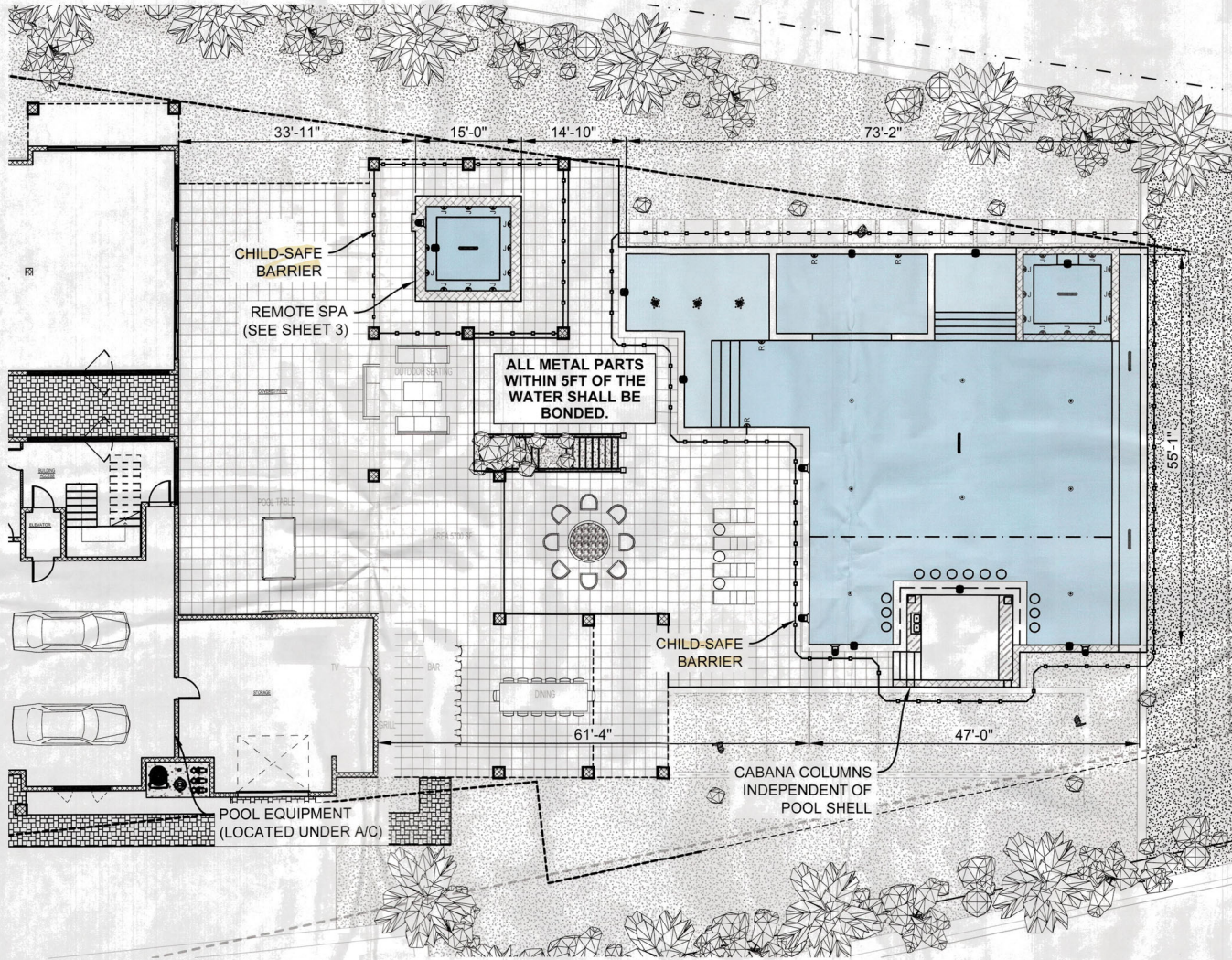


\\KIMES\RD-D\PROJECT FILES\POOL CONTRACTOR\OWNER BUILDER\612 JUAN ANASCO DR\OWNER BUILDER.bww.dwg



JOB INFORMATION
CLIENT: EASON BUILDERS GROUP
ADDRESS: 612 JUAN ANASCO DR
CITY: LONGBOAT KEY
COUNTY: MANATEE
SUB DIV: SLEEPY LAGOON PARK
LOT NO: 20, 21

POOL
DIMENSIONS: APPROX 76' X 62'
PERIMETER: 272 LF
AREA: 2976 SF
DEPTHS: 3' - 4.5'
GALLONS: SEE ANSI 15
SKIMMER: NSF-LISTED
MAIN DRAIN: (4) CMP CHANNEL DRAIN
RTN INLETS: 10 (FLOOR)
LIGHTS: (7) 12V LED OR EQ.
FEATURES: (3) LED BUBBLERS, IN-POOL STOOLS, SPILLOVER EDGE BASIN

SPA
DIMENSIONS: 12'6" X 11'2"
PERIMETER: 48' LF
AREA: 140 SF
DEPTH: 3.5'
GALLONS: TBD ± (SEE ANSI 15)
MAIN DRAIN: (1) 32" CMP CHANNEL
RTN INLETS: 0
THERAPY JETS: 12
LIGHTS: (1) 12V LED, FLOOR OR EQ.
RAISED HEIGHT: +18"
BEAM SIZE: 12"
FEATURES: SPILLOVER

EQUIPMENT
POOL PUMP: (2) TRISTAR VS 950
DRAWS FROM (4) CMP CHANNEL DRAIN
SPA PUMP: SHARED
DRAWS FROM (1) 32" CMP CHANNEL
FILTER: (2) HAYWARD C4030
CHLORINATOR: HAYWARD SALT CELL
POOL HEATER: N/A
SPA HEATER: (2) HAYWARD HEATPRO HP
SPA BLOWER: N/A
AUTOMATION: TBD

DECKING
DIMENSIONS: SEE PLAN
AREA: APPROX 5600 SF
ELEVATION: +0
MATERIAL: TRAVERTINE PAVERS
POOL COPING: TRAVERTINE
DECK DRAIN: TBD
EARTH DISPOSAL: TBD

SAFETY
HOUSE BARRIER: MESH BARRIER
*MEETS F.B.C. REQ 454.2.17
YARD BARRIER: MESH BARRIER
*MEETS F.B.C. REQ 454.2.17

SEE SUPPLEMENTAL SHTS FOR:
• SITE PLAN
• S1 & S2 FOR STANDARD CODE RELATED DETAILS
• SITE SPECIFIC INFORMATION SHEETS FOR ANS 7 & 15 COMPLIANCE

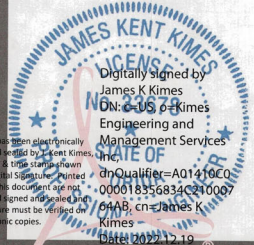
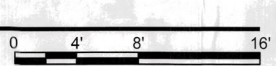
THE CHILD SAFETY BARRIER SHALL BE INSTALLED A MIN. OF 20" FROM POOL EDGE & 36" AWAY FROM STRUCTURES THAT ALLOW THE CHILD TO CLIMB BEYOND THE BARRIER

WHEN SUNSHELF IS TOP STEP, MAX WATER DEPTH BASED ON MAX 12" FROM DECK TO SUNSHELF FLOOR.

CHEMICAL TERMITE PROTECTION PER 7TH ED (2020) FBC BUILDING SECTION 1816.1.6

THIS PLAN COMPLIES WITH 7TH ED. (2020) FBC BUILDING SECTION 454.2

1 **POOL PLAN**
SCALE: 1/16"=1'-0"



1925 Worth Ct.
Bradenton, FL 34211
Office: 941-748-0311
C.A. 27189
Date: 2022.12.19
10:42:02 -05'00"
Adobe Acrobat version: 2022.00220282

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FILED FOR RECORD

WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
POOL PLAN
EASON BUILDERS GROUP

RECEIVED
DEC 21 2022
SHEET 1 OF 8
BLDG PERMIT PLANS FILE Copy of Record

DEC 28 2022
APPROVED
Reviewer: P. G. M. M. M.

Records

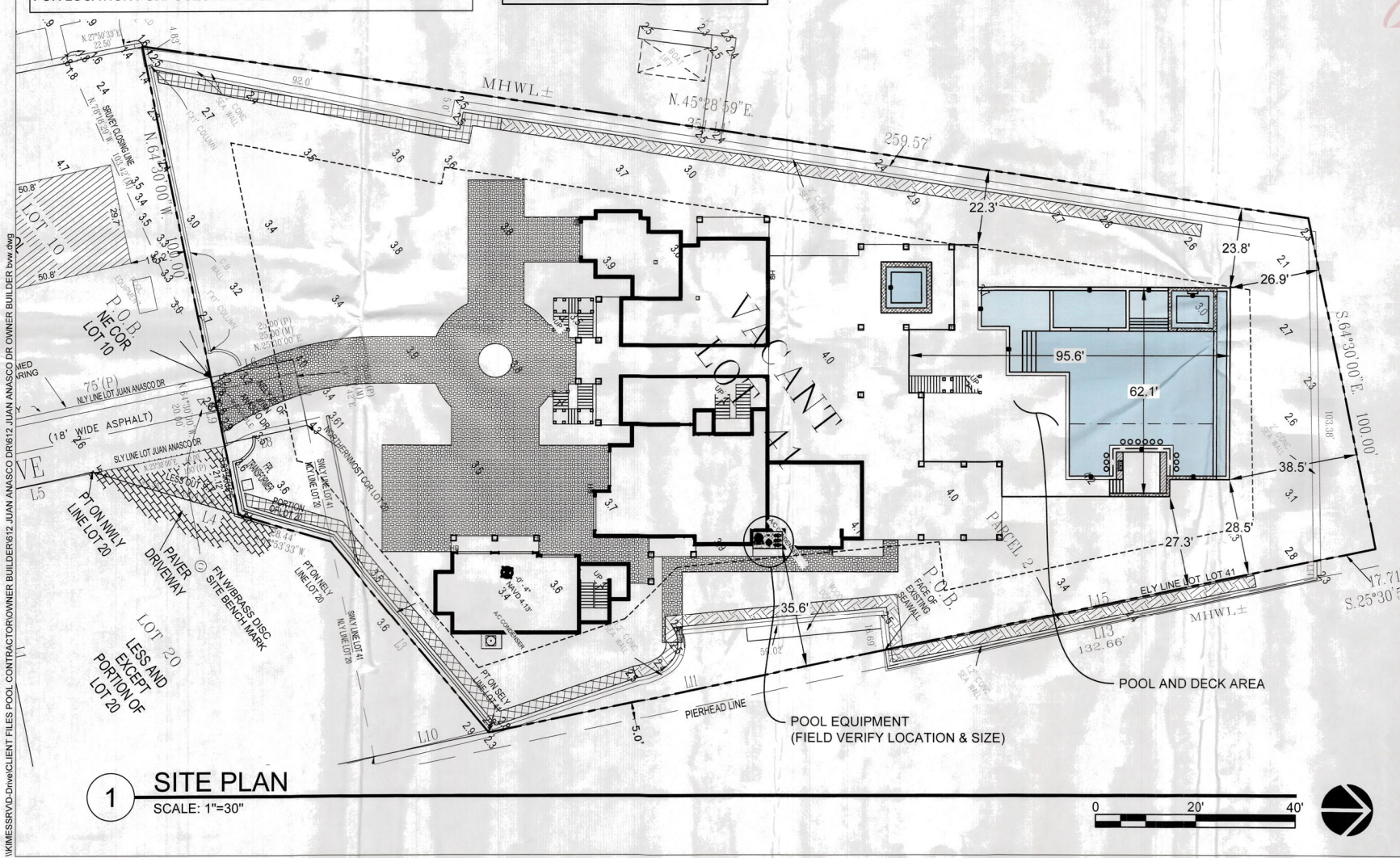
SITE INFORMATION FROM SURVEY

PROVIDED BY: **HALASA DESIGN**
 DATED: **N/A**
 PROJECT NO. **612 JUAN ANASCO DR RENDERING**

NOTE: ALL LOCATIONS, ELEVATIONS, UTILITIES, OR OTHER WISE MARKED DATA POINTS SHOULD REFERENCE AN ORIGINAL SIGNED & SEALED SURVEY FOR CLARIFICATIONS AND ACCURACY. KIMES ENGINEERING AND MANAGEMENT SERVICES, INC. DOES NOT TAKE ANY RESPONSIBILITY AS FOR THE ACCURACY OF EXISTING INFORMATION AND IS USING THE REFERENCED SURVEY FOR LOCATION PURPOSES AND DRAINAGE OF NEW WORK ONLY.

LOT CALCULATION

TOTAL LOT SIZE	49,884	SF
EXIST. HOUSE	5,519	SF
EXIST. LANAI & ENT	7,014	SF
EXIST. CONCRETE	2,373	SF
EXIST. COVERAGE	29.9	%
PROPOSED	5,395	SF
POOL & DECK		
PROPOSED COVERAGE	40.7	%



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 Date: 2022.12.19 10:42:32 -05'00'

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 12-Dec-22 18-Dec-22

WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
SITE PLAN

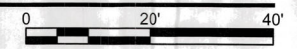
EASON BUILDERS GROUP

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 FILE (copy of record)

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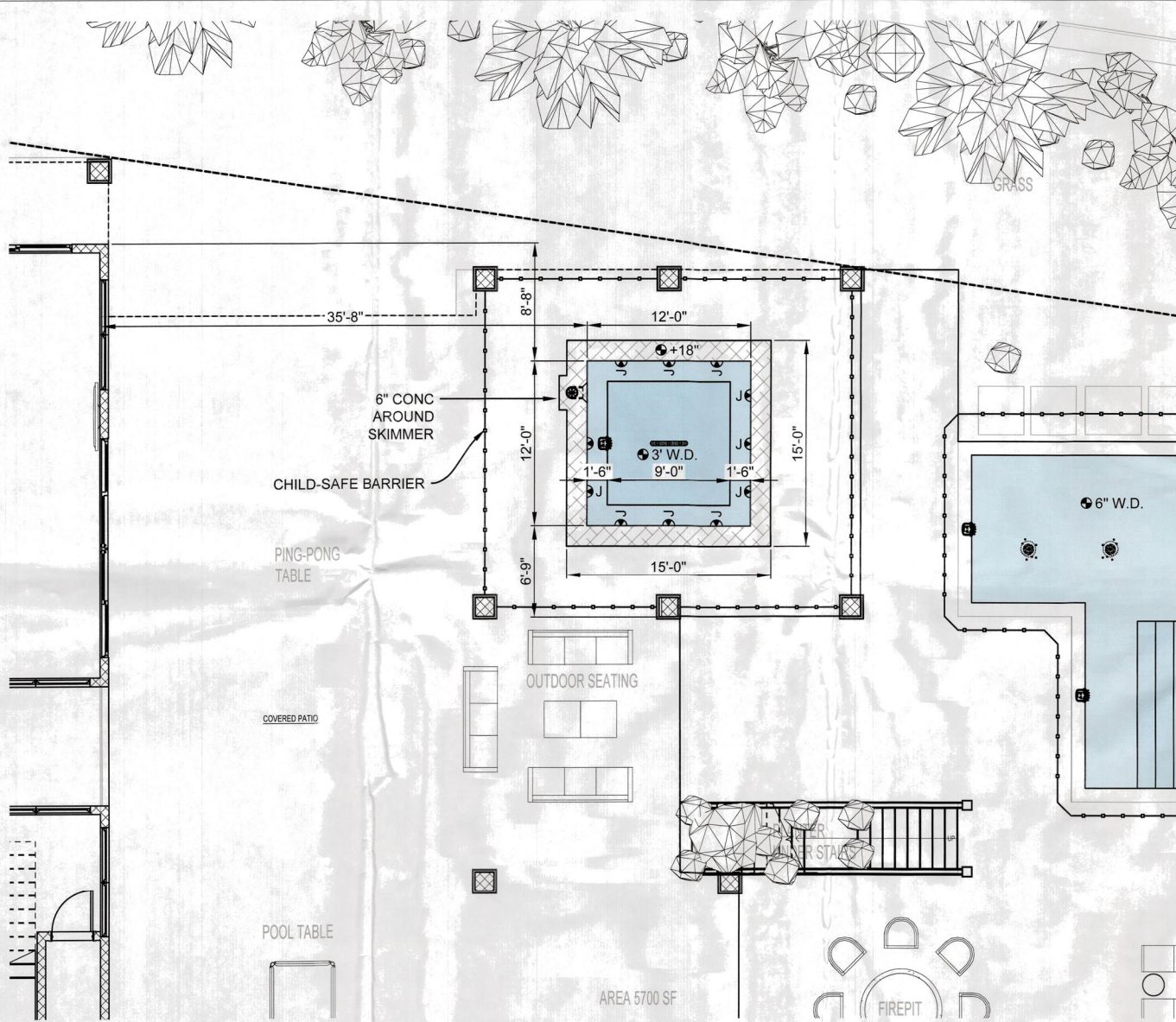
SHEET
2
 SHEET 2 OF 8

1 SITE PLAN
 SCALE: 1"=30"



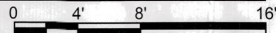
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\\MISSISSYDD-Drive\Clients\FILES POOL CONTRACTOR\OWNER BUILDER\612 JUAN ANASCO DR\612 JUAN ANASCO DR.OWNER BUILDER.bww.dwg



1 REMOTE SPA PLAN

SCALE: 1/8" = 1'-0"



**THIS PLAN COMPLIES WITH
7TH ED. (2020) FBC BUILDING
SECTION 454.2**

**CHILD SAFETY ALARMS MEETING
UL2017 INSTALLED & ACTIVE ON
ALL DOORS & WINDOWS AT TIME
OF FINAL INSPECTION PURSUANT
TO 454.2.17.1.9 FBC**

**WHEN SUNSHELF IS TOP STEP,
MAX WATER DEPTH BASED ON
MAX 12" FROM DECK TO
SUNSHELF FLOOR.**

**CHILD SAFE PERMANENT YARD
FENCING MEETING SECTION
454.2.17.1.1 F.B.C. AND
CHILD SAFETY ALARMS MEETING
UL 2017 SHALL BE ACTIVE ON ALL
DOORS & WINDOWS ON THE POOL
SIDE OF CAGE OR FENCE**

**ALL METAL PARTS WITHIN 5FT OF
THE WATER SHALL BE BONDED.**

**CHEMICAL TERMITE PROTECTION
PER 7TH ED (2020) FBC BUILDING
SECTION 1816.1.6**

REMOTE SPA

- DIMENSIONS:** 12' X 12'
- PERIMETER:** 48' LF
- AREA:** 144 SF
- DEPTH:** 3.5'
- GALLONS:** TBD ± (SEE ANSI 15)
- MAIN DRAIN:** (1) 32" CMP CHANNEL
- RTN INLETS:** 0
- THERAPY JETS:** 12
- LIGHTS:** (1) 12V LED, FLOOR OR EQ.
- RAISED HEIGHT:** +18"
- BEAM SIZE:** 18"
- FEATURES:** N/A

EQUIPMENT

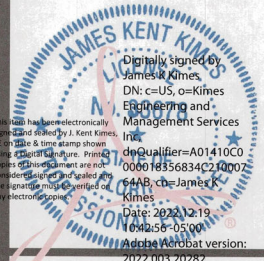
- POOL PUMP:** N/A
DRAWS FROM N/A
- SPA PUMP:** TRISTAR VS 950
DRAWS FROM (1) 32" CMP CHANNEL
- FILTER:** (1) HAYWARD C200S
- CHLORINATOR:** HAYWARD SALT CELL
- POOL HEATER:** N/A
- SPA HEATER:** HAYWARD UNIVERSAL H GAS
- SPA BLOWER:** N/A
- AUTOMATION:** TBD

SAFETY

- HOUSE BARRIER:** MESH BARRIER
**MEETS F.B.C. REQ 454.2.17*
- YARD BARRIER:** MESH BARRIER
**MEETS F.B.C. REQ 454.2.17*

SEE SUPPLEMENTAL SHTS FOR:

- SITE PLAN
- S1 & S2 FOR STANDARD CODE RELATED DETAILS
- SITE SPECIFIC INFORMATION SHEETS FOR ANSI 7 & 15 COMPLIANCE



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			JJK	12-Dec-22	18-Dec-22

**WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
SEPARATE SPA
SPA PLAN**

EASON BUILDERS GROUP

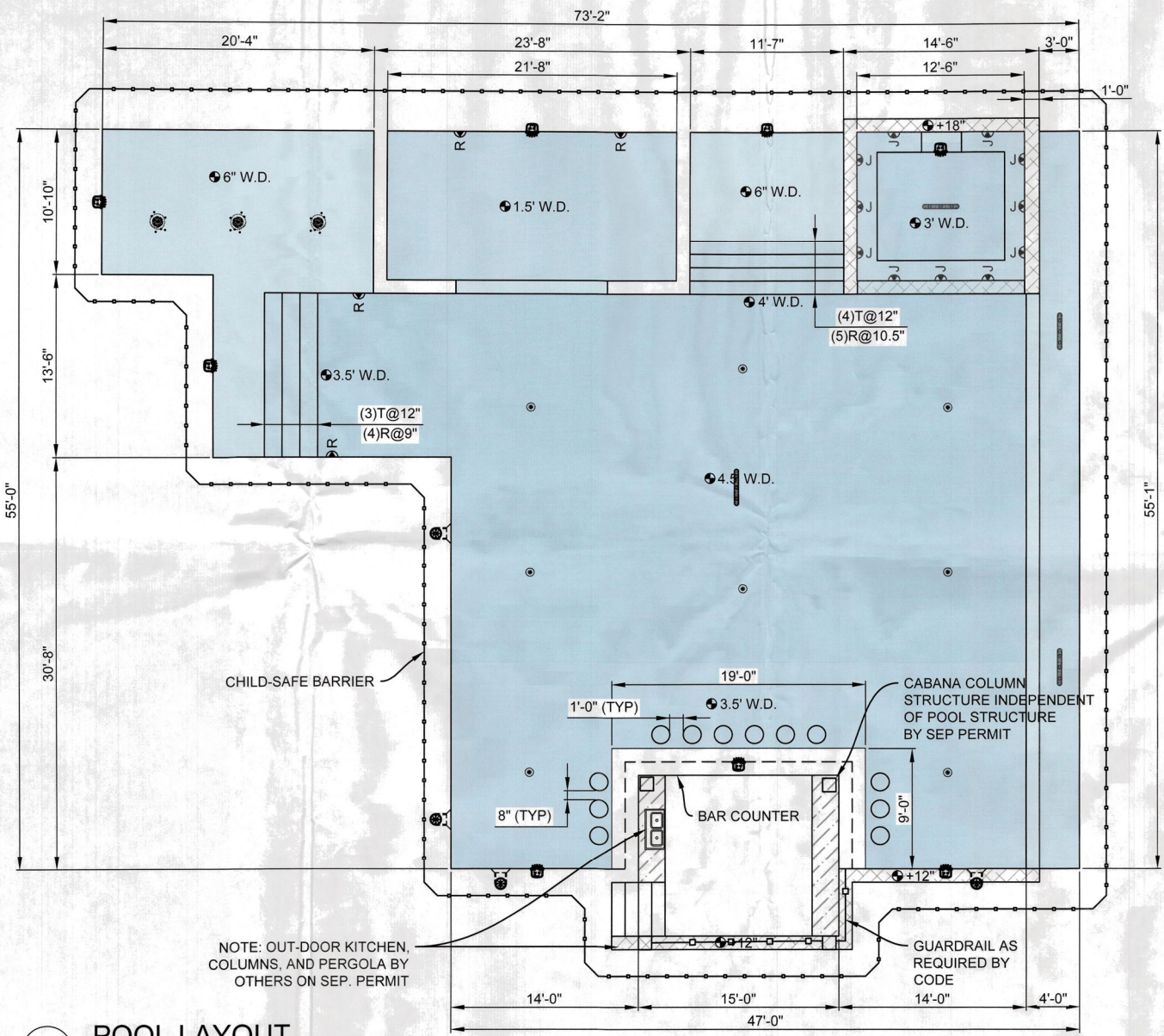
ORIG DWG: 17x11" (ANSI B)

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TOWN OF LONGBOAT, FL

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SHEET
3
SHEET 3 OF 8

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1 POOL LAYOUT
SCALE: 1/8" = 1'-0"

LEGEND	
	NSF-50 LISTED SKIMMER
	UNBLOCKABLE CHANNEL DRAIN
	SDX2 DRAIN
	VACUUM PORT
	WALL INLET
	THERAPY JET
	FLOOR INLET
	POOL LIGHT
	LED BUBBLER
	UMBRELLA ANCHOR

CODE REFERENCES:

- GUARDS ARE REQUIRED WHERE WALKING SURFACE IS HIGHER THAN 30" ABOVE SURROUNDING GRADE (FOLLOWING ALL PARTS OF SECT. 1015 7th Ed. 2020 FBC BUILDING)
- HANDRAILS & GUARDS ARE REQUIRED TO RESIST A CONCENTRATED LOAD OF 200 LBS (SECT. 1607.8.1.1 7th Ed. 2020 FBC BUILDING, IN ACCORDANCE WITH SECT. 4.5.1 OF ASCE 7)
- INTERMEDIATE RAILS, OR OTHER INFILL METHODS, OTHER THAN HANDRAILS OR GUARDS ARE REQUIRED TO RESIST A CONCENTRATED LOAD OF 50 LBS (SECT. 1607.8.1.2 7th Ed. 2020 FBC BUILDING, IN ACCORDANCE WITH SECT. 4.5.1 OF ASCE 7)

GUARD RAIL:

- IMGR PRODUCTS MAY VARY
- TYP. TOP RAIL, MIN. 42" ABV. DECK
- 3X3/16" OR 2X4/14" POSTS SPACED 48" O.C. MAX.
- TYP. PICKET SPACING @ 4" O.C. W/NO GAPS GREATER THAN 4" ALLOWED AT ANY POINT BETWEEN BOTTOM RAIL TO GROUND, BETWEEN PICKETS, & PICKETS TO POSTS.
- POSTS TO BE CENTERED OVER RETAINING WALL
- BASE PLATES MUST BE WELDED ALL AROUND TO POSTS
- BASE PLATE MUST BE ANCHORED INTO RETAINING WALL USING MIN (4) 3/8"x5" CONCRETE SCREW DRILLED THRU PAVERS W/ MIN. 2" EMBED INTO WALL BELOW.

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WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
POOL LAYOUT

EASON BUILDERS BROUP

BLDG. PERMIT PLANS
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ORIG. DWG. 17"x11" (ANSI B)

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PLANNING DEPARTMENT

SHEET
4
SHEET 4 OF 8

REV. DATE DESCRIPTION CKD BY: JKK
DWG BY: KDS/BWW
PROJ. NO.: 12-DEC-22
PRINTED: 18-DEC-22

POOL SHELL - SHOTCRETE/GUNITITE:

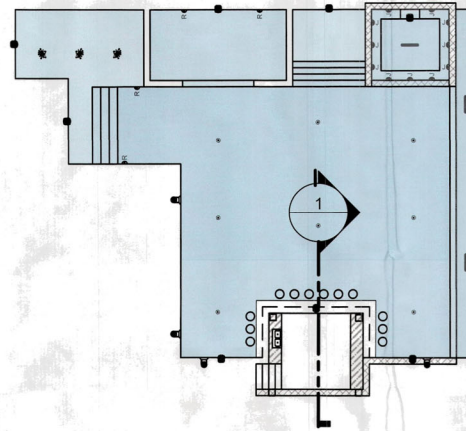
1. USE CONCRETE MINIMUM 4,000 PSI @ 28 DAYS
2. REINFORCING STEEL: MINIMUM ASTM A615 GR 60
3. LAP #5 BARS MINIMUM 25", #4 BARS MIN 20", #3 BARS MIN 15"
4. MIN 3" CLEARANCE TO SOIL FOR STEEL
5. PLACE FOOTING ON FILL COMPACTED TO 95% MODIFIED PROCTOR OR ON UNDISTURBED EARTH MEETING 2,000 PSF
6. ANY STEEL WITHIN 5' OF POOL WATER MUST BE BONDED TO EQUIPMENT

CODE REFERENCES:

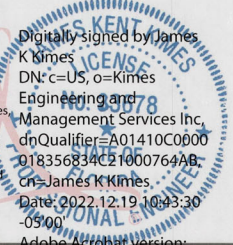
- GUARDS ARE REQUIRED WHERE WALKING SURFACE IS HIGHER THAN 30" ABOVE SURROUNDING GRADE (FOLLOWING ALL PARTS OF SECT. 1015 7th Ed. 2020 FBC BUILDING)
- HANDRAILS & GUARDS ARE REQUIRED TO RESIST A CONCENTRATED LOAD OF 200 LBS (SECT. 1607.8.1.1 7th Ed. 2020 FBC BUILDING, IN ACCORDANCE WITH SECT. 4.5.1. OF ASCE 7)
- INTERMEDIATE RAILS, OR OTHER INFILL METHODS, OTHER THAN HANDRAILS OR GUARDS ARE REQUIRED TO RESIST A CONCENTRATED LOAD OF 50 LBS (SECT. 1607.8.1.2 7th Ed. 2020 FBC BUILDING, IN ACCORDANCE WITH SECT. 4.5.1. OF ASCE 7)

GUARD RAIL:

- (MFR. PRODUCTS MAY VARY)
- TYP. TOP RAIL: MIN. 42" ABV. DECK
 - 3x3x1/8" OR 2x2x1/4" POSTS SPACED 48" O.C. MAX.
 - TYP. PICKET SPACING @ 4" O.C. W/ NO GAPS GREATER THAN 4" ALLOWED AT ANY POINT BETWEEN BOTTOM RAIL TO GROUND, BETWEEN PICKETS, & PICKETS TO POSTS.
 - POSTS TO BE CENTERED OVER RETAINING WALL
 - BASE PLATES MUST BE WELDED ALL AROUND TO POSTS
 - BASE PLATE MUST BE ANCHORED INTO RETAINING WALL USING MIN (4) 3/8"x5" CONCRETE SCREW DRILLED THRU PAVERS W/ MIN. 2" EMBED INTO WALL BELOW.



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018356834C21000764AB
cn=James K. Kimes
Date: 2022.12.19 10:33:30 -0500
Adobe Acrobat Version: 3.0.3.2082

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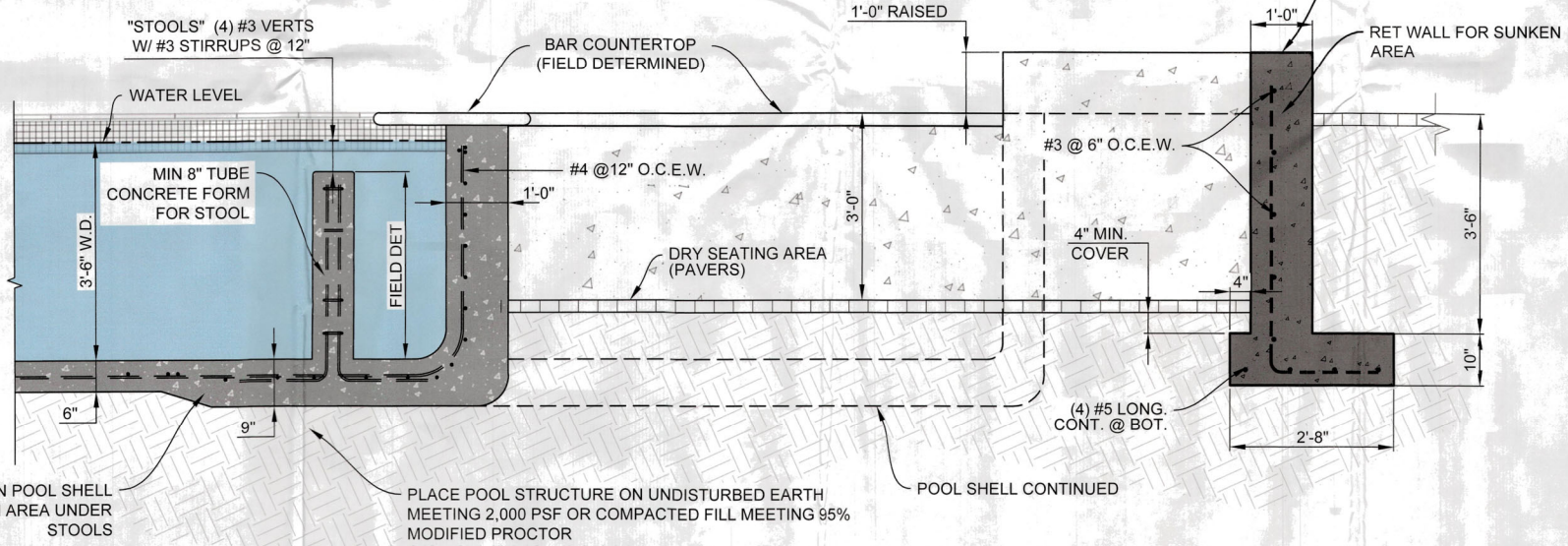


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CKD BY: JKK
DRAWING: PRINTED
12-Dec-22 18-Dec-22

WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
POOL SECTION DETAIL
EASON BUILDERS GROUP

BLDG PERMIT PLANS
FILE COPY OF RECORD
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SHEET 5
SHEET 5 OF 8

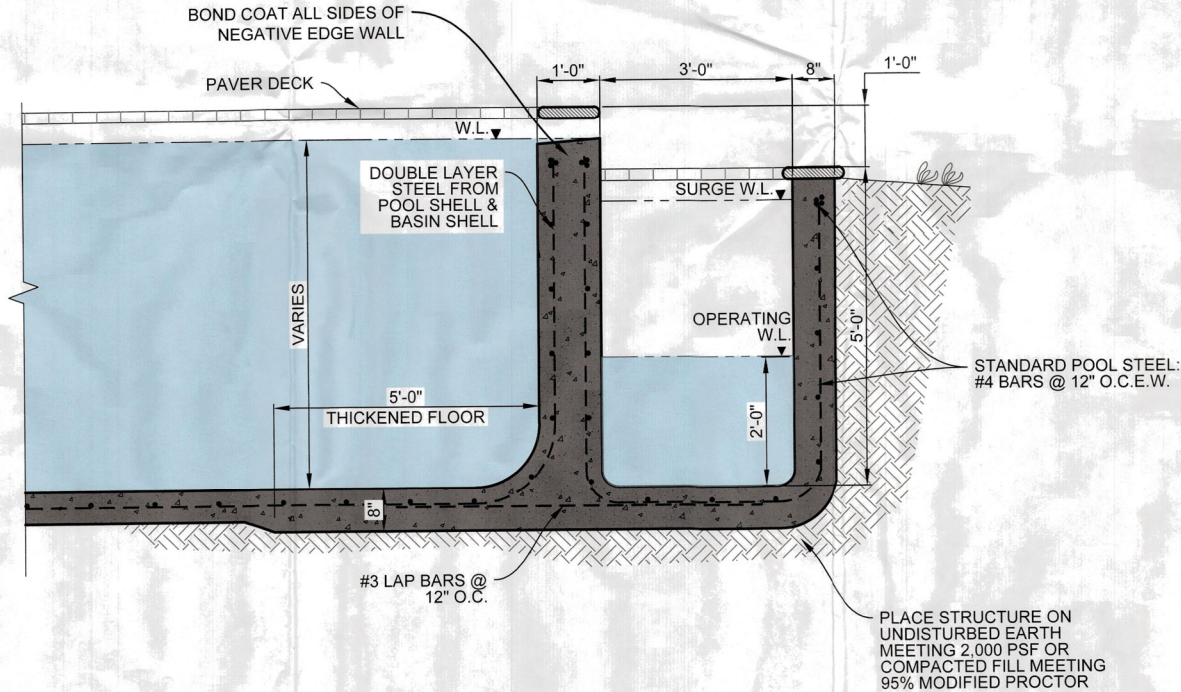


1 POOL STOOL AND KITCHEN SECTION
SCALE: 1/2" = 1'-0"

K:\MESSY\DWG\CLIENT FILES\POOL CONTRACTOR\OWNER BUILDER\612 JUAN ANASCO DR\OWNER BUILDER BOW.dwg

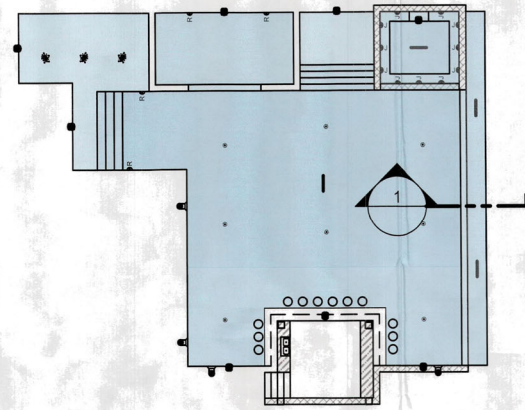
POOL SHELL - SHOTCRETE/GUNITITE:

1. USE CONCRETE MINIMUM 4,000 PSI @ 28 DAYS
2. REINFORCING STEEL: MINIMUM ASTM A615 GR 60
3. LAP #5 BARS MINIMUM 25", #4 BARS MIN 20", #3 BARS MIN 15"
4. MIN 3" CLEARANCE TO SOIL FOR STEEL
5. PLACE FOOTING ON FILL COMPACTED TO 95% MODIFIED PROCTOR OR ON UNDISTURBED EARTH MEETING 2,000 PSF
6. ANY STEEL WITHIN 5' OF POOL WATER MUST BE BONDED TO EQUIPMENT



1 POOL INFINITE EDGE SECTION DETAIL

SCALE: 1/2" = 1'-0"



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DRAWING: PRINTED: 18-Dec-22

**WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
POOL SECTION DETAIL**

EASON BUILDERS GROUP

BLDG. PERMIT PLANS
FILE COPY OF RECORD

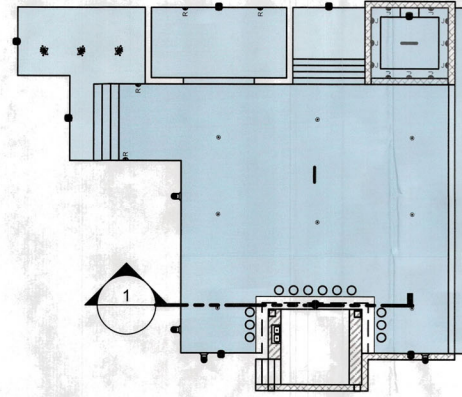
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OFFICE OF LONGBOAT KEY

SHEET
6
SHEET 6 OF 8

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POOL SHELL - SHOTCRETE/GUNITITE:

1. USE CONCRETE MINIMUM 4,000 PSI @ 28 DAYS
2. REINFORCING STEEL: MINIMUM ASTM A615 GR 60
3. LAP #5 BARS MINIMUM 25", #4 BARS MIN 20", #3 BARS MIN 15"
4. MIN 3" CLEARANCE TO SOIL FOR STEEL
5. PLACE FOOTING ON FILL COMPACTED TO 95% MODIFIED PROCTOR OR ON UNDISTURBED EARTH MEETING 2,000 PSF
6. ANY STEEL WITHIN 5' OF POOL WATER MUST BE BONDED TO EQUIPMENT



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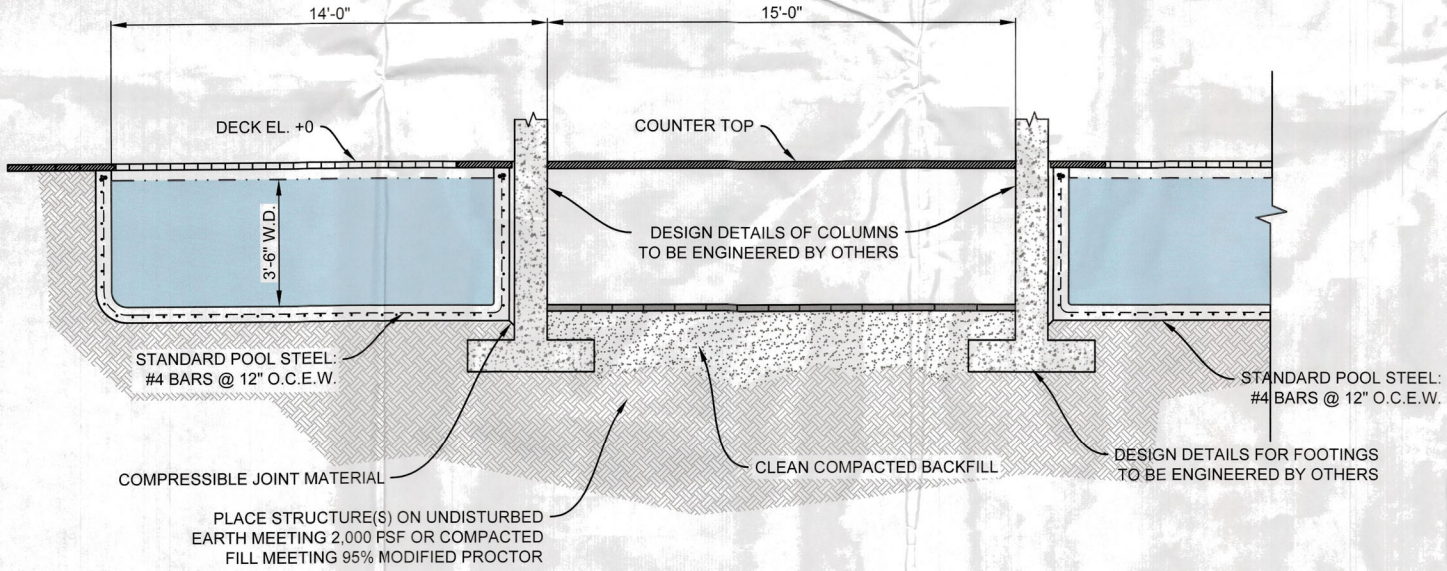
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 Date: 2022.12.19 10:44:07 -0500

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		CKD BY: JKK
		12-Dec-22
		18-Dec-22
		DWG BY: KDS



1 POOL SECTION DETAIL
 SCALE: 1/4" = 1'-0"

**WILSON RESIDENCE
 612 JUAN ANASCO DR
 LONGBOAT KEY
 RESIDENTIAL POOL
 POOL SECTION DETAIL**

EASON BUILDERS GROUP

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 FILE COPY OF RECORD

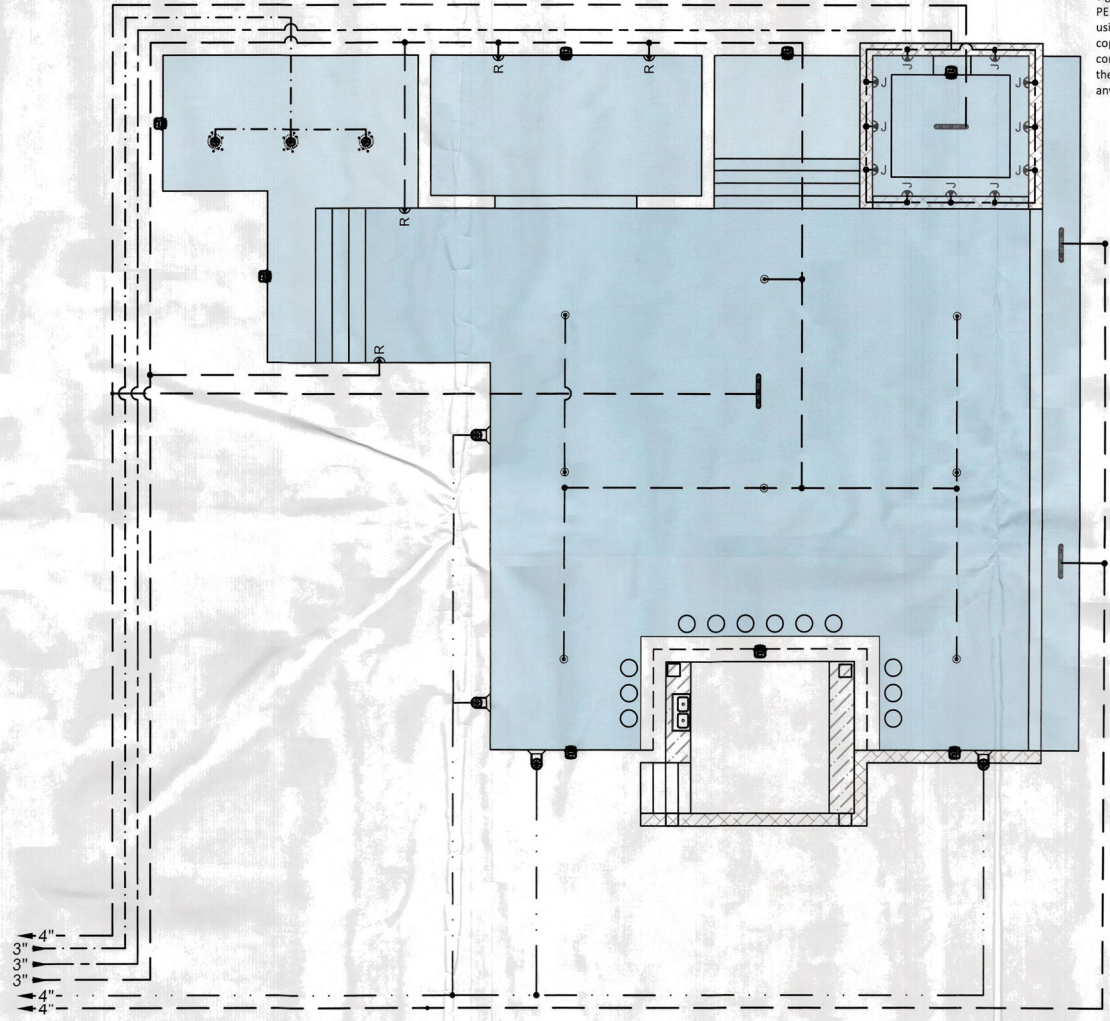
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7
 SHEET 7 OF 8

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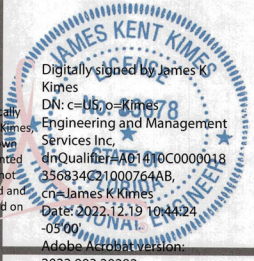
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PLUMBING LEGEND	
	MAIN DRAIN
	SKIMMER
	RETURN
	THERAPY JET
	WATER FEATURE

1 PLUMBING LAYOUT
SCALE: 1"=10"



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		CKD BY: JKK
		DRAWING: 18-Dec-22
		PRINTED: 18-Dec-22

WILSON RESIDENCE
612 JUAN ANASCO DR
LONGBOAT KEY
RESIDENTIAL POOL
PLUMBING LAYOUT
EASON BUILDERS GROUP

ORIG DWG: 17"x11" (ANSI B)
RECEIVED
DEC 17 2022
SHEET 8 OF 8

BLDG. PERMIT PLANS
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TRANSMITTAL FORM



Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
941-316-1966
941-316-1970 Fax

DATE: 3/1/23 ATTN: Tate / Neal

FROM: Kimberly

Company: Eason Builders Group

Phone: (941) 554-8316 Email: Kimberly@ebgflorida.com

SITE LOCATION/ADDRESS: 612 Juan Anasco Drive

PERMIT NUMBER: PSPS22-0076

THE FOLLOWING IS SUBMITTED FOR CONSIDERATION BY PZB STAFF

RESPONSE TO COMMENTS

REVISIONS / RE-SUBMITTALS

OTHER: _____



APPLICABLE CODES / TRADES (Check All That Apply):

BUILDING / FEMA
 ZONING

ELECTRICAL
 GAS VENTING

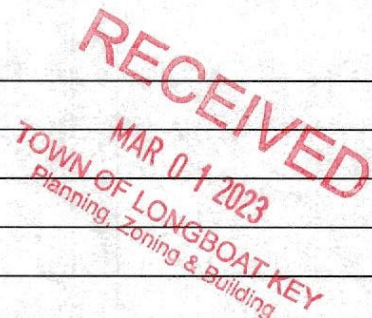
HVAC
 GAS PIPING

PLUMBING
 FIRE MARSHAL

ITEMS INCLUDED IN THIS TRANSMITTAL:

3 sets of revised SnS plans

3 copies of engineer letter detailing revisions





16890 Toledo Blade Blvd
Port Charlotte, Florida 33954
(941) 365-1900
Fax (941) 365-4041

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February 28, 2023

To: Longboat Key Building Department

RE: 612 Juan Anasco Drive, Longboat Key 34228
Pool Permit # PSPS22-0076

Per owner and designer request, the pool shape has been reduced to allow space for pickleball court in the rear. Changes from previous plan include the following:

- Delete Sunken Bar
- Delete Tanning Ledge
- Delete second hot tub
- Move Baby Pool
- Change depth of baby pool to 12"
- Change Deep area to 4'
- Add Bench on Each End
- Width of main pool is 24'
- Length of main pool is 56'
- Pickleball ball court is 30' wide by 60' long (includes 10' padding on both ends and 5' padding on both sides).

Thanks for your help.

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MAR 01 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

PERMIT NO: PSPS 22-0076
APPROVED
REVISED PLAN
BY: Nel Maggari DATE: 3-3-2023

DRAWING LIST	
Sheet Number	Sheet Name
POOL	
A-00	TITLE SHEET
A-01	OVERALL PLANS/SITE PLAN
A-02	DRAINAGE PLAN
A-03	PROPOSED POOL PLAN
A-04	LIGHTING PLAN AND POOL EQUIPMENT
A-05	GENERAL POOL DETAILS

612 Juan Anasco Dr.

POOL PERMIT



HALASA DESIGN
407 Ocean Boulevard, FL 34228
Tel: 201 270 8188

PROJECT:
612 JUAN ANASCO DR,
LONGBOAT KEY, FL 34228

OWNER:
NAME:

CONTRACTOR:



EASON BUILDERS GROUP
www.ebgflorida.com

ENGINEERS:

APEX CONSULTING ENGINEERS FL



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SEAL



Digitally signed by Derek W Newcomer
DN: c=US, o=APEX CONSULTING ENGINEERS,
dnQualifier=A01410D000001858 R36764000179ABD, cn=Derek W Newcomer
Date: 2023.02.28 12:10:22 -05'00'

ISSUE	DESCRIPTION	DATE
1	PERMIT SET	02/01/23

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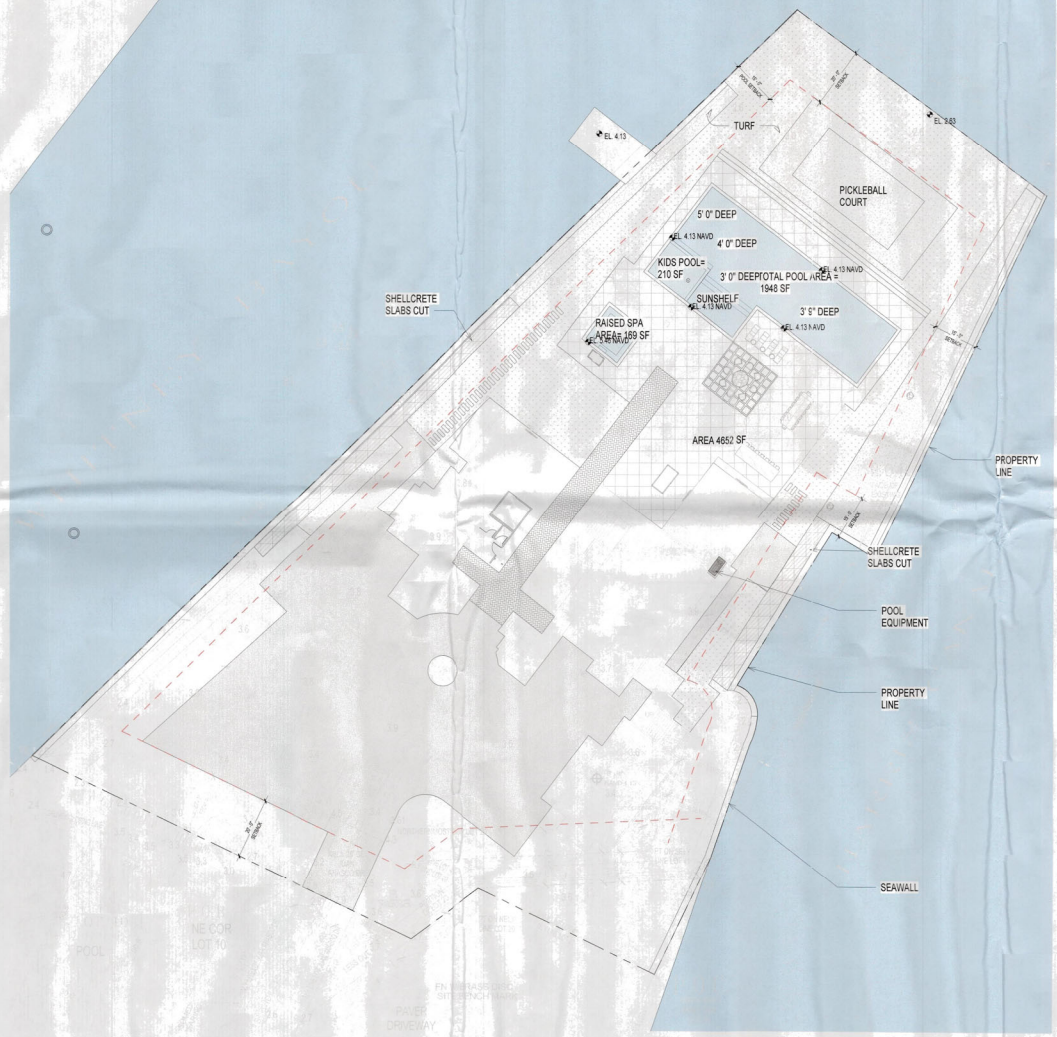
PERMIT NO: PPS 22-0016
APPROVED
REVISED PLAN
BY: [Signature] DATE: 3-1-2023

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TOWN OF LONGBOAT KEY
Permitting Department

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2 BUILDING COVERAGE DIAGRAM
SCALE: 1" = 40'-0"



1 SITE POOL PLAN
SCALE: 1" = 20'-0"

LOT COVERAGE		
AREA	NAME	LOT COVERAGE
93 SF	ELEVATED MECHANICAL EQUIPMENT PAD	0.19%
10,364 SF	DRIVEWAY PAVERS	0%
11,356.66 SF	RESIDENTIAL STRUCTURE	22.77%
2,379 SF	POOL AREA	4.77%
123 SF	PAVERS 1	2.78%
3054 SF	PAVERS 2	2.78%
1,800 SF	PICKLEBALL COURT	3.61%
TOTAL LOT AREA = 49,871 SF		
TOTAL IMPERVIOUS AREA = 93+11,356.66+2,379+123+3054+1800 = 18,805.66 = 37.7% < 50%		
MAX ALLOWABLE IMPERVIOUS AREA = 50%		

PLAN NOTES

DIMENSIONS:
DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS & ALIGNMENTS AS NOTED ON PLANS. ALL DIMENSIONS SHOWN TO FACE OF GYP. REFER TO ENLARGED PLANS & TYPICAL DETAILS FOR FINISH INFORMATION

POOL & FENCE PLAN NOTES:

- ALL EXTERIOR DOORS LEADING TO POOL MUST HAVE SAFETY ALARMS
- ALL METAL WITHIN 5' OF POOL MUST BE BONDED
- ALL FENCING AROUND POOL MUST BE A MINIMUM OF 6' HIGH
- ALL FENCING INSIDE FRONT YARD SETBACKS NOT TO EXCEED 4'
- ALL GATES LEADING TO POOL TO BE SELF-CLOSING AND SELF-LATCHING
- ALL GATES LEADING TO POOL ARE A MINIMUM: 6H X 4W
- ALL GATES LEADING TO POOL TO BE OUTSWING
- ALL GATES TO HAVE SAFETY LATCH AT MINIMUM 54" ABOVE GRADE
- SOUND MITIGATION WALL SHALL BE 18" HIGHER THAN THE EQUIPMENT AND AT LEAST AS WIDE WITH 1" OF SOUND DEADENING MATERIAL ALONG THE INSIDE SURFACE. NOT TO PROJECT GREATER THAN 30" INTO SETBACK.

APPLICABLE CODES

- FLORIDA BUILDING CODE - 2020 7TH ED.
- FLORIDA BUILDING CODE RESIDENTIAL - 2020
- FLORIDA BUILDING CODE ENERGY - 2020
- NFPA 70 NATIONAL ELECTRICAL CODE - 2017
- FLORIDA BUILDING CODE PLUMBING - 2020
- FLORIDA BUILDING CODE MECHANICAL - 2020

GENERAL NOTES

- SEE SITE SPECIFIC INFORMATION FOR # OF SPA SUCTION OUTLETS USED FOR FILTRATION & THERAPY PUMP
- SEE SITE SPECIFIC INFORMATION FOR # SUCTION OUTLETS USED FOR FILTRATION & FEATURE PUMP
- A LUBO OF SUCTION OUTLETS IN FLOOR OF POOL OR SPA, VERTICAL WALL MOUNTS MAY BE USED
- IF NO WEIR OVERFLOW TO POOL, A SKIMME MUST BE USED IN SPA



PROJECT:
612 JUAN ANASCO DR,
LONGBOAT KEY, FL 34228

OWNER:
NAME:

CONTRACTOR:
E B G B
EASON BUILDERS GROUP
www.easonbuilders.com

ENGINEERS:
APEX CONSULTING ENGINEERS P.L.



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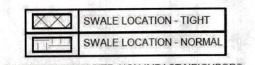
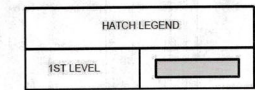


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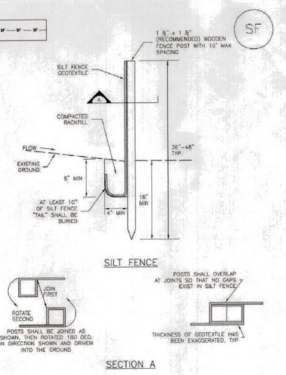
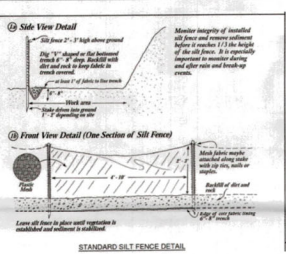
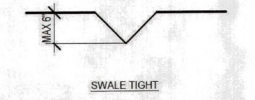
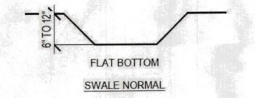
ISSUE	DESCRIPTION	DATE
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SCALE: As indicated
PROJECT #
DRAWING TITLE:
OVERALL PLANS/SITE PLAN
DRAWING NO.:
A-01
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building



KEEP WATER ON SITE, NON-IMPACT NEIGHBORS



EXISTING GRADES SHOWN

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. SCREENING SHALL BE AT LEAST 60% GRADE AND AS TALL AS THE EQUIPMENT TO BE A MINIMUM OF 12" FROM PROPERTY LINE.

LOT GRADES BETWEEN ANY PROPERTY LINE AND A STRUCTURE SHALL NOT EXCEED A MAXIMUM SLOPE OF ONE VERTICAL UNIT TO FOUR HORIZONTAL UNITS AT ANY POINT ALONG THE SLOPE.

THE DRIVEWAY CONNECTION SHALL MATCH THE EXISTING CURB AND GUTTER GRADE. THE DRIVEWAY SHALL INCLUDE PROPER FLARES TO ACCOMMODATE PASSENGER VEHICLES ENTERING AND EXITING THE RESIDENCE AND THE DRIVEWAY SHALL BE CONSTRUCTED AS TO NOT BLOCK DRAINAGE.

ON SITE RUNOFF SHALL BE COLLECTED IN THE SWALES AND THEN EITHER PERCOLATE AND/OR DISCHARGE OVER THE SEAWALL IN HEAVY RAIN EVENTS. NO RUNOFF SHALL DISCHARGE ONTO JUAN ANASCO DRIVE.



1 DRAINAGE PLAN
SCALE: 1" = 20'-0"

GENERAL NOTES

- DRAINAGE EASEMENT SHALL NOT CONTAIN PERMANENT IMPROVEMENT INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, IMPERVIOUS SURFACES, PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, SPRINKLER SYSTEMS, TREES, SHRUBS, HEDGES, AND LANDSCAPING PLANTS OTHER THAN GRASS, EXCEPT FOR THE LANDSCAPING OF STORMWATER DETENTION AND RETENTION PONDS AS REQUIRED BY THE CODE.
- SURFACE SLOPES SHALL NOT EXCEED ONE FOOT VERTICAL RISE IN FOUR FEET HORIZONTAL DISTANCE WITHIN FIVE FEET OF ANY PROPERTY LINE.
- ALL ON SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF-SITE DRAINAGE FACILITY.
- SITE DRAINAGE TO BE CONSISTENT WITH SUBDIVISION STORM WATER MANAGEMENT PLAN.
- SWALE SLOPES SHALL BE A MINIMUM OF 0.22% CONDITIONAL SLOPE.
- SITE RUN OFF MAY BE DIRECTED TO REAR LOT IF AN APPROVED DRAINAGE DRAINBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
- ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SITE PROPERTIES TO BE SWALED AS TO NOT ALLOW DRAINAGE ON TO ADJACENT PROPERTIES.

SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER FLOWING. SILT FENCE AT A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION SERVICES. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED. ROLLING COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS.
- STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "HOOK" (THE "J" HOOK) EXTENDING PERPENDICULAR TO THE CONTOUR. SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE TROUBAD AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- IF BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NECESSARY TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



PROJECT:
612 JUAN ANASCO DR,
LONGBOAT KEY, FL 34228

OWNER:
NAME:

CONTRACTOR:
EASON BUILDERS GROUP
www.easonbuilders.com

ENGINEERS:
APEX CONSULTING ENGINEERS PC



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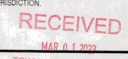


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1	PERMIT SET	02/01/23

SCALE: As indicated
PROJECT #:
DRAWING TITLE:
DRAINAGE PLAN

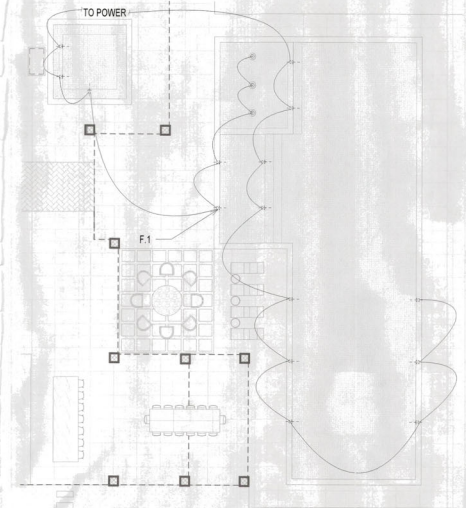
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SHEET:



TOWN OF LONGBOAT KEY
Planning, Zoning & Building

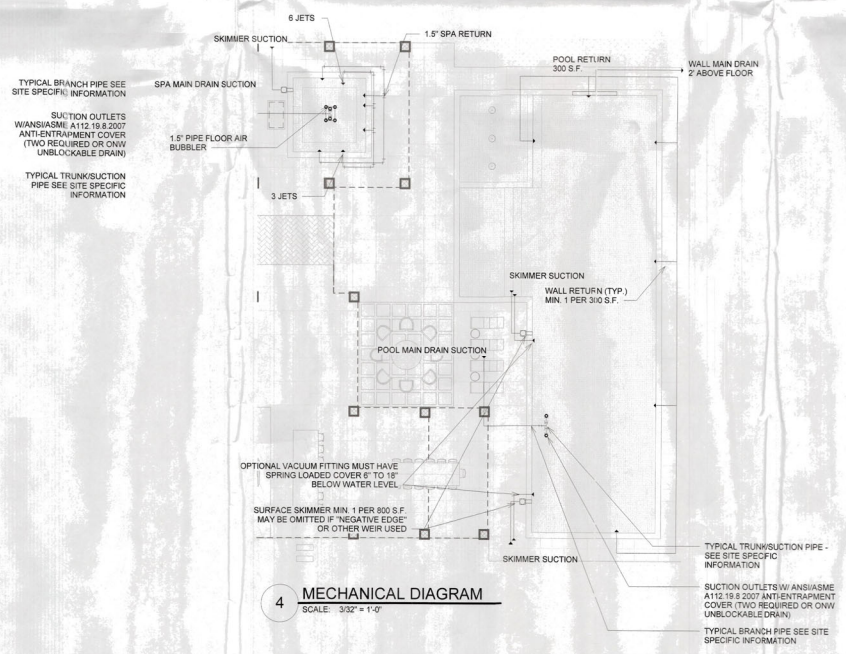
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POOL EQUIPMENT	
HAYWARD TRISTAR VS 950 VSP PUMP	(3 FOR POOL, 1 FOR SPA)
HAYWARD PL-PLUS AQUA PLUS POOL CONTROL & 40K CHLORINATOR	
HAYWARD C200S FILTER (2)	
HAYWARD GVA-24 AQUA LOGIC ACTUATOR (4)	
HAYWARD LACUS11100 12V 100 CRD COLORLOGIC 320 ACCENT LIGHTING	
SPA SIDE REMOTE	
AUTOFILL - PARAMOUNT 004-760-2902-01 PARALEVEL (2 FOR POOL, 1 FOR SPA)	
HAYWARD SKIMMER SP107252 (2 FOR POOL, 1 FOR SPA)	
DRAIN - COLOR MATCH MODEL 9 PTD (PEBBLE TOP DRAIN COVERS)	
HEAT PUMP - HAYWARD HEAT PRO PUMP PART #H21404T (3 FOR POOL, GAS HEATER FOR SPA)	
2.5" SPA JETS _ WATERWAY POLY GUNITE JET ASSEMBLY #210-370	
HAYWARD OMNI CONTROLLER PL POOL AUTOMATION	
OMNI PL WIRED WALL PANEL	
HAYWARD H40FDN 400K BTU UHVS L H SER NAT GAS HEATER	



3 LIGHTING DIAGRAM
SCALE: 3/32" = 1'-0"

LIGHTING SCHEDULE				
FIXTURE	QUANTITY	BULB TYPE & LUMENS	MOUNT	MOUNTING HEIGHT
HAYWARD COLOR LOGIC, 320 WATT, 12 VOLT UNDERWATER LIGHT, WITH STAINLESS STEEL RIM	18	300 WATT, 12 VOLT INCANDESCENT FLOODLAMP (5,000 LUMENS)	LARGE STAINLESS STEEL NICHELESS FOR FIBERGLASS INSTALLATION	4" MINIMUM BELOW POOL WATER LEVEL
INTERIOR SWIMMING POOL LIGHTS SHALL BE TURNED OFF WHILE THE POOL IS NOT IN USE DURING SEA TURTLE NESTING SEASON (MAY 1 THROUGH OCTOBER 31). THE USE OF AN AUTOMATIC TIMER IS ACCEPTABLE.				



4 MECHANICAL DIAGRAM
SCALE: 3/32" = 1'-0"



PROJECT:
612 JUAN ANASCO DR,
LONGBOAT KEY, FL 34228

OWNER:
NAME:

CONTRACTOR:
E B G
EASON BUILDERS GROUP
www.easonbuilders.com

ENGINEERS:
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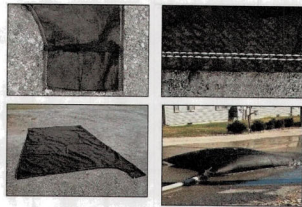
DRAWING TITLE:
LIGHTING PLAN AND POOL EQUIPMENT

DRAWING NO:
A-04

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 MAY 01 2021
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 Planning & Building

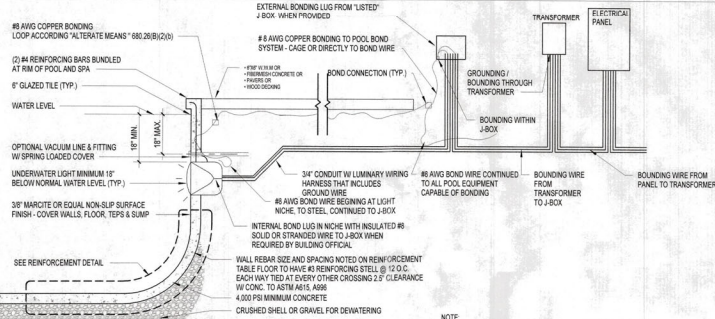
INSTALLATION / MAINTENANCE:
 CARTHAGE MILL'S FBX FILTER BAGS, THEY ARE DESIGNED FOR ONE-TIME USE.
 - PLACE LIFTING STRAPS UNDER THE UNIT TO FACILITATE REMOVAL AFTER USE.
 - FOR MAXIMUM FLOW AND FILTRATION, FBX FILTER BAGS SHOULD BE PLACED ON A LEVEL BED OF AGGREGATE OR HAY BALES.
 - INSERT THE DISCHARGE HOSE AND SECURE IT TIGHTLY USING THE ATTACHED STRAPS.
 - DISCHARGE RATE: FBX FILTER BAGS CAN TYPICALLY ACCOMMODATE FLOW RATED UP TO 750 GAL/MIN WHEN EMPTY. THIS DECREASES AS THE BAG COLLECTS SEDIMENT AND MUST BE MONITORED TO AVOID RUPTURE OF THE BAG OR EXCESSIVE LEAKAGE AROUND THE DISCHARGE HOSE.
 - REPLACE THE UNIT WHEN IT IS HALF FULL OF SEDIMENT OR WHEN THE FLOW RATE OF THE PUMP DISCHARGE HAS BEEN REDUCED TO AN IMPRACTICAL RATE.
 - FBX FILTER BAGS AND THE TRAPPED SEDIMENT SHOULD BE DISPOSED OF AS DIRECTED BY THE SITE ENGINEER OR LOCAL REGULATIONS.
 - FILTER BAG MUST BE MONITORED DURING USE.



FBX-40 DEWATERING FILTER BAG

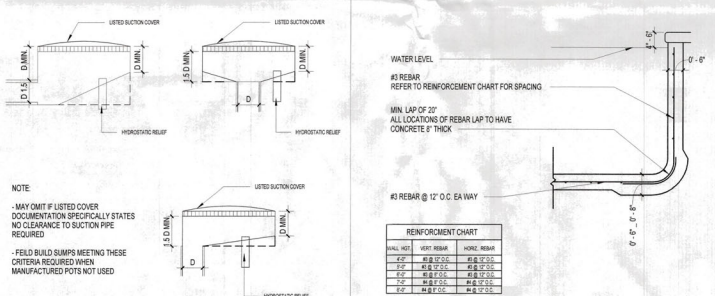
13 POOL DEWATERING PLAN

SCALE: 1/2" = 1'-0"



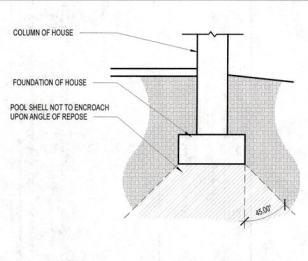
3 ELECTRICAL DIAGRAM

SCALE: 1/2" = 1'-0"



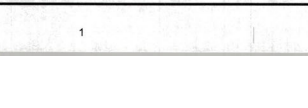
4 FIELD BUILT SUMP DETAILS

SCALE: 1/4" = 1'-0"



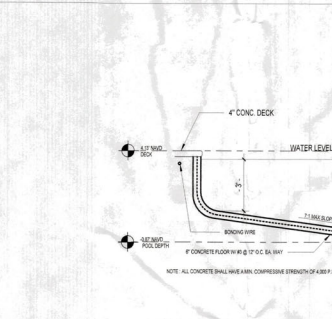
9 REPOSE DETAIL

SCALE: 1/2" = 1'-0"



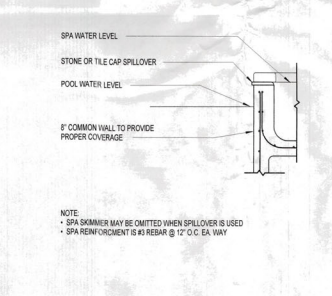
12 SINGLE PUMP PIPING PLAN DIAGRAM

SCALE: 1/4" = 1'-0"



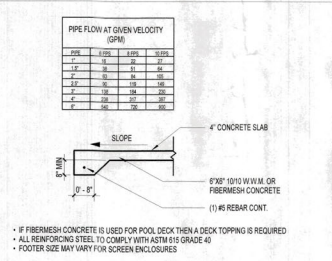
6 POOL SECTION

SCALE: 1/4" = 1'-0"



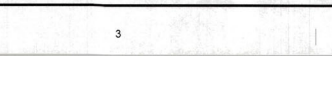
7 POOL SPA COMMON WALL

SCALE: 1/2" = 1'-0"



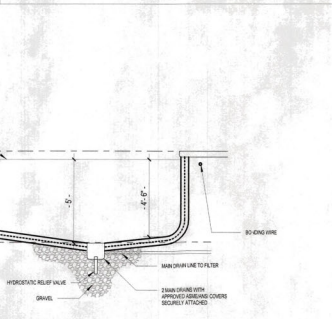
2 DECK FOOTER DETAIL

SCALE: 1/2" = 1'-0"



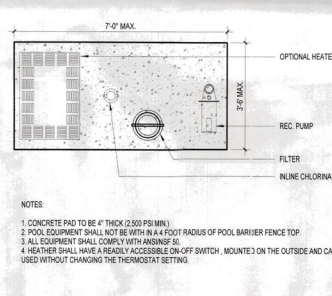
11 PIPING PLAN DIAGRAM

SCALE: 1/4" = 1'-0"



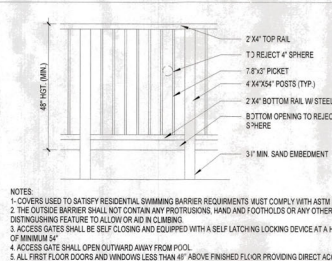
5 FILTER LAYOUT

SCALE: 1/2" = 1'-0"



1 BARRIER DETAIL

SCALE: 1/2" = 1'-0"



GENERAL NOTES

ALL POOLS AND SPAS SHALL COMPLY WITH THE 2003 FLORIDA BUILDING CODE, THE 2003 FLORIDA STATUTES, CHAPTER 515 RESIDENTIAL SWIMMING POOL SAFETY ACT, THE VIRGINIA GRAEME BACKER POOL & SPA SAFETY ACT ALONG WITH ALL APPLICABLE COUNTY OR CITY CODES AND ORDINANCES.
 ALL SUCTION OUTLETS SHALL BE PROVIDED WITH A COVER THAT HAS BEEN TESTED AND ACCEPTED BY A RECOGNIZED TESTING FACILITY AND COMPLYING WITH ANSI/ASME A112.9.9 PERFORMANCE STANDARD.
 ALL POOLS AND SPAS SHALL BE REQUIRED TO HAVE A BACKUP SYSTEM WHICH SHALL PROVIDE VACUUM RELIEF SHOULD THE GRATE COVERS BE MISSING. ALTERNATE VACUUM DEVICES INCLUDE APPROVED VENT PIPING APPROVED VACUUM RELEASE SYSTEM OTHER APPROVED DEVICES OR DEVICES.
 ALL POOL PIPING SHALL BE TESTED AND PROVED TIGHT TO THE SATISFACTION OF THE ADMINISTRATIVE AUTHORITY UNDER A STATIC WATER OR PRESSURE TEST OF NOT LESS THAN 38 PSI FOR 15 MIN.
 OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH THE 2017 FLORIDA STATUTES CHAPTER 515, RESIDENTIAL POOL SAFETY ACT, AND SECTION 90.10, 11 OF THE 2003 RESIDENTIAL FLORIDA BUILDING CODE.
 APPROVED MANUFACTURED INLET FITTINGS FOR THE RETURN OR RECIRCULATING POOL WATER SHALL BE PROVIDED ON THE DECK OF AT LEAST ONE PER 300 SQUARE FEET OF SURFACE AREA AND ONE FOR EVERY 20 GPM OF THE RECIRCULATED RATE. SUCH INLET FITTINGS SHALL BE DESIGNED AND CONSTRUCTED TO INSURE THE ADEQUATE SEAL TO THE POOL STRUCTURE AND SHALL INCORPORATE A CONVENIENT MEANS OF SEALING FOR PRESSURE TESTING OF THE PIPING WHERE MORE THAN ONE INLET IS REQUIRED. THE SHORTEST DISTANCE BETWEEN ANY TWO REQUIRED INLETS SHALL BE AT LEAST 10 FEET.
 ALL PUMPS AND ALL METALLIC PARTS WITHIN 6 FEET OF POOL MUST BE GROUNDED TO THE POOL. STEEL WITH #8 COPPER GROUND WIRE. TIME CLOSURES SHALL BE INSTALLED ON PRIVATE PIPES SO THAT THE PUMP CAN BE SET TO RUN DURING OFF-PEAK ELECTRICAL DEMAND PERIODS AND CAN BE SET FOR THE MAXIMUM TIME NECESSARY TO MAINTAIN THE WATER IN A CLEAR AND SANITARY CONDITION IN KEEPING WITH APPLICABLE HEALTH STANDARDS.
 ALL POOL AND SPA HEATERS SHALL BE EQUIPPED WITH AN ON/OFF SWITCH MOUNTED FOR EASY ACCESS TO ALLOW THE HEATERS TO BE SHUT OFF WITHOUT ADJUSTING THE THERMOSTAT SETTING, AND TO ALLOW RESTARTING WITHOUT RELIGHTING THE PILOT LIGHT.
 DIRECT OR INDIRECT CONNECTIONS SHALL NOT BE MADE BETWEEN ANY STORM DRAIN, SEWER, DRAINAGE SYSTEM, SEWAGE PIT, UNDERGROUND LEACHING PIT, OR SOIL/DRAINAGE LINE AND ANY LINE CONNECTED TO THE SWIMMING POOL, UNLESS APPROVED BY THE ADMINISTRATIVE AUTHORITY. THE ENGINEER SHALL NOT BE HELD LIABLE FOR: x FAULTY MATERIALS AND CONSTRUCTION, y INADEQUATE OR IMPROPER SUPERVISION OF CONSTRUCTION, z IMPROPER POOL MAINTENANCE AFTER CONSTRUCTION.
CONSTRUCTION NOTES:
 1. SUCTION OUTLET COVERS SHALL BE COMPLIANT WITH ANSI/ASME A112.9.9.2007. IF DUAL MAIN DRAINS ARE USED EA. DRAIN COVER SHALL BE RATED FOR 100% OF THE SYSTEM FLOW RATE. IF UN-SCISSORABLE CHANNEL DRAINS ARE USED THE MANUFACTURERS LISTED SUMP MUST BE USED.
 2. ALL POOL PIPING SHALL BE SCH. 40 PVC WITH NSF APPROVED STAMP FOR DRINKING WATER USE.
 3. ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED BARS. SPICE LOCATIONS SHALL BE STAGGERED WITH BARS LAPPED 16" MINIMUM. ALL ELECTRICAL WIRING AND EQUIPMENT SHALL COMPLY WITH CHAPTER 27 OF THE FBC 2020 AND NFPA 70 2014, ARTICLE 680 (IN E.C.). PROVIDE BONDING OF ALL EQUIPMENT, HANDRAILS AND LIGHTS TO POOL REINFORCING.

ADDITIONAL NOTES

POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED APPROVED BY LOCAL BUILDING DEPARTMENT POOL CONTRACTOR. THE VIRGINIA INSTALLATION SHALL CONFORM TO A LOCAL BUILDING CODES, PERMITS SPECIFICATIONS, CODES, RULES, RULES, INSPECTION, WORKMANSHIP, ETC.
 STEPS OR A LADDER SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL.
 FINAL ELECTRICAL AND BARRIER CODE INSPECTIONS SHALL BE COMPLETED PRIOR TO FILLING THE POOL WITH WATER.
ELECTRICAL REQUIREMENTS:
 1. INSTALL LOW VOLTAGE LIGHT AS PER NEC 880.
 2. WIRING AND BONDING AND ALL ELECTRICAL TO COMPLY WITH CHAPTER 27, FLORIDA BUILDING CODE FBC 2020.
 3. NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI. TRANSFORMER MAIN 12" FROM POOL. IF ABOVE WATER, J BOX 4" FROM POOL. BRASS TO J BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT UNDER PVC IS APPROVED.
 4. AN EQUIPOTENTIAL BONDING GRID MUST COVER THE CONTOUR OF THE PERMANENTLY INSTALLED POOL AND SPA UNDER THE DECK. AN UNDERGROUND BONDING CONDUCTOR MADE OF A SINGLE #8 AWG BARE COPPER WIRE BURIED TO A MINIMUM DEPTH OF 4 TO 8 INCHES BELOW SURFACE AND 18 TO 24 INCHES FROM THE INSIDE OF THE WALL OF A SWIMMING POOL OR SPA AND BONDED TO THE POOL STEEL WITH #8 AWG BARE COPPER WIRE AT FOUR EQUAL PLACES ALONG THE PERIMETER OF THE POOL. FOR POOL WATER BONDING SEE 2014 NEC 880.26.
 5. ALL PUMPS AND ALL METALLIC PARTS WITHIN 6 FEET OF POOL MUST BE GROUNDED TO THE POOL. STEEL WITH #8 COPPER GROUND WIRE. TIME CLOSURES SHALL BE INSTALLED ON PRIVATE PIPES SO THAT THE PUMP CAN BE SET TO RUN DURING OFF-PEAK ELECTRICAL DEMAND PERIODS AND CAN BE SET FOR THE MAXIMUM TIME NECESSARY TO MAINTAIN THE WATER IN A CLEAR AND SANITARY CONDITION IN KEEPING WITH APPLICABLE HEALTH STANDARDS.
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ISSUE	DESCRIPTION	DATE
1	PERMIT SET	02/01/23

SCALE: As indicated

PROJECT #

DRAWING TITLE:
GENERAL POOL DETAILS

DRAWING NO.:
A-05

SHEET:

RECEIVED
 MAR 01 2023
 TOWN OF LONGBOAT BUILDING DEPARTMENT