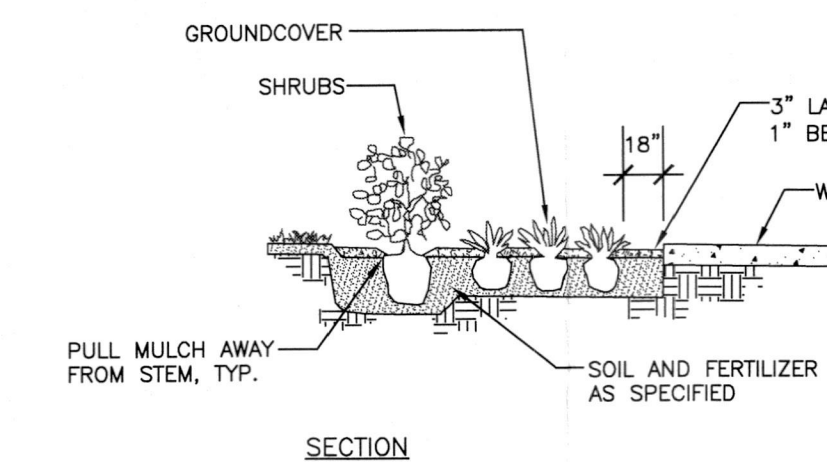


TPY. CURB AND GUTTER

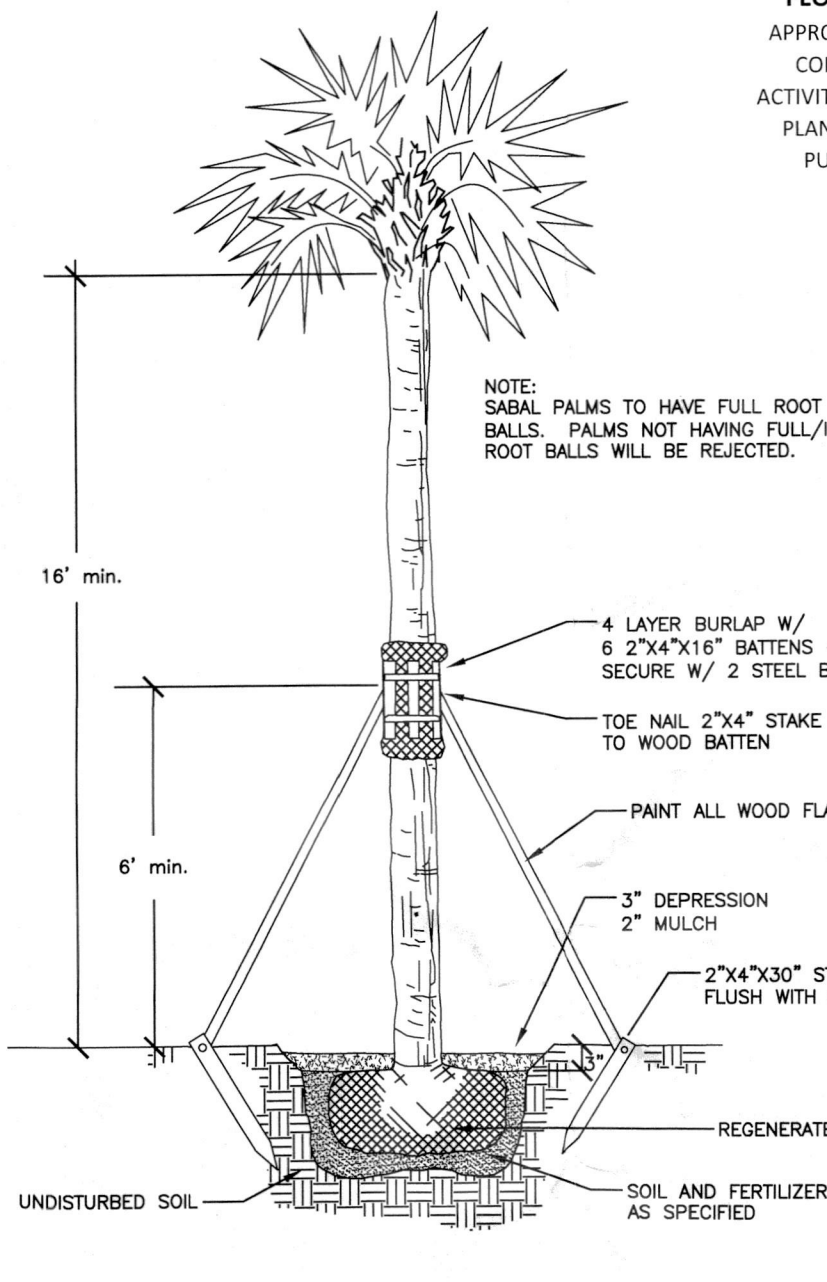
PLAN

NOTE: MATURE GROWTH NOT TO OVERLAP WALKS, STRUCTURES, LAWN, ETC. PLANT ACCORDING TO SPECIES GROWTH HABIT.

NOTE: DISTANCE BETWEEN DIFFERENT PLANT TYPES SHOULD ALLOW FOR GROWTH TO MATURE SIZE.



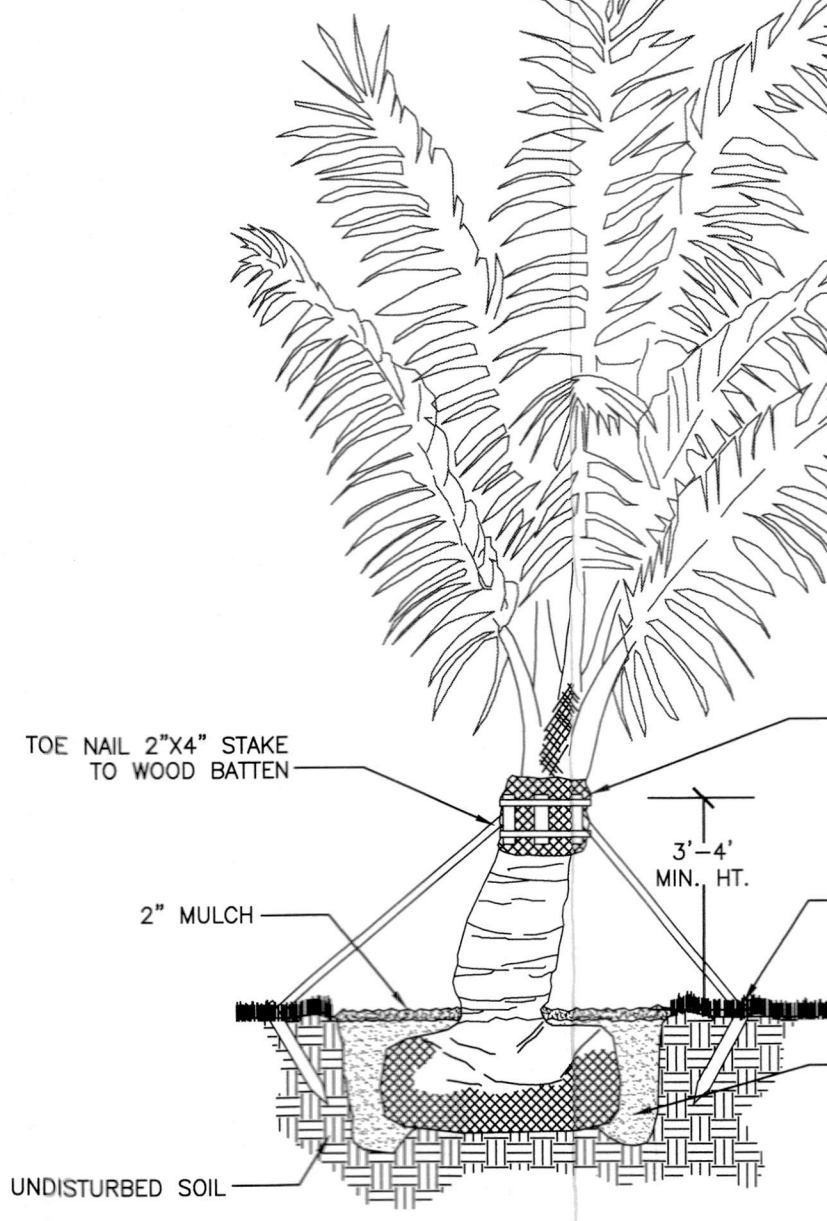
SHRUB AND GROUNDCOVER PLANTING



HEADED AND ROOT REGENERATED SABAL PALM

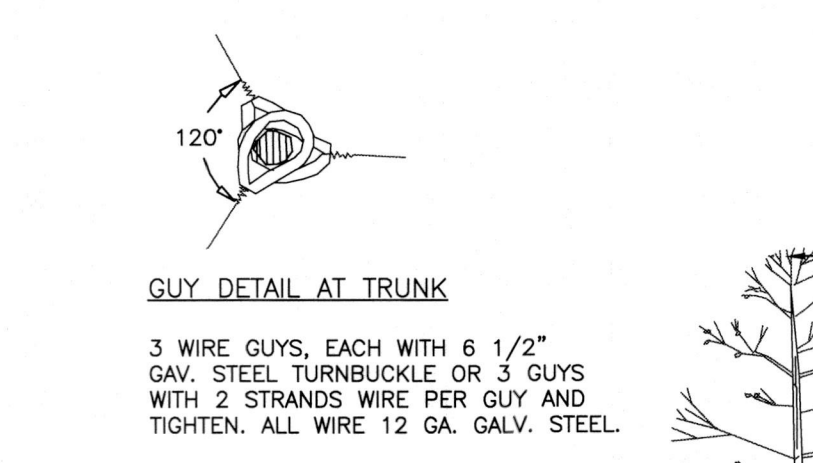
TYPICAL PALM STAKING

NOT TO SCALE



COCONUT PALM STAKING

NOT TO SCALE



GUY DETAIL AT TRUNK

3 WIRE GUYS, EACH WITH 6 1/2" GALV. STEEL TURNBUCKLE OR 3 GUYS WITH 2 STRANDS WIRE PER GUY AND TIGHTEN. ALL WIRE 12 GA. GALV. STEEL.

8" LONG WHITE SURVEYOR'S FLAGGING TAPE, 1/GUY OR FLOURESCENT TAPE WIRE.

2'X2'X36" MIN. STAKE.

FORM SAUCER

MULCH TYPE AND DEPTH AS SPECIFIED

FINISH GRADE

UNDISTURBED SOIL

SOIL AND FERTILIZER AS SPECIFIED

TREE SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT HAD TO PREVIOUS EXISTING GRADE.

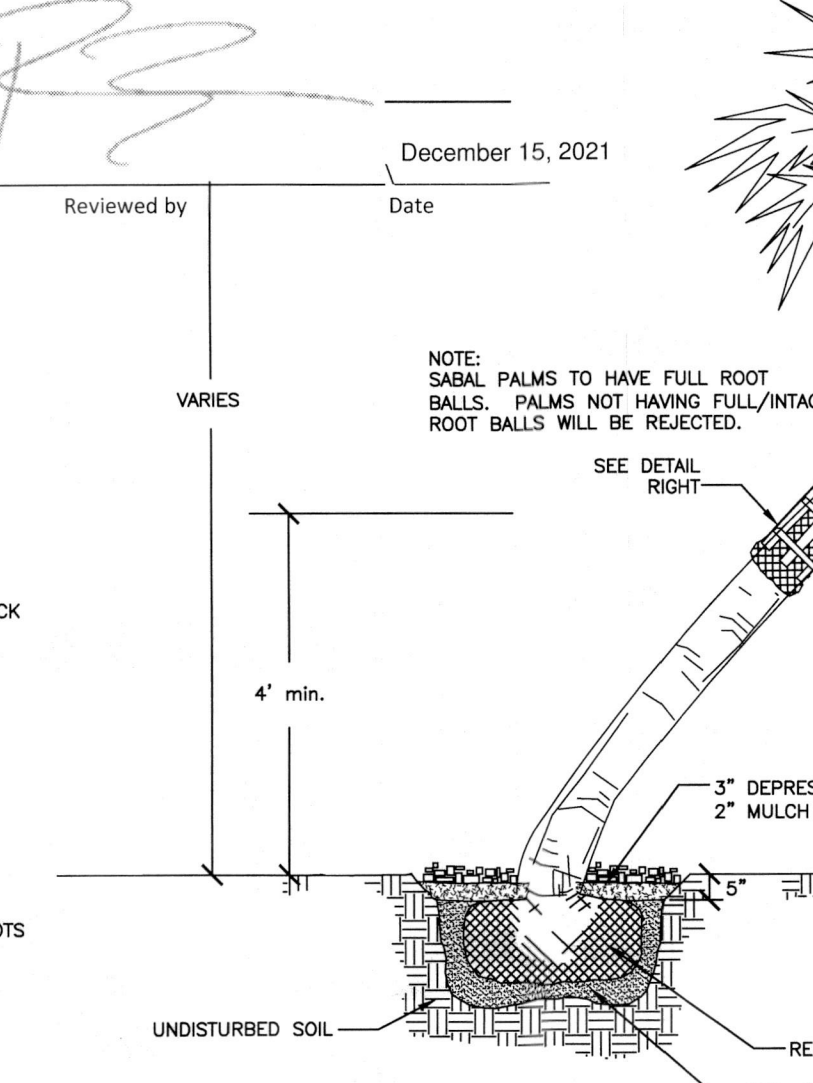
TREE PLANTING, STAKING AND PRUNING

APPROVED PLAN AS PERMITTED SCALE

BY THE DIVISION OF WATER RESOURCE MANAGEMENT

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

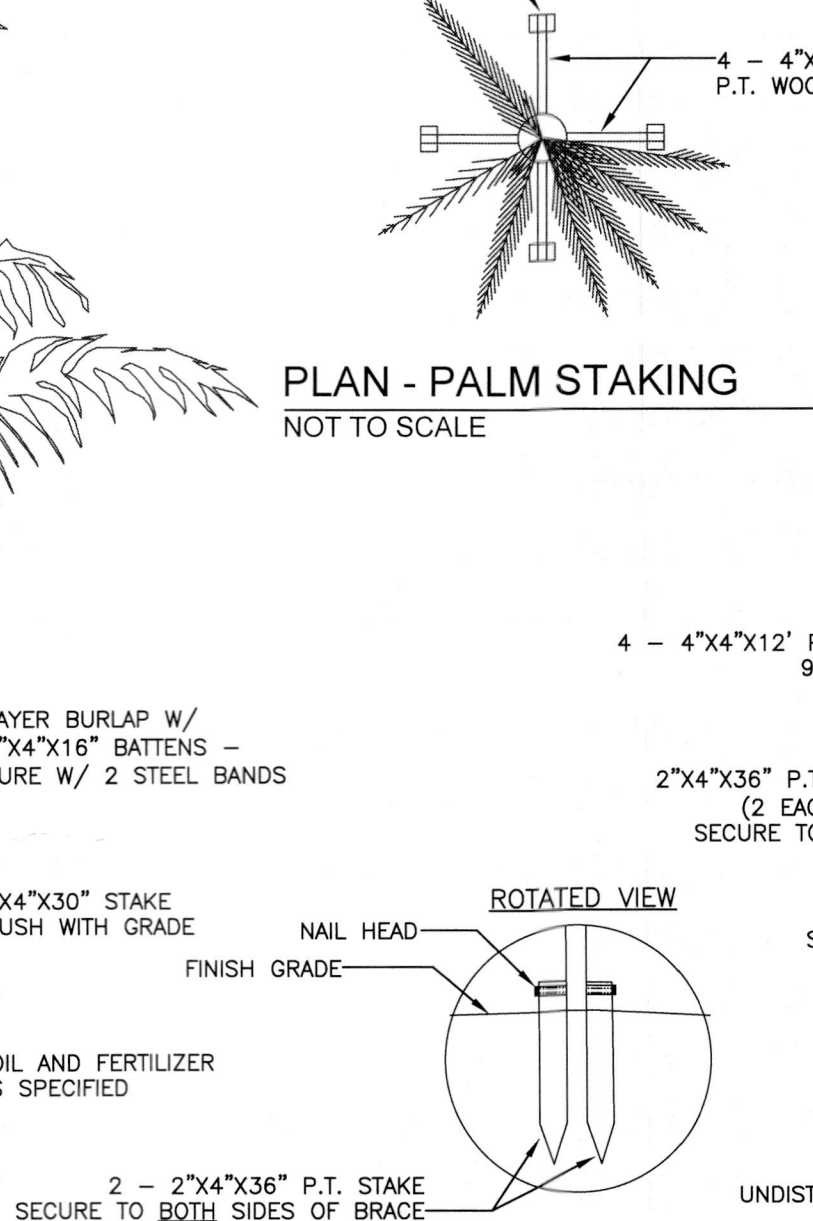
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HEADED AND ROOT REGENERATED SABAL PALM

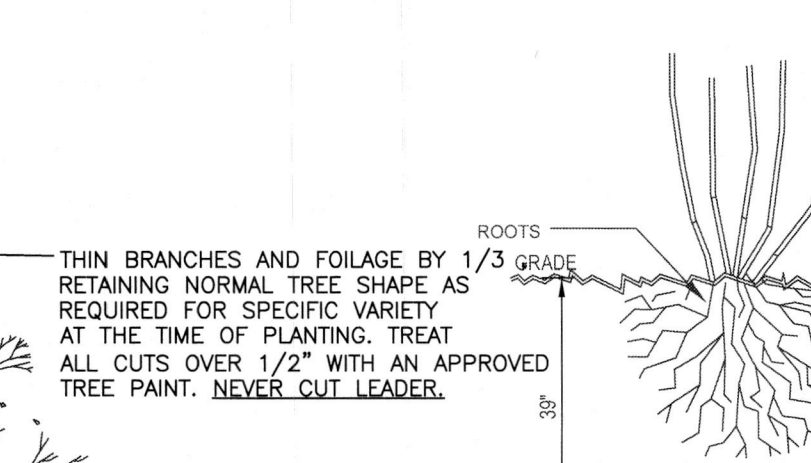
TYPICAL PALM STAKING - W/ CHARACTER

NOT TO SCALE



COCONUT PALM STAKING

NOT TO SCALE



THIN BRANCHES AND FOLIAGE BY 1/3 GRADE RETAINING NORMAL TREE SHAPE AS REQUIRED FOR SPECIFIC VARIETY AT THE TIME OF PLANTING. TREAT ALL CUTS OVER 1/2" WITH AN APPROVED TREE PAINT. NEVER CUT LEADER.

ROOTS

ROOTS BY 1/3 GRADE

TYNAR BIOBARRIER, 30" INSTALLED VERTICALLY AROUND ALL SIDES OF PLANTING AREAS AS INDICATED

BACKFILL

NOT TO SCALE

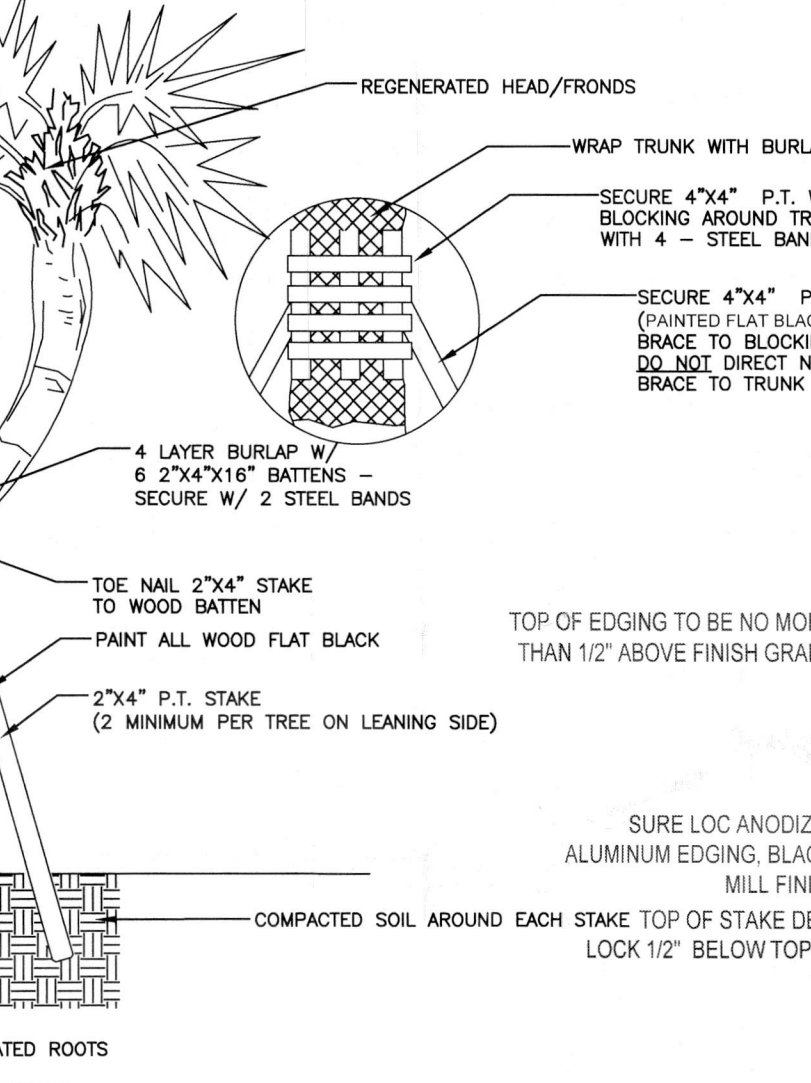
TREE PLANTING, STAKING AND PRUNING

APPROVED PLAN AS PERMITTED SCALE

BY THE DIVISION OF WATER RESOURCE MANAGEMENT

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

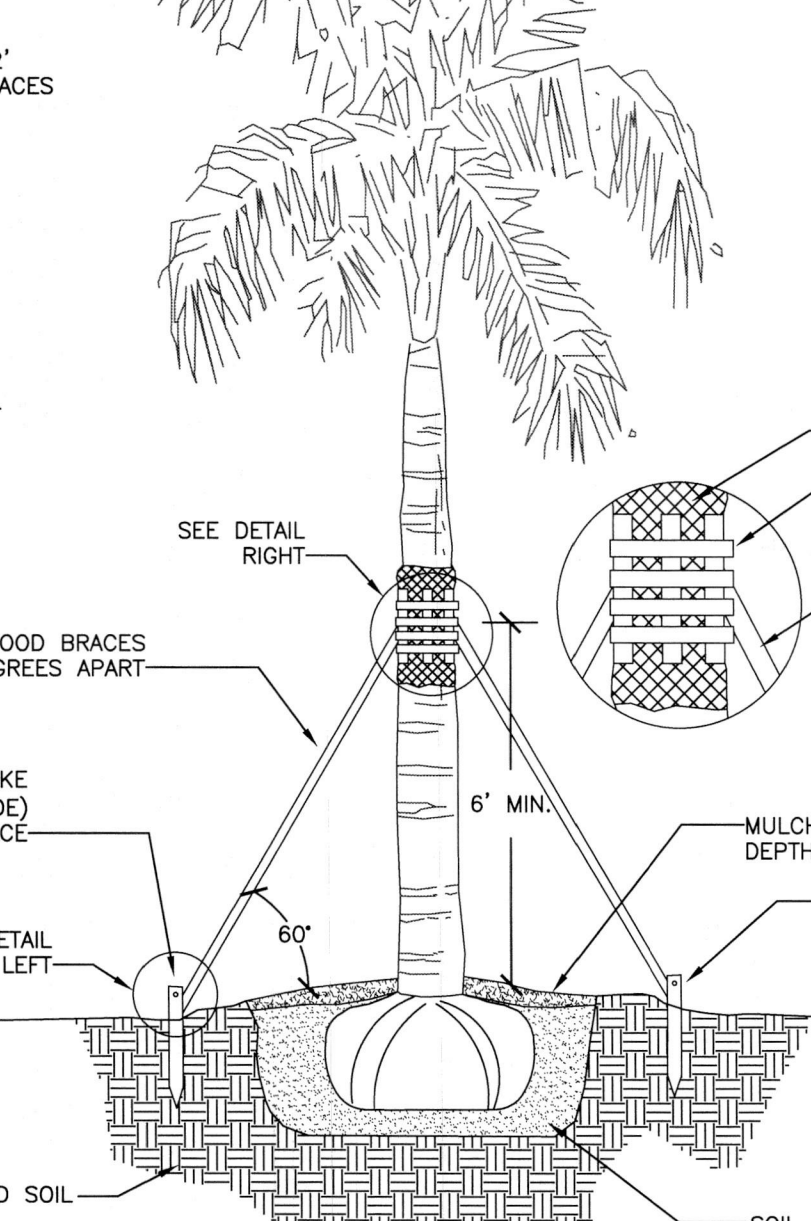
APPROVED CONSTRUCTION AND ANY OTHER AUTHORIZED ACTIVITIES MUST COMPLY WITH ALL CONDITIONS OF THE PERMIT. CONSTRUCTION AND ACTIVITIES ARE STRICTLY LIMITED TO THOSE BOTH SHOWN ON THE APPROVED PLANS AND LISTED IN THE PROJECT DESCRIPTION. THIS PERMIT IS ISSUED PURSUANT TO CH. 161, F.S. AND OTHER PERMITS MAY BE REQUIRED.



HEADED AND ROOT REGENERATED SABAL PALM

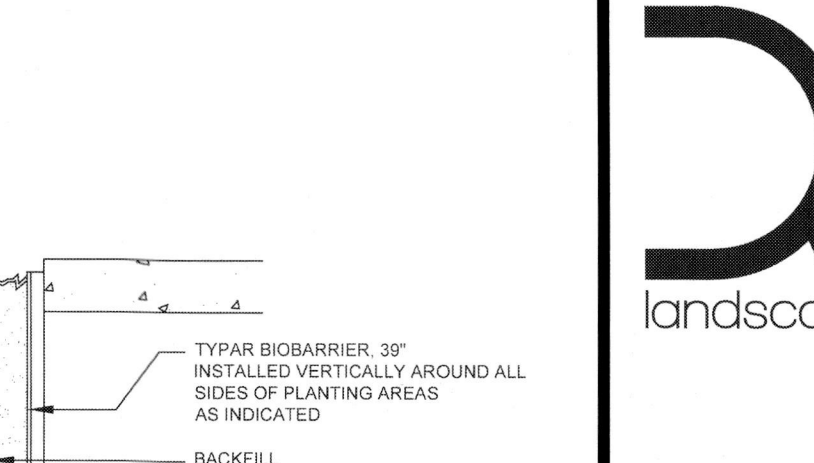
TYPICAL PALM STAKING - W/ CHARACTER

NOT TO SCALE



COCONUT PALM STAKING

NOT TO SCALE



THIN BRANCHES AND FOLIAGE BY 1/3 GRADE RETAINING NORMAL TREE SHAPE AS REQUIRED FOR SPECIFIC VARIETY AT THE TIME OF PLANTING. TREAT ALL CUTS OVER 1/2" WITH AN APPROVED TREE PAINT. NEVER CUT LEADER.

ROOTS

ROOTS BY 1/3 GRADE

TYNAR BIOBARRIER, 30" INSTALLED VERTICALLY AROUND ALL SIDES OF PLANTING AREAS AS INDICATED

BACKFILL

NOT TO SCALE

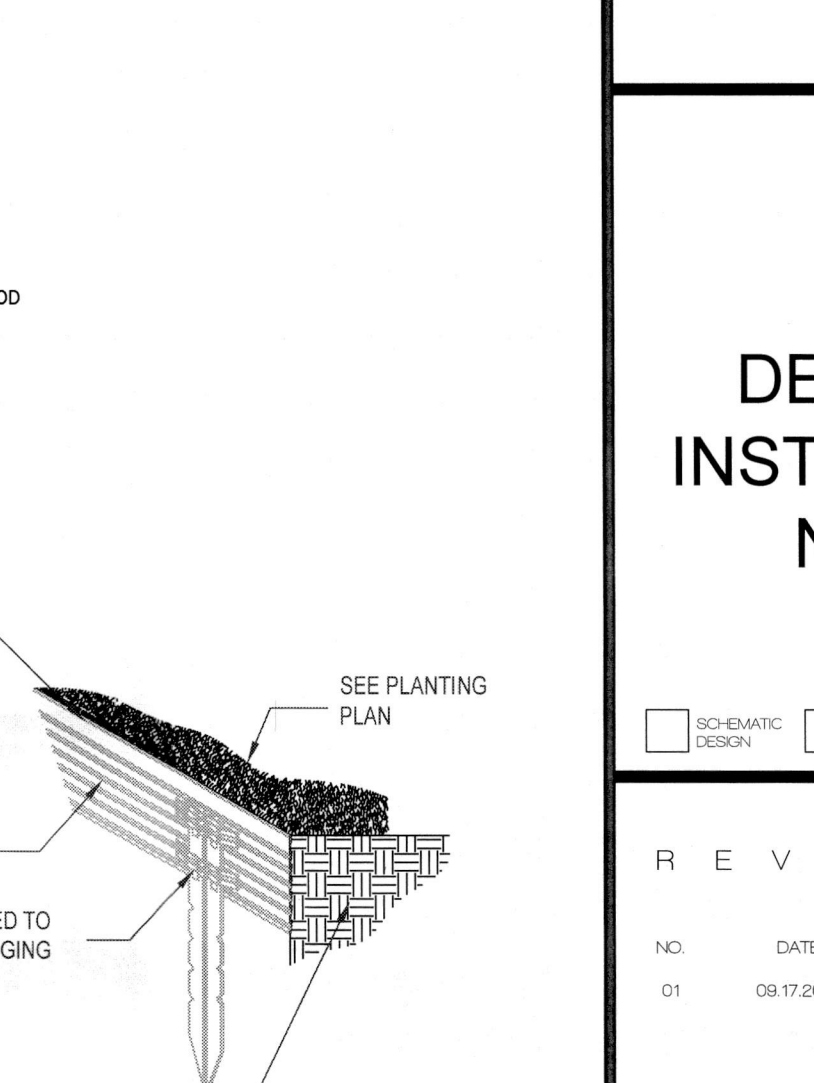
TREE PLANTING, STAKING AND PRUNING

APPROVED PLAN AS PERMITTED SCALE

BY THE DIVISION OF WATER RESOURCE MANAGEMENT

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

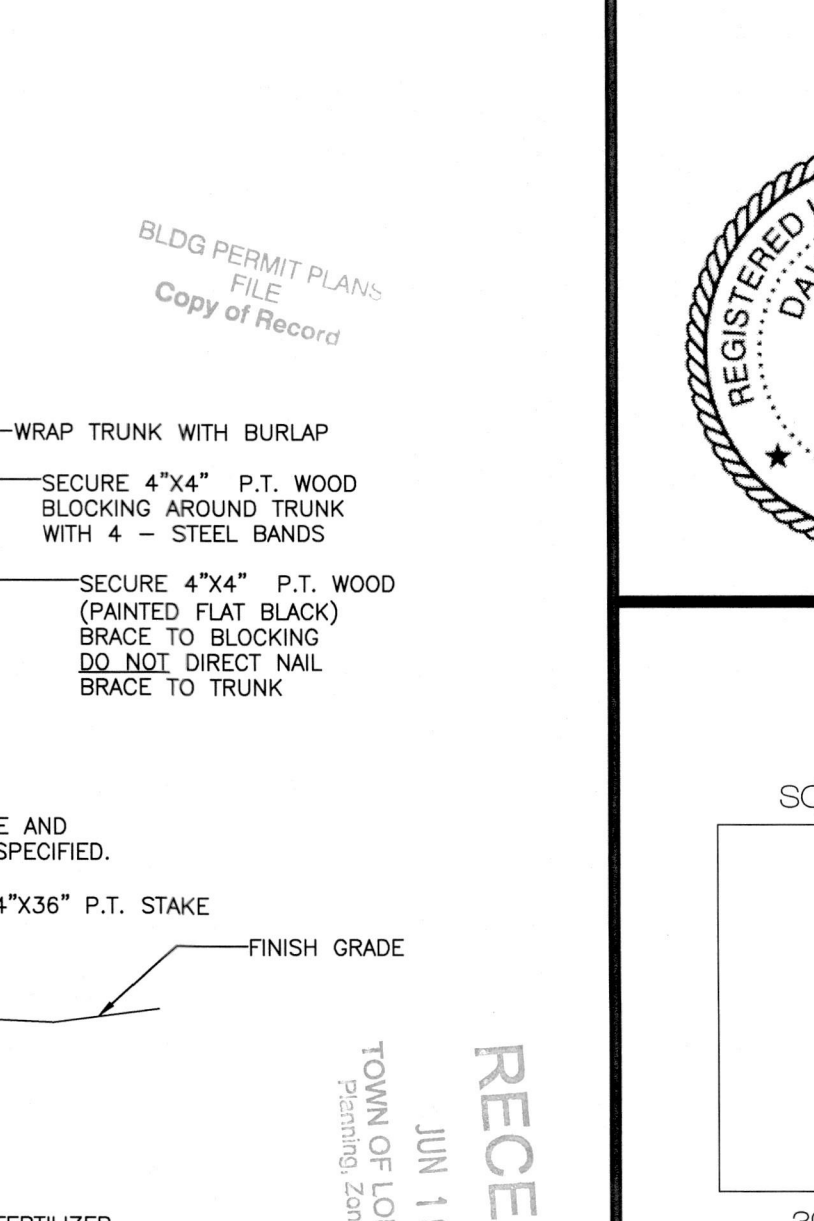
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HEADED AND ROOT REGENERATED SABAL PALM

TYPICAL PALM STAKING - W/ CHARACTER

NOT TO SCALE



COCONUT PALM STAKING

NOT TO SCALE

RECEIVED

September 24, 2021

DIVISION OF WATER

RESOURCE MANAGEMENT

ST-2104 M1



1350 5th Street, Unit 004
Sarasota, FL 34236
Tel. 941.365.6530
Fax. 341.855.4986
FL 0001649 LC 0000372
dwy.la.com

SEA GATE
CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

100% CD

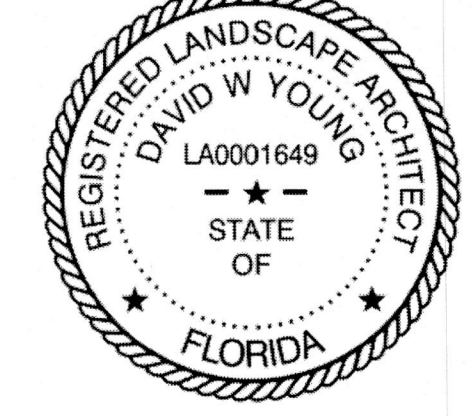
DETAILS & INSTALLATION NOTES

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO. DATE DESCRIPTION

01 08.17.2021 FDEP PERMIT COMMENTS



SCALE: N.T.S.

L-4.0

30 JUNE 2021

RECEIVED

JUN 15 2022

TOWN OF LONGBOAT KEY

Planning, Zoning & Building



1350 5th Street, Unit 004
Sarasota, FL 34236
Tel. 941.365.6530
Fax. 341.855.4986
FL 0001849 LC 0000372
dwyla.com

SEA GATE CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

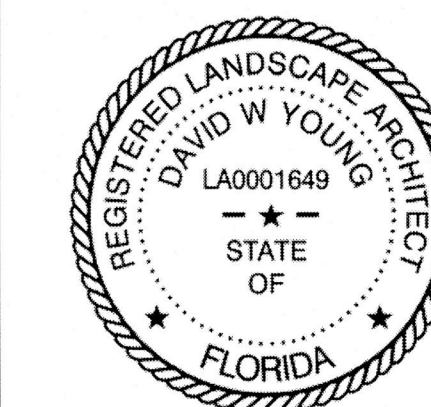
100% CD

IRRIGATION PLAN

☐ SCHEMATIC DESIGN ☐ DESIGN DEVELOPMENT ☒ CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
01	08.17.2021	RDOP PERMIT COMMENTS



BLDG PERMIT PLANS
FILE
Copy of Record



SCALE: 1/16" = 1'-0"

L-5.0

30 JUNE 2021

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September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1

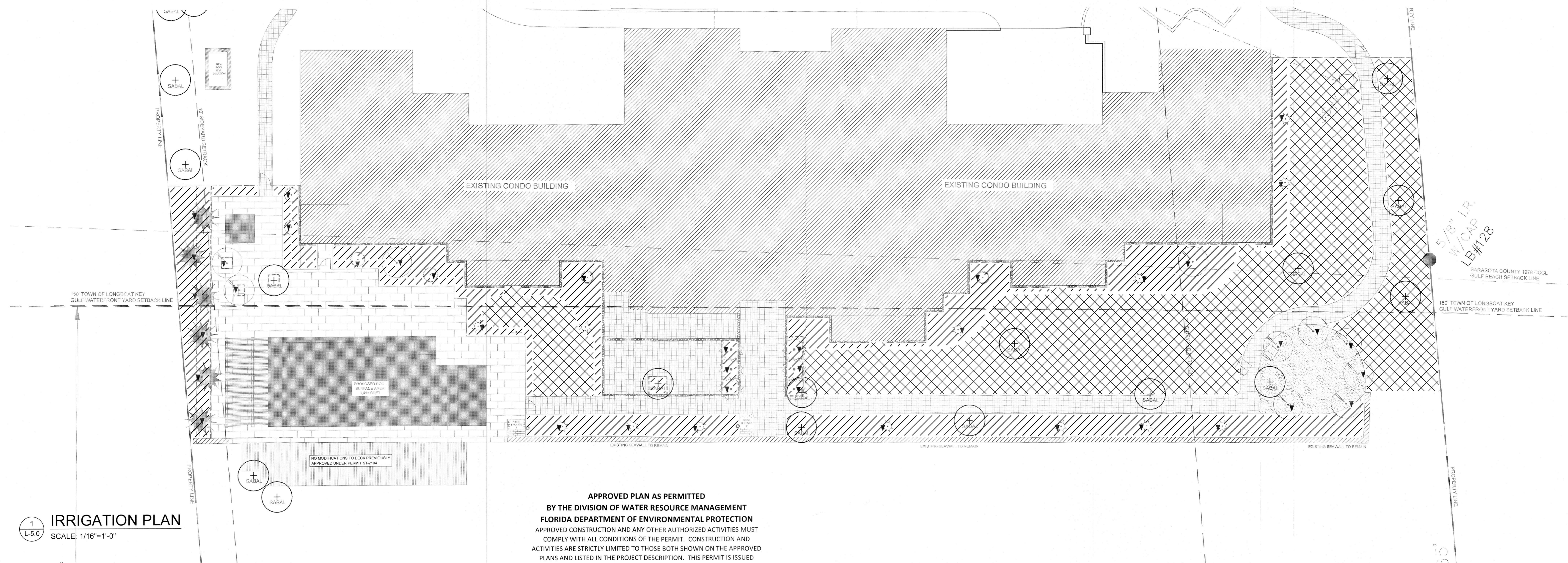
RECEIVED
JUN 16 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SYMBOL LEGEND:

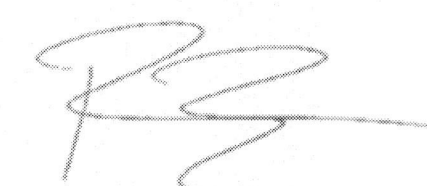
TURF - ROTOR SPRAY IRRIGATION AS APPROPRIATE

SHRUB & GROUND COVER - DRIP IRRIGATION
(FIELD VERIFY SF)

TREE / PALM - FLOOD BUBBLER (PER PLAN)
1 PER NEW/RELOCATED TREE/PALM
2 PER ROYAL PALM



APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
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Reviewed by  Date December 15, 2021

IRRIGATION INSTALLATION/MODIFICATION NOTES

- IRRIGATION CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL CONDITIONS AND DIMENSIONS AS SHOWN ON THE PLANS PRIOR TO SUBMISSION OF BID. THE PLANS ARE SCHEMATIC AND THE CONTRACTOR SHALL DETERMINE AND AND ALL NECESSARY MATERIALS AND LABOR NEEDED TO MEET THE INTENT OF THE DRAWINGS.
- IRRIGATION CONTRACTOR SHALL PROVIDE A FULLY OPERATIONAL IRRIGATION SYSTEM FOR 100% OVERLAP COVERAGE OF ALL NEW LANDSCAPE AND TURF AREAS AS INDICATED ON THE LANDSCAPE AND IRRIGATION PLANS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL PIPING AND WIRE TAKE-OFFS. THE IRRIGATION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL FITTINGS AND CONNECTIONS AT THE WATER SOURCE. ALL PIPE AND FITTINGS SHALL BE SCHEDULE 40 PVC.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR CORRECT FLOW, PRESSURE, SPRAY PATTERN AND COVERAGE OF THE NEW IRRIGATION SYSTEM.
- CONSULT THE OWNER OR GENERAL CONTRACTOR FOR THE LOCATION OF EXISTING ELECTRICALLY OPERATED IRRIGATION CONTROLLER - REUSE IF POSSIBLE. PROVIDE, IF NECESSARY, WALL MOUNTED CONTROLLER NEAR AVAILABLE ELECTRIC OUTLET, OR AS SPECIFIED BY THE IRRIGATION PLAN. COORDINATE OPERATION OF THE CONTROLLER FOR PROPER ZONE SEQUENCING AND OPTIMUM WATERING TIME. REVIEW OPERATION OF CONTROLLER WITH OWNER.
- TURFGRASS AREAS, ANNUAL FLOWER BEDS, AND VEGETABLE GARDENS SHALL BE IRRIGATED ON SEPARATE IRRIGATION ZONES FROM TREE, SHRUB AND GROUND COVER AREAS.
- IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWING SHOWING ALL PROPOSED HEAD PIPING LAYOUT WITH WATER INFO FOR REVIEW BY LA.
- ALL IRRIGATION HEADS SHALL BE PLACED A MINIMUM OF 6" AWAY FROM ALL WALKWAYS, DRIVEWAYS, AND WALLS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO SEE THAT FULL AND ADEQUATE WATER COVERAGE OCCURS IN ALL IRRIGATED AREAS. ADJUST THE RADIUS OF SPRAY AS NECESSARY.

- WHERE EXISTING ZONES ARE EXTENDED OR ADDED TO, IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BE SURE THERE IS ADEQUATE PRESSURE AND SUFFICIENT VOLUME OF WATER TO EXTEND THE ZONE LINE. TURF AREAS SHALL ALWAYS BE ZONED SEPERATE FROM BED ZONES. THEREFORE, TURF ZONES SHALL NOT BE ADDED ON TO EXISTING BED ZONES AND BED ZONES SHALL NOT BE ADDED TO EXISTING TURF ZONES. ALL NEW ZONES SHALL ALSO BE SEPERATE.
- USE 12" POP-UPS IN ALL GROUND COVER AREAS, 6" POP-UPS IN ALL TURF AREAS, SPRAY HEADS ON BLACK PVC RISERS IN ALL SHRUB AREAS, AND FLOOD BUBBLERS ON ALL TREES AND PALMS. RISERS SHALL BE PAINTED BLACK WITH PROFESSIONAL QUALITY FLAT ENAMEL SPRAY PAINT. NO RISER SHALL BE INSTALLED ADJACENT TO ANY PEDESTRIAN WALKWAY.
- CONTRACTOR SHALL DETERMINE LOCATIONS OF ALL UNDERGROUND UTILITIES AND IMPROVEMENTS PRIOR TO START OF WORK ON-SITE. COORDINATE WITH GENERAL CONTRACTOR AND SITE LIGHTING CONTRACTOR FOR INSTALLATION OF PROPOSED LIGHTING AND ELECTRICAL CONDUITS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. THE IRRIGATION CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY AND ALL DAMAGE THAT RESULTS FROM HIS ACTIVITIES DUE TO IMPROPER VERIFICATION OF UTILITIES AND/OR OPERATOR ERROR DURING EXCAVATIONS, SEE RELATED CIVIL PLANS FOR ADDITIONAL INFORMATION.
- IRRIGATION CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY GOVERNING AGENCIES. SUBMIT COPIES OF PERMITS TO OWNER'S CONSTRUCTION REPRESENTATIVE. IRRIGATION CONTRACTOR SHALL BE PROPERLY LICENSED AND INSURED.
- ADJUST SPRINKLER ARC, RADII, AND TRAJECTORY AFTER LANDSCAPE INSTALLATION IS COMPLETED TO INSURE 100% OVERLAP COVERAGE. INSTALL PROPER NOZZLE AS FIELD CONDITIONS REQUIRE FOR OVERLAP COVERAGE. RAISE OR LOWER SPRINKLER HEADS AS REQUIRED AFTER LANDSCAPE INSTALLATION.
- WHERE MAINLINE OR LATERAL LINES ARE COVERED BY PAVING, A SCHEDULE 40 PVS SLEEVE SHALL BE INSTALLED WITH THE SPECIFIED LATERAL LINE AND STUBBED UP WITH END CAPS AS SHOWN IN DETAIL. SLEEVE SIZE SHALL BE TWO TIMES LARGER (I.D.) THAN THE SIZE OF THE LATERAL LINE 'WET PIPE' SIZE INDICATED ON THE PLANS.
- ALL MAINLINES SHALL BE BURIED A MINIMUM OF 18" BELOW FINISHED GRADE. MAINLINE SHALL BE BURIED A MINIMUM OF 24" AT ROAD CROSSINGS. ALL LATERAL LINES SHALL BE BURIED A MINIMUM DEPTH OF 12" BELOW FINISH GRADE. INSTALL MAINLINE IN SAME TRENCH AS LATERAL LINES WHERE POSSIBLE.

- ALL ELECTRIC VALVES ARE TO BE INSTALLED BELOW GRADE IN AMEX VALVE BOXES OR EQUAL. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING RAINBIRD 'SNAP TITE' WIRE SPLICE KITS AND SEALANT.
- WHERE NECESSARY OR REQUIRED, AN APPROPRIATE BACKFLOW PREVENTOR IS TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES, AND PLACED 12" ABOVE THE HIGHEST IRRIGATION HEAD ON THE SITE. INSTALL SHUT-OFF VALVE FOR THE ENTIRE SYSTEM BETWEEN WATER METER AND BACKFLOW PREVENTOR.
- IRRIGATION CONTRACTOR SHALL PROVIDE "AS BUILT" FOR REVIEW BY LANDSCAPE ARCHITECT.
- IRRIGATION SYSTEM SHALL BE INSTALLED FOR EFFICIENT AND EFFECTIVE USE OF WATER TO THE LANDSCAPE AREA IN ACCORDANCE WITH ALL LOCAL CODES.
- ALL NEW ELECTRIC VALVES ARE TO BE INSTALLED BELOW GRADE IN AMTEX VALVE BOXES OR EQUAL.

APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
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Reviewed by _____ Date December 15, 2021

1 LIGHTING PLAN

SCALE: 1/16"=1'-0"

E3-M



The E3-M is a small marker fixture with a minimal 2.19" (56mm) footprint. Fixture can be used in masonry or wood applications.

Construction Solid brass trim with brass cylindrical lamp compartment. PVC outer housing with brass splice box.

Lens Frosted, cylindrical, borosilicate glass helps to diffuse light evenly. Tempered soda lime glass seals lamp compartment below.

Voltage 12 Volts AC. Remote transformer required.

Mounting Wall-mount installation, in wood or masonry, for indoor or outdoor applications. No mounting accessory is needed for core drill applications. Optional Deck Mount accessory allows for adaptation to wood deck of varying thicknesses. Optional brass Conduit Fitting features two side and one bottom 1/2" NPT threaded holes for remote splicing and/or applications with limited depth. Concrete Form Kit secures the fixture Housing vertically or horizontally in a form for installation in new concrete. Trim and lamp compartment are friction-fit into sleeve using o-rings, eliminating the need for visible fasteners.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED module, 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Mounting Accessories (None needed for Core Drill Applications)

CF Conduit Fitting (Limited Depth/Remote Splice)

CFK Concrete Form Kit

DM Deck Mount adapter ring for wooden decks

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

E3-M FOUR-SECTOR ILLUMINATION (STANDARD)

E3-M-OP TWO SECTOR OPPOSITE

E3-M-1 SINGLE SECTOR

E3-M-2 TWO SECTOR

IP 67

CSA Listed, file #190030

10 year fixture warranty

5 year LED module warranty

3 year MR11 LED lamp warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E3-M-2—2W-A-MR11-SP—DM)

E3-M _____ Lamp / Beam _____ Accessory _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2020

E8-H



The E8-H is an unobtrusive, low-voltage, hanging fixture. Its minimalist design brings attention to the lamp's effect, not to the fixture itself. The E8-H takes advantage of LED modules that can produce 10°-120° beam spreads with just a simple change of our line of field-serviceable optics.

Construction All brass components. 1/8" [3mm] thick brass housing.

Lens Tempered soda lime glass.

Mounting Supplied with 20' stainless steel cable, 36" lead wire, and 1/2" male fitting for mounting accessory. Or the cable can be removed and the fixture hung directly by its loop.

Voltage 12 Volts AC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Optical Accessories (None needed for Core Drill Applications)

FR8 Frosted lens

HL8 Honeycomb louver, 1/8" [3mm] thick

PR8 Prismatic spread lens

RT8 Rectilinear spread lens

Mounting Accessories (None needed for Core Drill Applications)

CMK Catenary cable mounting kit

TDM1 Brass tree/deck mount with stainless steel screws

TDM2S Brass tree mount with nylon strap (48, 72, or 96")

TDM3-HANG Brass low-profile deck/wall mount—for hanging fixtures

TDM4-HANG Brass low-profile tree mount with notch for wire—for hanging fixtures

TMJB Brass tree-mounted junction box, single fixture mount, stainless steel strap (48, 72, or 96")

TMJBX Brass tree-mounted junction box, single fixture mount, stainless steel screws

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

Weight: 1.2 lbs. [0.5 kg]

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

CSA Listed, file #190030

10 year fixture warranty

5 year Cree LED module warranty

10 year MR11 LED lamp warranty

5 year Cree LED module warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

E3-M



The E3-M is a small marker fixture with a minimal 2.19" (56mm) footprint. Fixture can be used in masonry or wood applications.

Construction Solid brass trim with brass cylindrical lamp compartment. PVC outer housing with brass splice box.

Lens Frosted, cylindrical, borosilicate glass helps to diffuse light evenly. Tempered soda lime glass seals lamp compartment below.

Voltage 12 Volts AC. Remote transformer required.

Mounting Wall-mount installation, in wood or masonry, for indoor or outdoor applications. No mounting accessory is needed for core drill applications. Optional Deck Mount accessory allows for adaptation to wood deck of varying thicknesses. Optional brass Conduit Fitting features two side and one bottom 1/2" NPT threaded holes for remote splicing and/or applications with limited depth. Concrete Form Kit secures the fixture Housing vertically or horizontally in a form for installation in new concrete. Trim and lamp compartment are friction-fit into sleeve using o-rings, eliminating the need for visible fasteners.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED module, 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Mounting Accessories (None needed for Core Drill Applications)

CF Conduit Fitting (Limited Depth/Remote Splice)

CFK Concrete Form Kit

DM Deck Mount adapter ring for wooden decks

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

E3-M FOUR-SECTOR ILLUMINATION (STANDARD)

E3-M-OP TWO SECTOR OPPOSITE

E3-M-1 SINGLE SECTOR

E3-M-2 TWO SECTOR

IP 67

CSA Listed, file #190030

10 year fixture warranty

5 year LED module warranty

3 year MR11 LED lamp warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E3-M-2—2W-A-MR11-SP—DM)

E3-M _____ Lamp / Beam _____ Accessory _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2020

CSA Listed, file #190030

10 year fixture warranty

5 year Cree LED module warranty

10 year MR11 LED lamp warranty

5 year Cree LED module warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

E8-H



The E8-H is an unobtrusive, low-voltage, hanging fixture. Its minimalist design brings attention to the lamp's effect, not to the fixture itself. The E8-H takes advantage of LED modules that can produce 10°-120° beam spreads with just a simple change of our line of field-serviceable optics.

Construction All brass components. 1/8" [3mm] thick brass housing.

Lens Tempered soda lime glass.

Mounting Supplied with 20' stainless steel cable, 36" lead wire, and 1/2" male fitting for mounting accessory. Or the cable can be removed and the fixture hung directly by its loop.

Voltage 12 Volts AC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Optical Accessories (None needed for Core Drill Applications)

FR8 Frosted lens

HL8 Honeycomb louver, 1/8" [3mm] thick

PR8 Prismatic spread lens

RT8 Rectilinear spread lens

Mounting Accessories (None needed for Core Drill Applications)

CMK Catenary cable mounting kit

TDM1 Brass tree/deck mount with stainless steel screws

TDM2S Brass tree mount with nylon strap (48, 72, or 96")

TDM3-HANG Brass low-profile deck/wall mount—for hanging fixtures

TDM4-HANG Brass low-profile tree mount with notch for wire—for hanging fixtures

TMJB Brass tree-mounted junction box, single fixture mount, stainless steel strap (48, 72, or 96")

TMJBX Brass tree-mounted junction box, single fixture mount, stainless steel screws

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

Weight: 1.2 lbs. [0.5 kg]

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

CSA Listed, file #190030

10 year fixture warranty

5 year Cree LED module warranty

10 year MR11 LED lamp warranty

5 year Cree LED module warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

E3-M



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Construction Solid brass trim with brass cylindrical lamp compartment. PVC outer housing with brass splice box.

Lens Frosted, cylindrical, borosilicate glass helps to diffuse light evenly. Tempered soda lime glass seals lamp compartment below.

Voltage 12 Volts AC. Remote transformer required.

Mounting Wall-mount installation, in wood or masonry, for indoor or outdoor applications. No mounting accessory is needed for core drill applications. Optional Deck Mount accessory allows for adaptation to wood deck of varying thicknesses. Optional brass Conduit Fitting features two side and one bottom 1/2" NPT threaded holes for remote splicing and/or applications with limited depth. Concrete Form Kit secures the fixture Housing vertically or horizontally in a form for installation in new concrete. Trim and lamp compartment are friction-fit into sleeve using o-rings, eliminating the need for visible fasteners.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED module, 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Mounting Accessories (None needed for Core Drill Applications)

CF Conduit Fitting (Limited Depth/Remote Splice)

CFK Concrete Form Kit

DM Deck Mount adapter ring for wooden decks

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

E3-M FOUR-SECTOR ILLUMINATION (STANDARD)

E3-M-OP TWO SECTOR OPPOSITE

E3-M-1 SINGLE SECTOR

E3-M-2 TWO SECTOR

IP 67

CSA Listed, file #190030

10 year fixture warranty

5 year LED module warranty

3 year MR11 LED lamp warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E3-M-2—2W-A-MR11-SP—DM)

E3-M _____ Lamp / Beam _____ Accessory _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2020

CSA Listed, file #190030

10 year fixture warranty

5 year Cree LED module warranty

10 year MR11 LED lamp warranty

5 year Cree LED module warranty

Drive-over static load rating: 8400-12000 lbs

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

E8-H



The E8-H is an unobtrusive, low-voltage, hanging fixture. Its minimalist design brings attention to the lamp's effect, not to the fixture itself. The E8-H takes advantage of LED modules that can produce 10°-120° beam spreads with just a simple change of our line of field-serviceable optics.

Construction All brass components. 1/8" [3mm] thick brass housing.

Lens Tempered soda lime glass.

Mounting Supplied with 20' stainless steel cable, 36" lead wire, and 1/2" male fitting for mounting accessory. Or the cable can be removed and the fixture hung directly by its loop.

Voltage 12 Volts AC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.

Lamps Triac dimmable: MLV >6% typ., ELV >16% typ.

Cree XPE2 LED 2W-A-SP 2 Watt AMBER spot (1500K)

Triac dimmable >25%

MR11 LED Cree chipset, 2W-A-MR11-SP Watt AMBER spot (1500K)

Optical Accessories (None needed for Core Drill Applications)

FR8 Frosted lens

HL8 Honeycomb louver, 1/8" [3mm] thick

PR8 Prismatic spread lens

RT8 Rectilinear spread lens

Mounting Accessories (None needed for Core Drill Applications)

CMK Catenary cable mounting kit

TDM1 Brass tree/deck mount with stainless steel screws

TDM2S Brass tree mount with nylon strap (48, 72, or 96")

TDM3-HANG Brass low-profile deck/wall mount—for hanging fixtures

TDM4-HANG Brass low-profile tree mount with notch for wire—for hanging fixtures

TMJB Brass tree-mounted junction box, single fixture mount, stainless steel strap (48, 72, or 96")

TMJBX Brass tree-mounted junction box, single fixture mount, stainless steel screws

Finish: Unfinished is standard, no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.

Weight: 1.2 lbs. [0.5 kg]

MADE IN USA

Project _____ By _____ Date _____

For ordering purposes, please specify (example: E8-H—2W-A-SP—TDM2-72—BG8F)

E8-H _____ Lamp _____ Accessory (ies) _____

BEACHSIDE LIGHTING 880-405-6732 • www.BeachsideLighting.com 08/2019

CSA Listed, file #190030

10 year fixture warranty

5 year Cree LED module warranty

10 year MR11 LED lamp warranty

5 year Cree LED module warranty

Drive-over static load rating: 8400-12000 lbs

RECEIVED
September 24, 2021
DIVISION OF WATER
RESOURCE MANAGEMENT
ST-2104 M1



1350 5th Street, Unit 004
Sarasota, FL 34236
Tel. 941.365.6530
Fax. 941.955.4986
FL 0001649 LC 0000372
dwyla.com

SEA GATE
CONDOMINIUM

2425 GULF OF MEXICO DR
LONGBOAT KEY, FL

100% CD

GRADING &
DRAINAGE
PLAN

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
01	09.17.2021	FOR PERMIT COMMENTS

Submit PERMIT PLANS
FILE
Copy of Record

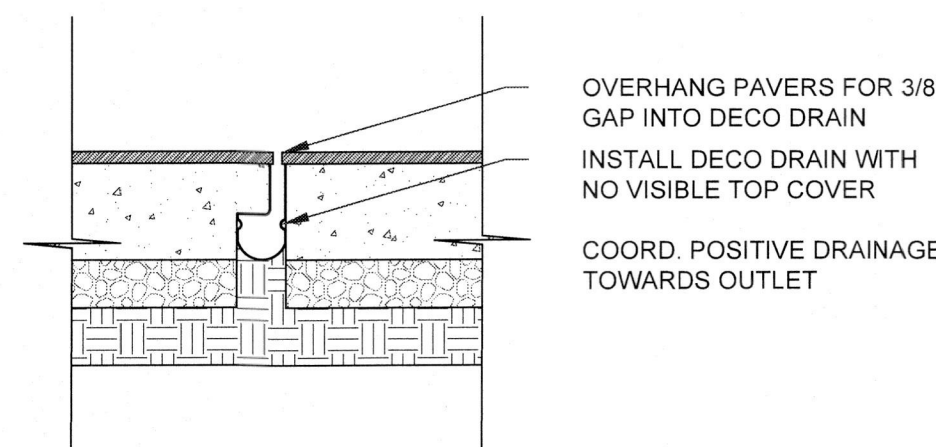


SCALE: 3/32" = 1'-0"

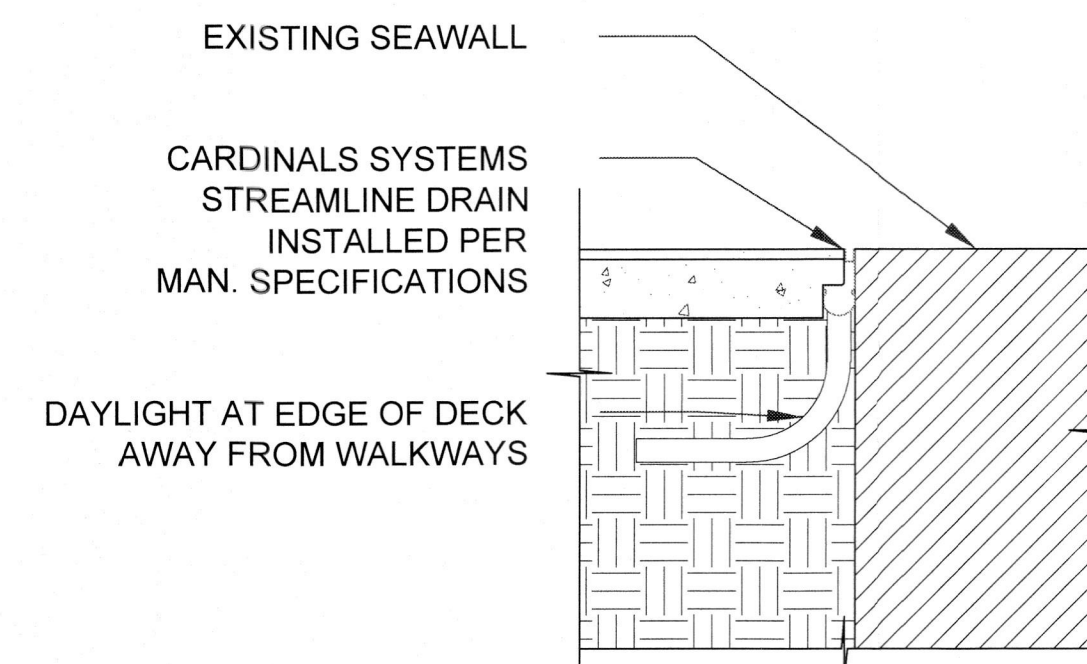
30 JUNE 2021

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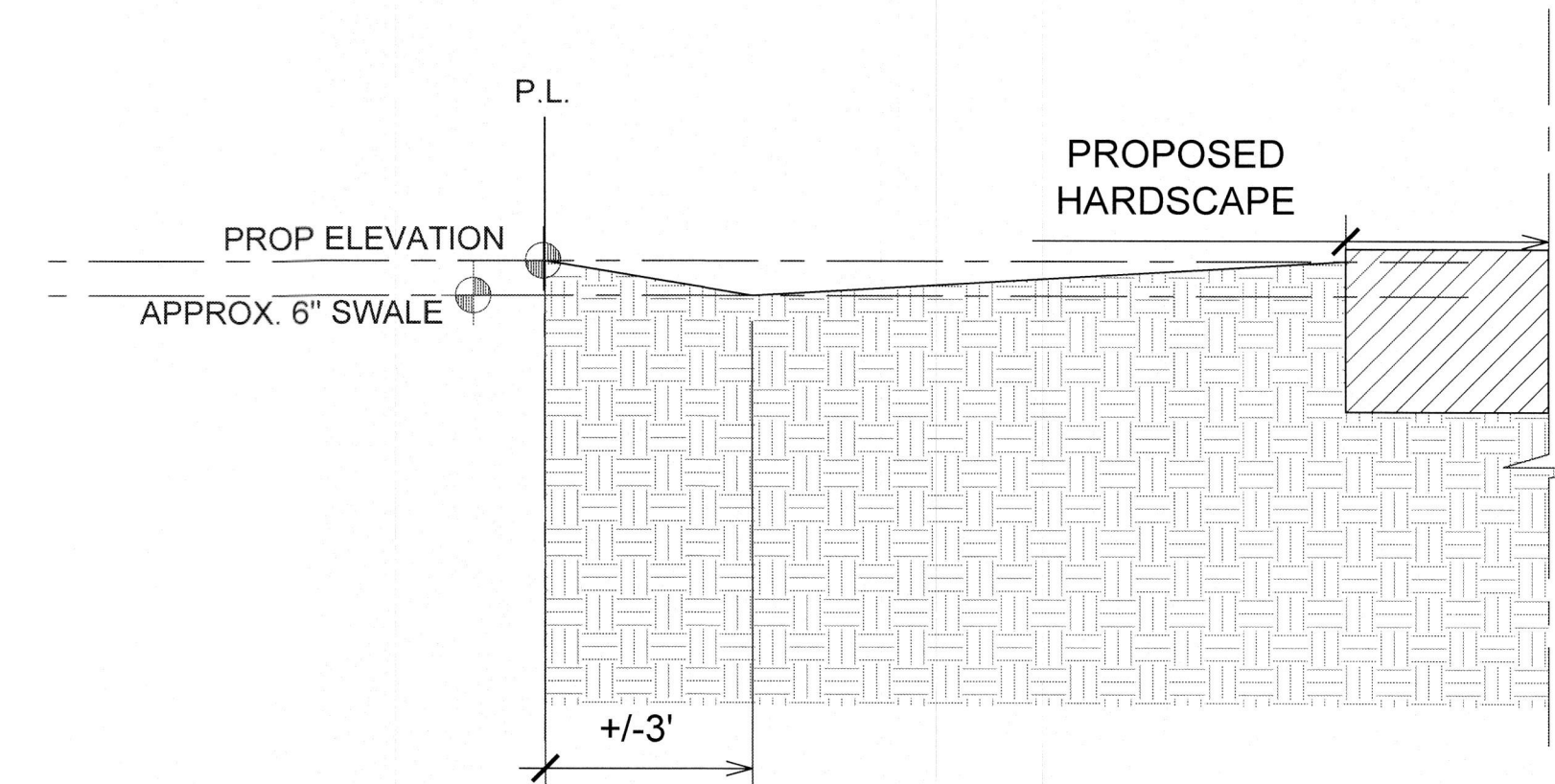
30 JUNE 2021



2 TRENCH DRAIN TYP.
SCALE: 1-1/2"=1'-0"



3 TRENCH DRAIN AT SEAWALL
SCALE: 1"=1'-0"



4 TYP SWALE SECTION
SCALE: 3/8"=1'-0"

APPROVED PLAN AS PERMITTED
BY THE DIVISION OF WATER RESOURCE MANAGEMENT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
APPROVED CONSTRUCTION AND ANY OTHER AUTHORIZED ACTIVITIES MUST
COMPLY WITH ALL CONDITIONS OF THE PERMIT. CONSTRUCTION AND
ACTIVITIES ARE LIMITED TO THOSE SET FORTH IN THE APPROVED
PLANS AND LISTED IN THE PROJECT DESCRIPTION. THIS PERMIT IS ISSUED
PURSUANT TO CH. 161, F.S. AND OTHER PERMITS MAY BE REQUIRED.

December 15, 2021

6.87 TOP OF FINISH POOL BEAM

4" PIPE

6.79

7.25

7.5 FFE

6.69

7.25

7.5 FFE

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1 GRADING AND DRAINAGE PLAN
SCALE: 1/8"=1'-0"

PROPOSED CUT & FILL

EXISTING POOL: 215.6 CUYD

PROPOSED POOL: 212.2 CUYD
POOL FILL DIFF.: 3.4 CUYD

ADDITIONAL FILL: 59.3 CUYD

TOTAL FILL: 62.7 CUYD

ALL FILL MATERIAL SHOULD MEET THE SPECIFICATIONS
AND CRITERIA OF SUBSECTION 62B-33.005(7), F.A.C.,
AND BE CERTIFIED BY A REGISTERED PROFESSIONAL

GENERAL DRAINAGE NOTES:

1. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 6' HORIZONTAL WITHIN THE FIRST FIVE FEET FROM ANY LOT LINE AND SHALL NOT EXCEED 1' VERTICAL TO 4' HORIZONTAL IN ALL OTHER PLACES.
2. ALL SWALES SHALL HAVE A MINIMUM OF 0.2% LONGITUDINAL SLOPE.
3. ALL SWALES SHALL BE A MINIMUM OF 6" DEEP.
4. THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DRAIN TO A DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF ADJOINING PARCELS OF LAND.
5. ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. DOWNSPOUTS SHALL BE AT LEAST 10' AWAY FROM PROPERTY LINE AND DIRECTED AWAY FROM ADJACENT PROPERTY.
7. GRADING SHALL NOT NEGATIVELY IMPACT EXISTING TREES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AND MAY FIELD ADJUST GRADES AS NECESSARY TO SAVE EXISTING TREES WHILE PROVIDING POSITIVE DRAINAGE.
8. CONNECT ALL D.S. AND OTHER ROOF DRAINS TO 4" CORRUGATED PIPE AS INDICATED.
9. FIELD COORDINATE CONDITIONS AS REQUIRED TO MEET EXPRESSED DESIGN INTENT.
10. GENERAL CONTRACTOR TO COORDINATE ALL DRAINAGE COMPONENTS. CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE IN ALL AREAS OF DEVELOPED SITE. CONTRACTOR TO PROVIDE SUPPLEMENTAL DRAINAGE AS NECESSARY TO PREVENT ANY PONDING, EROSION, OR OTHER AS SITE CONDITIONS REQUIRE.
11. THIS PLAN IS DIAGRAMMATIC IN NATURE, TO SHOW THE INTENT OF WATER COLLECTION, DISTRIBUTION, AND FILTRATION.
12. CONTRACTOR TO FIELD VERIFY ROOF DRAIN DOWNSPOUT LOCATIONS AND PROVIDE DRAINAGE EXTENSION W/ BUBBLER BOX AS SHOWN/DETAILED.
13. CONSTRUCTION GRADE TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT IN ADVANCE OF FINISH GRADE.
14. FINISHED GRADE IN PLANTING AREAS TO BE 2" LOWER THAN ADJACENT TOP OF SLAB ELEVATIONS, UNLESS NOTED OTHERWISE.

- DIRECTION OF FLOW AT GRADE
- X.X' EXISTING ELEVATION
- ⊕ X.X' PROPOSED ELEVATION - TOP OF FINISHED SLAB
- (X.X') PROPOSED ELEVATION
- 4" PIPE BUBBLER BOX W/ 4" PIPE - SEE DETAIL TO LEFT
- 4" PIPE TIE INTO ROOF DRAIN/DOWNSPOUT
- PROPOSED ELEV
- EXISTING ELEV

RECEIVED
JUN 15 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

POOL/HOT TUB PIER CAPS

BLDG PERMIT PLANS
FILE
Copy of Record