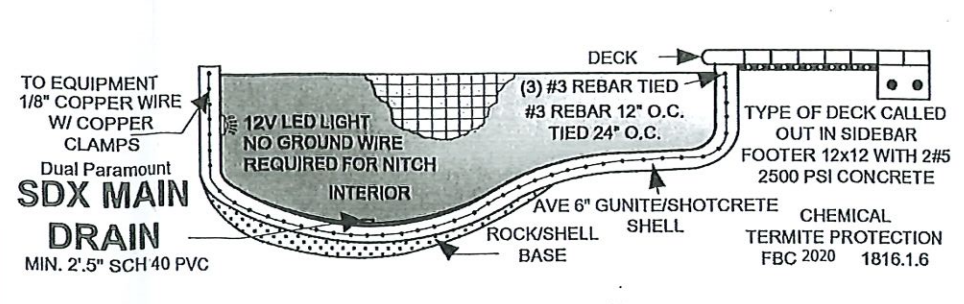
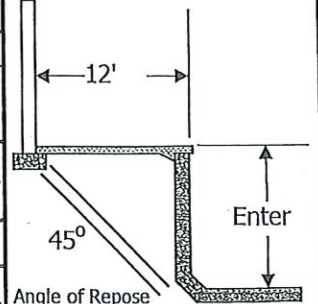




1891 Porter Lake Dr, #107 Sarasota, Florida
 Phone 941-377-5133 CPC1457838

Pavers: _____
 Waterline Tile: _____
 Waterline Tile: _____
 Coping: _____
 Pool Finish: _____
 Step Tile: _____
 Ledge Stone: _____
 Flo- _____



Project Information	
Client Name:	Westin Hills
Address:	630 Compamion Way
City:	Longboat Key
Zip Code:	34228
Client Phone:	941-444-2727
Lot #:	
Subdivision	

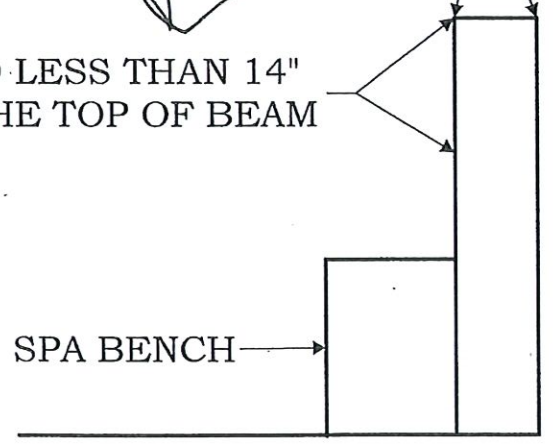
New Print 11/8/23

Pool Deck to be installed by Coast to Coast.

NO SCREEN CAGE *SPECIAL NOTES*
NO FOOTERS *SPECIAL NOTES*
BONDING BY COAST TO COAST
(4) DOOR ALARMS BY *SPECIAL NOTES* COAST TO COAST POOLS

Sunite Crew
SPECIAL NOTES SPA BEAM MUST NOT TO EXCEED 10" THICKNESS

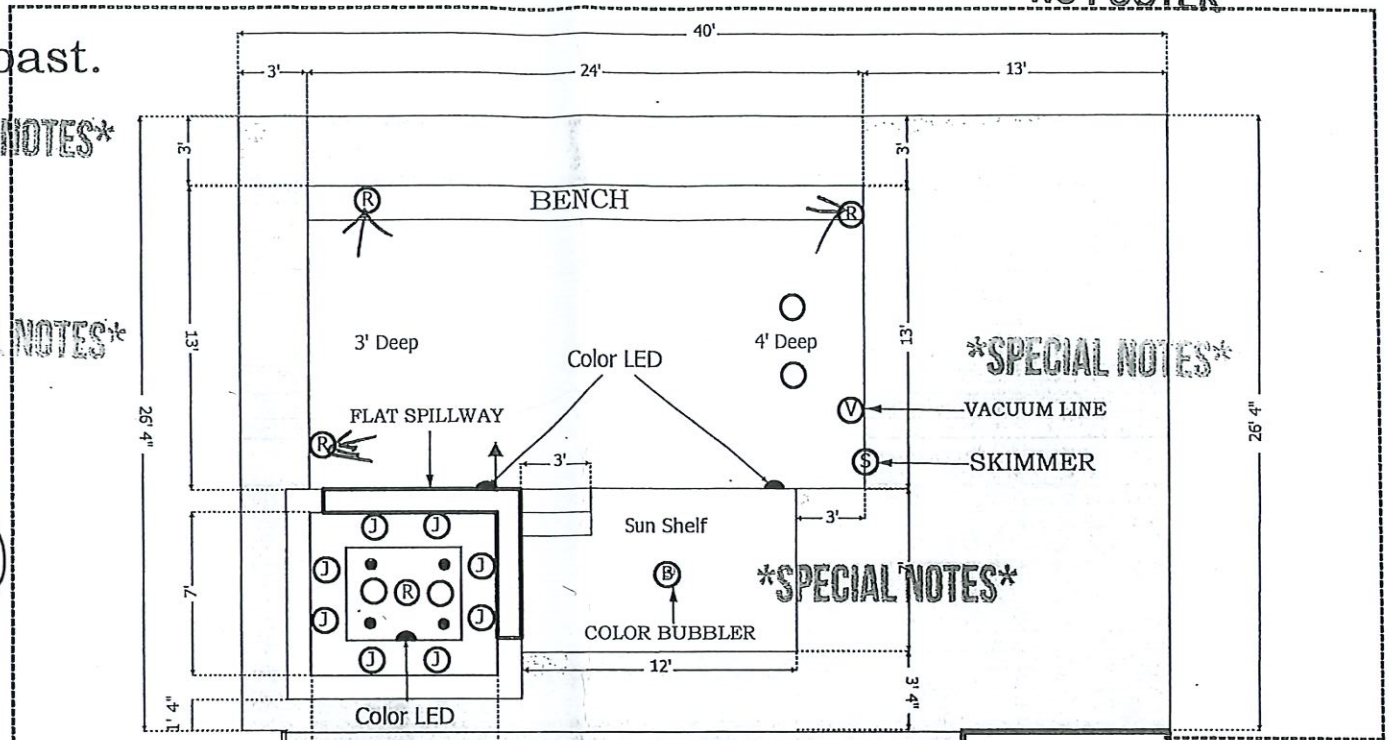
FOR NO LESS THAN 14" FROM THE TOP OF BEAM



Metro

SPECIAL NOTES

Barrier fence by builder to meet all code requirements for at grade +/-6" swimming pool



SEE ELEVATIONS

Pre-Plumb Spa

Permit # **PS 23-0061**
 REVIEWED FOR CODE COMPLIANCE
 LONGBOAT KEY BUILDING DEPT.

NOV 13 2023
 APPROVED
 Reviewer: *[Signature]*

NO FOOTER

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NOV 08 2023
 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building

SPECIAL NOTES

Builder to Provide fence to meet 60% opaque code requirements

Pool Specifications	
Size:	24' x 20' Area 396 Sq Ft Perimeter: 88'
Shape:	CUSTOM 6,628 gallons Depth: 3' to 4'
Deck Size:	996 Sq Ft Lanai Pavers THICKS
Grade By:	CTC Raised Deck: NONE
Deck Coping:	CTC Deco Drain: 40'
Electrical:	CTC Swim Out: BENCH
Timer:	Automation
Returns:	(3) THREE Therapy Jets: NONE
Lights:	(1) WHITE LED Skimmer: YES
Pump:	VARIABLE SPEED Filter CS 150 CARTRIDGE
Chlorinator:	SALT Heater: Jandy 12ok BTU
Gas Hook-Up by other not by Coast to Coast	

Spa Specifications	
Spa:	YES Size: 7'X7'
Height:	+12" (+14") Therapy Jets: (8) JETS
Pump:	SHARED Blower YES
Heater:	SHARED
Gas Hook-Up by other not by Coast to Coast	

Cage Specifications	
Size:	AS NEEDED Roof: MANSARD
Color:	BRONZE Walls: 10' Screen: 14/18
Doors:	(2) TWO Gutters: YES 7" Footers:

Additional Information	
Designer:	TJ Warren 941-376-4099

All dimensions have a 5% tolerance. Decks are not warranted against cracking, settling, checking or discoloration. Location points, dimensions and construction specifications have been explained to me and I approve them. Everything we have discussed is shown here, on this print and there are no verbal agreements. I understand any changes will necessitate extra charges. OWNER SHALL RELOCATE AT THEIR EXPENSE ALL UNDERGROUND UTILITIES, WELLS, SPRINKLER SYSTEMS, SHUBURY, HURRICANE SHUTTERS AND SPETIC TANKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. Coast to Coast Pools, Inc. and their subcontractors are not responsible for yard damage, underground utilities, sidewalk, all hidden or seen objects which are in the path leading to and around the swimming pool construction location.

BLDG PERMIT PLAN!
 FILE
 Copy of Record

Map of: BOUNDARY/TOPOGRAPHIC SURVEY

PARCEL 1:

BEGIN AT THE INTERSECTION OF THE EASTERLY LINE OF JOHN RINGLING PARKWAY (100' WIDE) WITH THE NORTHERLY LINE OF LOT 3 OF A SUBDIVISION OF FRACTIONAL SECTIONS 25, 26 AND PART OF 24, TOWNSHIP 35 SOUTH, RANGE 16 EAST, AS RECORDED IN PLAT BOOK 7, PAGE 16, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE NORTH 50 DEGREES 00' EAST ALONG THE NORTHERLY LINE OF SAID LOT 3, 735 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE NORTH 50 DEGREES 00' EAST 105 FEET; THENCE SOUTH 40 DEGREES 48' EAST, 100 FEET TO THE SOUTHERLY LINE OF SAID LOT 3; THENCE SOUTH 50 DEGREES 00' WEST 105 FEET; THENCE NORTH 40 DEGREES 48' WEST 100 FEET TO THE POINT OF BEGINNING, LESS THE NORTHERLY 20 FEET FOR ROAD EASEMENT. TOGETHER WITH ALL THOSE EASEMENTS AND RIGHTS APPURTENANT THERETO DESCRIBED IN THAT CERTAIN DEED OF RECORD IN DEED BOOK 347, PAGE 287, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, AND THAT CERTAIN RELOCATED EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 809, PAGE 465, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

CANAL LOT:

BEGIN AT THE INTERSECTION OF THE EASTERLY LINE OF JOHN RINGLING PARKWAY (100' WIDE) WITH THE NORTHERLY LINE OF LOT 3 OF A SUBDIVISION OF FRACTIONAL SECTIONS 25, 26 AND PART OF 24, TOWNSHIP 35 SOUTH, RANGE 16 EAST, AS RECORDED IN PLAT BOOK 7, PAGE 16, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE NORTH 50 DEGREES 00' EAST ALONG THE NORTHERLY LINE OF SAID LOT 3, 1230 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE NORTH 50 DEGREES 00' EAST 20 FEET, THENCE SOUTH 40 DEGREES 48' EAST, 100 FEET TO THE SOUTHERLY LINE OF SAID LOT 3; THENCE SOUTH 50 DEGREES 00' WEST 20 FEET, THENCE NORTH 40 DEGREES 48' WEST 100 FEET TO THE POINT OF BEGINNING, LESS THE NORTHERLY 20 FEET FOR ROAD EASEMENT TOGETHER WITH ALL THOSE EASEMENTS AND RIGHTS APPURTENANT THERETO DESCRIBED IN THAT CERTAIN DEED OF RECORD IN DEED BOOK 347, PAGE 287, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, AND THAT CERTAIN RELOCATED EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 809, PAGE 465, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

PROPERTY ADDRESS:
630 COMPANION WAY,
LONGBOAT KEY, FLORIDA 34228

Certified To:
- Thomas Wienholt
- Westinhills Corporation

DocuSigned by:

Jeffrey Hilligoss

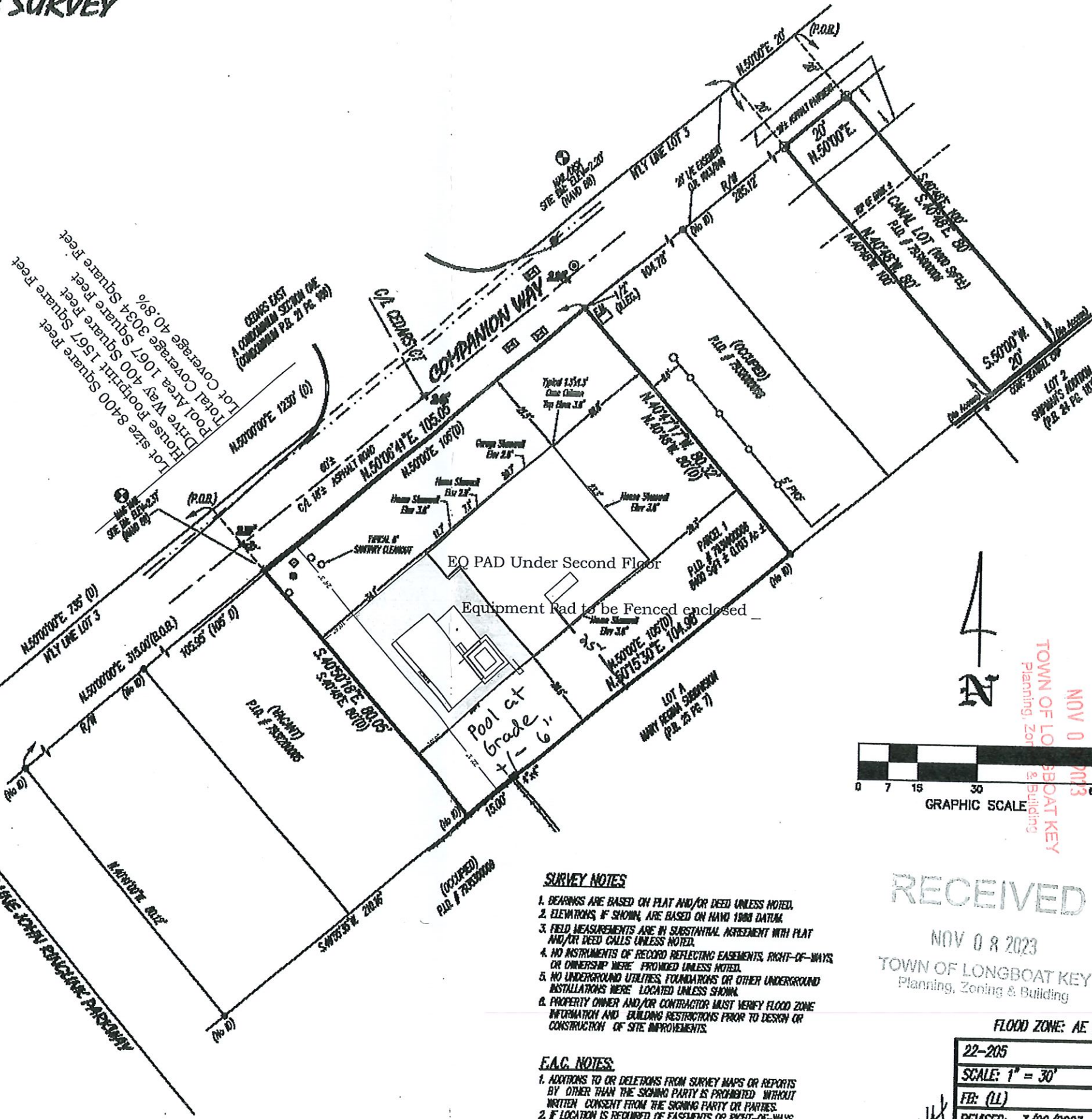
AE1600B5D00F41F...

3/31/2023

DATE: 01/27/23

Jeffrey H. Hilligoss
Professional Surveyor & Mapper
Florida Registration No. LS 4488

NOT VALID WITHOUT SIGNATURE SEAL OF FLORIDA LICENSED SURVEYOR & MAPPER



ABBREVIATIONS

- A/C - AIR CONDITIONER
- BM - BENCHMARK
- B.O.B. - BASIS OF BEARINGS
- C/L - CENTERLINE
- CONC - CONCRETE
- D.E. - DRAINAGE EASEMENT
- D.I. - DRAIN INLET
- R.F. - RIGHT OF WAY
- R.R. - RICH ROAD
- R.D. - ROAD
- LB - LANDSCAPE BUFFER
- M - MEASURED
- M.E. - MAINTENANCE EASEMENT
- O.R. - OFFICIAL RECORDS BOOK/PAGE
- P - PLAT
- PSM - PROFESSIONAL SURVEYOR & MAPPER
- P.U.E. - PUBLIC UTILITY EASEMENT
- R/W - RIGHT OF WAY
- SET - SET 5/8" R. LD 10000 or FR 1/4" R. LD 10000
- U.E. - UTILITY EASEMENT
- W.F. - WOOD FENCE

PALM TREE

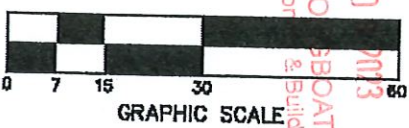
EXISTING ELEVATION

SYMBOLS

- 5/8" RICH ROD
- MAN. & DISC
- CONC MONUMENT
- X-CUT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE SERVICE
- CABLE SERVICE
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- CATCH BASIN
- DRAIN INLET
- FLORIDA POWER & LIGHT TRANSFORMER ON CONC PAD
- AIR CONDITIONER PAD
- POOL EQUIPMENT PAD
- ELECTRIC METER
- WELL
- WOOD UTILITY POLE
- OVERHEAD UTILITY LINES

FENCES

- 4" METAL FENCE
- 6" VINYL FENCE
- BLDG PERMIT PLANS FILE



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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SURVEY NOTES

1. BEARINGS ARE BASED ON PLAT AND/OR DEED UNLESS NOTED.
2. ELEVATIONS, IF SHOWN, ARE BASED ON HAND 1988 DATUM.
3. FIELD MEASUREMENTS ARE IN SUBSTANTIAL AGREEMENT WITH PLAT AND/OR DEED CALLS UNLESS NOTED.
4. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAYS OR OWNERSHIP WERE PROVIDED UNLESS NOTED.
5. NO UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER UNDERGROUND INSTALLATIONS WERE LOCATED UNLESS SHOWN.
6. PROPERTY OWNER AND/OR CONTRACTOR MUST VERIFY FLOOD ZONE INFORMATION AND BUILDING RESTRICTIONS PRIOR TO DESIGN OR CONSTRUCTION OF SITE IMPROVEMENTS.

F.A.C. NOTES:

1. ADDITIONS TO OR DELETIONS FROM SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT FROM THE SIGNING PARTY OR PARTIES.
2. IF LOCATION IS REQUIRED OF EASEMENTS OR RIGHT-OF-WAYS OF RECORD OTHER THAN THOSE SHOWN, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.

FLOOD ZONE: AE (6') F.I.R.M. 12081C0291F DATE: 08/10/2021

22-205
SCALE: 1" = 30'
FB: (LL)
REVISED: 3/29/2023
AS-BUILT SURVEY
JOB #23-125
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Dona Bay Surveyors, Inc.

309 biruga loop
Nokomis, Florida 34275
(813) 488-2555