

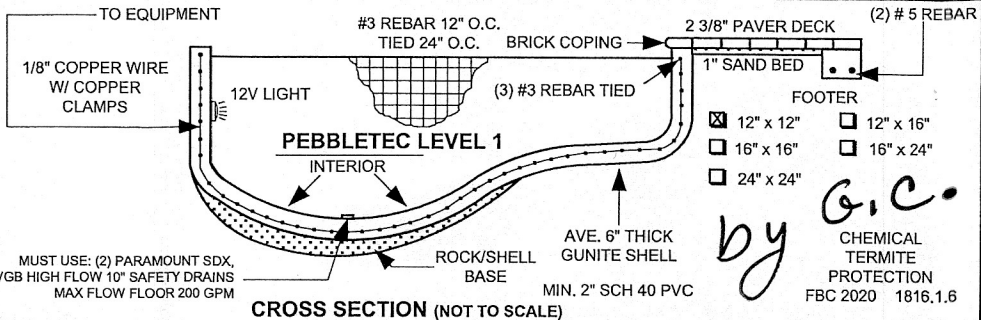
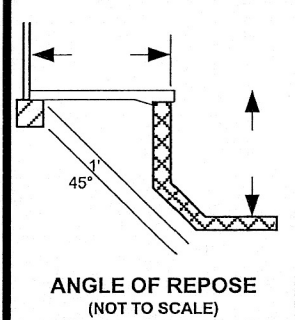


Coast to Coast Pools
1891 Porter Lake Drive Unit 107
Sarasota, FL 34240
Phone: 941-377-5133 Fax: 941-377-3574
CoasttoCoastPools.com

CPC1457311

COLOR SELECTIONS

Waterline: _____
 Step/Bench: _____
 Coping: _____
 Paver Color: _____
 Paver Pattern: _____
 Interior Finish: _____
 Flocrete Color: _____
 Misc: _____



Name: TALON HOMES WAITE
 Address: 582 JUAN ANASCO DRIVE
 City: LONGBOAT KEY Zip: 34228
 Email: JENNI@TALONHOMEBUILDERS.COM
 Phone: _____ Alt: _____
 Subdivision: SLEEPY LAGOON PARK
 Lot #: 18 Block: _____ County: MANATEE

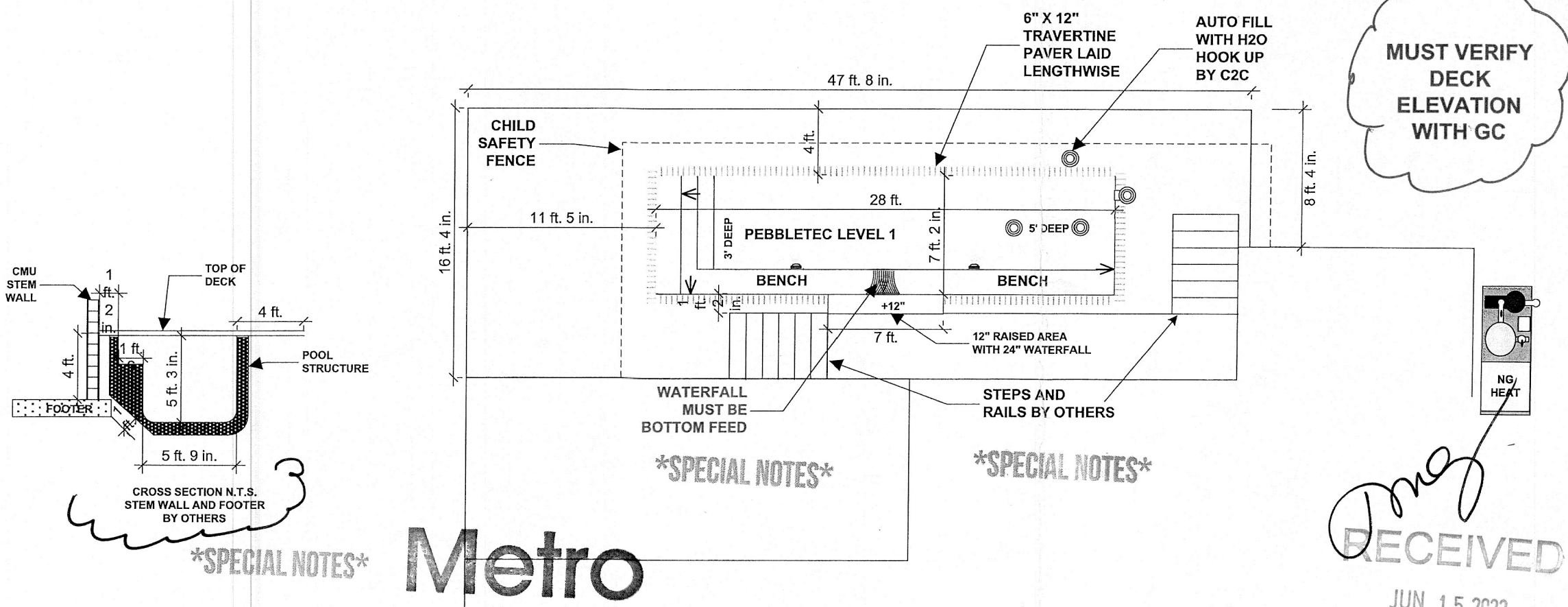
- ALL DIMENSIONS, LOCATION POINTS AND CONSTRUCTION SPECIFICATIONS HAVE BEEN EXPLAINED TO ME AND I APPROVE OF THEM.
- EVERYTHING WE HAVE DISCUSSED IS SHOWN HERE AND THERE ARE NO VERBAL AGREEMENTS.
- I UNDERSTAND THAT ANY CHANGES WILL NECESSITATE EXTRA CHARGES

POOL SAFETY FEATURE: CHILD SAFETY FENCE BY C2C

Footer by GC

Deck bonding by C to C pools.

Brick + tile crew
SPECIAL NOTES *SPECIAL NOTES*



POOL SPECS:
 Size: 7'-2" x 28' Area: 200 sq. ft. Perimeter: 71 LF
 Shape: RECTANGLE Depth: 3' to 5' to _____
 Earth Disposal: DIG AND HAUL SHUTTLE
 Deck Edge: TRAVERTINE 6x12 Deck Type: BY GC
 Pump Deck or Footers: YES Lanai Topping: BY GC
 Prep Lanai: NO Deck Drain: BY GC
 Elevation: VERIFY DECK ELEVATION Raised Deck: NO
 Grading: BY C2C Electrical: BY C2C
 Timer: N/A Transformer: PX 100
 Returns: 3 Therapy Jets: NO Skimmer: YES
 Light: JANDY WHITE Pump: JANDY VSPHP 270DV2A
 Filter: JANDY CS150 Chlorinator: JANDY TRUCLEAR 11K
 **Heater: JANDY JX1400 NG
 **Gas line, gas tank, gas hook up NOT included
 Automatic Pool Cleaner: NO

NO SPA

NO CAGE

Designed By: LARRY WOUMERT
 Date Designed: 4/21/23
 Notes: _____

All dimensions have a 5% tolerance
 Quartz and plaster are composed of natural materials which give them certain Characteristics. A certain amount of fading or color variations is a natural occurrence and is NOT considered a defect. Therefore they are only warranted to waterproof the pool. Decks are not warranted against normal cracking, settling, checking, or discoloration. Pool based on normal installation and access. Extra Charges may be assessed if not available.
 LOCATION POINTS, DIMENSIONS AND CONSTRUCTION SPECIFICATIONS HAVE BEEN EXPLAINED TO ME AND I APPROVE OF THEM. EVERYTHING WE HAVE DISCUSSED IS SHOWN HERE AND THERE ARE NO VERBAL AGREEMENTS. I UNDERSTAND THAT ANY CHANGES AFTER SIGNING OF PLAN AND CONTRACT. 5/18/2023

Markus Waite
 BLDG. PERMIT PLANS
 FILE COPY OF RECORD

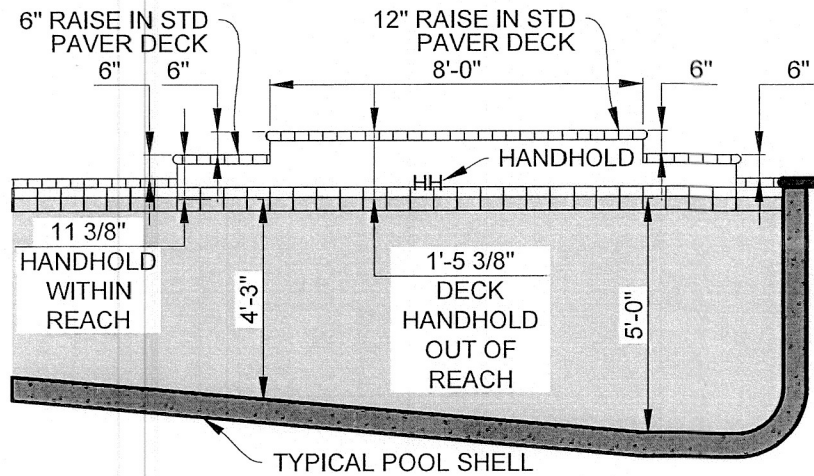
THIS IS A CONCEPT DESIGN DRAWING and customer agrees that dimensions are approximate and may vary during construction. Coast to Coast Pools reserves the right to add, delete or change, substitute and/or alter specifications, features, dimensions, designs, equipment and prices due to code requirements, job site conditions, and conditions beyond its control. The final construction drawing showing any changes shall be approved by contractor prior to commencement of construction.

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RESIDENTIAL POOL AND SPA PLAN REVIEW CHECKLIST FOR CRITICAL SAFETY CODE REQMTS

HANDHOLDS REQUIRED

HANDHOLD(S) PROVIDED WHEN REQUIRED AT RAISED DECK AREAS MORE THAN 12 INCH FROM WATER LINE AND WATER DEPTH MORE THAN 4 FEET FOR LENGTH OF 8 FEET. [2011 ANSI/APSP-5, 17.1]



**ON PAVER COPING
A 6" RISE STILL
HAS HANDHOLD**

**ON CONCRETE
OVER POUR MORE
THAN 5" RISE IS
OUT OF REACH
FOR HANDHOLD.**

HANDHOLDS REQUIRED

SCALE: N.T.S.

WHEN POOL WATER CLOSER THAN 5 FT

WINDOWS, DOORS OR OTHER GLASS WITHIN 5 FT OF WATER'S EDGE: MUST HAVE MANUFACTURER'S DESIGNATION OF SAFETY GLAZING AND BE VISIBLY MARKED

ALL FIXED METAL PARTS WITHIN 5 FT HORIZONTAL OR 12 FT VERTICAL- DOOR AND WINDOW FRAMES, CAGE AND FENCE STRUCTURES, STATIONARY EQUIPMENT, METAL AWNINGS- SHALL BE BONDED UNLESS PERMANENT BARRIER

ENERGY CODE REQUIREMENTS RESTATED:

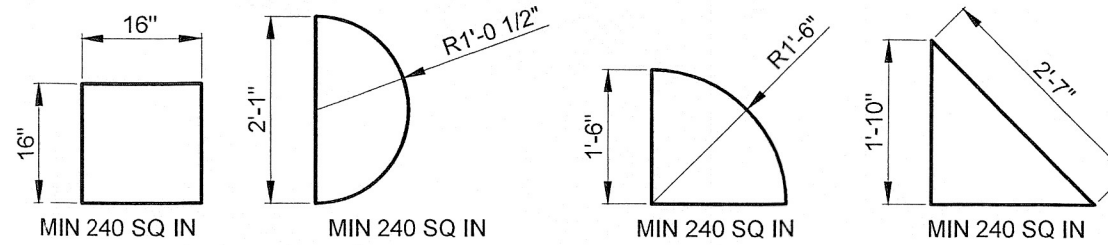
1. GAS HEATER ELECTRICAL FEED SHALL BE THROUGH GFCI.
2. 4X PIPE DIAMETER STRAIGHT PIPE REQUIRED STRAIGHT INTO PUMP, 8" FOR 2" FITTING, 10" FOR 2.5" FITTING.
3. MIN 18" STRAIGHT PIPE REQUIRED AFTER FILTER AN BEFORE HEATER, IF HEATER PROVIDED.

PLAN REVIEWER AND INSPECTOR MUST VERIFY SUCTION OUTLET COVER RATED FLOW GREATER THAN DETAILED TDH CALCULATION AT MAXIMUM PUMP SPEED OR AT LEAST EXCEEDS MAXIMUM FLOW OF PUMP CURVE AND PARTICULARLY VERIFIED FOR SPA SIDEWALL SUCTIONS AND RATED "WALL" FLOWS

(1) "Plans shall meet the mandatory energy consumption requirements of Section R403.10, FBC 7th Edition (2020) – Ene Conservation Code" (2) "Plans shall meet the Residential Swimming Barrier Requirements, in conformance with Section R4501.17, FBC 7th Edition (2020) – Residential (3) Plans shall comply with Sect R4501, FBC 7th Ed 2020-Residential

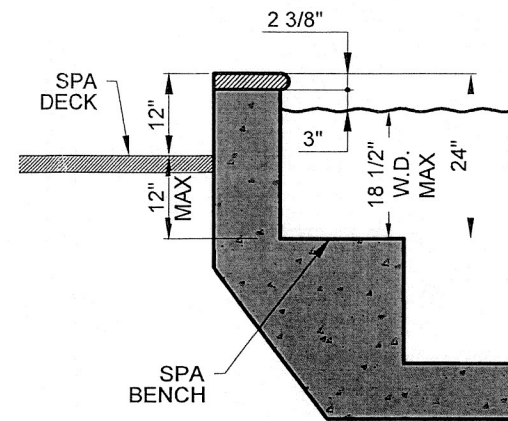
SPA STEP REQUIRED

UNLESS A SPA IS RAISED 12" OR MORE FROM DECK, A SPA STEP IS REQUIRED ON THE BENCH FOR THE MAXIMUM 12" FROM DECK TO ENTRY. [2014 ANSI/APSP-3, 5.6.1]



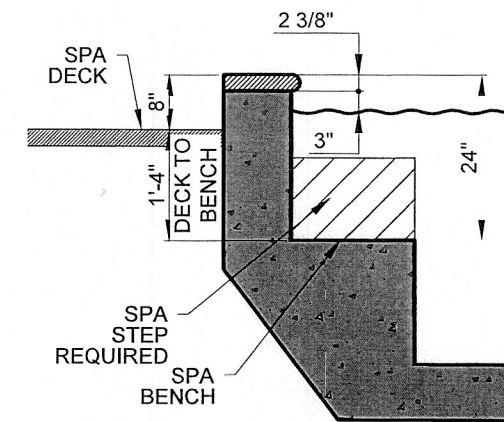
EXAMPLE 240 SQ IN STEP DIMENSIONS

SCALE: N.T.S.



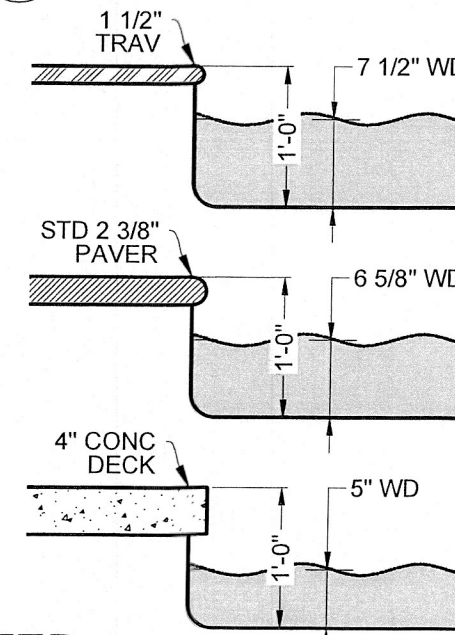
12" RAISED SPA NO STEP

SCALE: N.T.S.



8" RAISED SPA STEP REQD.

SCALE: N.T.S.

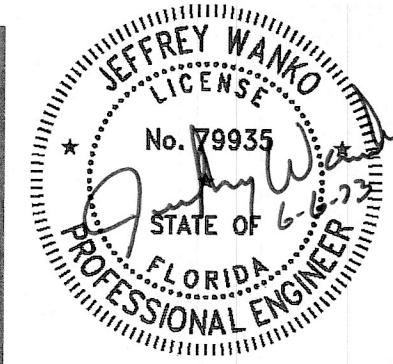


SUN SHELF AS FIRST STEP

MAXIMUM 12" DECK TO SUN SHELF AS 1ST STEP, LIMITS WATER DEPTH UNLESS ADDED STEP ON SHELF. [2011 ANSI/APSP-5, 6.2.2]

SUN SHELF AS 1ST STEP

SCALE: N.T.S.



1925 Worth Ct
Bradenton, FL 34211
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C.A. 27189

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REV. DATE DESCRIPTION
PROJ. NO.: DWG BY: CKD BY: JKK 01-Jan-21 VERSION: 3-Feb-22
KE_RSTD MCM

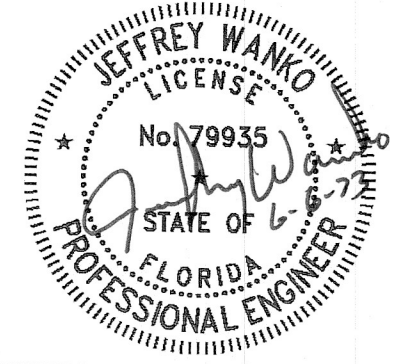
K:\MESSR\RD-Drive\COMPANY SHARED T\W\2020\FBC 7TH ED\2020\FBC-KE Std Eng - draft 3 sheet.dwg

EXPIRES WHEN THE FBC IS REVISED
ORIG. DWG: 17/11/14 (ANSI B)

FOR USE IN: TOWN OF LONGBOAT KEY
BY: COAST TO COAST POOLS

TYPICAL PLAN & SECTIONS
FOR RESIDENTIAL POOL/SPA

SHEET
S1
SHEET 1 OF 3
BLDG. PERMIT PLANS
FILE COPY OF RECORD



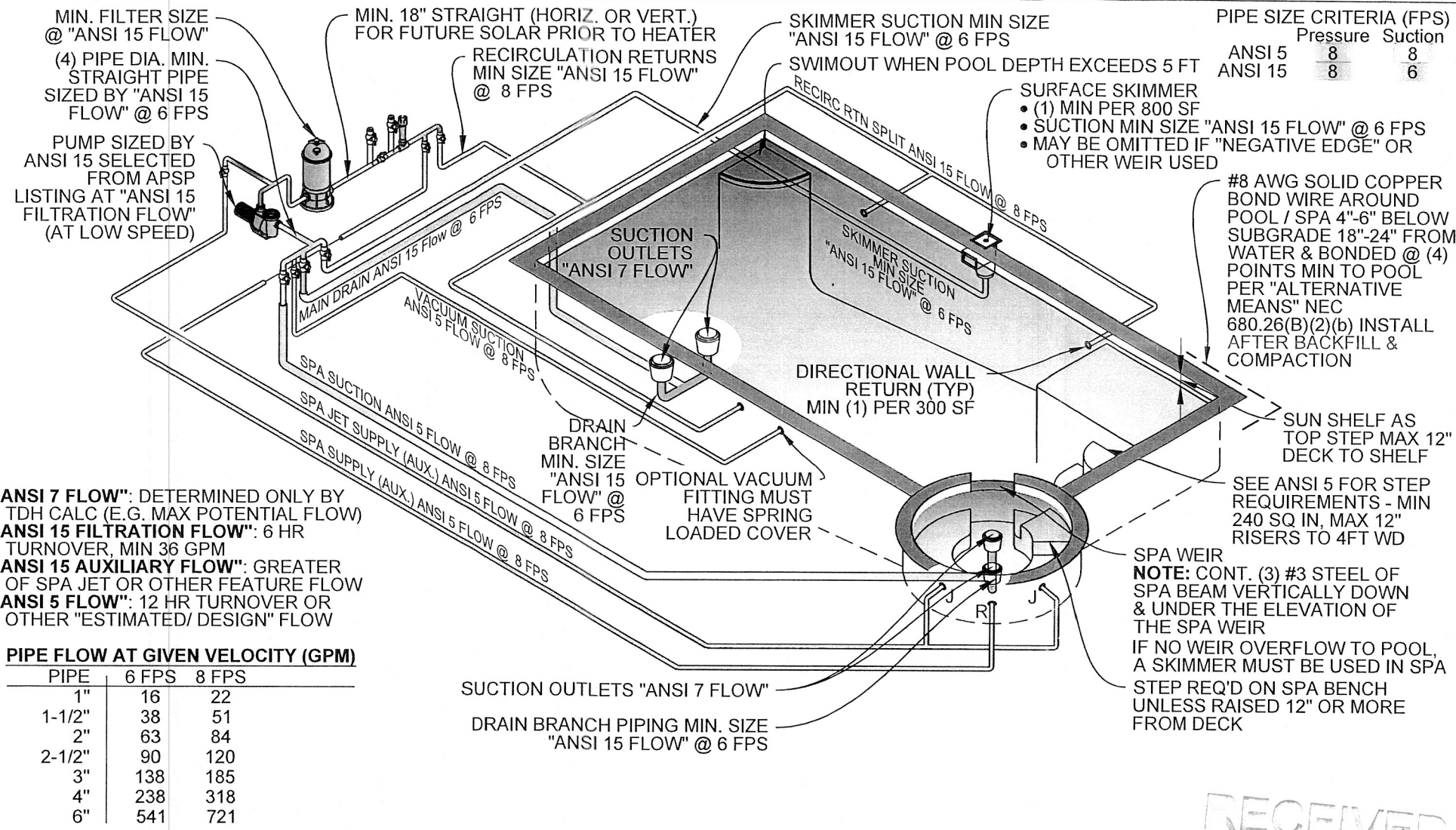
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 Bradenton, FL 34211
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2-3-2022 REVISION

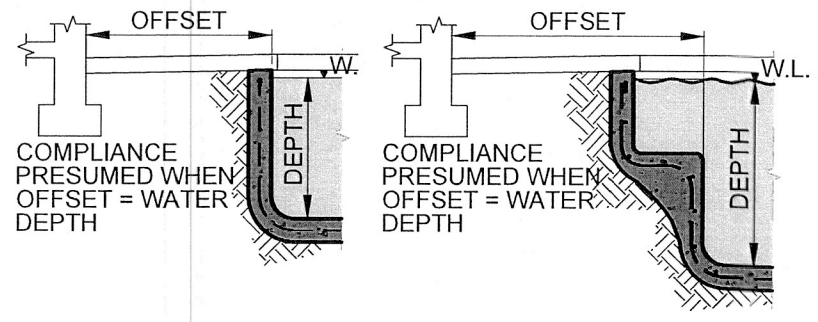
REV.	DATE	DESCRIPTION
PROJ. NO. KE_RSTD	DWG BY: MCM	CKD BY: JJK
		DRAWING: 01-Jan-21
		VERSION: 3-Feb-22



- NOTES:**
- THIS PLAN IS SCHEMATIC & PIPING SHALL BE CONNECTED TO PROVIDE A FUNCTIONING SYSTEM.
 - POOL PIPING SHALL HOLD A STATIC WATER OR AIR PRESSURE NOT LESS THAN 35 PSI FOR 15 MINUTES, PER R4501.12.1
 - POOLS SHALL HAVE PUMPS SELECTED TO PROVIDE MINIMUM 12 HR. TURNOVER & MAXIMUM 6 HOUR TURNOVER.
 - DETERMINE PIPE SIZING FROM ATTACHED ANSI WORK SHEETS.
 - SPA PIPING DETERMINED FROM ATTACHED WORK SHEETS.
 - DUAL MAIN DRAINS SHALL HAVE A MINIMUM SEPARATION OF 3 FT, UNLESS ONE IS LOCATED ON A VERTICAL WALL OR A SINGLE UNBLOCKABLE DRAIN IS USED.
 - ALL SUCTION COVERS SHALL MEET ANSI/APSP/ICC-16 2017
 - ALL PIPING SHALL BE NSF-PW APPROVED & MEET THE REQUIREMENTS OF 7TH ED. (2020) FBC.
 - ELECTRICAL EQUIPMENT, WIRING, & INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017 EDITION.
 - BONDING OF POOL STEEL & LIGHT TO FOOTING STEEL SHALL BE CONTINUED TO & INCLUDE ALL PUMPS & HEATERS.
 - TEMPORARY FENCING SHALL BE INSTALLED & MAINTAINED UNTIL PERMANENT CHILD SAFETY FEATURES ARE INSTALLED.
 - THERE SHALL BE A PASSING ELECTRICAL & CHILD SAFETY FINAL INSPECTION PRIOR TO FILLING THE POOL OR SPA WITH WATER.
 - POOL SHALL MEET THE APPLICABLE CRITERIA IN ANSI/APSP 3,4,5,6, 7 & 15 STANDARDS ADOPTED IN 7TH ED. (2020) FBC
 - REGARDLESS OF THE CRITERIA HERE, THE PROJECT SHALL COMPLY WITH ALL SECTIONS OF THE 7TH ED. (2020) FBC - RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING & GAS CODES, AS APPLICABLE RESPECTIVELY & AMENDED.

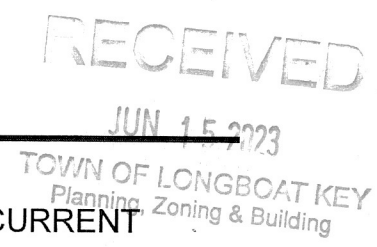
1 TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN
 SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:



2 PROXIMITY TO STRUCTURE
 SCALE: N.T.S.

1. WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
2. WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
3. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
4. IF AFTER EXCAVATION THE CONTRACTOR FINDS A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.



NOTE TO REVIEWER:
 DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANSI 7-SUCTION ENTRAPMENT COMPLIANCE

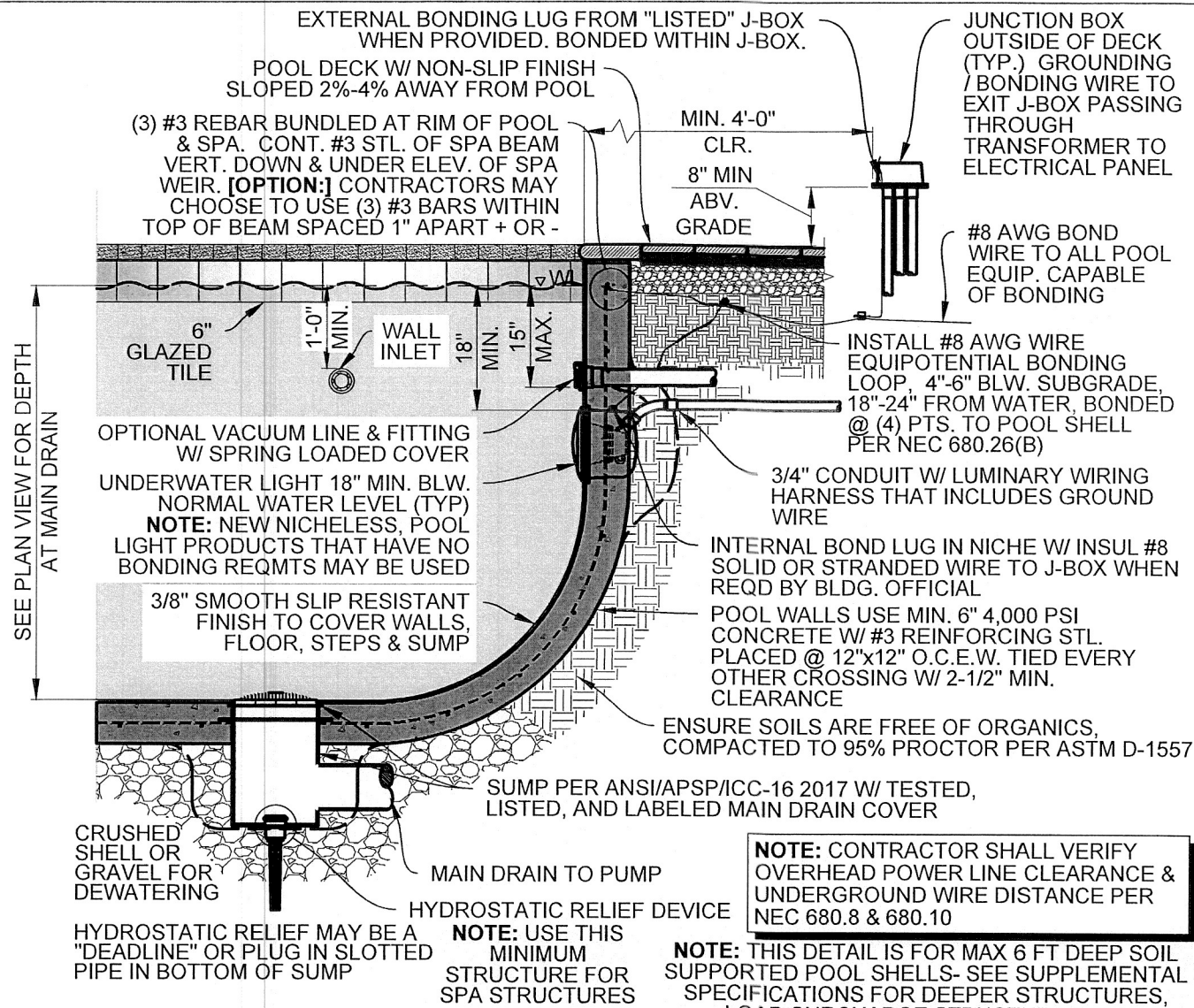
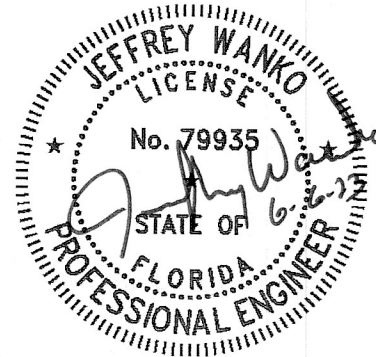
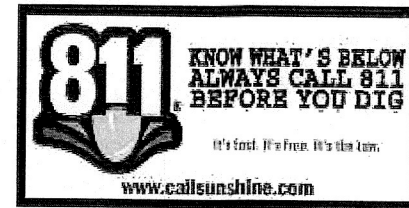
COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES

EXPIRES WHEN THE FBC IS REVISED
 ORIG. DWG: 17"x11" (ANSI B)

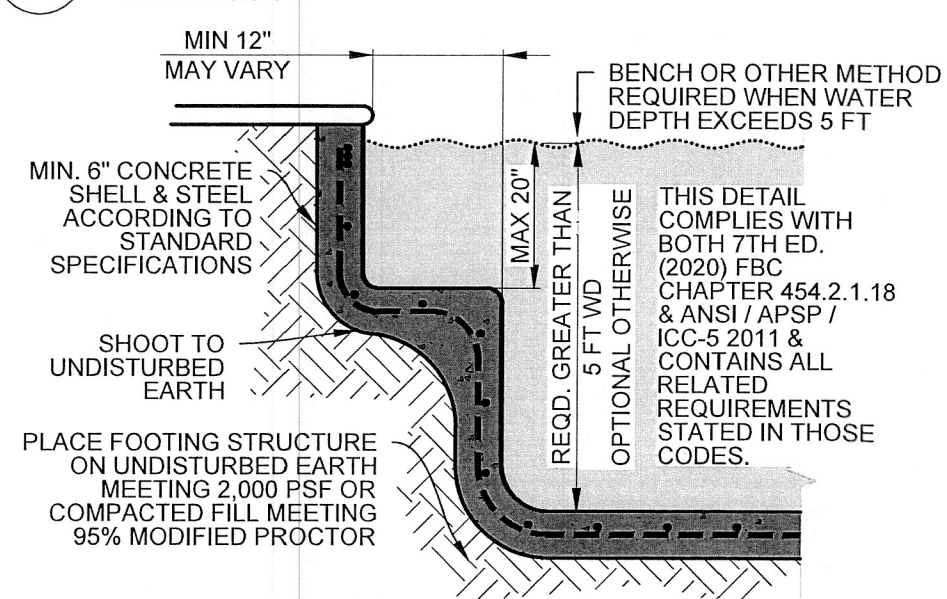
FOR USE IN: TOWN OF LONGBOAT KEY
 BY: COAST TO COAST POOLS

TYPICAL PLAN & SECTIONS FOR RESIDENTIAL POOL/SPA

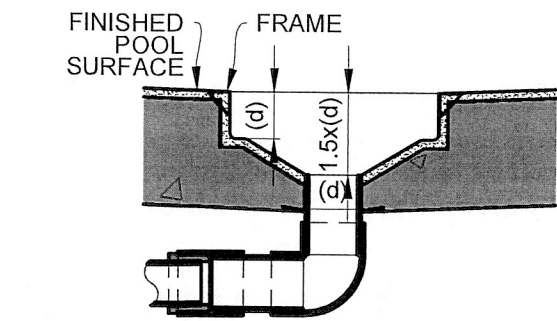
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1 POOL DEEP END SECTION
SCALE: N.T.S.



3 BENCH SECTION
SCALE: N.T.S.

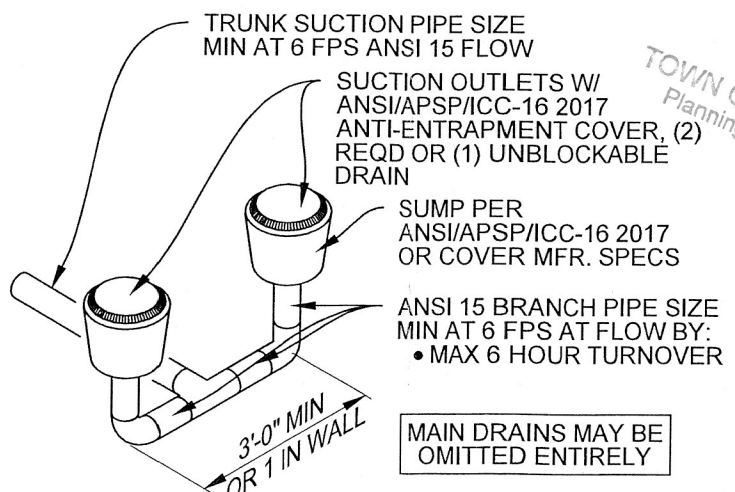


2 FIELD BUILT SUMP
SCALE: N.T.S.

DRAIN COVERS & SUMPS a.k.a. SUCTION OUTLET FITTING ASSEMBLIES (SOFA) ANSI/APSP/ICC-16 2017

- FOLLOW THE PRODUCT SPECIFICATIONS AND/OR INSTALLATION INSTRUCTIONS FOR MIN./MAX. SUMP DIMENSIONS, DRAIN COVER/GRATE, AND FRAME FASTENING MEETING MFGR'S SOFA CERTIFICATION.
- DO NOT USE POWER TOOLS TO INSTALL FASTENERS**
- FIELD MODIFICATIONS TO ANY SOFA NOT AUTHORIZED BY MFGR INSTALLATION INSTRUCTIONS SHALL VOID THE SOFA CERTIFICATION
- HAND CHECK COVER/GRATE SNUGNESS TO SUMP/FRAME AFTER INSTALLATION
- SOFA COMPONENTS HELD IN PLACE BY INTERIOR FINISH OF THE POOL SHALL BE FREE OF DETERIORATION AND VOIDS

2 FIELD BUILT SUMP
SCALE: N.T.S.



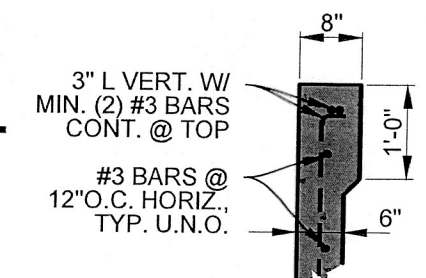
4 BRANCH PIPING
SCALE: N.T.S.

NOTES:

- APPROVED PRODUCT SPECIFICATION MAY DIFFER FROM FIELD BUILT SUMPS SHOWN ON THIS PAGE

ADDITIONAL STRUCTURAL NOTES:

- USE MINIMUM ASTM A615 GRADE 40 STEEL
- LAP #3 BARS MINIMUM 15"
- LAP #5 BARS MINIMUM 25"
- 6" SHELL THICKNESS AND 2-1/2" CONCRETE COVERAGE ARE MINIMUMS
- USE 4,000 PSI CONCRETE
- CONTRACTOR / OWNER REQUIRED TO:
 - CONTACT ENGINEER IF POOL NOT PLACED ON UNDISTURBED AND DE-WATERED EARTH THAT CAN MEET 2,000 PSF BEARING CAPACITY.
 - WHEN BURIED DEBRIS IS ENCOUNTERED OR QUESTIONABLE CONDITIONS ARE INDICATED AT THE WORK SITE PRIOR / DURING CONSTRUCTION, A SUBSURFACE CONSULTANT SHALL CONDUCT BORING(S) IN THE AREA OF THE POOL TO CONFIRM SOIL BEARING CAPACITY, CLEAR OF BURIED DEBRIS, & VERIFYING GROUND WATER LEVEL
 - ALL MODIFIED SOILS & EARTH FILL UNDER PERSPECTIVE POOL AREA SHALL MEET A SOIL DENSITY AND COMPACTION MINIMUM OF 95% MODIFIED PROCTOR WITHOUT SETTLEMENT.



5 POOL BEAM 8"x12" OPTION
SCALE: N.T.S.

NOTE: THIS DETAIL IS FOR MAX 6 FT DEEP SOIL SUPPORTED POOL SHELLS- SEE SUPPLEMENTAL SPECIFICATIONS FOR DEEPER STRUCTURES, LOAD SURCHARGE STRUCTURES, OR APPURTENANT STRUCTURES

COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES

EXPIRES WHEN THE FBC IS REVISED

FOR USE IN: TOWN OF LONGBOAT KEY BY: COAST TO COAST POOLS

TYPICAL SECTIONS FOR RESIDENTIAL POOL/SPA

SHEET S3

BLDG. PERMIT PLANS

FILE COPY OF RECORD

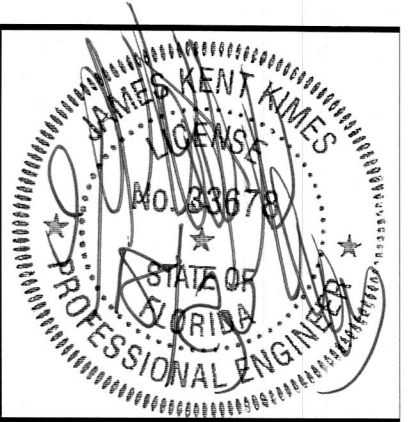
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REV.	DATE	DESCRIPTION
2-3-2022	REVISED	
PROJ. NO.:	DWG BY: MCM	CKD BY: JKK
DATE:	01-Jan-21	DRAWING:
VERSION:	3-Feb-22	

NOTES- EXCAVATION MITIGATION:

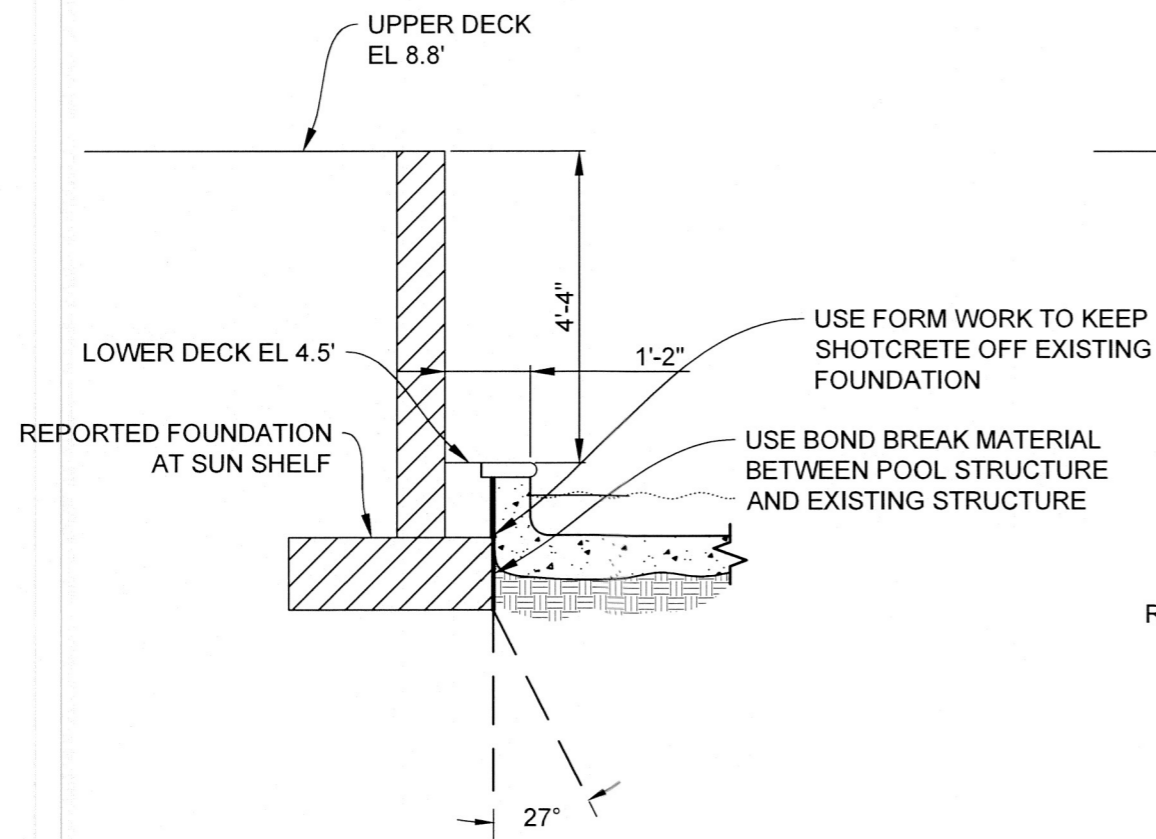
1. FBC 2020 7TH ED SECTION 1804.1: EXCAVATIONS SHALL NOT REDUCE LATERAL SUPPORT FROM ANY FOUNDATION.
2. FORCE TRANSMISSION FROM FOOTING DOWNWARD IS TYPICALLY TAKEN AS 2:1 SLOPE, 27 DEG FROM VERTICAL. NO SHELL MITIGATION REQUIRED.
3. PROVIDE FOR MECHANICAL COMPACTION OF BACK FILL BETWEEN EXISTING STRUCTURE AND POOL SHELL.
4. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR FURTHER MITIGATION REQUIREMENTS.
5. IF AFTER EXCAVATION, THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR MITIGATION SPECIFICATION.
6. THIS IS SUPPLEMENTAL TO STANDARD STRUCTURE DETAILS IN SHEETS S1 AND S2.
7. CONTACT ENGINEER IF CONDITIONS DIFFERENT FROM THOSE SHOWN HERE ARE FOUND DURING CONSTRUCTION.



KIMES ENGINEERING
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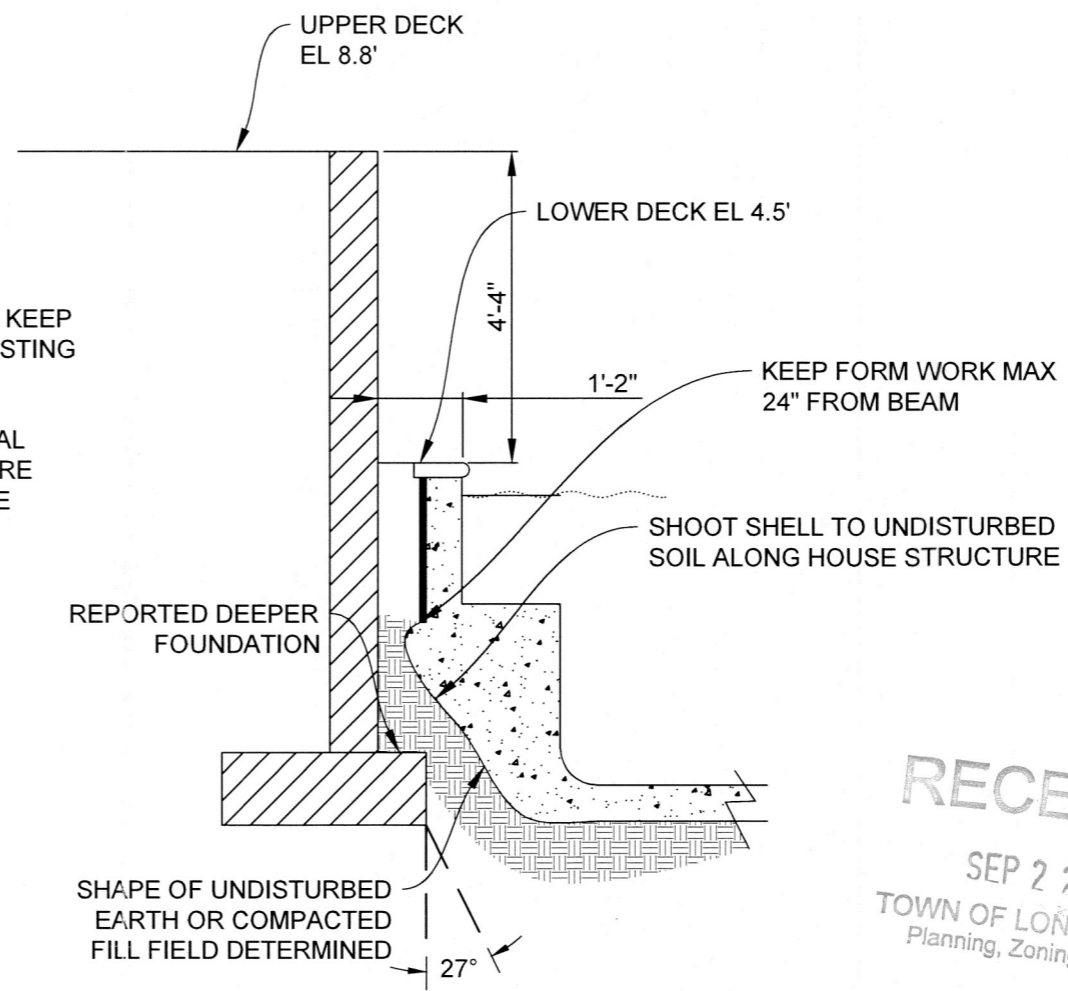
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REV.	DATE	DESCRIPTION
2020	FBC	
PROJ. NO.:	DWG BY: ##	CKD BY: JKK
		PRINTED: 18-Sep-23



EXCAVATION MITIGATION AT SUN SHELF

SCALE: N.T.S.



EXCAVATION MITIGATION AT POOL

SCALE: N.T.S.

RECEIVED
SEP 22 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SUPPLEMENTAL SPECIFICATION
EXCAVATION MITIGATION

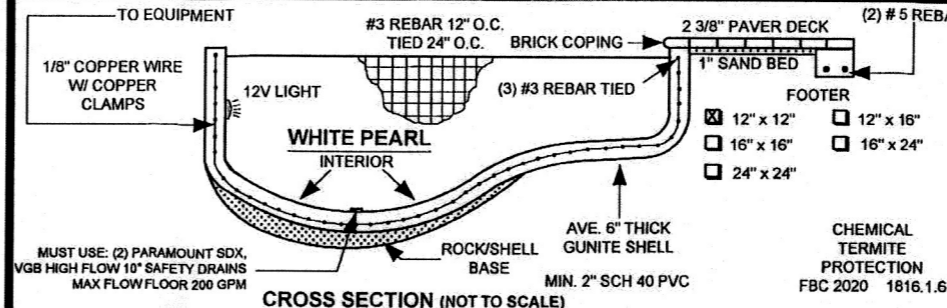
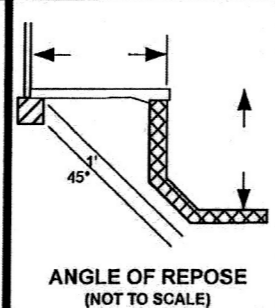
582 JUAN ANASCO
COAST TO COAST



CPC14573

COLOR SELECTIONS

Waterline: BLZ-1265
 Step/Bench: N/A
 Coping: SHELLSTONE 6X12 LENGTHWISE
 Paver Color: BY GC
 Paver Pattern: BY GC
 Interior Finish: WHITE PEARL
 Flocrete Color: N/A
 Misc: N/A



Name: TALON HOMES WAITE
 Address: 582 JUAN ANASCO DRIVE
 City: LONGBOAT KEY Zip: 34228
 Email: JENNI@TALONHOMEBUILDERS.COM
 Phone: _____ Alt: _____
 Subdivision: SLEEPY LAGOON PARK
 Lot #: 18 Block: _____ County: MANATEE

POOL SAFETY FEATURE: CHILD SAFETY FENCE BY C2C

201.71.485.BY GC.BY GC.BY GC

- ALL DIMENSIONS, LOCATION POINTS AND CONSTRUCTION SPECIFICATIONS HAVE BEEN EXPLAINED TO ME AND I APPROVE OF THEM.
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*9/18/23
 new drawing
 moved pool
 deleted raised area
 added sun shelf + bubbler*

BLDG PERMIT PLANS
 FILE COPY OF RECORD

RECEIVED
 SEP 22 2023
 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building

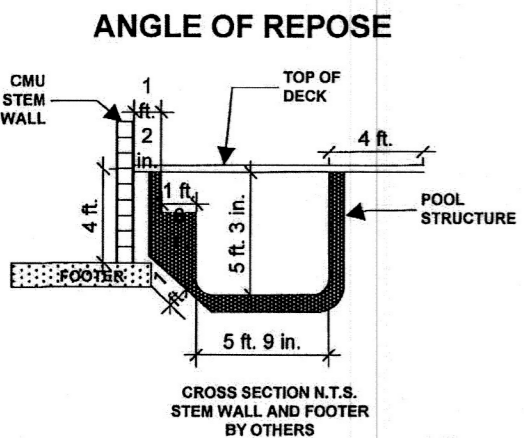
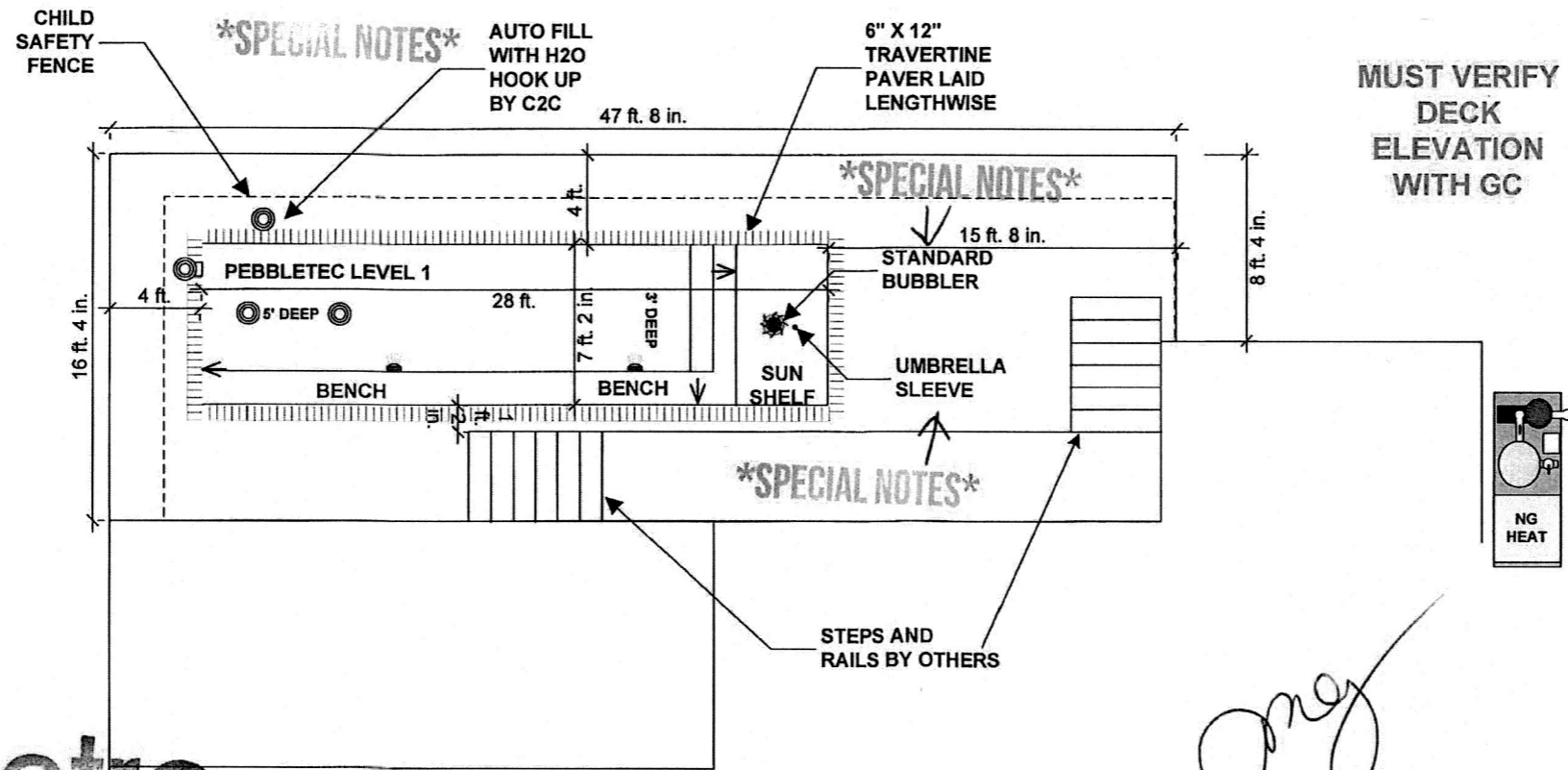
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 Filter: JANDY CS150 Chlorinator: JANDY TRUCLEAR 11K
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 **Gas line, gas tank, gas hook up NOT included
 Automatic Pool Cleaner: NO

NO SPA

NO CAGE BY C2C

Designed By: LARRY WOORMERT
 Date Designed: 4/21/23
 Notes: _____

All dimensions have a 5% tolerance
 Quartz and plaster are composed of natural materials which give them certain characteristics. A certain amount of fading or color variations is a natural occurrence and is NOT considered a defect. Therefore they are only warranted to waterproof the pool. Decks are not warranted against normal cracking, settling, checking, or discoloration. Pool based on normal installation and access. Extra Charges may be assessed if not available.
 LOCATION POINTS, DIMENSIONS AND CONSTRUCTION SPECIFICATIONS HAVE BEEN EXPLAINED TO ME AND I APPROVE OF THEM. EVERYTHING WE HAVE DISCUSSED IS SHOWN HERE AND THERE ARE NO VERBAL AGREEMENTS. I UNDERSTAND THAT THERE ARE NO CHANGES AFTER SIGNING OF PLAN AND CONTRACT.



Metro

THIS IS A CONCEPT DESIGN DRAWING and customer agrees that dimensions are approximate and may vary during construction. Coast to Coast Pools reserves the right to add, delete or change, substitute and/or alter specifications, features, dimensions, designs, equipment and prices due to code requirements, job site conditions, and conditions beyond its control. The final construction drawing showing any changes shall be approved by contractor prior to commencement of construction.
 This plan is property of Coast to Coast Pools. Pool shape, design, and layout are intellectual property of the design consultant. The plan may not be copied or reproduced in any way without written consent from Coast to Coast Pools.

Owner _____ Date _____

BOUNDARY, TOPOGRAPHIC, & TIDAL WATER SURVEY

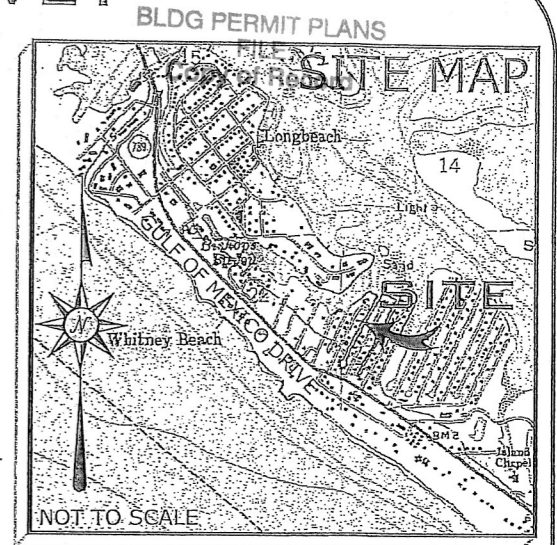
Section 23, Township 35 South, Range 16 East

582 Juan Anasco Dr, Longboat Key, Florida

DESCRIPTION: (Official Records Instrument # 202141137429)
 Lot 18, SLEEPY LAGOON PARK, according to plat thereof as recorded in Plat Book 7, Page 83, of the Public Records of Manatee County, Florida.

Legend

- Denotes Wood Utility Pole
- Denotes Overhead Utility Line
- Denotes Telephone Hand Hole
- Denotes Sewer Clean out
- Denotes Electrical Manhole
- Denotes Water Meter
- Denotes Water Backflow Preventer



Apparent Physical Use:

Residential

Easements:
 1. No easements are shown on the Plat of Record.
 2. No other easements were researched or furnished.

REPORT OF SURVEY

Accuracy:

Horizontal - The accuracy obtained by measurement and calculation of a closed geometric figure was found to be 1 foot in 25,441.11 feet.

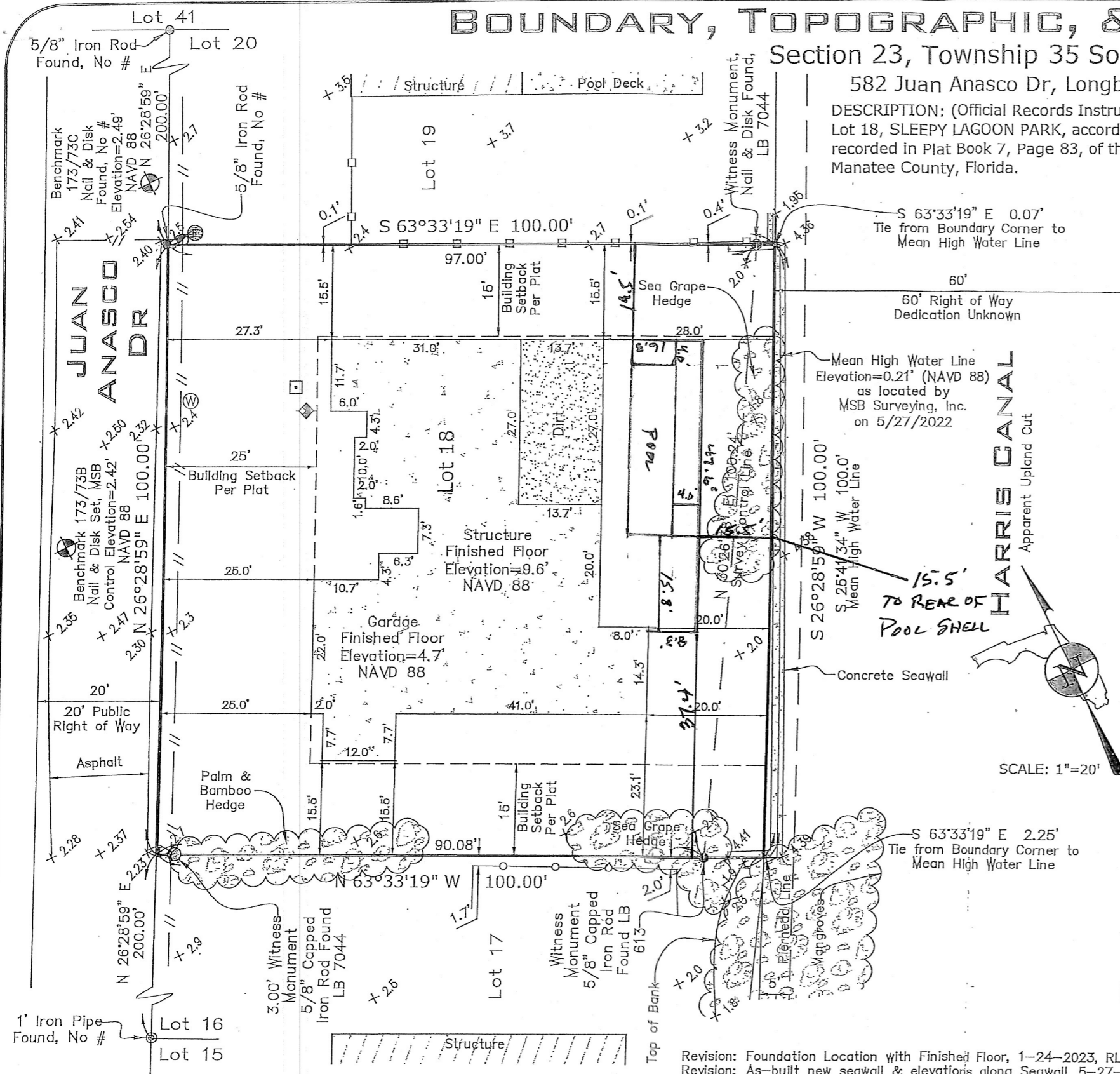
Vertical - The accuracy obtained by a closed level loop, based on National Geodetic Survey Benchmark # V 689, produced a vertical unadjusted error of 0.00'.

Data Sources:

1. Plat of Sleepy Lagoon Park recorded in Plat Book 7, Page 83, Public Records of Manatee County, Florida.
2. Warranty Deed recorded in Official Records Instrument # 202141137429, Public Records of Manatee County, Florida.
3. Warranty Deed recorded in Official Records Instrument # 201841091209, Public Records of Manatee County, Florida.
4. Warranty Deed recorded in Official Records Book 2577, Page 6815, Public Records of Manatee County, Florida.
5. Benchmark data was researched from the Land Boundary Information System internet web site (www.labis.org).
6. Tidal data was furnished by Florida Department of Environmental Protection, Tidal Water Survey Procedural Approval Sheet, Dated: 12/02/2021.
7. Aerial imagery furnished by Manatee County.
8. Manatee County Half Section Map, Sheet No. 5A/23.2 & 5A/23.3.
9. Manatee County Property Appraiser's web site - www.manateepao.com.
10. No other information was researched or furnished.

Notes:

1. This map represents a Boundary, Topographic, & Tidal Water Survey, for the purpose of Permitting.
2. Horizontal datum is based on the North American Datum (NAD) of 1983 (2011 adjustment), Florida State Plane, West Zone, and was derived from real-time kinematic GPS observations utilizing the Florida Permanent Reference Network (FPRN).
3. Elevations shown hereon are in feet and decimals referenced to NAVD 88 and are based on National Geodetic Survey Benchmark # V 689, published elevation is 3.10'.
4. There may exist other underground fixed interior improvements that are not visible and are not a part of this survey.
5. Description shown hereon was obtained from Official Records Instrument # 202141137429.
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7. This map has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.
8. Parcel shown hereon is situated in Flood Zone "AE", base flood elevation is 8 feet, per Flood Insurance Rate Map Number 12081C0291F, Map Revised August 10, 2021.
9. This plat represents a Tree Survey per Town of Longboat Key Municipal Code Title 9, Chapter 98, for Trees.
10. Tidal Data 1983-2001 Epoch (PIN 395):
 Mean High Water Elevation = 0.21 feet (NAVD 88) extended to site.
 Mean Low Water Elevation = -1.10 feet (NAVD 88).
11. Conventional radial surveying methods were used to establish the horizontal position of the mean high water line.
12. This Tidal Water Survey complies with Chapter 177, Part II, Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Line Survey File Number "8421".



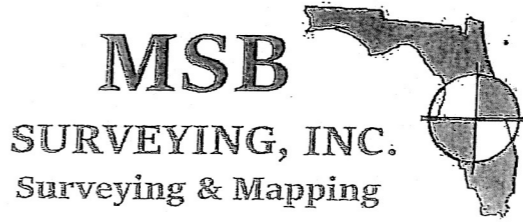
SCALE: 1"=20'

211170
 JOB NUMBER
CERTIFIED TO:
 Markus & Lois Waite
 Talon Home Builders, Inc.
 US Bank
 FIELD BOOK: 173 PAGE: 72,73,74

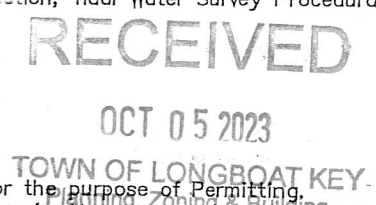
Revision: Foundation Location with Finished Floor, 1-24-2023, RLB
 Revision: As-built new sea wall & elevations along Sea wall, 5-27-2022, RLB

Digitally signed by Martin S Britt
 Date: 2023.01.27 10:22:11
 -05'00'

MARTIN S. BRITT,
 REGISTERED SURVEYOR & MAPPER, FLA. CERT. NO. LS 5538
 NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
 OR ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 DATE OF SURVEY 01/13/2022



31 SARASOTA CENTER BOULEVARD, UNIT C
 SARASOTA, FLORIDA 34240
 PHONE NO.: (941) 341-9935
 CERTIFICATE OF AUTHORIZATION NO. L.B. 7044
 DRAWN BY: AVL



BOUNDARY, TOPOGRAPHIC, & TIDAL WATER SURVEY

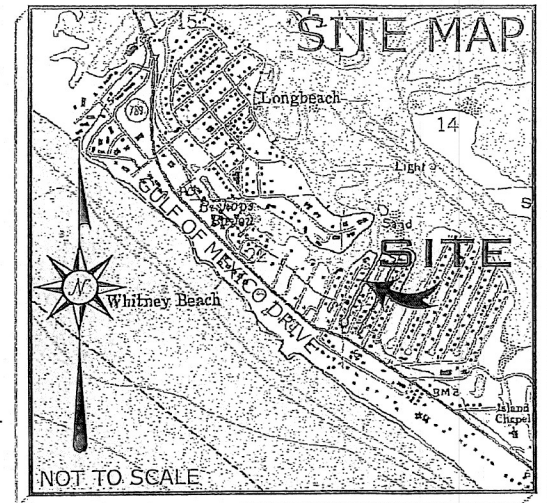
Section 23, Township 35 South, Range 16 East

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Legend

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REPORT OF SURVEY

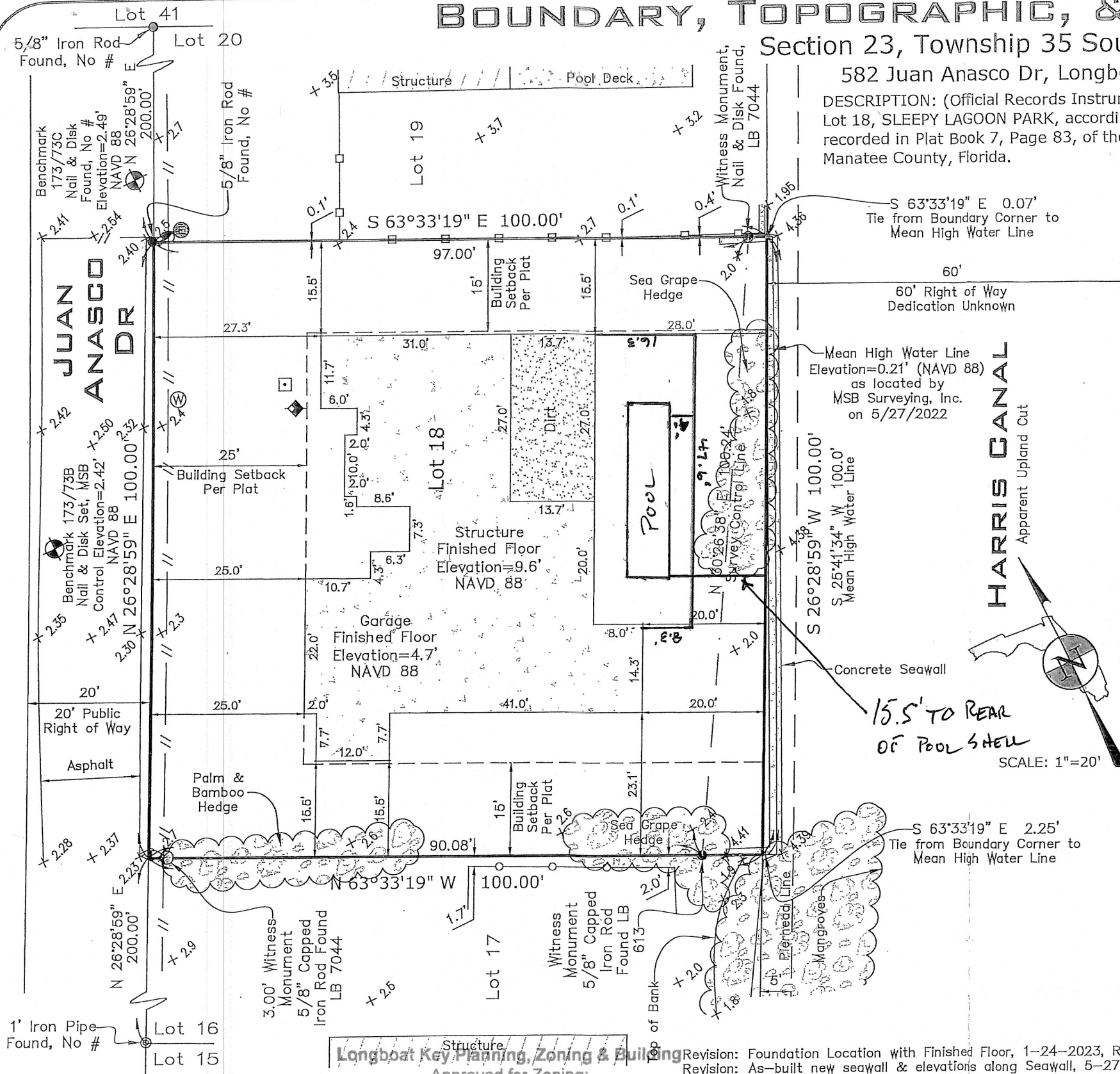
Accuracy:
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Longboat Key Planning, Zoning & Building
 Approved for Zoning: [Signature]
 Revision: Foundation Location with Finished Floor, 1-24-2023, RLB
 Revision: As-built new seawall & elevations along Seawall, 5-27-2022, RLB

211170
 JOB NUMBER
 CERTIFIED TO:
 Markus & Lois Waite
 Talon Home Builders, Inc.
 US Bank
 For Statement of
 Zoning Compliance Only
 Name: [Signature]
 2/28/23
 FIELD BOOK: 173 PAGE: 72,73,74

Digitally signed by Martin S Britt
 Date: 2023.01.27 10:22:11
 -05'00'
 MARTIN S. BRITT,
 REGISTERED SURVEYOR & MAPPER, FLA. CERT. NO. LS 5538
 NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
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 DATE OF SURVEY 01/13/2022

MSB
 SURVEYING, INC.
 Surveying & Mapping

TOWN OF LONGBOAT KEY
 Planning, Zoning & Building
 31 SARASOTA CENTER BOULEVARD, UNIT C
 SARASOTA, FLORIDA 34240
 PHONE NO.: (941) 341-9935
 CERTIFICATE OF AUTHORIZATION NO. L.B. 7044
 DRAWN BY: AVL

RECEIVED
 JUL 10 2023

BOUNDARY, TOPOGRAPHIC, & TIDAL WATER SURVEY

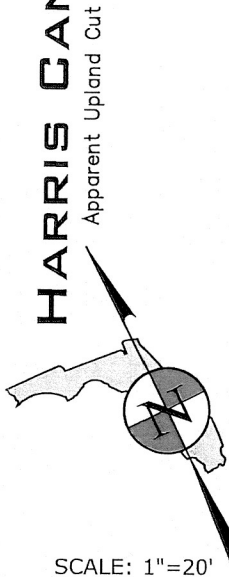
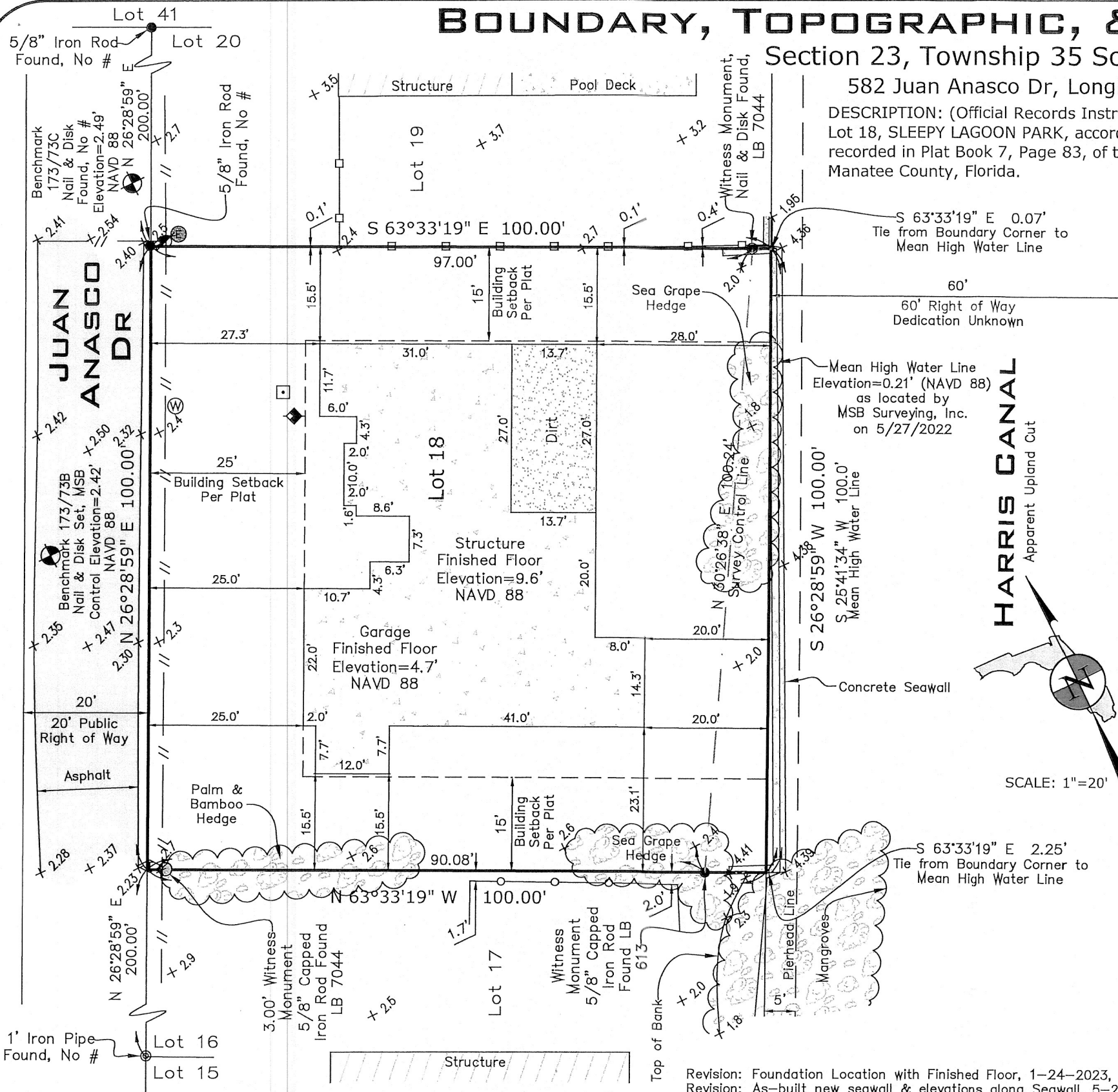
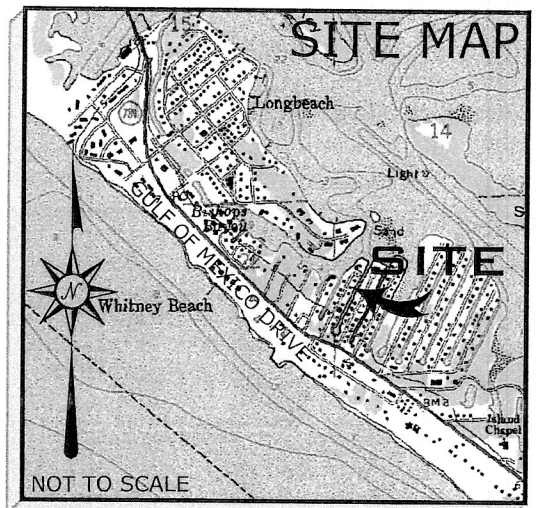
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 Revision: As-built new seawall & elevations along Seawall, 5-27-2022, RLB

Digitally signed by Martin S Britt
 Date: 2023.01.27 10:22:11
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DATE OF SURVEY 01/13/2022

MSB
SURVEYING, INC.
 Surveying & Mapping



31 SARASOTA CENTER BOULEVARD, UNIT C
 SARASOTA, FLORIDA 34240
 PHONE NO.: (941) 341-9935
 CERTIFICATE OF AUTHORIZATION NO. L.B. 7044

DRAWN BY: AVL

BLDG PERMIT PLANS
 FILE COPY OF RECORD

211170
 JOB NUMBER

CERTIFIED TO:
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