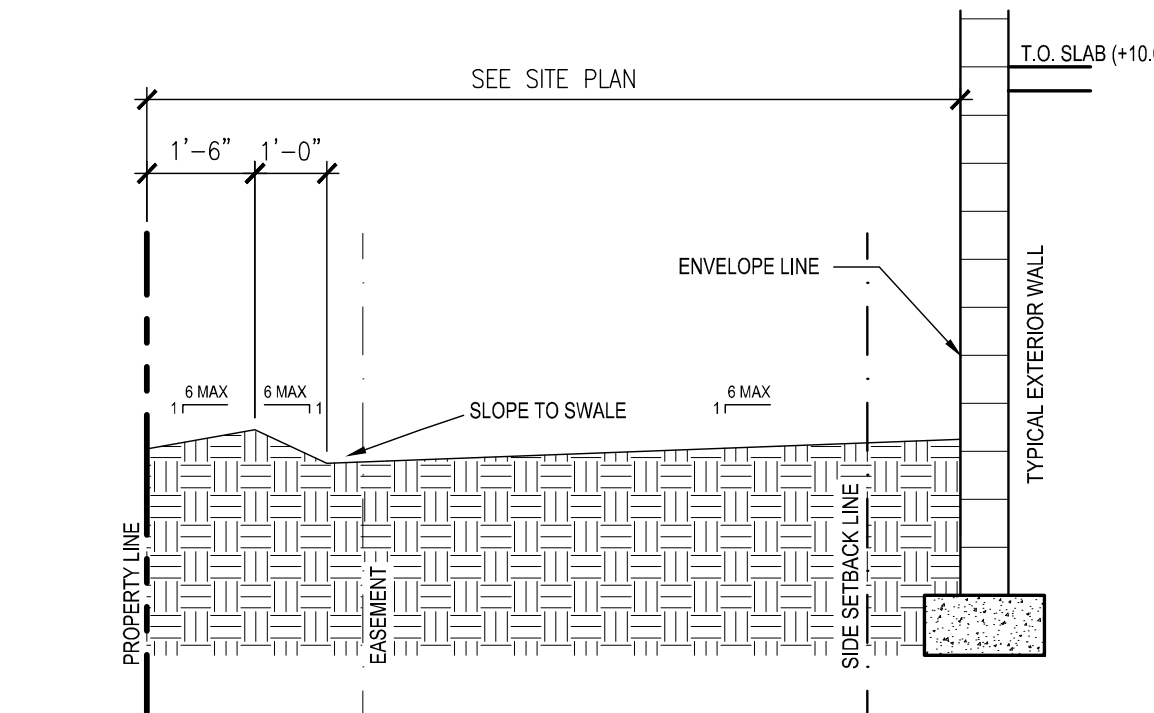




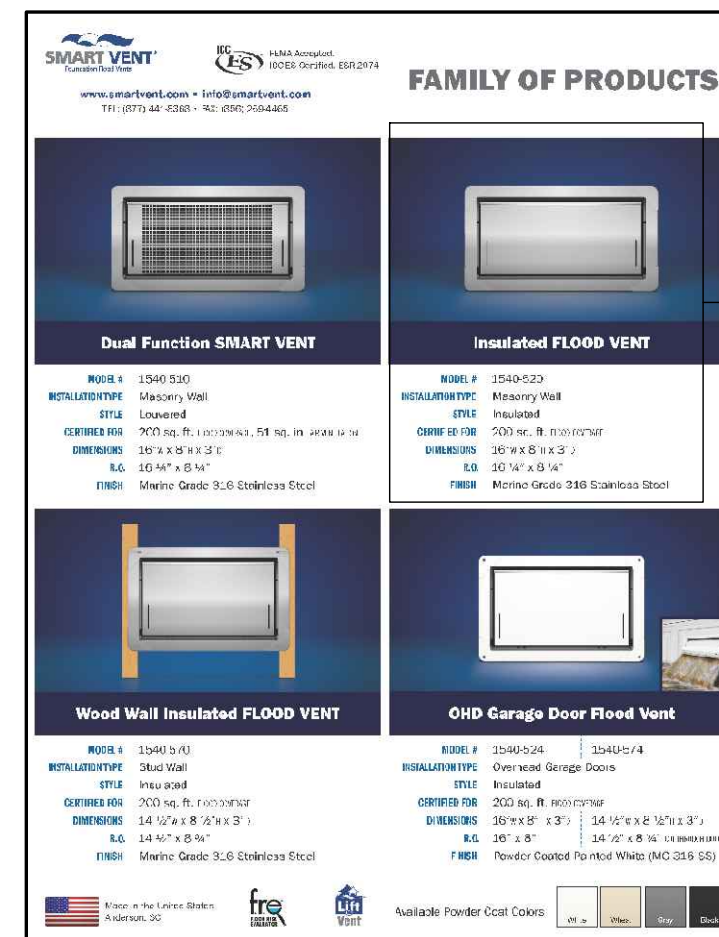
1
TO
SWALE DETAIL, TYPICAL
SCALE: N.T.S.

STORM WATER DRAINAGE NOTE

FINISH GRADE SURFACE SLOPE SHALL NOT EXCEED 12" VERTICAL RISE IN 6" HORIZONTAL RUN WITHIN 5' DISTANCE FROM ANY PROPERTY LINE OTHER SLOPES SHALL NOT EXCEED 12" VERTICAL RISE IN 4" HORIZONTAL RUN.
THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DRAIN TO THE STREET CURB. NO WATER RUN OFF ONTO ANY ADJUTING PROPERTIES.
REQUIRED SWALES OR DRAINAGE SYSTEMS SHALL BE INSTALLED PRIOR CONSTRUCTION. SWALES SLOPES SHALL BE A MIN. OF 0.2% SLOPE.

STATEMENT OF COMPLIANCE :
CONTRACTOR SHALL COMPLY WITH: "GUIDANCE MANUAL FOR DEVELOPING BEST MANAGEMENT PRACTICES" FOR THE CONSTRUCTION OF SITE RUN-OFF.

LANDSCAPE ARCHITECT SHALL PROVIDE A SMALL RETENTION / DEPRESSION AREA TO ALLOW FOR WATER QUALITY TREATMENT PRIOR TO REAR YARD RUNOFF ENTERING THE CANAL.



SMART VENT SELECTION

SINGLE FAMILY COVERAGE CALCULATIONS

GROUND FLOOR	
2-CAR GARAGE	766 SQFT
ELEVATOR	35 SQFT
STORAGE	144 SQFT
POOL STORAGE	105 SQFT
TOTAL	1,050 SQFT

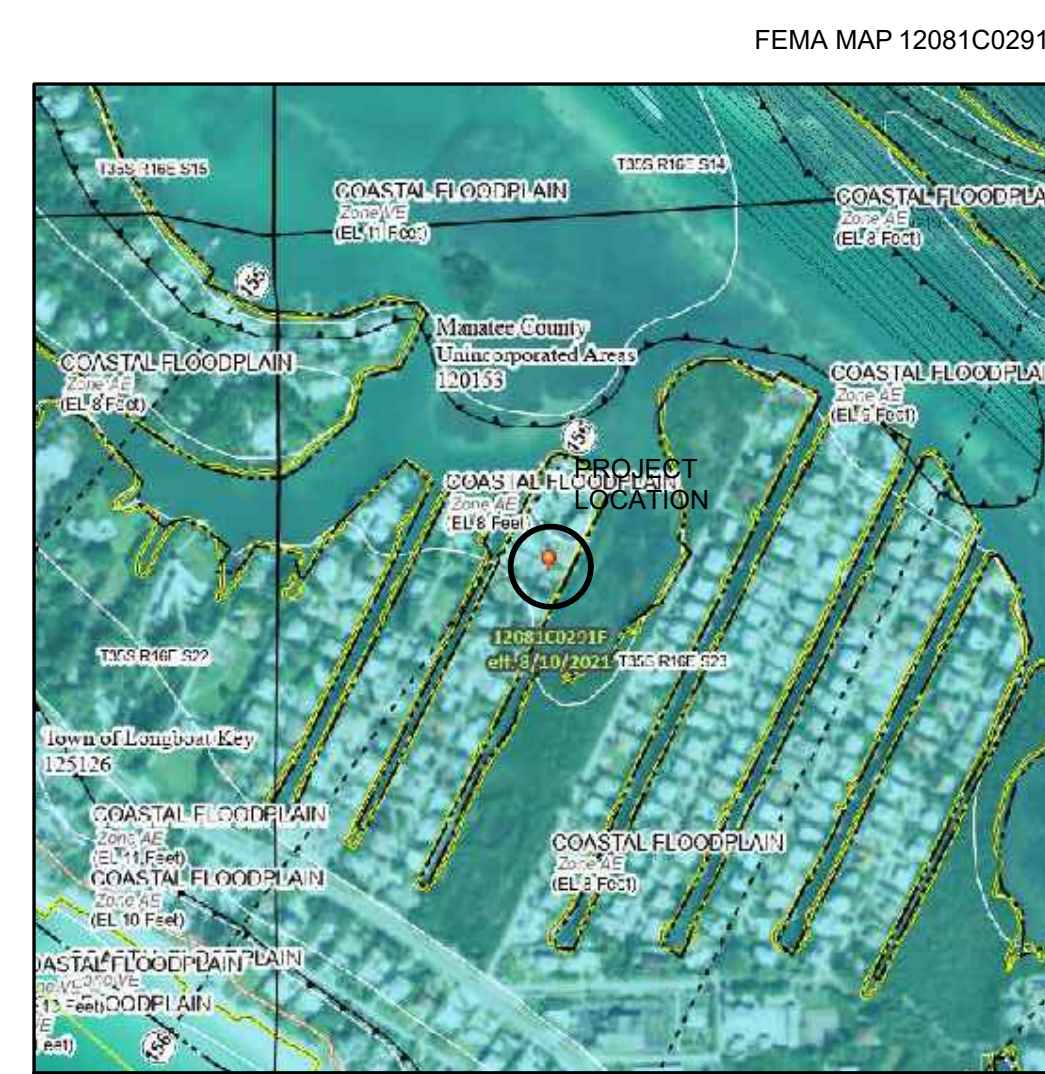
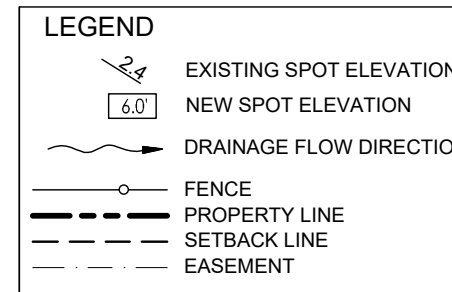
FIRST FLOOR	
LIVING AREA (A/C)	2,480 SQFT
ELEVATOR	35 SQFT
COVERED FRONT ENTRY	78 SQFT
REAR BALCONY	56 SQFT
COVERED ELEVATED REAR TERRACE	331 SQFT
TOTAL	2,980 SQFT

SECOND FLOOR	
LIVING AREA (A/C)	1,585 SQFT
ELEVATOR	35 SQFT
COVERED FRONT BALCONY	78 SQFT
COVERED REAR BALCONY	230 SQFT
TOTAL	1,928 SQFT

IMPERVIOUS SURFACE COVERAGE

GROUND FLOOR	
BUILDING	2,980 SQFT
DRIVEWAY	495 SQFT
WALKWAY	37 SQFT
POOL DECK	976 SQFT
POOL	505 SQFT
TOTAL	4,993 SQFT

TOTAL A/C AREA	4,065 SQFT
----------------	------------



GENERAL NOTES

THESE PLANS INCLUDE THE DETAILS AND METHODS SHOWING HOW COMPLIANCE WITH BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE ACCOMPLISHED. THIS IS A PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND REQUIRED BY FEMA. PLEASE INDICATE ON THE PLANS "BEST MANAGEMENT PRACTICES" (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF "STORM WATER RUN-OFF". FLORIDA BUILDING CODE, TOWN OF LONGBOAT KEY CODE AND EPA CLEAN WATER ACT OF 1972

NOAs (MIAMI DADE NOTICE OF APPROVALS) OR FPA (FLORIDA PRODUCT APPROVALS) SPECIFICATIONS & INSTALLATION INSTRUCTIONS ALONG WITH AN NOA INDEX COVER SHEET WHICH IS CROSS REFERENCED TO MATCH THE DOOR AND WINDOW SCHEDULES IS INCLUDED WITH THESE PLANS. NOAs OR FPAs ARE REQUIRED FOR ALL EXTERIOR COMPONENTS AND CLADDING FOR THE PROPOSED STRUCTURE. THIS INCLUDES WINDOWS, DOORS, GARAGE OVERHEAD DOORS, SOFFIT, SIDING, ROOFING & OTHER MANUFACTURED PRODUCTS BEING USED ON THIS PROJECT. AN NOA INDEX LEGEND WHICH MATCHES THE ONE ON THE COVER SHEET IS ALSO SHOWN ON EACH FLOORPLAN. THIS WILL EASILY IDENTIFY WHICH NOA PRODUCT APPROVAL GOES WITH EACH OPENING IN OUR EFFORTS TO EXPEDITE THE PLAN REVIEW AND INSPECTION PURPOSES AS WELL AS SAVING TIME ON OUR INSTALLATION OF THESE PRODUCTS - 2023 FBC 107.2.1

BASED ON THE CONSTRUCTION DRAWING ELEVATION CERTIFICATE AND CURRENT BOUNDARY-TOPOGRAPHIC SURVEY SUBMITTED FOR THIS PERMIT, PLEASE REVIEW THE FOLLOWING AS COMPARED TO THE ATTACHED PLANS:

SPECIAL FLOOD HAZARD AREA: AE BASE FLOOD ELEVATION +9.0'

DESIGN FLOOD ELEVATION: FIRM MAP PANEL 12081C0291F MAP DATE 08.10.2021

MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT SHALL BE ELEVATED AT OR ABOVE THE DESIGN FLOOD ELEVATION (DFE) IN ACCORDANCE WITH FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.6, TOWN CODE 154.301(C)(5), ASCE 24-14 CH.7, AND FEMA/NFIP TECHNICAL BULLETIN #1.

FLOOD RESISTANT MATERIALS - ALL BUILDING MATERIALS INSTALLED BELOW THE DFE SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS. AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE. FEMA TECHNICAL BULLETIN #2 AND FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.8

PLAN DESIGN BASED ON FLOOD-RESISTANT CONSTRUCTION- PROVIDE A NOTE STATING THE FOLLOWING:
- R322.1.2 STRUCTURAL SYSTEMS. STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION. FBC 2023 - 8TH EDITION - RESIDENTIAL - SECTION R322.1.2, FEMA TB #9, NFIP CFR 44 SEC 60.3(A)(3) AND ASCE 24

ELEVATOR ENCLOSURES - ASCE 24 REQUIRES THE FOLLOWING FOR ELEVATORS: ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING; AND IF AN ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS. FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.6 AND FEMA TECHNICAL BULLETIN #4.

THE LOWEST FLOOR (ENCLOSURE OR ATTACHED GARAGE) IS USEABLE SOLELY FOR VEHICLE PARKING, BUILDING ACCESS OR LIMITED STORAGE PER FBC 2023 - RESIDENTIAL R322.1.5, ASCE 24 SEC 4.6 AND FEMA TECHNICAL BULLETIN 5 - FREE OF OBSTRUCTION SEC 6.4.1

COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE:

PROPOSED DESIGN AND SPECIFICATIONS COMPLIES WITH FLORIDA ADMINISTRATIVE CODE, SECTION 62B-33.007

THIS BUILDING HAS BEEN DESIGNED IN COMPLIANCE WITH ANSI / ASCE 7-22 FOR MINIMUM DESIGN LOADS TO WITHSTAND WIND SPEED OF 180 MPH.

THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH THE ANSI / ASCE 7-22, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 180 MPH.

PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH WIND BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE, RESIDENTIAL 8TH ADDITION 2023.

ZONING CODE

PARCEL NUMBER: 7860-70-0009
FLOOD ZONE: AE (EL. 9')
DESIGN FLOOD ELEVATION: +12" = DFE (MADATORY) = (EL. 10')
DESIGN FLOOD ELEVATION: +24" = DFE (VOLUNTARY) = (EL. 12')
FEMA MAP: 12081C0291F
OCCUPANCY TYPE: R4-SF
CONSTRUCTION TYPE: VB
SPRINKLER: NO
WIND DESIGN: 180mph
RESIDENCE SHALL BE DESIGN TO 180mph
RISK CATEGORY: 2
EXPOSURE CATEGORY: D

SETBACK REQUIREMENTS

FRONT: 20'-0"
SIDE: MIN. 8'-0", COMBINED 20'-0"
REAR: 20'-0"
POOL (RAISED): 20'-0"
POOL (AT GRADE): 15'-0"

MAX. BUILDING HEIGHT: (FROM DESIGN FLOOD ELEVATION + 10'-0")
ALLOWED: 30'-0"
PROPOSED: 27'-11"

DAYLIGHT PLANE ANGLE: 50 DEGREES MEASURED FROM HORIZONTAL SIDE PROPERTY LINES, BEGINNING AT 10' DFE LEVEL

LOT INFORMATION

INFORMATION ON THIS SITE OBTAINED FROM PROPERTY APPRAISER.

LOT AREA	10,000 SQFT.
MAXIMUM LOT COVERAGE	
ALLOWED	30.00% = 3,000 SQFT
PROPOSED	29.80% = 2,980 SQFT

IMPERVIOUS SURFACE COVERAGE	
ALLOWED	50.00% = 5,000 SQFT
PROPOSED	49.93% = 4,993 SQFT

SINGLE FAMILY COVERAGE CALCULATIONS: ZONING

1.0 NON-POOL/SPA AREAS	2,515 SQFT
Residential Structure	0 SQFT
Garage / Carport	56 SQFT
Roof Eave Overhang	78 SQFT
Front Entry and Front Stairs	0 SQFT
Rear Entry and Rear Stairs	331 SQFT
Roofed Porch, Lanai and/or Caged Room	0 SQFT
Raised Deck or Terrace	0 SQFT
Elevated Mechanical Equipment pad	0 SQFT
Accessory Structures	0 SQFT
Other Buildings/Structures/Improvements	0 SQFT

1.1 TOTAL NON-POOL / SPA AREAS	0 SQFT
--------------------------------	--------

2.0 ELEVATED /CAGED POOL / SPA AREAS	0 SQFT
--------------------------------------	--------

3.0 SUBTOTAL LOT COVERAGE SQUARE FOOTAGES	2,980 SQFT
---	------------

4.0 TOTAL LOT COVERAGE PERCENTAGE	
2,980 SQFT (LINE 3.0)	
10,000 (LOT SIZE)	= 29.80%

AT-GRADE IMPROVEMENTS	
Driveway/Parking Areas	495 SQFT
Designated Walkways / Sidewalks	1,013 SQFT
Pool, Spa (At-Grade)	505 SQFT
6.0 Total At-Grade	2,013 SQFT

7.0 Total Non-Open Space (Line 3.0 + 6.0)	4,993 SQFT
---	------------

8.0 TOTAL NON-OPEN SPACES PERCENTAGE	
4,993 SQFT (LINE 7.0)	
10,000 (LOT SIZE)	= 49.93 %

INDEX OF DRAWINGS		#1	#
SHT. NO.	DESCRIPTION	XX.XX.	XX.XX.
T0	COVER SHEET AND SITE PLAN / SHEET FLOW DIAGRAM		
T0.1	STAGING PLAN		
T1	BUILDING SYSTEMS AND GENERAL SPECIFICATIONS		
A1-1	GROUND FLOOR PLAN		
A1-2	FIRST FLOOR PLAN		
A1-3	SECOND FLOOR PLAN		
A1-4	ROOF PLAN		
A2-1	EXTERIOR ELEVATIONS		
A2-2	EXTERIOR ELEVATIONS		
A3-1	FIRST FLOOR - INTERIOR DIMENSIONS		
A3-2	SECOND FLOOR - INTERIOR DIMENSIONS		
A4-0	REFLECTED CEILING PLAN - GROUND FLOOR		
A4-1	REFLECTED CEILING PLAN - FIRST FLOOR		
A4-2	REFLECTED CEILING PLAN - SECOND FLOOR		
A5-1	BUILDING SECTIONS		
A5-2	BUILDING SECTIONS		
A6-1	WINDOW SCHEDULE AND NOTES		
A6-2	DOOR SCHEDULE AND NOTES		
A6-3	WINDOW AND DOOR DETAILS		
A8-1	ELEVATOR PLAN		
A8-2	STAIR PLANS		
A8-3	STAIR PLANS		
M1-1	MECHANICAL PLAN - FIRST FLOOR AND SECOND FLOOR		
E1-0	ELECTRICAL FLOOR PLAN - GROUND FLOOR		
E1-1	ELECTRICAL FLOOR PLAN - FIRST FLOOR		
E1-2	ELECTRICAL FLOOR PLAN - SECOND FLOOR		
E1-3	ELECTRICAL NOTES		
S1-0	FOUNDATION PLAN		
S1-1	FOUNDATION PLAN		
S2-0	FIRST STRUCTURAL FLOOR PLAN		
S2-1	SECOND STRUCTURAL FLOOR PLAN		
S3-0	SECOND FRAMING PLAN		
S3-1	ROOF FRAMING PLAN		
S4-0	STRUCTURAL GENERAL NOTES		
S4-1	STRUCTURAL DETAILS		
S4-2	STRUCTURAL DETAILS		
S4-3	STRUCTURAL DETAILS		
S4-4	STRUCTURAL DETAILS		

CUSTOM HOME DESIGN & DRAFTING

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Bradenton, Florida 34209

Phone: 941.580.4603
mbade@hausdesignstudio.com

CONTRACTOR

Camlin Custom Homes

1962 Main Street - Suite 310
Sarasota, Florida 34236

Phone: 941.748.1622
License # CBC 027060

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APRILE RESIDENCE

618 Bayview Drive
Longboat Key, Florida 34228

PERMIT SET

ADDENDUM / REVISION		
No.	Date	Description

SCALE
1" = 10'-0"

DRAWN BY
MB

CHECKED BY
MB

DATE
December 04, 2024

SHEET TITLE
COVER SHEET AND
SITE PLAN AND
DRAINAGE PLAN

SHEET NUMBER

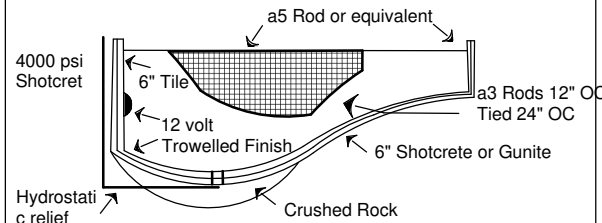
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R-POOL-25-0012
Dylan Calella

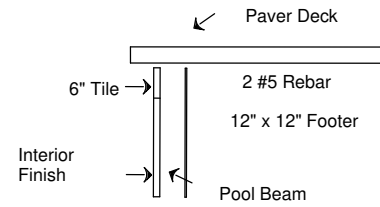
Southern Most Pools, Inc.
CPC1457888
(941) 234-3762

www.southernmostpools.com

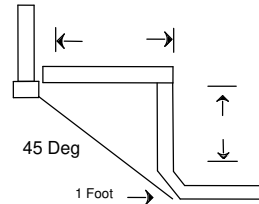
SHELL STRUCTURE



DECK STRUCTURAL



ANGLE OF REPOSE



Customer Info

Name: D APRILE PROPERTIES
Address: 618 Bayview Dr
City: Longboat Key State: FL Zip: 34228
Subdivision: Bayview Estates
Legal Description: Lot 18
County: Manatee
Home Phone: _____

General Specifications

Pool Size: 11'6" x 33'4" Depth: 3' - 5'
Pool Area: 385 sq ft Perimeter: 90'
Pool Coping: TBD Earth Disposal by SMP
Deck Topping: TBD Deck Area: 813 sq ft
Lanai: TBD Raised Deck: TBD
Grading by: SMP
Electrical Hookup: by SMP (electric run to equipment pad by owner)
Main Drain: (2) 10" Pebbletop
Return Inlets: 3 Therapy Jets: N/A
Pool Cleaner: N/A Skimmer: Waterway
Time/Clock Transformer: Yes
Auto Controller: Intelliscenter
Filter: Clean and Clear 150 Light: (2) Pentair LED Color
Pump: Intelliflo Heater: TBD
Chlorinator: TBD *Gas line, gas tank, gas hook up are not included
W/L Tile: TBD Step Tile: N/A
Screen Cage: N/A Color: N/A
Pool Interior: PebbleTec Color: TBD
Safety Feature: TBD

Spa

Shape: Rectangle Size: 6' x 11'6" ID
Area: 69 sq ft Perimeter: 35'
Raise: 6" Pump: Shared
Therapy Jets: (6) Light: (1) Pentair LED Color

All dimensions 5% tolerance. Location points, dimensions, and construction specifications have been explained to me and I have approved them. Everything we have discussed is shown and there are no verbal agreements. I understand that any changes will necessitate extra charges. All changes orders are due in full at time of acceptance. SMP is not responsible for replacement of sod, trees, shrubs, or sprinklers.

*Hidden underground objects could results in additional costs.

Notes:

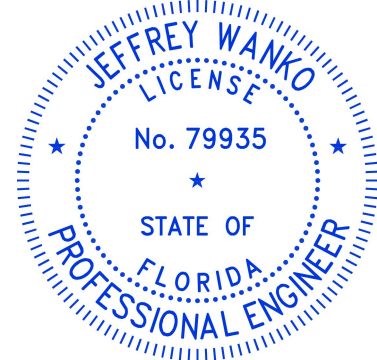
I have reviewed and I give my approval to proceed with the

Designer: M.JR

Customer

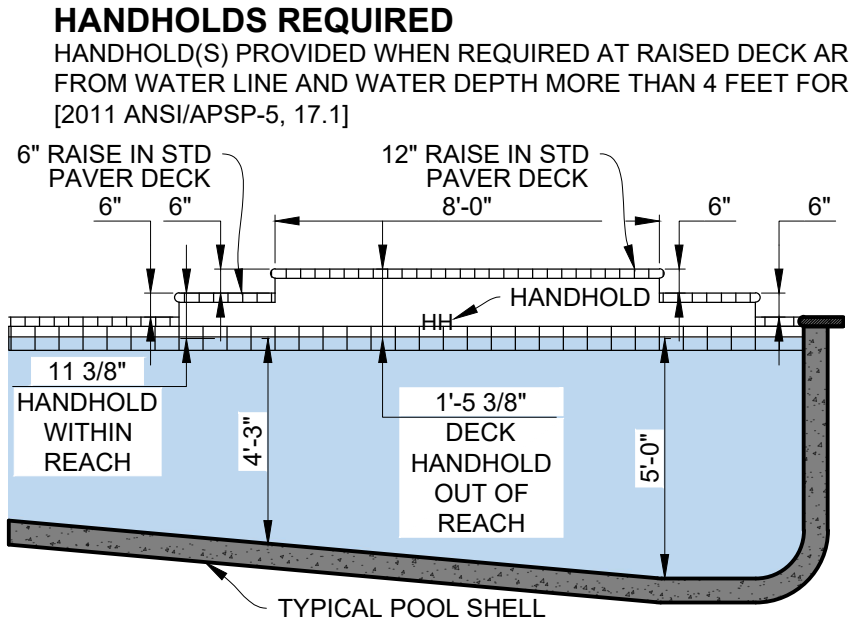
Date

RESIDENTIAL POOL AND SPA PLAN REVIEW CHECKLIST FOR CRITICAL SAFETY CODE REQMTS



This document has been digitally signed & sealed by Jeffrey Wanko on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by
Jeffrey Wanko
Reason: I am
approving this
document
Date: 2025.06.04
14:30:08 -04'00'



ON PAVER COPING A 6" RISE STILL HAS HANDHOLD

ON CONCRETE OVER POUR MORE THAN 5" RISE IS OUT OF REACH FOR HANDHOLD.

WHEN POOL WATER CLOSER THAN 5 FT

WINDOWS, DOORS OR OTHER GLASS WITHIN 5 FT OF WATER'S EDGE: MUST HAVE MANUFACTURER'S DESIGNATION OF SAFETY GLAZING AND BE VISIBLY MARKED

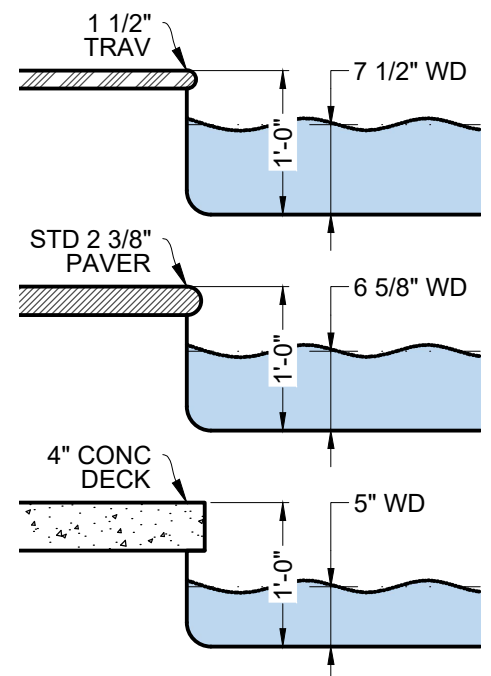
ALL FIXED METAL PARTS WITHIN 5 FT HORIZONTAL OR 12 FT VERTICAL- DOOR AND WINDOW FRAMES, CAGE AND FENCE STRUCTURES, STATIONARY EQUIPMENT, METAL AWNINGS- SHALL BE BONDED UNLESS PERMANENT BARRIER

ENERGY CODE REQUIREMENTS RESTATED:

1. GAS HEATER ELECTRICAL FEED SHALL BE THROUGH GFCI.
2. 4X PIPE DIAMETER STRAIGHT PIPE REQUIRED STRAIGHT INTO PUMP, 8" FOR 2" FITTING, 10" FOR 2.5" FITTING.
3. MIN 18" STRAIGHT PIPE REQUIRED AFTER FILTER AND BEFORE HEATER, IF HEATER PROVIDED.

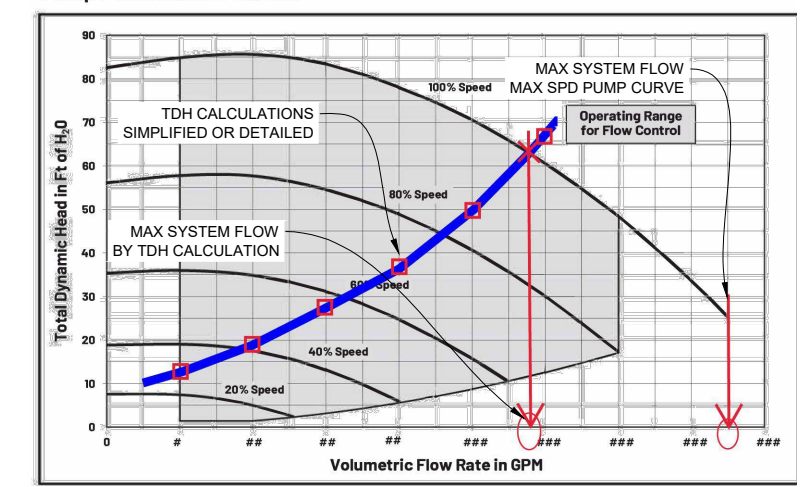
ANSI 7 SUCTION ENTRAPMENT SAFETY PLAN REVIEWER AND INSPECTOR MUST VERIFY SUCTION OUTLET COVER RATED FLOW GREATER THAN DETAILED TDH CALCULATION AT MAXIMUM PUMP SPEED OR AT LEAST EXCEEDS MAXIMUM FLOW OF PUMP CURVE AND PARTICULARLY VERIFY SIDEWALL SUCTIONS AND RATED "WALL" FLOWS

SUN SHELF AS FIRST STEP
MAXIMUM 12" DECK TO SUN SHELF AS 1ST STEP, LIMITS WATER DEPTH UNLESS ADDED STEP ON SHELF.
[2011 ANSI/APSP-5, 6.2.2]



IF TDH USED TO SHOW SOFA COMPLIANCE, FLOW VERIFICATION REQUIRED AT FINAL.

EXAMPLE SIMPLE OR DETAILED TDH



THIS DOCUMENT VALID ONLY 12 MONTHS FROM DATE SIGNED

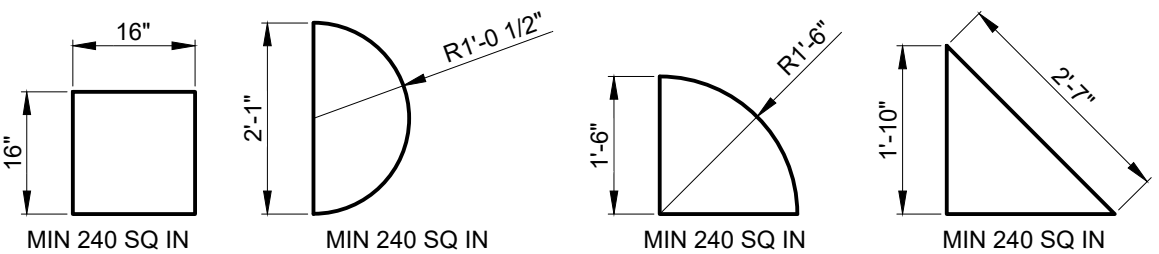
ORIG. DWG. 17"x11" (ANSI B)

1 HANDHOLDS REQUIRED

SCALE: N.T.S.

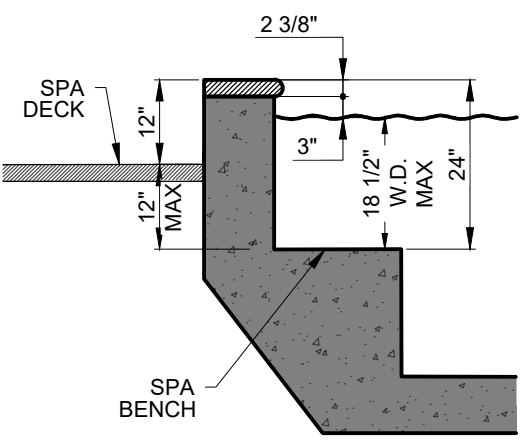
SPA STEP REQUIRED

UNLESS A SPA IS RAISED 12" OR MORE FROM DECK, A SPA STEP IS REQUIRED ON THE BENCH FOR THE MAXIMUM 12" FROM DECK TO ENTRY. [2014 ANSI/APSP-3, 5.6.1]



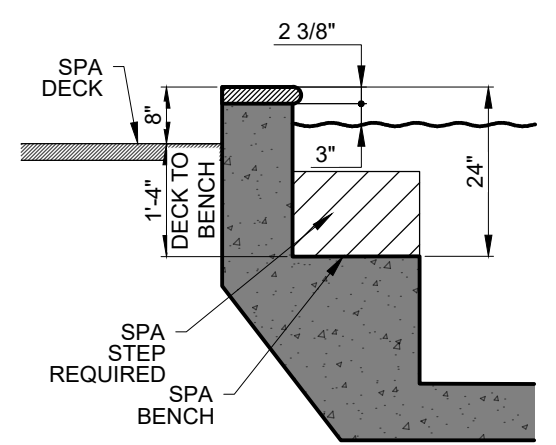
2 EXAMPLE 240 SQ IN STEP DIMENSIONS

SCALE: N.T.S.



12" RAISED SPA NO STEP

SCALE: N.T.S.



8" RAISED SPA STEP REQD.

SCALE: N.T.S.

5 SUN SHELF AS 1ST STEP

SCALE: N.T.S.

COMPLIES WITH
2023 8TH ED. FBC,
ALL VOLUMES

1925 Worth Ct.
Bradenton, FL 34211
Office: 941-749-0311
C.A. 27189



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REV. DATE DESCRIPTION
PROJ. NO.: DWG BY: CKD BY: JJK
2023 FBC 01-Jan-24 01-Jan-24
VERSION: 01-Jan-24

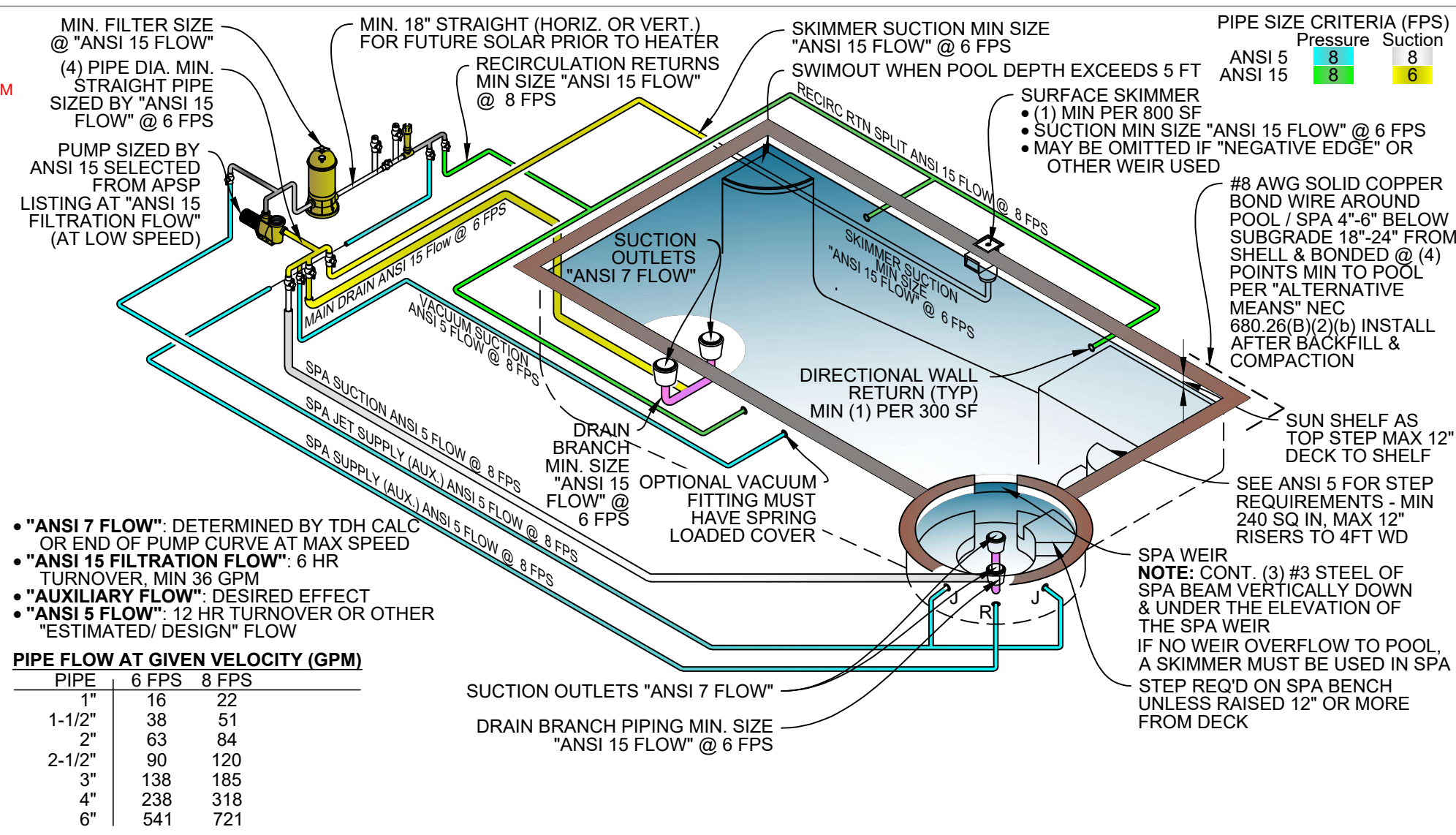
618 BAYVIEW DR
SOUTHERN MOST POOLS

TYPICAL PLAN & SECTIONS
FOR RESIDENTIAL POOL/SPA

SHEET

S1

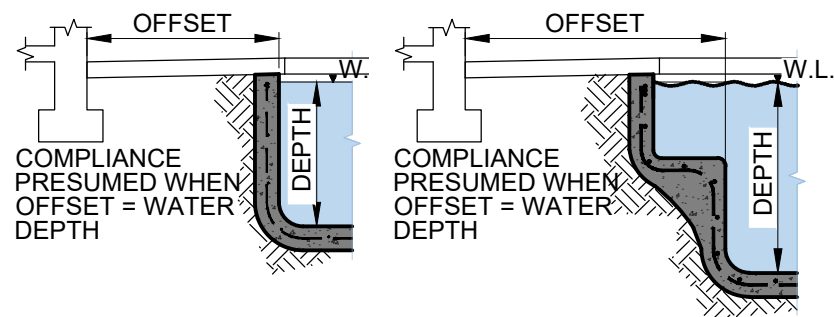
SHEET 1 OF 3



1 TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN

SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 8TH ED (2023) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:



2 "ANGLE OF REPOSE" OR SEE CONTRACTOR PLAN PROXIMITY TO STRUCTURE

SCALE: N.T.S.

1. WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
2. WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
3. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
4. IF AFTER EXCAVATION THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.

- NOTES:**
- THIS PLAN IS SCHEMATIC & PIPING SHALL BE CONNECTED TO PROVIDE A FUNCTIONING SYSTEM.
 - POOL PIPING SHALL HOLD STATIC WATER OR AIR PRESSURE NOT LESS THAN 35 PSI FOR 15 MINUTES, PER R4501.12.1
 - POOLS SHALL HAVE FILTRATION PUMPS SELECTED TO PROVIDE MINIMUM 12 HR. TURNOVER & MAXIMUM 6 HOUR TURNOVER.
 - DETERMINE PIPE SIZING FROM ATTACHED ANSI WORK SHEETS.
 - SPA PIPING DETERMINED FROM ATTACHED WORK SHEETS.
 - DUAL MAIN DRAINS SHALL HAVE A MINIMUM SEPARATION OF 3 FT, UNLESS ONE IS LOCATED ON A VERTICAL WALL OR A SINGLE UNBLOCKABLE DRAIN IS USED.
 - ALL SUCTION COVERS SHALL MEET ANSI/APSP/ICC-16 2017
 - ALL PIPING SHALL BE NSF-PW APPROVED & MEET THE REQUIREMENTS OF 8TH ED. (2023) FBC.
 - ELECTRICAL EQUIPMENT, WIRING, & INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2020 EDITION.
 - BONDING OF POOL STEEL & LIGHT TO FOOTING STEEL SHALL BE CONTINUED TO & INCLUDE ALL PUMPS & HEATERS.
 - TEMPORARY FENCING SHALL BE INSTALLED & MAINTAINED UNTIL PERMANENT CHILD SAFETY FEATURES ARE INSTALLED.
 - THERE SHALL BE A PASSING ELECTRICAL & CHILD SAFETY FINAL INSPECTION PRIOR TO FILLING THE POOL OR SPA WITH WATER.
 - POOL SHALL MEET THE APPLICABLE CRITERIA IN ANSI/APSP 3,4,5,6, 7 & 15 STANDARDS ADOPTED IN 8TH ED. (2023) FBC
 - REGARDLESS OF THE CRITERIA HERE, THE PROJECT SHALL COMPLY WITH ALL SECTIONS OF THE 8TH ED. (2023) FBC - RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING & GAS CODES, AS APPLICABLE RESPECTIVELY & AMENDED.

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING ANSI 7 & 15 AND FBC COMPLIANCE

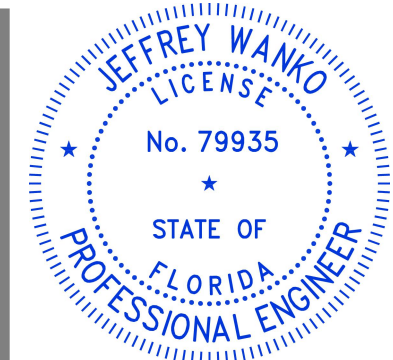
COMPLIES WITH
2023 8TH ED. FBC,
ALL VOLUMES

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ORIG. DWG: 17"x11" (ANSI B)



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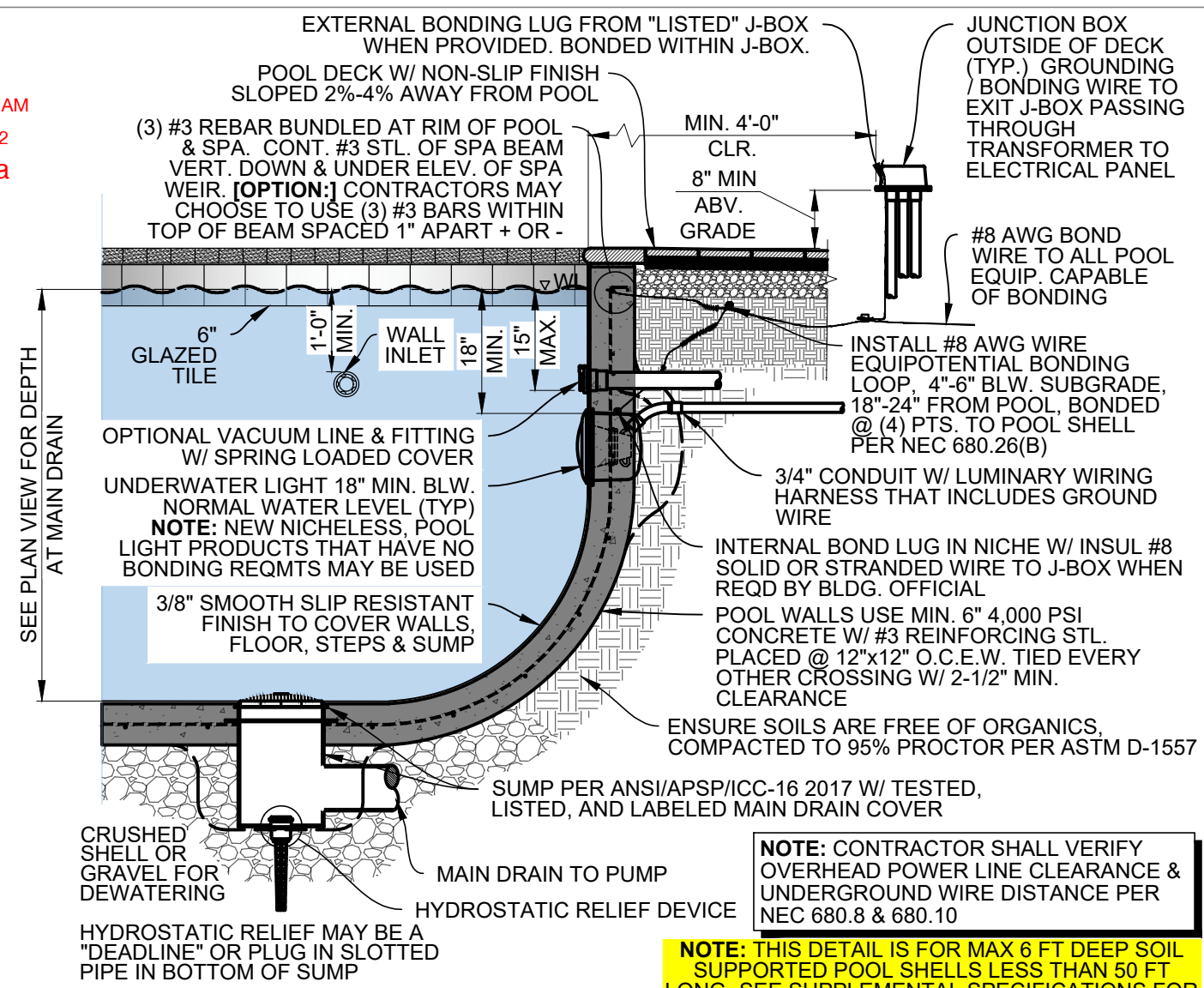
KIMES ENGINEERING

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REV.	DATE	DESCRIPTION
PROJ. NO.:	DWG BY: JWK	01-Jan-24
2023 FBC	CDK BY: JWK	01-Jan-24
	VERSION:	01-Jan-24

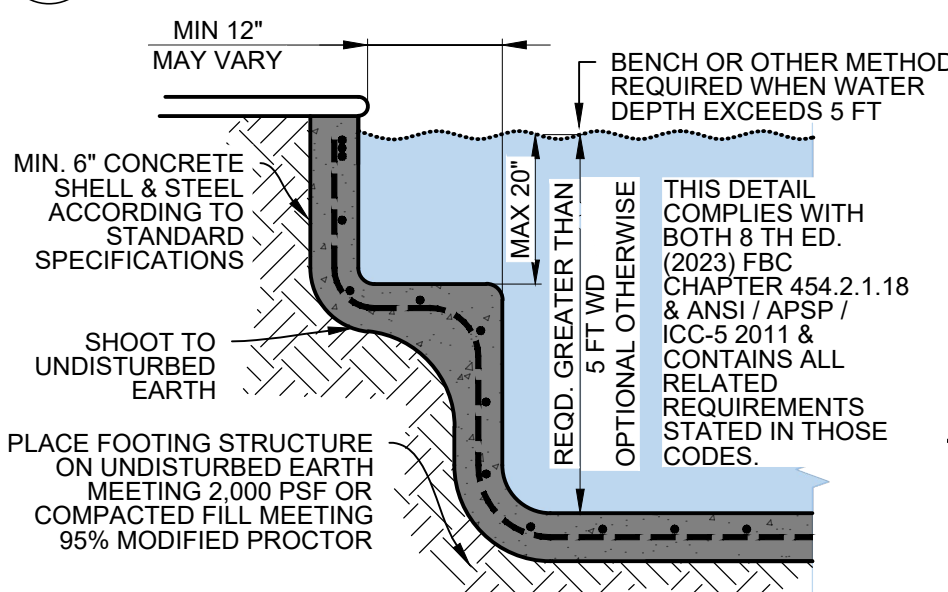
618 BAYVIEW DR
SOUTHERN MOST POOLS

TYPICAL PLAN & SECTIONS
FOR RESIDENTIAL POOL/SPA



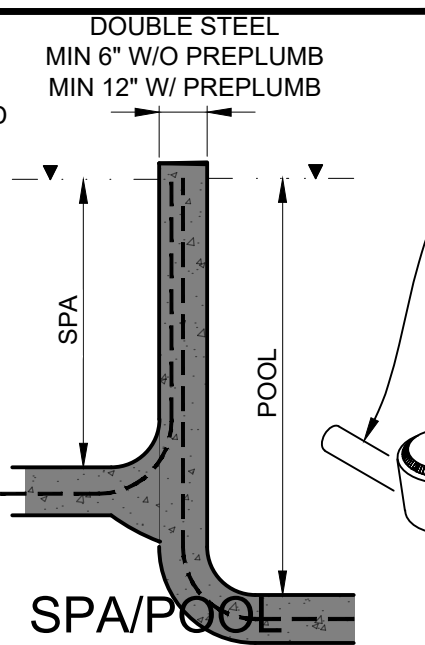
1 POOL DEEP END SECTION

SCALE: N.T.S.



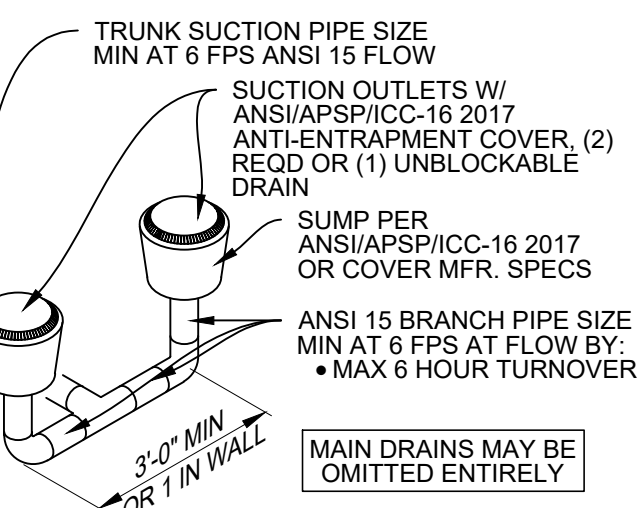
3 BENCH SECTION

SCALE: N.T.S.



6 SPA/POOL COMMON WALL

SCALE: N.T.S.



4 BRANCH PIPING

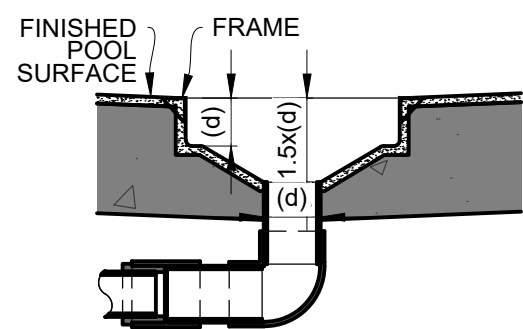
SCALE: N.T.S.

2 FIELD BUILT SUMP

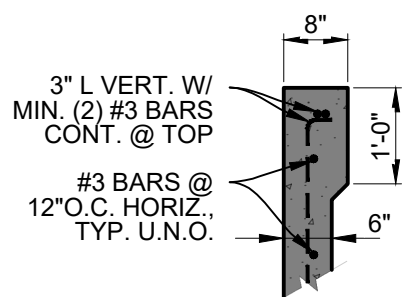
SCALE: N.T.S.

DRAIN COVERS & SUMPS a.k.a. SUCTION OUTLET FITTING ASSEMBLIES (SOFA) ANSI/APSP/ICC-16 2017

- FOLLOW THE PRODUCT SPECIFICATIONS AND/OR INSTALLATION INSTRUCTIONS FOR MIN./MAX. SUMP DIMENSIONS, DRAIN COVER/GRATE, AND FRAME FASTENING MEETING MFGR'S SOFA CERTIFICATION.
- **DO NOT USE POWER TOOLS TO INSTALL FASTENERS**
- FIELD MODIFICATIONS TO ANY SOFA NOT AUTHORIZED BY MFGR INSTALLATION INSTRUCTIONS SHALL VOID THE SOFA CERTIFICATION
- HAND CHECK COVER/GRATE SNUGNESS TO SUMP/FRAME AFTER INSTALLATION
- SOFA COMPONENTS HELD IN PLACE BY INTERIOR FINISH OF THE POOL SHALL BE FREE OF DETERIORATION AND VOIDS



SPECIFIED PVC PIPE SIZE (d)
MIN. SUMP DEPTH 1.5x(d)
MIN. LEDGE DEPTH (d)
- OR -
FOR FIELD BUILT SUMPS SEE PRODUCT INSTALLATION INSTRUCTIONS



5 POOL BEAM 8"x12" OPTION

SCALE: N.T.S.

COMPLIES WITH
2023 8TH ED. FBC,
ALL VOLUMES

5

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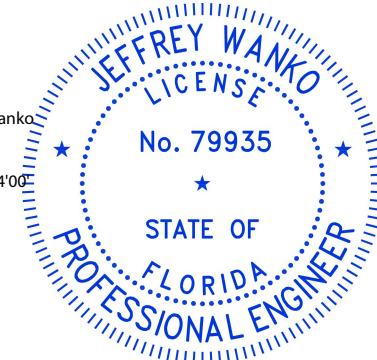
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NOTES:
• APPROVED PRODUCT SPECIFICATION MAY DIFFER FROM FIELD BUILT SUMPS SHOWN ON THIS PAGE

ADDITIONAL STRUCTURAL NOTES:

- USE MINIMUM ASTM A615 GRADE 40 STEEL
- LAP #3 BARS MINIMUM 15"
- LAP #5 BARS MINIMUM 25"
- 6" SHELL THICKNESS AND 2-1/2" CONCRETE COVERAGE ARE MINIMUMS
- USE 4,000 PSI CONCRETE
- CONTRACTOR / OWNER REQUIRED TO:
 - CONTACT ENGINEER IF POOL NOT PLACED ON UNDISTURBED AND DE-WATERED EARTH THAT CAN MEET 2,000 PSF BEARING CAPACITY.
 - WHEN BURIED DEBRIS IS ENCOUNTERED OR QUESTIONABLE CONDITIONS ARE INDICATED AT THE WORK SITE PRIOR / DURING CONSTRUCTION, A SUBSURFACE CONSULTANT SHALL CONDUCT BORING(S) IN THE AREA OF THE POOL TO CONFIRM SOIL BEARING CAPACITY, CLEAR OF BURIED DEBRIS, & VERIFYING GROUND WATER LEVEL
- ALL MODIFIED SOILS & EARTH FILL UNDER PERSPECTIVE POOL AREA SHALL MEET A SOIL DENSITY AND COMPACTION MINIMUM OF 95% MODIFIED PROCTOR WITHOUT SETTLEMENT.



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618 BAYVIEW DR
SOUTHERN MOST POOLS

TYPICAL SECTIONS
FOR RESIDENTIAL POOL/SPA

SHEET
S3

SHEET 3 OF 3