

TRANSMITTAL FORM

Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
941-316-1966
941-316-1970 Fax

PERMIT NO: PSPS 22-0028
APPROVED
REVISED PLAN
BY: Nel Mazzari DATE: 5-22-2023

DATE: 5/17/23 ATTN: Plans Review
FROM: John Ritzenhauer
Company: Freestyle Pools & Spa
Phone: 9417398657 Email: nikler.freestyle@gmail.com

SITE LOCATION/ADDRESS: 6830 S. Longboat Dr
PERMIT NUMBER: PSPS 22-0028

THE FOLLOWING IS SUBMITTED FOR CONSIDERATION BY PZB STAFF

- RESPONSE TO COMMENTS
- REVISIONS / RE-SUBMITTALS
- OTHER: change in safety - from deck alarm ^{child}

APPLICABLE CODES / TRADES (Check All That Apply):

- BUILDING / FEMA
- ELECTRICAL
- HVAC
- PLUMBING
- ZONING
- GAS VENTING
- GAS PIPING
- FIRE MARSHAL

ITEMS INCLUDED IN THIS TRANSMITTAL:

pool plan w/ safety specs

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

POOL SPECS

SIZE: 12' x 26' SQFT: 293
 DEPTH: 3' - 5' PERIMETER: 73
 EST TOTAL GALLONS: 7179 SKIMMERS: 1
 RETURNS: 3 INTERIOR MATERIAL: Pebble
 SPECIAL: _____ TILE: 6" Standard
 NOTES: _____

SPA SPECS

SIZE: _____ SQFT: _____
 DEPTH: _____ PERIMETER: _____
 EST TOTAL GALLONS: _____ SPILLWAY: _____
 RAISED HEIGHT: _____ SKIMMERS: _____
 RETURNS: _____ TILE: _____
 INTERIOR MATERIAL: _____
 SPECIAL: _____
 NOTES: _____

PLUMBING

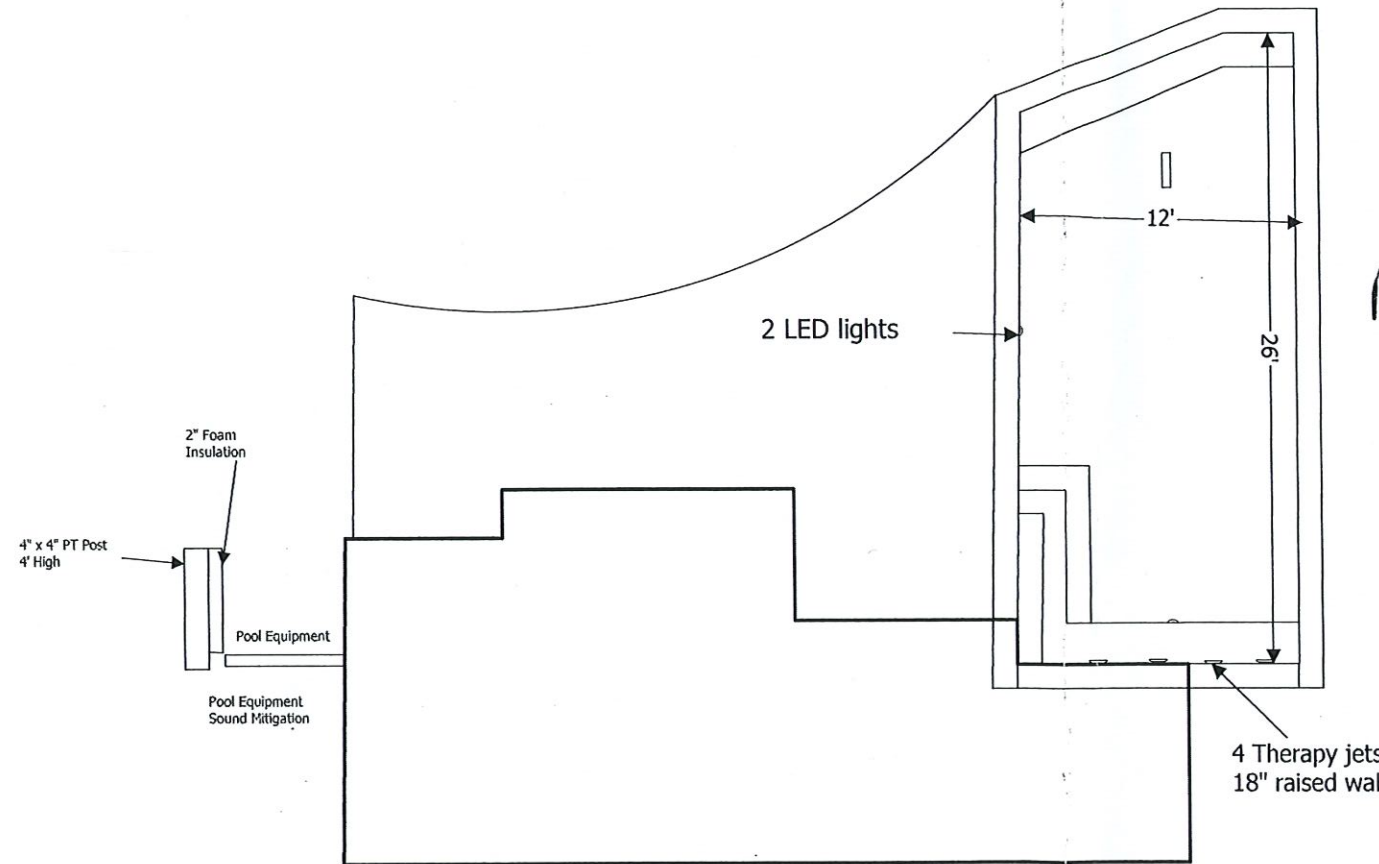
RETURNS: 2.5" SKIMMERS: 2"
 POOL MAIN DRAINS: 2.5" SPA MAIN DRAINS: _____
 CLEANING SYSTEM: _____ HEADS: _____
 VAC LINES: 2" ROBOT VAC: _____
 WATER FEATURES: 2" SPA SPILLWAY: _____
 LIGHTS IN POOL: 2 LED LIGHTS IN SPA: _____
 TOTAL PIPE: _____
 SPECIAL: _____
 NOTES: _____

DECK

DECK TYPE: Pavers ELEVATION: _____
 TOTAL DECK SQFT: 310 PERIMETER: _____
 RAISED BEAM: _____ LIP STYLE: _____
 MATERIAL 1: Travertine TBD MATERIAL 2: _____
 SPECIAL: _____
 NOTES: _____

EQUIPMENT

POOL PUMP: Intelliflo VSF 2ND PUMP: _____
 FILTRATION: C&C RP FILTER SIZE: 200
 HEATER: MAstertemp 400 INLINE: Intellichlor ic 20
 TIMER: Easy Touch 4 GAS: Natural
 SPECIAL: 2 hide lids Pentair autofill
 NOTES: _____



Pool safety net.

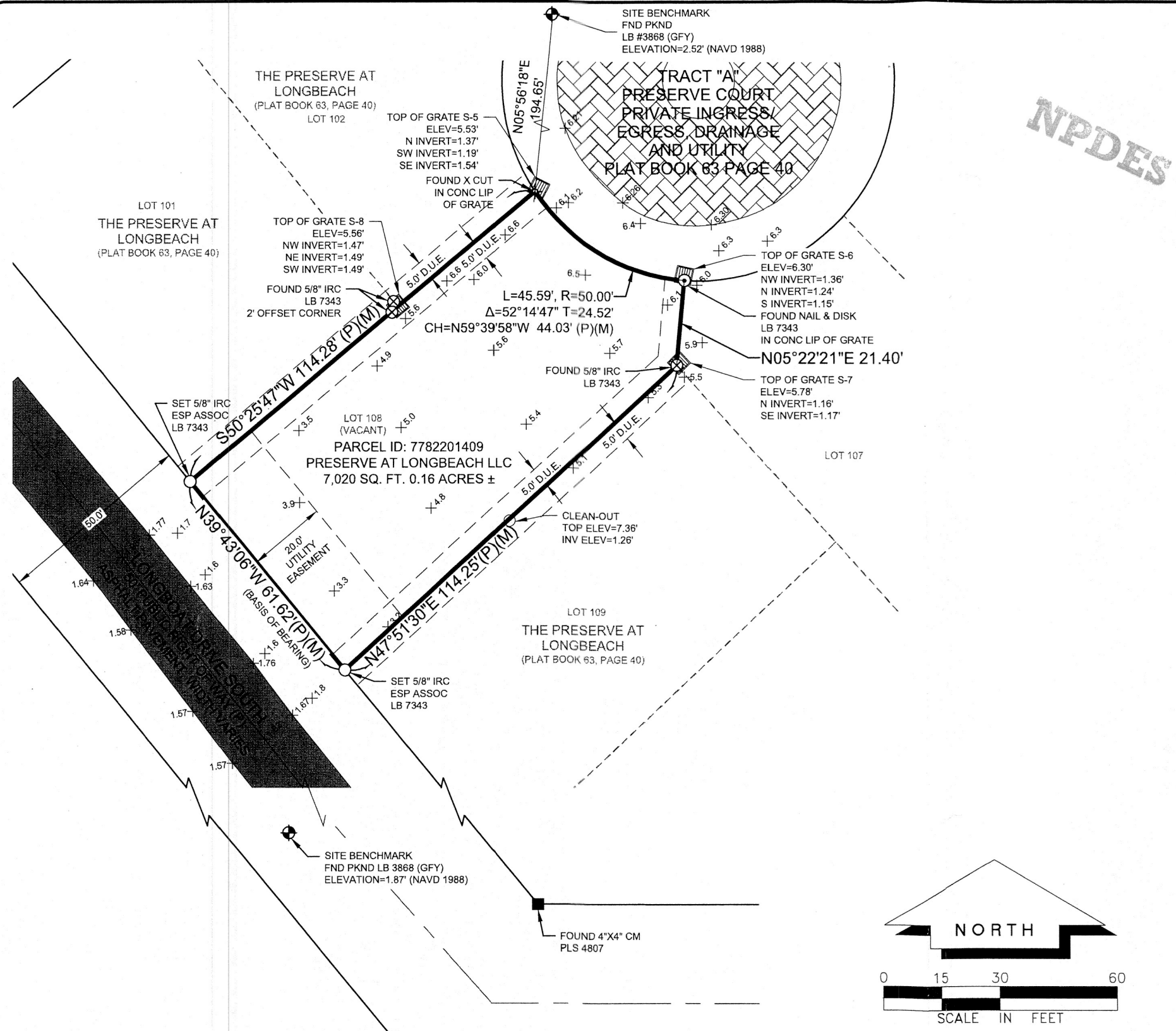
Scale: 1/8" = 1 ft

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 MAY 11 2023
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*HANEY
 6830 Longboat Dr S.
 Longboat Key*

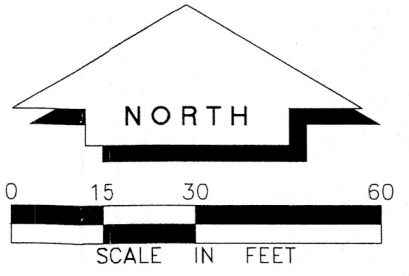
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NPDES



LEGAL DESCRIPTION
LOT 108, THE PRESERVE AT LONGBEACH, AS RECORDED IN PLAT BOOK 63, PAGE 39 AND 40 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.
CONTAINING 7,020 SQUARE FEET OR 0.16 ACRES, MORE OR LESS.

- SURVEYOR'S NOTES**
1. THE PURPOSE FOR THIS SURVEY IS TO REFLECT THE LOT BOUNDARY, TOPOGRAPHIC AND IMPROVEMENTS (IF ANY).
 2. BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), DERIVING A BEARING OF N39°43'06"W ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF LONGBOAT DRIVE.
 3. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS A PART OF THIS SURVEY, UNLESS OTHERWISE SHOWN.
 4. NORTH-SOUTH & EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
 5. THIS PROPERTY LIES IN FLOOD ZONE "AE" (EL 9) AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM); MAP NUMBER 12081C0283E, EFFECTIVE DATE: MARCH 17, 2014.
 6. ALL BEARINGS AND/OR DISTANCES SHOWN HEREON ARE PLATTED DIMENSIONS UNLESS OTHERWISE NOTED.
 7. ALL SETBACKS, EASEMENTS AND ENCUMBRANCES SHOWN ARE PER THE PLAT, THE PRESERVE AT LONGBEACH AS RECORDED IN PLAT BOOK 63 PAGES 39 AND 40 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.
 8. HORIZONTAL DATA SHOWN HEREON IS BASED THE FLORIDA STATE PLANE COORDINATE SYSTEM (NAD 83/2011 ADJUSTMENT) UTILIZING A GPS NETWORK FROM BOTH FPRN AND TRIMBLE VRS NETWORKS.
 9. HORIZONTAL ACCURACY - THE HORIZONTAL ACCURACY OF THE SURVEY CONTROL USED TO LOCATE THE FEATURES AND ELEVATIONS DEPICTED HEREON CONFORMS TO THE "SUBURBAN" ACCURACY STANDARD OF 1 FOOT IN 7500 FEET.
 10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THEREFORE, THERE MAY BE DOCUMENTS IN THE PUBLIC RECORDS NOT SHOWN HEREON.
 11. VERTICAL DATA SHOWN HEREON IS BASED ON MANATEE COUNTY BENCHMARK DESIGNATION MCBE 22, NATIONAL GEODETIC SURVEY (NGS) PID #DL1838, WITH A PUBLISHED ELEVATION OF 19.25' (NAVD 1988) AND SITE TEMPORARY BENCH MARKS (TBM): A PKND LB#3868 (GFY) ELEVATION = 2.52 FEET (NAVD 1988) AND A PKND LB#3868 (GFY) ELEVATION = 1.87 FEET (NAVD 1988) REFERENCED WITH A GPS NETWORK FROM BOTH FPRN AND TRIMBLE VRS NETWORKS.
 12. MINIMUM BUILDING SETBACK REQUIREMENTS PER PLAT ARE 20.0' FRONT; 8.0' SIDE; 15.0' REAR.
 13. NO TREES WERE OBSERVED ON SUBJECT BOUNDARY AT TIME OF THIS SURVEY.



LEGEND

● FND IRON PIPE (IP)	(M) MEASURED	D.U.E. DRAINAGE & UTILITY EASEMENT
○ SET IRON ROD & CAP (IRC) LB 7343	(P) PLAT	⊗ WATER VALVE
⊗ FND IRON ROD & CAP (IRC)	SQ.FT. SQUARE FEET	⊠ GRATE INLET
● NAIL AND DISK (ND)	TOB TOP OF BANK	⊡ GAS PEDESTAL
■ 4"x4" CONCRETE MONUMENT (CM) FND	TOS TOE OF SLOPE	⊞ UNKNOWN PEDESTAL
R/W RIGHT-OF-WAY	O.R. OFFICIAL RECORDS BOOK	○ CLEAN-OUT
CONC CONCRETE	LS LICENSED SURVEYOR	■ ASPHALT
	LB LICENSED BUSINESS	□ CONCRETE
	PLS PROFESSIONAL LICENSED SURVEYOR	

ESP Associates FL, Inc.
518 13th Street West
Bradenton, FL 34205
Phone: 941-345-5451
www.espassociates.com
PROFESSIONAL SURVEYORS
AND MAPPERS LB. #7343

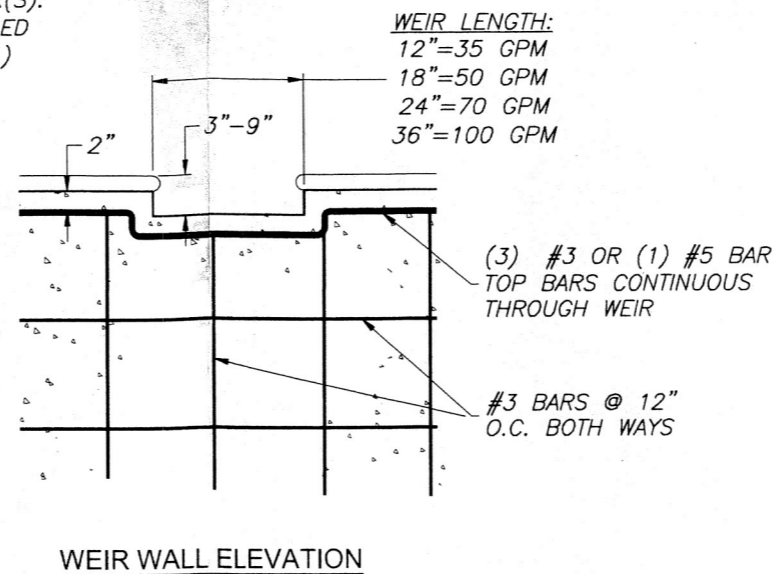
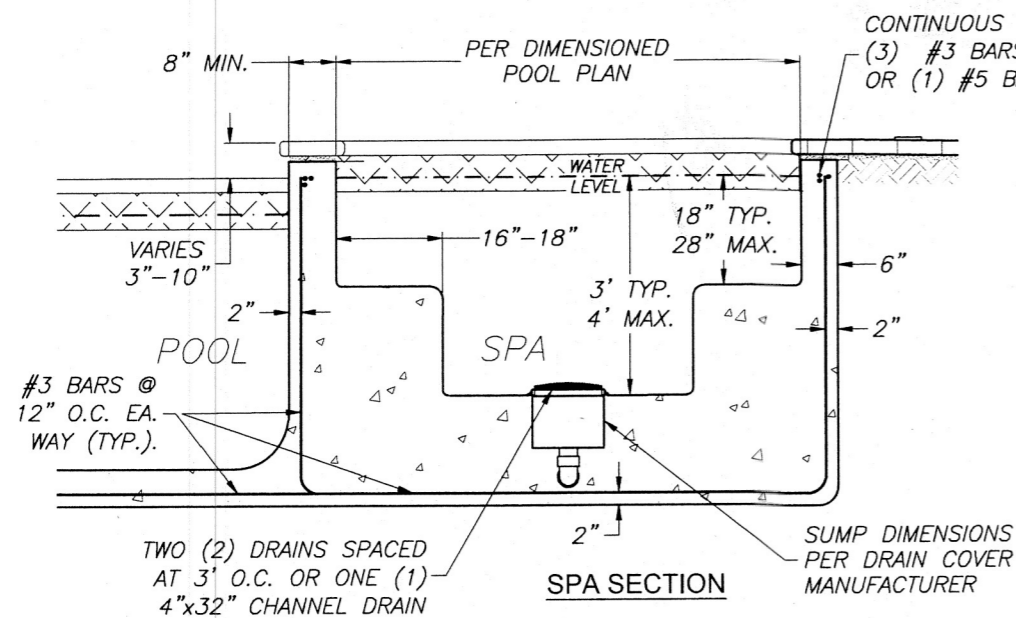
NO.	DATE	DESCRIPTION	BY	CHK
5				
4				
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1				

REVISIONS

BOUNDARY, TOPOGRAPHIC & TREE SURVEY
OF
LOT 108 THE PRESERVE AT LONGBEACH
PARCEL ID:
7782201409
SECTION 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

PREPARED FOR:
MILANO HOMES
PROJECT NUMBER: GR01.800.000
DATE OF FIELD SURVEY: 04/26/2021
DRAWN BY: RLW DATE: 04/27/2021
CHECKED BY: PJT DATE: 04/28/2021
SHEET 1 OF 1

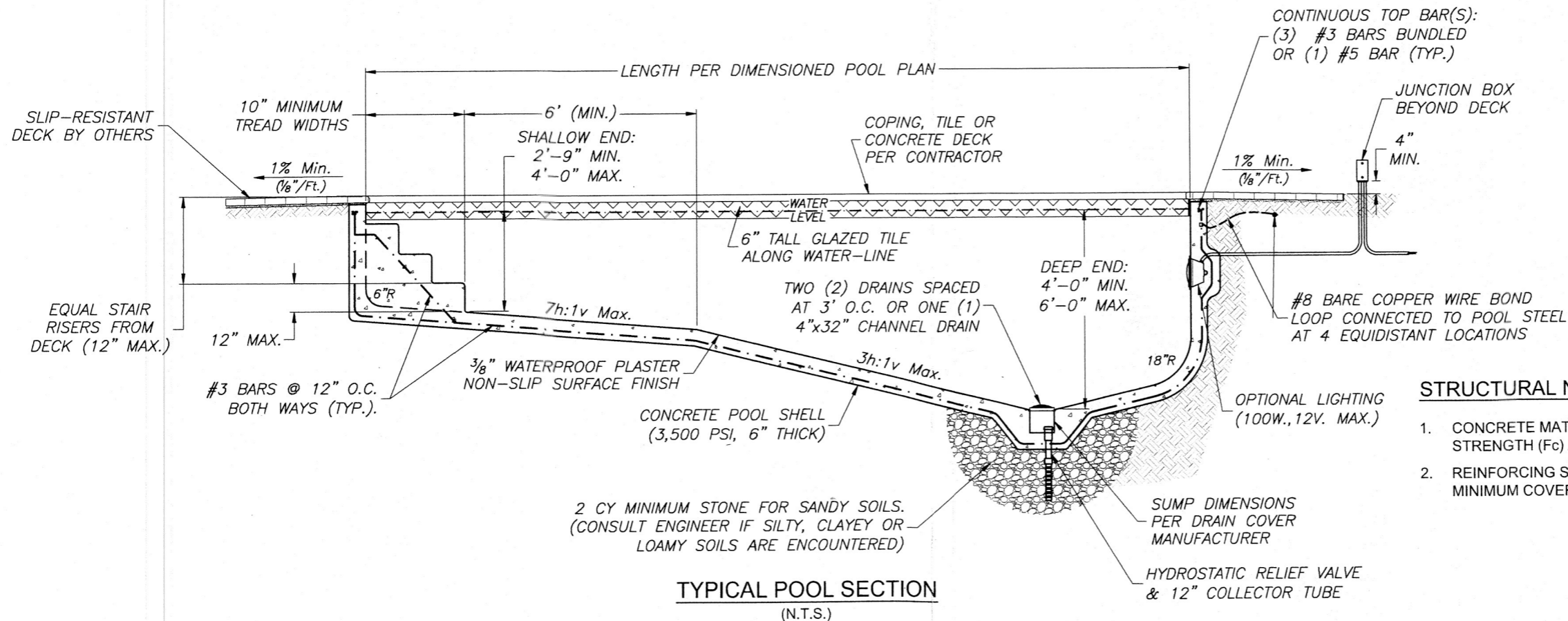
CERTIFIED TO: MILANO HOMES
I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED UNDER MY DIRECT SUPERVISION ON THE DATE SHOWN AND CONFORMS TO THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA IN ACCORDANCE WITH CHAPTER 55, F.S. FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 55.027, FLORIDA STATUTES.
04/28/2021
DATE
WALTER J. SMITH
FLORIDA CERTIFICATE NO. 4807
DOCUMENT NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND SEAL OF WALTER J. SMITH, FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.
PLOT DATE/TIME: 4/28/2021 2:48pm BY: Pete Tortorice



SPA NOTES:

1. SPA CONSTRUCTION SHALL CONTAIN NO PROTRUSIONS, EXTENSIONS, MEANS OF ENTANGLEMENT OR OTHER OBSTRUCTION WHICH CAN CAUSE ENTRAPMENT OR INJURY OF USER.
2. MAXIMUM WATER DEPTH SHALL BE 4'-0" BELOW WATER LEVEL.
3. MAXIMUM SEAT DEPTH SHALL BE 28" BELOW WATER LEVEL.
4. STEPS TO HAVE UNIFORM RISER HEIGHTS, 10" MIN. TREAD AND HAVE 240 SQ. IN. SURFACE AREA.
5. MAXIMUM FLOOR SLOPE SHALL BE 1V:12H.
6. POTABLE WATER HOSE BIB W/ VACUUM BREAKER TO BE LOCATED ON THE POOL/SPA DECK.
7. WEIR FLOW RATES ARE BASED ON 1" HEAD ON WEIR.

OPTIONAL SPA DETAILS
(N.T.S.)



STRUCTURAL NOTES:

1. CONCRETE MATERIAL TO HAVE 3,500 PSI MINIMUM COMPRESSIVE STRENGTH (F_c) AT 28 DAYS.
2. REINFORCING STEEL TO BE GRADE 40 DEFORMED BARS WITH 2" MINIMUM COVER. SPLICE #3 BARS 16" & #5 BARS 26" MIN.

TYPICAL PLAN NOTE:
THESE STANDARD PLANS & DETAILS INDICATE TYPICAL BUILDING CODE REQUIREMENTS FOR FLORIDA PRIVATE SWIMMING POOLS. POOL BUILDER TO PROVIDE SITE SPECIFIC POOL PLAN FOR POOL LAYOUT AND DEPTHS.

STANDARD 6 FT. MAXIMUM DEPTH POOL SECTION
FLORIDA PRIVATE SWIMMING POOL
Prepared For: **FREESTYLE POOLS & SPAS**
(941) 739-8657 (CPC 1456697)

CREST ENGINEERING
of Sarasota, LLC

3402 Magic Oak Lane, Sarasota, Florida 34232
Phone: (941) 377-8811
Email: info@crestfl.com

Florida Certificate of Authorization No. 28100

Date 1-05-2021

Project No. S0268

[Signature]

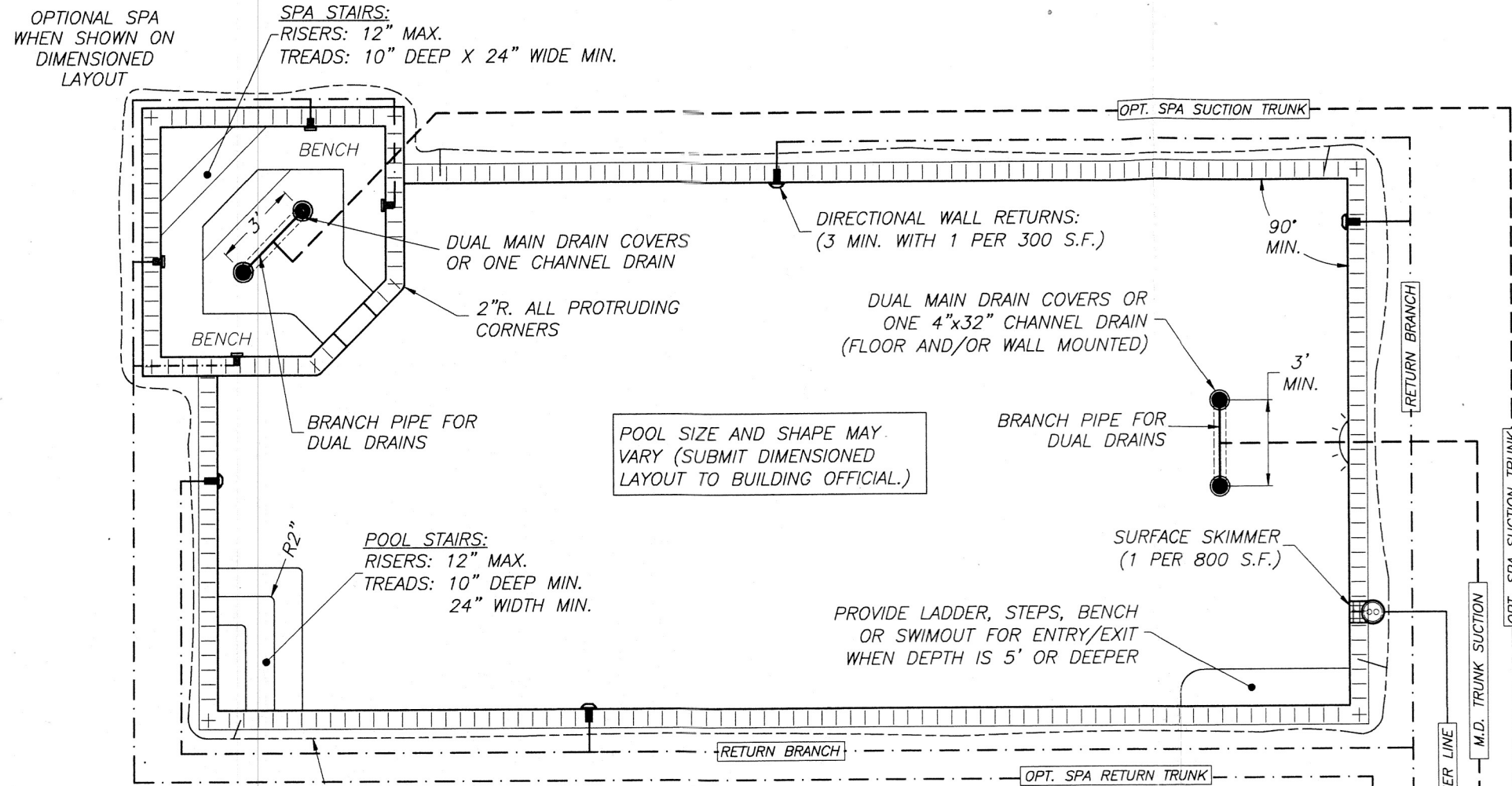
Michael L. Shannon, P.E.
Fla. License # 67896

JAN 05 2021

Sheet: SP-2 of 2

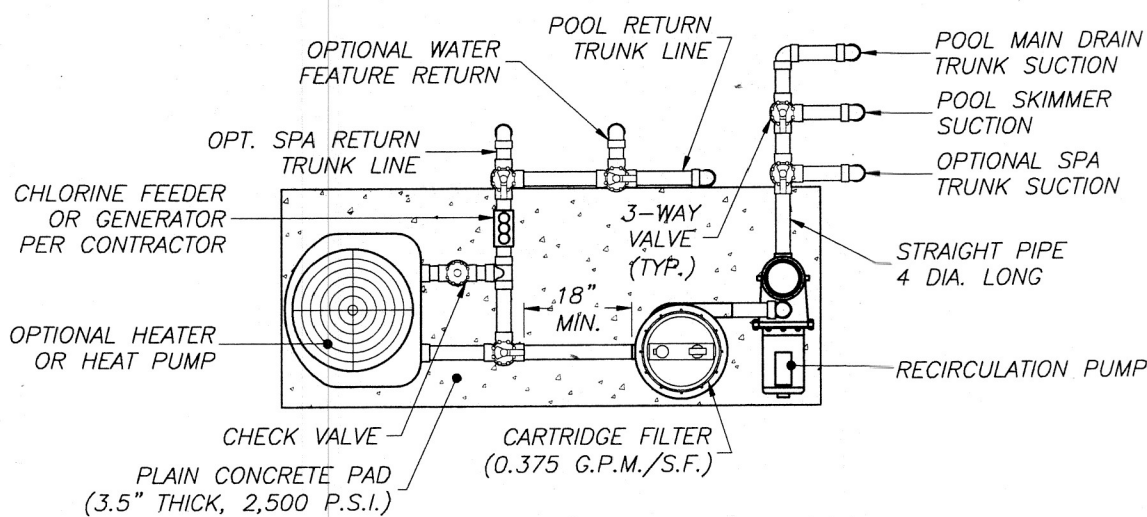
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BLDG PERMIT PLANS
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#8 BARE COPPER BOND WIRE
4"-6" BELOW FINISHED GRADE
WITHIN 18"-24" OF POOL WATER

POOL & OPTIONAL SPA PLAN
(N.T.S.)



SINGLE PUMP EQUIPMENT SCHEMATIC
(N.T.S.)

TYPICAL PLAN NOTE:
THESE STANDARD PLANS & DETAILS INDICATE TYPICAL BUILDING CODE REQUIREMENTS FOR FLORIDA PRIVATE SWIMMING POOLS. POOL BUILDER TO PROVIDE SITE SPECIFIC POOL PLAN FOR POOL LAYOUT AND DEPTHS.

STANDARD DETAILS
FLORIDA PRIVATE SWIMMING POOL
Prepared For: **FREESTYLE POOLS & SPAS**
(941) 739-8657 (CPC 1456697)

NOTES:

1. THESE PLANS ARE APPLICABLE TO RESIDENTIAL SWIMMING POOLS OF LESS THAN 108,000 GALLONS AND 150 G.P.M. PUMP RATE.
2. DESIGN CRITERIA: FLORIDA BUILDING CODE, 7th EDITION (2020), SECTION 454.2 PRIVATE SWIMMING POOLS, ANSI/APSP-3, ANSI/APSP-5, ANSI/APSP-7, & ANSI/APSP/ICC-15.
3. SAFETY BARRIERS FOR THE POOL SHALL BE PROVIDED IN ACCORDANCE WITH F.B.C. SECTION 454.2.17 INCLUDING WINDOW AND DOOR ALARMS IF APPLICABLE.
4. ALL SUCTION OUTLET COVERS/GRATES AND FASTENERS SHALL COMPLY WITH LATEST ASME/ANSI 112.19.8.
5. DUAL MAIN SUCTION COVERS SHALL EACH BE RATED FOR 100% OF THE SYSTEM FLOW RATE AND MAY BE FLOOR OR WALL MOUNTED. ALL SUCTION OUTLET COVERS SHALL INCLUDE THE MANUFACTURERS RECOMMENDED SUMP DIMENSIONS OR OTHERWISE IN ACCORDANCE WITH ASME/ANSI 112.19.8-LATEST ED. (FIGURE 2).
6. CONSTRUCT POOL ON COMPACTED OR UNDISTURBED SOIL WITH A 1,500 P.S.F. MINIMUM BEARING CAPACITY. CONTACT THE ENGINEER SHOULD ANY MARL, MUCK, CLAYEY, ORGANIC OR UNSUITABLE MATERIAL BE ENCOUNTERED IN THE POOL EXCAVATION FOR SOIL CORRECTION RECOMMENDATIONS.
7. THE LOCAL GROUND WATER TABLE SHALL BE MAINTAINED BELOW THE POOL STRUCTURE DURING CONSTRUCTION AND ANY TIME THE POOL WATER IS EMPTY FOR MAINTENANCE.
8. POOL PIPING SHALL BE SCH. 40 PVC, STAMPED NSF-PW APPROVED. ALL PIPING, VALVES, EQUIPMENT AND MATERIALS USED SHALL CONFORM TO THE F.B.C., PLUMBING.
9. CHLORINATING AND/OR DISINFECTANT EQUIPMENT SHALL COMPLY WITH THE LATEST ANSI/NSF-50.
10. PUMPS SHALL BE 3 H.P. OR LESS AND COMPLY WITH ANSI/UL 1081. PUMPS EQUAL TO OR EXCEEDING 1 H.P. SHALL BE TWO SPEED MINIMUM WITH THE RECIRCULATION RATE MET A LOW SPEED OF AT LEAST 1/2 THAT OF THE MAXIMUM PUMP SPEED.
11. ANY POOL LIGHTING, ALL ELECTRICAL WORK AND BONDING OF POOL, EQUIPMENT, HANDRAILS AND LIGHTS TO THE POOL REINFORCING STEEL SHALL COMPLY WITH CHAPTER 27 OF THE FLORIDA BUILDING CODE AND N.F.P.A. 70 ARTICLE 680 NATIONAL ELECTRIC CODE.
12. HEAT PUMPS SHALL COMPLY WITH THE LATEST UL 559. ELECTRIC HEATERS SHALL COMPLY WITH UL 1261. ANY GAS PIPING SHALL COMPLY WITH F.B.C., FUEL GAS. GAS HEATERS SHALL COMPLY WITH LATEST ANSI-Z21.56.
13. ONE MEANS OF EXIT FROM THE SHALLOW AND DEEP END CONSISTING OF A LADDER, BENCH, UNDERWATER SEAT OR SWIM-OUT SHALL BE PROVIDED FOR WATER DEPTH 5' OR GREATER. PROVIDE TWO MEANS OF EXIT FOR POOLS WIDER THAN 36'.
14. UNDERWATER SEATS, BENCHES, AND SWIM-OUTS SHALL BE A MAXIMUM OF 20" BELOW THE WATERLINE.
15. THIS POOL DOES NOT PROVIDE A MINIMUM DIVING WATER ENVELOPE. NO DIVING OR DIVING EQUIPMENT IS ALLOWED.
16. POOL PLUMBING PIPE SIZES SHALL BE PROVIDED AS LISTED BELOW BASED ON CONTRACTORS' OR ENGINEER'S CALCULATED MAXIMUM PUMP FLOW RATE PER BELOW:

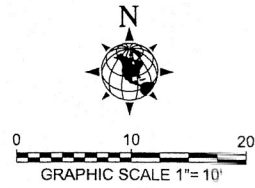
PIPE SIZE CHART: (FOR F.B.C. ALLOWABLE VELOCITIES)

PUMP RATE (GPM)	RETURN (10'/SEC.)	SUCTION (8'/SEC.)	BRANCH (6'/SEC.)
20 - 62	2"	2"	2"
63 - 83	2"	2"	2 1/2"
84 - 89	2"	2 1/2"	2 1/2"
90 - 104	2"	2 1/2"	3"
105 - 119	2 1/2"	2 1/2"	3"
120 - 138	2 1/2"	3"	3"
139 - 150	2 1/2"	3"	4"

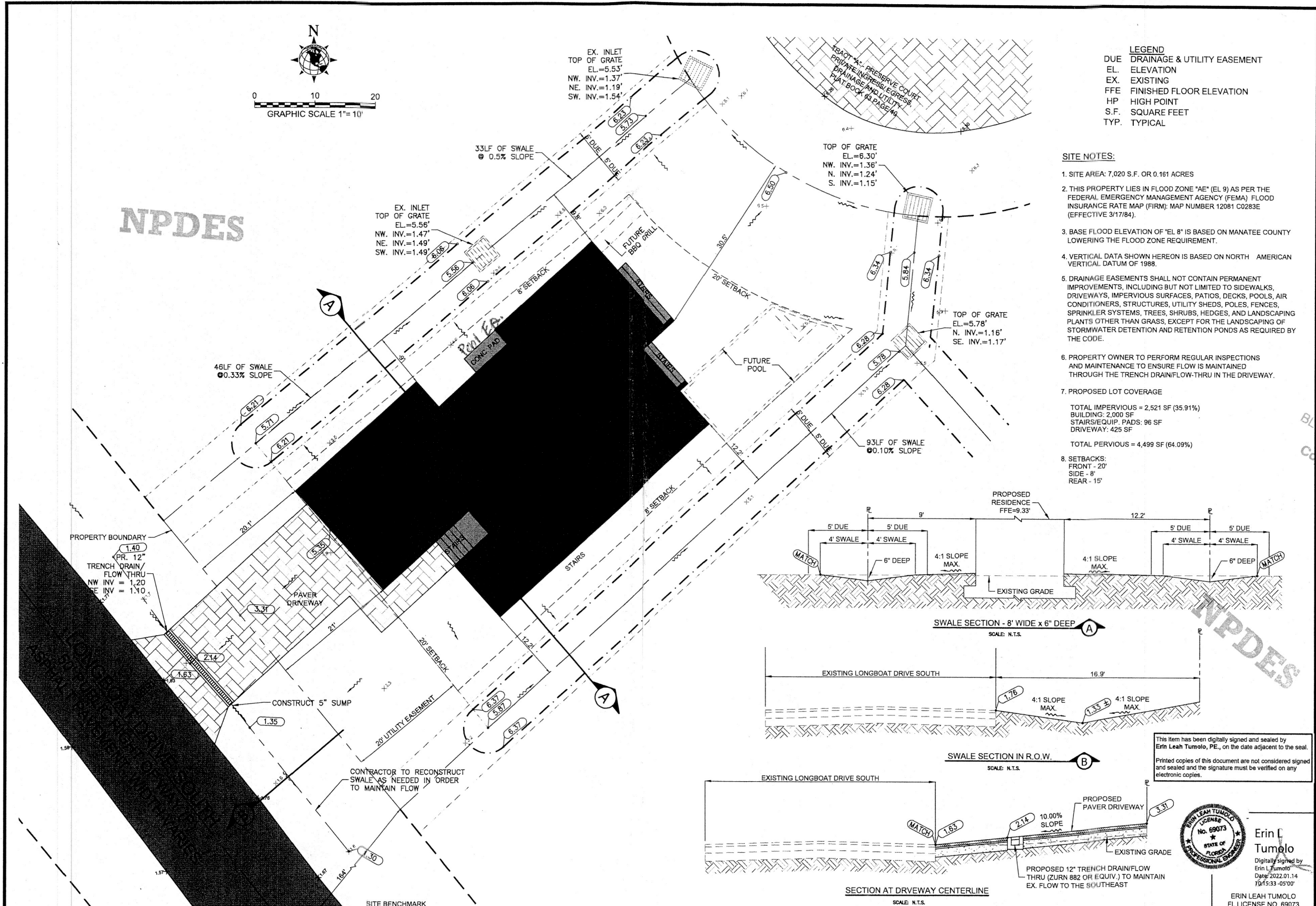
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CREST ENGINEERING
of Sarasota, LLC
3402 Magic Oak Lane, Sarasota, Florida 34232
Phone: (941) 377-8811
Email: info@crestfl.com
Florida Certificate of Authorization No. 28100

Date: 1-05-2021
Project No.: S0268
Michael L. Shannon, P.E.
Fla. License # 67896
JAN 05 2021
Sheet: SP-1 of 2

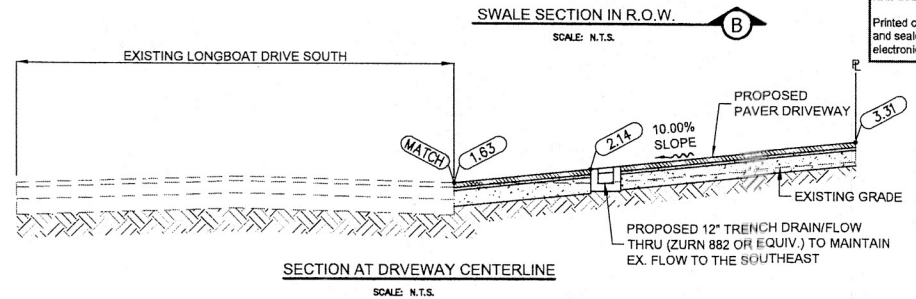
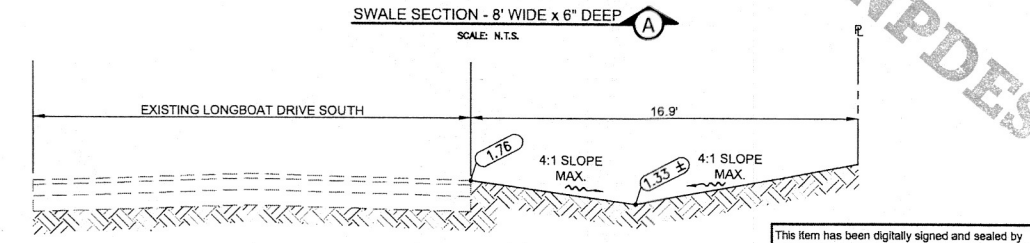
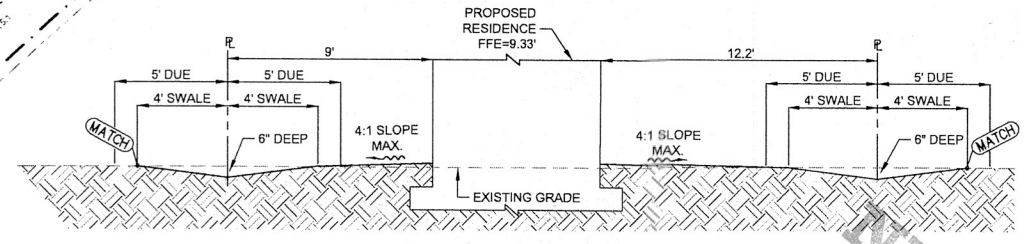


NPDES



- LEGEND**
- DUE DRAINAGE & UTILITY EASEMENT
 - EL. ELEVATION
 - EX. EXISTING
 - FFE FINISHED FLOOR ELEVATION
 - HP HIGH POINT
 - S.F. SQUARE FEET
 - TYP. TYPICAL

- SITE NOTES:**
1. SITE AREA: 7,020 S.F. OR 0.161 ACRES
 2. THIS PROPERTY LIES IN FLOOD ZONE "AE" (EL 9) AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM); MAP NUMBER 12081 C0283E (EFFECTIVE 3/17/84).
 3. BASE FLOOD ELEVATION OF "EL 8" IS BASED ON MANATEE COUNTY LOWERING THE FLOOD ZONE REQUIREMENT.
 4. VERTICAL DATA SHOWN HEREON IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 5. DRAINAGE EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, IMPERVIOUS SURFACES, PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, SPRINKLER SYSTEMS, TREES, SHRUBS, HEDGES, AND LANDSCAPING PLANTS OTHER THAN GRASS, EXCEPT FOR THE LANDSCAPING OF STORMWATER DETENTION AND RETENTION PONDS AS REQUIRED BY THE CODE.
 6. PROPERTY OWNER TO PERFORM REGULAR INSPECTIONS AND MAINTENANCE TO ENSURE FLOW IS MAINTAINED THROUGH THE TRENCH DRAIN/THRU IN THE DRIVEWAY.
 7. PROPOSED LOT COVERAGE
 TOTAL IMPERVIOUS = 2,521 SF (35.91%)
 BUILDING: 2,000 SF
 STAIRS/EQUIP. PADS: 96 SF
 DRIVEWAY: 425 SF
 TOTAL PERVIOUS = 4,499 SF (64.09%)
 8. SETBACKS:
 FRONT - 20'
 SIDE - 8'
 REAR - 15'



This item has been digitally signed and sealed by **Erin Leah Tumolo, PE.**, on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



Erin L. Tumolo
 Digitally signed by Erin L. Tumolo
 Date: 2022.01.14 10:15:33 -05'00'
 ERIN LEAH TUMOLO
 FL LICENSE NO. 69073

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M MORRIS ENGINEERING AND CONSULTING, LLC
 Civil Engineering and Land Development Consulting
 6997 Professional Parkway East, Suite B, Lakewood Ranch, Florida 34240 C.A.28780 941-444-6644
 www.morrisengineering.net

DRAINAGE PLAN
6830 LONGBOAT DRIVE SOUTH
 LONGBOAT KEY, FLORIDA

DATE	12/01/21
PROJECT	6830 LONGBOAT DR
DRAWING	6830 Longboat-DP 03
DRAWN	DBH
CHECKED	ELT

SCALE 1"=10'
 SEC - TSP - RNC 15-359-18E
 SHEET **1**

BLOG PERMIT PLANS
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