

2425 Gulf of Mexico Dr.
Sea Gate Condo

#2

A1-B5
B6-C7
C8-C10
C11

Permits
Dune Restoration, carport remodeling
Alteration Apt. 14-D, 11/84
Ltr- Residents to Wurzburg re. Request for zoning change
3-27-89

118

2425 Gulf of Mexico Dr. Sea Gate Condo #2



SMALLY, WELLFORD & NALVEN, INC.
CONSULTING ENGINEERS AND SURVEYORS

133 South McIntosh Road
Mail P. O. Box 4069
Sarasota, Florida 33578
Telephone (813) 371-3690

June 25, 1983

Mr. Albert F. Cox, Jr.
Director of Public Works
Town of Longboat Key
501 Bay Isles Road
Longboat Key, FL

Subject: Sea Gate Club

Our Ref: 55-6 PR

Dear Al:

We have reviewed the plans for the subject project and find them satisfactory. While this major rehabilitation work to raise the parking area and place retention within an underdrain system will be quite an operation for an occupied project, we recommend approval.

The set of plans is being returned to your office.

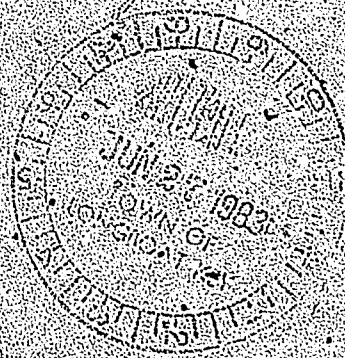
Yours very truly,


Marion Wellford, P.E.

For: SMALLY, WELLFORD & NALVEN, INC.
Consulting Engineer and Surveyors

MW:ba

Enclosures



COUNTY OF SARASOTA

FLORIDA

ENVIRONMENTAL SERVICES DEPARTMENT

COMMISSIONERS

JERRY L. HENTE • DISTRICT 1
JAMES A. GREENWALD • DISTRICT 2
MARRY CARLTON, JR. • DISTRICT 3
JEANNE MC ELMURRAY • DISTRICT 4
ROBERT L. ANDERSON • DISTRICT 5
ED MARONEY • COUNTY ADMINISTRATOR

RUSSELL P. Klier, P.E.
DIRECTOR

June 24, 1983

Mr. Fred H. Heinzman, P.E.
Heinzman Engineering
Post Office Box 10308
Bradenton, FL 34202-0308

Re: Sea Gate Club - Sewer Collection System - Longboat Key

Dear Fred:

We have reviewed the plan for the referenced project. Since the buildings are existing and you are replacing an existing force main with a gravity system, a DER permit is not required.

We find the revised plan dated June 18, 1983 acceptable. Construction may proceed, contingent on approval of the Longboat Key Utility Department.

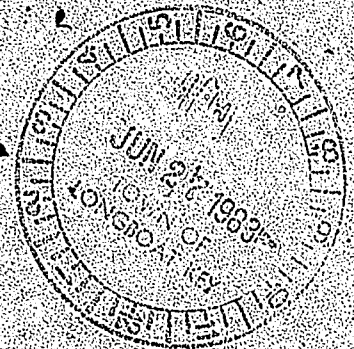
Sincerely,

POLLUTION CONTROL DIVISION

Donald A. Ellis

Donald A. Ellis
Plans Review & Permitting Section

DAE:rkt
cc: Longboat Key Utility Department



A3

TOWN OF LONGBOAT KEY FLORIDA
INCORPORATED NOVEMBER 10, 1985



501 Bay Isles Road
Longboat Key, Florida 33510
(813) 383-3721

June 30, 1983

Heinzman Engineering
P.O. Box 10308
Bradenton, Florida 33507

Re: SEA GATE CLUB

Dear Fred:

I have reviewed your drawing for the above referenced project titled SEWER PROFILE. Your drawing is tentatively approved contingent on the following:

1. Upon completion of the project and final inspection by the Town you are required to submit to the Town As-Built Mylars and Certification that the sewer system was constructed in accordance with the approved plans. The use of the word "substantial" is not acceptable.
2. No backfilling is permitted until all work is inspected.
3. Unsuitable material shall be removed from the ditch. Bottom of ditch compaction is required prior to placement of pipe.
4. A minimum of 1% Grade is required.
5. M.H.'s are to be in accordance with Town Standards.
6. M.H. Covers shall be water tight (Neoprene Gasket) (4 bolts) USF #150.
7. M.H. #1 channel between in and out to be connected by a straight Grade.

Heineman, Engineer
June 30, 1989

Page 2

8. Existing Lift Station to be converted to water tight.
9. The inststor drop to be by Standard Drop on the proposed outlet to be at elevation 6.00'.
9. 24 Hour notification for inspections required.
10. Sketch required indicating conversion design.

Very truly yours,


Albert D. Kelly
Director of Public Works

ATC:cmn

cc: Dennis W. Kelly
Roy Wansley

A5

Heinzman Engineering
June 30, 1983

Page 2

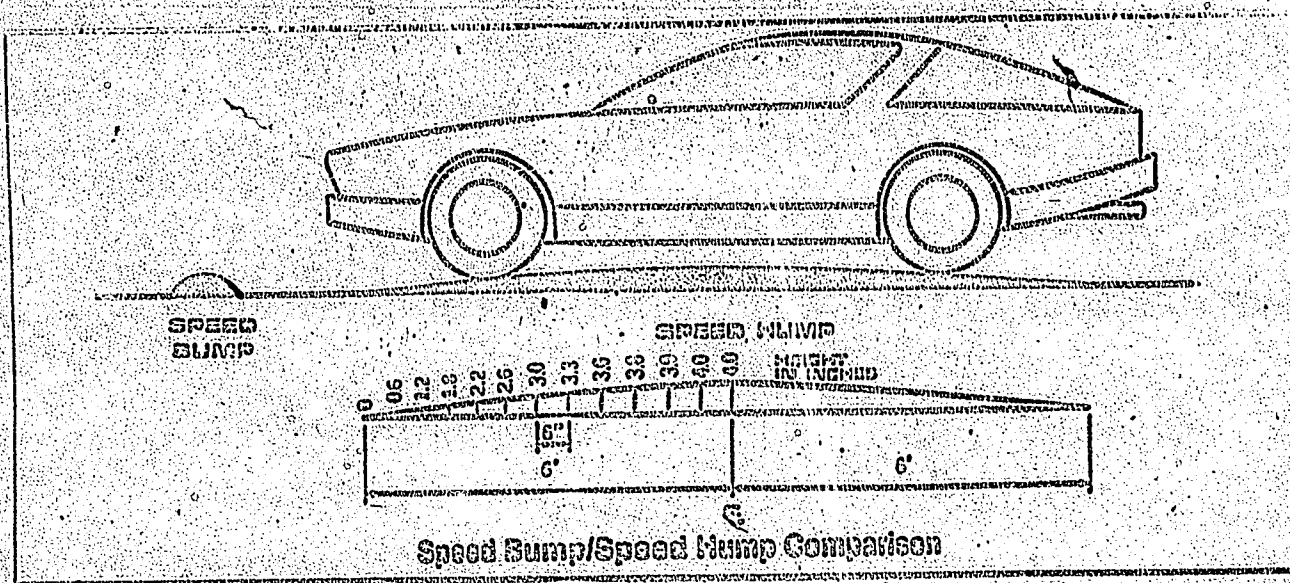
8. Existing Lift Station to be converted to water tight M.II. The interior drop to be by Standard Drop or the proposed outlet to be at elevation 6.00'.
9. 24 Hour notification for inspections required.
10. Sketch required indicating conversion design.

Very truly yours,


Albert T. Cox, Jr.
Director of Public Works

ATC:cm

cc: Dennis W. Kelly
Roy Wamsley



A7

TOWN OF LONGBOAT KEY, FLORIDA

INCORPORATED NOVEMBER 14, 1985



501 Bay Isles Road
Longboat Key, Florida 33548
(813) 383-3721

July 5, 1983

Mr. Fred H. Heinzman, P.E.
Heinzman Engineering
P.O. Box 10308
Bradenton, Florida 33507

RE: SEA GATE CLUB

Dear Mr. Heinzman:

I reviewed your drawings containing four sheets dated May 10, 1983 for the above referenced project. Your drawings are tentatively approved contingent on the following:

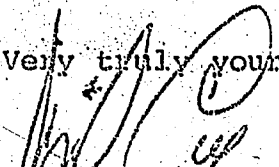
1. Submission of As-Builds.
2. The following proposed items are to be deleted:
 - (a) Proposed Dune Toe.
 - (b) Proposed Walk.
 - (c) Proposed Pool Sand Stop.
3. Speed Bumps are to be revised to Speed Humps.
See enclosed.
4. Waste water system to be revised.
5. Install four inlets in retention area as indicated on marked-up drawing in Town file. Top of grate elevation not to be less than 4.5 feet.
6. All work and materials within F.D.O.T. right-of-way to be permitted by F.D.O.T. Town requires copy of permits prior to commencement of work.
7. Proposed 2:1 slopes will be difficult to maintain; owner should be aware.

Mr. Fred H. Heinzman
July 5, 1983

Page Two

8. Section A A is to be revised to indicate a Grade of not less than 1/4" per foot from edge of pavement Gulf of Mexico Drive to a point 20' westward. At this point adjust driveway grades to direct storm water flows into inlets right and left of driveway.
9. This office cannot condone the use of the proposed Corrugated Plastic Tubing. Use of this tubing is at owner's risk.
10. 24 Hour notice for inspections is required.

Very truly yours,


Albert T. Cox, Jr.
Director of Public Works

ATC:cmm

Enc. (1)

cc: Dennis W. Kelly
Roy Wamsley
Ben Williams, F.D.O.T.
Sea Gate Club

TOWN OF LONGBOAT NEW FLORIDA

INCORPORATED NOVEMBER 16, 1971



501 Bay Isles Road
Longboat Key, Florida 33573
(813) 383-3721

July 8, 1983

Fred H. Heinzman
Heinzman Engineering
2919 Case Avenue
Bradenton, Florida

RE: SEA GATE CLUB
DUNE RESTORATION

Dear Mr. Heinzman:

I have reviewed your drawings (2 sheets) for the above referenced project dated May 20, 1983. Approval is contingent on the following:

1. Payment of Application Fee of \$50.00.
2. A Performance and Maintenance Bond on Town form in the amount of 125% of the cost of the project.
3. Obtaining a Building Permit from the Town Building Department for structures permitted.
4. Upon completion of project, Certification from the engineer that all work is completed in accordance with the approved plans and specifications.
5. Prior to completion of work, Permittee shall deliver to the Town a copy of the necessary State of Florida permit.
6. The trees scheduled for removal shall be relocated on site. Trees scheduled for relocation shall be on site.
7. The proposed pool sand stop and bench area shall be deleted.

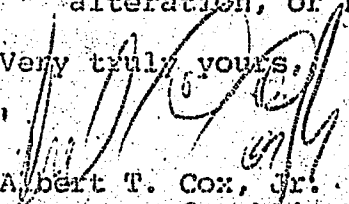
A10

Fred H. Heinzman
July 8, 1983

Page Two

8. The permittee shall comply with any specific requirements imposed in this case by the Town and the agency of the State having jurisdiction, made a part of this permit and agreement.
9. The permittee shall in no way obstruct or impair the use of the beach by the public in the area below the mean high water line, except to a minimum extent determined by the Town and by the State agency having jurisdiction to be unavoidable.
10. The rights granted by this permit and agreement shall not be construed as a conveyance of title to or a waiver of rights in the sovereignty land held by the State of Florida.
11. The permittee hereby agrees to hold and save the State of Florida, the State agency having jurisdiction and the Town harmless from any damage to persons or property which might result from the work or activity permitted hereunder.
12. The permittee agrees to adjust, alter, or remove any structure or other physical evidence of the work or activity permitted hereunder, as directed by the Town or the State agency having jurisdiction, if in the opinion of the Town or the agency the structure, work or activity in question results in damage to surrounding property or otherwise proves to be undesirable or becomes unnecessary. Adjustment, alteration, or removal required under this provisions shall be accomplished by the permittee at no cost to the State or Town. The decision of the Town or State agency as to whether adjustment, alteration or removal is required shall be final, and the Town or State agency shall set reasonable time limits within which adjustment, alteration, or removal shall be accomplished.

Very truly yours,


Albert T. Cox, Jr.
Director of Public Works

ATC:cmm

cc: Dennis W. Kelly
Herbert L. Lovett

111

TOWN OF LONGBOAT KEY FLORIDA

INCORPORATED NOVEMBER 10, 1980



501 Bay Isles Road
Longboat Key, Florida 33548
(813) 393-3721

July 18, 1983

Fred H. Heinzman
Heinzman Engineering
2919 Case Avenue
Bradenton, Florida

RE: SEA GATE CLUB
DUNE RESTORATION

Dear Mr. Heinzman:

Regarding my letter to you of July 8, 1983, please be advised that Item #5 should read as follows:

- #5. Prior to commencement of work, Permittee shall deliver to the Town a copy of the necessary State of Florida permit.

Very truly yours,

Albert T. Cox, Jr.
Director of Public Works

ATC:cmm

cc: D.W. Kelly
H. L. Lovett

Fred M. Heinemann, Esq.

Heinemann Engineering

2919 Cass Ave

Brendenton, FL

Re. Sea Gull Club

Pine Restoration

Dear Mr. Heinemann

The Town of Longboat Key has
no objections to the Pine Restoration
and installation of duck blind and
structures as shown on the plans
which have been submitted.

Sincerely,

H. L. Lerner

Chief, Fish Insp.

As fee is in con-
with Chap 151

A13

2425
G.M.D.

TOWN OF LONGBOAT KEY FLORIDA

INCORPORATED NOVEMBER 14, 1958



501 Bay Isles Road
Longboat Key, Florida 33548
(813) 383-3721

July 20, 1983

Mr. Fred H. Heinzman
Heinzman Engineering
2919 Case Avenue
Bradenton, Fla.

RE: SEA GATE CLUB: DUNE RESTORATION

Dear Mr. Heinzman:

The Town of Longboat Key has no objections to the dune restoration and installation of dune walkover structures as shown on the plans that have been submitted.

We acknowledge your payment of \$50.00 by Check #5014 with our receipt # 16597 dated July 20, 1983.

Sincerely,


H. I. Lovett
Chief Building Inspector
HLL/j

A14

TOWN OF LONGBOAT KEY FLORIDA

INCORPORATED NOVEMBER 14, 1965



501 Bay Isles Road
Longboat Key, Florida 33548
(813) 383-3721

August 12, 1983

Mr. Ward Burdine
Sarasota Pipeline
Sarasota, Fla.

RE: WELLPOINT PUMP

Dear Ward:

This letter is your authorization from the Town of Longboat Key to run a wellpoint pump at the location of the Sea Gate Apartments at 2425 Gulf of Mexico Drive from 5:00 P.M. Sunday August 14, 1983 through August 17, 1983 at 5:00 P.M.

The pump must be baffled.

Yours truly,


Albert T. Cox, Jr.
Director of Public Works
ATC/j

cc: Police Department (2)

FLORIDA DEPARTMENT OF NATURAL RESOURCES
Division of Land and Water
Bureau of Coastal Engineering and Beautification
Marion F. Starnes Building
3905 Commonwealth Boulevard
Tallahassee, Florida 32304
(904) 488-1100

PERMITTEE:

Seaside Club Condominium Association, Inc.
c/o Environmental Services Unlimited
P.O. Box 222
Alva, FL 33920

PERMIT NUMBER: A-31-249

ADMINISTRATIVELY APPROVED PERMIT FOR CONSTRUCTION OR OTHER ACTIVITIES
PURSUANT TO SECTIONS 161.052 OR 161.053, FLORIDA STATUTES

FINAL ORDER

FINDINGS OF FACT: An application for the activities indicated in the project description was filed by the applicant/permittee named herein in June 1983, and was determined to be complete pursuant to rule on August 11, 1983. The application was considered by the Executive Director acting on behalf of the Department of Natural Resources under the authority of Chapter 16B-53, Florida Administrative Code, on the data last shown below.

CONCLUSIONS OF LAW: After considering the merits of the proposal and any written objections from affected persons, the Department finds that the activities indicated in the project description are of such a nature that they will result in no significant adverse impacts to the beach/dune areas or to adjacent properties and that the work is expendable in nature and/or is appropriately designed. Based on the foregoing considerations, the Department of Natural Resources approves the application for the activities indicated in the project description shown below, attached hereto the general and specific conditions of the permit and the approved plans, and by this reference incorporates such herein. The permit is valid for approved work completed on or before September 12, 1984.

PROJECT DESCRIPTION: Construction of an artificial sand dune, a dune walkover structure, and a wooden bench; and planting of vegetation. The artificial dune is to have a length of approximately 350 feet, a width of approximately 25 feet, a crest elevation of +8.0 feet NGVD, and a seaward toe elevation of +6.0 feet NGVD. The dune shall extend no farther seaward of the coastal construction control line than 84 feet of the north property line and 70 feet at the south property limit. The sand material used for the construction of this dune shall be compatible in color and grain size to the material existing on the site, and shall be brought from a source landward of the control line. Four cabal palms existing in the area where the artificial dune is to be (Continued on Page Two)

LOCATION: From approximately 160 feet to 510 feet south of Department of Natural Resources monument number R-12, Sarasota County (2425 Gulf of Mexico Drive, Longboat Key).

Done and ordered this 12th day of September, 1983, in Tallahassee, Florida, and filed with the Department Clerk.

APPROVED AS TO FORM AND LEGALITY

STATE OF FLORIDA
DEPARTMENT OF NATURAL RESOURCES

DEPARTMENT OF NATURAL RESOURCES
DEPARTMENT ATTORNEY

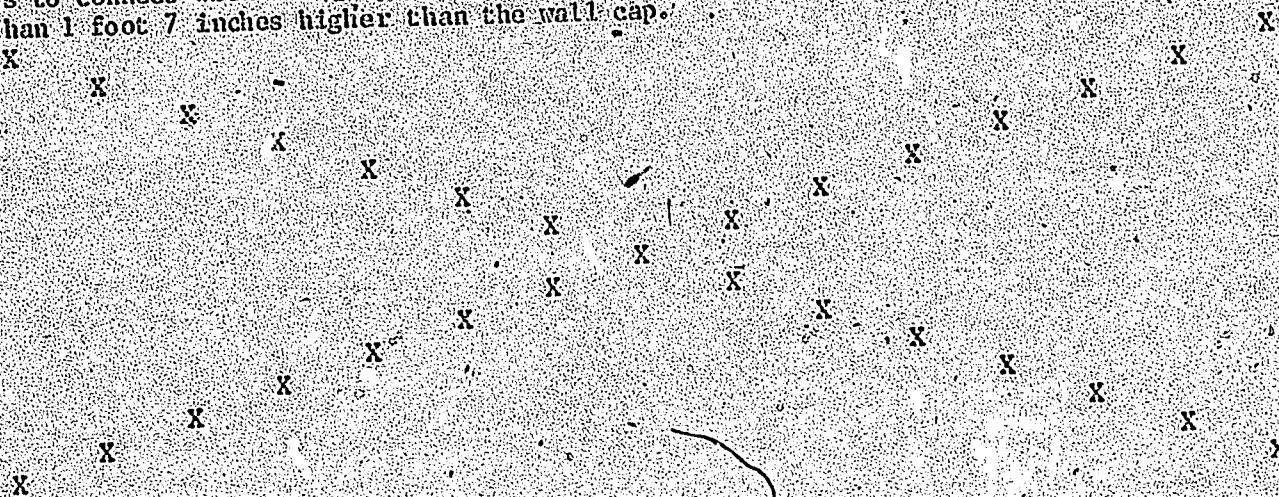
DON F. DUDEN
EXECUTIVE ASSISTANT
ASSISTANT EXECUTIVE DIRECTOR

[MUST BE PROMINENTLY DISPLAYED ON CONSTRUCTION SITE ALONG WITH PLANS
APPROVED BY THE DEPARTMENT]

B2

Permit Number A ST-249
 Page Two of Four
 Seagate Club Condominium Association, Inc.

constructed are, to be relocated landward of the existing wall on the site as shown in the approved site plan. The dune is to be vegetated with salt tolerant species, mainly sea oats. The dune walkover structure is to be 5 feet wide in the shore-parallel direction by 30 feet wide in the shore-normal direction, and is to be at a minimum elevation of three feet over the dune. The walkover shall not extend more than 85 feet seaward of the control line. The wooden bench is to be placed over the existing seawall cap, landward of the dune. The bench is to be approximately 70 feet long and is to connect with a 4 1/2 by 6 foot wooden shower platform. This bench is not to be more than 1 foot 7 inches higher than the wall cap.



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Permit Number A ST-249

Page Three of Four

Seagate Club Condominium Association, Inc.

GENERAL PERMIT CONDITIONS

1. By accepting a permit, the applicant agrees to:
 - (a) Carry out the work or activity for which the permit was granted in accordance with the plans and specifications which were approved by the Bureau of the Executive Director. Any deviation therefrom shall be grounds for suspension of the work and revocation of the permit;
 - (b) Conduct the work or activity authorized under the permit in such a way as to minimize the adverse impact upon the beach and dune system;
 - (c) Use extreme care to prevent any adverse or undesirable effects from authorized work or activity on the property of others. A permit authorizes no invasion of the property rights of others;
 - (d) Allow any duly authorized member of the staff or duly empowered law enforcement officer to enter upon the premises associated with the project authorized by the permit for the purpose of ascertaining compliance with the terms of the permit and with rules of the Department;
 - (e) Hold and save the State of Florida, the Department, its officers and employees, harmless from any damage, no matter how occasioned and no matter what the amount, to persons or property which might result from the work, activity, or structures authorized under the permit and from any and all claims and judgement resulting from such damage;
 - (f) Allow all records, notes, monitoring data and other information relating to construction or any operation under the permit which are submitted to the Department to be used by the Department in any case arising under the Florida Statutes or Department rules, except where such use is otherwise specifically prescribed by law;
 - (g) Comply with any other conditions imposed upon the permit.
2. The permit placard must remain conspicuously displayed and the entire permit, including the project description and location, general and special permit conditions, and the plans approved by the Department staff, must be immediately available for inspection on the construction site for the duration of construction. Failure to display the placard or have the entire permit available for inspection may result in the staff suspending or halting work until the placard and approved plans are displayed.
3. Issuance of a permit does not relieve the applicant of the responsibility to comply with all applicable federal, state, county, and municipal laws, ordinances or rules nor is the applicant relieved of the responsibility to obtain any other licenses or permits which may be required by federal, state, county, or municipal law.
4. The permittee shall provide the Department with a final certification of actual work performed no later than 30 days following completion of the construction authorized by the permit. This certification shall state that all locations and elevations specified by the permit have been verified, that the construction and any other activities authorized by the permit have been performed in compliance with both the plans and project description approved as a part of the permit, and that construction and other activities have complied with all conditions of the permit. Any deviations from the approved plans, project description, or permit conditions shall be specifically described as a part of the final certification. If any portion of the authorized work is not performed, this shall be reported in the final certification. If none of the permitted work is performed, the permittee shall inform the Department to that effect in writing no later than 30 days following expiration of the permit.

B4
Permit Number A-ST-249

Page Four of Four

Seagate Club Condominium Association, Inc.

GENERAL PERMIT CONDITIONS (Continued)

5. No construction and no excavation except that specifically approved shall be conducted seaward of the coastal construction control line.
6. No construction traffic shall operate and no building materials shall be stored on vegetated areas seaward of the coastal construction control line.
7. Before the project is considered complete, any topography disturbed as a consequence of construction or excavation shall be restored to preconstruction elevations with fill material. This fill material shall be compatible with the existing beach/dune sediments in both grain size and coloration and shall be obtained from a source landward of the coastal construction control line.
8. Unless otherwise specifically authorized herein, any fill material placed seaward of the coastal construction control line in undertaking work authorized by this permit shall be sand which is similar to that already existing on the site in both coloration and grain size. All such fill material shall be free of construction debris, rocks, or other foreign matter.
9. Any vegetation destroyed during construction shall be replaced with plants of the same species or other salt resistant vegetation suitable for beach and dune stabilization. Unless otherwise specifically authorized by the Department, all replacement plants used for revegetation shall be of low-profile species indigenous to Florida beaches and dunes, such as sea oats, seagrasses, saw palmettos and railroad vine, and shall not include lawn sod such as St. Augustine Grass, Bahia, or other grasses or plant varieties commonly used for ornamental landscaping, palm trees with an expected mature trunk height greater than six feet, or exotic species such as Australian Pines or Brazilian Pepper Trees.
10. All topographic restoration and revegetation work is subject to approval and acceptance by the Department staff.
11. Prior to undertaking any construction which will begin or end in the period from May 1 to October 30, the applicant shall contact the Bureau of Marine Research in St. Petersburg, Florida, by telephone at (813) 896-8626, for instructions and procedures for protecting sea turtles and their nests. Nesting marine turtles are protected by federal law (Endangered Species Act, 1973) and state law (Chapter 370.12, Florida Statutes). It is a specific condition of this permit that all work on this project site be in compliance with these laws and with consideration for the protection of nesting females, eggs and nests, and emerging hatchlings. In turtle nesting areas, construction may be delayed for 60 days unless turtle protection measures have been initiated. (Condition number eleven (11) applies to permits issued for work to be performed within the following counties only: Brevard, Broward, Charlotte, Collier, Dade, Indian River, Lee, Manatee, Martin, Palm Beach, St. Lucie, and Sarasota.)
12. This permit has been issued to a specified property owner and, unless transferred, terminates upon sale of the property. A new property owner may apply in writing for transfer of an unexpired permit. The new property owner shall sign two copies of a permit transfer agreement form and return both copies to the Bureau of Coastal Engineering and Regulation. A copy of the transfer agreement which has been approved by the Director of the Division of Beaches and Shores must be displayed on the construction site along with the permit prior to commencement or continuation of work by a transferee.

TOWN OF LONGBOAT KEY FLORIDA
INCORPORATED NOVEMBER 10, 1955



501 Bay Isles Road
Longboat Key, Florida 33548
(813) 363-3721

July 8, 1983

Fred H. Heinzman
Heinzman Engineering
2919 Case Avenue
Bradenton, Florida

RE: SEA GATE CLUB
DUNE RESTORATION

Dear Mr. Heinzman:

I have reviewed your drawings (2 sheets) for the above referenced project dated May 20, 1983. Approval is contingent on the following:

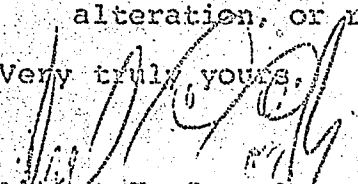
1. Payment of Application Fee of \$50.00.
2. A Performance and Maintenance Bond on Town form in the amount of 125% of the cost of the project.
3. Obtaining a Building Permit from the Town Building Department for structures permitted.
4. Upon completion of project, Certification from the engineer that all work is completed in accordance with the approved plans and specifications.
5. Prior to ^{Commencement} completion of work, Permittee shall deliver to the Town a copy of the necessary State of Florida permit.
6. The trees scheduled for removal shall be relocated on site. Trees scheduled for relocation shall be on site.
7. The proposed pool sand stop and bench area shall be deleted.

Fred H. Heinzman
July 8, 1983

Page Two

8. The permittee shall comply with any specific requirements imposed in this case by the Town and the agency of the State having jurisdiction, made a part of this permit and agreement.
9. The permittee shall in no way obstruct or impair the use of the beach by the public in the area below the mean high water line, except to a minimum extent determined by the Town and by the State agency having jurisdiction to be unavoidable.
10. The rights granted by this permit and agreement shall not be construed as a conveyance of title to or a waiver of rights in the sovereignty land held by the State of Florida.
11. The permittee hereby agrees to hold and save the State of Florida, the State agency having jurisdiction and the Town harmless from any damage to persons or property which might result from the work or activity permitted hereunder.
12. The permittee agrees to adjust, alter, or remove any structure or other physical evidence of the work or activity permitted hereunder, as directed by the Town or the State agency having jurisdiction, if in the opinion of the Town or the agency the structure, work or activity in question results in damage to surrounding property or otherwise proves to be undesirable or becomes unnecessary. Adjustment, alteration, or removal required under this provisions shall be accomplished by the permittee at no cost to the State or Town. The decision of the Town or State agency as to whether adjustment, alteration or removal is required shall be final, and the Town or State agency shall set reasonable time limits within which adjustment, alteration, or removal shall be accomplished.

Very truly yours,


Albert T. Cox, Jr.
Director of Public Works

ATC:cmm

cc: Dennis W. Kelly 7-8
Herbert L. Lovett

MARK RAMMEKER ARCHITECTS AIA, INC.

August 5, 1983

Town of Longboat Key
Attn: Mr. Herb Lovett
501 Bay Isle Road
Longboat Key, Florida 33548

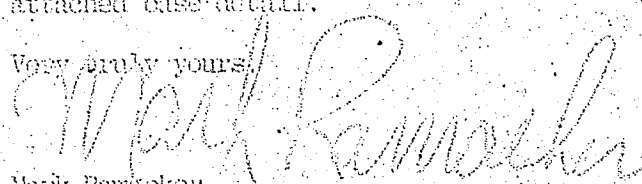
Re: Sea Gate Club

Dear Herb,

Carports were remodeled to conform with Ordinance 74-34 in May of 1981.

We dismantled them to raise site grade, and they will be reconstructed by Mr. Yoder again conforming to ordinance 74-34 but with the attached base detail.

Very truly yours,

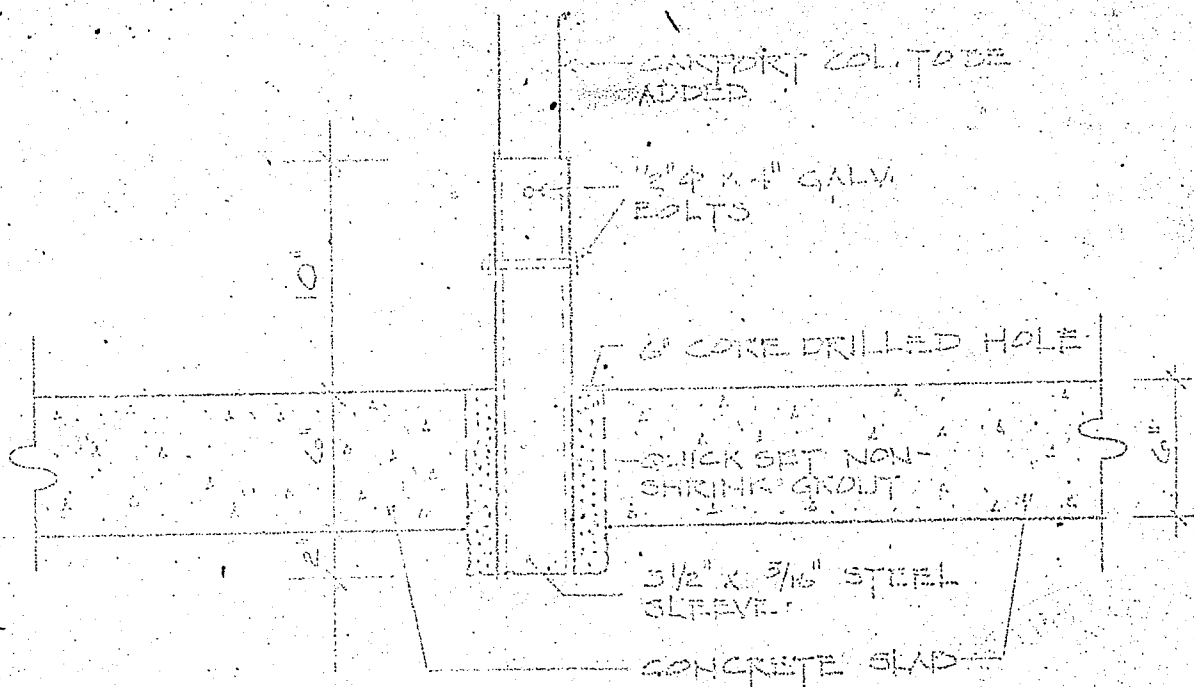

Mark Rammecker
Architect, AIA

741 SOUTH ORANGE AVENUE, SARASOTA, FLORIDA 33577
366-5404 813-366-5407

TOWN OF LONGBOAT KEY Building Department BUILDING PERMIT APPLICATION				
IMPORTANT - Complete ALL items. Mark boxes where applicable.				
I. LOCATION OF BUILDING	Number and street	Subdivision	Lot	Block
	2425 Gulf of Mexico Dr.			
	NS			
	Side of	feet	E W from intersection of	
	Zoning Class		County	
Sarasota				
II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D				
A. TYPE OF IMPROVEMENT		D. PROPOSED USE - For "Wrecking" most recent use		
1 ☒ New building 2 ☐ Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 ☐ Alteration (See 2 above) 4 ☐ Repair, replacement 5 ☐ Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 ☐ Moving (relocation) 7 ☐ Foundation only		Residential: 12 ☐ One family 13 ☐ Two or more family - Enter number of units 14 ☐ Transient hotel, motel or dormitory - Enter number of units 15 ☐ Garage 16 ☒ Carport 17 ☐ Other - Specify _____ Non-residential: 18 ☐ Amusement, recreational 19 ☐ Church, other religious 20 ☐ Industrial 21 ☐ Parking garage 22 ☐ Service station, repair garage 23 ☐ Hospital, institutional 24 ☐ Office, bank, professional 25 ☐ Public utility 26 ☐ School, library, other educational 27 ☐ Stores, mercantile 28 ☐ Tanks, towers 29 ☐ Other - Specify _____		
B. OWNERSHIP				
8 ☒ Private (individual, corporation, nonprofit institution, etc.) 9 ☐ Public (Federal, State, or local government)				
C. COST		Non-residential - Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.		
10 Cost of improvement		(Omit cents) \$ 16,000.00 To be installed but not included in the above cost: a. Electrical b. Plumbing c. Heating, air conditioning d. Other (elevator, etc.)		
11. TOTAL COST OF IMPROVEMENT		\$ 16,000.00		
III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings and additions, complete Parts E - L; for wrecking, complete only Part J, for all others skip to IV.				
E. PRINCIPAL TYPE OF STRUCTURE		G. 1ST FLOOR ELEV.		J. DIMENSIONS
30 ☐ Masonry (wall bearing) 31 ☐ Wood frame 32 ☐ Structural steel 33 ☐ Reinforced concrete 34 ☐ Other - Specify _____		Flood Zone _____ H. TYPE OF WATER SUPPLY 42 ☐ Public or private company 43 ☐ Individual (well, cistern)		48. Number of stories 49. Total square feet of floor area, all floors, based on exterior dimensions a. % of land coverage 50. Total land area, sq. ft.
F. PRINCIPAL TYPE OF HEATING FUEL		I. TYPE OF MECHANICAL		K. NUMBER OF OFF-STREET PARKING SPACES
35 ☐ Gas 36 ☐ Oil 37 ☐ Electricity 38 ☐ Coal 39 ☐ Other - Specify _____		Will there be central air conditioning? 44 ☐ Yes 45 ☒ No Will there be an elevator? 46 ☐ Yes 47 ☒ No		51. Enclosed 52. Outdoors
				L. RESIDENTIAL BUILDINGS ONLY
				53. Number of bedrooms Full 54. Number of bathrooms Partial
IV. IDENTIFICATION - To be completed by applicants.				
Name		Mailing address - Number, street, city, and state		ZIP code
1. Owner		2425 Gulf of Mexico Dr. Fla.		33548
2. Contractor		Yoder Alvin Paul P.O. Box 10445 Sarasota, Fla.		33578
State Reg. No.		RX0032176		371-8573
3. Architect		Mark Ramakoff 714 So. Orange Sarasota, Fla.		33577
				366-5404
The owner of this building and the undersigned agree to conform to all applicable laws of Longboat Key.				
Signature of applicant		Address		Application date
Paul A. Yoder		P.O. Box 10445 Sarasota, Fla.		33578
DO NOT WRITE IN THIS SPACE - FOR OFFICE USE				
Approved		Permit fee	Rec. No.	Permit number
[Signature]		\$ 96.00		

COLUMN DETAIL

SCALE: 1 1/2" = 1'



NOTE:
WHERE EVER POST OCCURS
WITHIN 6" OF THE EDGE OF
SLAB, EXTEND SLEEVE 6"
BEYOND ABOVE DETAIL &
SET IN CONG. FULL LENGTH.

Mark Ramaker

SEA GATE CLUB
SITE RENOVATION

DATE: AUGUST 5, 1983

MARK RAMAKER ARCHITECTS, AIA, INC.

741 SOUTH ORANGE AVENUE, SARASOTA, FLORIDA 33577

TOWN OF LONGBOAT KEY, FLORIDA

County of Sarasota

DATE August 19, 1983

Building Permit No. 5240

RECEIPT # 16941

Approximate Cost \$16,000.00

Fee Paid \$96.00

Work to be done at: Lot _____ Block _____ Subdivision _____

Street Address 2425 Gulf of Mexico Drive Zone RC

Owner's Name SeaGate Club

Present Address 2425 Gulf of Mexico Drive, Longboat Key, 33548 Phone 383-4900

THIS BUILDING PERMIT IS FOR THE FOLLOWING WORK:

Carpports

FAILURE TO COMPLY WITH THE MECHANICS
LIEN LAW CAN RESULT IN THE PROPERTY OR
DRIVING OFF THE BUILDING WITHOUT
A PERMIT A VIOLATION OF THE TOWN OF LONGBOAT KEY

Size (sq. ft.) _____ Wide _____ Long _____ Height _____ Lot _____ sq. ft.

Elevation _____

NOTE: This permit becomes invalid if construction has not commenced in 60 days from date issued.

Contractor Yoder Aluminum Prod:RX0032196 Address P. O. Box 10445, Sarasota, 33578
Phone: 371-8583

Architect Mark Ramaeker AIA Address 741 South Orange Avenue, Sarasota
Phone: 366-5404

Work to Start About (date) August, 1983

THIS PERMIT ISSUED BY H. L. Lovett Building Inspector - Clerk

(If issued by other than Building Inspector this permit is subject to his approval.)
Separate and additional permits are required for Septic Tank, Plumbing, Electrical work, and Pools.
Two sets of building and plot plans are required.

Septic Tank Permit No. _____



Re: Paper 11 Sea Turtle
Spoken to Mr. Naff 9/20/23

Bureau of Marine Research

St. Pete. 1-896-8626

referred to Jenny Mapee 388-4441

Everything is clear of turtles
at Sea Gate.



State of Florida
DEPARTMENT OF NATURAL RESOURCES

DR. ELTON J. GISSENDANNER
Executive Director
Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard, Tallahassee, Florida 32303

September 13, 1983

BOB GRAHAM
Governor
GEORGE FIRESTONE
Secretary of State
JIM SMITH
Attorney General
GERALD L. LEWIS
Comptroller
BILL GUNTER
Treasurer
DOYLE CONNER
Commissioner of Agriculture
RALPH D. TURLINGTON
Commissioner of Education

Environmental Services Unlimited
Rt. 1, Box 223
Alva, FL 33920

Gentlemen:

SUBJECT: A ST-249, Seagate Club Condominium Association, Inc.

Your request for a permit pursuant to Section 161.053, Florida Statutes, for construction or other activities seaward of the coastal construction control line, has been administratively approved by the Executive Director of the Department of Natural Resources.

The authorized work is strictly limited to that described on the enclosed final order. Please direct any questions pertaining to this permit to me by letter at the above address, or by telephone at (904) 488-3180.

Sincerely,

DIVISION OF BEACHES AND SHORES

Carlos R. Carrero
Carlos R. Carrero, Engineer
Bureau of Coastal Engineering
and Regulation

CRC/lk

Enclosures

cc: Document Control
Department Clerk
Area Inspector
Florida Marine Patrol - Area 5
Board of County Commissioners,
Sarasota County
Building Official,
Town of Longboat Key

DIVISIONS / ADMINISTRATION BEACHES AND SHORES LAW ENFORCEMENT MARINE RESOURCES
RECREATION AND PARKS RESOURCE MANAGEMENT STATE LANDS



FL DA DEPARTMENT OF NATURAL RESOURCES
Division of Beaches and Shores
Bureau of Coastal Engineering and Regulation
Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32303
(904) 488-3160

PERMIT NUMBER: A ST-249

PERMITTEE:

Seagate Club Condominium Association, Inc.
c/o Environmental Services Unlimited
Rt. 1, Box 223
Alva, FL 33920

**ADMINISTRATIVELY APPROVED PERMIT FOR CONSTRUCTION OR OTHER ACTIVITIES
PURSUANT TO SECTIONS 161.052 OR 161.053, FLORIDA STATUTES**

FINAL ORDER

FINDINGS OF FACT: An application for the activities indicated in the project description was filed by the applicant/permittee named herein in June 1983, and was determined to be complete pursuant to rule on August 11, 1983. The application was considered by the Executive Director acting on behalf of the Department of Natural Resources under the authority of Chapter 16B-33, Florida Administrative Code, on the date last shown below.

CONCLUSIONS OF LAW: After considering the merits of the proposal and any written objections from affected persons, the Department finds that the activities indicated in the project description are of such a nature that they will result in no significant adverse impacts to the beach/dune areas or to adjacent properties and that the work is expendable in nature and/or is appropriately designed. Based on the foregoing considerations, the Department of Natural Resources approves the application for the activities indicated in the project description shown below, attaches hereto the general and specific conditions of the permit and the approved plans, and by this reference incorporates such herein. The permit is valid for approved work completed on or before September 12, 1984.

PROJECT DESCRIPTION: Construction of an artificial sand dune, a dune walkover structure, and a wooden bench; and planting of vegetation. The artificial dune is to have a length of approximately 350 feet, a width of approximately 25 feet, a crest elevation of +9.0 feet NGVD, and a seaward toe elevation of +6.0 feet NGVD. The dune shall extend no farther seaward of the coastal construction control line than 34 feet at the north property limit and 70 feet at the south property limit. The sand material used for the construction of this dune shall be compatible in color and grain size to the material existing on the site, and shall be brought from a source landward of the control line. Four sabal palms existing in the area where the artificial dune is to be
(Continued on Page Two)

LOCATION: From approximately 160 feet to 510 feet south of Department of Natural Resources monument number R-12, Sarasota County (2425 Gulf of Mexico Drive, Longboat Key).

Done and ordered this 12th day of September 19 83 in Tallahassee, Florida, and filed with the Department Clerk.

APPROVED AS TO FORM AND LEGALITY

STATE OF FLORIDA
DEPARTMENT OF NATURAL RESOURCES

DEPARTMENT OF NATURAL RESOURCES
DEPARTMENT ATTORNEY

DON E. DUDEN

ASSISTANT

EXECUTIVE DIRECTOR

**MUST BE PROMINENTLY DISPLAYED ON CONSTRUCTION SITE ALONG WITH PLANS
APPROVED BY THE DEPARTMENT**

Permit Number A ST-249

Page Two of Four

Seagate Club Condominium Association, Inc.

constructed are to be relocated landward of the existing wall on the site as shown in the approved site plan. The dune is to be vegetated with salt tolerant species, mainly sea oats. The dune walkover structure is to be 5 feet wide in the shore-parallel direction by 30 feet wide in the shore-normal direction, all to be at a minimum elevation of three feet over the dune. The walkover shall not extend more than 6 feet seaward of the control line. The wooden bench is to be placed over the existing seawall cap, landward of the dune. The bench is to be approximately 40 feet long and is to connect with a 4 1/2 by 6 foot wooden shower platform. This bench is not to be more than 1 foot 7 inches higher than the wall cap.

X

X]

X

X

X

X

X

X

X

X

X

GENERAL PERMIT CONDITIONS

1. By accepting a permit, the applicant agrees to:

- (a) Carry out the work or activity for which the permit was granted in accordance with the plans and specifications which were approved by the Bureau or the Executive Director. Any deviation therefrom shall be grounds for suspension of the work and revocation of the permit;
- (b) Conduct the work or activity authorized under the permit in such a way as to minimize the adverse impact upon the beach and dune system;
- (c) Use extreme care to prevent any adverse or undesirable effects from authorized work or activity on the property of others. A permit authorizes no invasion of the property rights of others;
- (d) Allow any duly authorized member of the staff or duly empowered law enforcement officer to enter upon the premises associated with the project authorized by the permit for the purpose of ascertaining compliance with the terms of the permit and with rules of the Department;
- (e) Hold and save the State of Florida, the Department, its officers and employees, harmless from any damage, no matter how occasional and no matter what the amount, to persons or property which might result from the work, activity, or structures authorized under the permit and from any and all claims and judgment resulting from such damage;
- (f) Allow all records, notes, monitoring data and other information relating to construction or any operation under the permit which are submitted to the Department to be used by the Department in any case arising under the Florida Statutes or Department rules, except where such use is otherwise specifically prescribed by law;
- (g) Comply with any other conditions imposed upon the permit.

2. The permit placard must remain conspicuously displayed and the entire permit, including the project description and location, general and special permit conditions, and the plans approved by the Department staff, must be immediately available for inspection on the construction site for the duration of construction. Failure to display the placard or have the entire permit available for inspection may result in the staff suspending or halting work until the placard and approved plans are displayed.

3. Issuance of a permit does not relieve the applicant of the responsibility to comply with all applicable federal, state, county, and municipal laws, ordinances or rules nor is the applicant relieved of the responsibility to obtain any other licenses or permits which may be required by federal, state, county, or municipal law.

4. The permittee shall provide the Department with a final certification of actual work performed no later than 30 days following completion of the construction authorized by the permit. This certification shall state that all locations and elevations specified by the permit have been verified, that the construction and any other activities authorized by the permit have been performed in compliance with both the plans and project description approved as a part of the permit, and that construction and other activities have complied with all conditions of the permit. Any deviations from the approved plans, project description, or permit conditions shall be specifically described as a part of the final certification. If any portion of the authorized work is not performed, this shall be reported in the final certification. If none of the permitted work is performed, the permittee shall inform the Department to that effect in writing no later than 30 days following expiration of the permit.

Permit Number A ST-249

Page Four of Four

Seagate Club Condominium Association, I

GENERAL PERMIT CONDITIONS (Continued)

5. No construction and no excavation except that specifically approved shall be conducted seaward of the coastal construction control line.
6. No construction traffic shall operate and no building materials shall be stored on vegetated areas seaward of the coastal construction control line.
7. Before the project is considered complete, any topography disturbed as a consequence of construction or excavation shall be restored to preconstruction elevations with fill material. This fill material shall be compatible with the existing beach/dune sediments in both grain size and coloration and shall be obtained from a source landward of the coastal construction control line.
8. Unless otherwise specifically authorized herein, any fill material placed seaward of the coastal construction control line in undertaking work authorized by this permit shall be sand which is similar to that already existing on the site in both coloration and grain size. All such fill material shall be free of construction debris, rocks, or other foreign matter.
9. Any vegetation destroyed during construction shall be replaced with plants of the same species or other salt resistant vegetation suitable for beach and dune stabilization. Unless otherwise specifically authorized by the Department, all replacement plants used for revegetation shall be of low-profile species indigenous to Florida beaches and dunes, such as sea oats, seagrasses, saw palmettos and railroad vine, and shall not include lawn sod such as St. Augustine Grass, Bahia, or other grasses or plant varieties commonly used for ornamental landscaping, palm trees with an expected mature trunk height greater than six feet, or exotic species such as Australian Pines or Brazilian Pepper Trees.
10. All topographic restoration and revegetation work is subject to approval and acceptance by the Department staff.
11. Prior to undertaking any construction which will begin or end in the period from May 1 to October 30, the applicant shall contact the Bureau of Marine Research in St. Petersburg, Florida, by telephone at (813) 896-8626, for instructions and procedures for protecting sea turtles and their nests. Nesting marine turtles are protected by federal law (Endangered Species Act, 1973) and state law (Chapter 370.12, Florida Statutes). It is a specific condition of this permit that all work on this project site be in compliance with these laws and with consideration for the protection of nesting females, eggs and nests, and emerging hatchlings. In turtle nesting areas, construction may be delayed for 60 days unless turtle protection measures have been initiated. (Condition number eleven (11) applies to permits issued for work to be performed within the following counties only: Brevard, Broward, Charlotte, Collier, Dade, Indian River, Lee, Manatee, Martin, Palm Beach, St. Lucie, and Sarasota.)
12. This permit has been issued to a specified property owner and, unless transferred, terminates upon sale of the property. A new property owner may apply in writing for transfer of an unexpired permit. The new property owner shall sign two copies of a permit transfer agreement form and return both copies to the Bureau of Coastal Engineering and Regulation. A copy of the transfer agreement which has been approved by the Director of the Division of Beaches and Shores must be displayed on the construction site along with the permit prior to commencement or continuation of work by a transferee.

TOWN OF LONGBOAT KEY Building Department BUILDING PERMIT APPLICATION				
IMPORTANT -- Complete ALL items. Mark boxes where applicable.				
I. LOCATION OF BUILDING	Number and street	Subdivision	Lot	Block
	2425 Gulf of Mexico Dr.			
	N.S.	N.S.		
	E-W side of	feet	E-W from intersection of	
	200		County	Dade
	Zoning Class			
	RC			
II. TYPE AND COST OF BUILDING -- All applicants complete Parts A -- D				
A. TYPE OF IMPROVEMENT		D. PROPOSED USE -- For "Wrecking" most recent use		
1 ☐ New building 2 ☐ Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 ☐ Alteration (See 2 above) 4 ☐ Repair, replacement 5 ☐ Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 ☐ Moving, relocation 7 ☐ Foundation only		Residential 12 ☐ One family 13 ☐ Two or more family -- Enter number of units 14 ☐ Transient hotel, motel or dormitory -- Enter number of units 15 ☐ Garage 16 ☐ Carport 17 ☐ Other -- Specify _____ Non-residential 18 ☐ Amusement, recreational 19 ☐ Church, other religious 20 ☐ Industrial 21 ☐ Parking garage 22 ☐ Service station, repair garage 23 ☐ Hospital, institutional 24 ☐ Office, bank, professional 25 ☐ Public utility 26 ☐ School, library, other educational 27 ☐ Stores, mercantile 28 ☐ Banks, towers 29 ☐ Other -- Specify <u>Wreck</u> <u>Wreck over</u>		
B. OWNERSHIP				
8 ☒ Private (individual, corporation, nonprofit institution, etc.) 9 ☐ Public (Federal, State, or local government)				
C. COST				
10 Cost of improvement -- To be installed but not included in the above cost a. Electrical b. Plumbing c. Heating, air conditioning d. Other (elevator, etc.)		(Unit cents) \$ 3000 Non-residential -- Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.		
11. TOTAL COST OF IMPROVEMENT		\$ 3000		
III. SELECTED CHARACTERISTICS OF BUILDING -- For new buildings and additions, complete Parts E -- L; for wrecking, complete only Part J, for all others skip to IV.				
E. PRINCIPAL TYPE OF STRUCTURE		G. 1ST FLOOR ELEV.		J. DIMENSIONS
30 ☐ Masonry (wall bearing) 31 ☐ Wood frame 32 ☐ Structural steel 33 ☐ Reinforced concrete 34 ☐ Other -- Specify _____		Floor zone _____ H. TYPE OF WATER SUPPLY 42 ☐ Public or private company 43 ☐ Individual (well, cistern)		48. Number of stories 49. Total square feet of floor area, all floors based on exterior dimensions a. % of land coverage 50. Total land area, sq. ft.
F. PRINCIPAL TYPE OF HEATING FUEL		I. TYPE OF MECHANICAL		K. NUMBER OF OFF-STREET PARKING SPACES
35 ☐ Gas 36 ☐ Oil 37 ☐ Electricity 38 ☐ Coal 39 ☐ Other -- Specify _____		Will there be a central air conditioning? 44 ☐ Yes 45 ☐ No Will there be an elevator? 46 ☐ Yes 47 ☐ No		51. Enclosed 52. Outdoors
				L. RESIDENTIAL BUILDINGS ONLY
				53. Number of bedrooms 54. Number of bathrooms Full Partial
IV. IDENTIFICATION -- To be completed by applicants				
Name		Mailing address -- Number, street, city, and state		ZIP code
1. Owner		2425 Gulf of Mexico Dr.		33548
2. Contractor		1727 66th St. N.W.		33549
State Reg. No.		BRADENTON FLA.		
3. Architect		P.O. Box 10303		33507
		BRADENTON FLA.		
The owner of this building and the undersigned agree to conform to all applicable laws of Longboat Key.				
Signature of applicant		Address		Application date
Edward H. Fuchs				9-28-83
DO NOT WRITE IN THIS SPACE -- FOR OFFICE USE				
Approved by		Permit fee	Rec. No.	Permit number
[Signature]		\$ 125.00		

C4

TOWN OF LONGBOAT KEY, FLORIDA

DATE October 7, 1983RECEIPT # 17215County of SarasotaBuilding Permit No 5295Approximate Cost \$3,000.00Fee Paid \$18.00

Work to be done at: Lot _____ Block _____ Subdivision _____

Street Address 2425 Gulf of Mexico Drive Zone RCOwner's Name Seagate ClubPresent Address 2425 Gulf of Mexico Drive Phone _____

THIS BUILDING PERMIT IS FOR THE FOLLOWING WORK:

Dunewalkover structure.

NOT TO BE USED TO CONVEY ANY RIGHTS OR INTERESTS
 EXCEPT TO THE TOWN OF LONGBOAT KEY
 WHICH CAN RESULT IN THE PROPERTY BEING
 TAKEN OVER FOR PUBLIC USE

Size (sq. ft.) _____ Wide _____ Long _____ Height _____ Lot _____ Sq. ft.

Elevation _____

NOTE: This permit becomes invalid if construction has not commenced in 60 days from date issued.

Contractor Edward H. Lutz: RB0025907 Address 1207 66th St. N. W., Bradenton 33529Architect Fred Heinzemen Address P. O. Box 10308, Bradenton, 33507Work to Start About (date) October, 1983

THIS PERMIT ISSUED BY

Hal K. Osther

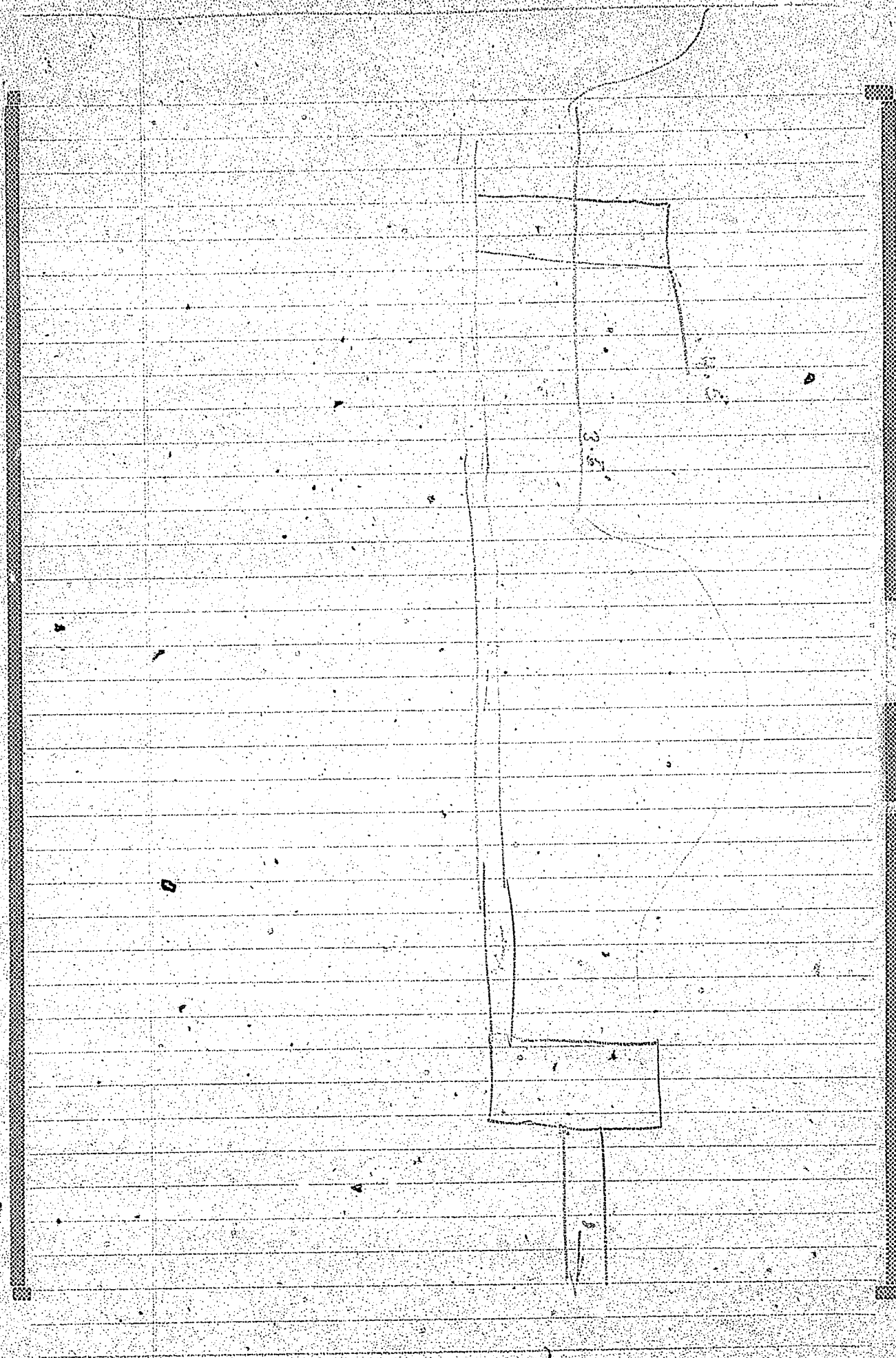
Building Inspector - Clerk

(If issued by other than Building Inspector this permit is subject to his approval.)

Separate and additional permits are required for Septic Tank, Plumbing, Electrical work, and Pools.

Two sets of building and plot plans are required.

Septic Tank Permit No. _____



C8

TOWN OF LONGBOAT KEY Building Department BUILDING PERMIT APPLICATION					
IMPORTANT - Complete ALL items. Mark boxes where applicable.					
I. LOCATION OF BUILDING	Number and street <u>2425 Gulf of Mexico Dr</u>	Subdivision <u>NS</u>	Lot	Block	Census tract
	NS	NS			
	EW side of _____ feet		EW from intersection of _____		
	Zoning Class _____		County <u>Charlotte</u>		
II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D					
A. TYPE OF IMPROVEMENT		D. PROPOSED USE - For "Wrecking" most recent use			
1 ☐ New building 2 ☐ Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 ☒ Alteration (See 2 above) 4 ☐ Repair, replacement 5 ☐ Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 ☐ Moving (relocation) 7 ☐ Foundation only		Residential 12 ☐ One family 13 ☐ Two or more family - Enter number of units _____ 14 ☐ Transient hotel, motel or dormitory - Enter number of units _____ 15 ☐ Garage 16 ☐ Carport 17 ☐ Other - Specify _____ Non-residential 18 ☐ Amusement, recreational 19 ☐ Church, other religious 20 ☐ Industrial 21 ☐ Parking garage 22 ☐ Service station, repair garage 23 ☐ Hospital, institutional 24 ☐ Office, bank, professional 25 ☐ Public utility 26 ☐ School, library, other educational 27 ☐ Stores, mercantile 28 ☐ Tanks, towers 29 ☐ Other - Specify _____			
B. OWNERSHIP					
8 ☒ Private (individual, corporation, nonprofit institution, etc.) 9 ☐ Public (Federal, State, or local government)					
C. COST		Non-residential - Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage, for department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.			
10 Cost of improvement		(Unit cents)			
To be installed but not included in the above cost		<u>\$ 2,000.00</u>			
a. Electrical		<u>200.00</u>			
b. Plumbing		<u>None</u>			
c. Heating, air conditioning		<u>None</u>			
d. Other (elevator, etc.)		<u>None</u>			
11. TOTAL COST OF IMPROVEMENT		<u>\$ 2,200.00</u>			
III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings and additions, complete Parts E - L; for wrecking, complete only Part J, for all others skip to IV.					
E. PRINCIPAL TYPE OF STRUCTURE		G. 1ST FLOOR ELEV.		J. DIMENSIONS	
30 ☐ Masonry (wall bearing) 31 ☐ Wood frame 32 ☐ Structural steel 33 ☒ Reinforced concrete 34 ☐ Other - Specify _____		Flood Zone _____ H. TYPE OF WATER SUPPLY 42 ☒ Public or private company 43 ☐ Individual (well, cistern)		48. Number of stories _____ 49. Total square feet of floor area, all floors, based on exterior dimensions _____ 50. Total land area, sq. ft. _____	
F. PRINCIPAL TYPE OF HEATING FUEL		I. TYPE OF MECHANICAL		K. NUMBER OF OFF-REET PARKING SPACES	
35 ☐ Gas 36 ☐ Oil 37 ☒ Electricity 38 ☐ Coal 39 ☐ Other - Specify _____		Will there be central air conditioning? 44 ☐ Yes 45 ☐ No Will there be an elevator? 46 ☐ Yes 47 ☐ No		51. Enclosed _____ 52. Outdoors _____	
				L. RESIDENTIAL BUILDINGS ONLY	
				53. Number of bedrooms _____ Full _____ 54. Number of bathrooms _____ Partial _____	
IV. IDENTIFICATION - To be completed by applicants					
Name		Mailing address - Number, street, city, and state		ZIP code	Tel. No.
1. Owner	<u>Milton Stein</u>	<u>2425 Gulf of Mexico Dr</u>			<u>333 5187</u>
2. Contractor	<u>John R. R...</u>	<u>1143 Central Ave</u>		<u>33577</u>	<u>3001785</u>
State Reg. No.	<u>RB-0005413</u>				
3. Architect	<u>Alvingman</u>	<u>2919 Carol Ave</u>			<u>758 6169</u>
The owner of this building and the undersigned agree to conform to all applicable laws of Longboat Key.					
Signature of applicant		Address		Application date	
<u>John R. R...</u>		<u>1143 Central Ave</u>		<u>11/2/84</u>	
DO NOT WRITE IN THIS SPACE - FOR OFFICE USE					
Approved by	Permit fee	Rec. No.	Permit number		
<u>[Signature]</u>	<u>\$21.00</u>	<u>1P55</u>	<u>5741</u>		

C9

TOWN OF LONGBOAT KEY, FLORIDA

County of SARASOTADATE November 6, 1984Building Permit N2 005741Receipt # 1155Approximate Cost ~~XXXXXX~~ \$2,200.00Fee Paid ~~XXXX~~ \$21.00

Work to be done at: Lot _____ Block _____ Subdivision _____

Street Address 2425 Gulf of Mexico Drive Apt. 14-D Zone _____Owner's Name Milton SteinPresent Address 2425 Gulf of Mexico Drive Apt. - 14-D Phone 383-5189

THIS BUILDING PERMIT IS FOR THE FOLLOWING WORK:

ALTERATION

Size (sq. ft.) _____ Wide _____ Long _____ Height _____ Lot _____ sq. ft.

Elevation _____

NOTE: This permit becomes invalid if construction has not commenced in 60 days from date issued.

Contractor Jim Rule Address 1143 Central Ave. Sarasota 33577

RB0008413

366-1785

Architect _____ Address _____

Work to Start About (date) _____

THIS PERMIT ISSUED BY _____

Building Inspector — Clerk

(If issued by other than Building Inspector this permit is subject to his approval.)

Separate and additional permits are required for Septic Tank, Plumbing, Electrical work, and Pools.

Two sets of building and plot plans are required.

Septic Tank Permit No. _____

TOWN OF LONGBOAT KEY, FLORIDA

ELECTRIC PERMIT NO. 2010

TOWN OF LONGBOAT KEY
DEPARTMENT OF CONSTRUCTION
INSPECTION NOTICE

DATE: 12-11-84
TIME: 2:25 PM

Receipt # 1994

DATE December 12, 1984

FEE \$ 10.00

OWNER Milton Stein

ADDRESS 2425 Gulf of Mexico Dr. Apt. 14-D

LOT BLK SUB

INSTALLED BY Archibald Electric, Inc

1376 4th St., Sarasota, FL 33577 365-0309

ALTERATIONS, ADDITIONS, REPAIRS—per Insp. \$ 5.00

NEW RESIDENTIAL:

0 to 100 AMP. SERVICE, PER UNIT 15.00
101 to 200 AMP. SERVICE, PER UNIT 20.00
201 to 400 AMP. SERVICE, PER UNIT 25.00

NEW COMMERCIAL:

PER AMP. SERVICE, PER OCCUPIED UNIT .15
PER AMP. SERVICE, OTHER THAN OCCUP. .15

ADDITIONAL:

Work found to be improper requiring an additional Insp. 5.00

TEMPORARY SERVICE: 5.00

FEE FOR ANY INSTALLATION NOT LISTED
ABOVE WILL BE SET BY THE INSP. DEPT.

State Reg. # ER0007302

INSPECTOR

Building	Planning	Utility	Electrical
Footing	✓	✓	✓
Floor	✓	✓	✓
Lintel	✓	✓	✓
Framing	✓	✓	✓
Final	✓	✓	✓

Concrete Coning

Approved: [Signature]
Rejected: []
Inspector: [Signature]
Date: 12-14-84
Time: []

COMMENTS:

C11

sea gate club

4425 Gulf of Mexico Drive / Longboat Key, Fla 34228 / Telephone 813-383-4900

March 27, 1983

Honorable Hart W. Murphree, Mayor
Town of Longboat Key
101 Bay Isle Road
Longboat Key, Florida 34228

Dear Sir,

We the members of Sea Gate Club, a 90 unit Condominium Association, respectfully request a change in our zoning from Tourist to Residential as is appropriate for this property.

Thank you for your cooperation.

Very truly yours,

John J. ...

John J. ...

John J. ...

John J. ...

cc

CLERK'S OFFICE
RECEIVED
MAR 30 1983
TOWN OF LONGBOAT KEY

C14