

SCALE: N.T.S. FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT

DEPTH COMPLIANCE

- WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH. NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY
- WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH. THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
- IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
- IF AFTER EXCAVATION THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION

NOTES:

THIS PLAN IS SCHEMATIC & PIPING SHALL BE CONNECTED TO PROVIDE A

FUNCTIONING SYSTEM.

• POOL PIPING SHALL HOLD A STATIC WATER OR AIR PRESSURE NOT LESS THAN 35 PSI FOR 15 MINUTES, PER R4501.12.1

 POOLS SHALL HAVE PUMPS SELECTED TO PROVIDE MINIMUM 12 HR. TURNOVER & MAXIMUM 6 HOUR TURNOVER.

DETERMINE PIPE SIZING FROM ATTACHED

ANSI WORK SHEETS. SPA PIPING DETERMINED FROM ATTACHED WORK SHEETS

• DUAL MAIN DRAINS SHALL HAVE A MINIMUM SEPARATION OF 3 FT, UNLESS ONE IS LOCATED ON A VERTICAL WALL OR A SINGLE UNBLOCKABLE DRAIN IS

USED.

• ALL SUCTION COVERS SHALL MEET ANSI/APSP/ICC-16 2017

 ALL PIPING SHALL BE NSF-PW APPROVED & MEET THE REQUIREMENTS OF 7TH ED.

LECTRICAL EQUIPMENT, WIRING, & INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017 **FDITION** 

 BONDING OF POOL STEEL & LIGHT TO FOOTING STEEL SHALL BE CONTINUED TO & INCLUDE ALL PUMPS & HEATERS.

TEMPORARY FENCING SHALL BE INSTALLED & MAINTAINED UNTIL
PERMANENT CHILD SAFETY FEATURES ARE INSTALLED.

THERE SHALL BE A PASSING ELECTRICAL & CHILD SAFETY FINAL INSPECTION PRIOR TO FILLING THE POOL OR SPA WITH WATER

POOL SHALL MEET THE APPLICABLE CRITERIA IN ANSI/APSP 3,4,5,6, 7 & 15 STANDARDS ADOPTED IN 7TH ED. (2020)

 REGARDLESS OF THE CRITERIA HERE. THE PROJECT SHALL COMPLY WITH ALL SECTIONS OF THE 7TH ED. (2020) FBC RESIDENTIAL, BUILDING, MÈCHANICAL PLUMBING & GAS CODES, AS APPLICABLE RESPECTIVELY & AMENDED

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC **DETAILS SHOWING ANSI 7 & 15 AND FBC COMPLIANCE** 

NOTE TO REVIEWER: **DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANSI 7-**SUCTION ENTRAPMENT **COMPLIANCE** 

> **COMPLIES WITH** 7TH ED. (2020) FBC, **ALL VOLUMES**

SIGNED 3990 ton, F 941-DATE 12 MONTHS FROM VALID ONLY THIS DOCUMENT

DR CONCEPTS MEXICO OF POOL DESIGN GULF 5910

SHEET

SHEET 1 OF 2

REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED: COMPLIANCE PRESUMED WHEN PRESUMED WHEN OFFSET = WATER OFFSET = WATER "ANGLE OF REPOSE" OR SEE CONTRACTOR PLAN

PROXIMITY TO STRUCTURE

SCALE: NTS

RSTD

TYPICAL PLAN & SECTIONS FOR RESIDENTIAL POOL/SPA

Approximation of the Assessment of the Assessment King Property of the Assessment of

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VERSION: 21-Dec-2

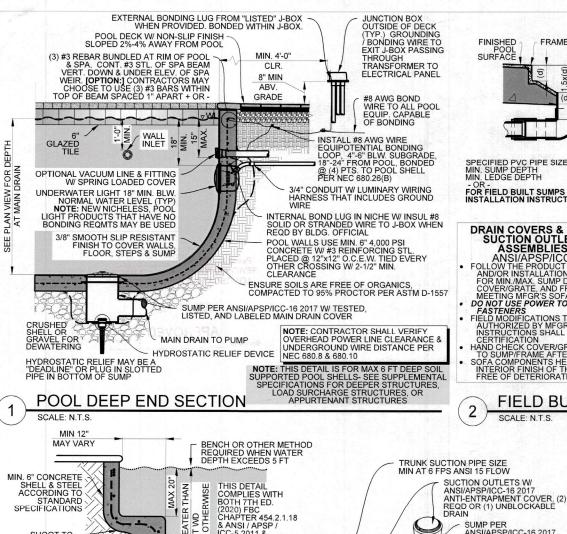
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The Story of the Story

REQUIRED.



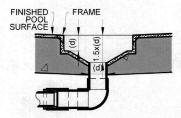
CHAPTER 454.2.1.18

& ANSI / APSP ICC-5 2011 & CONTAINS ALL

REQUIREMENTS

STATED IN THOSE CODES.

RELATED



SPECIFIED PVC PIPE SIZE MIN. SUMP DEPTH MIN. LEDGE DEPTH

FOR FIELD BUILT SUMPS SEE PRODUCT INSTALLATION INSTRUCTIONS

(d) 1.5x(d)

## DRAIN COVERS & SUMPS a.k.a. SUCTION OUTLET FITTING ASSEMBLIES (SOFA) ANSI/APSP/ICC-16 2017 FOLLOW THE PRODUCT SPECIFICATIONS AND/OR INSTALLATION INSTRUCTIONS FOR BININGS AND DIMENSIONS OF A DEATH

AND/OR INSTALLATION INSTRUCTIONS, DRAIN COVER/GRATE, AND FRAME FASTENING MEETING MFERTS SOFA CERTIFICATION. DO NOT USE POWER TOOLS TO INSTALL

DO NOT USE POWER TOOLS TO INSTALL
FASTEMERS
FIELD MODIFICATIONS TO ANY SOFA NOT
AUTHORIZED BY MFGR INSTALLATION
INSTRUCTIONS SHALL VOID THE SOFA
CERTIFICATION
HAND CHECK COVER/GRATE SNUGNESS
TO SUMP/FRAME AFTER INSTALLATION
SOFA COMPONENTS HELD IN PLACE BY
INTERIOR FINISH OF THE POOL SHALL BE
EDEE OF DETERIOR THON AND VOIDS

FREE OF DETERIORATION AND VOIDS



NOTES:

APPROVED PRODUCT SPECIFICATION MAY DIFFER FROM FIELD BUILT SUMPS SHOWN ON THIS PAGE

## ADDITIONAL STRUCTURAL NOTES: • USE MINIMUM ASTM A815 GRADE 40 STEEL • LAP #3 BARS MINIMUM 15"

LAP #5 BARS MINIMUM 25'

• 6" SHELL THICKNESS AND 2-1/2 CONCRETE COVERAGE ARE MINIMUMS

USE 4,000 PSI CONCRETE

 OSE 4,000 PSI CONCRETE
 CONTRACTOR / OWNER REQUIRED TO:
 CONTACT ENGINEER IF POOL NOT PLACED ON UNDISTURBED AND DE-WATERED EARTH THAT CAN MEET 2,000 PSF BEARING CAPACITY. .. WHEN BURIED DEBRIS IS

**ENCOUNTERED OR QUESTIONABLE** CONDITIONS ARE INDICATED AT THE WORK SITE PRIOR / DURING CONSTRUCTION, A SUBSURFACE CONSULTANT SHALL CONDUCT BORING(S) IN THE AREA OF THE POOL TO CONFIRM SOIL BEARING CAPACITY, CLEAR OF BURIED DEBRIS, & VERIFYING GROUND WATER LEVEL

ALL MODIFIED SOILS & EARTH FILL UNDER PERSPECTIVE POOL AREA SHALL MEET A SOIL DENSITY AND COMPACTION MINIMUM OF 95% MODIFIED PROCTOR WITHOUT SETTLEMENT.

3" L VERT. W/ MIN. (2) #3 BARS CONT. @ TOP

FIELD BUILT SUMP SCALE: N.T.S.

#3 BARS @ 12"O.C. HORIZ..

TYP. U.N.O.

JUN 15 2021

TOWN OF LONGBOAT KEY Planning, Zoning & Building

**POOL BEAM** 8"x12" OPTION

NOTE: THIS DETAIL IS FOR MAX 6 FT DEEP SOIL SUPPORTED POOL SHELLS- SEE SUPPLEMENTAL SPECIFICATIONS FOR DEEPER STRUCTURES. LOAD SURCHARGE STRUCTURES, OR APPURTENANT STRUCTURES

> **COMPLIES WITH** 7TH ED. (2020) FBC, ALL VOLUMES

POR STOWAL ENTER SIGNED DATE MONTHS FROM 2

> MEXICO DR CONCEPTS OF DESIGN GULF POOL 5910

TYPICAL SECTIONS RESIDENTIAL POOL/SPA

FOR

ANT KIMES MILL

VERSION: 21-Dec-20

DRAWING: 01-Jan-21

XX

MCM

RSTD

SHEET 2 OF 2

**BENCH SECTION** 

SCALE: N.T.S.

SHOOT TO

EARTH

PLACE FOOTING STRUCTURE ON UNDISTURBED EARTH

COMPACTED FILL MEETING 95% MODIFIED PROCTOR

MEETING 2,000 PSF OR

UNDISTURBED

3

REQD OR (1) UNBLOCKABLE DRAIN SUMP PER ANSI/APSP/ICC-16 2017 OR COVER MFR. SPECS ANSI 15 BRANCH PIPE SIZE MIN AT 6 FPS AT FLOW BY: • MAX 6 HOUR TURNOVER OR 1 IN WALL 3'-0" MIN MAIN DRAINS MAY BE **OMITTED ENTIRELY** 

BRANCH PIPING

4

ONLY 12 VALID DOCUMENT

THIS

SHEET