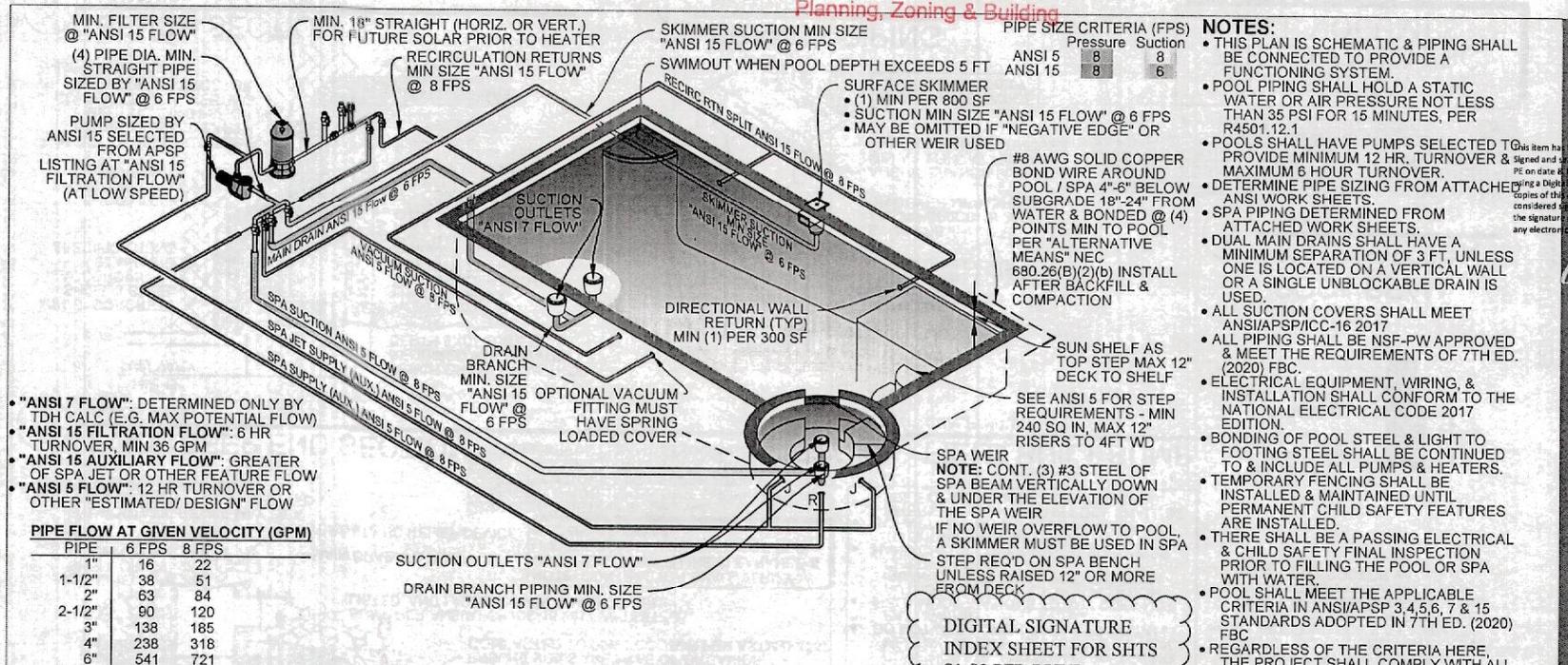


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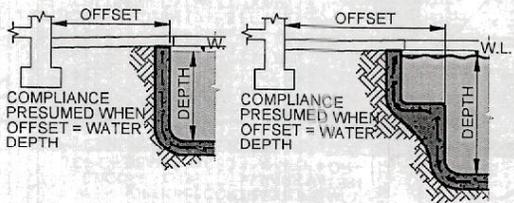
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building



1 TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN
SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:



"ANGLE OF REPOSE" OR SEE CONTRACTOR PLAN

2 PROXIMITY TO STRUCTURE
SCALE: N.T.S.

1. WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
2. WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
3. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
4. IF AFTER EXCAVATION THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.

DIGITAL SIGNATURE
INDEX SHEET FOR SHTS
S1 S2 PER RULE
61G15-23.001(4)(b), F.A.C.

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING ANSI 7 & 15 AND FBC COMPLIANCE

NOTE TO REVIEWER:
DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANSI 7-SUCTION ENTRAPMENT COMPLIANCE

COMPLIES WITH
7TH ED. (2020) FBC,
ALL VOLUMES



3990 SR 64 E
Bradenton, FL 34209
Office: 941-749-0311
C.A. 27189

KIMES ENGINEERING

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Adobe Acrobat version: 021.002.20099

REV. DATE DESCRIPTION
PROJ. NO.: DWG BY: MCM
CHK BY: JKK
DATE: 01-Jan-21
VERSION: 21-Dec-20

FOR USE IN: SARASOTA COUNTY
BY: GETTLE POOLS, INC.

TYPICAL PLAN & SECTIONS
FOR RESIDENTIAL POOL/SPA

EXPIRES 01/15/2023

SHEET
S1
SHEET 1 OF 2

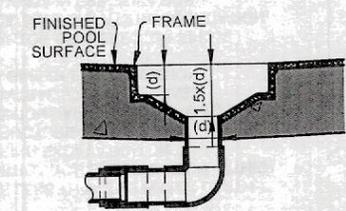
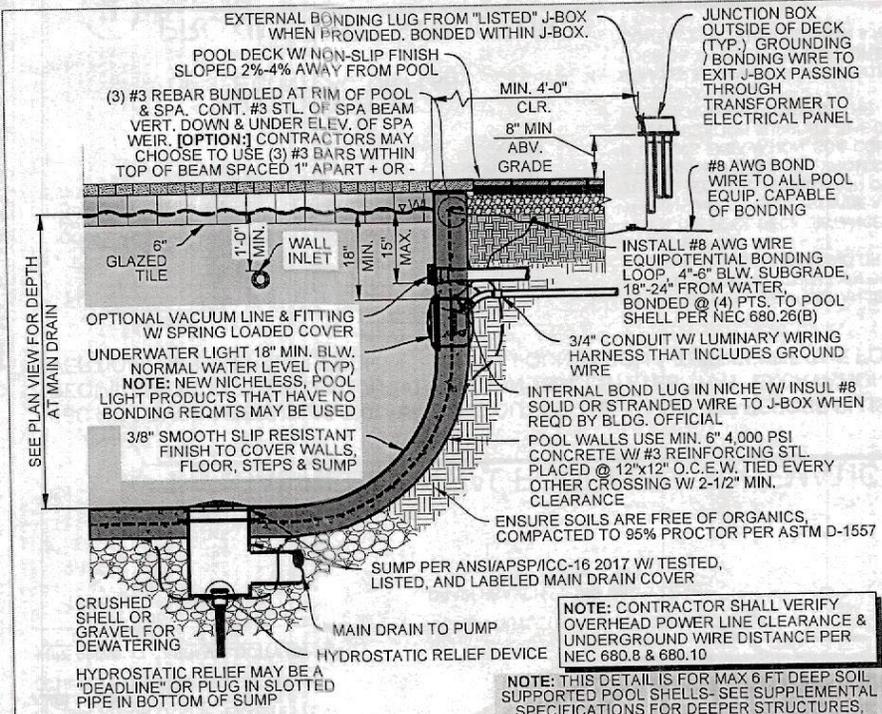
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building



SEE DIGITAL SIGNATURE ON INDEX SHT S1



SPECIFIED PVC PIPE SIZE (d)
MIN. SUMP DEPTH 1.5x(d)
MIN. LEDGE DEPTH (d)
- OR -
FOR FIELD BUILT SUMPS SEE PRODUCT INSTALLATION INSTRUCTIONS

DRAIN COVERS & SUMPS a.k.a. SUCTION OUTLET FITTING ASSEMBLIES (SOFA) ANSI/APSP/ICC-16 2017

- FOLLOW THE PRODUCT SPECIFICATIONS AND/OR INSTALLATION INSTRUCTIONS FOR MIN./MAX. SUMP DIMENSIONS, DRAIN COVER/GRATE, AND FRAME FASTENING MEETING MFG'S SOFA CERTIFICATION.
- DO NOT USE POWER TOOLS TO INSTALL FASTENERS
- FIELD MODIFICATIONS TO ANY SOFA NOT AUTHORIZED BY MFGR INSTALLATION INSTRUCTIONS SHALL VOID THE SOFA CERTIFICATION
- HAND CHECK COVER/GRATE SNUGGNESS TO SUMP/FRAME AFTER INSTALLATION
- SOFA COMPONENTS HELD IN PLACE BY INTERIOR FINISH OF THE POOL SHALL BE FREE OF DETERIORATION AND VOIDS

NOTES:

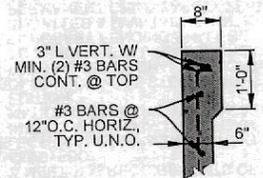
- APPROVED PRODUCT SPECIFICATION MAY DIFFER FROM FIELD BUILT SUMPS SHOWN ON THIS PAGE

ADDITIONAL STRUCTURAL NOTES:

- USE MINIMUM ASTM A815 GRADE 40 STEEL
- LAP #3 BARS MINIMUM 15"
- LAP #5 BARS MINIMUM 25"
- 6" SHELL THICKNESS AND 2-1/2" CONCRETE COVERAGE ARE MINIMUMS
- USE 4,000 PSI CONCRETE
- CONTRACTOR / OWNER REQUIRED TO:
 - CONTACT ENGINEER IF POOL NOT PLACED ON UNDISTURBED AND DE-WATERED EARTH THAT CAN MEET 2,000 PSF BEARING CAPACITY.
 - WHEN BURIED DEBRIS IS ENCOUNTERED OR QUESTIONABLE CONDITIONS ARE INDICATED AT THE WORK SITE PRIOR / DURING CONSTRUCTION, A SUBSURFACE CONSULTANT SHALL CONDUCT BORING(S) IN THE AREA OF THE POOL TO CONFIRM SOIL BEARING CAPACITY, CLEAR OF BURIED DEBRIS, & VERIFYING GROUND WATER LEVEL UNDER PERPECTIVE POOL AREA SHALL MEET A SOIL DENSITY AND COMPACTION MINIMUM OF 95% MODIFIED PROCTOR WITHOUT SETTLEMENT.

1 POOL DEEP END SECTION
SCALE: N.T.S.

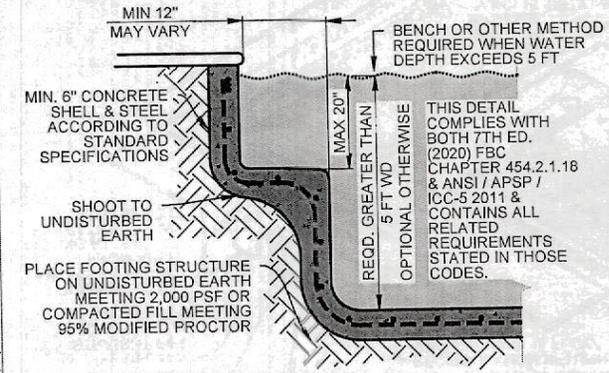
2 FIELD BUILT SUMP
SCALE: N.T.S.



5 POOL BEAM 8"x12" OPTION
SCALE: N.T.S.

NOTE: THIS DETAIL IS FOR MAX 6 FT DEEP SOIL SUPPORTED POOL SHELLS- SEE SUPPLEMENTAL SPECIFICATIONS FOR DEEPER STRUCTURES, LOAD SURCHARGE STRUCTURES, OR APPURTENANT STRUCTURES

COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES



3 BENCH SECTION
SCALE: N.T.S.



4 BRANCH PIPING
SCALE: N.T.S.

EXPIRES 01/15/2023

3950 SR 64 E.
Bradenton, FL 34208
Office: 941-749-0311
C.A. 27189

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REV.	DATE	DESCRIPTION	VERSION
KE_RSTD	DWG BY: MCM	CKD BY: JJK	01-Jan-21
			21-Dec-20

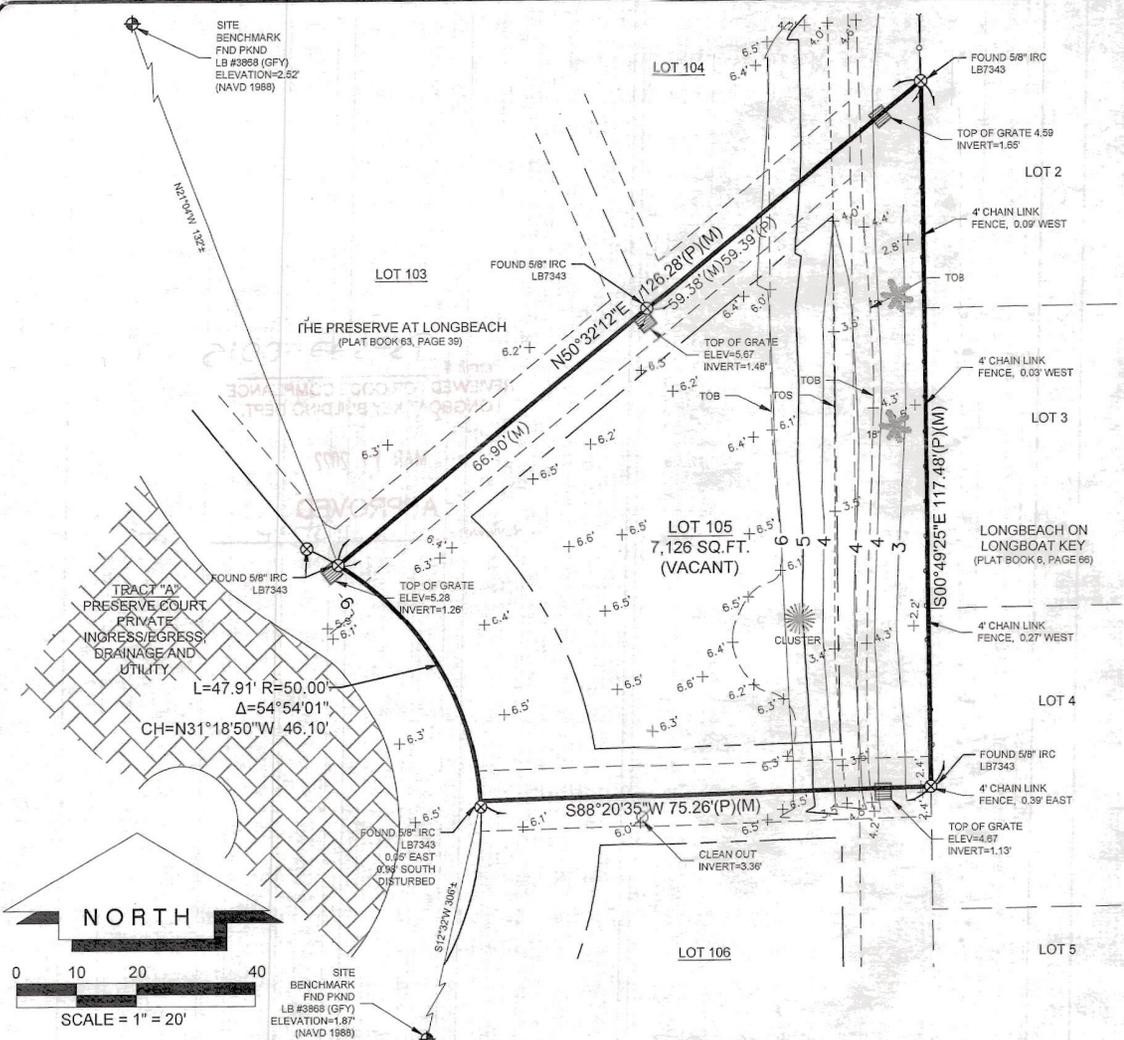
FOR USE IN SARASOTA COUNTY
BY GETTLE POOLS, INC.

TYPICAL SECTIONS
FOR RESIDENTIAL POOL/SPA

SHEET
S2
SHEET 2 OF 2

William/Company Shared Doca\2020\FBC 7TH ED\0320\FBC KE Sht Eng - r5.dwg

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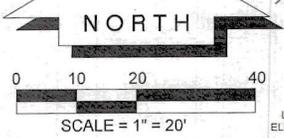


LEGAL DESCRIPTION
 LOT 105, THE PRESERVE AT LONGBEACH, AS RECORDED IN PLAT BOOK 63, PAGE 39 AND 40 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.
 CONTAINING 7,126 SQUARE FEET OR 0.16 ACRES, MORE OR LESS.

- SURVEYOR'S NOTES**
1. THE PURPOSE FOR THIS BOUNDARY SURVEY IS TO DEPICT THE BOUNDARY, TOPOGRAPHY AND TREES. THERE WERE NO TREES OBSERVED DURING THE PROCESS OF THIS SURVEY.
 2. BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), DERIVING A BEARING OF S88°20'35\"/>

LEGEND

● FND IRON PIPE (IP)	IP IRON PIPE	PLS PROFESSIONAL LICENSED SURVEYOR
○ SET IRON ROD & CAP (IRC)	CM CONCRETE MONUMENT	D.U.E. DRAINAGE & UTILITY EASEMENT
⊗ FND IRON ROD & CAP (IRC)	PG. PAGE	(M) MEASURED
⊙ NAIL AND DISK	P.O.C. POINT OF COMMENCEMENT	(P) PLAT
■ 4"x4" CONCRETE MONUMENT (CM) FND	P.O.B. POINT OF BEGINNING	TOB TOP OF BANK
ND NAIL & DISK	P.O.L. POINT ON LINE	TOS TOE OF SLOPE
CONC CONCRETE	O.R. OFFICIAL RECORDS BOOK	SQ.FT. SQUARE FEET
	R/W RIGHT OF WAY	BRICK PAVERS
	LS LICENSED SURVEYOR	ASPHALT
	LB LICENSED BUSINESS	GRATE INLET



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ESP
 ESP Associates FL, Inc.
 518 13th Street West
 Bradenton, FL 34205
 Phone: 941-345-5451
 www.espassociates.com
 PROFESSIONAL SURVEYORS
 AND MAPPERS LB #7343

NO.	DATE	DESCRIPTION	BY	CHK.
5				
4				
3				
2	11/09/2021	REVISED NOTE #5	RLW	PJT
1	09/17/2021	ADDED TREES	RLW	PJT

REVISIONS

BOUNDARY, TOPOGRAPHIC AND TREE SURVEY
 OF
LOT 105 THE PRESERVE AT LONGBEACH
 PARCEL ID:
 7782201259
 SECTION 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

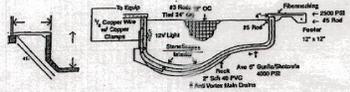
PREPARED FOR:
JORDAN SCHRADER
 PROJECT NUMBER: GR01.800.000
 DATE OF FIELD SURVEY: 08/12/2021
 DRAWN BY: RLW DATE: 08/15/2021
 CHECKED BY: PJT DATE: 08/19/2021
SHEET 1 OF 1

CERTIFIED TO: Jordan Schrader and Brittany Schrader, Valley National Bank, Hobby & Hobby, P.A., Old Republic National Title Insurance Company, Williams Perez Diaz & O'Connell, PLLC
 I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED UNDER MY DIRECT SUPERVISION
 ON THE DATE SHOWN AND CONFORMS TO THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA IN ACCORDANCE WITH CHAPTER 9J-17.052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 47.002, FLORIDA STATUTES.
 08/19/2021
 DATE
 WALTER J. SMITH
 FLORIDA CERTIFICATE NO. 4807
 DOCUMENT NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND SEAL OF WALTER J. SMITH, FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.

Gettle Pools, Inc.

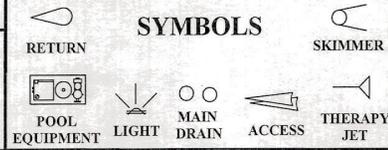
1933 Barber Rd, Sarasota, FL 34240

Lic: #CPC1456906 Scott Gettle ~ President
 Office: 941-366-6267 Cell: 941-915-9105
 Fax: 941-379-6126 scottgettle@msn.com



DESIGN & SALES

Designer: Carly Hoffner
 Contractor: Scott Gettle
 Date: 03-03-2022



POOL SPECIFICATIONS

Size: 13' X 24' Sq Ft: 312'
 Depth: 3' To 5' Perimeter: 74'
 Cleaning System: No Skimmers: 1
 Light In Pool: 1 LED Return: 3
 Vac Line: No Swim Out/Bench: Yes
 Earth Disposal: Dig & Drop Dirt
 Interior Material: StoneScapes, Lifetime Warranty
 Notes: Pool & Spa Coping Is 1'2" Wide

SPA SPECIFICATIONS

Size: 5'6" X 6' Sq Ft: 33'
 Depth: 3' Perimeter: 23'
 Raised Height: FLUSH Spillway: Yes, 12"
 Light In Spa: 1 LED Therapy: 4 Wall, 4 Floor
 Interior Material: StoneScapes, Lifetime Warranty
 Notes: Spa Must Have Entry Step Due To Flush Height

EQUIPMENT SPECIFICATIONS

Pool Pump: Pentair Intelliflo
 Filter: Pentair Clean & Clear 200
 Gas Heat: N/A
 Chlorinator: Pentair IC40 Salt
 Automation: Pentair EasyTouch W/ ScreenLogic/App

DECK SPECIFICATIONS

Deck Type: Deck By Others
 Total Deck Sq Ft: _____ Perimeter: _____
 Notes: _____

CUSTOMER APPROVAL

I have reviewed and I give my approval to proceed with the

Customer Signature: _____

Date _____

NOTES:
 (1) Safety Feature: Over The Side Pool & Spa Alarms, Baby Barrier

BLDG PERMIT PLANS
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Umbrella Sleeve,
 Centered On Sunshelf

Zero Entry Edge -
 Sunshelf

Baby Barrier To Be A Minimum
 Of 20" Away From Pool

Scale: 1/8" = 1 ft

CUSTOMER INFORMATION

Name: Schrader Residence Phone: N/A
 Address: 600 Preserve Court
 City: Longboat Key Zip Code: 34228

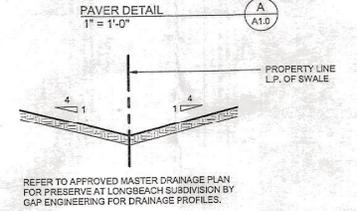
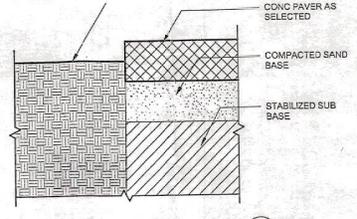
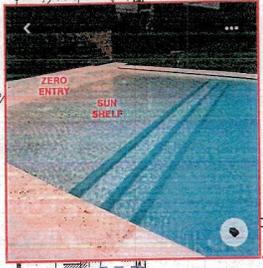
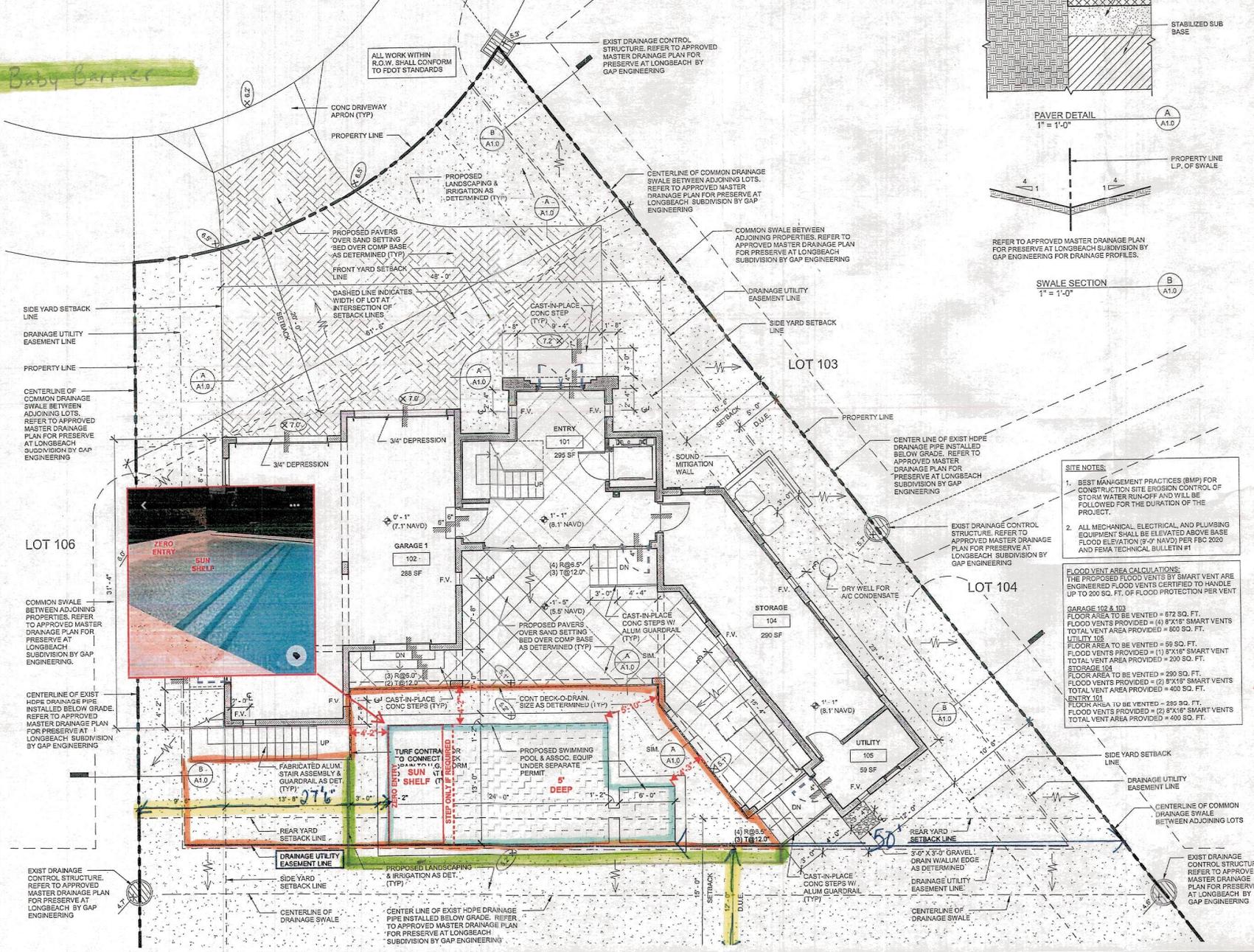
NOTE: All dimensions may vary slightly (5% tolerance) depending on each home plan. Door pads, equipment pads, windows, doors, sliders, and baby barrier are for illustrative purpose only. Final location of equipment will be determined by contractors requirements.

NOTE: Gettle Pools is NOT licensed to do gas line hook ups. This is the homeowners responsibility.

NOTE: This price is based on having sufficient access to the pool area. 8'6" is needed to avoid additional expense.

Site Plan - 1"=1'

Baby Barrier



SITE NOTES:

- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUNOFF AND WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE ELEVATED ABOVE BASE FLOOD ELEVATION (3'-0" NAVD) PER FBC 2020 AND FEMA TECHNICAL BULLETIN #1

FLOOD VENT AREA CALCULATIONS:
THE PROPOSED FLOOD VENTS BY SMART VENT ARE ENGINEERED FLOOD VENTS CERTIFIED TO HANDLE UP TO 200 SQ. FT. OF FLOOD PROTECTION PER VENT

GARAGE 102 & 103:
FLOOR AREA TO BE VENTED = 872 SQ. FT.
FLOOD VENTS PROVIDED = (4) 8'X10' SMART VENTS
TOTAL VENT AREA PROVIDED = 800 SQ. FT.

UTILITY 105:
FLOOR AREA TO BE VENTED = 59 SQ. FT.
FLOOD VENTS PROVIDED = (1) 8'X10' SMART VENT
TOTAL VENT AREA PROVIDED = 200 SQ. FT.

STORAGE 104:
FLOOR AREA TO BE VENTED = 290 SQ. FT.
FLOOD VENTS PROVIDED = (2) 8'X10' SMART VENTS
TOTAL VENT AREA PROVIDED = 400 SQ. FT.

ENTRY 101:
FLOOR AREA TO BE VENTED = 285 SQ. FT.
FLOOD VENTS PROVIDED = (2) 8'X10' SMART VENTS
TOTAL VENT AREA PROVIDED = 400 SQ. FT.

- REFER TO CIVIL PLANS FOR REQUIRED SITE WORK AND OTHER RELATED ITEMS, SUCH AS BUT NOT LIMITED TO, PAVING, FILL, MARKINGS, SIGNAGE, STORM DRAINAGE, SEWER LINES, WATER AND FIRE LINES ETC.
- FOR SITE PREP WORK AND RECOMMENDATIONS FOR SUB SOIL CONDITIONS AND RECOMMENDATIONS BASED UPON EXISTING CONDITIONS THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND FOLLOW THESE RECOMMENDATIONS AS PART OF HIS SCOPE OF WORK.
- REFER TO ELECTRICAL PLAN FOR ALL REQUIRED ELECTRICAL SITE WORK REQUIREMENTS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING FOR ANY REQUIRED TIES FOR FINAL COORDINATION AND FOLLOW FIELD ADJUSTMENTS BE REQUIRED.
- RE-WORK EXISTING/PROVIDE NEW CANOPY TREES AS REQUIRED BY TOWN OF LONGBOAT KEY ZONING CODE.
- NAVD REFERENCE ELEVATIONS SHOWN ARE BASED UPON FEMA FLOOD MAP # 12081C0291E, 3/17/2014, ZONE AE (EL 0) AS ADOPTED BY THE TOWN OF LONGBOAT KEY, MANATEE COUNTY, FLORIDA AS OF THE ISSUANCE OF THESE DRAWINGS DATED 8/6/2021.

SCHRADER RESIDENCE

800 Preserve Court
Longboat Key, Florida 34228

ARCHITECT OF RECORD
C. ALAN ANDERSON ARCHITECT, P.A.
3905 Midland Road Sarasota, Florida 34231
Phone (941) 955-0282 Fax (941) 929-0328

Structural Engineer
SNELL ENGINEERING CONSULTANTS
1517 State Street, Suite 202 Sarasota, FL 34238
Phone (941) 955-0861 Fax (941) 255-3773

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Planning, Zoning & Building

Permit & Construction Drawings
6 AUGUST 2021

BLDG. PERMIT PLAN
FILE COPY

Sealed by: **C. ALAN ANDERSON, FLS 0000171**
To the best of the architect's professional knowledge, said plans and specifications comply with applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapters 222 and 633, Florida Statutes.

REVISION	DATE	DESCRIPTION
.....	10/10/21	PLAN REVIEW CORRECTIONS
.....
.....
.....

DRAWN BY: CAX

SITE & DRAINAGE PLAN



ABBREVIATIONS

Table of abbreviations for architectural and structural elements, including materials, finishes, and construction details.

SYMBOL LEGEND

Symbol legend defining architectural symbols for wall types, window types, door types, and other building components.

ZONING DATA & AREA CALCS

Zoning data and area calculations table showing required vs. proposed values for zoning classification, lot area, setbacks, and building coverage.

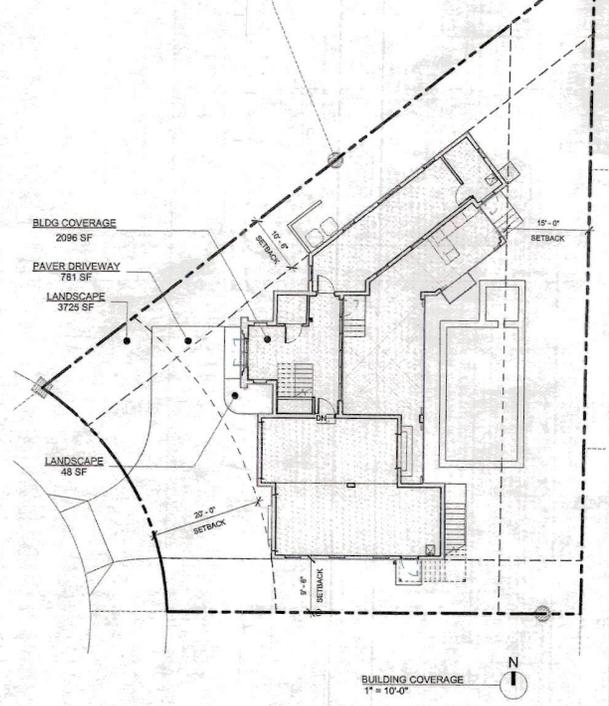
FBC 2020 (7TH Ed.) - RESIDENTIAL

INDEX TO DRAWINGS

Index to drawings table listing architectural and structural drawings with their respective sheet numbers.

BUILDING & LOT AREA DATA

Parcel ID: 7782201259
Situs Address: 800 PRESERVE CT, LONGBOAT KEY FL 34228-1038
Jurisdiction: TOWN OF LONGBOAT KEY
Short Description: LOT 106 THE PRESERVE AT LONGBOAT KEY #77822 01259



GENERAL NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY ACQUAINT HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS...
2. ITEMS, MATERIALS OR EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS AS FURNISHED BY OWNER...
3. BEFORE ORDERING MATERIAL OR STARTING ANY WORK, THE CONTRACTOR SHALL IN ALL CASES VERIFY MEASUREMENTS AT THE SITE OR PREMISES AND CHECK SAME AGAINST DRAWINGS...

VICINITY MAP



RECEIVED stamp: MAY 05 2022 TOWN OF LONGBOAT KEY Planning, Zoning & Building

SCHRADER RESIDENCE

680 Preserve Court
Longboat Key, Florida 34228

ARCHITECT OF RECORD
C. ALAN ANDERSON ARCHITECT, P.A.
3908 Midland Road
Sarasota, Florida 34235
Phone (941) 550-1519

Structural Engineer
SMELL ENGINEERING CONSULTANTS
1201 Main Street, Suite 202
Sarasota, FL 34235
Phone (941) 554-0681 Fax (941) 226-3773

General Contractor
RLK HOMES, INC.
1201 Main Street, Suite 202
Sarasota, FL 34235
Phone (941) 550-1517 License # CRC058224

Permit & Construction Drawings
6/4/2022

Scale: As Indicated
2021.28
A0.1
6 AUGUST 2021