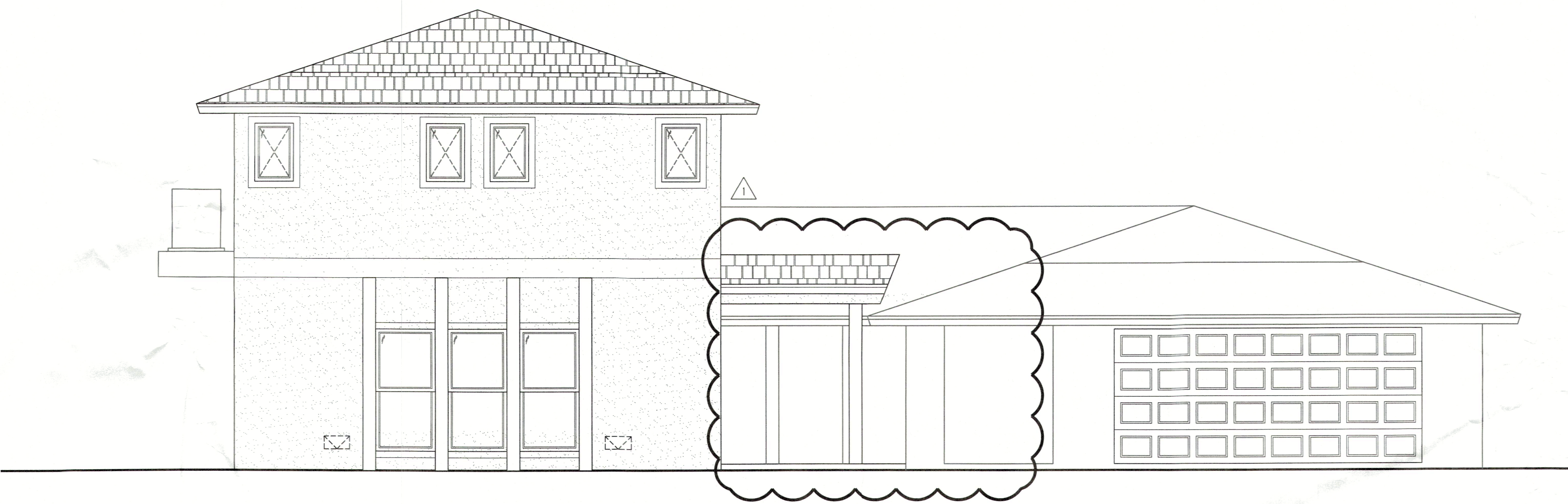


A Custom Addition For:
THE WILLIS RESIDENCE

700 Dream Island Road
Longboat Key, FL



LOCATION MAP



AERIAL MAP

DESIGN DATA SUMMARY				
1. APPLICABLE CODES: 2023 FLORIDA RESIDENTIAL CODE 2023 FLORIDA MECHANICAL CODE 2023 FLORIDA PLUMBING CODE 2023 FLORIDA ACCESSIBILITY CODE 2023 FLORIDA ENERGY CODE NFPA70 - 2020 NEC				
2. DESIGN FACTORS AND LOADS:				
	VALUES	FBC 2023	ASCE, 7-22	
RISK CATEGORY	1.00	TABLE 1604.5 (CAT. II)	TABLE 1.5-1	
EXPOSURE CATEGORY	D	1609.4.3	SECTION 26.7.3	
Vult - ULTIMATE DESIGN SPEED	160	FIG. 1609.3(1)	FIG. 26.5-1B	
Vasd - NOMINAL DESIGN WIND SPEED	124	PER CONVERSION 1609.3.1		
HT. & EXP. COMP. & CLAD FACTOR	1.61	FBC R301.2	H < 25 FT	
Kd - WIND DIRECTIONAL FACTOR	0.85		TABLE 26.6-1	
Kz - V. PRESS. EXP. COEFF	1.12		TABLE 26.10-1	
Kzt - TOPOGRAPHIC FACTOR	1.00		SECTION 26.8.2	
Ks - GROUND ELEVATION FACTOR	1.00		SECTION 26.9	
Gcpl - INTERNAL PRESS. COEFF.	0.18	(ENCLOSED / PART. OPEN)	TABLE 26.13-1	
Qz - VELOCITY PRESSURE	73.41		SECTION 26.10.2	
RAISED FLOOR LOADS	20 D.L.	40 L.L.		
ROOF LOADS	10 D.L. FOR UPLIFT	35 D.L.	20 L.L.	
EDGE STRIP = 4'-0"	FROM OUTSIDE CORNERS			
3. BUILDING USE : SINGLE FAMILY RESIDENCE.				
4. CONSTRUCTION TYPE V, UNPROTECTED, UNSPRINKLED				
5. WINDBORNE DEBRIS REGION ----- YES				



DRAWING INDEX	
C-1.....	COVER SHEET
C-2.....	PLOT PLAN
A-1.1....	FOUNDATION PLAN
A-2.1....	FLOOR PLAN, SCHEDULES - 1ST FLOOR
A-2.2....	DIMENSION PLAN - 1ST FLOOR
A-2.3....	FLOOR PLAN, SCHEDULES - 2ND FLOOR
A-2.4....	DIMENSION PLAN - 2ND FLOOR
A-3.1....	LOW ROOF PLAN, 2ND FLOOR FRAMING
A-3.2....	HIGH ROOF PLAN
A-4.1....	EXTERIOR ELEVATIONS
A-4.2....	EXTERIOR ELEVATIONS
A-5.1....	BUILDING SECTION
A-6.1....	ELECTRICAL PLAN - 1ST FLOOR
A-6.2....	ELECTRICAL PLAN - 2ND FLOOR
S-1.....	ENGINEER'S DETAIL SHEET
S-2.....	ENGINEER'S DETAIL SHEET

Digitally signed by Renato A. Carotti
Renato A. Carotti
DIN-005, ENGINEERING LLC
givenName=Renato, CA 28432
9124 58th Drive East, Office : (941) 755-9934
email=racarotti@carottieneering.net, cn=Renato
Date: 2024.07.15 15:02:31
04'00'

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MECHANICAL, ELECTRICAL,
AND PLUMBING REVIEWS
WILL BE DEFERRED TO
FIELD INSPECTORS

Permit # PS24-0619
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

JUL 24 2024

APPROVED
Reviewer: [Signature]

RECEIVED

JUL 15 2024
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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CLARK HORNE
CONSTRUCTION

Contractor License #: CBC1266012
Company Name: Clark Home Construction LLC
Contractor's Address: 2202 Waldemere St Sarasota FL 34239
Contractor's Phone Number: 941-894-8688
Contractors Email: clark@clarkhorneconstruction.com

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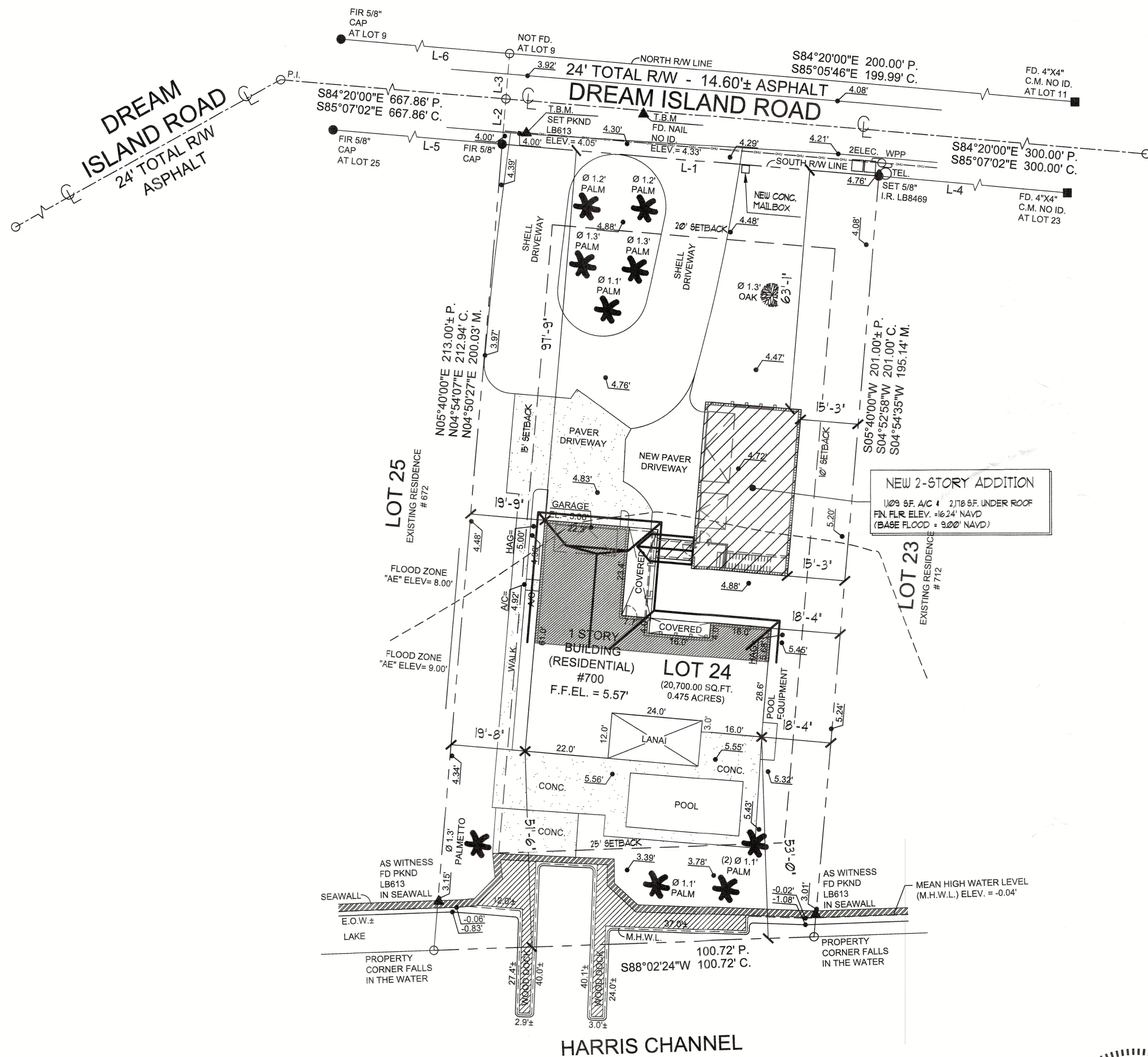
NPDES

A NEW GARAGE/GUEST HOUSE ADDITION FOR:
The Willis Residence
700 Dream Island Road
Longboat Key, FL

Date: 05-24-24 Drawn By: DD
Job #: 23-163 Checked By: JMK
Revisions
No. Date Change
1 06-28-24 BLDG DEPT REVS
2
3
4

SHEET
C-1

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PLOT PLAN
SCALE: 1"=20'-0"

LOT COVERAGE	
LOT AREA:	20,700 S.F.
BUILDING FOOTPRINT	5,116 S.F.
EX. CONC. DRIVE, DECK, WALK	2,222 S.F.
POOL	428 S.F.
A/C POOL EQ. PADS	51 S.F.
NEW CONC. DRIVE	556 S.F.
TOTAL BUILDING AREA (25% = 5,175 S.F.)	5,116 S.F.
TOTAL IMPERVIOUS AREA	8,373 S.F.
	40.45 %

CAROTTI
ENGINEERING LLC
CA 28432
9124 58th Drive East Office: (941) 755-9934
Brentwood, FL 34202 Mobile: (941) 284-7856
carotti@carottieng.com www.carottiengineering.net

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ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT
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RENOATO A. CAROTTI
LICENSE
No. 64764
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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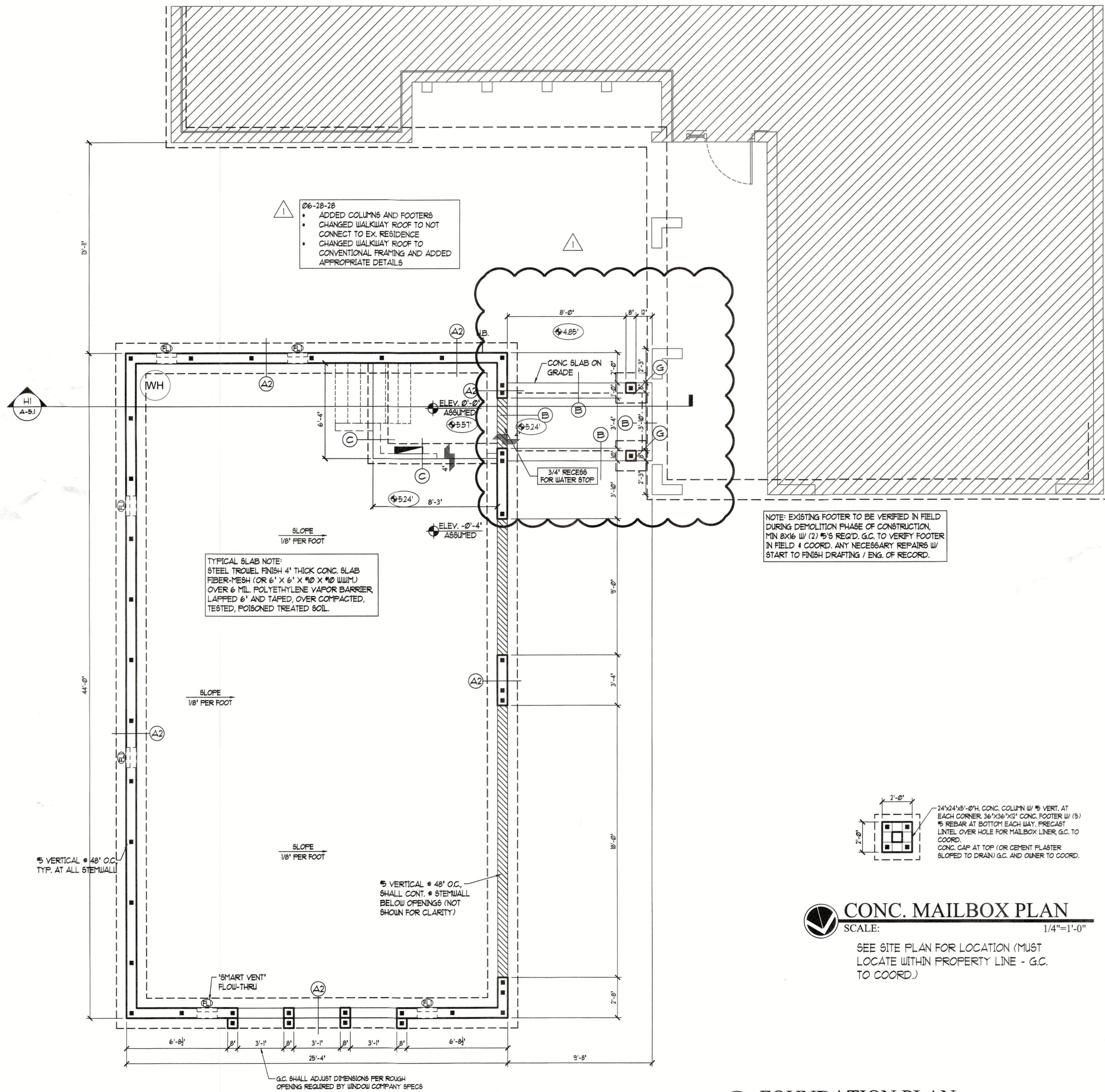
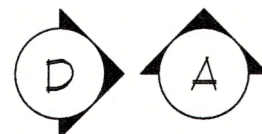
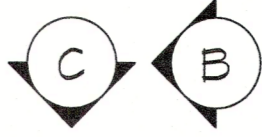
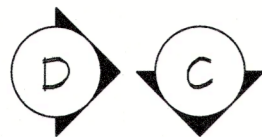
RECEIVED
JUL 15 2024
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

Date: 05-24-24 Drawn By: DD
Job #: 23-163 Checked By: JMK

Revisions	
No.	Date
1	06-28-24
2	
3	
4	

SHEET
C-2

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CONC. MAILBOX PLAN
SCALE: 1/4"=1'-0"
SEE SITE PLAN FOR LOCATION (MUST LOCATE WITHIN PROPERTY LINE - G.C. TO COORD.)

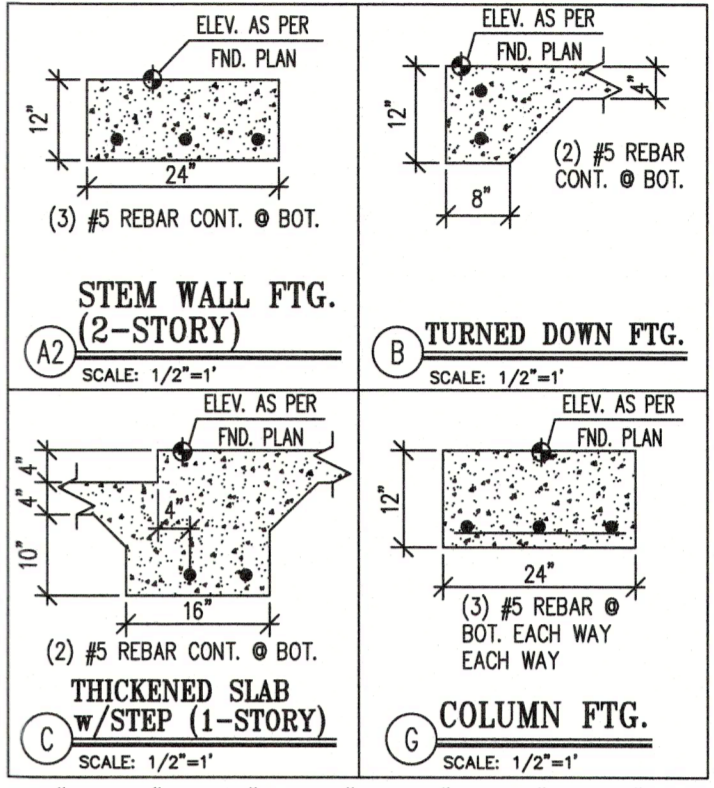


FOUNDATION PLAN
SCALE: 1/4"=1'-0"



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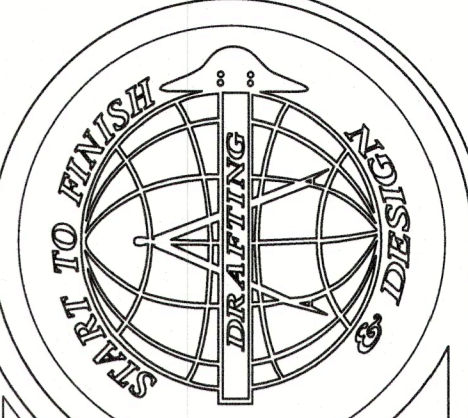
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FLOW THROUGH CALCS @ 1 IN/S.F.	
GARAGE #1	1,055 SF
PROVIDED FLOW THROUGHS	
(6) 8" x 16" SMART VENTS (200 SF. EA.)	
6 x 200 S.F. =	1,200 SF
FL1 = 16"W x 8"H & FL2 = (2) 16"W x 8"H FLOOD VENT	
NOTE: FLOW THROUGH TO BE "SMART VENT"	

- STRUCTURAL NOTES:**
- ALL FOUNDATION AND SLAB CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS
 - ALL CONTROL JOINTS SHALL BE SAWS WITHIN 12 HOURS OF CONC. POUR.
 - SLAB ON GRADE SHALL BE STEEL TROWEL FINISHED 4" THICK REINFORCED WITH FIBER MESH OVER 6 MIL. POLYETHYLENE VAPOR BARRIER LAP 6" MIN. TAPE JOINT.
 - INSPECTION OPENING SHALL BE PROVIDED AT THE BOTTOM OF ALL GROUTED CELLS AT EACH ROD FOR FIELD INSPECTION. OPENINGS SHALL BE COVERED AFTER INSPECTION AND BEFORE GROUTING. WALLS SHALL CURE A MIN. OF 24 HOURS PRIOR TO FILLING GROUTED CELLS.
 - STEEL REINFORCING SHALL BE GRADE 60.
 - ANY ONE #5 DOWEL MAY BE REPLACED BY DRILLING A 3/4" x 8" DEEP HOLE, PROPERLY CLEAN SAME, AND INSTALLING A REPLACEMENT DOWEL W/ SIMPSON SET-AP EPOXY, WHEN INSPECTED BY AUTHORIZED COUNTY PERSONNEL. THIS PRE-APPROVED REPAIR IS LIMITED TO A MAXIMUM OF (3) THREE DOWELS ON ANY ONE HOUSE AND NO (2) SIDE BY SIDE. THESE TWO CONDITIONS WOULD REQUIRE A SITE VISIT BY THE ENGINEER OF RECORD.

FOUNDATION PLAN LEGEND	
----	FRAME BEARING/PLUMBING WALL ABOVE
▬	NEW CMU WALL
FL	"SMART VENT" FLOW THRU
NOTE: ALL CMU WALLS ARE DESIGNED AS SHEARWALLS	
■ (1) #5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS, UNDER GIRDERS & AT 4'-0" O.C. MAX. TYP.	
▲ (2) #5 REBAR OR (1) #1 FOR OPENINGS 16'-0" OR LARGER, TYP.	
□ (1) #5 REBAR BELOW SLAB (IN STEM WALL) OR (1) #5 REBAR RETROFIT (FOR RENOVATION)	
● 5/8"x6" LONG TITEN HD W/ 3"x3"x8" WASHER & 18" O.C. ON BOTTOM PLATE, 6-12" FROM ENDS OF WALLS	



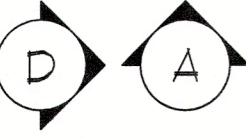
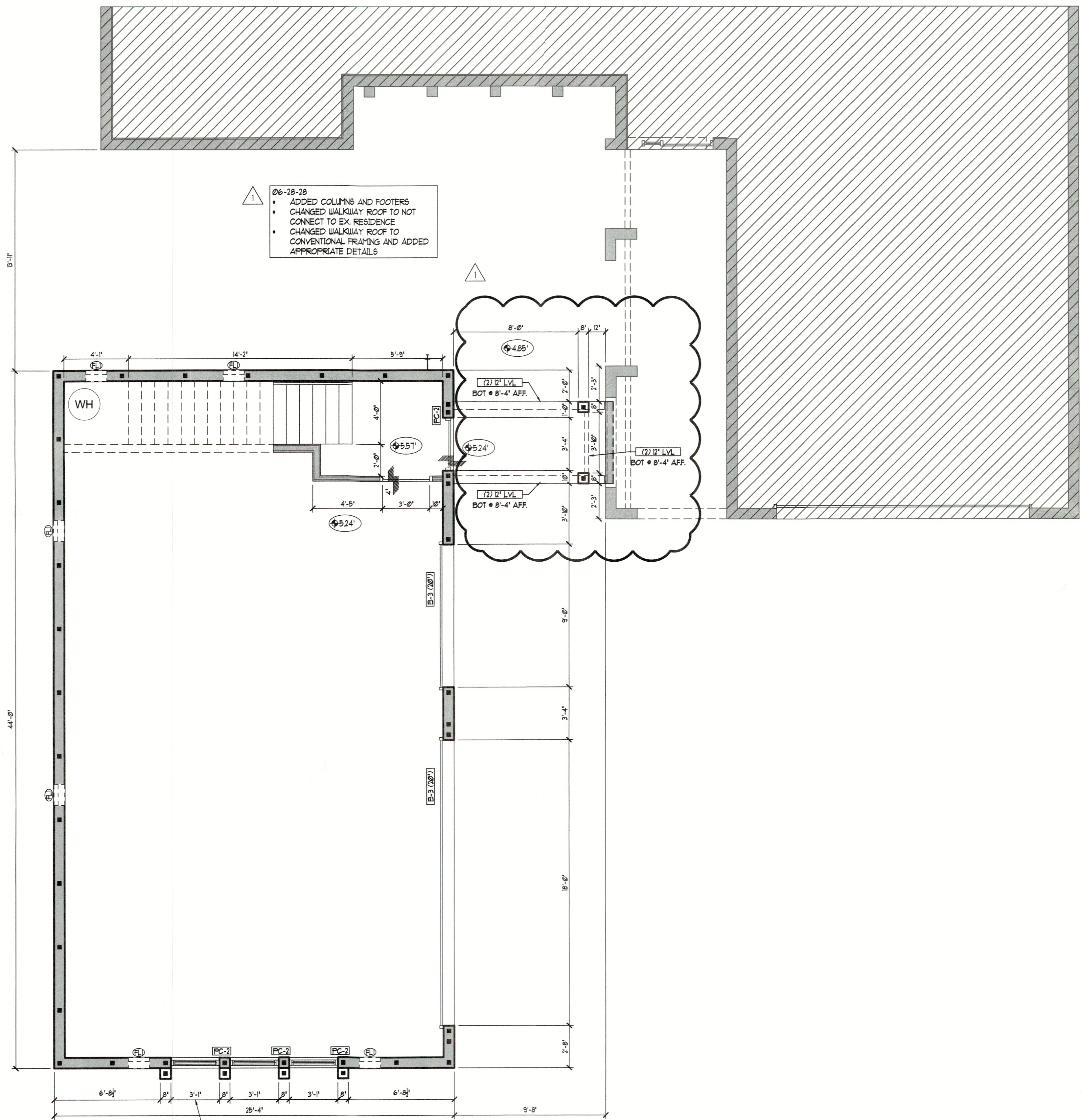
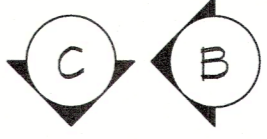
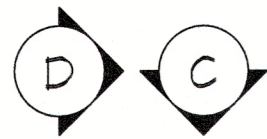
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A NEW GARAGE/GUEST HOUSE ADDITION FOR:
The Willis Residence
700 Dream Island Road
Longboat Key, FL

Date: 05-24-24	Drawn By: DD
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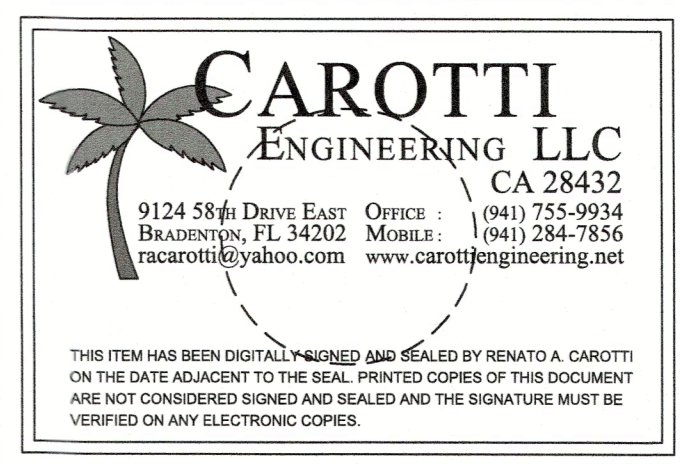
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DIMENSION PLAN - 1ST FLOOR
SCALE: 1/4"=1'-0"

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TOWN OF LONGBOAT KEY
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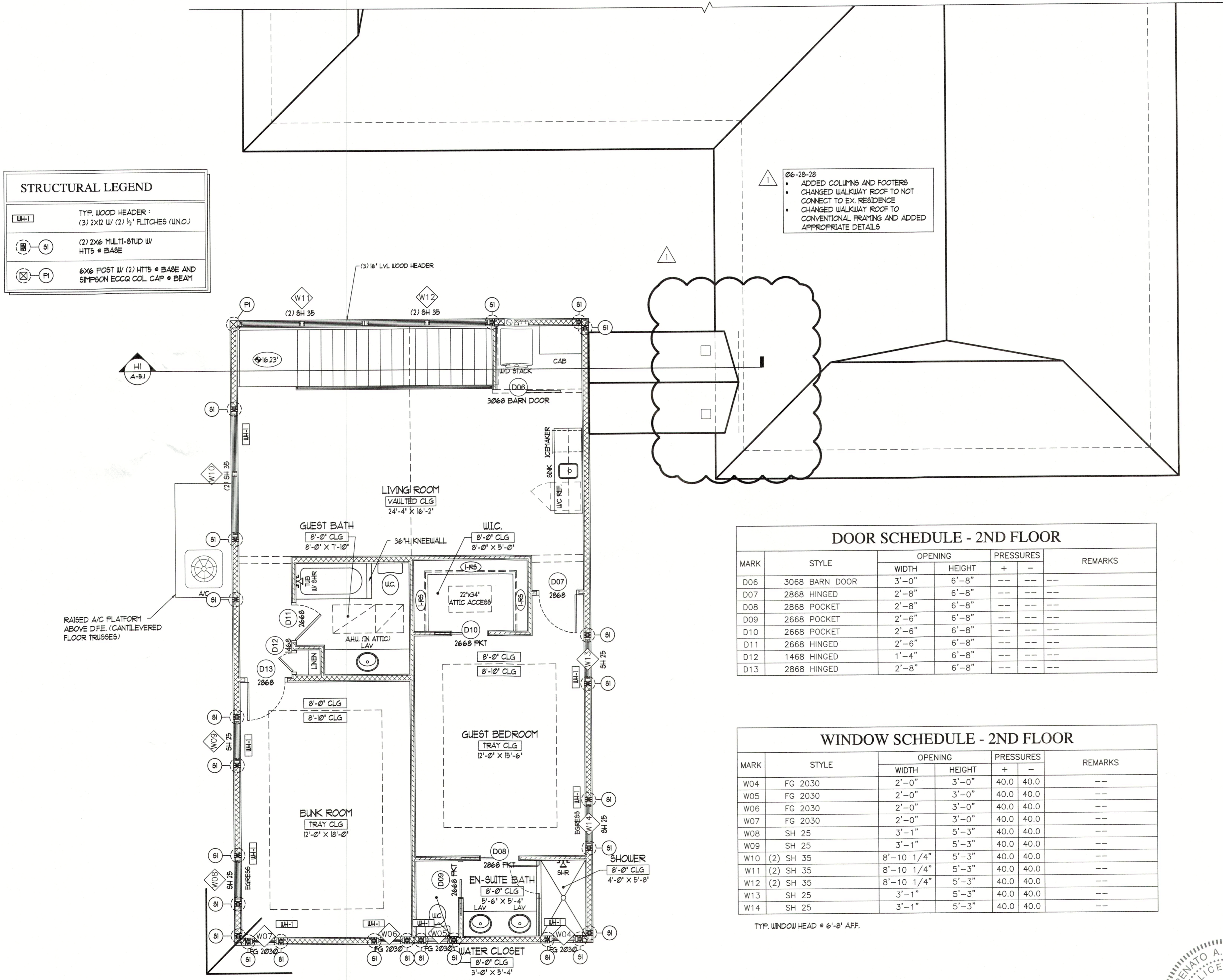
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THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION IN THIS SHEET. A COMPLETE REVIEW MUST BE MADE PRIOR TO CONSTRUCTION. START TO FINISH DRAFTING WILL ASSUME NO LIABILITY.

SHEET
A-2.2

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STRUCTURAL LEGEND

[Symbol]	TYP. WOOD HEADER: (3) 2X12 W/ (2) 1/2" FLITCHES (UNO.)
[Symbol]	(2) 2X6 MULTI-STUD W/ HTTS @ BASE
[Symbol]	6X6 POST W/ (2) HTTS @ BASE AND SIMPSON ECCO COL. CAP @ BEAM

DOOR SCHEDULE - 2ND FLOOR

MARK	STYLE	OPENING		PRESSURES		REMARKS
		WIDTH	HEIGHT	+	-	
D06	3068 BARN DOOR	3'-0"	6'-8"	--	--	
D07	2868 HINGED	2'-8"	6'-8"	--	--	
D08	2868 POCKET	2'-8"	6'-8"	--	--	
D09	2668 POCKET	2'-6"	6'-8"	--	--	
D10	2668 POCKET	2'-6"	6'-8"	--	--	
D11	2668 HINGED	2'-6"	6'-8"	--	--	
D12	1468 HINGED	1'-4"	6'-8"	--	--	
D13	2868 HINGED	2'-8"	6'-8"	--	--	

WINDOW SCHEDULE - 2ND FLOOR

MARK	STYLE	OPENING		PRESSURES		REMARKS
		WIDTH	HEIGHT	+	-	
W04	FG 2030	2'-0"	3'-0"	40.0	40.0	--
W05	FG 2030	2'-0"	3'-0"	40.0	40.0	--
W06	FG 2030	2'-0"	3'-0"	40.0	40.0	--
W07	FG 2030	2'-0"	3'-0"	40.0	40.0	--
W08	SH 25	3'-1"	5'-3"	40.0	40.0	--
W09	SH 25	3'-1"	5'-3"	40.0	40.0	--
W10	(2) SH 35	8'-10 1/4"	5'-3"	40.0	40.0	--
W11	(2) SH 35	8'-10 1/4"	5'-3"	40.0	40.0	--
W12	(2) SH 35	8'-10 1/4"	5'-3"	40.0	40.0	--
W13	SH 25	3'-1"	5'-3"	40.0	40.0	--
W14	SH 25	3'-1"	5'-3"	40.0	40.0	--

TYP. WINDOW HEAD @ 6'-8" AFF.

AREA CALCULATIONS

FLOOR AREAS	
EX. A/C SPACE	1,755 S.F.
EX. COV. ENTRY	168 S.F.
EX. COV. PATIO	64 S.F.
EX. COV. LANAI	322 S.F.
EX. GARAGE	528 S.F.
NEW GARAGE ADD.	
NEW A/C SPACE	1,053 S.F.
TOTAL AREAS	1,174 S.F.
A/C SPACE	
NON-A/C SPACE	2,929 S.F.
TOTAL UNDER ROOF	2,187 S.F.
BUILDING FOOTPRINT	5,116 S.F.
(25% 20,700 S.F. LOT = 5,175 S.F. MAX BUILDING)	

- GENERAL NOTES:
- GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE BUILDING SITE & VERIFY ALL PERTINENT CONDITIONS PRIOR TO SUBMISSION OF BID. ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND/OR SPECIFICATIONS ARE TO BE REPORTED TO "START TO FINISH DRAFTING" FOR CORRECTION.
 - DRAWINGS ARE NOT TO BE SCALED FOR EXACT MEASUREMENTS. WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK. VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING MATERIALS, COMPONENTS, FIXTURES AND FITTINGS.
 - CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORK, INCLUDING THE APPROVAL OF ALL SHOP DRAWINGS.
 - ALL EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA WDMA/CSA101/S.2/A440 OR TAS202. EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED & LABELED AS CONFORMING TO AAMA WDMA/CSA101/S.2/A440 OR COMPLY WITH FBC SECTION 1709.5.2. EXTERIOR WINDOWS & DOORS SHALL BE LABELED IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY. SEE FBC 1709.5.1 FOR SPECIFIC LABELING REQUIREMENTS. EACH DOOR & WINDOW SHALL BE WIND LOAD RESISTANT TO MEET THE LIMITS OF THE DESIGN LOADS SPECIFIED.
 - NO SHRUBS OR SPRINKLER HEADS SHALL BE PLACED, NOR SHALL CONDENSATE LINES NOR DOWNSPOUTS DISCHARGE WITHIN ONE FOOT OF THE STRUCTURE.
 - PROVIDE TEMPERED GLASS AS REQUIRED IN THESE LOCATIONS:
 - ALL SLIDING GLASS DOORS
 - ALL GLASS WITHIN 24" OF A DOOR OPENING
 - ALL GLASS LESS THAN 18" FROM FINISHED FLOOR
 - ALL GLASS WITHIN 60" VERT. OF TUB/SOWER FLOOR AND 36" HOR. FROM EXIT
 - GARAGE DOOR TO RESIDENCE SHALL MEET FBC-R SECTION R302.5.1 & BE 20 MIN. FIRE-RATED
 - ALL WALL FINISH MATERIALS BELOW D.F.E. ARE TO BE OF WATER-RESISTANT MATERIALS MEETING THE REQ'S OF FEMA TECHNICAL BULLETIN 2
 - ALL CEILING HEIGHTS NOTED ARE A.F.F. (ABOVE FINISHED FLOOR)
 - TYPICAL "ALIGN" NOTE WHERE STUD FRAME WALLS MEET CMU WALLS: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED DRYWALL SURFACE IS CO-PLANAR.
 - ALL PLUMBING, ELECTRICAL & MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED & APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.
 - MANDATORY AIR LEAKAGE TEST SHALL BE DONE PRIOR TO FINAL BUILDING INSPECTION

LEGEND

DOOR SYMBOLS: DENOTES DOOR THAT MEETS 32" CLEAR OPENING ADA REQ, DRYER EXHAUST FAN, WATER SUPPLY HOOKUPS FOR WASHER, HOSE BIBB, GAS BIBB.

WALL SYMBOLS: TO WALL TOP OF WALL (TYP.) - CAN ALSO MEAN TOP OF WINDOW FOR ELEVATIONS, M.C. = MIXED CONSTRUCTION, T.A.N. = TYPICAL ALIGN NOTE: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED SURFACE IS CO-PLANAR.

WINDOW SYMBOLS: TRANSOM ABOVE MAIN WINDOW, EXISTING WALL TO REMAIN, NEW 4" STUD WALL, NEW 6" STUD WALL, NEW 8" STUD WALL, NEW CMU WALL.

NOTE: ALL WALLS ARE DESIGNED AS SHEARWALLS.

REINFORCEMENT: (1) #5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS, UNDER GIRDERS @ 4" AT 4'-0" O.C. MAX. TYP. PROVIDE #5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0" W. (2) #5 REBAR OR (1) #1 FOR OPENINGS 16'-0" OR LARGER, TYP. (1) #5 REBAR BELOW SLAB (IN STEM WALL) OR (1) #5 REBAR RETROFIT (FOR RENOVATION) 5/8"x6" LONG TIE IN HD W/ 3"x3"x18" WASHER @ 18" O.C. ON BOTTOM PLATE, 6"-12" FROM ENDS OF WALLS.

FLOOR PLAN - 2ND FLOOR

SCALE: 1/4"=1'-0"



CAROTTI ENGINEERING LLC

9124 58th Drive East, Bradenton, FL 34202. OFFICE: (941) 755-9934. MOBILE: (941) 284-7856. rcarotti@yahoo.com, www.carottiengineering.net

CA 28432

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A NEW GARAGE/GUEST HOUSE ADDITION FOR:

The Willis Residence

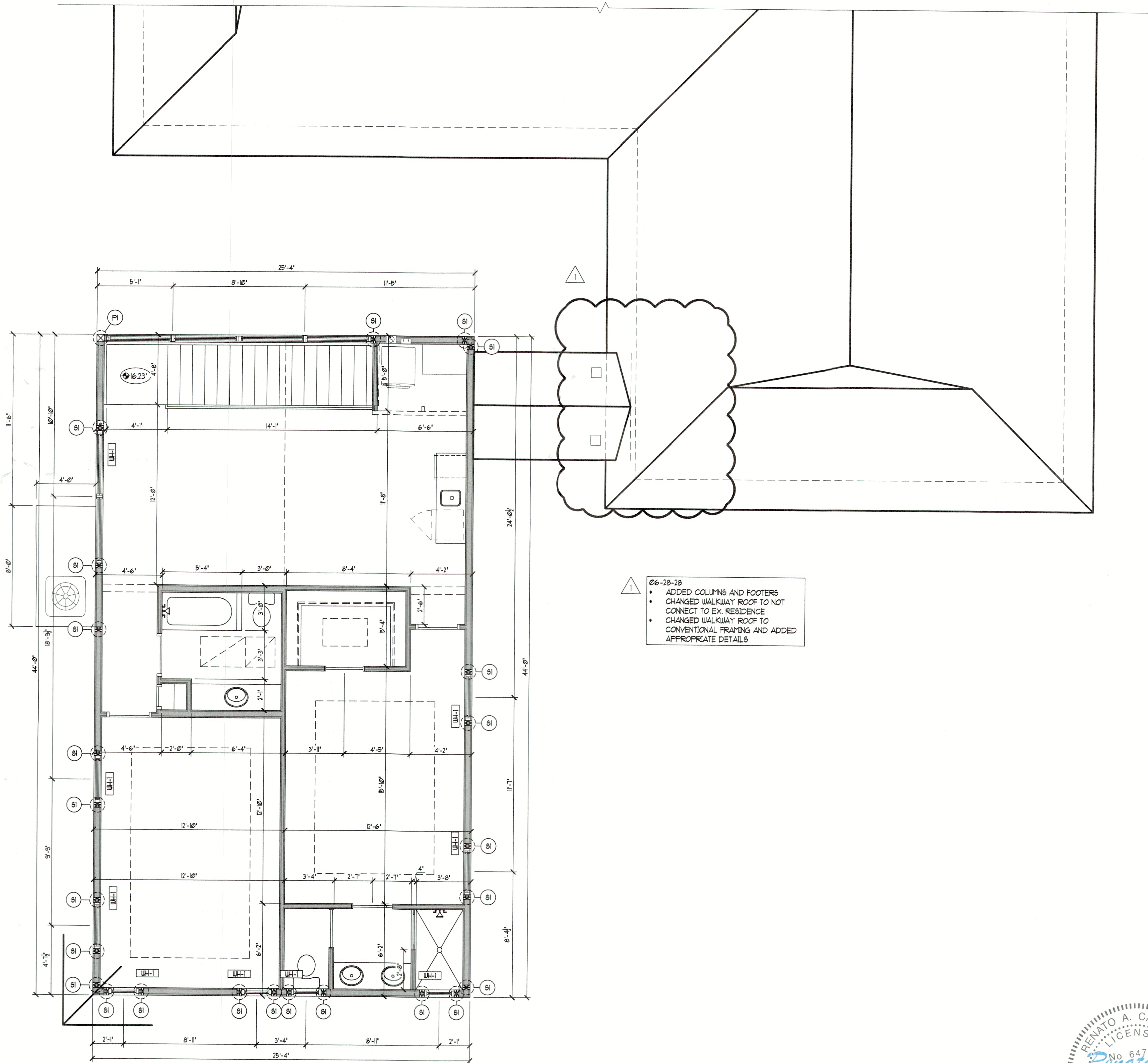
700 Dream Island Road, Longboat Key, FL

Date: 05-24-24, Drawn By: DD, Job #: 23-163, Checked By: JMK

Revisions: No. 1, Date 06-28-24, Change BLDG DEPT REVS 2, 3, 4

SHEET A-2.3

BLDG PERMIT PLANS FILE Copy of Record



06-28-28
• ADDED COLUMNS AND FOOTERS
• CHANGED WALKWAY ROOF TO NOT
CONNECT TO EX. RESIDENCE
• CHANGED WALKWAY ROOF TO
CONVENTIONAL FRAMING AND ADDED
APPROPRIATE DETAILS

DIMENSION PLAN - 2ND FLOOR
SCALE: 1/4"=1'-0"

AREA CALCULATIONS	
FLOOR AREAS	
EX. A/C SPACE	1,755 S.F.
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 - CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORK, INCLUDING THE APPROVAL OF ALL SHOP DRAWINGS.
 - ALL EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA WDMA/CSA101/1.5.2/440 OR T45202. EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED & LABELED AS CONFORMING TO AAMA WDMA/CSA101/1.5.2/440 OR COMPLY WITH FBC SECTION 1709.5.2. EXTERIOR WINDOWS & DOORS SHALL BE LABELED IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY. SEE FBC 1709.5.1 FOR SPECIFIC LABELING REQUIREMENTS. EACH DOOR & WINDOW SHALL BE WIND LOAD RESISTANT TO MEET THE LIMITS OF THE DESIGN LOADS SPECIFIED.
 - NO SHRUBS OR SPRINKLER HEADS SHALL BE PLACED, NOR SHALL CONDENSATE LINES NOR DOWNSPOUTS DISCHARGE WITHIN ONE FOOT OF THE STRUCTURE.
 - PROVIDE TEMPERED GLASS AS REQUIRED IN THESE LOCATIONS:
6.1. ALL SLIDING GLASS DOORS
6.2. ALL GLASS WITHIN 24" OF A DOOR OPENING
6.3. ALL GLASS LESS THAN 18" FROM FINISHED FLOOR
6.4. ALL GLASS WITHIN 60" VERT. OF TUB/SHOWER FLOOR AND 36" HOR. FROM EXIT
 - GARAGE DOOR TO RESIDENCE SHALL MEET FBC-R SECTION R602.5.1 & BE 20 MIN. FIRE-RATED
 - ALL WALL FINISH MATERIALS BELOW D.F.E. ARE TO BE OF WATER-RESISTANT MATERIALS MEETING THE RECS OF FEMA TECHNICAL BULLETIN 2
 - ALL CEILING HEIGHTS NOTED ARE A.F.F. (ABOVE FINISHED FLOOR)
 - TYPICAL "ALIGN" NOTE WHERE STUD FRAME WALLS MEET CMU WALLS: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED DRYWALL SURFACE IS CO-PLANAR.
 - ALL PLUMBING, ELECTRICAL & MECHANICAL ROUGHINS MUST BE COMPLETE, INSPECTED & APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.
 - MANDATORY AIR LEAKAGE TEST SHALL BE DONE PRIOR TO FINAL BUILDING INSPECTION

LEGEND

DOOR THAT MEETS 32" CLEAR OPENING ADA REQ'T

DRYER EXHAUST FAN

WATER SUPPLY HOOKUPS FOR WASHER

HOSE BIBB GAS BIBB

TOP OF WALL (TYP.) - CAN ALSO MEAN "TOP OF WINDOW" FOR ELEVATIONS

M.C. = MIXED CONSTRUCTION

TAN. = TYPICAL ALIGN NOTE: ALIGN EDGE OF STUD W/ EDGE OF FURRING STRIP SO FINISHED SURFACE IS CO-PLANAR

TRANSOM ABOVE MAIN WINDOW

EXISTING WALL TO REMAIN

NEW 4" STUD WALL

NEW 6" STUD WALL

NEW 8" STUD WALL

NEW CMU WALL

NOTE: ALL WALLS ARE DESIGNED AS SHEARWALLS

(1) #5 REBAR AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS, UNDER GIRDERS & AT 4'-0" O.C. MAX. TYP. PROVIDE #5 BELOW SILL FOR OPENINGS GREATER THAN 6'-0" W.

(2) #5 REBAR OR (1) #1 FOR OPENINGS 16'-0" OR LARGER, TYP.

(1) #5 REBAR BELOW SLAB (IN STEM WALL) OR (1) #5 REBAR RETROFIT (FOR RENOVATION)

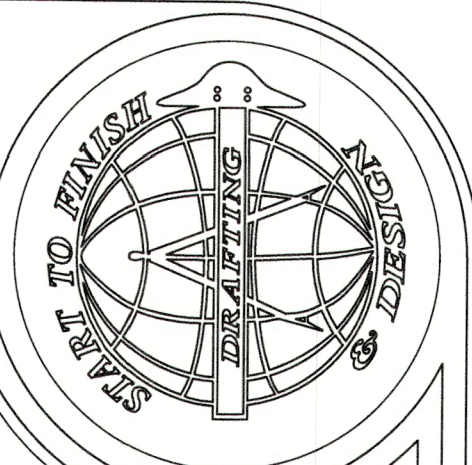
5/8"x6" LONG TITEN HD W/ 3/4"x1/8" WASHER @ 18" O.C. ON BOTTOM PLATE, 6'-12" FROM ENDS OF WALLS



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BRADENTON, FL 34202 MOBILE: (941) 755-9934
racarotti@yahoo.com www.carottiengineering.net

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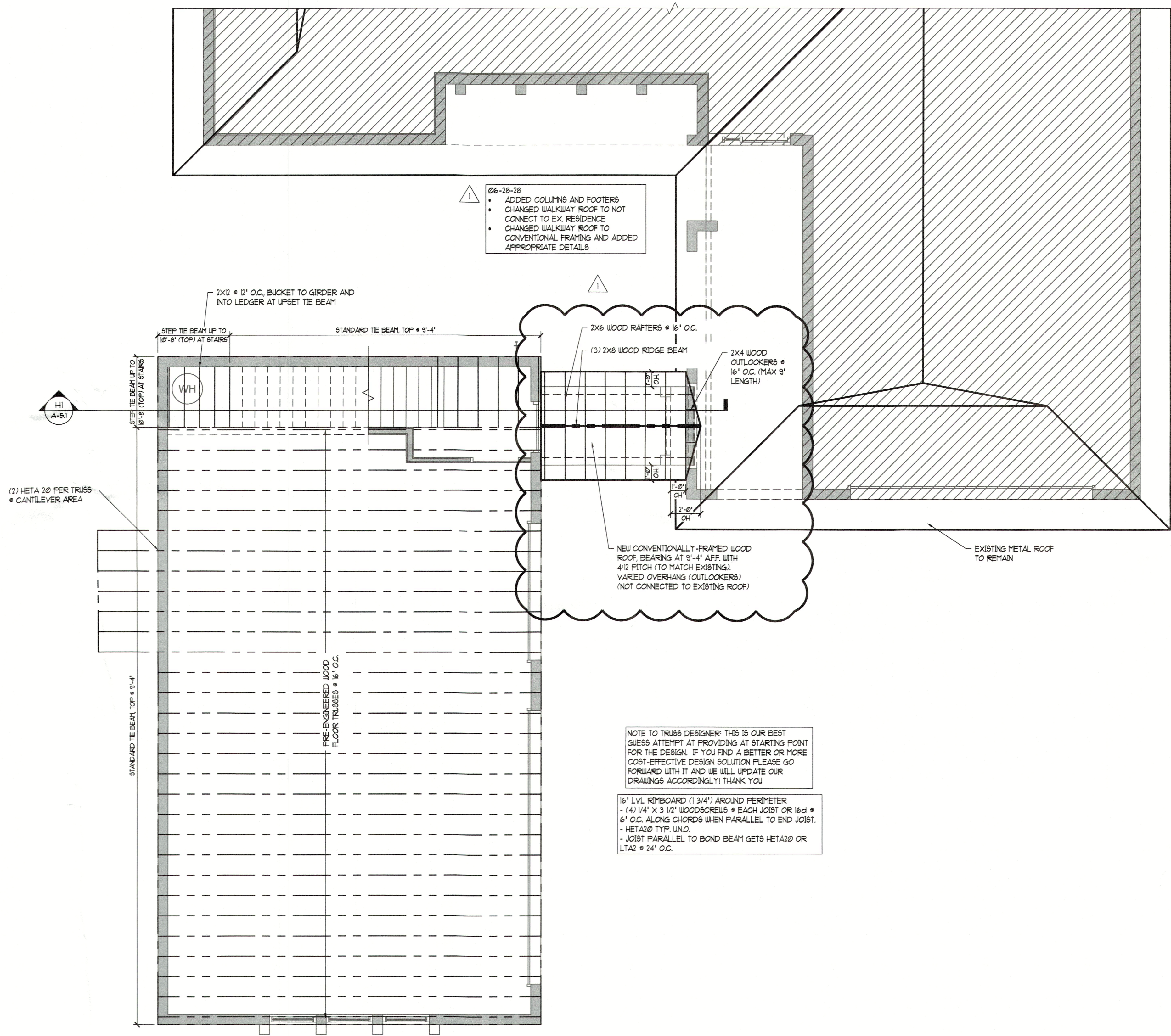
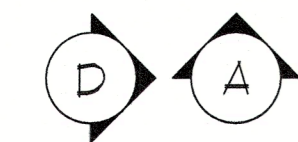
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A NEW GARAGE/GUEST HOUSE ADDITION FOR:
The Willis Residence
700 Dream Island Road
Longboat Key, FL

Date:	05-24-24	Drawn By:	DD	Checked By:	JMK
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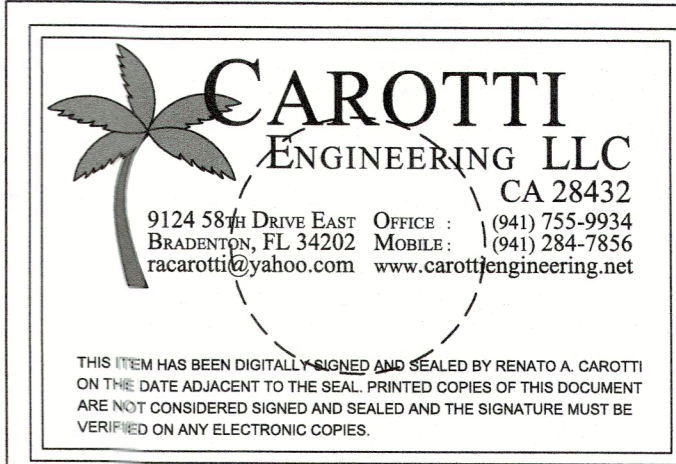


= NO WORK



LOW ROOF PLAN - 2ND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

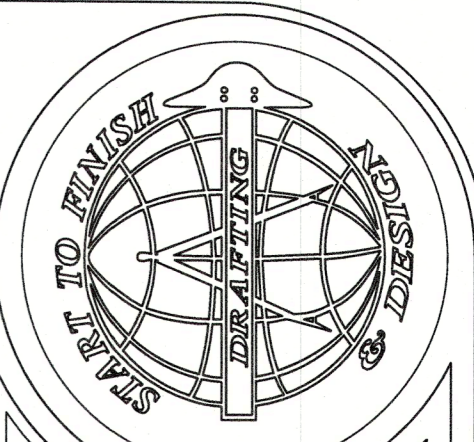
OVERHANGS: 1'-0" O.H. (TYP.) / SQUARE CUT FASCIA, 4:12 PITCH
SEALED ATTIC - NO ROOF VENTILATION @ CONDITIONED SPACE
G.C. TO COORD. SOFFIT VENTILATION @ UNCONDITIONED SPACE



CONNECTOR SCHEDULE	
THE FOLLOWING CONNECTORS ARE PRESCRIPTIVE AND SHALL NOT BE DEVIATED FROM UNLESS SPECIFICALLY SHOWN AND NOTED OTHERWISE ON PERMITTED PLANS. ALL STRAPS SHALL BE INSTALLED PER THEIR RESPECTIVE CURRENT PRODUCT SPECIFICATIONS WITHOUT EXCEPTION.	
(1) HETA 20 (TYP.) U.N.O.	
	(2) HETA 20
	(2) HETA 20 & (1) HTSM16
	(2) HETA 20 & (1) LGT2/3*
	(2) HETA 20 & (1) MGT* (12" EMBED)
	(2) HETA 20 & (1) HTT5** / (1) FGTR
	(2) HETA 20 & (2) FGTR
	H10A + (3) 10d TOE NAILS (TYPICAL @ FRAME U.N.O.)
	H10A (TYP. @ JACK TRUSS)
	H14 + (3) 10d TOE NAILS
	LGT2 / LGT3 (DEPENDING ON TRUSS PLY) (FRAME) *
	MGT TO INVERTED MGT
* = ADD 2x6 SYP. SCAB 24" LONG AS NEEDED. ATTACH W/ 10d NAILS @ 3" O.C. STAGGERED.	
** = HTT5 OPTION IS ONLY APPLICABLE TO FORM & POUR BEAMS.	
BLOCKING NOTE #1: 2x4 BLOCKING @ 24" O.C. W/ (3) 10d END NAILS. ATTACH BLOCKING TO UNSUPPORTED CMU WALLS W/ SIMPSON HETA20.	
BLOCKING NOTE #2: 2x4 BLOCKING @ 24" O.C. W/ (3) 10d END NAILS. ATTACH BLOCKING TO TOP PLATE W/ DTC CLIPS @ 24" O.C.	
<ul style="list-style-type: none">TRUSS MANUFACTURER'S LAYOUT / LOAD SHEETS SHALL DETERMINE THE UPLIFT LOADS.ALL EPOXY SHALL BE SIMPSON SET-XP. MIN. 12" EMBEDMENT @ FOOTING U.N.O. & MIN. 12" EMBEDMENT @ TIE BEAM U.N.O. 3" EDGE, 4" END DISTANCE U.N.O.ALL OTHER CONNECTIONS WILL BE SPECIFICALLY CALLED OUT ON PLANS.NO STRAP MAY CONTAIN LESS THAN FIVE NAILS.ONLY GALVANIZED OR STAINLESS STEEL CONNECTORS & FASTENERS ON TREATED LUMBER. PER MFG. SPECS.NO NAILED FASTENERS INTO NARROW FACE (PARALLEL TO GLUE LINE) OF WOOD STRUCTURAL COLUMNS.NO MECHANICAL ANCHORS (I.E. REDHEADS, WEDGE-ALLS, TITEN HD'S) INTO PREFABRICATED METAL HOLDDOWNS.ONLY USE "WET-SET" HOOKED ANCHOR BOLTS OR DRILL & EPOXY.	

19/32" SHEATHING

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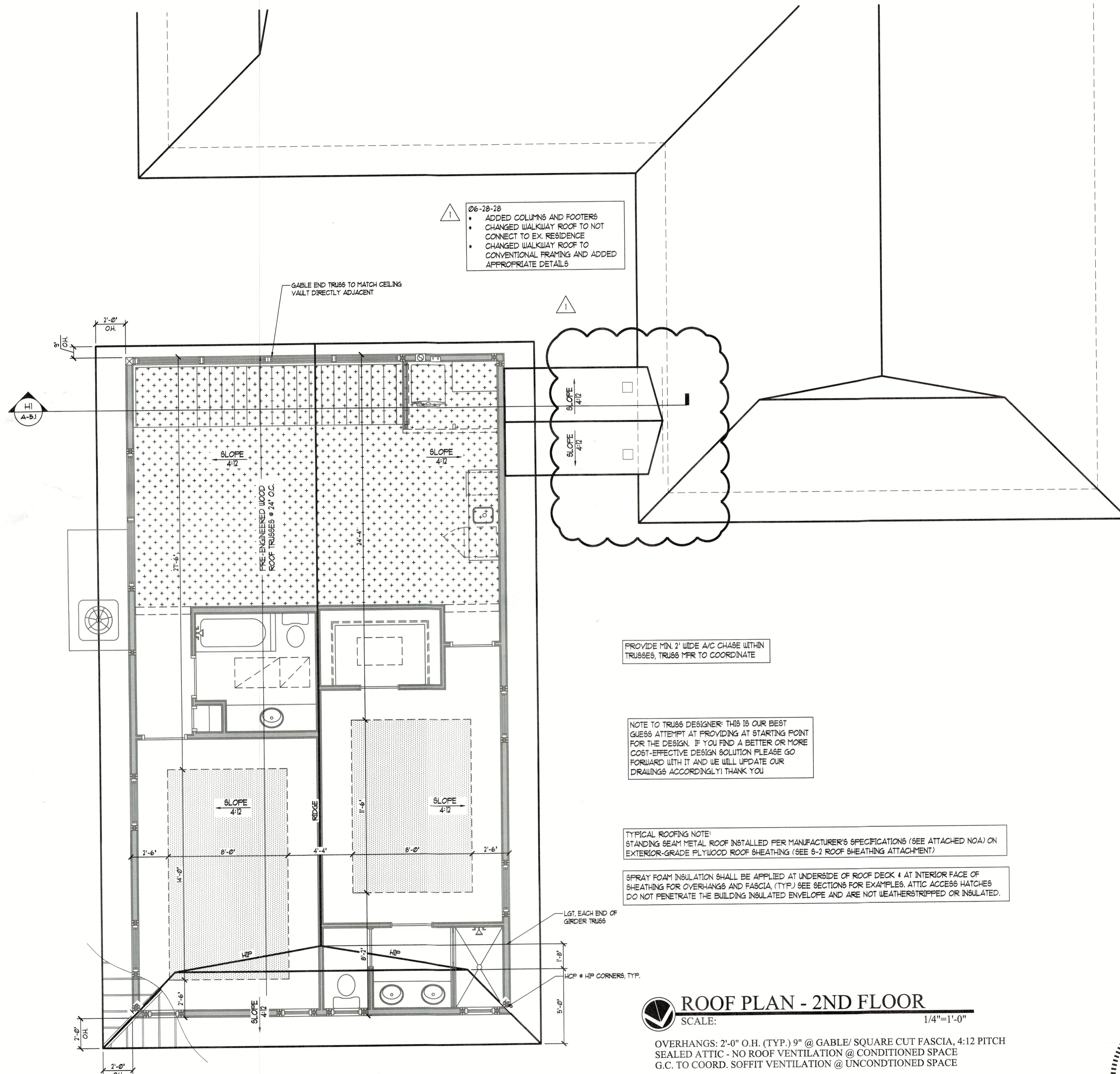
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700 Dream Island Road
Longboat Key, FL

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ROOF PLAN - 2ND FLOOR
SCALE: 1/4"=1'-0"

OVERHANGS: 2'-0" O.H. (TYP.) 9" @ GABLE/SQUARE CUT FASCIA, 4:12 PITCH
SEALED ATTIC - NO ROOF VENTILATION @ CONDITIONED SPACE
G.C. TO COORD. SOFFIT VENTILATION @ UNCONDITIONED SPACE

CONNECTOR SCHEDULE

THE FOLLOWING CONNECTORS ARE PRESCRIPTIVE AND SHALL NOT BE DEVIATED FROM UNLESS SPECIFICALLY SHOWN AND NOTED OTHERWISE ON PERMITTED PLANS. ALL STRAPS SHALL BE INSTALLED PER THEIR RESPECTIVE CURRENT PRODUCT SPECIFICATIONS WITHOUT EXCEPTION.

(1) HETA 20 (TYP.) U.N.O.

- 1 (2) HETA 20
- 2 (2) HETA 20 & (1) HTSM16
- 3 (2) HETA 20 & (1) LGT2/3*
- 4 (2) HETA 20 & (1) MGT* (12" EMBED)
- 5 (2) HETA 20 & (1) HTTS** / (1) FGTR
- 6 (2) HETA 20 & (2) FGTR
- 7 H10A + (3) 10d TOE NAILS (TYPICAL @ FRAME U.N.O.)
- 8 H10A (TYP. @ JACK TRUSS)
- 9 H14 + (3) 10d TOE NAILS
- 10 LGT2 / LGT3 (DEPENDING ON TRUSS PLY) (FRAME) *
- 11 MGT TO INVERTED MGT

* = ADD 2x6 SYP. SCAB 24" LONG AS NEEDED. ATTACH W/ 10d NAILS @ 3" O.C. STAGGERED.
** = HTTS OPTION IS ONLY APPLICABLE TO FORM & POUR BEAMS.

BLOCKING NOTE #1:
2x4 BLOCKING @ 24" O.C. W/
(3) 10d END NAILS. ATTACH BLOCKING TO UNSUPPORTED CMU WALLS W/ SIMPSON HETA20.

BLOCKING NOTE #2:
2x4 BLOCKING @ 24" O.C. W/
(3) 10d END NAILS. ATTACH BLOCKING TO TOP PLATE W/ DTC CLIPS @ 24" O.C.

- TRUSS MANUFACTURER'S LAYOUT / LOAD SHEETS SHALL DETERMINE THE UPLIFT LOADS.
- ALL EPOXY SHALL BE SIMPSON SET-XP. MIN. 12" EMBEDMENT @ FOOTING U.N.O. & MIN. 12" EMBEDMENT @ TIE BEAM U.N.O. 3" EDGE, 4" END DISTANCE U.N.O.
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- NO MECHANICAL ANCHORS (I.E. RED-HEADS, WEDGE-ALLS, TITEN HD'S) INTO PREFABRICATED METAL HOLDDOWNS.
- ONLY USE "WET-SET" HOOKED ANCHOR BOLTS OR DRILL & EPOXY.

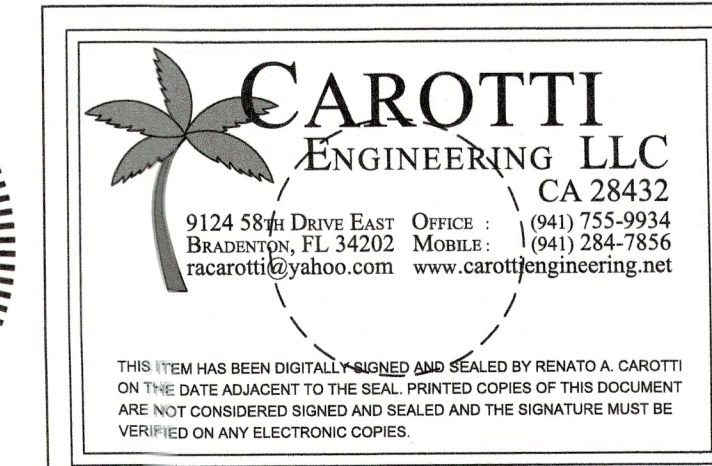
19/32" SHEATHING

CEILING LEGEND

(NO HATCH)	8'-0" AFF. CLG. HT.
	8'-10" AFF. CLG. HT.
	VAULTED CLG. W/ 2:12 INT. FITCH

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A NEW GARAGE/GUEST HOUSE ADDITION FOR:

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4		

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BASE/DESIGN FLOOD ELEVATION NOTE:
• BASE FLOOD ELEV. (BFE) = 5.00' NAVD.
• DESIGN FLOOD ELEV. (DFE) = 10.00' NAVD.
• FINISHED FLOOR ELEV. (FFE) = 16.23' NAVD.
• GARAGE FIN. FLR. ELEV. (GFF) = 5.24' NAVD.
• ALL DRAINS TO BE ABV. DFE = MIN. 10.00' NAVD.
• ALL ELEC./EQUIP. TO BE ABV. DFE = MIN. 10.00' NAVD.
NOTE: ALL 'ASSUMED' ELEVATIONS & ELEVATION CHANGES ARE MEASURED RELATIVE TO FINISHED FLOOR

ALL ELEVATION HEIGHTS ARE LISTED IN NAVD 1988 FORMAT

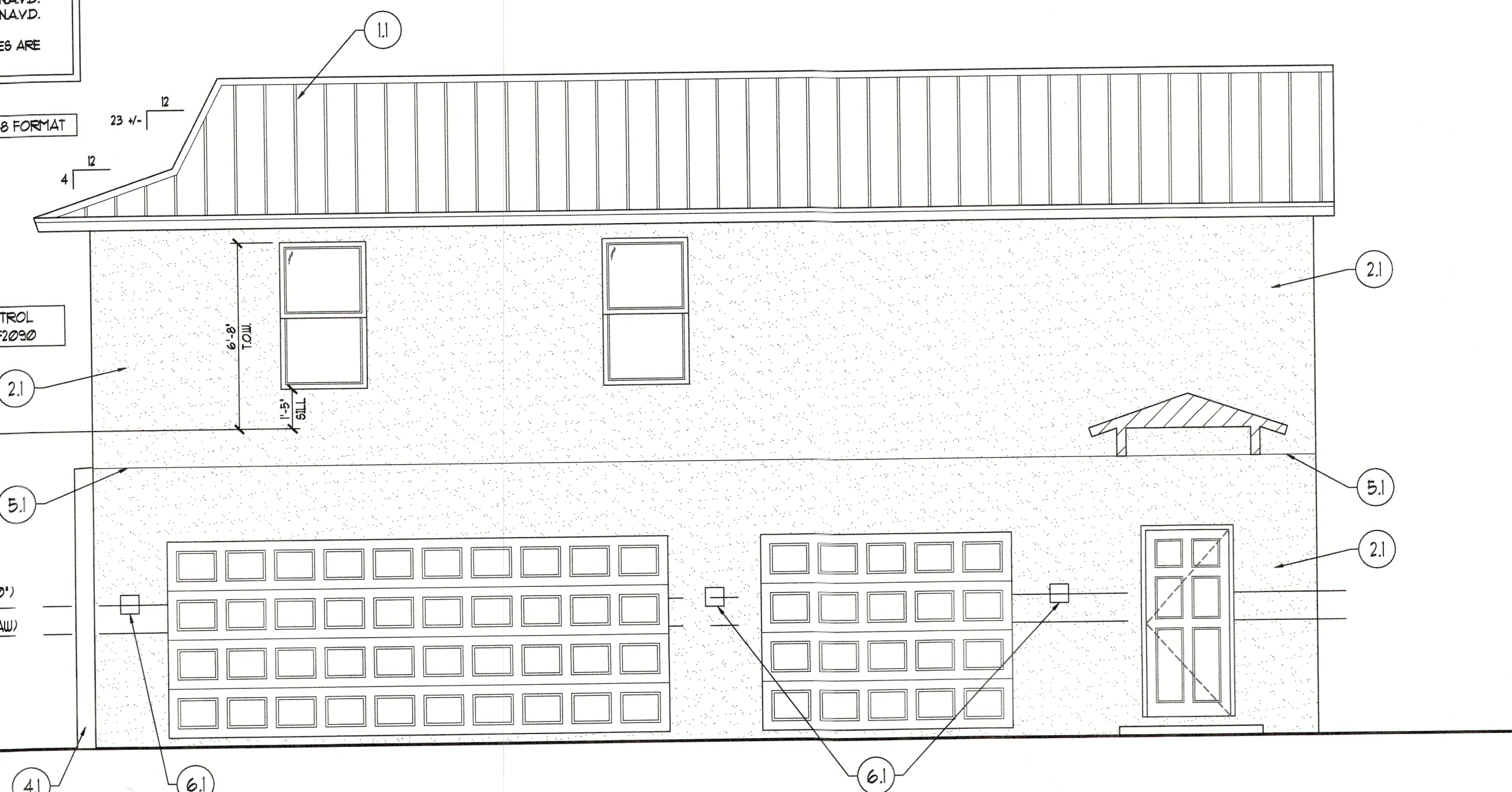
18'-8" AFF. 26.23' NAVD
ROOF TRUSS BEARING

NOTE: EGRESS WINDOWS SHALL HAVE OPENING CONTROL DEVICE PER R312.2.2 AND SHALL COMPLY W/ ASTM F2090

10'-8" AFF. 16.23' NAVD
2ND LEVEL FINISHED FLOOR
9'-4" AFF. 14.90' NAVD
FLOOR TRUSS BEARING

DESIGN FLOOD ELEVATION 10.00' NAVD (BFE: 4'-0")
BASE FLOOD ELEVATION (MIN. ELEV. REQ'D BY LAW)
5.00' NAVD (MOST STRINGENT)

0'-0" 5.51' NAVD
1ST LEVEL FINISHED FLOOR



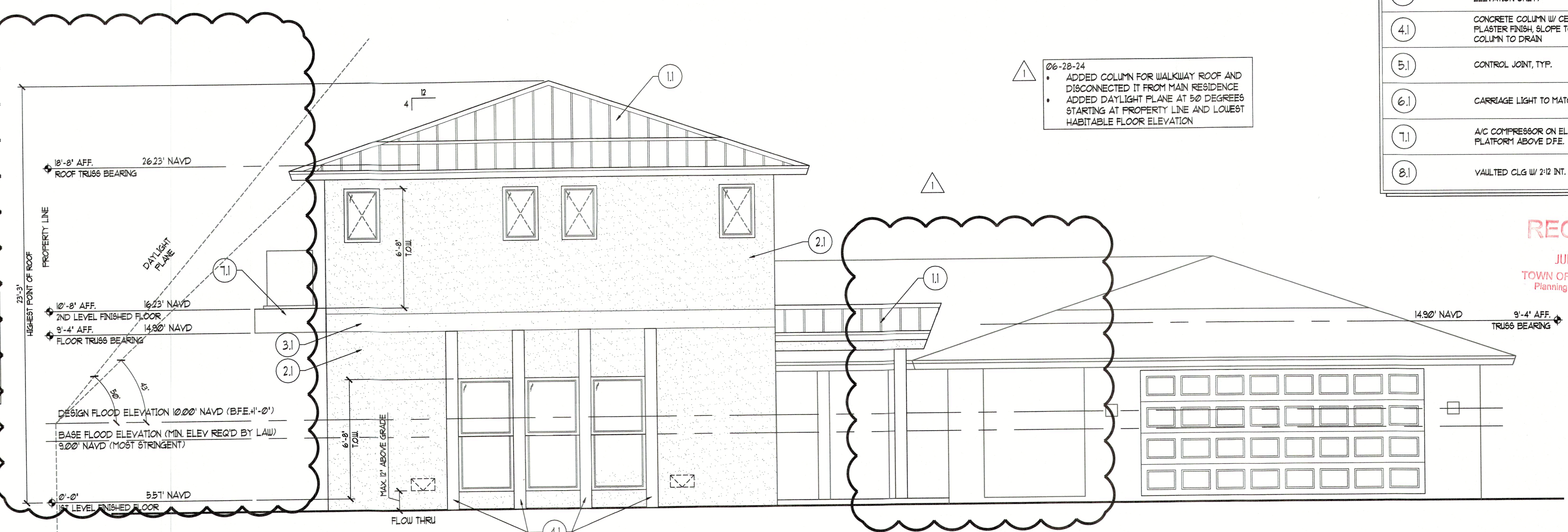
WEST ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION KEY NOTES	
11	METAL ROOF TO MATCH EXISTING
21	CEMENT PLASTER (MIN 1/2") TO MATCH EXISTING
31	DECO. STUCCO BAND (2" ON FRONT ELEVATION ONLY)
41	CONCRETE COLUMN W/ CEMENT PLASTER FINISH. SLOPE TOP OF COLUMN TO DRAIN
51	CONTROL JOINT, TYP.
61	CARRIAGE LIGHT TO MATCH EXISTING
71	A/C COMPRESSOR ON ELEVATED PLATFORM ABOVE DFE
81	VAULTED CLG W/ 2 1/2 INT. PITCH

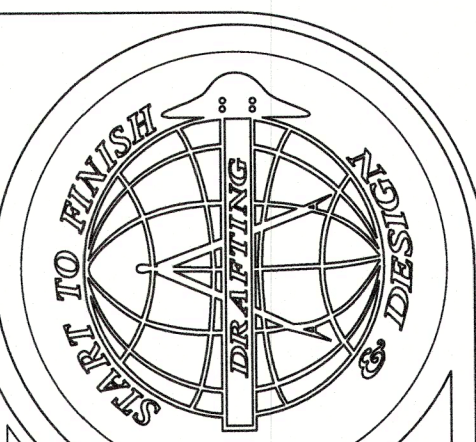
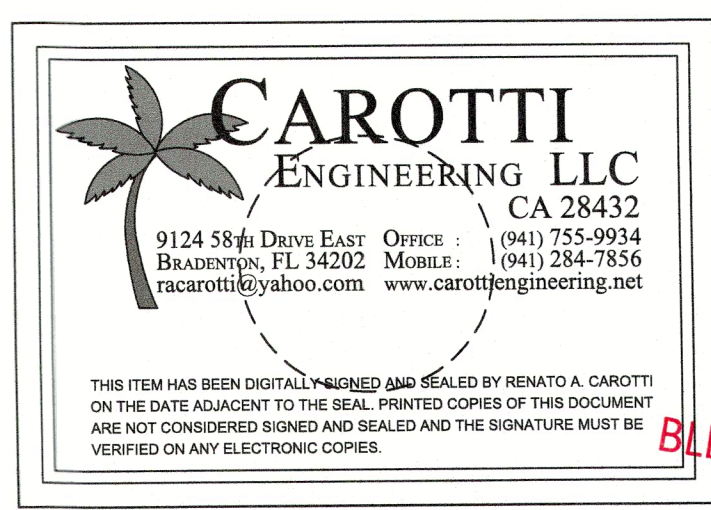
06-28-24
• ADDED COLUMN FOR WALKWAY ROOF AND DISCONNECTED IT FROM MAIN RESIDENCE
• ADDED DAYLIGHT PLANE AT 50 DEGREES STARTING AT PROPERTY LINE AND LOWEST HABITABLE FLOOR ELEVATION

BASE/DESIGN FLOOD ELEVATION NOTE:
• BASE FLOOD ELEV. (BFE) = 5.00' NAVD.
• DESIGN FLOOD ELEV. (DFE) = 10.00' NAVD.
• FINISHED FLOOR ELEV. (FFE) = 16.23' NAVD.
• GARAGE FIN. FLR. ELEV. (GFF) = 5.24' NAVD.
• ALL DRAINS TO BE ABV. DFE = MIN. 10.00' NAVD.
• ALL ELEC./EQUIP. TO BE ABV. DFE = MIN. 10.00' NAVD.
NOTE: ALL 'ASSUMED' ELEVATIONS & ELEVATION CHANGES ARE MEASURED RELATIVE TO FINISHED FLOOR

ALL ELEVATION HEIGHTS ARE LISTED IN NAVD 1988 FORMAT



NORTH ELEVATION
SCALE: 1/4"=1'-0"

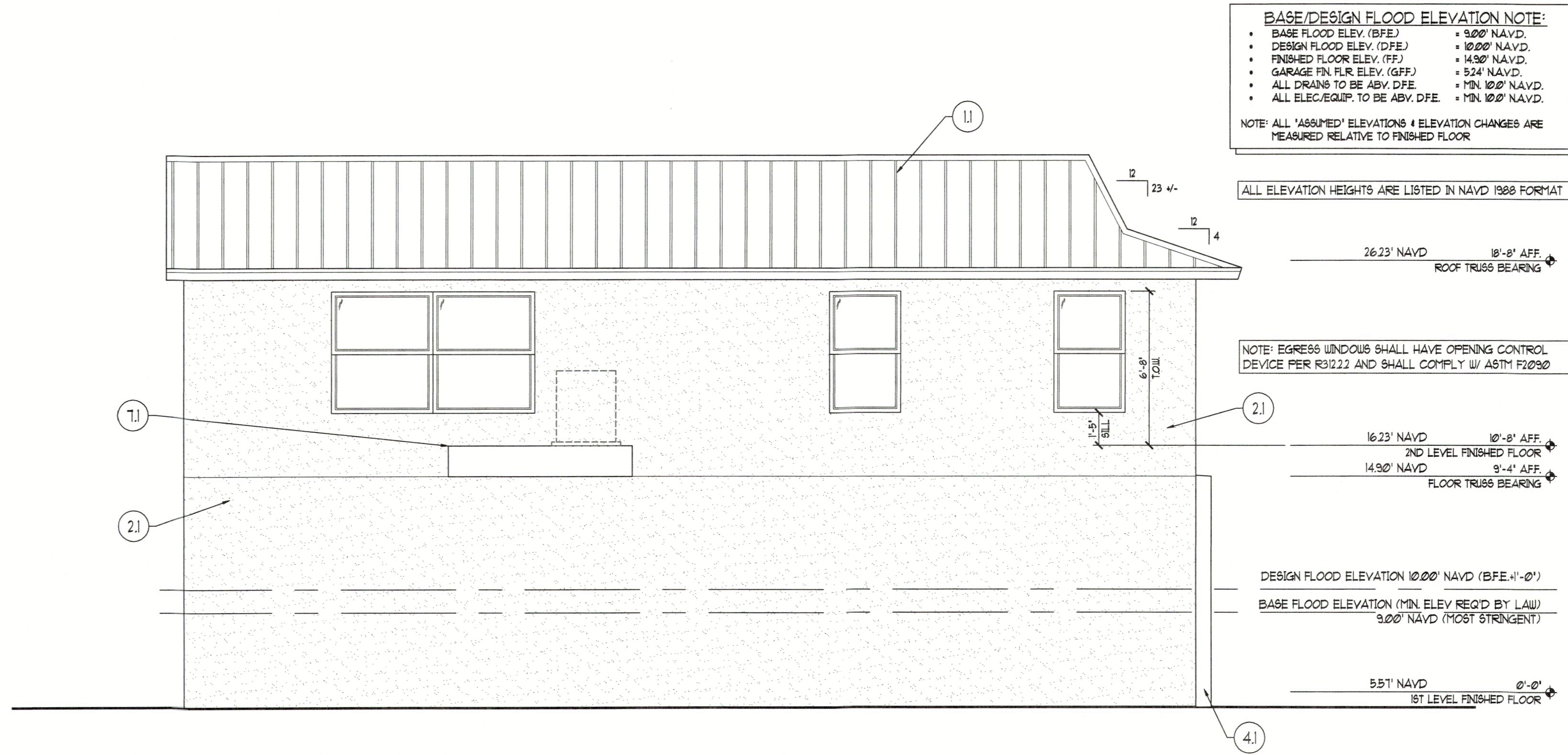


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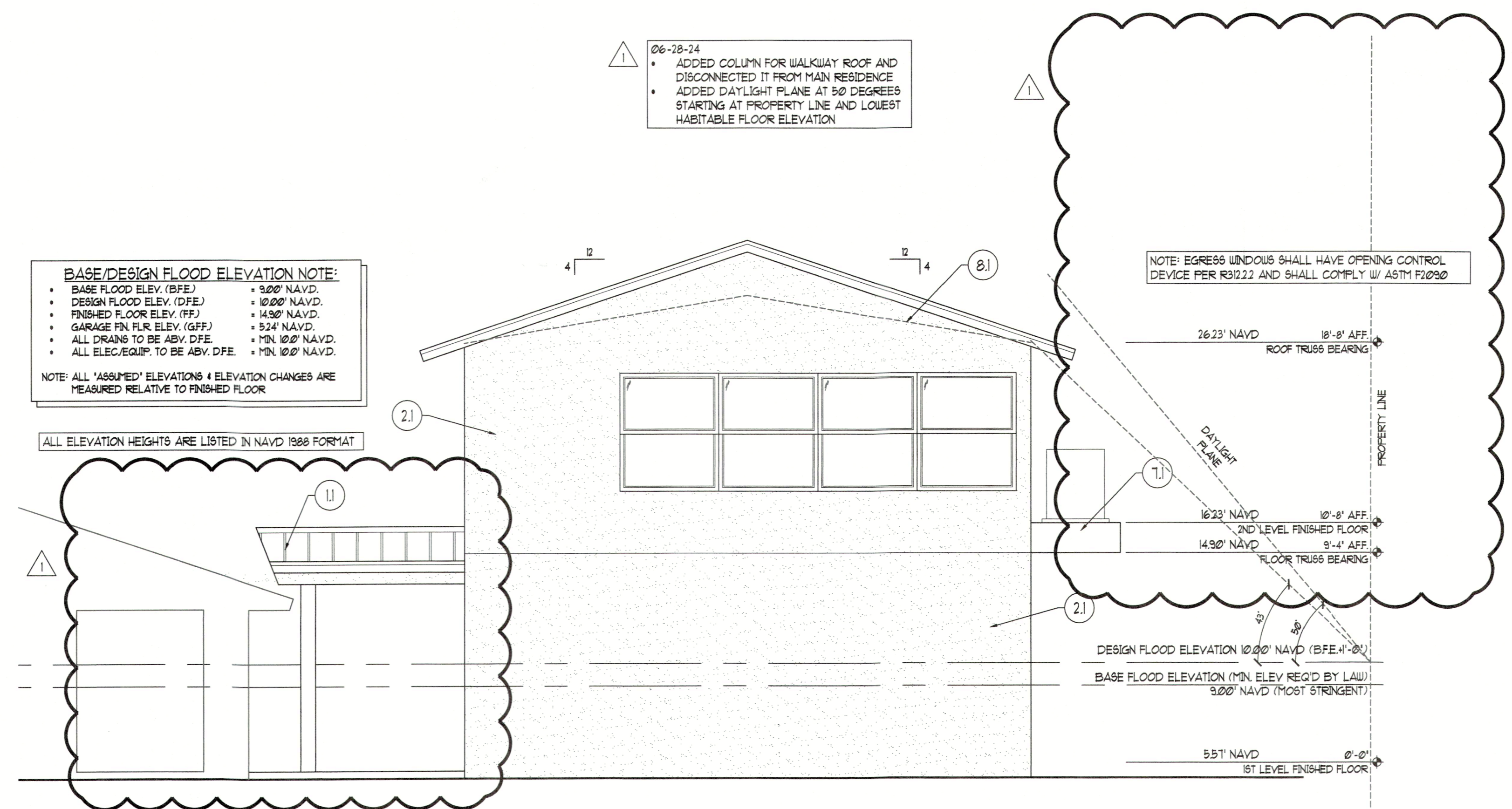
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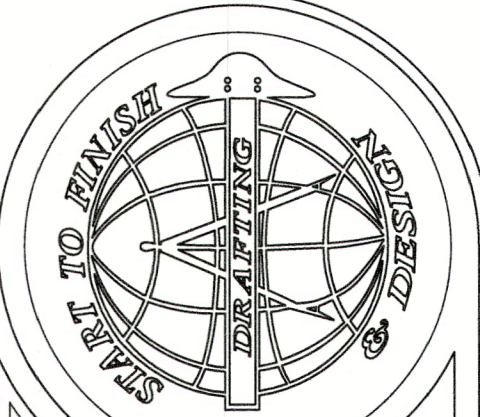
EAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION KEY NOTES	
1.1	METAL ROOF TO MATCH EXISTING
2.1	CEMENT PLASTER (MIN 1/2") TO MATCH EXISTING
3.1	DECO. STUCCO BAND (2" ON FRONT ELEVATION ONLY)
4.1	CONCRETE COLUMN W/ CEMENT PLASTER FINISH. SLOPE TOP OF COLUMN TO DRAIN
5.1	CONTROL JOINT, TYP.
6.1	CARRIAGE LIGHT TO MATCH EXISTING
7.1	A/C COMPRESSOR ON ELEVATED PLATFORM ABOVE DFE
8.1	VAULTED CLG W/ 2 1/2 INT. PITCH

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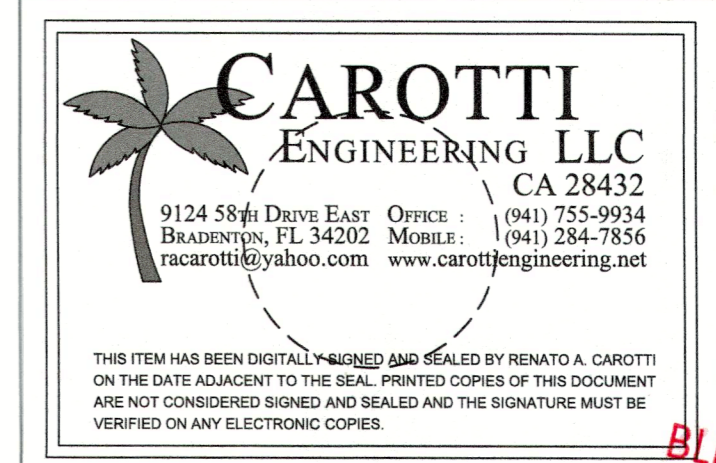


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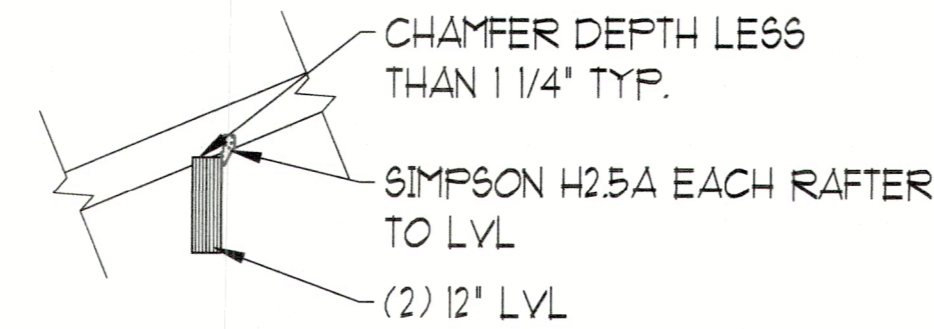
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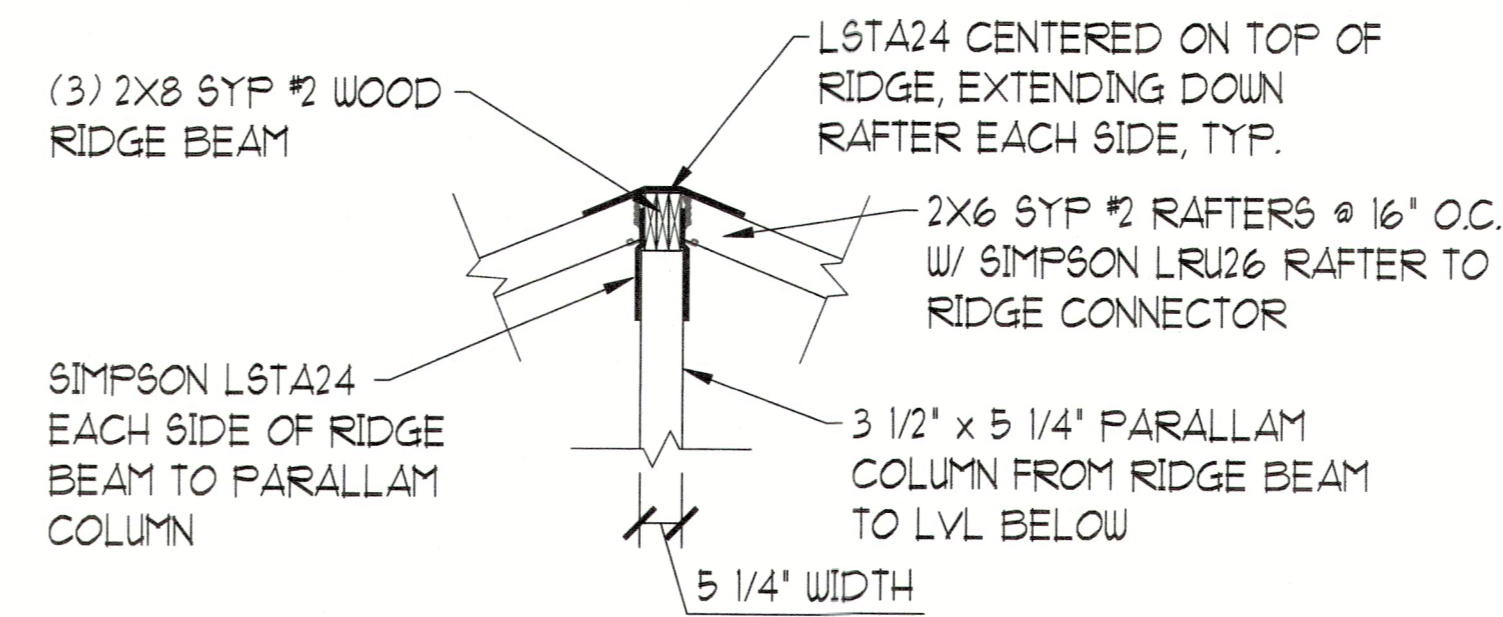
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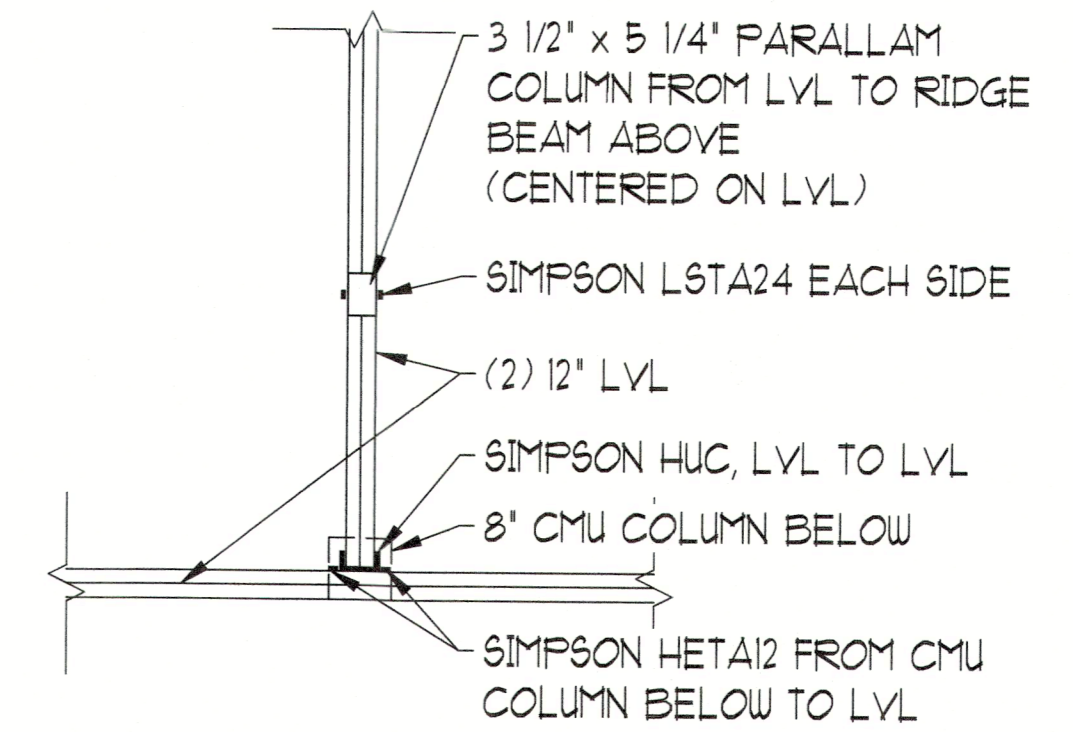
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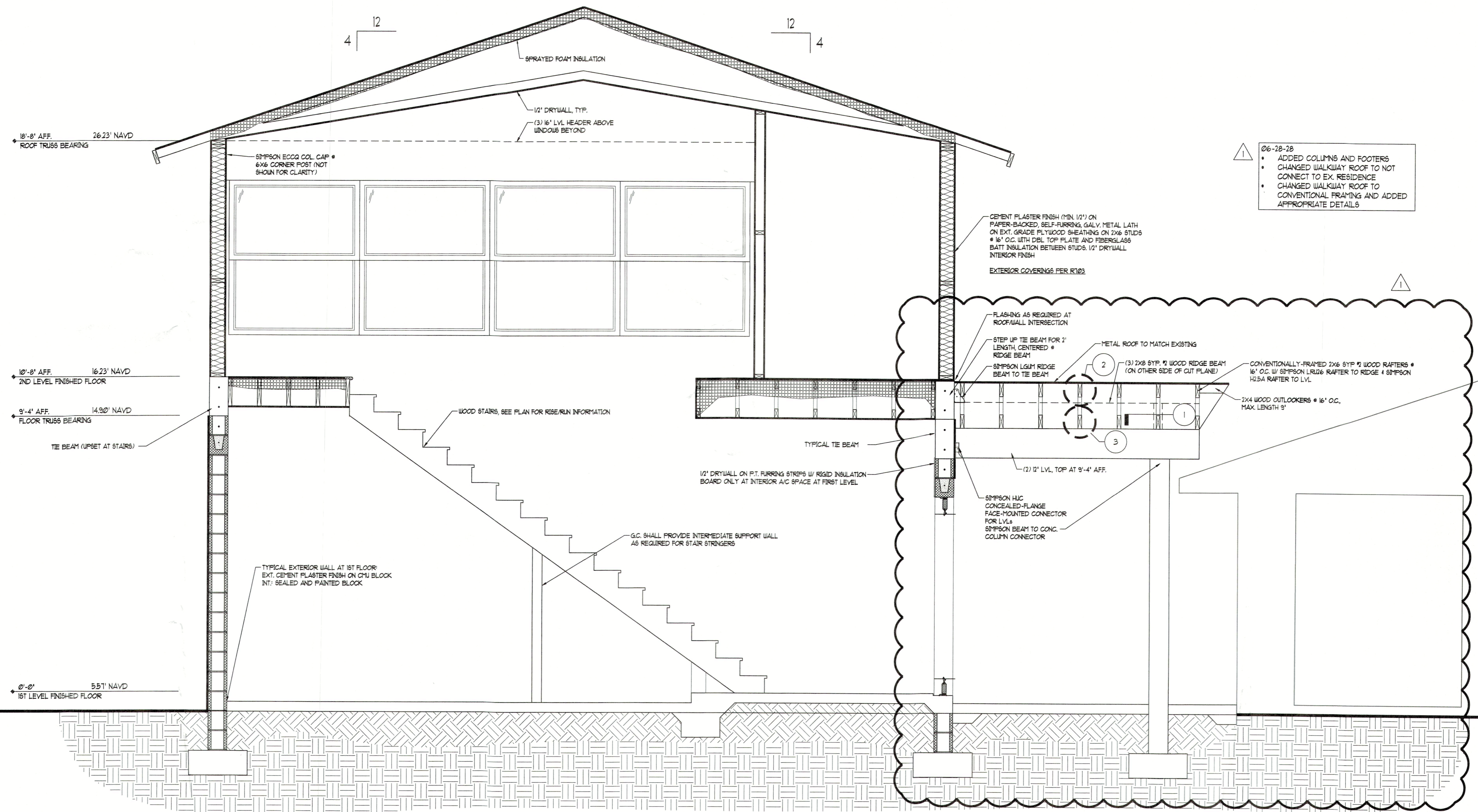
3 **RAFTER/LVL DETAIL**
SCALE: 1/2"=1'-0"



2 **RIDGE DETAIL**
SCALE: 1/2"=1'-0"



1 **LVL/COLUMN DETAIL**
SCALE: 1/2"=1'-0"



H1 **BUILDING SECTION**
SCALE: 1/2"=1'-0"

06-28-28
• ADDED COLUMNS AND FOOTERS
• CHANGED WALKWAY ROOF TO NOT CONNECT TO EX. RESIDENCE
• CHANGED WALKWAY ROOF TO CONVENTIONAL FRAMING AND ADDED APPROPRIATE DETAILS

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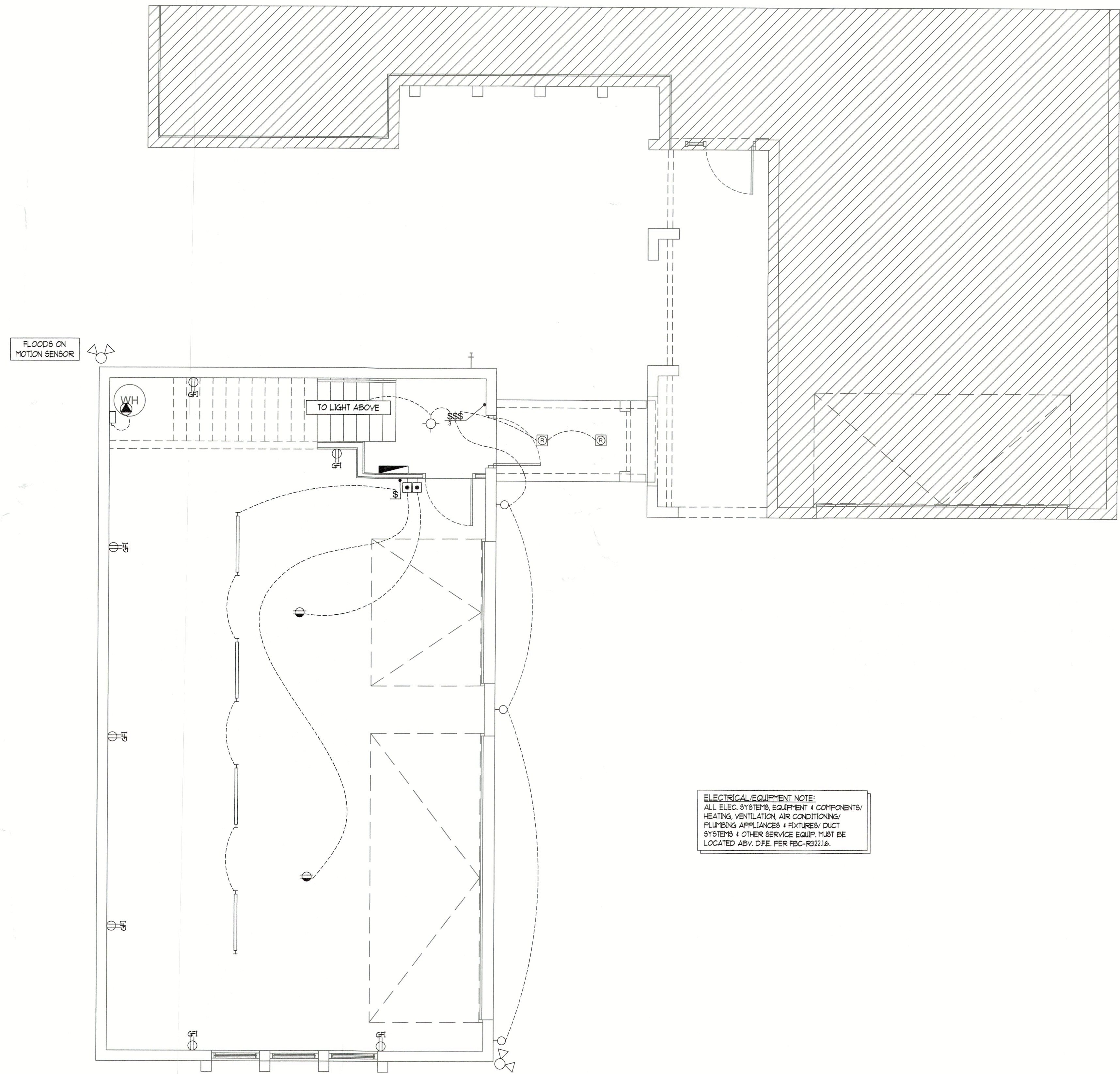
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racarotti@yahoo.com www.carottiengineering.net

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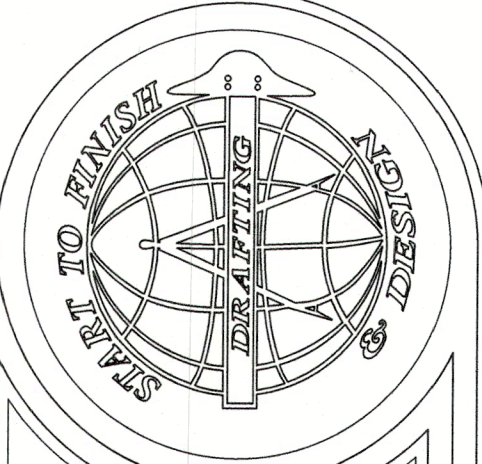


ELECTRICAL/EQUIPMENT NOTE:
ALL ELEC. SYSTEMS, EQUIPMENT & COMPONENTS/
HEATING, VENTILATION, AIR CONDITIONING/
PLUMBING APPLIANCES & FIXTURES/ DUCT
SYSTEMS & OTHER SERVICE EQUIP. MUST BE
LOCATED ABV. D.F.E. PER FBC-R322.16.

- ELECTRICAL LEGEND**
- DUPLEX OUTLET • 18" AFF (A.F.I. UNO.)
 - RECEPTACLE AFI DUPLEX 42" AFF.
 - SPLIT SWITCHED OUTLET
 - QUAD OUTLET • 18" AFF (A.F.I. UNO.)
 - SPECIALTY OUTLET
 - CEILING OUTLET
 - FLOOR OUTLET
 - GROUND FAULT OUTLET
 - WEATHER PROOF GFI OUTLET
 - 220V OUTLET
 - DUPLEX RECEPTACLE FOR TV, HT, T.B.D., G.C. TO COORD.
 - 240V DIRECT WIRE
 - 240 DISCONNECT SWITCH
 - ELECTRICAL PANEL
 - ELECTRIC METER
 - JUNCTION BOX
 - SINGLE SWITCH
 - 3-WAY SWITCH
 - 4-WAY SWITCH
 - DIMMER SWITCH
 - MOTION SWITCH
 - EXHAUST FAN
 - EXHAUST FAN / LIGHT
 - EXHAUST FAN / LIGHT & HEAT
 - RECESSED CAN LIGHT
 - 'HOCKEYPUCK' LIGHTING
 - VAPOR PROTECTED LIGHT
 - CEILING LIGHT
 - WALL LIGHT
 - FLUORESCENT FIXTURE
 - VANITY LIGHTS
 - FLOOD LIGHT
 - TRACK LIGHTING
 - CEILING FAN PREWIRE
 - CEILING FAN W/ LIGHT PREWIRE
 - CABLE T.V. JACK
 - NETWORK CABLE (TYPE TBD)
 - PHONE JACK • 18" AFF (UNO.)
 - THERMOSTAT • 60" AFF
 - SPEAKER PREWIRE
 - BUTTON
 - CHIMES
 - SMOKE DETECTOR
 - CARBON MON. & SMOKE DETECTOR

- ELECTRICAL / MECH. NOTES**
1. ALL WIRING AND GROUND SHALL BE COPPER.
 2. ALL ELECTRICAL, MECHANICAL AND H.V.A.C. SYSTEMS SHALL BE INSTALLED COMPLETE WITH ALL COMPONENTS.
 3. ALL SERVICE EQUIPMENT SHALL BE APPROVED BY THE POWER COMPANY.
 4. CONTRACTOR SHALL OBTAIN ALL INSPECTIONS REQUIRED.
 5. PROVIDE APPROVED BOXES, PLATES, PULL WIRE AND ESCUTCHEONS FOR TELEPHONE OUTLETS. FIELD VERIFY LOCATIONS WITH OWNER.
 6. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF NATIONAL ELECTRICAL CODE AS AMENDED & LOCAL ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
 7. SMOKE AND MONOXIDE DETECTORS SHALL BE PHOTOELECTRIC TYPE, 120 VOLT HARD-WIRED W/ BATTERY BACKUP - SUPPLIED AND INSTALLED BY CONTRACTOR.
 8. ELECTRICAL, PLUMBING AND H.V.A.C. CONTRACTORS SHALL PROVIDE CATALOG, CUT SHEETS, ETC. FOR APPROVAL.
 9. ALL ELECTRICAL OUTLETS TO BE A.F.I. PROTECTED.
 10. ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT.
 11. ALL EXTERIOR LIGHT FIXTURES SHALL BE RATED FOR EXTERIOR USE.
 12. G.C. SHALL VERIFY SMOKE DETECTOR IN EACH HABITABLE ROOM & CARBON MONOXIDE DETECTOR WITHIN (10) TEN FEET. CM ALARMS PER FBC R314 & R315.
 13. ALL OUTLETS TO BE TAMPER PROOF PER NEC 2020.

ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4"=1'-0"



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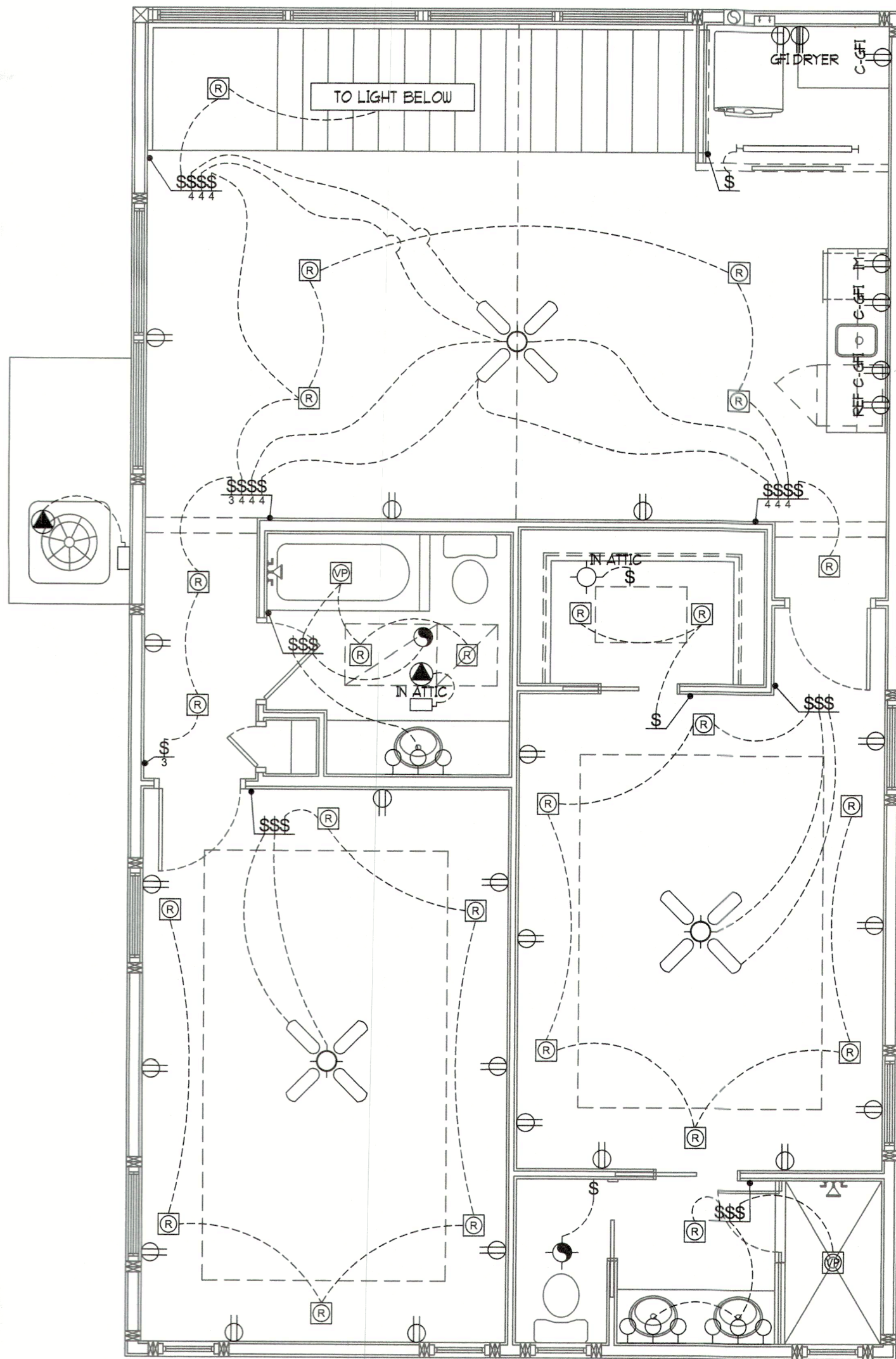
The Willis Residence
700 Dream Island Road
Longboat Key, FL

Date: 05-24-24 Drawn By: DD
Job #: 23-163 Checked By: JMK

No.	Date	Change	Revisions
1	06-28-24	BLDG DEPT REVS	
2			
3			
4			

SHEET
A-6.1

BLDG PERMIT PLANS
FILE
Copy of Record



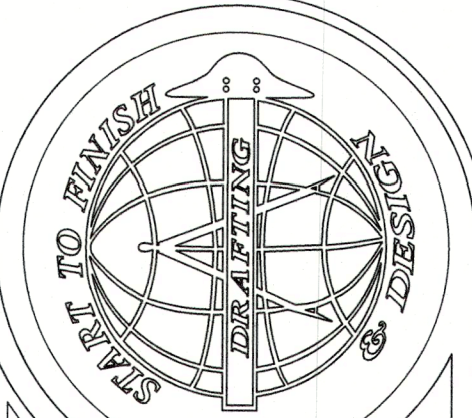
ELECTRICAL PLAN - 2ND FLOOR
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND

- DUPLEX OUTLET • 18" AFF (AFL UNO.)
- RECEPTACLE AFL DUPLEX 42" AFF.
- SPLIT SWITCHED OUTLET
- QUAD OUTLET • 18" AFF (AFL UNO.)
- SPECIALTY OUTLET
- CEILING OUTLET
- FLOOR OUTLET
- GROUND FAULT OUTLET
- WEATHER PROOF GFI OUTLET
- 220V OUTLET
- DUPLEX RECEPTACLE FOR TV, HT. TBD, G.C. TO COORD.
- 240V DIRECT WIRE
- 240 DISCONNECT SWITCH
- ELECTRICAL PANEL
- ELECTRIC METER
- JUNCTION BOX
- SINGLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- MOTION SWITCH
- EXHAUST FAN
- EXHAUST FAN / LIGHT
- EXHAUST FAN / LIGHT & HEAT
- RECESSED CAN LIGHT
- 'HOCKEYPUCK' LIGHTING
- VAPOR PROTECTED LIGHT
- CEILING LIGHT
- WALL LIGHT
- FLUORESCENT FIXTURE
- VANITY LIGHTS
- FLOOD LIGHT
- TRACK LIGHTING
- CEILING FAN PREWIRE
- CEILING FAN W/ LIGHT PREWIRE
- CABLE TV JACK
- NETWORK CABLE (TYPE TBD)
- PHONE JACK • 18" AFF (UNO.)
- THERMOSTAT • 60" AFF
- SPEAKER PREWIRE
- BUTTON
- CHIMES
- SMOKE DETECTOR
- CARBON MON. & SMOKE DETECTOR

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A NEW GARAGE/GUEST HOUSE ADDITION FOR:
The Willis Residence
700 Dream Island Road
Longboat Key, FL

Date: 05-24-24 Drawn By: DD
Job #: 23-163 Checked By: JMK

Revisions	
No.	Change
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4	

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BUILDING CODES & LOADINGS:

APPLICABLE CODES :

- 2023 FLORIDA BUILDING CODE , 8th EDITION
- 2023 FLORIDA BUILDING CODE , 8th EDITION, BUILDING
- 2023 FLORIDA BUILDING CODE , 8th EDITION, RESIDENTIAL
- 2023 FLORIDA BUILDING CODE , 8th EDITION, EXISTING BUILDING
- 2023 FLORIDA BUILDING CODE , 8th EDITION, MECHANICAL
- 2023 FLORIDA BUILDING CODE , 8th EDITION, PLUMBING
- 2023 FLORIDA BUILDING CODE , 8th EDITION, FUEL GAS
- 2023 FLORIDA BUILDING CODE , 8th EDITION, ACCESSIBILITY CODE
- 2023 FLORIDA BUILDING CODE , 8th EDITION, ENERGY CONSERVATION
- 2020 NATIONAL ELECTRIC CODE
- 2023 FPPC 8th EDITION
- 2021 NFPA 101-LIFE SAFETY CODE

APPLICABLE STANDARDS:

- ASCE 7-22: MIN. DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
- ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AISI STEEL CONSTRUCTION MANUAL (LATEST EDITION)
- TMS 402/602-16: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
- AMS/AIWC NDS 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD W/ ALL SUPPLEMENTS
- AMS/AIWC SDPWS 2021 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC W/ COMMENTARY
- AWS D1.1 STRUCTURAL WELDING CODE FOR STEEL (2020)
- AAF-20 GUIDE TO ALUMINUM CONSTRUCTION IN HIGH WIND AREAS (2020)

THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND/OR MORE RESTRICTIVE REQUIREMENTS FOR LOADS GIVEN BELOW UNLESS DIFFERENT LOADING CRITERIA IS CALLED ON FOLLOWING SHEETS. REFER TO DRAWINGS FOR LOAD SCHEDULE.

GRAVITY LOADING	UNIFORM LIVE LOAD	UNIFORM DEAD LOAD	CONCENTRATED LOAD
FLOOR (RESIDENTIAL)	40 PSF	20 PSF	-
BALCONIES (U.N.O.)	60 PSF	-	-
BALCONIES/DECK (SINGLE FAMILY)	40 PSF (U.N.O.)	-	-
ROOFS	20 PSF	20 PSF	-
ATTIC (NO STORAGE/LIVING)	10 PSF	-	-
GUARDS AND HANDRAILS	50 PLF	-	200 LBF
GUARD IN-FILL COMPONENTS	-	-	50 LBF
STAIRS (RESIDENTIAL)	40 PSF	-	300 LBF
GARAGES (RESIDENTIAL)	40 PSF	-	-

DRAWING & DIMENSION COORDINATION:

- THESE DRAWINGS COMPLY WITH THE MORE RESTRICTIVE REQUIREMENT OF THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN IN THE FIELD OFFICE ACCESS TO ALL THE STANDARDS AND SPECIFICATIONS REFERENCED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK
- THE ENGINEER WILL CLOUD OR OTHERWISE INDICATE REVISIONS TO THESE DOCUMENTS ONLY AFTER THEY HAVE BEEN ISSUED FOR CONSTRUCTION. CHANGES PRIOR TO THAT DATE WILL NOT BE CLOUDED. CHANGES AND/OR REVISIONS, AFTER THE CONSTRUCTION SET IS ISSUED WILL BE CLOUDED. IT SHALL BE ATTEMPT TO BRING TO THE CONTRACTOR'S ATTENTION ANY MAJOR ITEMS. HOWEVER, IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE PRICING AND CONSTRUCTION OF ALL REQUIREMENTS OF THESE DOCUMENTS, INCLUDING REVISIONS (FLAGGED OR UN-FLAGGED) WITH ALL OF HIS SUPPLIERS AND SUBCONTRACTORS.

LAP SPLICE TABLE				
F'C = 3,000 PSI		F'Y = 60 KSI		
BAR SIZE	COMP LAP	TENSION BARS	HOOKED BAR (90 OR 180 DEG)	EMBED "HOOK"
#3	12"	21.5"	8.5"	6.0"
#4	15"	28.5"	11.0"	8.0"
#5	19"	36.0"	14.0"	10.0"
#6	23"	43.0"	16.5"	12.0"
#7	27"	52.5"	19.5"	14.0"

* FOR 180 DEG. HOOK REQ. CAN BE REDUCED 50% (MIN. 4")

LAP SPLICE TABLE				
F'C = 4,000 PSI		F'Y = 60 KSI		
BAR SIZE	COMP LAP	TENSION BARS	HOOKED BAR (90 OR 180 DEG)	EMBED "HOOK"
#3	12"	18.5"	14.5"	6.0"
#4	15"	25.0"	17.5"	8.0"
#5	19"	31.0"	22"	10.0"
#6	23"	37.0"	26.5"	12.0"
#7	27"	54.0"	31"	14.0"

* FOR 180 DEG. HOOK REQ. CAN BE REDUCED 50% (MIN. 4")

CAS-T-IN-PLACE CONCRETE:

CIP CONCRETE TO BE MIXED AND PLACED IN ACCORDANCE WITH THE FOLLOWING STANDARDS: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE" ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND COMMENTARY" ALL REINFORCED CONCRETE TO HAVE 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS: ALL STRUCTURAL ELEMENTS (BEAMS, COLUMNS, AND LINTLS) F'C = 3000 PSI IF NOT STATED ON PLAN. ALL CONCRETE TO BE USED IN FOUNDATION AND SLABS TO BE MIN. F'C=3000 PSI AND MAIN REINFORCING STEEL TO BE MIN. F'Y=60KSI (STIRRUP REINFORCING STEEL MAY BE F'Y=40KSI)

CONCRETE MASONRY UNIT:

ALL MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH TMS 402/602 BUILDING CODE REQUIREMENTS AND SPECS FOR MASONRY STRUCTURES AND ALL APPLICABLE LOCAL BUILDING CODE PROVISIONS. ALL MASONRY WALLS TO BE CONSTRUCTED ENTIRELY OF UNITS CONFORMING TO ASTM C 90, AND MASONRY REINFORCED WITH #8 GALVANIZED LADDER TYPE HORIZONTAL REINFORCING LOCATED AT 16" O.C. ALL MASONRY TO BE LAID IN TYPE "M" OR "S" MORTAR (2,000 PSI ON THE JOB) WITH FULL HEAD AND BED JOINTS. MASONRY UNITS SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2.00PSI. CERTIFICATION OF BLOCK STRENGTH SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW.

STRUCTURAL STEEL:

ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". STRUCTURAL STEEL TO CONFORM TO:

ASTM A36	PLATES, ANGLES, AND CHANNELS
ASTM A53 GR B	PIPES
ASTM A500 GR C	HSS
ASTM F1554-36	ANCHOR BOLTS
ASTM A992	W-SHAPES

ALL SHOP AND FIELD CONNECTIONS SHALL BE MADE WITH ASTM A325-94 HIGH STRENGTH BOLTS OR WELDING. ANY CONNECTION NOT SPECIFICALLY DETAILED SHALL BE DESIGNED BY THE SPECIALTY ENGINEER FOR THE FORCES SHOWN ON THE STRUCTURAL CONSTRUCTION DOCUMENTS. WHERE FORCES ARE NOT PROVIDED DESIGN SHALL BE BASED ON THE MAXIMUM LOAD CAPACITIES OF THE CONNECTING MEMBERS. ALL STRUCTURAL SUBMITTALS REQUIRING ENGINEERING INPUT SHALL BE ACCOMPANIED BY DESIGN CALCULATIONS AND BE SIGNED AND SEALED BY THE SPECIALTY ENGINEER. ALL STEEL AT AND BELOW FINISHED GRADE TO BE FIELD PAINTED AND COVERED WITH CONCRETE PER ACI 318 TABLE 20.6.1.3.1

- SITE PREPARATION NOTES:
- THE BUILDING SHALL BE PREPARED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - IF THE SITE PREPARATION REQUIREMENTS ARE NOT SPECIFIED BY A GEOTECHNICAL REPORT THE FOLLOWING PROCEDURES SHOULD BE USED AS A MINIMUM.
 - WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
 - THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
 - FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL PLAGE IN 8-INCH LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY BASED ON THE MODIFIED PROCTOR TEST.
 - ALL CONTROLLED FILL MATERIAL SHALL BE A SELECT GRANULAR MATERIAL FREE FROM ALL ORGANICS OR OTHERWISE DELETERIOUS MATERIAL.
 - PROVIDE FILED DENSITY TESTS FOR EACH 1,500 S F OF BUILDING AREA FOR EACH LIFT OF CONTROLLED FILL.

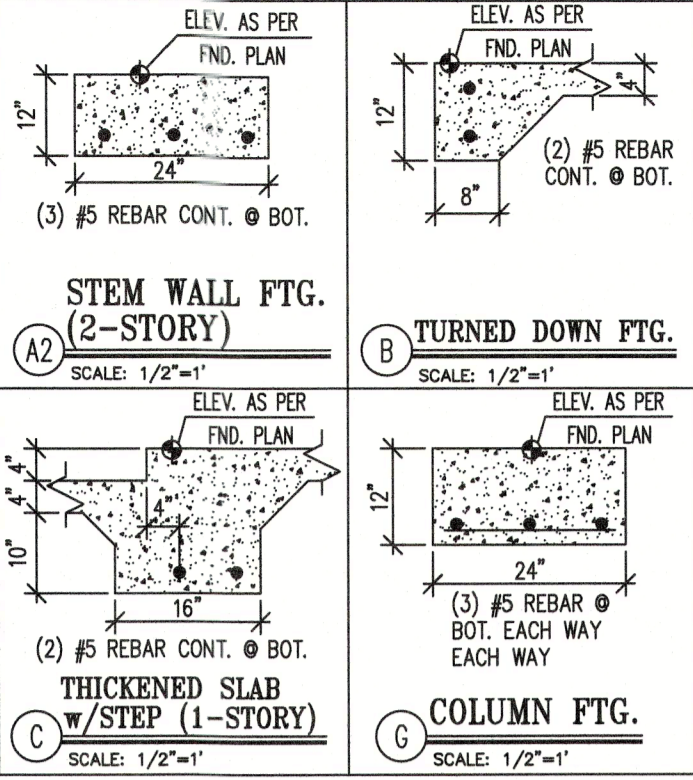
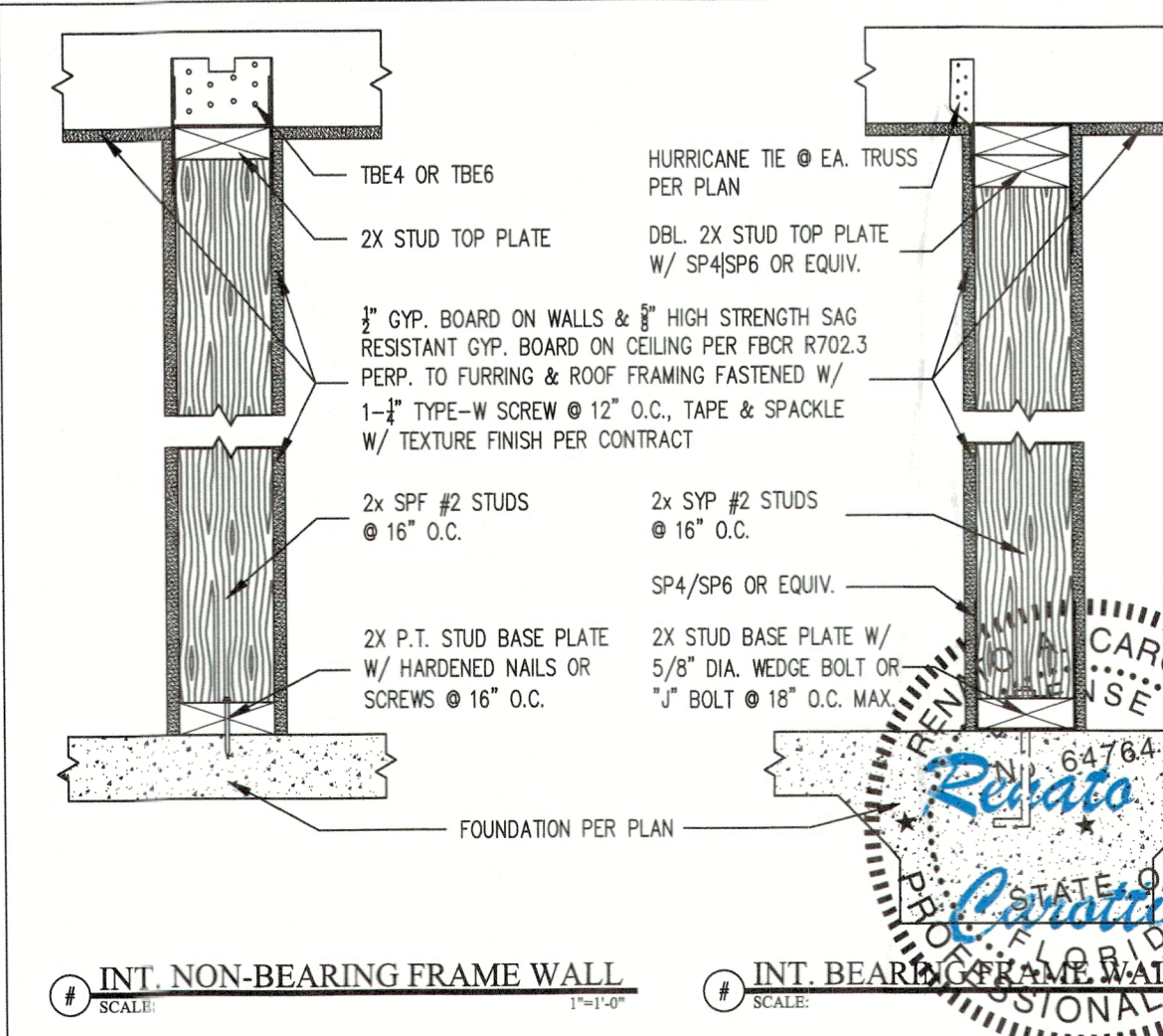
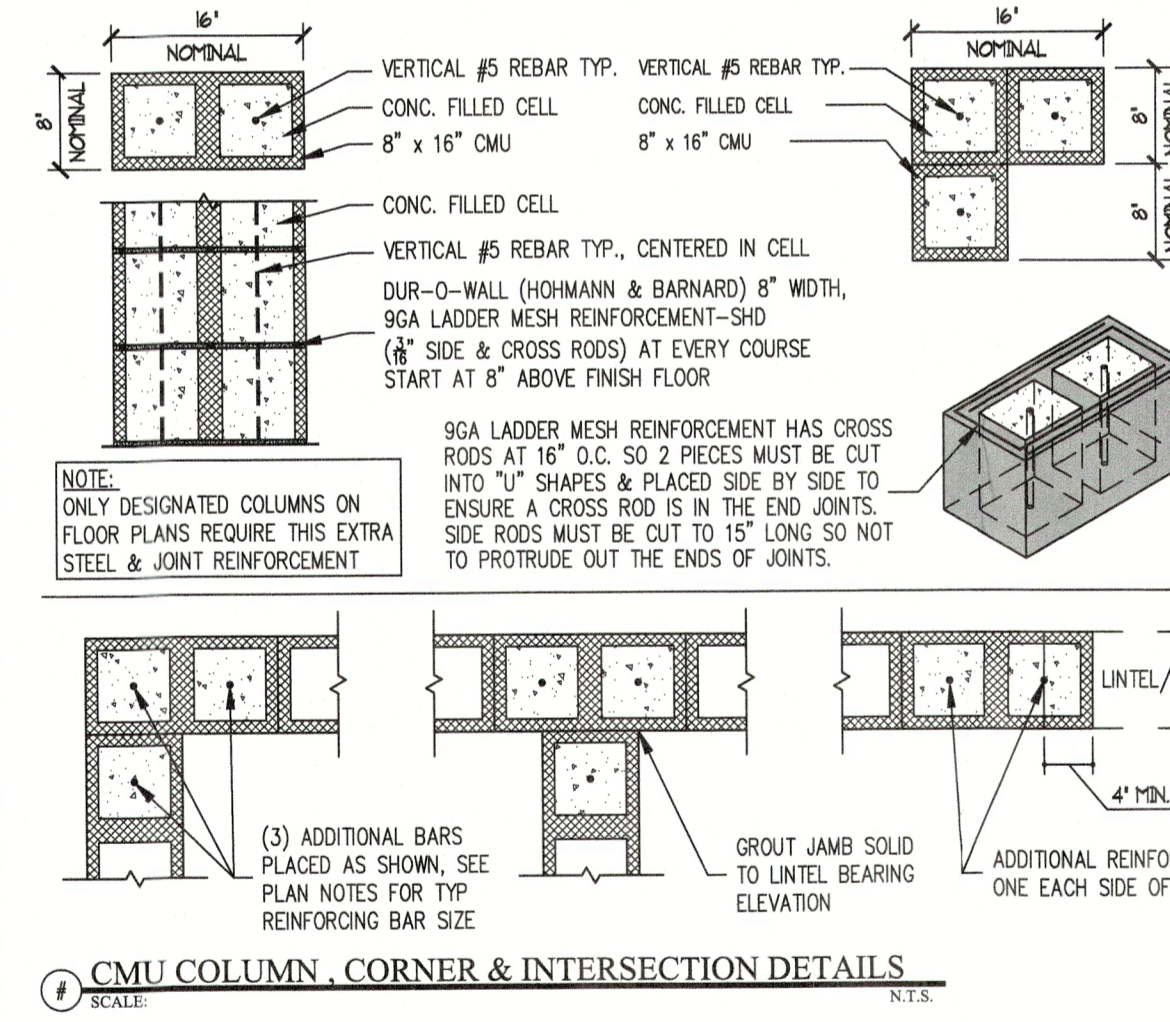
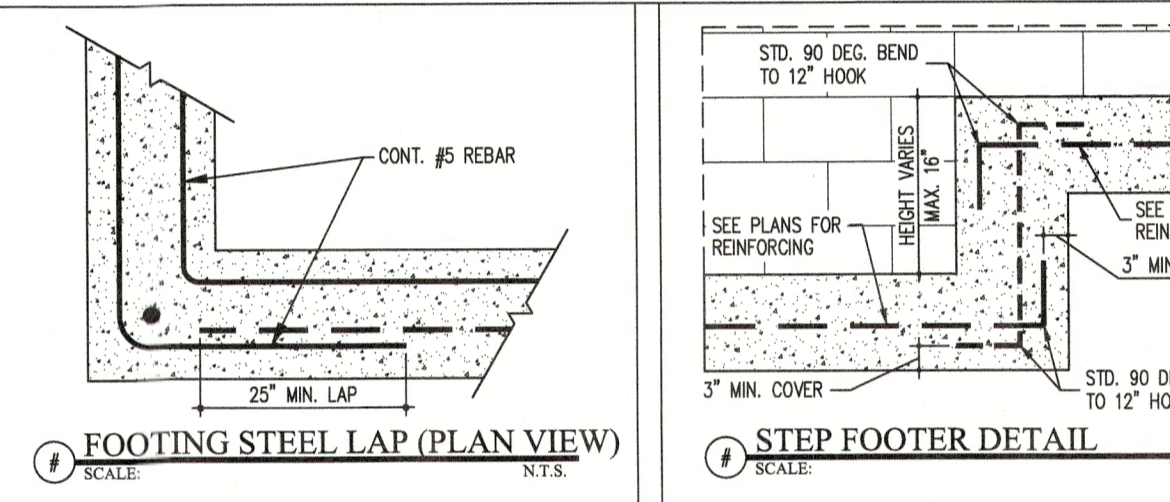
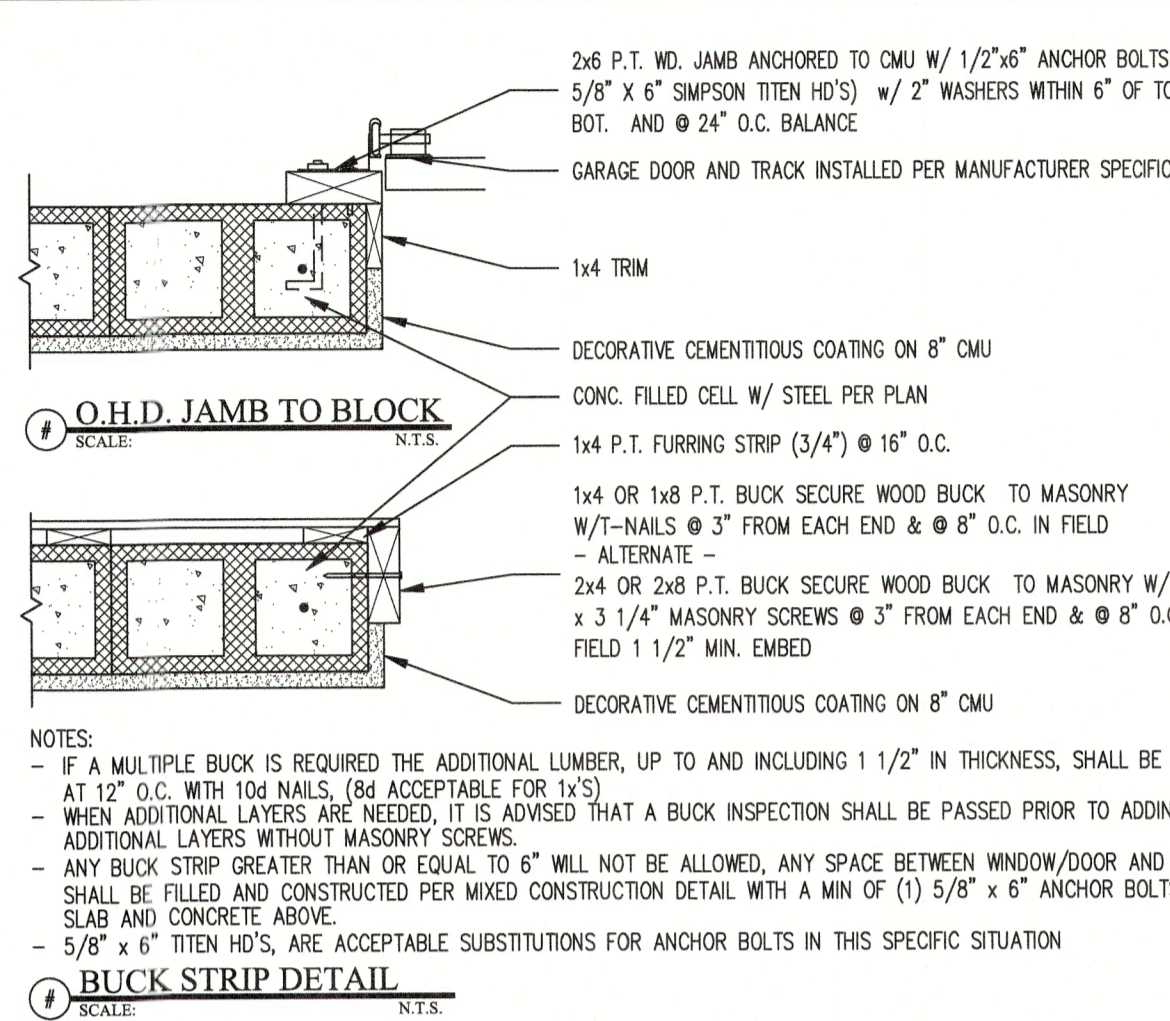
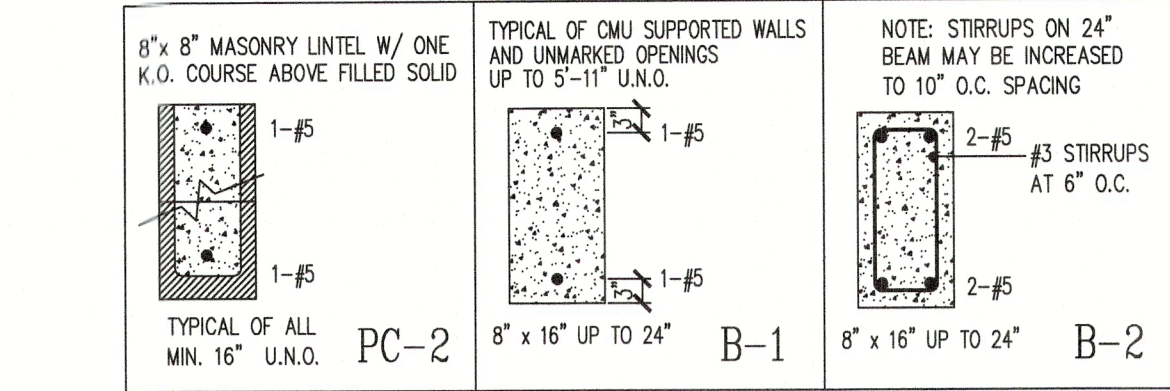
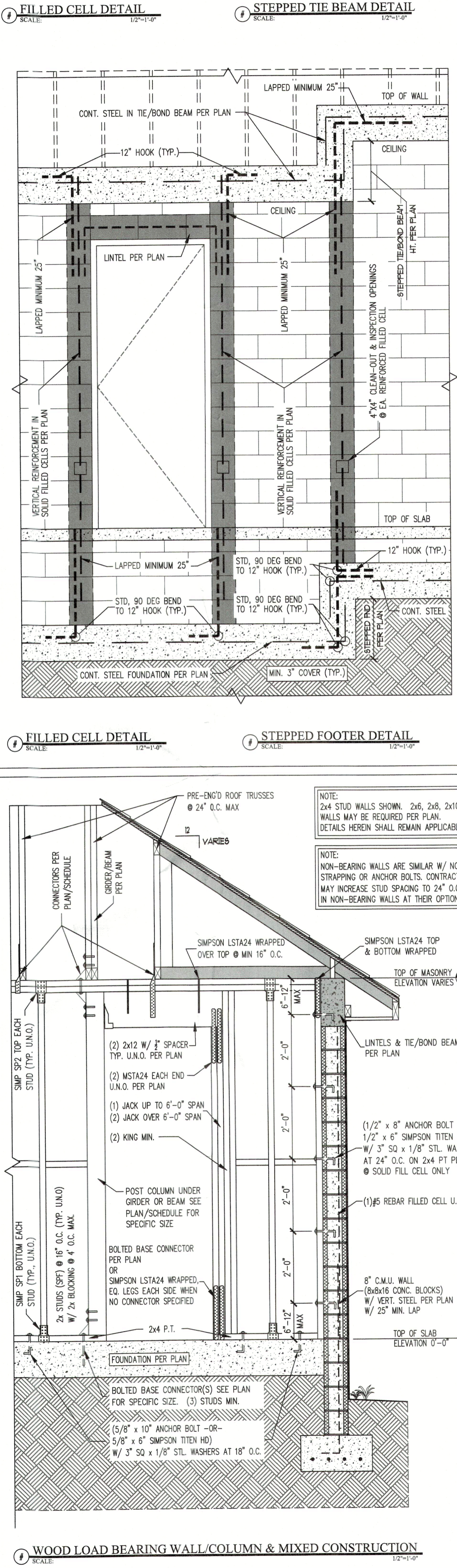
- GENERAL NOTES:
- THE CONTRACTOR/OWNER IS TO VERIFY ALL SITE CONDITIONS, PROPERTY DIMENSIONS, AND PRODUCT AVAILABILITY, OPENINGS FOR WINDOWS AND DOORS AND ATTACHMENT REQUIREMENTS, DIMENSIONS OF PRODUCTS, INCLUDING APPLIANCES ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
 - ALL STRUCTURAL DESIGN HAS BEEN CARRIED OUT PER THE PROVISIONS OF CHAPTER 16 OF THE BUILDING CODE, AS WELL AS ASCE 7.
 - ENGINEERING DESIGNS PROVIDED IN THESE DETAIL SPECIFICATIONS REPRESENT THE MINIMUM DESIGN CRITERIA FOR CONSTRUCTION TO THE CODES IDENTIFIED ABOVE.
 - THE PRESUMPTIVE LOAD-BEARING VALUES OF THE FOUNDATION SOIL IS TO BE 2000PSF BASED ON THE TABLE R401.4.1, OF THE BUILDING CODE.
 - ENGINEER HAS NOT PROVIDED ANY JOB SITE INSPECTIONS UNLESS SPECIFICALLY ARRANGED.
 - CLADDING PRODUCTS ARE TO BE INSTALLED TO THE MANUFACTURES SPECIFICATIONS, AND TO COMPLY WITH THE BUILDING CODE, AND ASSET THE CONTRACTOR IS TO PROVIDE ANY INSTALLATION GUIDELINES OR PRODUCT TESTING REQUIRED BY THE BUILDING OFFICIAL IF REQUESTED.
 - ALL CONSTRUCTION WORK AND DESIGN IS SUBJECT TO THE REVIEW AND INTERPRETATION OF THE BUILDING OFFICIALS. CONTRACTOR ACKNOWLEDGES THAT ADDITIONAL ENGINEERING DETAILS, AND/OR REQUIREMENTS MAY BE REQUESTED/REQUIRED BY THE PERMITTING AUTHORITY HAVING JURISDICTION, AND SUCH REQUIREMENTS MAY ALTER THE ORIGINAL PROPOSED DESIGN. THESE ADJUSTMENTS COULD SUBJECT THE CONTRACTOR TO ADDITIONAL EXPENSES AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - HOMEOWNER ASSOCIATION, DEED RESTRICTIONS AND ZONING REQUIREMENTS, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR AND NO VERIFICATION OR COMPLIANCE IS EXPRESSED OR IMPLIED BY THE ENGINEER.
 - THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE WHEN CONSTRUCTION IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF SUCH TO PROVIDE SAFETY OF WORKERS, THE BUILDING AND ALL COMPONENTS OF THE BUILDING. ALL TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FROM THE STRUCTURE OR BUILDING TO ALL APPLICABLE CODES AND ORDINANCES. SITE DRAINAGE IS ALSO THE CONTRACTORS RESPONSIBILITY. THE ENGINEER HAS ACKNOWLEDGED NO REVIEW, COMMENT OR COMPLIANCE.
 - NO ENVIRONMENTAL STUDIES HAVE BEEN PERFORMED BY THE ENGINEER, AND IF REQUIRED ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE DESIGN OF ALL PRE-ENGINEERED ROOF TRUSSES INCLUDING GIRDERS FLOOR TRUSSES, AND ALL BEAMS ARE TO BE DESIGNED TO MEET THE BUILDING CODE WITH SUPPLEMENTS, AND ASCE 7. THE DESIGN IS TO INDICATE THE ENGINEER OF RECORD AND BEAR THE SEAL OF SUCH ENGINEER. ALL LATERAL AND CROSS BRACING REQUIRED IS TO BE SPECIFIED BY THE DESIGNER. THE TRUSS OR FLOOR SYSTEM DESIGN SHALL NOT REQUIRE EXTERNAL LATERAL RESTRAINT FROM ANY WALL SYSTEM. THE DESIGN IS TO ALSO INDICATE THE MAGNITUDE OF THE LOADS AND ANY PROVISIONS REQUIRED. THE CONTRACTOR ASSUMES THE RESPONSIBILITY OF REVIEW OF THE PRE-ENGINEERED SYSTEMS AND ANY COMPLIANCE NECESSARY. ANY DEVIATION FROM THE PROPOSED DESIGNS MAY REQUIRE ADDITIONAL REVIEW AND MODIFICATION.
 - ALL PERMANENT TRUSS BRACING, IN ADDITION TO TRUSS BRACING SPECIFIED BY THE TRUSS ENGINEER SHALL BE INSTALLED PER THE DETAIL IN THESE SHEETS, AND IN ACCORDANCE TO BWT-76 AND HIB-81.
 - ALL MATERIAL INSTALLATIONS ARE TO BE PER THE CODES AND STANDARDS REFERENCED

- FASCIA & SOFFIT VENTING:
- MINIMUM 2x4 SUB FASCIA NAILED TO TRUSS TAILS w/ (2) 16d NAILS AT EACH TRUSS - (EACH PLY WHEN MULTIPLE TRUSS.
 - TYPICAL DRIP EDGE & SOFFIT/FASCIA INSTALLED TO MFG. SPECIFICATIONS.
 - SEE ALUMINUM ENGINEERING SPECIFICATIONS SUPPLIED BY OTHERS FOR FASCIA OR OVERHANG REQUIREMENTS WHEN SCREEN ENCLOSURES OR STRUCTURAL GUTTERS ARE DESIGNED TO BE ATTACHED TO FASCIA NO VENTING IF USING SPRAY FOAM INSULATION.

- GENERAL STRUCTURAL NOTES:
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING WORK. THE ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
 - THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OR PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - DRAWING INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, THE STANDARD DETAILS CONTAINED IN THE E.O.R. DETAIL SHEETS ATTACHED SHALL BE USED.

DESIGN CRITERIA	2023 FBC-R, SEC R301.2
ULTIMATE DESIGN WIND SPEED (MPH) V-ULT	= 160
NOMINAL DESIGN WIND SPEED (MPH) V-ASD	= 124
EXPOSURE CATEGORY	= D
MEAN BUILDING HEIGHT	= 25
END ZONE DIMENSION (FT)	= 4.00
ROOF STYLE	= HIP
ROOF PITCH (INCHES PER FOOT)	= 1.5 TO 4.5
RISK CATEGORY	= II
OCCUPANCY CALSSIFICATION	(ENCLOSED / PART. OPEN)
INTERNAL PRESSURE COEFFICIENT	= 0.18
HEIGHT & EXPOSURE ADJUSTMENT FACTOR	= 1.61
FLOOR LIVE LOAD	= 40
ROOF LIVE LOAD	= 20
SOLID BEARING CAPACITY	= 2000 PSF

	EWA = 10FT2		EWA = 20FT2		EWA = 50FT2		EWA = 100FT2	
	(+)	(-)	(+)	(-)	(+)	(-)	(+)	(-)
ROOF								
ZONE 1'	#N/A	#N/A	#N/A	#N/A	#N/A	#N/A	#N/A	#N/A
ZONE 1	33.20	-74.80	28.70	-65.90	22.80	-54.50	18.10	-45.80
ZONE 2	33.20	-97.30	28.70	-87.80	22.80	-75.10	18.10	-65.40
ZONE 3	33.20	-104.90	28.70	-94.40	22.80	-80.50	18.10	-70.10
WALL								
	EWA = 10FT2		EWA = 20FT2		EWA = 50FT2		EWA = 100FT2	
	(+)	(-)	(+)	(-)	(+)	(-)	(+)	(-)
ZONE 4	44.50	-48.30	42.60	-46.30	39.80	-43.70	37.90	-41.60
ZONE 5	44.50	-59.60	42.60	-55.60	39.80	-50.30	37.90	-46.30
GARAGE DOOR	9' X 7'		16' X 7'					
	(+)	(-)	(+)	(-)				
	39.20	-44.30	37.60	-41.90				



RECEIVED
JUL 15 2024
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

CAROTTI ENGINEERING LLC
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Bradenton, FL 34212 Mobile : (941) 284-7556
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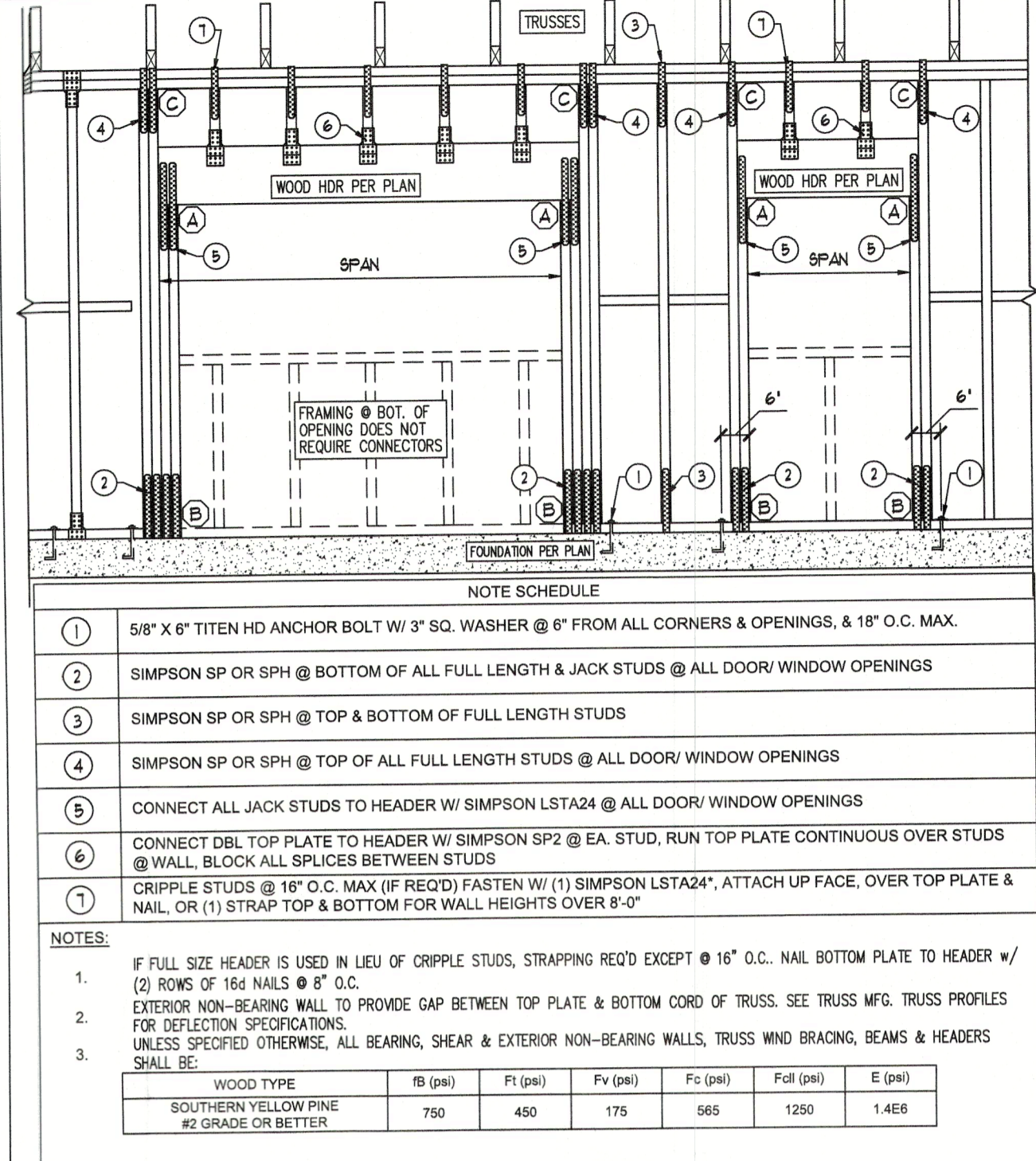
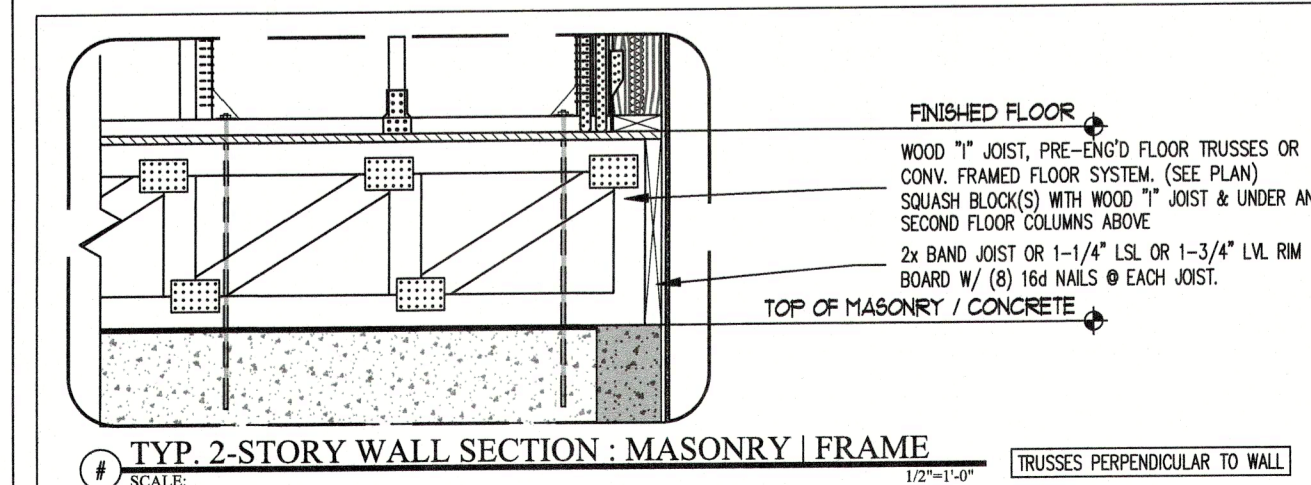
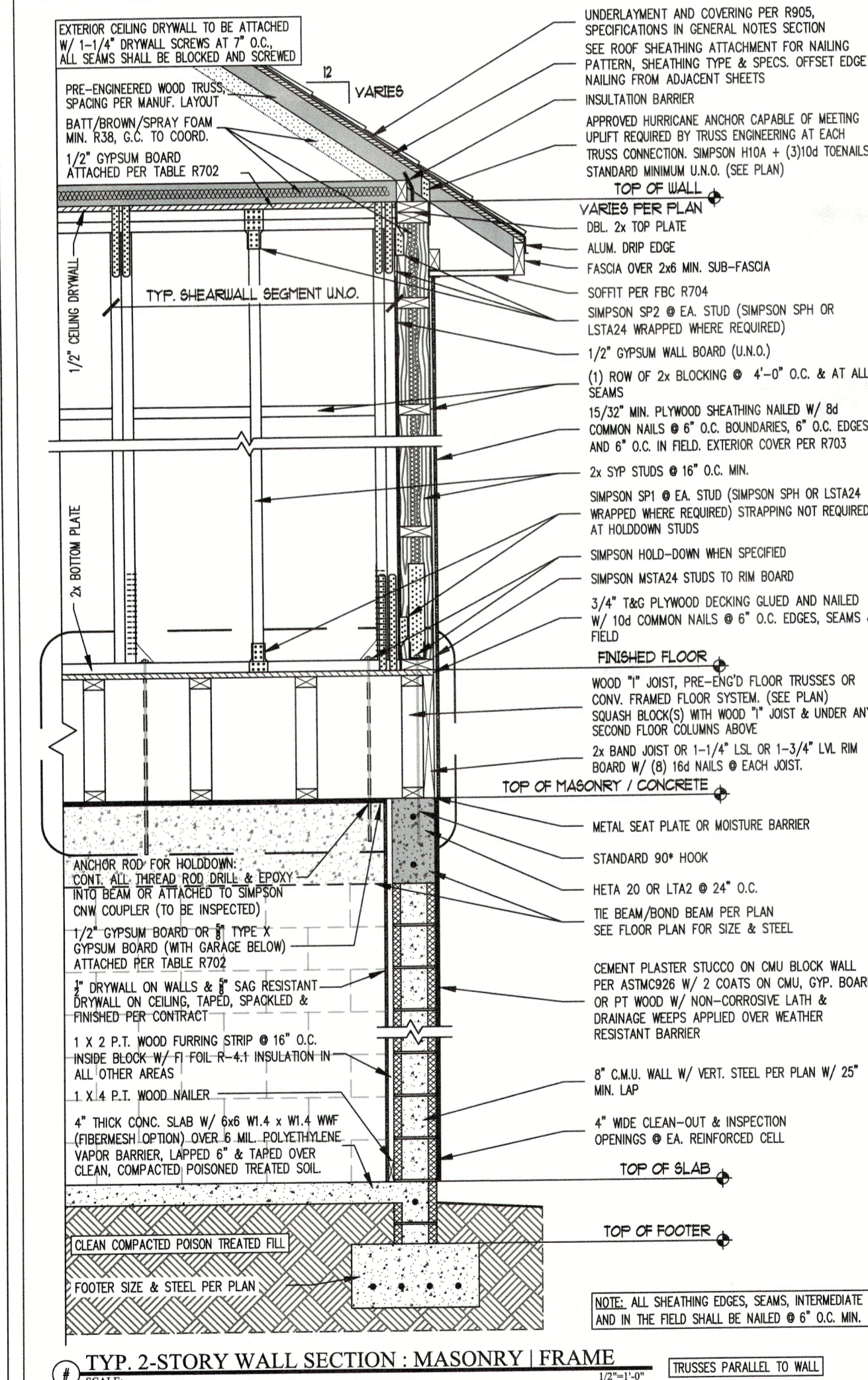
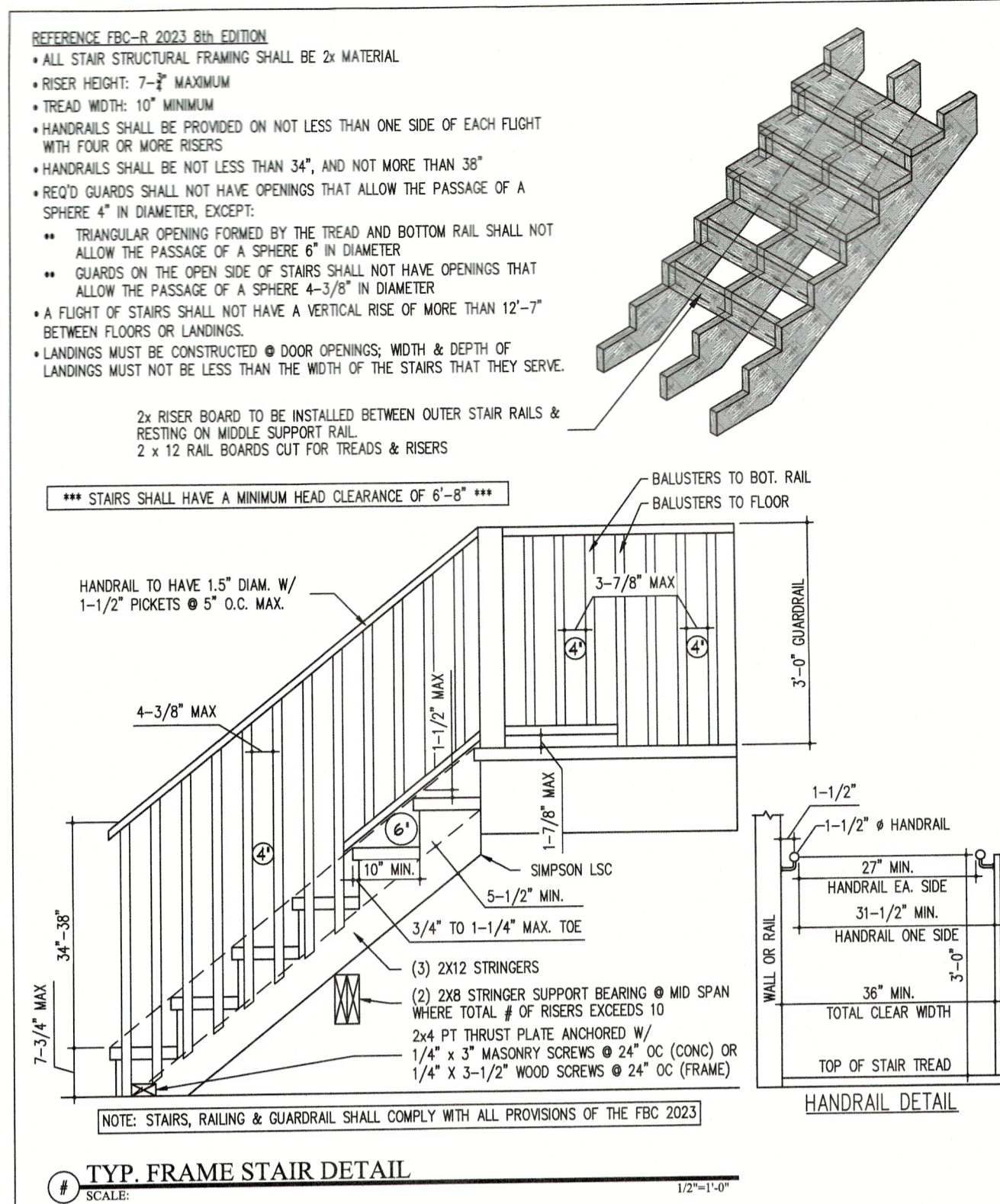
DATE: 05-24-24 Drawn By: DD
Job #: 23-163 Checked By: JMK

Revisions	
No.	Date
1	06-28-24
2	
3	
4	

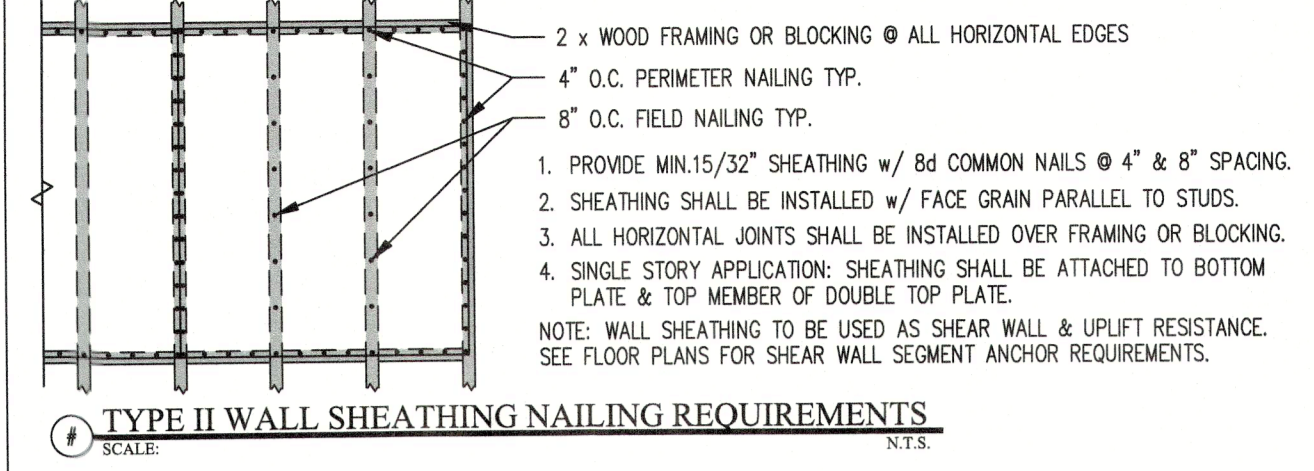
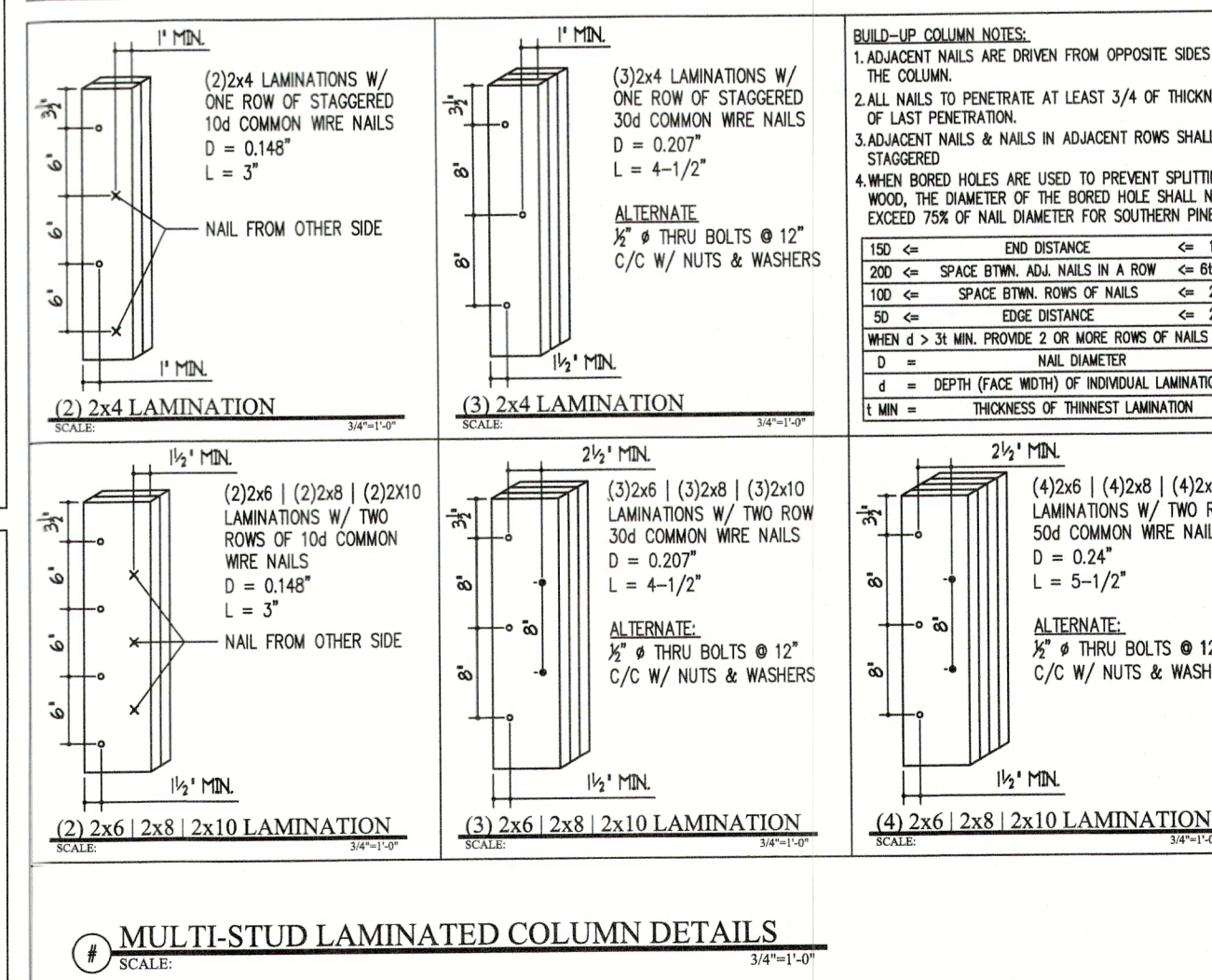
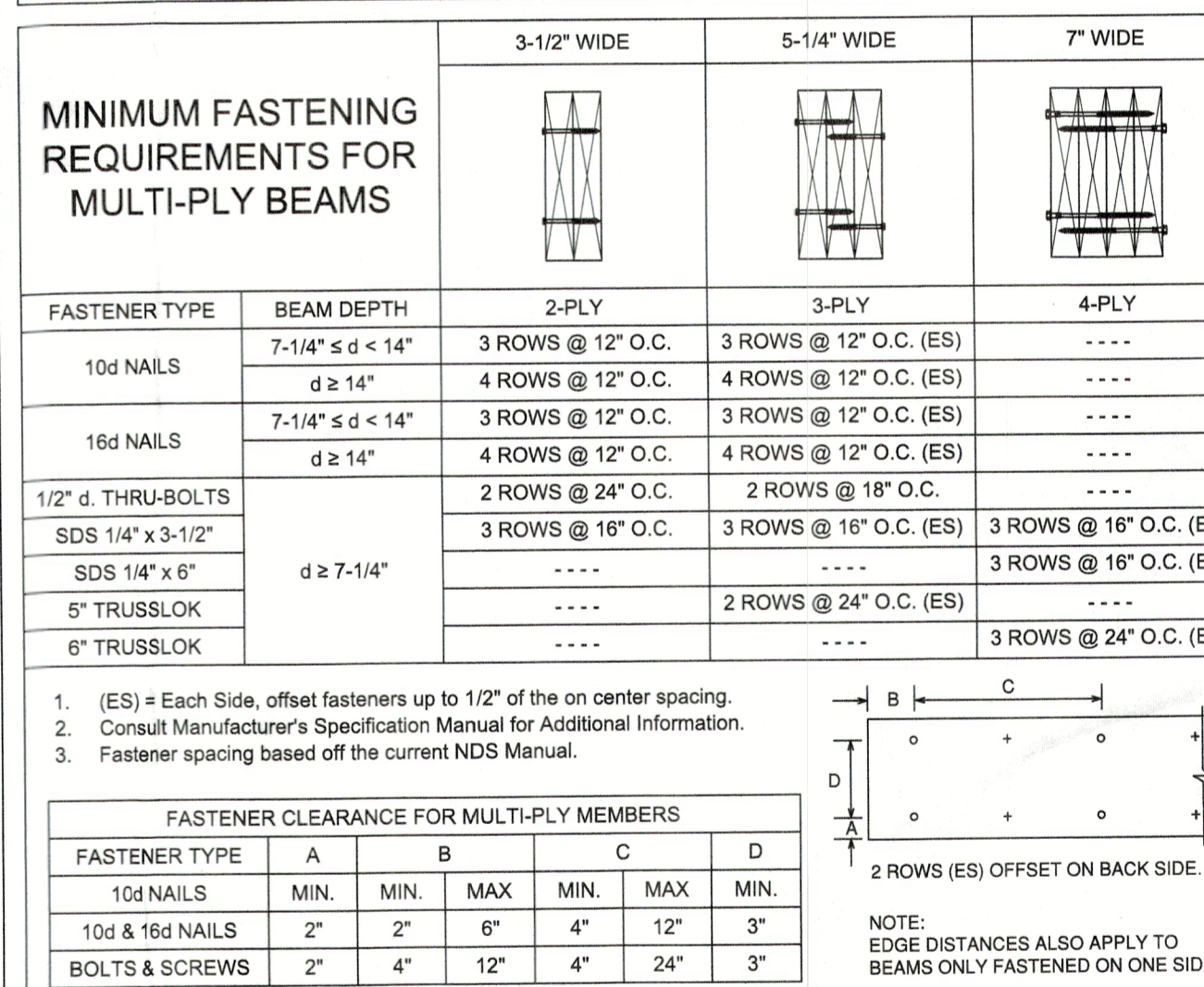
No.	Date	Change
1	06-28-24	BLDG DEPT REVS
2		
3		
4		

SHEET
S-1

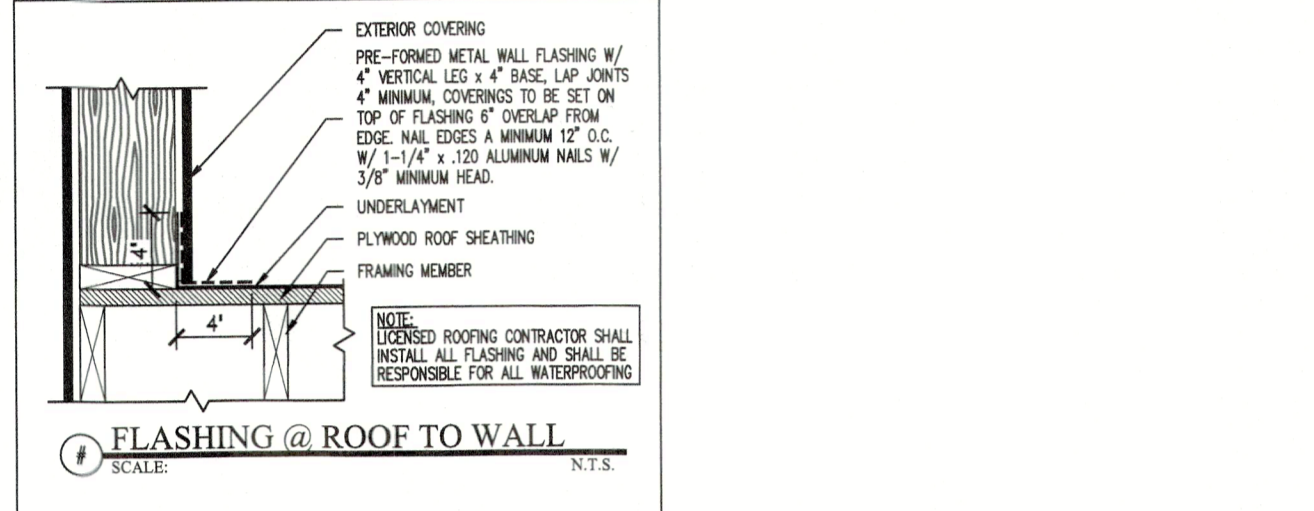
BLDG PERMIT PLANS
FILE
Copy of Record



NUMBER OF HEADER (JACK) STUDS & FULL LENGTH (KING) STUDS BY SPAN LENGTH [SPY NO.]						CONNECTOR SCHEDULE									
1. THE HEADER STUD SHALL NOT BE REQUIRED IF THE HEADER IS SUPPORTED BY A SUITABLE FRAMING ANCHOR. 2. IF GO BOLT OR POKER BOLT OR TRAX ANCHOR OR SIMPSON SYSTEM IS INSTALLED, CONNECTORS IN THIS DETAIL ARE NOT REQUIRED.						MAXIMUM HEADER SPAN (FEET)					WALL	SIMPSON CONNECTOR	STRAP LOCATION	FASTENERS (# & SIZE & TYPE NAILS)	UPLIFT
NUMBER OF HEADER (JACK) STUDS SUPPORTING END OF HEADER						4'-0"	6'-0"	9'-0"	12'-0"	15'-0" - 18'-0"	2x4 & 2x6	LSTA® [FLAT STRAP]	A	11	758
						1	2	2	3	3					
UNSUPPORTED WALL TH.	STUD SPACING	NUMBER OF FULL LENGTH (KING) STUDS @ EACH END OF HEADER					2x4	SP4®	B	C	6	825			
10'-0" OR LESS	STUD SPACING	NUMBER OF FULL LENGTH (KING) STUDS @ EACH END OF HEADER					2x6	SP6®	B	C	10	1040			
10'-0" TO 12'-0"	STUD SPACING	NUMBER OF FULL LENGTH (KING) STUDS @ EACH END OF HEADER					2x6	SP6®	B	C	12	1200			
						*10" MAX X 1-1/2" NAILS MAY BE USED									
DOUBLE TOP PLATE NAILING REQUIREMENT: (2) 100 NAILS EACH SIDE OF SPLICE PLATE TO BE STAGGERED MIN OR IF FROM ANY OTHER SPLICE PLATES TO BE NAILED TOGETHER @ 16" O.C. MIN.															



FASTENING SCHEDULE PER FBC TABLE 2304.10.1		
CONNECTION	FASTENING	LOCATION
TOP PLATE	(2) 16d COMMON	END NAIL
STUD TO SOLE PLATE	(4) 8d COMMON	TOE NAIL
	(2) 16d COMMON	END NAIL
DOUBLE STUDS	16d @ 24" O.C.	FACE NAIL
DOUBLE TOP PLATE	16d @ 24" O.C.	TYPICAL FACE NAIL
BLOCKING BETWEEN JOISTS / RAFTERS TO TOP PLATE	(3) 8d COMMON	TOE NAIL
	(2) 16d COMMON	FACE NAIL
TOP PLATES / LAPS / INTERSECTIONS	(2) 16d COMMON	TOE NAIL
CONTINUOUS HEADER, TWO PIECES	16d COMMON	16" O.C. ALONG EACH EDGE STAGG
CEILING JOISTS TO PLATE	(3) 8d COMMON	TOE NAIL
CONTINUOUS HEADER TO STUD	(4) 8d COMMON	TOE NAIL
BUILT-UP CORNER STUDS	16d COMMON	24" O.C.



WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS			
FASTENER TYPE	FASTENER SPACING FOR WOOD FRAMED STRUCTURES (IN.)		
	PANEL LENGTH : $L \leq 4$ FT	4 FT $< L \leq 6$ FT	6 FT $< L \leq 8$ FT
#8 WOOD SCREW BASED ANCHOR w/ 2" EMBEDMENT LENGTH	16	10	8
#10 WOOD SCREW BASED ANCHOR w/ 2" EMBEDMENT LENGTH		12	9
1/4" LAG SCREW BASED ANCHOR w/ 2-1/2" EMBEDMENT LENGTH	16	16	16

NOTES:

- FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL.
- FASTENERS SHALL BE LOCATED A MINIMUM OF 2" FROM THE EDGE OF THE PANEL.
- WHERE ANCHORS ARE INSTALLED IN MASONRY OR MASONRY/STUCCO, THEY SHALL BE VIBRATION RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 1500 LBS.
- ANCHORS SHALL PENETRATE THROUGH EXTERIOR COVERINGS INTO BUILDING FRAME A MIN 2".
- FASTENERS SHALL HAVE 2-1/2" EDGE DISTANCE IN CONCRETE OR CMU.

