

Longboat Key Planning, Zoning & Building
Approved for Zoning:
For Statement of
Zoning Compliance Only

Name Mail Chiff Date 4/14/22

PROPOSED RESIDENCE

F.F.E. = 9.5' NGVD
1 STORY C.B.S. CONSTRUCTION
UP TO 7' COURSE STEEL WALL @ HOUSE, CH-20
UP TO 2' COURSE @ POOL, CH-20

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	419.74'	209.09'	206.94'	N 72°55'18" E	28°32'30"
C2	50.00'	51.49'(P)	48.50'	N 43°39'39" E	58°01'47"
C3	49.99'	39.56'(P)	39.54'(F)	N 36°03'33" E	45°19'07"



LEGEND



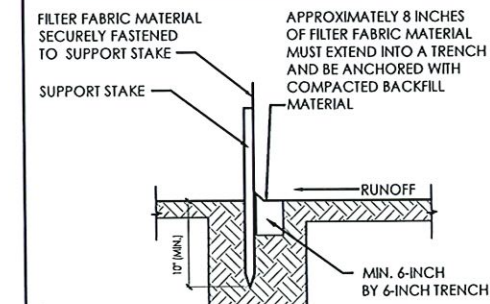
TREE DISCLOSURE

THE PURPOSE OF THIS DISCLOSURE IS TO ACKNOWLEDGE THAT JOHN CANNON HOMES, INC. MIGHT NEED TO TRIM EXISTING TREES IN ORDER TO BUILD THIS HOUSE, BUT JOHN CANNON HOMES, INC. DOES NOT WARRANT OR GUARANTEE SURVIVAL.

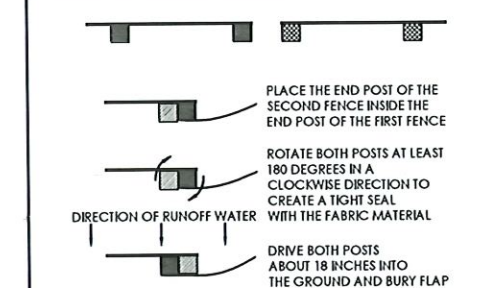
SILT FENCE DETAILS & NOTES

- STAKES SPACED @ 8' MAXIMUM. USE 2" X 2" WOOD OR EQUIVALENT STEEL STAKES.
- SILT FENCE TO BE INSTALLED AT PERIMETER OF CONSTRUCTION AREA ALONG PROPERTY LINE AS PER SURVEY/PLAN AND WILL REMAIN IN PLACE DURING CONSTRUCTION. MAY BE ADJUSTED AS NEEDED TO ACCOMMODATE INSTALLATION OF FENCING, WALLS, LANDSCAPING, AND TREE RELOCATIONS. A DOUBLE SILT SCREEN SHALL BE MAINTAINED ALONG THE SHORELINE AND UPSTREAM OF MANGROVES.
- PERMANENT LANDSCAPING MUST BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PROCESS. THIS INCLUDES BOXING THE TREE TRUNKS BEHIND A 2' X 4' FENCE WHICH ALSO SURROUNDS THE ROOTS.
- FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.
- SILT FENCE TO BE INSPECTED AFTER EACH STORM EVENT AND TO BE MAINTAINED AS REQUIRED.
- SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
- EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED TO MATCH SWALE DETAIL.
- ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

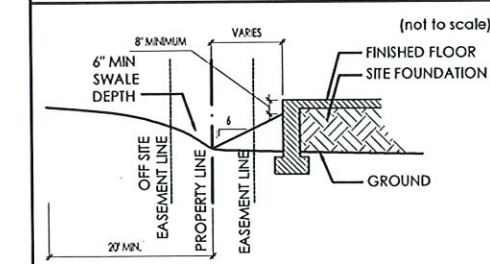
STANDARD FILTER FABRIC FENCE (not to scale)



JOINING SILT FENCES (not to scale)



SWALE DETAIL



SITE & DRAINAGE PLAN NOTES

- SURFACE SLOPES SHALL NOT EXCEED ONE FOOT VERTICAL RISE IN SIX FEET HORIZONTAL DISTANCE WITHIN FIVE FEET OF ANY PROPERTY LINE.
- ALL ON-SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF SITE DRAINAGE FACILITY.
- SITE DRAINAGE TO BE CONSISTENT WITH ANY EXISTING SUBDIVISION STORM WATER MANAGEMENT PLAN.
- SWALE SLOPES SHALL BE A MINIMUM OF 0.23% LONGITUDINAL SLOPE.
- SITE RUNOFF MAY BE DIRECTED TO REAR OF LOT IF AN APPROVED DRAINAGE GREENBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
- ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SITE DRAINAGE TO BE SWALED AS TO NOT ALLOW DRAINAGE ON TO ADJACENT PROPERTIES.
- A REGISTERED FLORIDA SURVEYOR SHALL LOCATE BUILDING ON SITE FOR CONFORMANCE PRIOR TO FOOTING PLACEMENT.
- IF APPLICABLE, ALL PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT, INCLUDING DUCTWORK WILL BE LOCATED ABOVE THE DESIGN FLOOD ELEVATION (DFE). DFE = BASE FLOOD ELEVATION (BFE) + 1'-0" FREEBOARD.
- IF APPLICABLE, ALL MATERIALS BELOW THE DFE WILL BE MADE OF FLOOD RESISTANT MATERIAL.
- IF APPLICABLE, NO PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT, WILL BE INSTALLED IN THE ELEVATOR SHAFT UNLESS IT IS REQUIRED FOR THE ELEVATOR OPERATION.
- ALL TOPOGRAPHIC INFORMATION IS SHOWN IN NAVD.
- UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO STRUCTURAL ITEMS AND DO NOT INCLUDE FINISHES. DIMENSIONS, SIZES, MEASUREMENTS AND LOCATION INSTRUCTIONS ARE NOMINAL AND APPROXIMATE AND MAY VARY FROM WHAT IS SPECIFIED

LOT 92

AREA CALCULATIONS

BUILDING AREAS	
MAIN LIVING LEVEL	4,022 SQ. FT.
GARAGE	1,063 SQ. FT.
ENTRY	70 SQ. FT.
FRIENDS ENTRY	35 SQ. FT.
LANAI	602 SQ. FT.
TOTAL UNDER ROOF	5,792 SQ. FT.
LOWER POOL AREA	1,365 SQ. FT.
UPPER POOL AREA	336 SQ. FT.
EQUIP. PADS & STAIRS	172 SQ. FT.
LANDSCAPE PADS	50 SQ. FT.
DRIVEWAY	1,748 SQ. FT.
TOTAL ADDITIONAL COVERAGE	3,671 SQ. FT.
ALLOWABLE BUILDING COVERAGE: 35% (6,891 SF)	
ACTUAL BUILDING COVERAGE: 29% (5,792 SF)	
ALLOWABLE IMPERVIOUS LOT COVERAGE: 75% (14,767 SF)	
ACTUAL IMPERVIOUS LOT COVERAGE: 48% (9,463 SF)	

BLDG. PERMIT PLANS
FILE COPY OF RECORD

RECEIVED
MAR 31 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SITE AND DRAINAGE PLAN
SCALE: 3/32" = 1'-0"



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A NEW CUSTOM RESIDENCE FOR
MR. & MRS. WITHERS
670 Old Compass Rd | Longboat Key, Florida | 34238
Lot 91 | Emerald Harbor | Town of Longboat Key

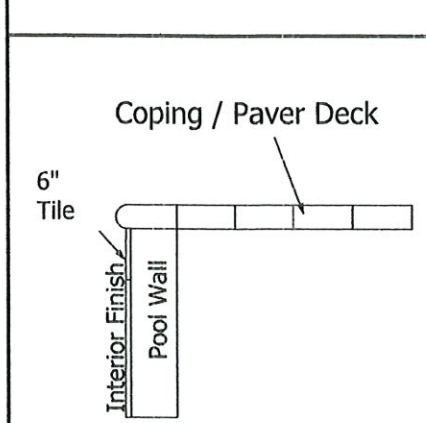
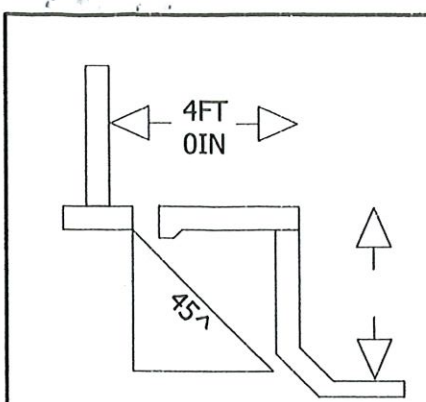
REV	DATE	DESCRIPTION	BY	CHK	APP
1	04/14/2022	PRELIMINARY SITE AND DRAINAGE PLAN			
2	04/14/2022	REVISIONS			
3	04/14/2022	CONSTRUCTION DOCUMENTS			

DRAWING TITLE

SITE AND DRAINAGE PLAN

SHEET NUMBER

A1.0



MARCITE / QUARTZ DISCLAIMER
Marcite / Quartz is composed of natural materials which have certain inherent characteristics. A certain amount of shading or color variation is a natural occurrence and should not be construed as a defect. Therefore, Marcite / Quartz is warranted only to waterproof the pool.

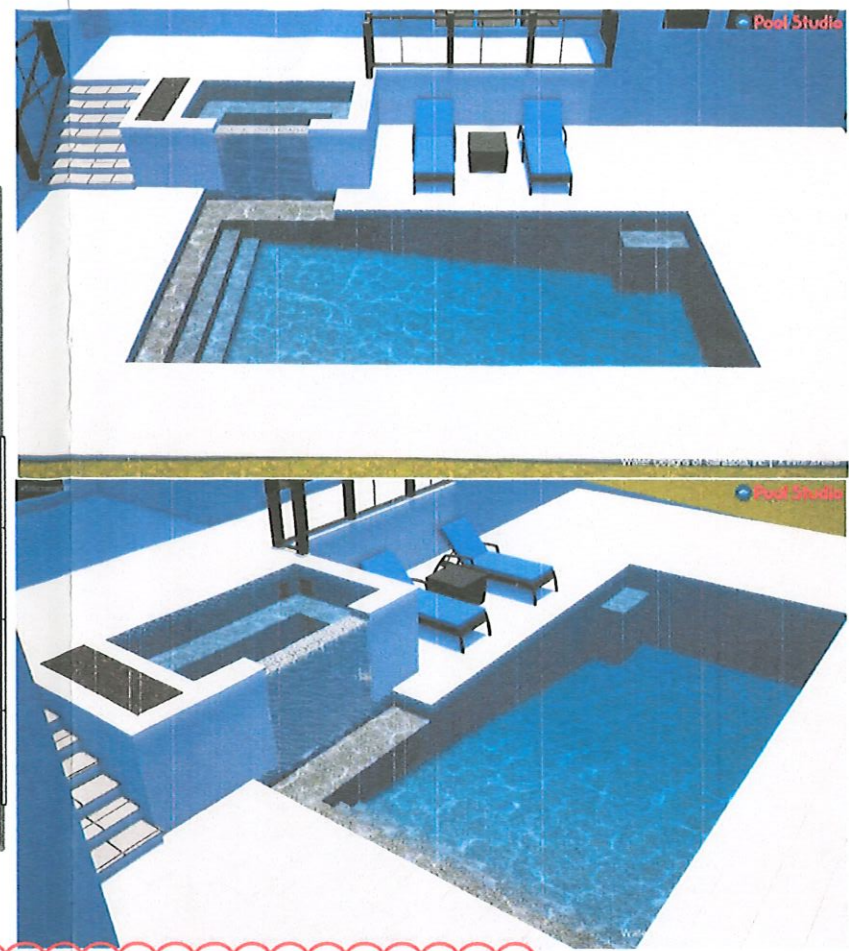
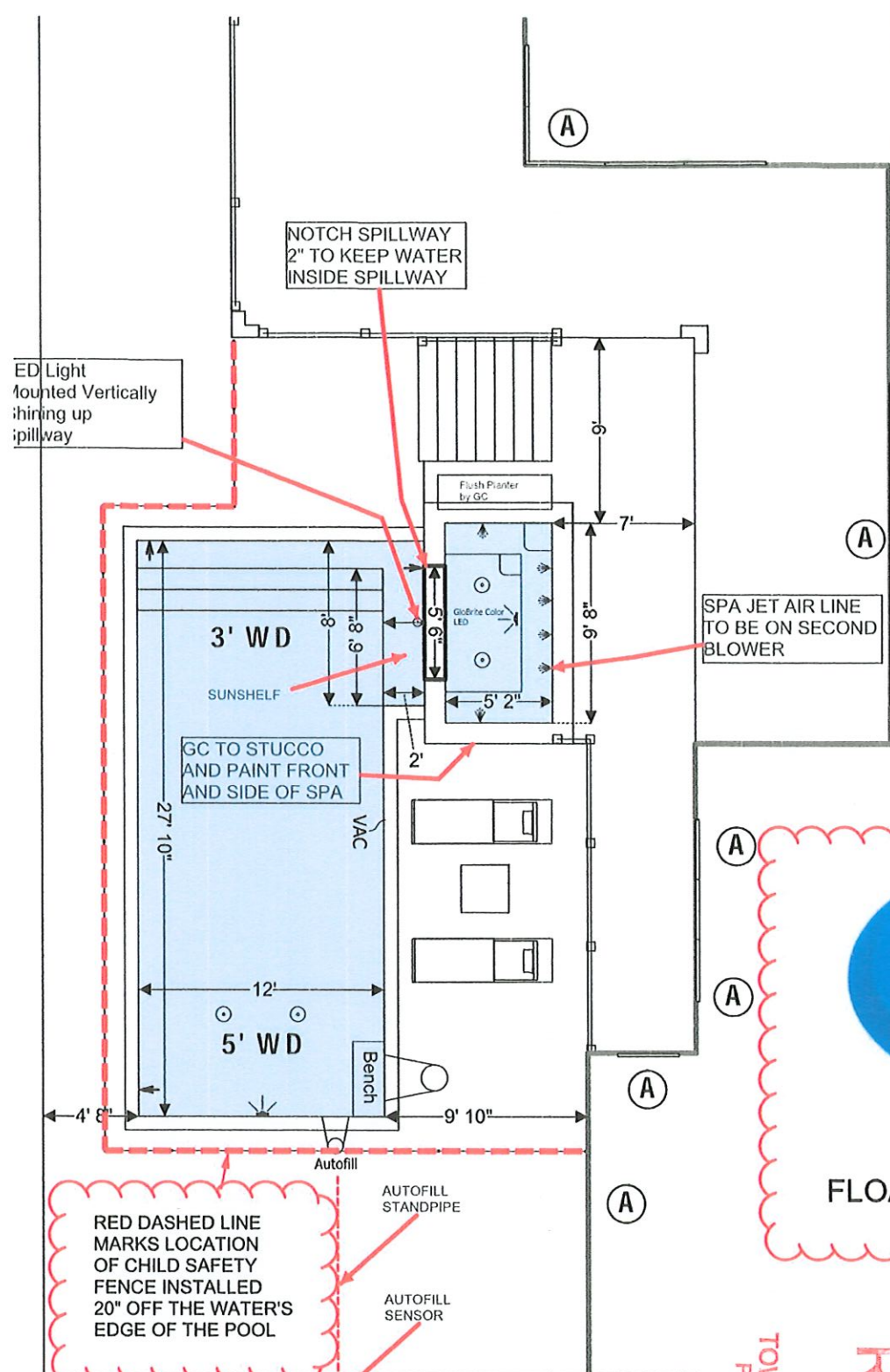
NOTE: dimensions may vary slightly depending on each home, this plan is property of Water Designs of Sarasota, Inc.

Termite = Bait

313 INTERSTATE COURT
SARASOTA, FL 34240

LIC. CPC 057253
PH. 941-341-9930
FAX 941-341-9933

Water Designs of Sarasota, Inc.
CPC 057253



RECEIVED
APR 24 2025
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

Pool Equipment to have sound mitigating wall min. 2" thick and no less than 18" above equipment

APPROVED
APR 25 2025
Reviewer: [Signature]
Scale: 1/8" = 1 ft

CUSTOMER INFORMATION	
NAME:	JCH - WITHERS
ADDRESS:	670 OLD COMPASS ROAD
CITY:	LONGBOAT KEY
STATE:	FL
ZIP:	34228
HOME:	
WORK:	941-924-5935
CELL:	
LEGAL DESCRIPTION:	LOT 91
BLOCK:	
SUBDIVISION:	EMERALD HARBOR
PLAT BOOK:	
PAGE:	
JOB#:	
COUNTY:	MANATEE
POOL SPECS	
POOL SIZE:	27'10" X 12'
DEPTH:	3' - 5'
POOL AREA:	350SF
PERIMETER:	84'
EARTH DISPOSAL:	DIG / DROP
SKIMMER:	BERMUDA
RETURNS:	3
INTERIOR:	PEBBLE
PUMP:	INTELLIFLO VSF
TILE:	YES
FILTER:	CLEAN & CLEAR 200
LIGHT:	(2) GLOBRITE LED
HEATER:	MASTERTEMP 400 NG
CHLORINATOR:	IC20 SALT
TIMER:	EASYTOUCH 4
TRANSFORMER:	PX100
ELEVATION:	FIELD VERIFY
CLEANER:	VAC LINE
ELECTRIC BY:	WD FROM BUILDER STUB
HANDRAIL:	NA
SPECIAL:	INSTALL ONE LIGHT TO SHINE VERTICALLY UP SPA SPILLWAY
SPA SPECS	
SHAPE:	RECTANGLE
SIZE:	9'8" X 5'2"
RAISED:	48" ABOVE POOL (VERIFY)
FLUSH:	WITH UPPER LANAI
INSIDE PERIMETER:	29'8"
SPILLWAY:	5'6" FLUSH TILE
PUMP:	W/POOL
FILTER:	W/POOL
RETURNS:	(1) IN - FLOOR
INTERIOR:	PEBBLE
THERAPY JETS:	6
TILE:	YES
SPECIAL:	SCREENLOGIC
LIGHT:	GLOBRITE LED
DECK	
DECK TYPE:	PAVER BY GC
ELEVATION:	
POOL DECK SQFT:	
GRADING BY:	
RAISED BEAM:	
LIP STYLE:	COPING
LANAI SQFT:	
MATERIAL:	
NOTES	
1: CHILD SAFETY FEATURE FLOAT STYLE ALARM AND BABY BARRIER FENCE	
2: INSTALL ADDITIONAL BLOWER ON SPA AIR LINE	
3: ELECTRONIC AUTOFILL	
4:	
DESIGNED BY: KEVIN L BROWN 11.4.2021	
Scale: 1/8" = 1' ALL DIMENSIONS 5% TOLERANCE	
* Gas line, gas tank and hook-up not included	
Pool: These plans do not make changes or alter the John Cannon Homes, Inc. plans in any way. These plans are only for the pool and items pertaining to the pool. Any other changes not limited to pool deck, planters, spillways, walkways or equipment pad size and screen wall will not be implemented without CA/CR is presented by JCH and signed by you. By signing this I acknowledge and accept this.	
LOCATION POINTS, DIMENSIONS AND CONSTRUCTION SPECIFICATIONS HAVE BEEN EXPLAINED TO ME AND I APPROVE THEM. EVERYTHING THAT WE HAVE DISCUSSED IS SHOWN AND THERE ARE NO VERBAL AGREEMENTS. I UNDERSTAND THAT ANY CHANGES WILL NECESSITATE EXTRA CHARGES.	
OWNER:	DATE: