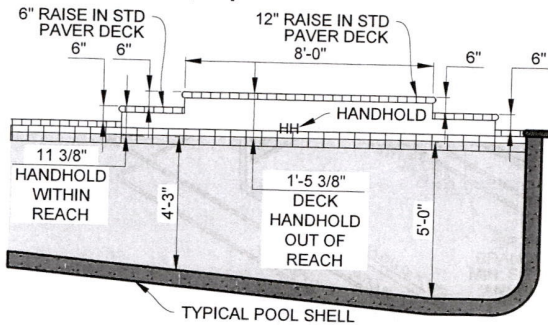


# RESIDENTIAL POOL AND SPA PLAN REVIEW CHECKLIST FOR CRITICAL SAFETY CODE REQMTS

## HANDHOLDS REQUIRED

HANDHOLD(S) PROVIDED WHEN REQUIRED AT RAISED DECK AREAS MORE THAN 12 INCH FROM WATER LINE AND WATER DEPTH MORE THAN 4 FEET FOR LENGTH OF 8 FEET. [2011 ANSI/APSP-5, 17.1]



ON PAVER COPING A 6" RISE STILL HAS HANDHOLD

ON CONCRETE OVER POUR MORE THAN 5" RISE IS OUT OF REACH FOR HANDHOLD.

## HANDHOLDS REQUIRED

SCALE: N.T.S.

## WHEN POOL WATER CLOSER THAN 5 FT

WINDOWS, DOORS OR OTHER GLASS WITHIN 5 FT OF WATER'S EDGE: MUST HAVE MANUFACTURER'S DESIGNATION OF SAFETY GLAZING AND BE VISIBLY MARKED

ALL FIXED METAL PARTS WITHIN 5 FT HORIZONTAL OR 12 FT VERTICAL- DOOR AND WINDOW FRAMES, CAGE AND FENCE STRUCTURES, STATIONARY EQUIPMENT, METAL AWNINGS- SHALL BE BONDED UNLESS PERMANENT BARRIER

## ENERGY CODE REQUIREMENTS RESTATED:

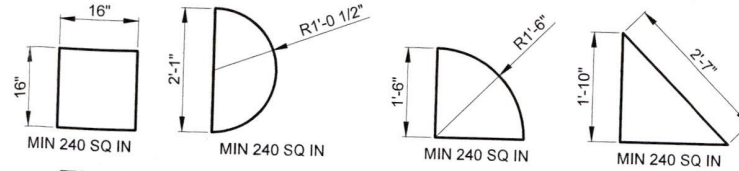
1. GAS HEATER ELECTRICAL FEED SHALL BE THROUGH GFCI.
2. 4X PIPE DIAMETER STRAIGHT PIPE REQUIRED STRAIGHT INTO PUMP, 8" FOR 2" FITTING, 10" FOR 2.5" FITTING.
3. MIN 18" STRAIGHT PIPE REQUIRED AFTER FILTER AN BEFORE HEATER, IF HEATER PROVIDED.

PLAN REVIEWER AND INSPECTOR MUST VERIFY SUCTION OUTLET COVER RATED FLOW GREATER THAN DETAILED TDH CALCULATION AT MAXIMUM PUMP SPEED OR AT LEAST EXCEEDS MAXIMUM FLOW OF PUMP CURVE AND PARTICULARLY VERIFIED FOR SPA SIDEWALL SUCTIONS AND RATED "WALL" FLOWS

(1) "Plans shall meet the mandatory energy consumption requirements of Section R403.10, FBC 7th Edition (2020) – Ene Conservation Code" (2) "Plans shall meet the Residential Swimming Barrier Requirements, in conformance with Section R4501.17, FBC 7th Edition (2020) – Residential (3) Plans shall comply with Sect R4501, FBC 7th Ed 2020-Residential

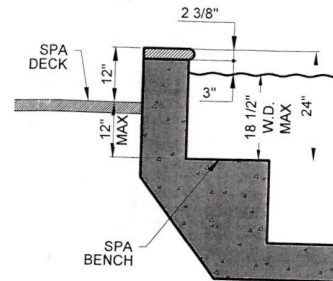
## SPA STEP REQUIRED

UNLESS A SPA IS RAISED 12" OR MORE FROM DECK, A SPA STEP IS REQUIRED ON THE BENCH FOR THE MAXIMUM 12" FROM DECK TO ENTRY. [2014 ANSI/APSP-3, 5.6.1]



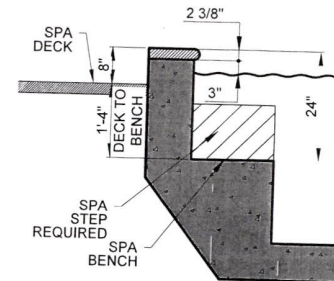
## EXAMPLE 240 SQ IN STEP DIMENSIONS

SCALE: N.T.S.



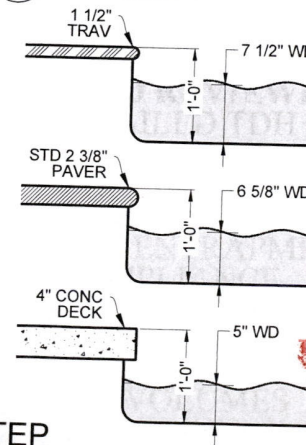
## 12" RAISED SPA NO STEP

SCALE: N.T.S.



## 8" RAISED SPA STEP REQD.

SCALE: N.T.S.



SUN SHELF AS FIRST STEP  
MAXIMUM 12" DECK TO SUN SHELF AS 1ST STEP, LIMITS WATER DEPTH UNLESS ADDED STEP ON SHELF. [2011 ANSI/APSP-5, 6.2.2]

## SUN SHELF AS 1ST STEP

SCALE: N.T.S.

THIS DOCUMENT VALID ONLY 12 MONTHS FROM DATE SIGNED

**KIMES ENGINEERING**  
1925 Worth Ct  
Bradenton, FL 34211  
Office: 941-749-0311  
C.A. 27189

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REV. DATE DESCRIPTION  
PROJ. NO. KE\_RSTD  
DWG. BY: MCM  
CHKD BY: JKK  
DRAWING: 01-Jan-21  
VERSION: 3-Feb-22

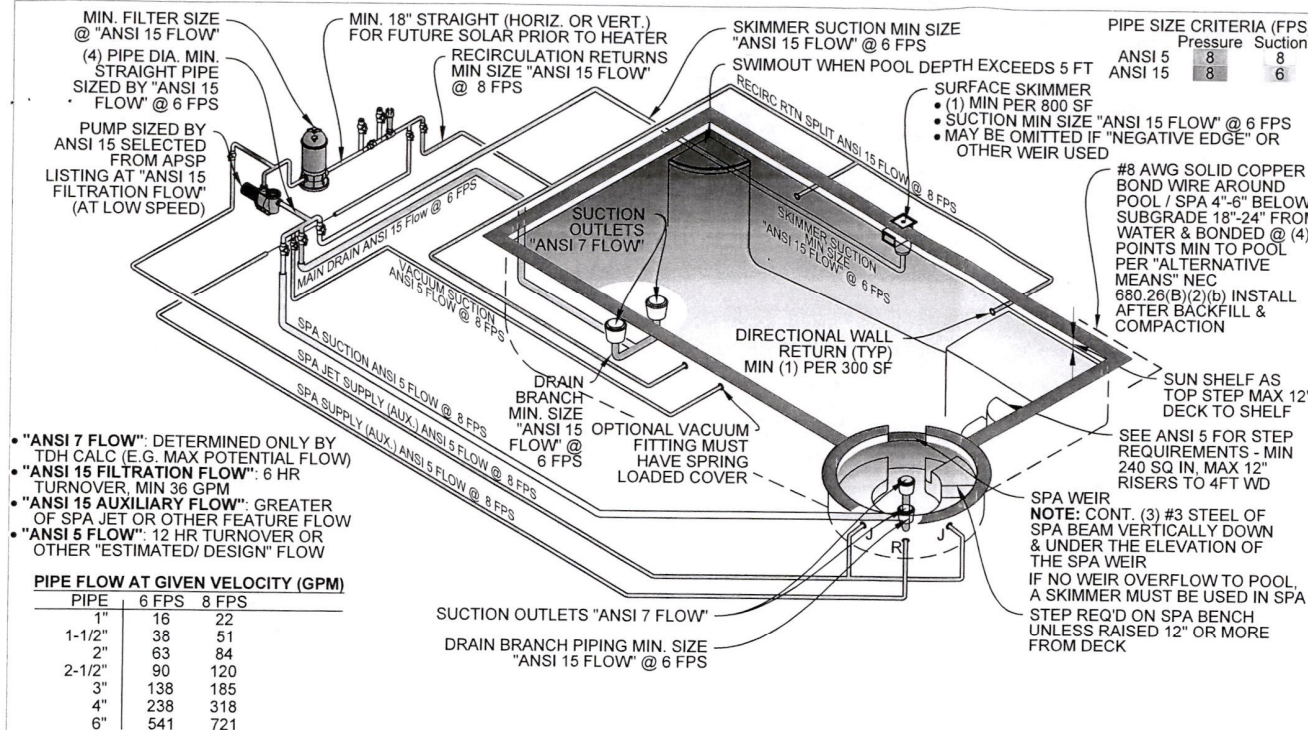
BLDG PERMIT  
FILE  
Copy of Record  
RECEIVED  
24 MARBURG LN  
ALL STAR POOLS  
TOWN OF LONGBOAT  
Planning & Building

TYPICAL PLANS & SECTIONS  
FOR RESIDENTIAL POOL/SPA

SHEET  
**S1**

SHEET 1 OF 3



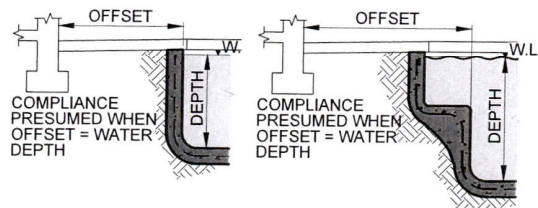


1

## TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN

SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:



"ANGLE OF REPOSE"  
OR SEE CONTRACTOR PLAN

2

## PROXIMITY TO STRUCTURE

SCALE: N.T.S.

- WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
- WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
- IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
- IF AFTER EXCAVATION THE CONTRACTOR FINDS A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING ANSI 7 & 15 AND FBC COMPLIANCE

**NOTE TO REVIEWER:**  
**DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANSI 7-SUCTION ENTRAPMENT COMPLIANCE**

**COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES**

THIS DOCUMENT VALID ONLY 12 MONTHS FROM DATE SIGNED

TOWN OF LONGBOAT KEY  
RECEIVED  
DEC 04 2023

BLDG PERMIT PLANS

Copy of record

724 MARBURY LN  
ALLSTAR POOLS

TYPICAL PLAN & SECTIONS  
FOR RESIDENTIAL POOL/SPA

SHEET  
**S2**

SHEET 2 OF 3



**KIMES ENGINEERING**  
1925 Worth Ct  
Bradenton, FL 34211  
Office: 941-749-0311  
C.A. 27189

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2-3-2022 REVISION

REV. DATE DESCRIPTION  
PROJ. NO. 2023-001  
DWG. BY: MCM  
CHK. BY: JKK  
DRAWING: 01-Jan-21  
VERSION: 3-Feb-22







PSPS23-0076

# BOUNDARY, TOPOGRAPHIC, & TIDAL WATER SURVEY

Section 23, Township 35 South, Range 16 East  
724 Marbury Lane, Longboat Key, Florida

DESCRIPTION: (Official Records Instrument # 202041128008)

Lot 105, SLEEPY LAGOON PARK NO. 2, according to the map or plot thereof as recorded in Deed Book 302, Page 150, Public Records of Manatee County, Florida.

## REPORT OF SURVEY

### Accuracy:

Horizontal - The accuracy obtained by measurement and calculation of a closed geometric figure was found to be 1 foot in 15,833.48 feet.

Vertical - The accuracy obtained by a closed level loop, based on National Geodetic Survey Benchmark # W 689, produced a vertical unadjusted error of 0.00'.

### Data Sources:

1. Plot of SLEEPY LAGOON PARK NO. 2, recorded in Deed Book 302, Page 150, Public Records of Manatee County, Florida.
2. Warranty Deed recorded in Official Records Instrument # 202041128008, Public Records of Manatee County, Florida.
3. Deed recorded in Official Records Book 1622, Page 4453, Public Records of Manatee County, Florida.
4. Warranty Deed recorded in Official Records Book 2711, Page 3123, Public Records of Manatee County, Florida.
5. A Boundary & Topographic Survey by Jim Amberger Land Surveying, LLC, Inc. Dated 08/10/2021.
6. Benchmark data was researched from the Land Boundary Information System internet web site ([www.labsins.com](http://www.labsins.com)).
7. Tidal data was furnished by Florida Department of Environmental Protection, Tidal Water Survey Procedural Approval Sheet, Dated: 06/27/2022.
8. Manatee County Half Section Map, Sheet No. 5A/23.3.
9. Manatee County Property Appraiser's web site - [www.manateepao.com](http://www.manateepao.com).
10. No other information was researched or furnished.

### Apparent Physical Use:

#### Residential

#### Easements:

1. Easements shown per Plot.
2. No other easements were researched or furnished.

### Notes:

1. This map represents a Boundary, Topographic, & Tidal Water Survey, for the purpose of Construction.
2. Bearings shown hereon refer to an assumed meridian. The East Right of Way Line of Marbury Lane, being N 26°30'18"E.
3. Elevations shown hereon are in feet and decimals referenced to NAVD 88 and are based on National Geodetic Survey Benchmark # W 689, published elevation is 4.95'.
4. There may exist other underground fixed interior improvements that are not visible and are not a part of this survey.
5. Description shown hereon was obtained from Official Records Instrument # 202041128008.
6. Subject to easements and rights of way of record, if any.
7. This map has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.
8. Parcel shown hereon is situated in Flood Zone "AE", base flood elevation is 8 feet, per Flood Insurance Rate Map Number 12081C0291F, Map Revised August 10, 2021. Flood zones are scaled from said map and are subject to interpretation.
9. Florida Department of Environmental Protection, Tidal Data 1983-2001 Epoch.
10. Mean High Water Elevation = 0.21 feet (NAVD 88) extended to site.
11. Conventional radial surveying methods were used to establish the horizontal position of the mean high water line.
12. This Tidal Water Survey complies with Chapter 177, Part II, Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Line Survey File Number "8576".

Revision: Concrete Foundation Location, 11-04-2022, RRG

220509  
JOB NUMBER

CERTIFIED TO: Ralph Haschke  
Amy Holcombe  
US Bank  
Today's Builders, LLC

FIELD BOOK: 182 PAGE: 26&27



Digitally signed by Richard C  
Abernathy  
Date: 2022.11.10 15:03:48 -05'00'

RICHARD C. ABERNATHY,  
REGISTERED SURVEYOR & MAPPER, FLA. CERT. NO. LS 6589  
NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED  
OR ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  
DATE OF SURVEY 07/21/2022

**MSB**  
SURVEYING, INC.  
Surveying & Mapping

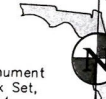
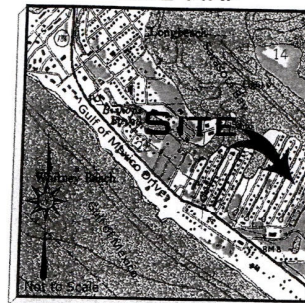
31 SARASOTA CENTER BOULEVARD, UNIT C  
SARASOTA, FLORIDA 34240  
PHONE NO.: (941) 341-9935  
CERTIFICATE OF AUTHORIZATION NO. L.B. 7044

DRAWN BY: AVL

## Legend

- Denotes Wood Piling
- Denotes Sewer Cleanout
- Denotes Palm Tree
- Denotes Water Meter
- Denotes Water Backflow Preventer
- Denotes Cable Hand Hole
- Denotes Electrical Hand Hole
- Denotes Light Pole
- Denotes Cable Riser
- Denotes Drainage Grate Inlet

## SITE MAP



SCALE: 1"=20'

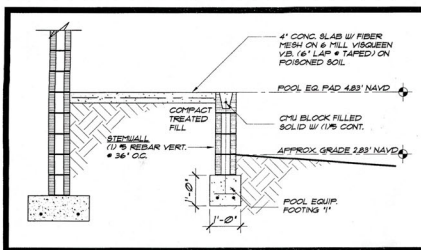
BLDG PERMIT PLANS  
FILE  
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DEC 28 2023

TOWN OF LONGBOAT KEY  
Planning, Zoning & Building





**POOL EQUIP. PAD DETAILS**  
SCALE: 1/2"=1'-0"

### DESIGN NOTE

STRUCTURAL SYSTEMS OF BUILDINGS IS DESIGNED, CONNECTED & ANCHORED TO REINFORCED CONCRETE FOUNDATION OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.

**FERTILIZER NOTE**

1. A 3" FERTILIZER BUFFER (OR 1/2" IF SPREADER DEFLECTOR USED) MUST BE MAINTAINED FROM ANY WATER BODY OR SETLAND.

2. NO FERTILIZER CONTAINING NITROGEN OR PHOSPHORUS MAY BE APPLIED TO PLANTS AND TURF BETWEEN JUNE 1ST AND SEPTEMBER 30TH.

### TOPO LEGEND

EXISTING TOPO  
PROPOSED TOPO

### CODE INFORMATION

ALL WORK TO BE DONE IN ACCORDANCE WITH:  
2020 FPC-R SEVENTH EDITION  
2021 NATIONAL ELECTRICAL CODE  
AS ADOPTED BY TOWN OF LONGBOAT KEY, FL.

### DESIGN CRITERIA

OCCUPANCY TYPE: RSP-3  
CONSTRUCTION TYPE: V-B  
BASIC WIND SPEED: 140 MPH  
RISK CATEGORY: II  
WIND EXPOSURE: D  
BUILDING EXPOSURE: D  
PRESSURE DESIGN FACTOR:  $P_1 = 0.28$   
REFER TO ROOF PLAN NOTES ON SHEET A-01 FOR WIND PRESSURES FOR COMPONENTS AND CLADDING.

### FLOOD INFORMATION

FLOOD ZONE: AE  
BASE FLOOD ELEVATION: 8.0' NAVD  
FREEBOARD ELEVATION: 8.5' NAVD  
FINISHED FLOOR ELEVATIONS:  
FIRST LVL FLOOR ELEV.: 8.50' NAVD  
SECOND LVL FLOOR ELEV.: 25.0' NAVD

### COVERAGE CALC.

PANZEL, SLAB BUILDABLE: NEAR: 9,840 SQ. FT.	
30% ALLOWABLE BLDG. COVERAGE: 2,952 SQ. FT.	
1.0' NON-POOL/SPA AT SEA	THIS PERMIT
MECHANICAL EQUIP. ABV. GRADE	500 SQ. FT.
OTHER BUILDING STRUCTURE	
1.1 TOTAL NON-POOL/SPA AREAS	2,381 SQ. FT.
2.0 ELEVATED/CAVEIN: POOL/SPA	N/A
3.0 SUBTOTAL LOT COV. SQ. FT.	2,381 SQ. FT.
3.1 TOTAL LOT COV. SQ. FT.	2,381 SQ. FT.
4.0 TOTAL LOT COV. PERCENTAGE	23.81%
2,381 SQ. FT. (LINE 3.1) DIVIDED BY PARCEL SIZE = 36%	
5.0 AT-GRADE IMPRV. VEMENTS	THIS PERMIT
DRIVEWAY/PARKING (ALL 8' WIDE TYPES)	971 SQ. FT.
IMPROVABLE POOL DECK (AT GRADE)	1,000 SQ. FT.
6.0 TOTAL AT-GRADE SQ. FT.	1,971 SQ. FT.
7.0 TOTAL NON-OPEN SPACE SQ. FT.	2,381 SQ. FT. (LINE 3.1) - 1,971 SQ. FT. (LINE 6.0) = 410 SQ. FT.
8.0 TOTAL NON-POOL/SPA GRADE PERCENTAGE	410 SQ. FT. (LINE 7.0) DIVIDED BY 2,381 SQ. FT. = 17.22%

### GENERAL NOTES

- CONSTRUCTION SHALL FOLLOW 2020 FPC-R SEVENTH EDITION AS ADOPTED BY THE TOWN OF LONGBOAT KEY, FLORIDA AND AS APPLICABLE TO THE AREA WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHALL COORDINATE THE WORK OF ALL TRADES.
- BUILDER SUB-CONTRACTOR SUPPLIER ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK. WITHIN REASONABLE DATES OF THESE PLANS AND SPECIFICATIONS, THE BUILDER SHALL NOTIFY A PHILIPS DESIGN, INC. (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER A PHILIPS DESIGN, INC. OR NOT) OR DISCREPANCIES OR OMISSIONS OR NOT. OTHERWISE, A PHILIPS DESIGN, INC. WILL ASSUME NO RESPONSIBILITY FOR ANY ERRORS AND THE BUILDER SUB-CONTRACTOR SUPPLIER ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENERGY EFFICIENCY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL REQUIREMENTS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- THE FLOOR FILL UNDER SLAB SHALL BE CLEAN SAND OR FILL DIRT AND SHALL BE TYPICAL OF 80% MAXIMUM CEMENTitious FILL PER ASTM D-1587. USE CONTRACTED TO A CONTRACTOR SHALL VERIFY AFTER COMPACTION. ALLOWABLE SOIL BEARINGS PRESSURE: 1,500 PSF.
- CONCRETE: ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. CONCRETE PER ASTM C595. CONCRETE WORK PER ACI 308. REINFORCING SHALL BE 1/2" OR 3/4" DIA. BENT, LAPPED, AND PLACED IN ACCORDANCE WITH THESE DRAWINGS AND THE LATEST SPECIFICATIONS.
- WOOD: ALL STRUCTURAL LUMBER TO BE HEAVY-PINE OR PINE OR SPR. GRADE 3 OR BETTER (UP OR DOWN) (BEARINGS FRAME WALLS ONLY). ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESERVE TREATED. SHOWN DIMENSIONS & DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE BUILDER FOR APPROVAL PRIOR TO CONSTRUCTION.
- DOORS AND WINDOWS: WINDOWS INDICATED AS "BUREAU" MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL WINDOWS SHALL BE TYPICAL. ALL WINDOWS AND DOORS SHALL BE CALKED AND LEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FLORIDA STATE MODEL ENERGY CODE SECTION 602.4. WINDOW AND DOOR MANUFACTURER SHALL ALSO COORDINATE WITH THE BUILDER AND FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ANY STRUCTURAL REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE RECORDED IN THE PLANS, DRAWINGS, SPECIFICATIONS, ETC. NOT TO A PHILIPS DESIGN, INC. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE ENGINEER DESIGNER, OR WRITING WILL BE FULLY, UNCONDITIONALLY AND TOTALLY RELEASE A PHILIPS DESIGN, INC. FROM LIABILITY AND ALL PERSONS AND ALL PERSONS THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM A PHILIPS DESIGN, INC. IN EACH AND EVERY INSTANCE.

### SHEET INDEX

- |                                     |                      |
|-------------------------------------|----------------------|
| A1 SITE & DRAINAGE PLAN             | PERMIT NO. 2023-0400 |
| A2 FOUNDATION PLAN                  | APPROVED             |
| A3 GROUND FLOOR PLAN                | REVISED PLAN         |
| A4 FIRST FLOOR PLAN                 | DATE: 10-10-23       |
| A5 SECOND FLOOR PLAN                |                      |
| A6 FRONT & RIGHT ELEVATIONS         |                      |
| A7 REAR & LEFT ELEVATIONS           |                      |
| A8 FIRST FLOOR FRAMING PLAN         |                      |
| A9 SECOND FLOOR FRAMING PLAN        |                      |
| A10 ROOF & ROOF DECK PLANS          |                      |
| A11 WINDOW & DOOR SCHEDULE, DETAILS |                      |
| A12 SECTIONS & DETAILS              |                      |
| A13 CROSS SECTION                   |                      |
| A14 GROUND FLOOR ELECTRICAL PLAN    |                      |
| A15 FIRST FLOOR ELECTRICAL PLAN     |                      |
| A16 SECOND FLOOR ELECTRICAL PLAN    |                      |

### PEST/DECAY PROTECTION NOTES

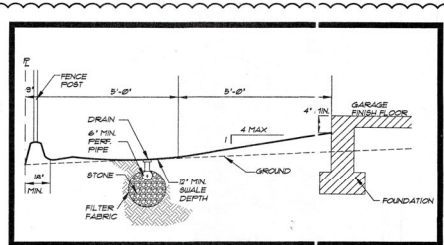
- ALL PLANTINGS AND IRRIGATION/SPRINKLER SYSTEMS, INCLUDING ALL RISERS AND SPRAY HEADS SHALL BE AT LEAST ONE FOOT FROM BUILDING SIDE WALLS.
- SOIL TREATMENT SHALL BE A BENTONITE BAIT SYSTEM USED WITH A 5 YEAR CONTRACT IN PLACE (GASSED) FOR TERMITE PROTECTION.
- WOOD GRADE STAKES SHALL NOT BE USED.
- PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH CURRENT CODE.
- ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT CODE.
- CONCRETE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF ONE FOOT FROM BUILDING SIDE WALLS.

### SITE PLAN NOTES

- THE MAXIMUM FRONT YARD SLOPE SHALL BE FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL. SLOPES SHALL BE HELD TO FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL, OR FLATTER, UNLESS OTHERWISE SPECIFIED BY SLOPES OR OTHER SYSTEMS TO BE PLACED (GASSED) FOR TERMITE PROTECTION.
- MAXIMUM SIDE AND REAR SLOPES SHALL BE FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL.
- EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED TO MATCH SLOPE DETAIL A-01 ON SITE DRAINAGE FACILITY.
- ALL REQUIRED SLOPES SHALL BE A MINIMUM OF 0.25% LONGITUDINAL SLOPE.
- SITE RUN OFF MAY BE DIRECTED TO REAR OF LOT IF AN APPROVED DRAINAGE GREENLINE OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
- ALL REQUIRED SLOPES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMPLETION OF CONSTRUCTION.
- A REGISTERED SURVEYOR SHALL LOCATE BUILDINGS ON SITE FOR CONFORMANCE PRIOR TO SHEDDING PLACEMENT.
- IF SITE DRAINAGE IS TO BE SHEDDING AS TO NOT ALLOW DRAINAGE ON TO ADJACENT PROPERTIES.
- ROOF AND DOWNSPUTS SHALL BE PLACED IN ACCORDANCE WITH CURRENT CODE. ALL ROOF AND DOWNSPUTS SHALL BE CONVERTED TO PROPOSED ON-SITE DRAINAGE FACILITY.
- NO MECHANICAL EQUIPMENT (INCLUDING POOL EQUIPMENT) CAN BE IN THE SETBACKS.
- EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED TO MATCH SLOPE DETAIL A-01 ON SITE DRAINAGE FACILITY.

### SILT FENCE DETAIL

SCALE: N.T.S.



### SWALE DETAIL L.B.K.

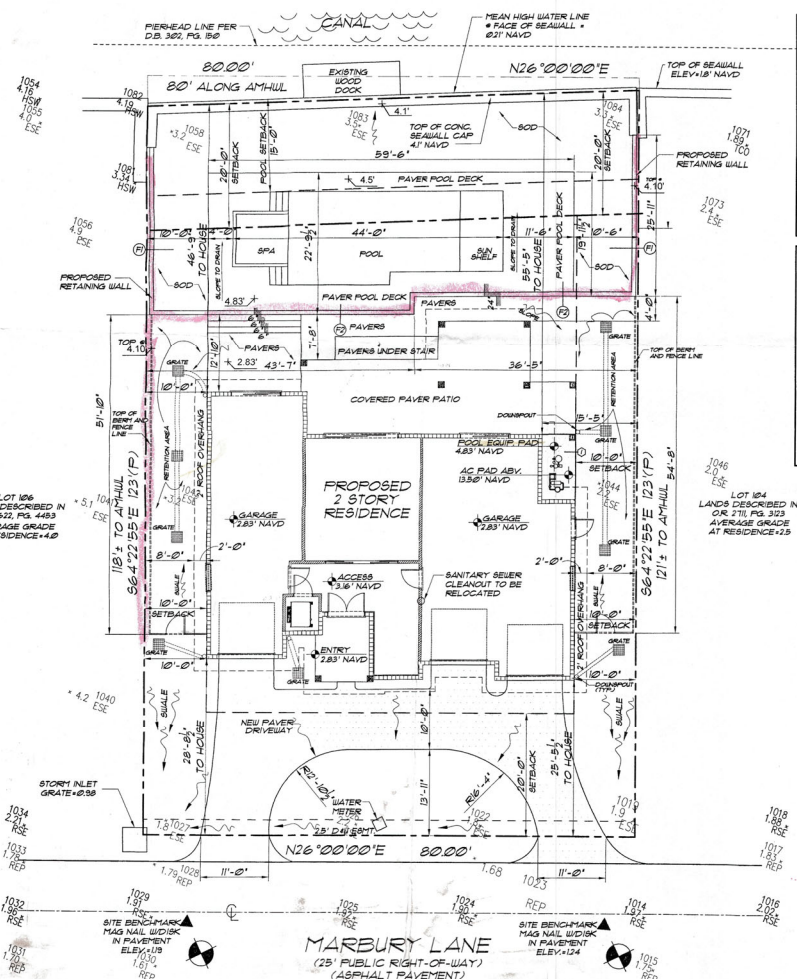
SCALE: N.T.S.

### SITE & DRAINAGE PLAN

SCALE: 1"=10'-0"

### LEGAL DESCRIPTION

LOT 106, SLEEPY LAGOON PARK #1 OF THE PUBLIC RECORDS OF PALMATEE COUNTY, FLORIDA, 124 MARBURY LANE, TOWN OF LONGBOAT KEY, 34226



Today's Builders  
CGC 053463  
756-7555 Office

**Phelps Home Design**  
2023 Bldg. Reg. No. 4483  
10000 Holmes Blvd. Ste. 100  
Holmes Beach, FL 34171  
(941) 995-9112 | (941) 938-4589  
phelpsdesign.com

**JOB SITE**  
A CUSTOM DESIGNED HOUSE FOR:  
124 MARBURY LANE  
TOWN OF LONGBOAT KEY, FLORIDA

**JOB SITE**  
DIGITALLY signed by  
Craig E. Gunderson  
Date: 2023.10.23  
10:43:43  
-04'00'

DRAIN BY: TH  
CHECKED: BP  
DATE: 10/22  
SCALE: VARIOUS  
JOB NUMBER: 21641

FLORIDA ENGINEERING, LLC  
10000 HOLMES BLVD., SUITE 100  
PORT CHARLOTTE, FL 33902  
TEL: (813) 911-0100  
FAX: (813) 978-8155