



Town of Longboat Key
Planning, Zoning and Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
941-316-1966
941-316-1970 FAX

TRANSMITTAL FORM

DATE: 2/23/26 PERMIT NUMBER: BR-ALT-26-0001

SITE ADDRESS: 640 Fox ST

Please provide the following information:

CONTACT NAME: TIM HANCZ

COMPANY NAME: _____

PHONE #: 630 200 5391 CELL #: _____

EMAIL ADDRESS: TIM@TDHMECHANICAL.COM

Select One:

RESPONSE TO COMMENTS _____

REVISIONS / RE-SUBMITTAL ☒

CORRECTION _____

OTHER _____

Check all that apply to your submission:

Submittal to be reviewed by:

Building/FEMA ☐ Electrical ☐ HVAC ☐ Plumbing ☐ Planning/Zoning ☐

Gas Venting ☐ Gas Piping ☐ Fire Marshal ☐ Landscape ☐

Utilities: (Drainage/Water/Sewer) ☐ PERMIT

Items included in this transmittal: Plan Set

Additional comments:

Change Bed room 3 TO
"DEN", This is noted on this
plan set on page A1.1.

Revised 1/11/2025

Thank you

TIM HANCZ
owner

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

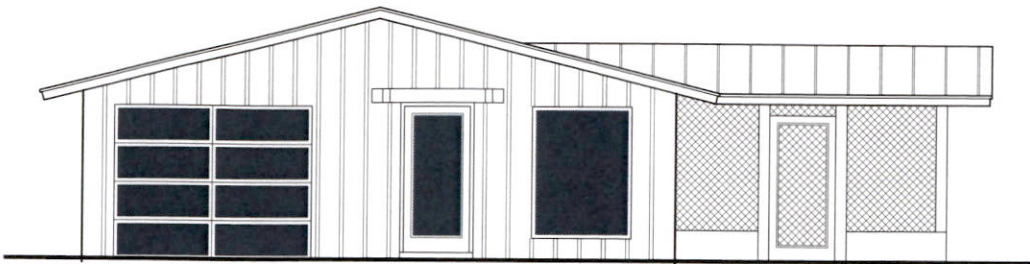


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ra Klahr

DESCRIPTION:



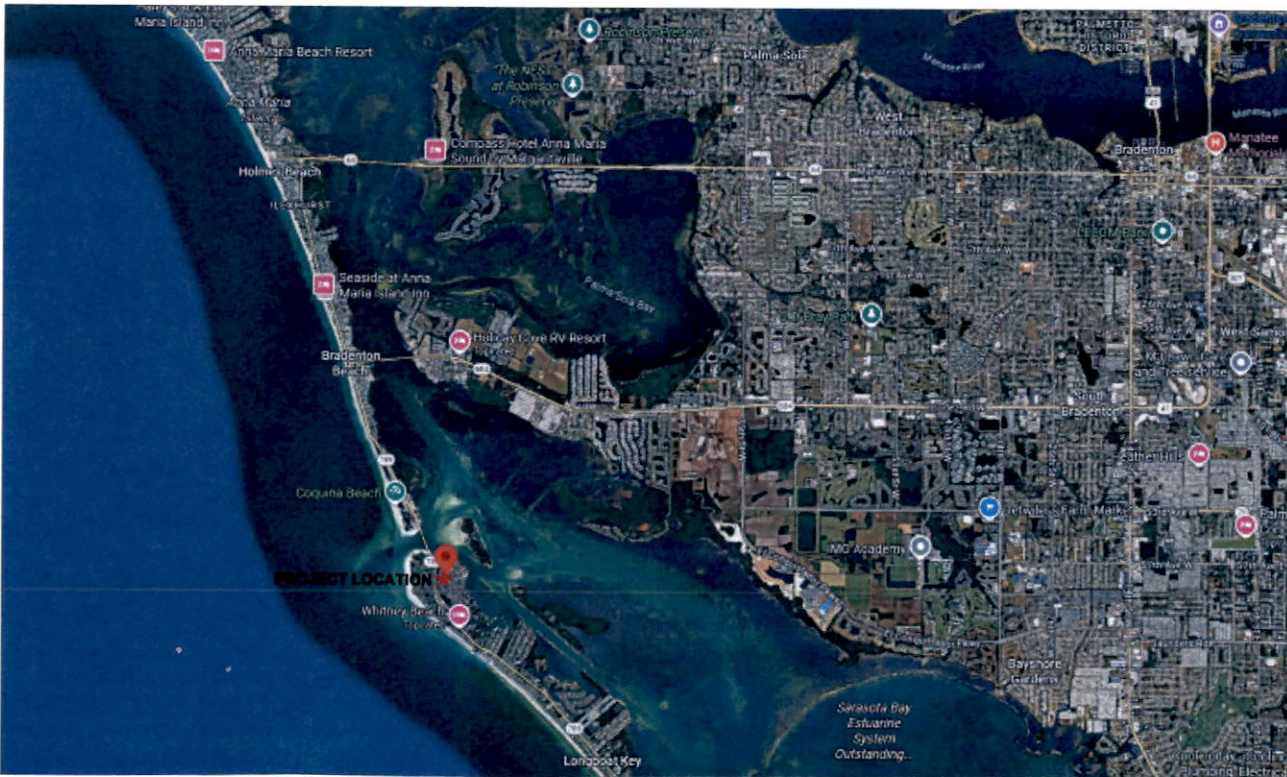
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Debra Klahr



RENOVATIONS TO HANCZ RESIDENCE

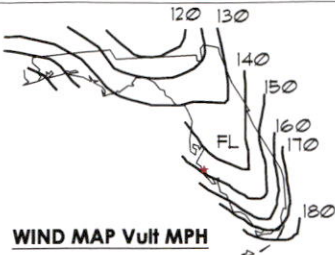
640 FOX ST., LONGBOAT KEY, FL 34228

PROJECT LOCATION:



DESIGN CRITERIA:

CLASSIFICATION: RESIDENTIAL, R-3
WIND SPEED (ULT): 150 MPH
EXP CAT: D
RISK CAT: II
INTERNAL PRESSURE COEFF: +/-0.18
WIND BORN DEBRIS: YES
WINDOW PROTECTION TYPE: IMPACT
FLOOD ZONE: AE 8.0'
BASE FLOOR ELEVATION, BFE: 8.0' NAVD88
DESIGN ELEVATION, DFE: 12.0' NAVD88
CONSTRUCTION TYPE: V, UNSPRINKLERED



SCOPE OF WORK:

- LEVEL 2 ALTERATION:
- INTERIOR RENOVATIONS AND REPAIRS TO AN EXISTING 1 STORY SINGLE FAMILY HOUSE.
 - ADD ALL NEW DOORS, WINDOWS, AND METAL ROOF.

ABBREVIATIONS:

ANNOTATIONS // = PARALLEL ⊥ = PERPENDICULAR A A.B. : ANCHOR BOLT ABV : ABOVE A/C : AIR CONDITIONING ADJ : ADJUSTABLE AFF : ABOVE FINISH FLOOR AHU : AIR HANDING UNIT ALT : ALTERNATE ALUM : ALUMINUM AP : ACCESS PANEL APPROX : APPROXIMATE ARCH : ARCHITECTURE (URAL) AOR : ARCHITECT OF RECORD AVG : AVERAGE AWN : AWNING B BFF : BELOW FINISH FLOOR BLD : BOLLARD BLDG : BUILDING BLK : BLOCK BLW : BELOW BM : BEAM/BENCHMARK BRK : BRICK BRD : BOARD BRG : BEARING BS : BOTH SIDES B.O.B. : BOTTOM OF BEAM BTM : BOTTOM BTW : BETWEEN C CAP : CAPACITY C/C : CENTER TO CENTER CEM : CEMENT CFS : COLD FORMED STEEL CIP : CAST IN PLACE CJ : CONTROL JOINT CLG : CEILING CLR : CLEAR CMU : CONCRETE MASONRY UNIT COL : COLUMN CONC : CONCRETE CONN : CONNECTION CONT : CONTINUOUS D DEMO : DEMOLITION DL : DEAD LOAD DTL : DETAIL DIAM : DIAMETER DN : DOWN DWG : DRAWING DBL : DOUBLE	E EA : EACH E.W. : EACH WAY E.J. : EXPANSION JOINT EL : ELEVATION EOR : ENGINEER OF RECORD E.Q. : EQUAL E.R. EXP : EXPOSED EXST : EXISTING EXT : EXTERIOR F FB : FABRICATION FT : FEET F.F. : FINISHED FLOOR F.C. : FILLED CELL F.L. : FLOOR FRM : FRAME FTG : FOOTING FDN : FOUNDATION G GA : GAUGE GAR : GARAGE GALV : GALVANIZED GC : GENERAL CONTRACTOR GRT : GROUT GWB : GYPSUM WALLBOARD H HGT : HEIGHT HR : HOUR HCR : HOLLOW CORE HORIZ : HORIZONTAL HVAC : HEATING, VENTILATING, AIR CONDITIONING I ID : INSIDE DIAMETER INFO : INFORMATION INT : INTERIOR ILO : IN LIEU OF IN : INCH INSUL : INSULATION J JS : JOIST JT : JOINT K KO : KNOCK OUT L LVL : LAMINATED VENEER LUMBER LB : POUND L : LENGTH LL : LIVE LOAD LWT : LIGHT WEIGHT	M MAS : MASONRY MATL : MATERIAL MAX : MAXIMUM MECH : MECHANICAL MANU : MANUFACTURER MIN : MINIMUM MO : MASONRY OPENING MPH : MILES PER HOUR N N : NORTH NA : NOT APPLICABLE NOM : NOMINAL NR : NOT REQUIRED NTS : NOT TO SCALE O O/ = OVER OA : OVERALL O.C. : ON CENTER O.D. : OUTSIDE DIAMETER OH : OVERHEAD OPP : OPPOSITE P PC : PRECAST LINTEL PLWD : PLYWOOD PNL : PANEL PSI : POUNDS PER SQUARE IN PSF : POUNDS PER SQUARE FT Q QTY : QUANTITY R R : RADIUS REF : REFERENCE REIN : REINFORCE REQD : REQUIRED REV : REVISION RO : ROUGH OPENING S S : SOUTH SC : SCALE SCH : SCHEDULE SIM : SIMILAR STD : STANDARD SHT : SHEET SH : SINGLE HUNG SF : SQUARE FEET SERV : SERVICE SPEC : SPECIFICATION SS = STAINLESS STEEL STL : STEEL STRUC : STRUCTURAL	T TBD : TO BE DETERMINED T.O.B. : TOP OF BEAM T.O.F. : TOP OF FOOTING T.O.W. : TOP OF WALL T & G : TONGUE & GROOVE THK : THICKNESS TOM : TOP OF MASONRY TOS : TOP OF SLAB TRP : TRIPLE TYP : TYPICAL U U.N.O. : UNLESS NOTED OTHERWISE UTL : UTILITY V VAR : VARIES VB : VAPOR BARRIER VERT : VERTICAL W W : WIDTH WL : WIND LOAD W/ = WITH W/O : WITHOUT WGT : WEIGHT WWF = WELDED WIRE FABRIC WP : WATER PROOF Y Y : YARD
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AR CREATIVE CONCEPTS, LLC
Angel Ruiz, AIA
ar@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL # 69317 CA# 29831
PO BOX 81 TERRA CESA,
FL 34280 | 941-932-9892



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RENOVATIONS TO
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640 FOX ST.
LONGBOAT KEY, FL 34228

TO THE BEST OF THE ENGINEER'S
KNOWLEDGE AND BELIEF, THE STRUCTURAL
PLANS AND SPECIFICATIONS COMPLY WITH
2023 FLORIDA RESIDENTIAL BUILDING CODE
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Diana M. Higgins P.E.,
FL # 69317

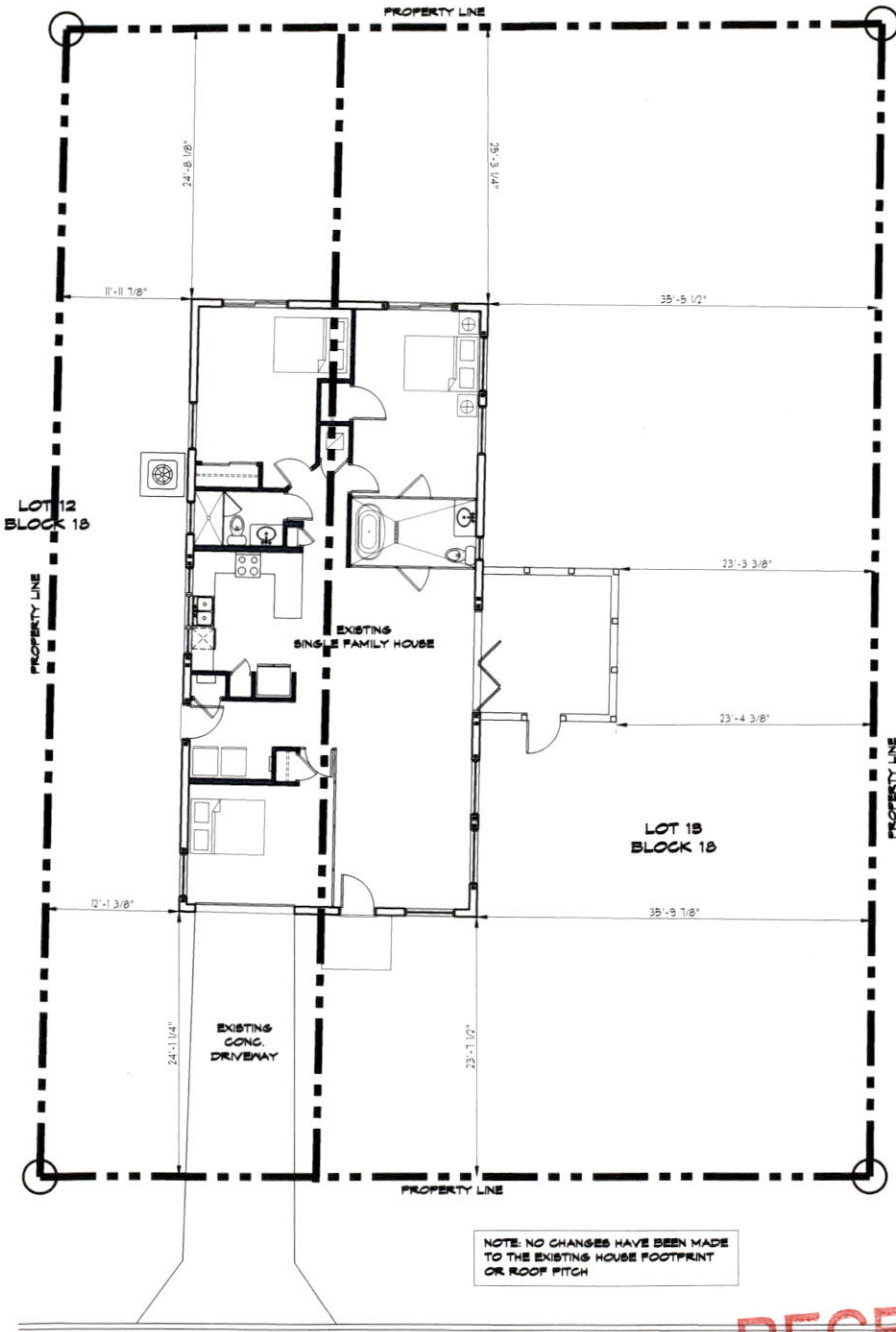
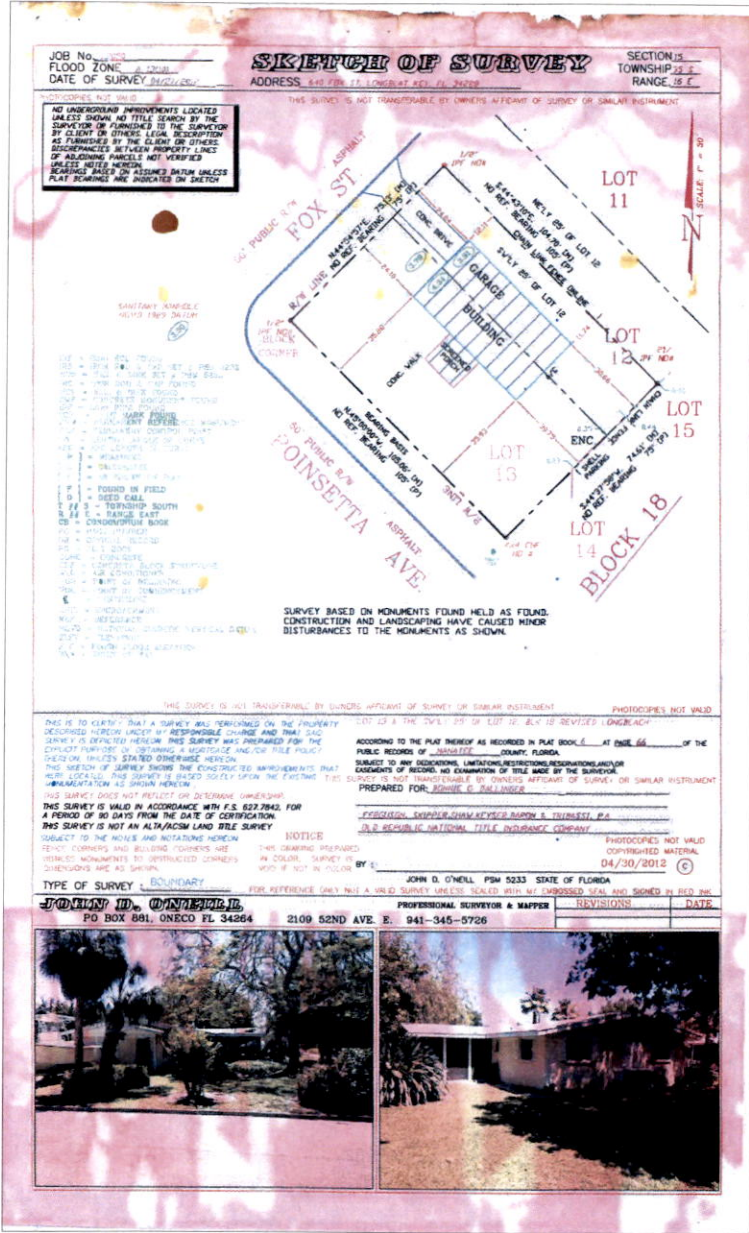
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Diana Higgins
Date:
2025.12.23
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SHEET TITLE:
COVER SHEET

SHEET INFORMATION:
JOB NO.:
DATE ISSUED: 11.12.25
DRAWN BY: AR
REVIEWED BY:

sheet:

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AR

AR CREATIVE CONCEPTS, LLC
Angel Ruiz, AIA
ar@arcreativeconcepts.com
1:813.789.9132

DI

Diana M. Higgins P.E.
FL# 69317 CA# 29831
PO BOX 81 TERRA CEIA,
FL 34250 | 941-932-5892

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640 FOX ST.
LONGBOAT KEY, FL 34226

TO THE BEST OF THE ENGINEER'S
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SHEET TITLE:
ARCHITECTURAL
SITE PLAN

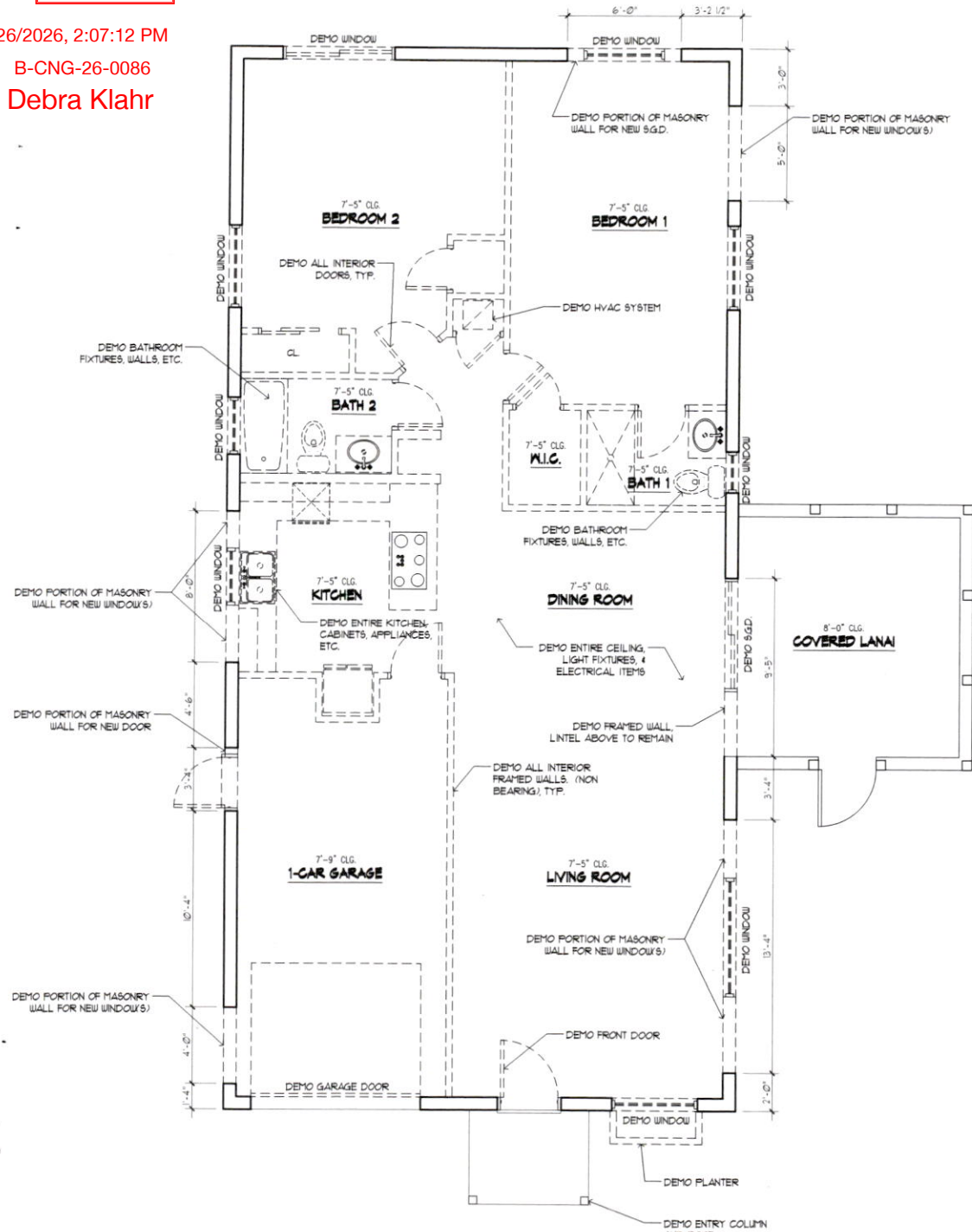
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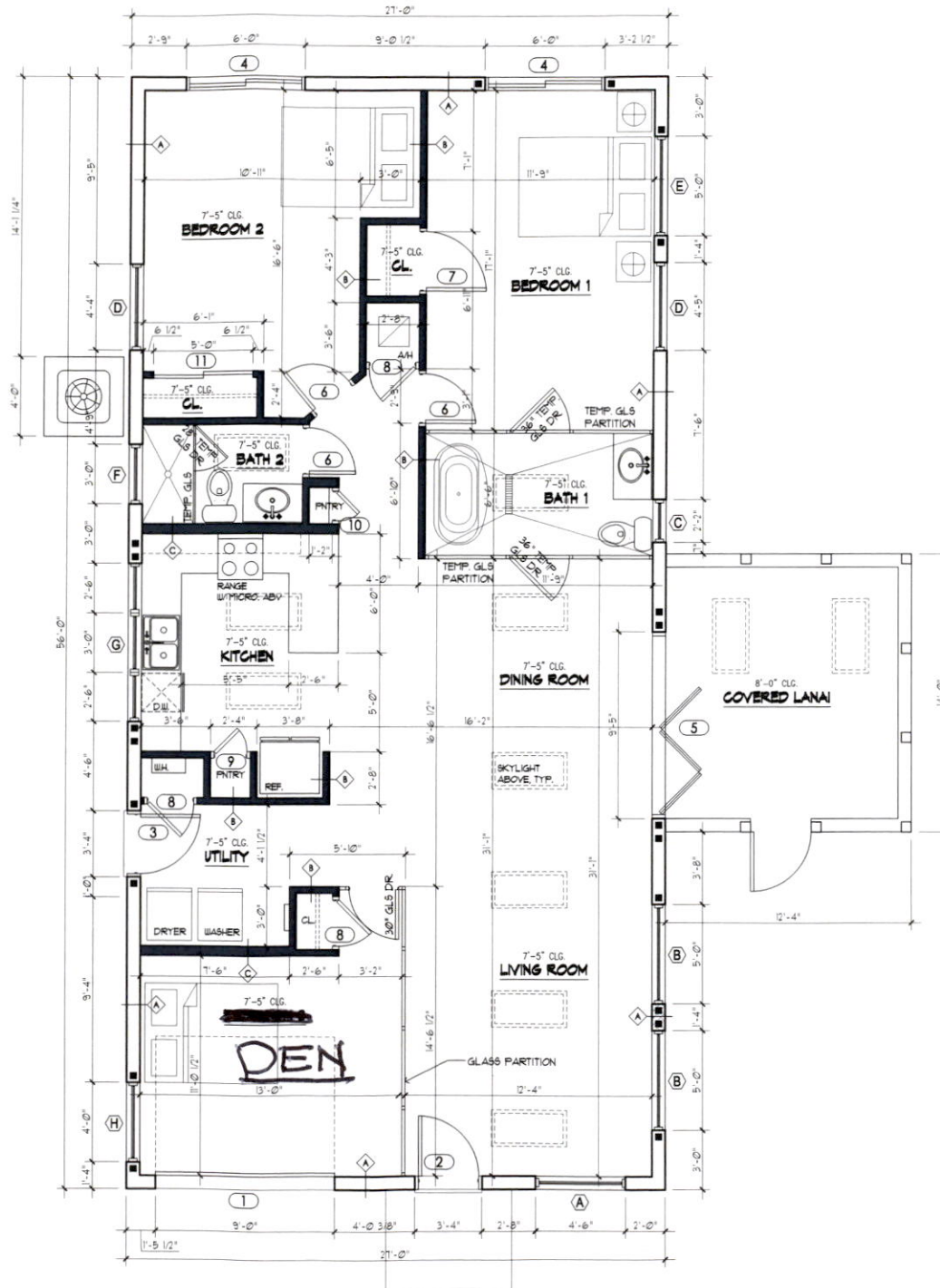
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Debra Klahr



1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT.
3. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES WHERE REQUIRED TO PROTECT THE PUBLIC.
4. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT TENANTS. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMOLITION WORK. THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.
5. ALL DEBRIS AND MATERIALS FROM THE BUILDING SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ENGINEER OR OWNER.
6. WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
7. CONTRACTOR SHALL USE CAUTION DURING THE DEMOLITION OR REMOVAL OF ANY ITEM. SHORE ALL STRUCTURE AT EACH SIDE OF A BEARING WALL TO BE REMOVED TO PREVENT DEFLECTION. SHORING SHALL BE IN PLACE UNTIL THE NEW WALL/BEAM IS INSTALLED.
8. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL/SOURCE. ALL WORK SHALL BE DONE BY LICENSED ELECTRICIAN.
9. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF-TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
10. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTINGS AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.

PLAN NOTES

1. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF BLOCK WALL TO INSIDE FACE OF INTERIOR WALL.
2. DETERMINE THE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER WINDOW JAMB OR OTHER SIMILAR FIXED ITEM.
3. ALL INTERIOR ANGLED WALLS ARE AT 45° U.N.O.
4. EGRESS NOTE: EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES. IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR, THE WINDOW MUST HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM.
5. ISSUANCE OF PLANS FROM THIS DESIGNER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DESIGNER'S OFFICE, THE DESIGNER SHALL NOT BE HELD RESPONSIBLE.
6. DRYER VENT NOTE: INSTALL BOOSTER FAN IN THE ATTIC TO ACCOMMODATE THE EXCESS LENGTH OF THE DRYER VENT TO COMPLY WITH SECTION MB013 FRC. LOCATE SO AS TO BE ACCESSIBLE.
7. LOCATION OF ATTIC ACCESS TO BE VERIFIED IN FIELD.
8. SEE SHEET 501 FOR COMPONENT & GLAZING DESIGN PRESSURE TABLE.
9. ALL PLUMBING, ELECTRICAL & MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED & APPROVED BEFORE REQUESTING THE FINISHING INSPECTION (PER FBC 102.3).
10. PROVIDE TEMPORARY SUPPORT TO ALL MASONRY WALLS GREATER THAN 8'-0" DURING CONSTRUCTION (PER FBC 104.1).
1. GARAGE DOORS SHALL BE LABELED WITH A PERMANENT LABEL PROVIDED BY THE MANUFACTURER.
1. FLOOD HAZARD AREAS: MUST COMPLY WITH ELEV. REQ. OF FBC R 322.21 & ENCL. AREA BELOW DFE REG. 322.22
2. ALL MATERIALS BELOW ARE TO BE FLOOD RESISTANT PER FEMA NFIP REGULATIONS/TECHNICAL BULLETIN

WALL LEGEND

	8'-0" EXISTING CMU EXTERIOR WALL
	CMU INFILL WALL
	ITEMS TO BE REMOVED
	EXISTING FRAMED WALLS TO REMAIN
	WOOD FRAMED 2X4 INTERIOR NON BEARING WALL (2X6 WHERE NOTED)

AREA CALCULATIONS

RESIDENCE	COND. SPACE	UNCOND. SPACE
LIVING +	150	COVERED LANAI + 172
TOTAL +	150 SF	TOTAL + 172 SF



AR CREATIVE CONCEPTS, LLC
Angel Ruiz, AIA
aruz@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL# 69317 CA# 29831
PO BOX 81 TERRA CEIA,
FL 34350 | 941-932-5892



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RENOVATIONS TO
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TO THE BEST OF THE ENGINEER'S
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(FIFTH EDITION)

REVISION:
DATE DESCRIPTION

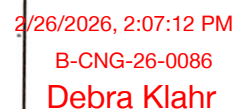
Engineer of Record:
Diana M. Higgins P.E.,
FL# 69317

SHEET TITLE:
DEMOLITION &
PROPOSED FLOOR PLANS

SHEET INFORMATION:
JOB NO.:
DATE ISSUED: 11.12.25
DRAWN BY:
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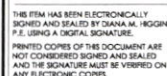


PROPOSED ROOF PLAN
SCALE : 1/4" = 1'-0"

1. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF BLOCK WALL TO INSIDE FACE OF INTERIOR WALL.
2. DETERMINE THE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER WINDOW JAMB OR OTHER SIMILAR FIXED ITEM.
3. ALL INTERIOR ANGLED WALLS ARE AT 45° U.N. I.O.
4. EGRESS NOTE:
EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLETES WITH EGRESS CODES. IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR OR WINDOW, THE WINDOW MUST HAVE A MINIMUM HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM.
5. ISSUANCE OF PLANS FROM THIS DESIGNER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL DIMENSIONS, MATERIALS, AND METHODS OF INSTALLATION OF BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
6. ANY DISCREPANCY OR ERROR IN NOTES, DIMENSIONS, OR SPECIFICATIONS TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS' OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
7. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE TO ANY OF THESE PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
8. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DESIGNERS' OFFICE, THE DESIGNER SHALL NOT BE HELD RESPONSIBLE.
9. DRYER VENT NOTE:
INSTALL BOOSTER FAN IN THE VENT TO ACCOMMODATE THE EXCESS LENGTH OF THE DRYER VENT TO COMPLY WITH SECTION 903.3. LOCATE SO AS TO BE ACCESSIBLE.
10. LOCATION OF ATTIC ATTENTION SHALL BE VERIFIED IN FIELD.
11. SEE SHEET 501 FOR COMPONENT 4 CLADDING DESIGN PRESSURE TABLE.
12. ALL PLUMBING, ELECTRICAL, & MECHANICAL, ROUGH-IN'S MUST BE COMPLETELY INSPECTED & APPROVED BEFORE REQUESTING THE PLUMBING INSPECTION (PER IRC 903.3).
13. PROVIDE TEMPORARY SUPPORT TO ALL MASONRY WALLS GREATER THAN 8" DURING CONSTRUCTION (PER IRC 904.10).
14. ALL EXTERIOR DOORS SHALL BE MARKED WITH A PERMANENT LABEL PROVIDED BY THE MANUFACTURER.
15. FLOOD HAZARD AREAS: MUST COMPLY WITH ULEV. REQ. OF FBC R 3222.1 & ENCL. AREA BELOW USE FBC 3222.2.
16. ALL EXTERIOR DOORS SHALL BE MARKED WITH A RESISTANT PER FEMA NFIP REGULATION/TECHNICAL BULLETIN.

FLORIDA BUILDING CODE R 806.2
CALCULATE TOTAL ROOF AREA $\times 24$ (1/150)
TOTAL EQUALS HOW MANY SQUARE INCHES
OF NET VENT AREA REQUIRED

TOTAL NEW ROOF AREA = 2,081 S.F. 500 MIN. SQ. IN. OF ROOF VENTILATION
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**RENOVATIONS TO
HANCZ RESIDENCE**

TO THE BEST OF THE ENGINEER'S KNOWLEDGE AND BELIEF, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH 2023 FLORIDA RESIDENTIAL BUILDING CODE (EIGHTH EDITION)

DATE	DESCRIPTION

Engineer of Record:
Diana M. Higgins P.E.
FL# 69317

SHEET TITLE:
ROOF PLAN

JOB NO.:
DATE ISSUED: 11.12.25
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REVIEWED BY:

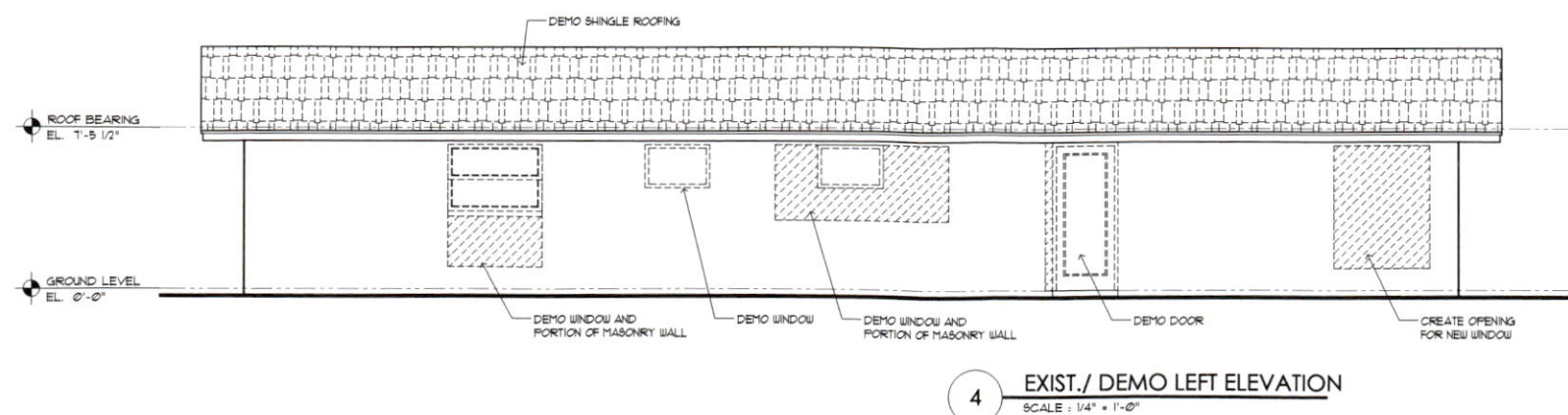
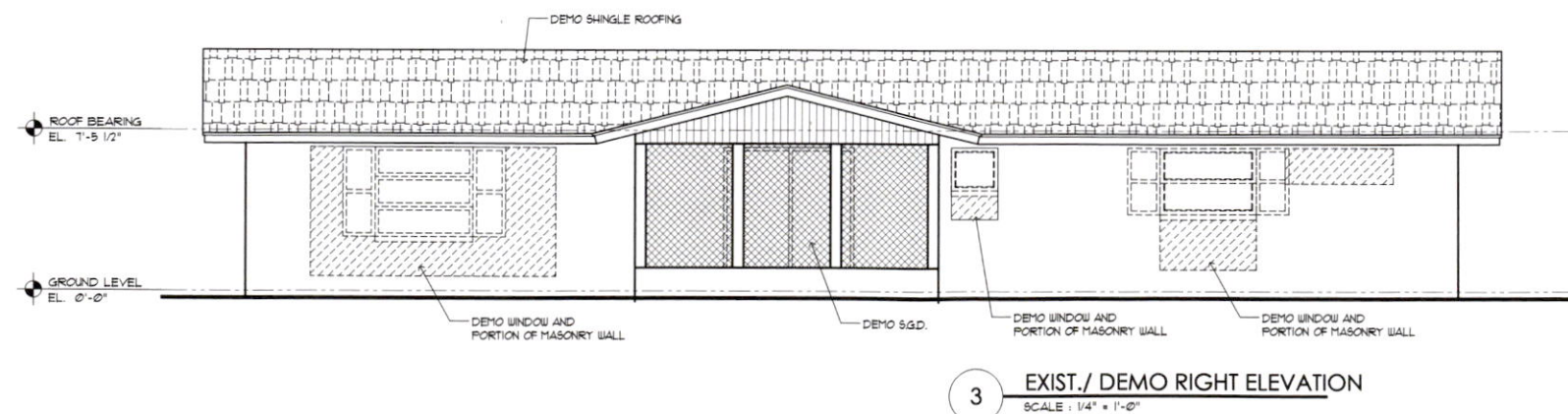
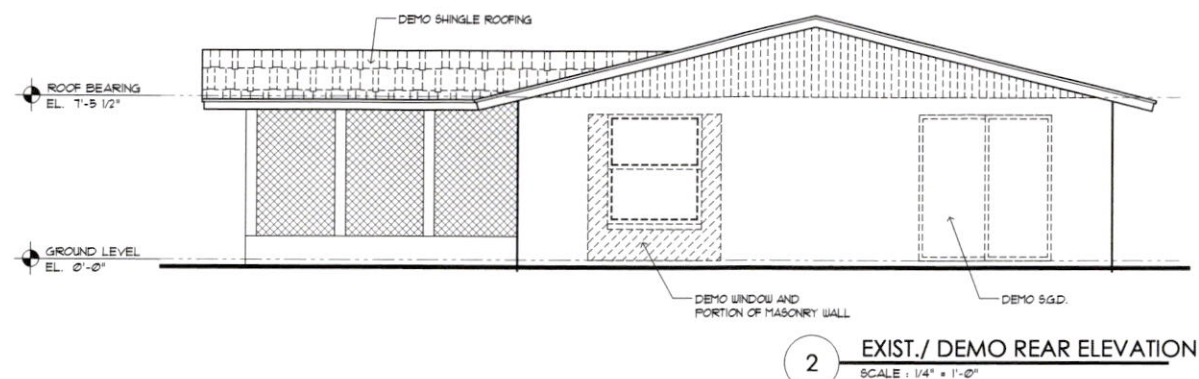
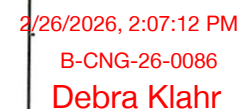
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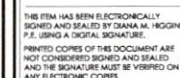
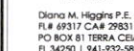
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building



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7. CONTRACTOR SHALL USE CAUTION DURING THE DEMOLITION OR REMOVAL OF ANY ITEM, SHORE ALL STRUCTURE AT EACH SHORING BEARING WALL TO BE REMOVED TO PREVENT DEFLECTION. SHORING SHALL BE IN PLACE UNTIL THE NEW WALL/BEAM IS INSTALLED.
8. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL/SOURCE. ALL WORK SHALL BE DONE BY LICENSED ELECTRICIAN.
9. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF-TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
10. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTINGS AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITIES. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.



**RENOVATIONS TO
HANCZ RESIDENCE**

TO THE BEST OF THE ENGINEER'S KNOWLEDGE AND BELIEF, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH 2023 FLORIDA RESIDENTIAL BUILDING CODE (EIGHTH EDITION)

REVISION

DATE	DESCRIPTION

Engineer of Record:
Diana M. Higgins P.E.
FL # 69317

SHEET TITLE

EXIST./DEMCO
EXTERIOR ELEVATIONS

SHEET INFORMATION

JOB NO.:

DATE ISSUED: 11.12.25

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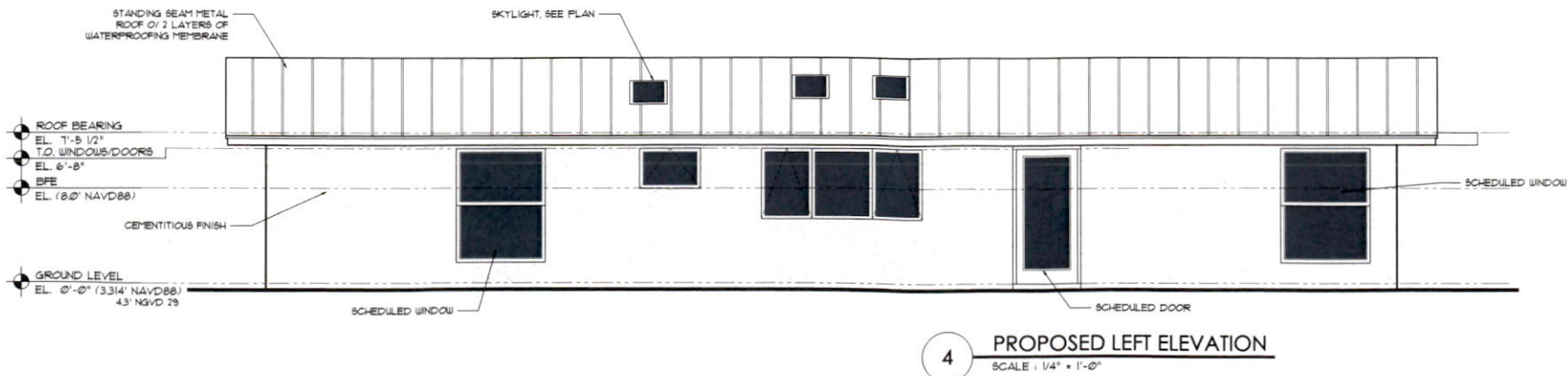
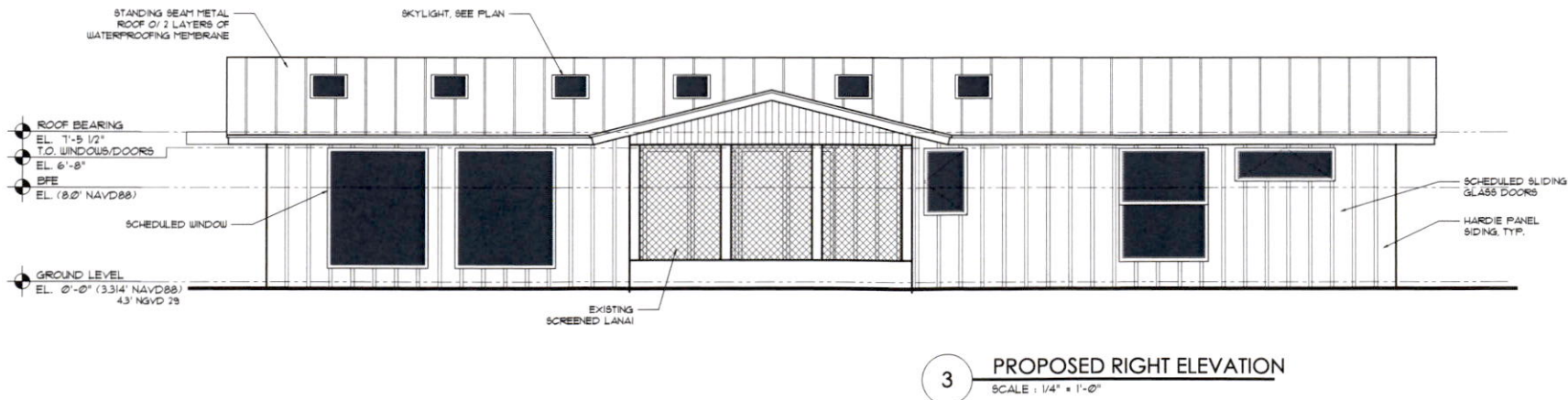
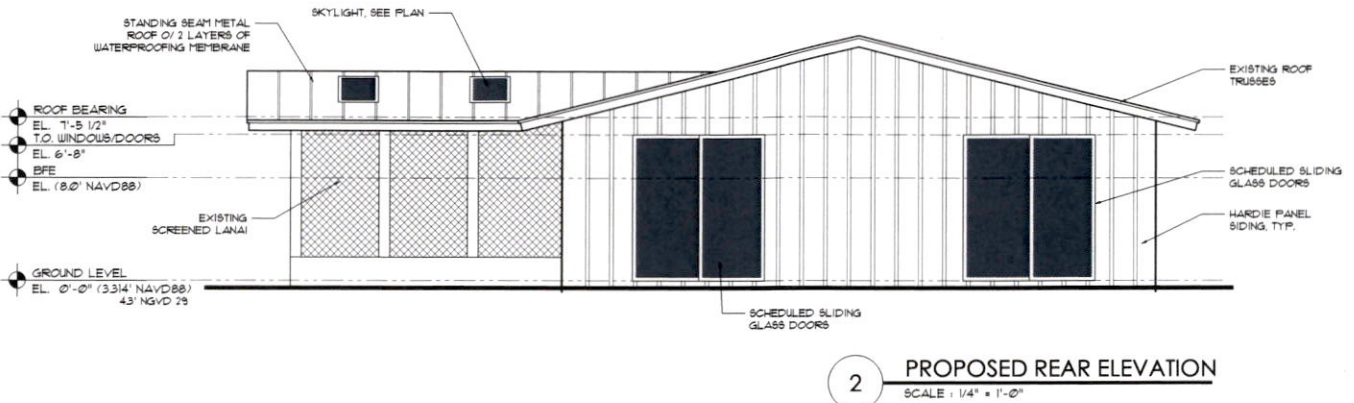
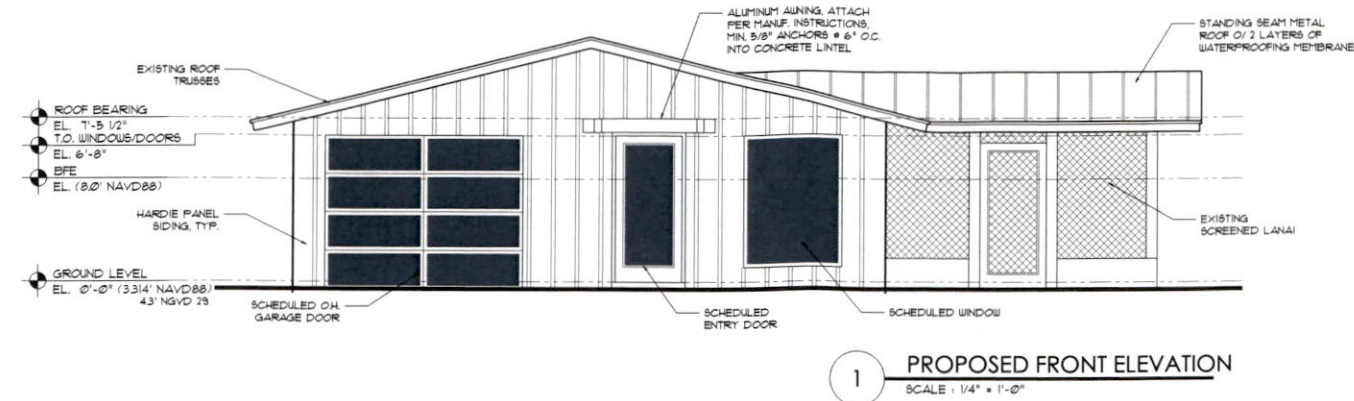
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PRODUCT APPROVALS

WINDOWS:

HORIZONTAL SLIDER - WINGUARD - IMPACT
25-0710.10 Door (exp. 4/14/26)
FIXED - WINGUARD - IMPACT
25-0220.04 Exp. (4/30/2030)
SINGLE HUNG - WINGUARD - IMPACT
25-0920.01 Exp. (1/30/2030)
AWNINGS - WINGUARD - IMPACT
25-0801.01 Exp. (4/24/2030)

SKYLIGHT:

SKYLIGHT - VELUX AMERICA, LLC
FL19309-R1

EXTERIOR DOORS:

SLIDING DOOR - WINGUARD VINYL
NOA 25-0801.01 Exp. (4/24/2030)

SPRINGS - THERMA-TRU CORPORATION
FL20468-1-R6

SECTIONAL EXTERIOR DOORS - AA Impact Garage Door Inc.
FL46810-3-R1

EXTERIOR DOOR - NANA WALL SYSTEMS, INC.
FL20107.2-R3

ROOFING:

METAL ROOFING - CREEK TECHNICAL SERVICES, LLC
FL17618-R4

UNDERLAYMENT - POLYGLASS USA, INC.
NOA No.: 24-0809.04

VENTED SOFFIT - KATCAN LTD.
FL12198.1-R8

PANEL WALL:

JAMES HARDIE
FL19229.4-R6



AR CREATIVE CONCEPTS, LLC
Angel Ruiz, AIA
aruz@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL# 69317 CA# 29831
PO BOX 81 TERRA CEAL,
FL 34280 | 941-935-5892



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Diana M. Higgins P.E.,
FL# 69317

SHEET TITLE:

PROPOSED ELEVATIONS

SHEET INFORMATION:

JOB NO.:

DATE ISSUED: 11.12.25

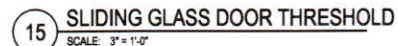
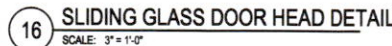
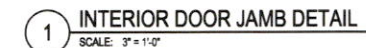
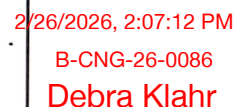
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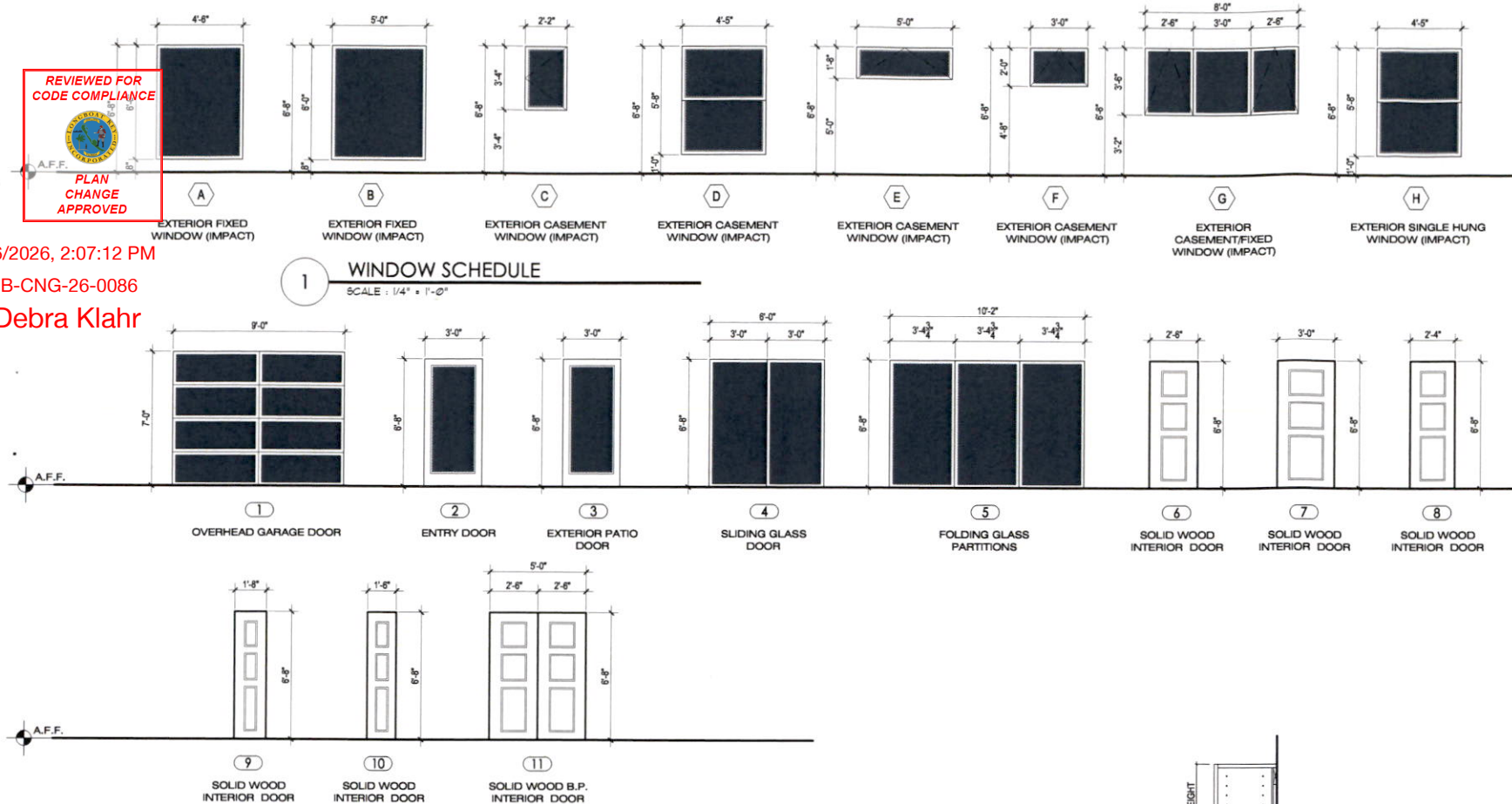
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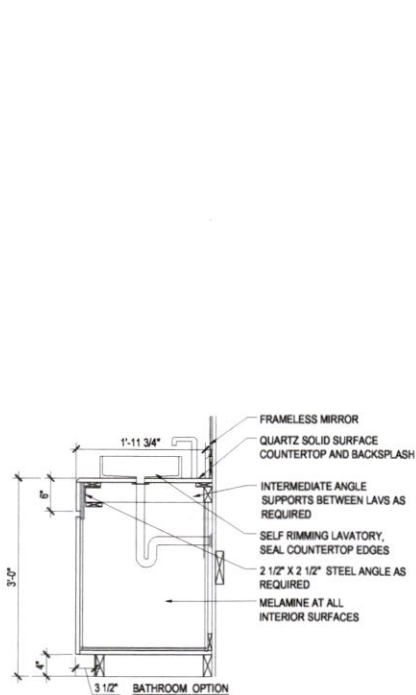
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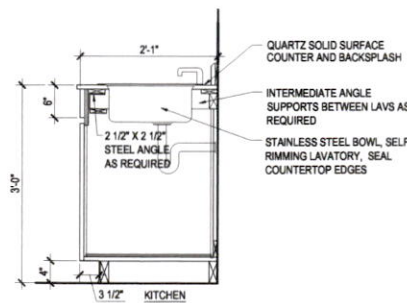
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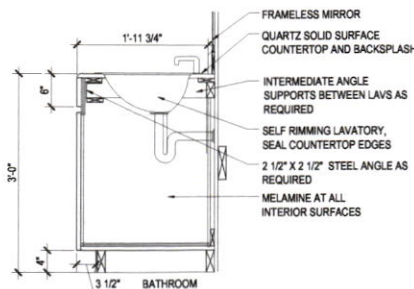
2 DOOR SCHEDULE
SCALE: 1/4" = 1'-0"



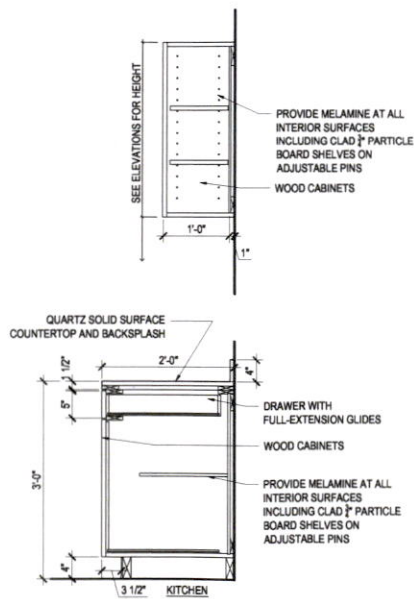
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SCALE: 3/4" = 1'-0"



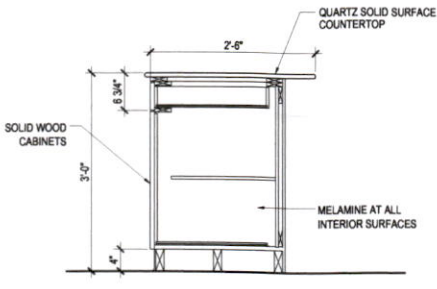
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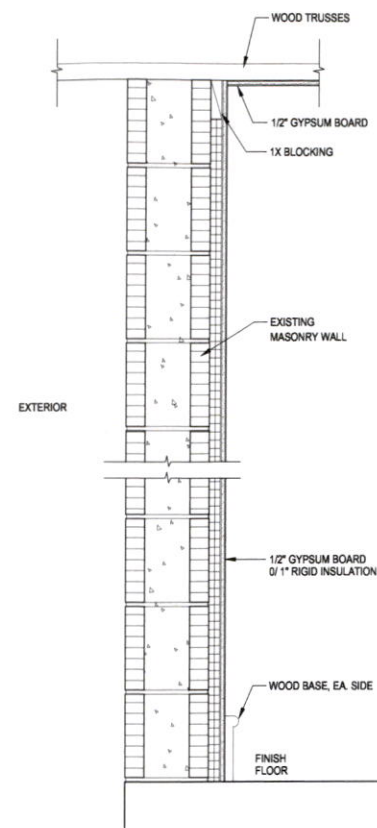
6 CABINET SECTION
SCALE: 3/4" = 1'-0"



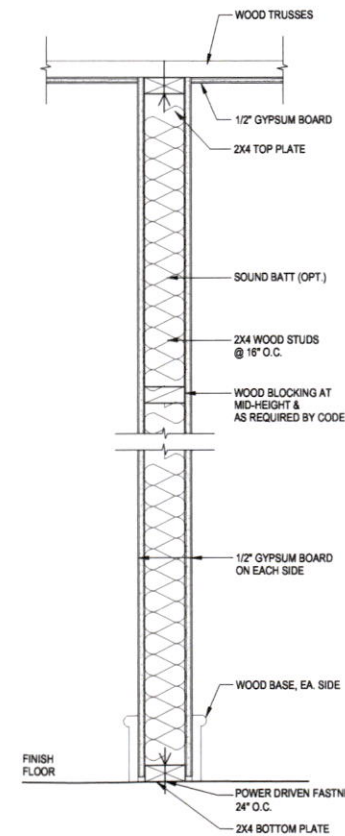
4 CABINET SECTION
SCALE: 3/4" = 1'-0"



7 CABINET SECTION
SCALE: 3/4" = 1'-0"



A EXTERIOR MASONRY WALL
SCALE: 1 1/2" = 1'-0"

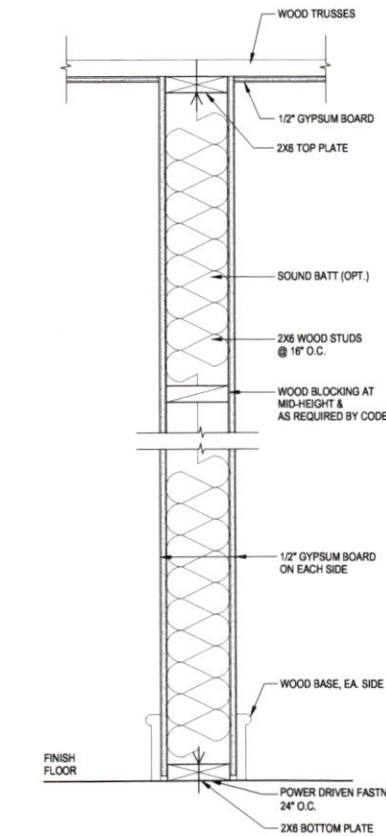


C 4" NON RATED WOOD PARTITION
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES

- PARTITION TYPE DESCRIPTIONS ARE NOT TO BE CONSTRUED AS COMPLETE ASSEMBLY INSTRUCTIONS. CONTRACTOR IS TO CONSTRUCT PARTITIONS ACCORDING TO THE COMPLETE ASSEMBLY REQUIREMENTS LISTED IN THE REFERENCED TESTING LABORATORY MANUALS OR MANUFACTURE REQUIREMENTS.
- PROVIDE TOP AND BOTTOM TRACK FASTENING TYPE AND SPACING AT ALL METAL STUD WALL SYSTEMS AS INDICATED IN THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS FOR EACH SPECIFIC WALL CONDITION. A DEFLECTION TOP TRACK IS REQUIRED AT ALL FULL HEIGHT METAL STUD PARTITIONS.
- CONTRACTOR IS RESPONSIBLE FOR FILLING ALL VOIDS AT ALL FIRE RATED WALL LOCATIONS AND SOUND RATED WALL LOCATIONS. MATERIALS UTILIZED AT FIRE RATED WALLS MUST MAINTAIN FIRE RATING OF WALL SYSTEM AND BE OF AN UL APPROVED MATERIAL. MATERIALS UTILIZED AT SOUND RATED WALLS MUST MAINTAIN THE SOUND RATING OF THE WALL SYSTEM AND BE OF AN MATERIAL APPROVED BY SOURCE OF THE SOUND RATING.
- EXTERIOR WALL WOOD STUDS SHALL BE PRESSURE TREATED (P.T.) IF USED ON THE GROUND LEVEL.
- ALL WOOD THAT IS IN DIRECT CONTACT WITH MASONRY AND/OR CONCRETE SHALL BE SEPARATED BY ONE LAYER OF 30# BUILDING FELT.
- REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR APPLIED FINISHES.
- USE MOISTURE AND MOLD RESISTANT GYPSUM BOARDS AT ALL WET AND NON-CONDITIONED LOCATIONS, U.O.N.
- WHERE WALL TILES ARE TO BE USED, PROVIDE MINIMUM 1/2" CEMENTITIOUS BACKER BOARD WITH REINFORCED EDGE IN LIEU OF GYPSUM BOARD.
- THE CONTRACTOR SHALL COORDINATE ALL REQUIRED BLOCKING AND OR SUPPORTS FOR CABINETS, SHELVING, GRAB BARS, HANDRAILS, TRIM, ETC. WITH THE APPROPRIATE VENDOR AND OR MANUFACTURER.
- ALL PENETRATIONS THRU RATED WALL SHALL BE SEALED WITH UL APPROVED MATERIAL TO MAINTAIN REQUIRED RATING.

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D 6" NON RATED WOOD PARTITION
SCALE: 1 1/2" = 1'-0"



AR CREATIVE CONCEPTS, LLC
Angel Rull, AIA
arull@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL # 69317 CA# 29831
PO BOX 81 TERRA CEIA,
FL 34230 1/41-932-5892



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Engineer of Record:
Diana M. Higgins P.E.,
FL # 69317

SHEET TITLE:
PARTITION, DOOR &
WINDOW TYPES

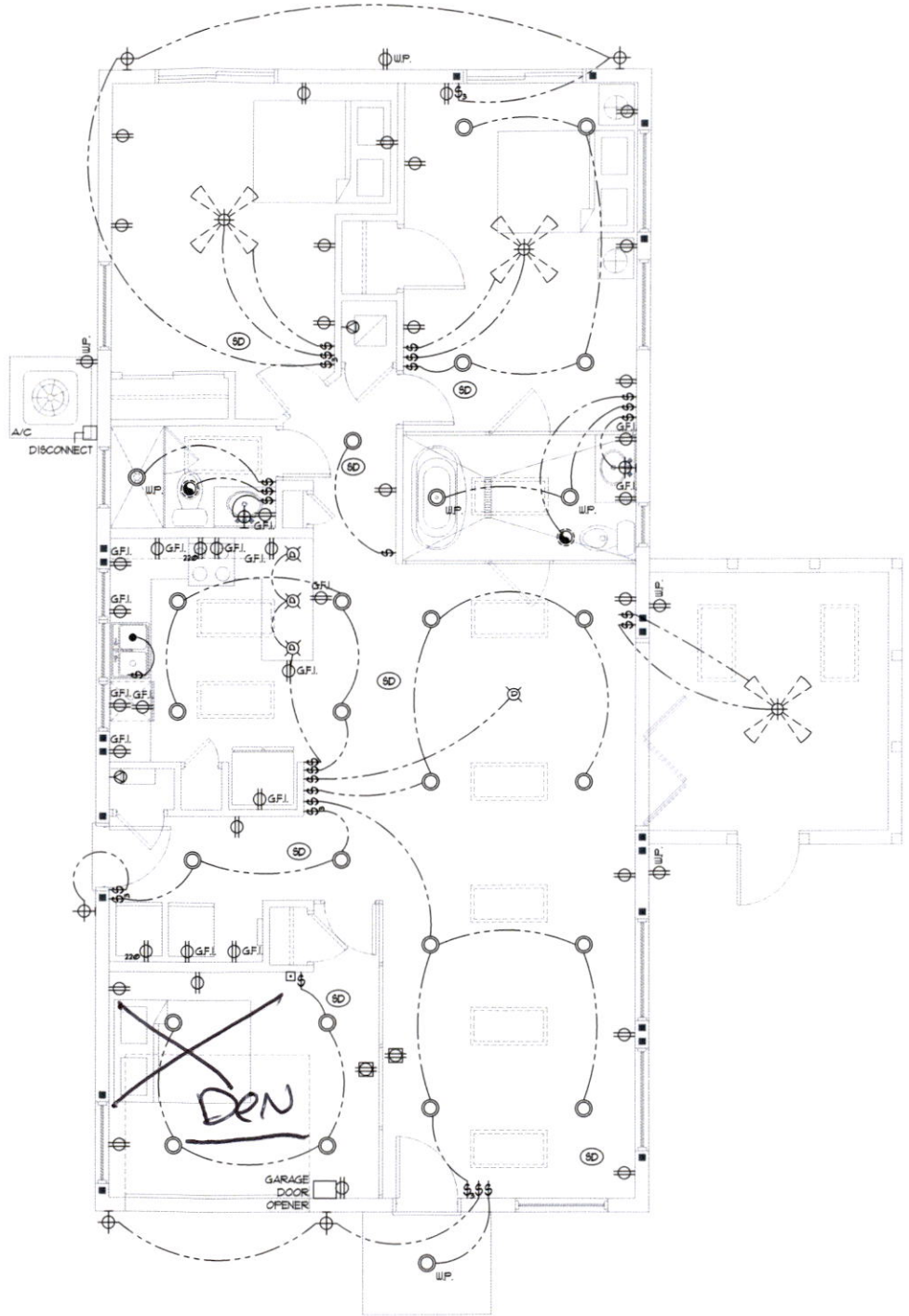
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ELECTRICAL LEGEND

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET (GFI)
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET/ DIRECT WIRED
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DUPLEX OUTLET WITH USB
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
- RECESSED LED LIGHT FIXTURE
- WATER PROOF RECESSED LED LIGHT FIXTURE
- LIGHT FIXTURE WITH FULL CHAIN
- FLUORESCENT STRIP
- FLUORESCENT SHOP LIGHT FIXTURE
- UNDER CABINET LED STRIP
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- SOFFIT/EAWE MOUNTED FLOOD LIGHT, PHOTOCELL CONTROLLED
- DOOR CHIME
- PUSHBUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE/SMOKE DETECTOR (HARD WIRED)
- TELEPHONE
- TELEVISION
- THERMOSTAT - MULTIZONE
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- CEILING FAN ONLY
- CEILING FAN W/ LIGHT KIT
- DEC. HANGING LIGHT

ELECTRICAL NOTES

- 48" AFF. (TYP. UNO.)
ELEC. SWITCHES
COUNTER HEIGHT OUTLETS
THERMOSTAT
ALARM CONTROL PANEL(S)
ALARM POWER BOX
- 18" AFF. (TYP. UNO.)
ELEC. OUTLETS (INT. & EXT.)
TELEPHONE JACKS
TV CABLE JACKS
- ALL RECEPTACLES IN SLEEPING ROOMS SHALL BE ON AN AFCI CIRCUIT
- ALL RECEPTACLES IN WET AREAS SHALL BE GFCI PROTECTED & LABELED AS SUCH
- SMOKE DETECTORS TO BE CEILING MOUNTED; COMBINATION SMOKE/CARBON MONOXIDE; HARDWIRED W/ BATTERY BACKUP
- LIGHT SWITCHES TO BE DELORA TYPE (WHITE) WITH MATCHING FACEPLATES
- PROVIDE SWITCHED LIGHT (IN ATTIC) ABOVE ATTIC ACCESS OPENING
- DO NOT MOUNT COUNTER HEIGHT OUTLETS IN MIRROR OR BACKSPLASH UNO.
- SERVICE CORNER WILL BE DICTATED BY ELEC. CO. - VRY
- IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO INSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH 2023 NEC, FRC 2023, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

NOTE: PROVIDE AFCI (ARC-FAULT CIRCUIT INTERRUPTER) OR GFI (GROUND FAULT INTERRUPTER) ALL RECEPTACLES 100V/14/3-20AMP ALL RECEPTACLES TO BE TAMPER PROOF

NOTE: BUILDING CONTRACTOR TO FIELD VERIFY LOCATION OF ELECTRICAL PANEL BOX AND METER PLACEMENT MIN 200 AMP SERVICE-SERVICE NOT TO EXCEED 400 AMP

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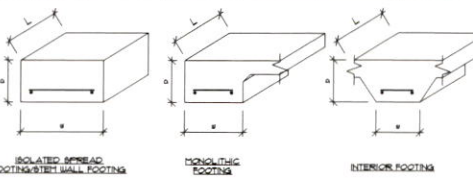
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ELECTRICAL PLAN
SHEET INFORMATION:
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IV. SITE PREPARATION AND TERMITE PROTECTION

GEOTECHNICAL NOTES:

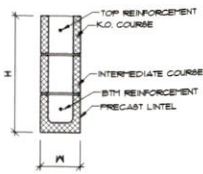
- THE BUILDING SHALL BE PREPARED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOIL ENGINEER.
- THE BUILDING SHALL BE DESIGNED NOT TO EXCEED 3000 PLF FOR WALLS AND 50 KIPS FOR FOUNDATIONS.
- THE SITE PREPARATION REQUIREMENTS ARE NOT SPECIFIED BY A GEOTECHNICAL REPORT THE FOLLOWING PROCEDURE SHALL BE USED AS A MINIMUM:
- THE BUILDING SHALL BE CONSTRUCTED WITH A MINIMUM OF AT LEAST 5 FT OUTSIDE BUILDING PERIMETER UNITS. SHOULD BE CLEARED OF ALL SURFACE VEGETATION AND ORGANIC DEBRIS. AFTER STRIPPING, THIS AREA SHOULD BE PROTECTED BY A MINIMUM OF 12" OF 1/2" GRAVEL OR EQUIVALENT. THE BUILDING SHALL BE CONSTRUCTED WITH A MINIMUM OF AT LEAST 5 FT OUTSIDE BUILDING PERIMETER UNITS. SHOULD BE CLEARED OF ALL SURFACE VEGETATION AND ORGANIC DEBRIS. AFTER STRIPPING, THIS AREA SHOULD BE PROTECTED BY A MINIMUM OF 12" OF 1/2" GRAVEL OR EQUIVALENT.
- AFTER PROOF-ROLLING AND REMEDIATION OF ANY YIELDING AREAS NOTED, THE BUILDING AREA (PLUS THE 5 FT PERIMETER) SHALL BE COMPACTED WITH AT LEAST 6 PASSES USING EQUIPMENT CAPABLE OF ACHIEVING THE DENSITY SPECIFIED ABOVE. EACH PASS SHOULD OVERLAP THE PRECEDING PASS BY AT LEAST 30% AND SOME OF THE PASSES SHOULD BE MADE IN A PERPENDICULAR DIRECTION. SUFFICIENT PASSES SHOULD BE MADE OVER THE BUILDING AREA, PLUS THE 5 FT MARGIN, TO PRODUCE A DENSITY OF AT LEAST 95% MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DENSITY TO A DEPTH OF 1.5 FT FOOT BELOW THE COMPACTED SURFACE.
- AFTER PROOF-ROLLING AND TESTING TO VERIFY THAT THE DESIRED COMPACTION HAS BEEN ACHIEVED AT THIS ELEVATION, FILL CONSISTING OF CLEAN FINE SANDS CONTAINING NO MORE THAN 12% PASSING THE NO. 200 SIEVE, AND HAVING A UNIFIED SOIL CLASSIFICATION (ASTM D-2487) OF "SP" OR "SP-SM", CAN BE PLACED IN LEVEL LIFTS NOT EXCEEDING 12 INCHES OF LOOSE THICKNESS AND COMPACTED WITH THE EQUIPMENT DESCRIBED ABOVE. EACH LIFT SHOULD BE COMPACTED TO AT LEAST 95% MODIFIED PROCTOR MAXIMUM DENSITY PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS AND DENSITY TESTS TO CONFIRM COMPACTION SHOULD BE PERFORMED IN EACH LIFT BEFORE THE NEXT LIFT IS PLACED. NOTE THAT SOILS WITH MORE THAN 12% PASSING THE NO. 200 SIEVE CAN BE USED AS FILL IN SOME APPLICATIONS BUT WILL BE MORE DIFFICULT TO MOISTURE CONDITION DUE TO THEIR INHERENT NATURE TO RETAIN MOISTURE.
- AFTER EXCAVATION FOR THE FOUNDATIONS, THE FOUNDATION CONTACT SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR MAXIMUM DENSITY, USING SUITABLE MECHANICAL EQUIPMENT TO ACHIEVE THE SPECIFIED LEVEL OF DENSITY TO REQUIRED DEPTH. FOUNDATIONS BOTTOM GRADE SHOULD BE TESTED TO CONFIRM THAT A MINIMUM DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557) EXIST TO A DEPTH OF 12" BELOW FOOTING BOTTOM. IF NECESSARY, THE BOTTOM OF THE FOOTING EXCAVATION SHALL BE OVER EXCAVATED, REFILED AND RECOMPACTED WITH MECHANICAL EQUIPMENT TO ACHIEVE THE NECESSARY MINIMUM FIELD DENSITY TO THE REQUIRED DEPTH.
- DURING EXCAVATION AND BACKFILLING PROCESS, THE GROUNDWATER TABLE LEVEL IN THE EXCAVATION AREA SHOULD BE MAINTAINED AT LEAST 2 FT BELOW THE BOTTOM OF THE EXCAVATION. DOWATERING SHOULD BE DONE USING A WELL-POINT DOWATERING SYSTEM. OPEN PUMPING FROM A SUMP PUMPING IN THE EXCAVATION MAY CAUSE AN UNSTABLE EXCAVATION BOTTOM OF SLOPES (LOADING OF THE SOILS DUE TO SEEPAGE PRESSURES) AND IS NOT RECOMMENDED. THE CONTRACTOR MAY OPT TO EXCAVATE THE FOUNDATION AN ADDITIONAL 6" DEEPER THAN REQUIRED PER PLAN, AND FILL WITH #57 STONE, AND DOWATER AS RECOMMENDED BEFORE INSTALLING THE FOOTINGS.
- FILL NECESSARY TO RAISE THE GRADE FROM THE TOP OF THE FOUNDATION ELEVATION TO THE FINISHED FLOOR SLAB SUBGRADE ELEVATION SHALL ALSO CONSIST OF CLEAN FINE SANDS MEETING THE REQUIREMENTS OF NO. 4 ABOVE AND COMPACTED TO AT LEAST 95% MODIFIED PROCTOR MAXIMUM DENSITY. IF FILL IS PLACED INSIDE PARTIALLY COMPLETED WALLS, EXTREME CARE SHOULD BE EXERCISED TO AVOID DAMAGE TO THESE WALLS.
- PLEASE NOTE THAT THE ABOVE SITE RECOMMENDATIONS DO NOT ABSOLVE THE CONTRACTOR OF RETAINING A SOILS ENGINEER TO VERIFY SITE CONDITIONS MEET THE DESIGN CRITERIA AND COMPACTION HAS BEEN VERIFIED.

MARK	WIDTH, W	LENGTH, L	DEPTH, D	QUANTITY	SIZE
(F-1)	18"	CONC.	12"	3	#4
(F-2)	20"	CONC.	12"	3	#4
(F-3)	24"	24"	12"	3	#4 E.W.
(F-4)	30"	42"	12"	5	#4 E.W.
(F-5)	36"	36"	16"	4	#4 E.W.
(F-6)	42"	42"	16"	5	#4 E.W.
(F-7)	48"	48"	24"	1	#4 E.W.
(F-8)	60"	60"	24"	8	#4 E.W.



MARK	REINFORCEMENT	SIZE
(L-1)	TOP	1/2"
(L-2)	BTM	1/2"
(L-3)	WIDTH, W	8"
(L-4)	HEIGHT, H	8"
(L-5)	1/2"	1/2"
(L-6)	1/2"	1/2"
(L-7)	1/2"	1/2"
(L-8)	1/2"	1/2"
(L-9)	1/2"	1/2"

- DIMENSIONS LISTED ARE NOMINAL.
- ALL LINTELS SHALL BE FILLED SOLID WITH 3000 PSI GROUT.
- ALL LINTELS ARE CAST-IN-PLACE CONCRETE UNLESS OTHERWISE NOTED BY EOR.



FOUNDATION SCHEDULE

1

PRECAST LINTEL SCHEDULE

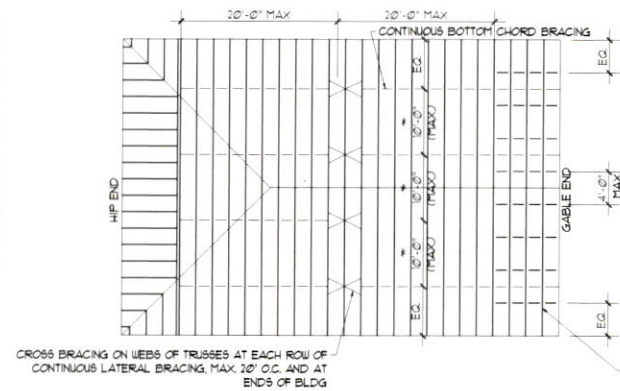
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C.I.P. BEAM SCHEDULE

3

WOOD BEAM NAILING & BOLTING

4



- NOTE:
- CONSULT TRUSS SUPPLIER FOR ADDITIONAL BRACING REQUIREMENTS.
 - TRUSS BRACING SHALL BE MIN. 2X4 STUD GRADE LUMBER.
 - TOP CHORD SHALL BE PERMANENTLY BRACED BY ROOF SHEATHING DIRECTLY FASTENED TO TOP CHORD.
 - BOTTOM CHORD SHALL BE PERMANENTLY BRACED BY CEILING DIAPHRAGM DIRECTLY FASTENED TO BOTTOM CHORD.
 - 1" OR 1 1/2" BRACING MAY BE USED IN PLACE OF CONTINUOUS LATERAL WEB BRACING. EXTEND BRACE TO 50 PERCENT OF WEB LENGTH.
 - EACH BRACING -TO- TRUSS CONNECTION SHALL BE MADE WITH MIN. (2) 1/2" COMMON NAILS (Ø 1/2" x 3-1/2") UNO.

CONSULT ENGINEER FOR PERMANENT BRACING REQUIREMENTS WHEN ROOF AND/OR CEILING DIAPHRAGM(S) ARE NOT DIRECTLY ATTACHED TO TRUSSES.

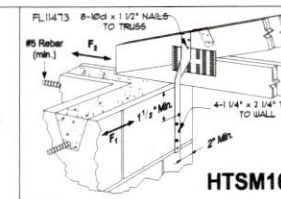
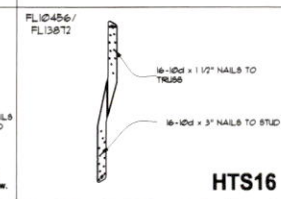
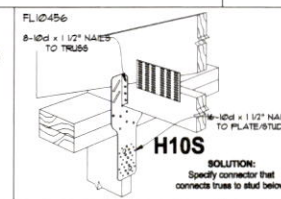
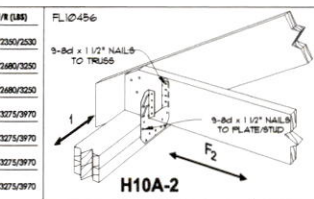
REQ. MIN. PERMANENT TRUSS BRACING PLAN

6

NAILING SCHEDULE-150 MPH EXP D 30 FT MAX BUILDING HEIGHT

8

FL10456	HANGER	NAILING	W/F (LBS)
A)	HUS28	14-160 HEADERS & 6-160 JOIST	1330/2735/2320
B)	HUS28	22-160 HEADERS & 6-160 JOIST	1560/4055/4095
C)	HUS28	6-160 HEADERS & 6-160 JOIST	1330/2085/2320
D)	HUS210	30-160 HEADERS & 10-160 JOIST	2635/5450/5880
E)	HUS210	6-160 HEADERS & 6-160 JOIST	3070/3110/2575
F)	HUS210	18-160 HEADERS & 10-160 JOIST	1785/2880/3230
G)	HUS210	12-160 HEADERS & 10-160 JOIST	3895/4365/4495



HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

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FL10456/FL10472

FL10473

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FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

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T2

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FL10456

FL10456

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FL10473

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FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

H10S-910 LBS

T2

FL10441

FL10456

FL10456

FL10456/FL10472

FL10473

FL10473

FL10473

HUS

H1

HUC/HUCQ

H2

H10A-1105 LBS

T1

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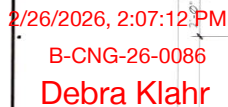
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HUS

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HUC/HUCQ



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1. REFERENCE SHEET S02 FOR ALL SCHEDULES.
2. X PLF INDICATES AXIAL TENSION OR COMPRESSION DUE TO WIND APPLIED TOP CHORD.
3. INDICATES ADDITIONAL VERTICAL LOAD 'D' INDICATES DEAD LOAD 'L' INDICATES LIVE LOAD.
4. ALL EXTERIOR WALLS ARE CONSIDERED SHEAR WALLS.
5. REFERS TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
6. ARCHITECTURAL BACKGROUNDS ARE SHOWN FOR REFERENCE ONLY.
7. MINIMUM REQUIREMENTS FOR CODE COMPLIANT CONSTRUCTION ARE SHOWN ON THE PLANS.
8. CONTRACTOR SHALL VERIFY ALL INFORMATION ON THIS ROOF FRAMING PLAN AND REPORT ANY DISCREPANCIES TO STRUCTURAL ENGINEER FOR ADDITIONAL CONSIDERATION.
9. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OFFICIAL AND/OR THIRD PARTY STRUCTURAL ENGINEER TO ENFORCE THAT CONSTRUCTION IS IN COMPLIANCE WITH THE CODE AND WITH THESE PLANS.
10. GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE CALLED OUT ON THE PLANS.
11. REFERENCE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
12. INDICATE REQUIRED DESIGN WINDOW.

PRESSURES

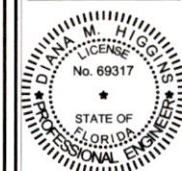
3. PRECAST LINTEL TAG:

4. BEAM ANNOTATION EXAMPLE:

5. B - DENOTES CIP BEAM. REFERENCE TABLE ON SHEET S02 FOR REINFORCING.
6. WOOD BEAM DENOTING

7. (*) T - DENOTES HURRICANE TIE DOWN CONNECTION.

1. ARCHITECTURAL BACKGROUNDS ARE SHOWN FOR REFERENCE ONLY.
2. ALLOWABLE BEARING CAPACITY HAS BEEN ASSUMED TO BE 1000PSF. CONTRACTOR SHALL VERIFY. SEE GENERAL STRUCTURAL NOTES FOR THE GENERAL FOUNDATION PREPARATION REQUIREMENTS. STRUCTURAL FILL REQUIREMENTS AND ADDITIONAL INFORMATION.
3. MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI. REINFORCING SHALL BE 6" DIA. GRADE 40. PROVIDE A MINIMUM 3" CLEAR COVER FOR ALL FOOTING REINFORCING.
4. TOP OF SLAB ON GRADE SHALL BE 4" THICK REINFORCED WITH 6" DIA X 18" U.S.A CHAIRED 1' FROM TOP OF SLAB. AN EQUIVALENT AMOUNT OF FIBERFLEX (OR EQUAL) MAY BE SUBSTITUTED FOR THE SLAB REINFORCING.
5. FINISH A MINIMUM 6" DIA. REINFORCING WITH 6" OVERLAPPED EDGES BENEATH ALL SLABS ON GRADE.
6. A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON SITE FOR THE BUILDING INSPECTOR'S USE. THE SURVEY SHALL BE EXPOSED AND A STRING STRETCHED FROM MARKER TO MARKER TO VERIFY THE REQUIRED SETBACKS.
7. WOOD (OR PAPER) GRADE STAKES TWO TRAP BOXES OR FORTY FEET WITHIN 1'-0" OF THE BUILDING PERIMETER SHALL BE REMOVED.
8. STORMWATER RUNOFF SHALL BE DISPOSED OF ON SITE OR DIVERTED INTO AN APPROVED DRAINAGE STRUCTURE OR CHANNEL.
9. THE ELEVATION OF THE LOWEST FINISHED FLOOR SHALL BE A MINIMUM 6" ABOVE THE HIGHEST ADJACENT GRADE.
10. REFERENCE THE SURVEY FOR THE REQUIRED SETBACKS. SOILS REPORT (AS APPLICABLE) FOR ADDITIONAL SOILS AND FOUNDATION REQUIREMENTS AND INFORMATION.
11. ALL CONTROL JOINTS MUST BE SAW CUT AS SHOWN OR PER ASTM STANDARDS WITHIN 2 HOURS AFTER CONCRETE PLACEMENT.
12. TYPICAL DETAILS SHALL APPLY WHERE SPECIFIC DETAILS HAVE NOT BEEN CALLED OUT.
13. ALL FOUNDATIONS SHALL COMPLY WITH ELEV. REQ. OF FBC R 322(2) 4 INCL. AREA BELOW FLOOR REQ. 322.222.
14. ALL MATERIALS BELOW EBF TO BE FLOOD RESISTANT PER FEMA NF REGULATIONS/TECHNICAL BULLETIN.
15. ALL VENTS AND VENT CAPS SHALL BE 18" DIA. 18" DIA. INSTALLED WITH THE BOTTOM OF THE VENT NO MORE THAN 1' ABOVE ADJ. GRADE.
16. THE SOILS ENGINEERING HAS NOT BEEN REVIEWED FOR THIS PROJECT. A SOILS ENGINEER MUST BE RETAINED AND A STUDY MUST BE COMPLETED AND SUBMITTED FOR REVIEW BY THE EOR. BEFORE THE FOUNDATION IS PLACED.
17. SO THAT NO RESULT IN COSTLY REPAIRS AND PROJECT DELAYS.



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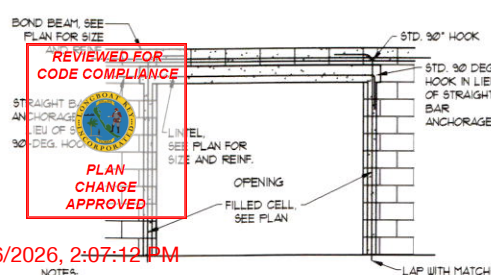
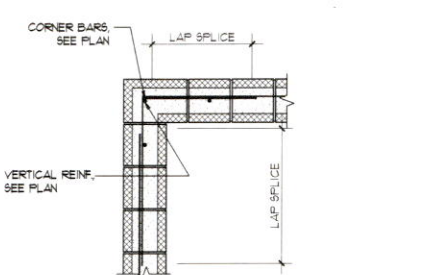
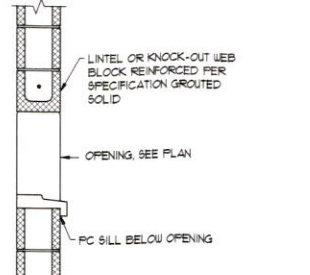
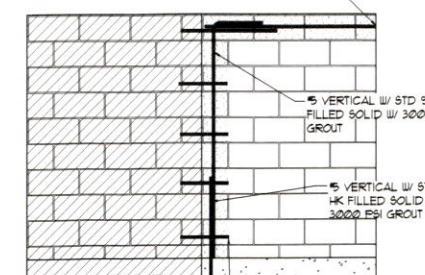
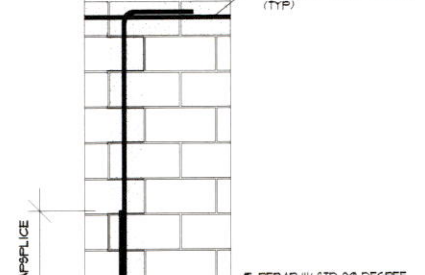
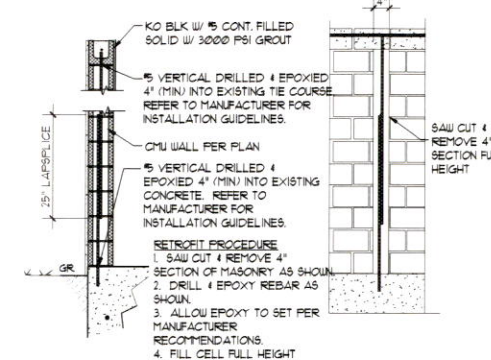
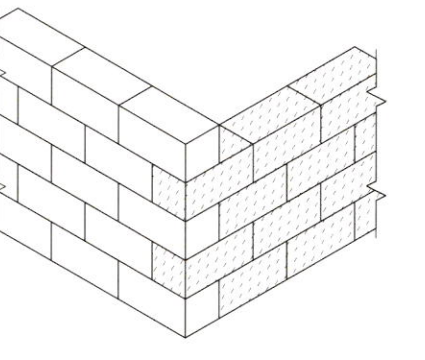
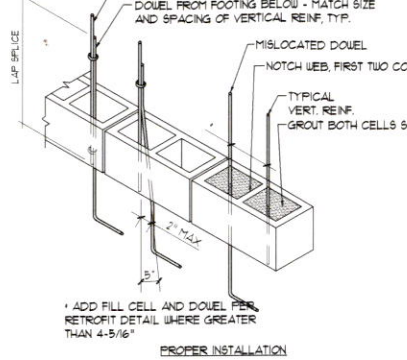
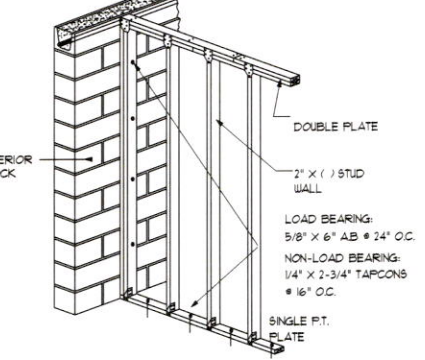
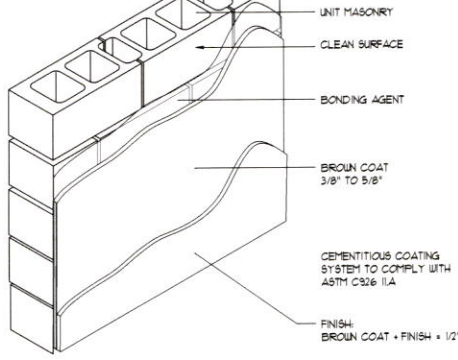
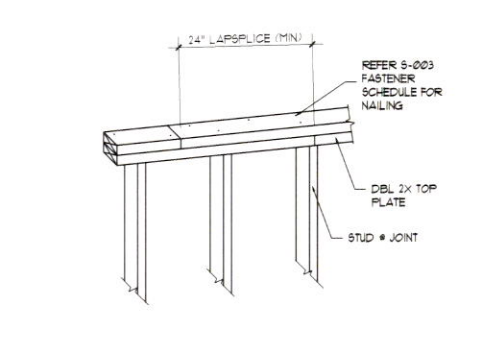
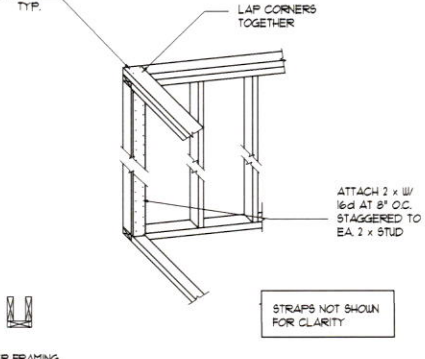
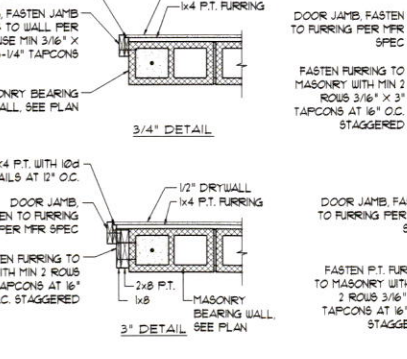
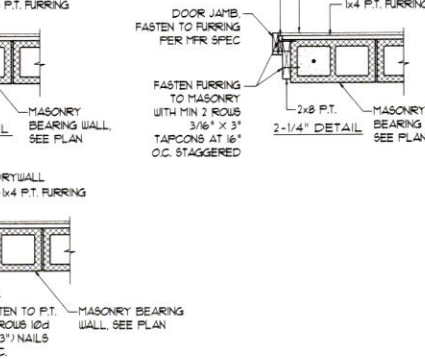
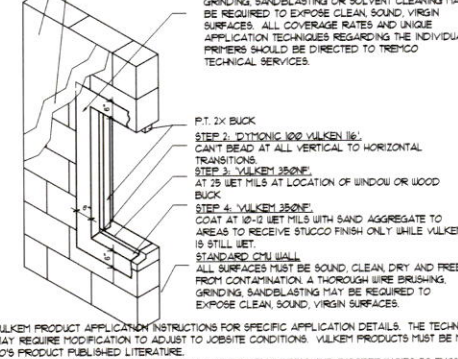
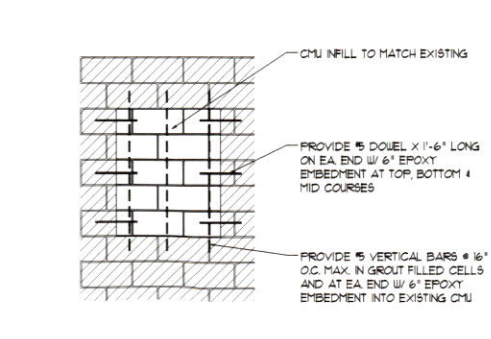
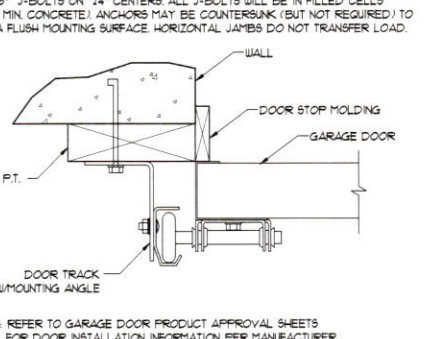
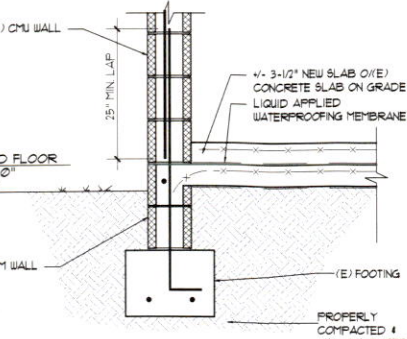
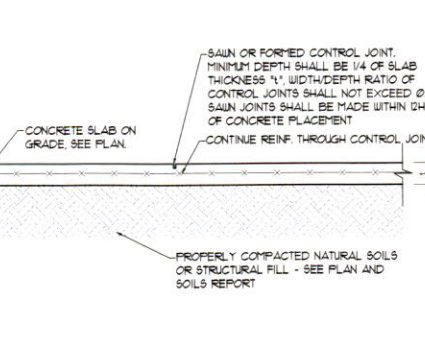
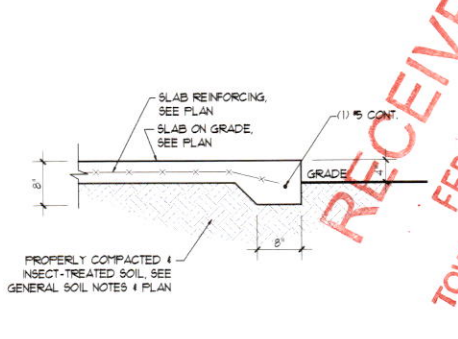
Engineer of Record:
Diana M. Higgins P.E.,
FL# 69317

SHEET TITLE:
FOUNDATION &
ROOF FRAMING PLAN

SHEET INFORMATION:
JOB NO.:
DATE ISSUED: 11.12.25
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REVIEWED BY:

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 REVIEWED FOR CODE COMPLIANCE PLAN CHANGE APPROVED 2/26/2026, 2:07:12 PM B-CNG-26-0086 Debra Klahr NOTES: 1. PREPARE REINFORCEMENT OF REINF. PRIOR TO GROUTING. 2. GROUT LINTEL AND ALL CELLS ABOVE SOLID UNO. 3. PRECAST LINTEL OR STEEL BEAM REQ'D FOR OPENINGS GREATER THAN 6'-0" WIDE. 4. SEE PLAN AND SCHEDULES FOR ADDITIONAL REQUIREMENTS.				
TYPICAL FILLED LINTEL ASSEMBLY SCALE: NTS 1	BOND BEAM DETAIL SCALE: NTS 2	OPENING HEAD/SILL REINFORCING SCALE: NTS 3	EXISTING TO NEW MASONRY SCALE: NTS 4	STANDARD FILLED CELL SCALE: NTS 5
 RETROFIT PROCEDURE: 1. SAW CUT & REMOVE 4" SECTION OF MASONRY AS SHOWN. 2. DRILL 4" EPOXY REBAR AS SHOWN. 3. ALLOW EPOXY TO SET PER MANUFACTURER RECOMMENDATIONS. 4. FILL CELL FULL HEIGHT SOLID W/ 3000 PSI GROUT.		 PROPER INSTALLATION	 LOAD BEARING: 5/8" x 8" AB @ 24" O.C. NON-LOAD BEARING: 1/4" x 2-3/4" TAPCONS @ 16" O.C.	 FINISH: BROWN COAT + FINISH @ 1/2"
RETROFIT FILLED CELL DETAIL SCALE: NTS 6	BLOCK COURSING CORNERS & 'T' SCALE: NTS 7	TYP. MISLOCATED DOWEL REPAIRS SCALE: NTS 8	FRAME TO MASONRY SCALE: NTS 9	STUCCO OVER BLOCK SCALE: NTS 10
			 NOTES: REFER TO VULKEM PRODUCT APPLICATION INSTRUCTIONS FOR SPECIFIC APPLICATION DETAILS. THE TECHNIQUES INVOLVED MAY REQUIRE MODIFICATION TO ADJUST TO JOBSITE CONDITIONS. VULKEM PRODUCTS MUST BE MIXED PER TREMCO'S PRODUCT PUBLISHED LITERATURE. ALL MANUFACTURERS LITERATURE SUPERSEDES DETAIL INFORMATION BRING AND DISCREPANCIES TO ENGINEER PRIOR TO FLASHING OPENINGS.	 STEP 1: VULKEM PRIMER MTI: ALL SURFACES MUST BE SOUND, CLEAN, DRY AND FREE FROM CONTAMINATION. A THOROUGH WIRE BRUSHING, GRINDING, SANDBLASTING OR SOLVENT CLEANSING MAY BE REQUIRED TO EXPOSE CLEAN, SOUND, VIRGIN SURFACES. ALL COVERAGE RATES AND UNIQUE APPLICATION TECHNIQUES REGARDING THE INDIVIDUAL PRIMERS SHOULD BE DIRECTED TO TREMCO TECHNICAL SERVICES. STEP 2: VULKEM PRIMER MTI: CANT BEAD AT ALL VERTICAL TO HORIZONTAL TRANSITIONS. STEP 3: VULKEM PRIMER MTI: AT 25 MET MILS AT LOCATION OF WINDOW OR WOOD BUCK. STEP 4: VULKEM PRIMER MTI: COAT AT 10-12 MET MILS WITH SAND AGGREGATE TO AREAS TO RECEIVE STUCCO FINISH ONLY WHILE VULKEM IS STILL WET. STANDARD CMU WALL: ALL SURFACES MUST BE SOUND, CLEAN, DRY AND FREE FROM CONTAMINATION. A THOROUGH WIRE BRUSHING, GRINDING, SANDBLASTING MAY BE REQUIRED TO EXPOSE CLEAN, SOUND, VIRGIN SURFACES.
LAPSPICE SCALE: NTS 11	CORNER FRAMING SCALE: NTS 12	DOOR & WINDOW JAMB DETAILS SCALE: NTS 13	WATERPROOFING AT OPENING SCALE: NTS 14	
	 NOTE: REFER TO GARAGE DOOR PRODUCT APPROVAL SHEETS FOR DOOR INSTALLATION INFORMATION PER MANUFACTURER.			
MASONRY INFILL DETAIL SCALE: NTS 15	GARAGE DOOR TRACK DETAIL SCALE: NTS 16	FOUNDATION DETAIL - STEM SCALE: NTS 17	CONTROL JOINT DETAIL SCALE: NTS 18	LANAI / EQUIPMENT SLAB SCALE: NTS 20



AR CREATIVE CONCEPTS, LLC
Angeli Ruiz, AIA
ar@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL # 69317 CA# 29831
PO BOX 81 TERRA CEIA, FL 34290 | 941-932-5892

RENOVATIONS TO HANCOZ RESIDENCE
640 FOX ST.
LONGBOAT KEY, FL 34228

TO THE BEST OF THE ENGINEER'S KNOWLEDGE AND BELIEF, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH 2023 FLORIDA RESIDENTIAL BUILDING CODE (SEVENTH EDITION).

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FL # 69317

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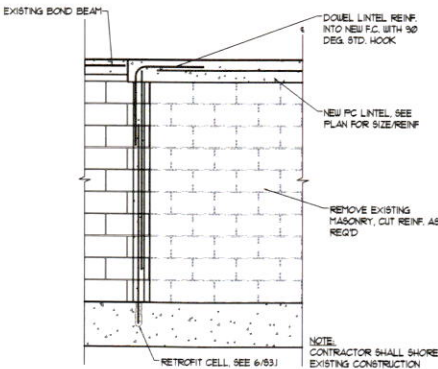
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JOB NO.:
DATE ISSUED: 11.12.25
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sheet:

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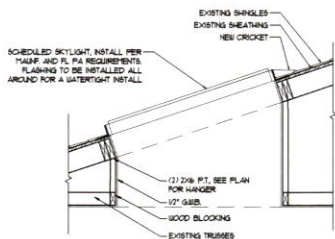
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B-CNG-26-0086
Debra Klahr



MASONRY LINTEL RETROFIT DETAIL

SCALE: NTS

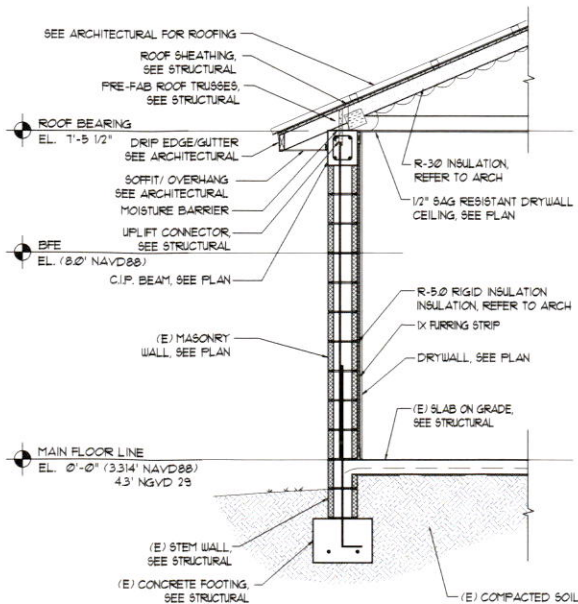
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SKYLIGHT DETAIL

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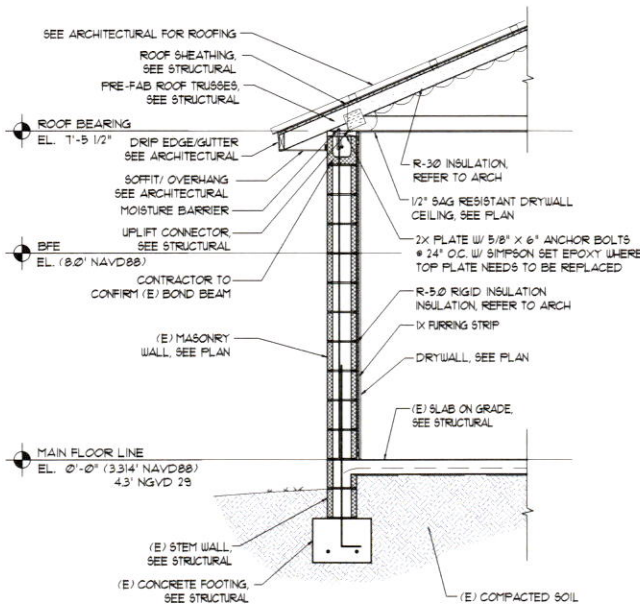
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WALL SECTION @ C.I.P. BEAM

SCALE: NTS

2



WALL SECTION - TYPICAL

SCALE: NTS

1

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FFR 23 2026
TOWN OF LONGBOAT KEY
Planning, Zoning & Building



AR CREATIVE CONCEPTS, LLC
Angel Ruiz, AIA
aruz@arcreativeconcepts.com
T: 813.789.9132



Diana M. Higgins P.E.
FL# 69317 CA# 29831
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DATE	DESCRIPTION

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FL# 69317

SHEET TITLE:
WALL SECTIONS

SHEET INFORMATION:
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DATE ISSUED: 11.12.25
DRAWN BY: DMH
REVIEWED BY: DMH

sheet:

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