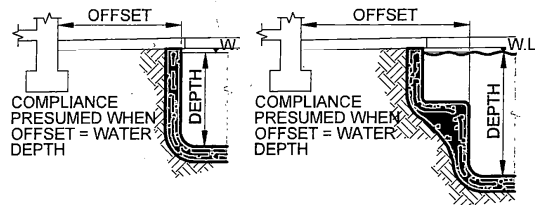


1 TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN

SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:



2 PROXIMITY TO STRUCTURE

SCALE: N.T.S.

1. WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
2. WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
3. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
4. IF AFTER EXCAVATION THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.

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NOTES:

- THIS PLAN IS SCHEMATIC & PIPING SHALL BE CONNECTED TO PROVIDE A FUNCTIONING SYSTEM.
- POOL PIPING SHALL HOLD A STATIC WATER OR AIR PRESSURE NOT LESS THAN 35 PSI FOR 15 MINUTES, PER R4501.12.1
- POOLS SHALL HAVE PUMPS SELECTED TO PROVIDE MINIMUM 12 HR. TURNOVER & MAXIMUM 6 HOUR TURNOVER.
- DETERMINE PIPE SIZING FROM ATTACHED ANSI WORK SHEETS.
- SPA PIPING DETERMINED FROM ATTACHED WORK SHEETS.
- DUAL MAIN DRAINS SHALL HAVE A MINIMUM SEPARATION OF 3 FT, UNLESS ONE IS LOCATED ON A VERTICAL WALL OR A SINGLE UNBLOCKABLE DRAIN IS USED.
- ALL SUCTION COVERS SHALL MEET ANSI/APSP/ICC-16 2017
- ALL PIPING SHALL BE NSF-PW APPROVED & MEET THE REQUIREMENTS OF 7TH ED. (2020) FBC.
- ELECTRICAL EQUIPMENT, WIRING, & INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017 EDITION.
- BONDING OF POOL STEEL & LIGHT TO FOOTING STEEL SHALL BE CONTINUED TO & INCLUDE ALL PUMPS & HEATERS.
- TEMPORARY FENCING SHALL BE INSTALLED & MAINTAINED UNTIL PERMANENT CHILD SAFETY FEATURES ARE INSTALLED.
- THERE SHALL BE A PASSING ELECTRICAL & CHILD SAFETY FINAL INSPECTION PRIOR TO FILLING THE POOL OR SPA WITH WATER.
- POOL SHALL MEET THE APPLICABLE CRITERIA IN ANSI/APSP 3.4, 5.6, 7 & 15 STANDARDS ADOPTED IN 7TH ED. (2020) FBC
- REGARDLESS OF THE CRITERIA HERE, THE PROJECT SHALL COMPLY WITH ALL SECTIONS OF THE 7TH ED. (2020) FBC - PERMIT REVIEWED FOR CODE COMPLIANCE LONGBOAT KEY BUILDING DEPT

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING ANSI 7 & 15 AND FBC COMPLIANCE

NOTE TO REVIEWER:
DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANSI 7-SUCTION ENTRAPMENT COMPLIANCE

COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES



3990 SR 64 E
Bradenton, FL 34208
Office: 941.749-0311
Cell: 941.278-1819

KIMES ENGINEERING
INC.
P.O. BOX 1000
BRADENTON, FL 34208

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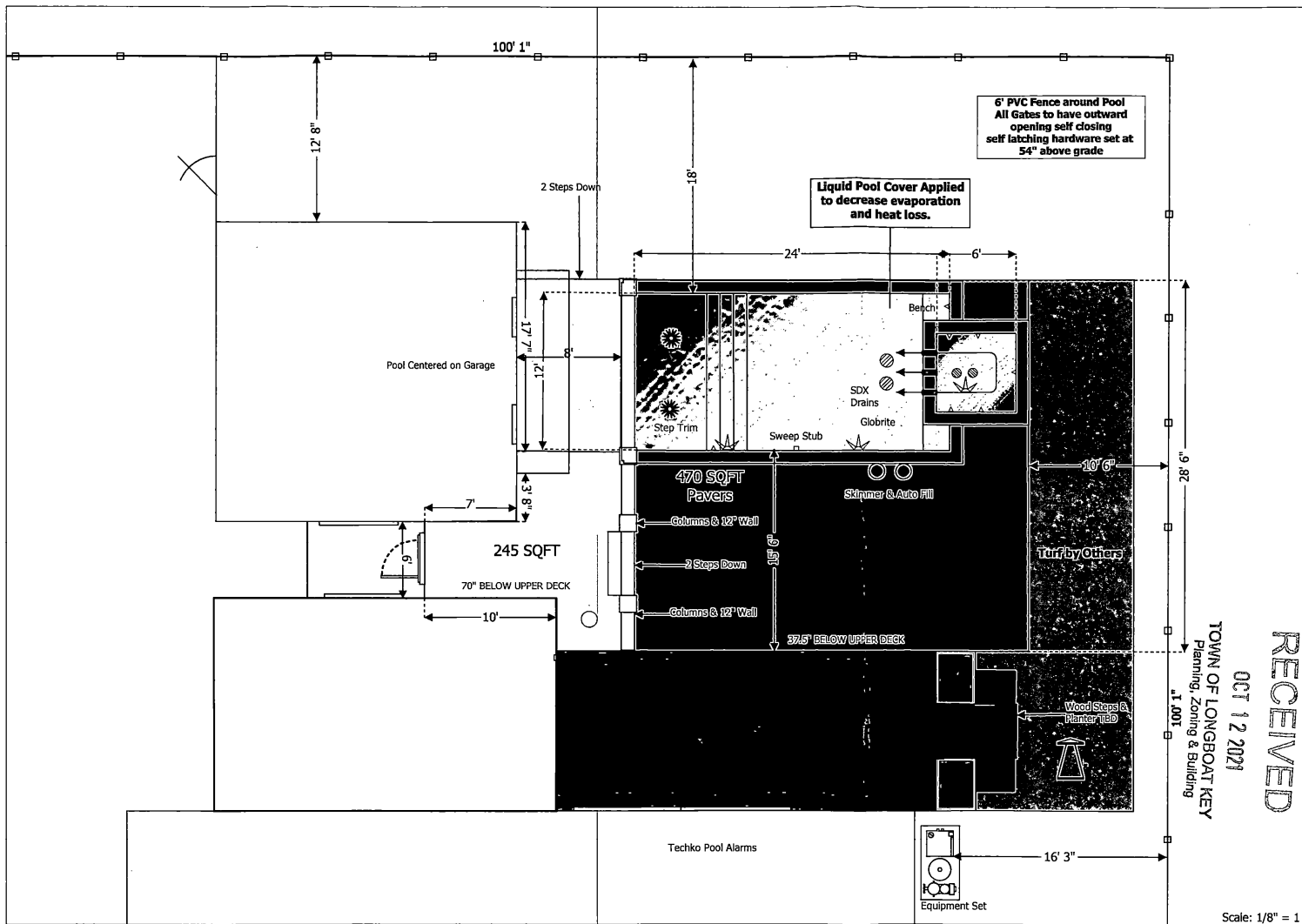
REV. DATE DESCRIPTION
JJK 08-Jan-21 21-Dec-20
DWG BY: MCM
CKD BY: JJK
PROJ. NO.: 2021-001

THIS DOCUMENT VALID FOR 12 MONTHS FROM DATE SIGNED

APPROVED
NOV 2021
BY: TOM SANGER
FOR USE IN ANY JURISDICTION
TYPICAL PLAN & SECTIONS FOR RESIDENTIAL POOL/SPA

SHEET
S1

SHEET 1 OF 2



**6010 Cortez Rd.
Bradenton, FL 34217
941-932-1414
CPC-1458020**

TOM SANGER
POOL & SPA

Designed by Josh M. Johnson

NAME: Lebel #1 10/5/2021

ADDRESS: 680 Magnolia Dr.

CITY: Longboat Key STATE: FL

PHONE: (941) 592-6608 ZIP: 34228

EMAIL: Nick@GagneConstruction.com

CELL: _____

POOL SPECS

SIZE: 12' X 24' SQFT: 275

DEPTH: 4' - 5' PERIMETER: 77

EST TOTAL GALLONS: 8,000 SKIMMERS: Yes 1

RETURNS: 3 INTERIOR MATERIAL: Mini Pebble

LIGHTS: 2 LED Globrite TILE: Glass

SPECIAL: Color Vision Bubbler on Sunshelf & Umbrella Fitting

NOTES: Water Feature Fountain Wall

SPA SPECS

SIZE: 6' X 6' SQFT: 36

DEPTH: 3'6" PERIMETER: 24

RAISED HEIGHT: 6" SPILLWAY: Open

THERAPY JETS: 4 TILE: Glass

SPECIAL: 1 LED Globrite Color

NOTES: _____

DECK

DECK TYPE: Travertine ELEVATION: Grade

TOTAL DECK SQFT: 715 PERIMETER: _____

RAISED BEAM: Yes LIP STYLE: Travertine Coping

SPECIAL: Stairs

NOTES: _____

EQUIPMENT

POOL PUMP: Pentair Intelliflo 2ND PUMP: _____

FILTRATION: IC 40 FILTER SIZE: CC 200

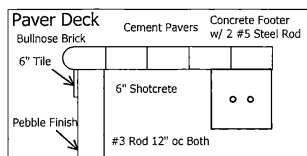
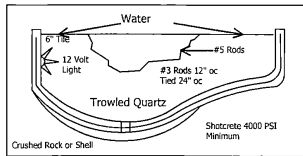
HEATER: T140 INLINE: Sweep Stub

TIMER: Easy Touch 4 Controller GAS: No

SPECIAL: Screen Logic

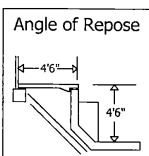
NOTES: _____

Customer Signature _____ Date _____

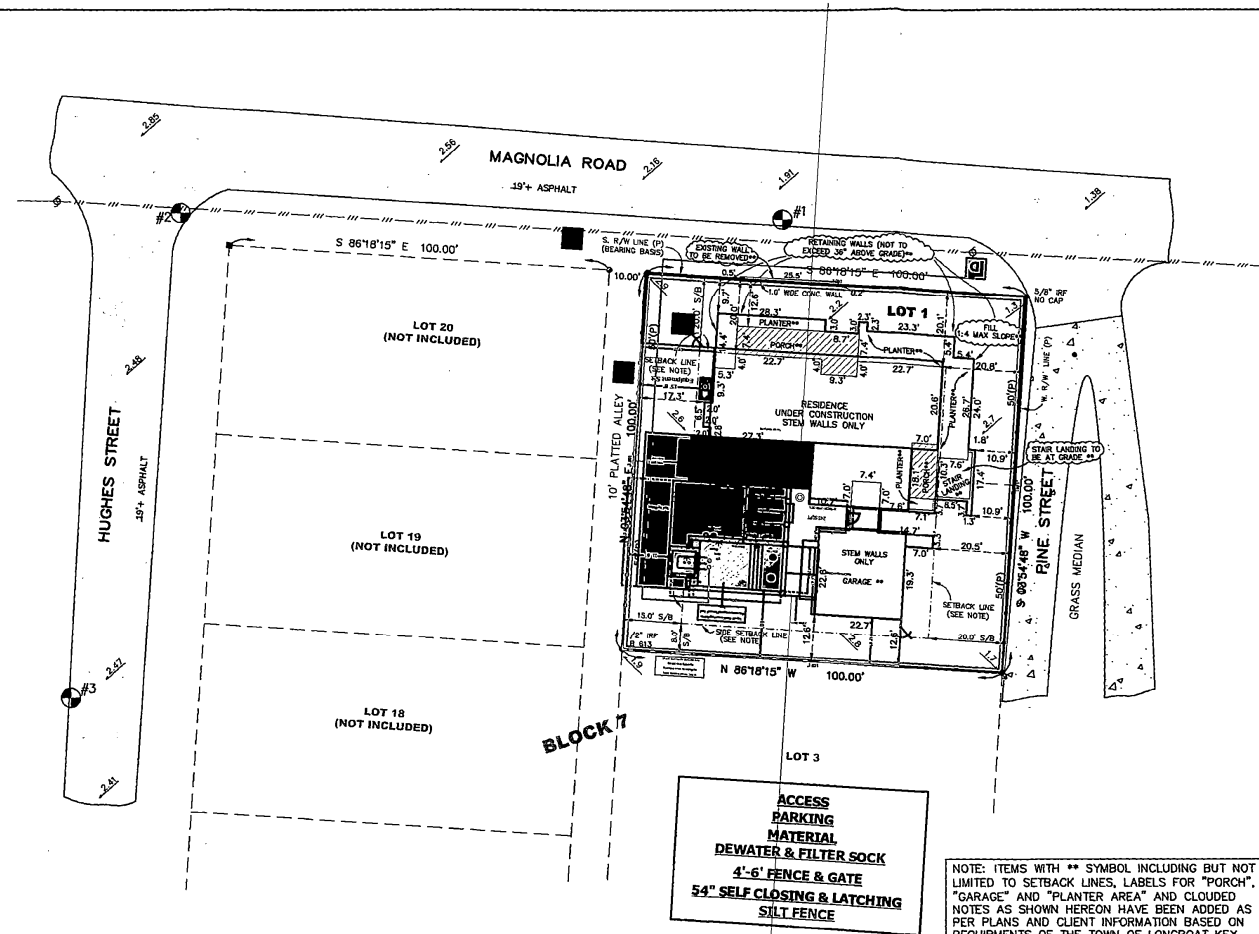


CHILD SAFETY ALARMS SHALL BE SYSTEM PREVIOUSLY APPROVED BY THE BLDG. DEPT., INSTALLED AND ACTIVE ON ALL DOORS AND WINDOWS AT TIME OF FINAL INSPECTION PURSUANT TO 424.2.17.1.9F.B.C.

#8 AWG BOND WIRE 4"-6" BELOW SUBGRADE 18'-24" FROM POOL BONDED @ 4 POINTS TO POOL SHELL NEC 680.26 (B)(2)(B)



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TOWN OF LONGBOAT KEY
Planning, Zoning & Building



DESCRIPTION:

LOTS 1 AND 2, BLOCK 7, LONGBOAT ON LONGBOAT KEY, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 66, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

NOTES:

1. BEARINGS SHOWN HEREON REFER TO THE SOUTH RIGHT-OF-WAY LINE OF MAGNOLIA ROAD BEING ASSUMED AS S86°18'15\"/>

NOTE: ITEMS WITH ** SYMBOL INCLUDING BUT NOT LIMITED TO SETBACK LINES, LABELS FOR "PORCH", "GARAGE" AND "PLANTER AREA" AND CLOUDED NOTES AS SHOWN HEREON HAVE BEEN ADDED AS PER PLANS AND CLIENT INFORMATION BASED ON REQUIREMENTS OF THE TOWN OF LONGBOAT KEY.

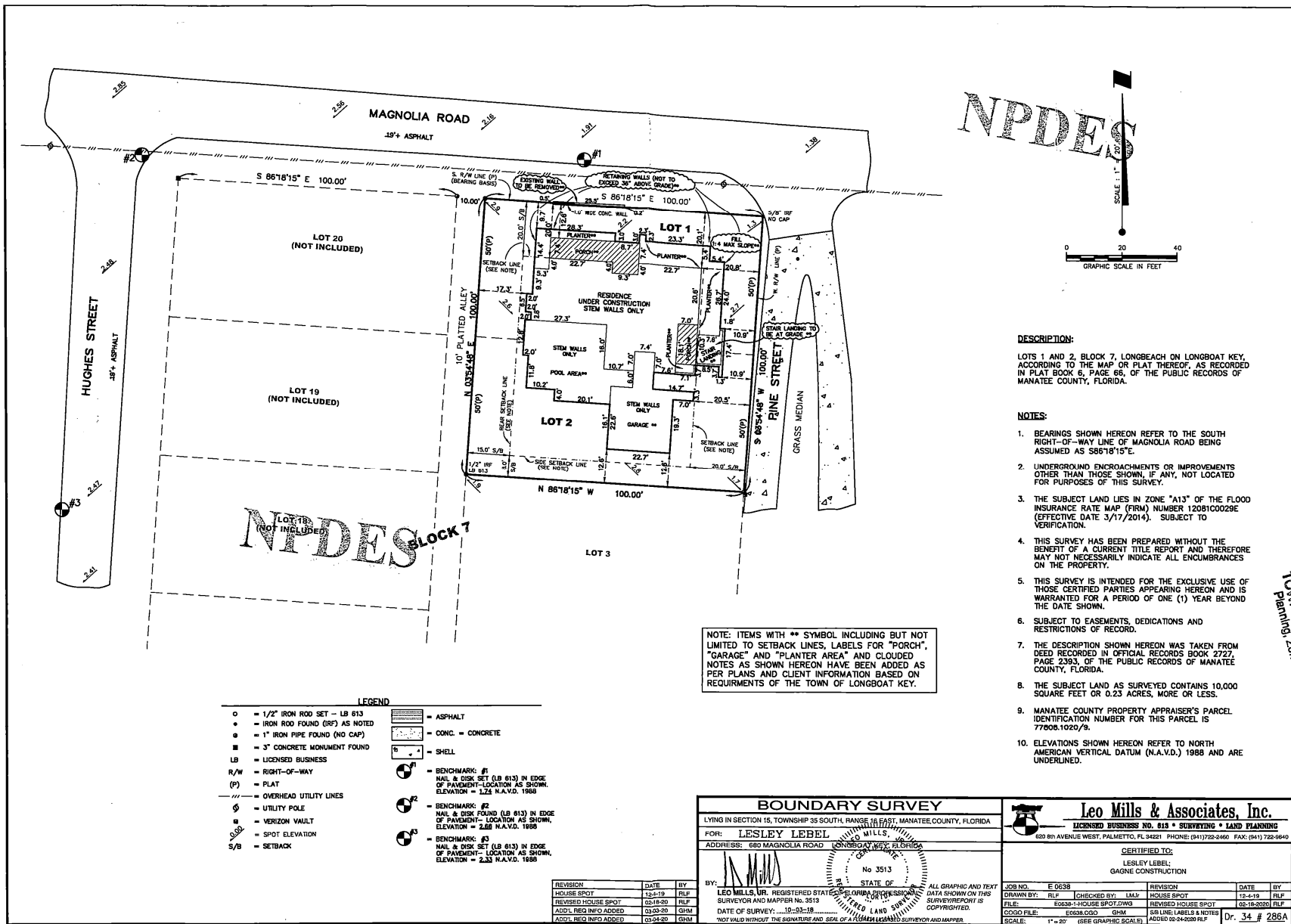
LEGEND	
○ = 1/2" IRON ROD SET - LB 613	ASPHALT
● = IRON ROD FOUND (RF) AS NOTED	CONC. = CONCRETE
○ = 1" IRON PIPE FOUND (NO CAP)	SH
■ = 3" CONCRETE MONUMENT FOUND	SH
LB = LICENSED BUSINESS	
R/W = RIGHT-OF-WAY	
(P) = PLAT	
— = OVERHEAD UTILITY LINES	
⊕ = UTILITY POLE	
⊕ = VERIZON VAULT	
⊕ = SPOT ELEVATION	
S/B = SETBACK	

REVISION	DATE	BY
HOUSE SPOT	12-4-19	RLF
REVISED HOUSE SPOT	02-19-20	RLF
ADDD. REG INFO ADDED	03-03-20	GHN
ADDD. REG INFO ADDED	03-04-20	GHN

BOUNDARY SURVEY	
LYING IN SECTION 15, TOWNSHIP 36 SOUTH, RANGE 16 EAST, MANATEE COUNTY, FLORIDA	
FOR: LESLEY LABEL	
ADDRESS: 580 MAGNOLIA ROAD LONGBOAT KEY, FLORIDA	
BY: LEO MILLS, JR. , REGISTERED STATE SURVEYOR AND MAPPER No. 3513	
DATE OF SURVEY: 10-03-18	
NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A LICENSED SURVEYOR AND MAPPER	

Leo Mills & Associates, Inc.	
LICENSED BUSINESS NO. 615 • SURVEYING • LAND PLANNING	
620 6th AVENUE WEST, PALMETTO, FL 34221 PHONE: (813) 722-2450 FAX: (813) 722-9640	
CERTIFIED TO:	
LESLEY LABEL GAGNE CONSTRUCTION	
JOB NO. E 0638	REVISION
DRAWN BY: RLF	CHECKED BY: LMF
FILE: E0638-HOUSE SPOT.DWG	REVISED HOUSE SPOT
CODING FILE: E0638.CGO	ADDED 02-24-2020 RLF
SCALE: 1" = 20'	Dr. 34 # 286A

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 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building



DESCRIPTION:

LOTS 1 AND 2, BLOCK 7, LONGBEACH ON LONGBOAT KEY, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 68, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

NOTES:

1. BEARINGS SHOWN HEREON REFER TO THE SOUTH RIGHT-OF-WAY LINE OF MAGNOLIA ROAD BEING ASSUMED AS S86°18'15"E.
2. UNDERGROUND ENCROACHMENTS OR IMPROVEMENTS OTHER THAN THOSE SHOWN, IF ANY, NOT LOCATED FOR PURPOSES OF THIS SURVEY.
3. THE SUBJECT LAND LIES IN ZONE "A13" OF THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12081C0029E (EFFECTIVE DATE 3/17/2014). SUBJECT TO VERIFICATION.
4. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
5. THIS SURVEY IS INTENDED FOR THE EXCLUSIVE USE OF THOSE CERTIFIED PARTIES APPEARING HEREON AND IS WARRANTED FOR A PERIOD OF ONE (1) YEAR BEYOND THE DATE SHOWN.
6. SUBJECT TO EASEMENTS, DEDICATIONS AND RESTRICTIONS OF RECORD.
7. THE DESCRIPTION SHOWN HEREON WAS TAKEN FROM DEED RECORDED IN OFFICIAL RECORDS BOOK 2727, PAGE 2393, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.
8. THE SUBJECT LAND AS SURVEYED CONTAINS 10,000 SQUARE FEET OR 0.23 ACRES, MORE OR LESS.
9. MANATEE COUNTY PROPERTY APPRAISER'S PARCEL IDENTIFICATION NUMBER FOR THIS PARCEL IS 77806.1029/9.
10. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988 AND ARE UNDERLINED.

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TOWN OF LONGBOAT KEY
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