

Prepared By: Mark Liebel
Duncan Seawall Dock & Boat Lift, LLC
1714 Independence Blvd.
Sarasota, FL 34234



Scale:
1" = 10'
Date:
4/14/24

Prepared For: John Hansen
701 Lands End drive
Longboat Key, FL 34228

- = Pilings cut above the decking
- = Pilings cut below the decking

Scope of Work:

- Relocated existing 5' x 10' floating dock.
- Remove existing pivoting ramp.
- Reinstall floating dock.
- Install new 5' x 10' access ramp.
- Install new 5'x 20' terminal platform.
- Install new kayak launch.

Total square footage over water will be 172 square feet.
Dock will be less than 4' above MHW

Canal Width is 47.5' from mangrove roots to mangrove roots at narrowest point.
47.5 x 30% = 14.25'

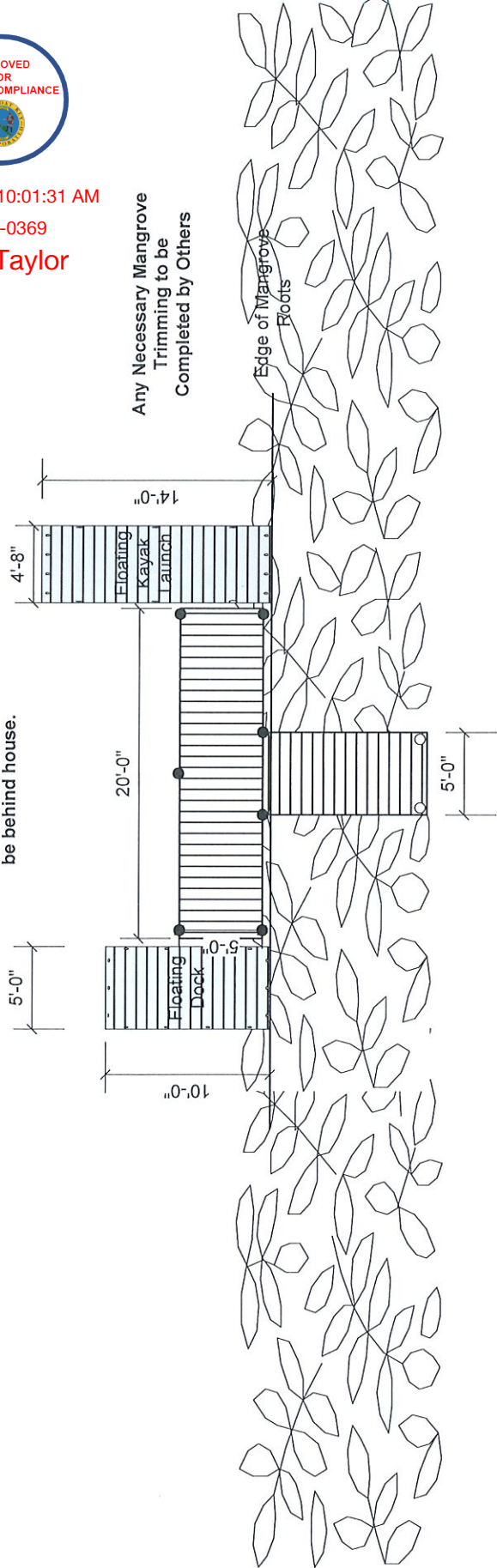
Dock will extend 14' from mangrove roots



4/22/2024, 11:21:35 AM
PB24-0369
Jonathan Pettus

4/26/2024, 10:01:31 AM
PB24-0369
Tate Taylor

Common Area of Lands
End Subdivision but will
be behind house.



BOUNDARY SURVEY

REVIEWED FOR
CODE COMPLIANCE

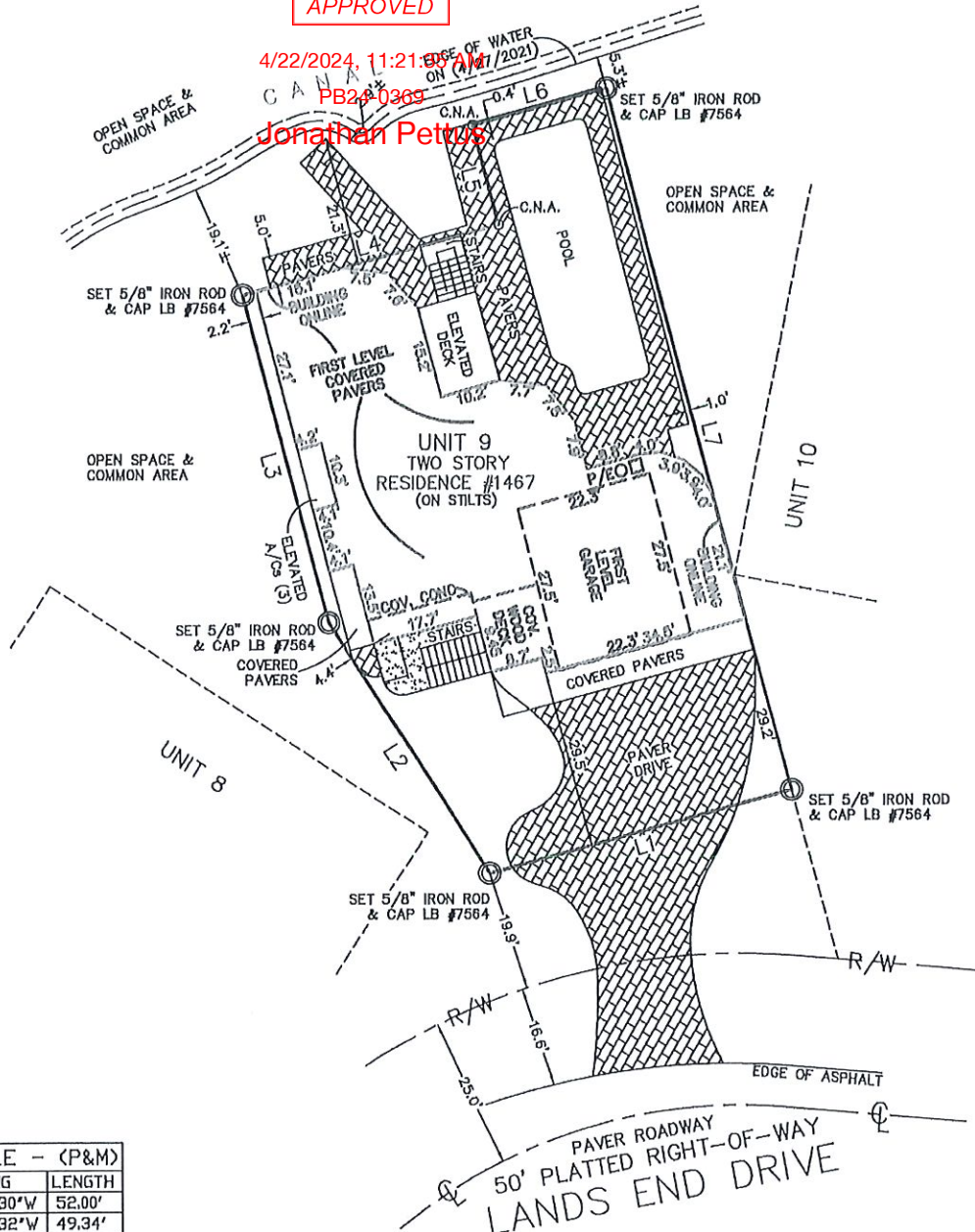


APPROVED

4/22/2024, 11:21:05 AM

PB24-0369

Jonathan Pettus



LINE TABLE - (P&M)

LINE	BEARING	LENGTH
L1	S74°55'30\"W	52.00'
L2	N32°46'32\"W	49.34'
L3	N15°04'30\"W	56.00'
L4	N74°55'30\"E	44.00'
L5	N15°04'30\"W	17.00'
L6	N74°55'30\"E	23.00'
L7	S15°04'30\"E	120.00'

PROPERTY ADDRESS: 701 LANDS END DRIVE, LONGBOAT KEY, FLORIDA 34228

LEGEND
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
(P) = PLAT
(M) = MEASURE
(D) = DESCRIPTION
(CF) = CALCULATED FROM FIELD DATA
(CR) = CALCULATED FROM RECORDED DATA
P.C.P. = PERMANENT CONTROL POINT
P.R.M. = PERMANENT REFERENCE MONUMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.I. = POINT OF INTERSECTION
P.C. = POINT OF CURVATURE

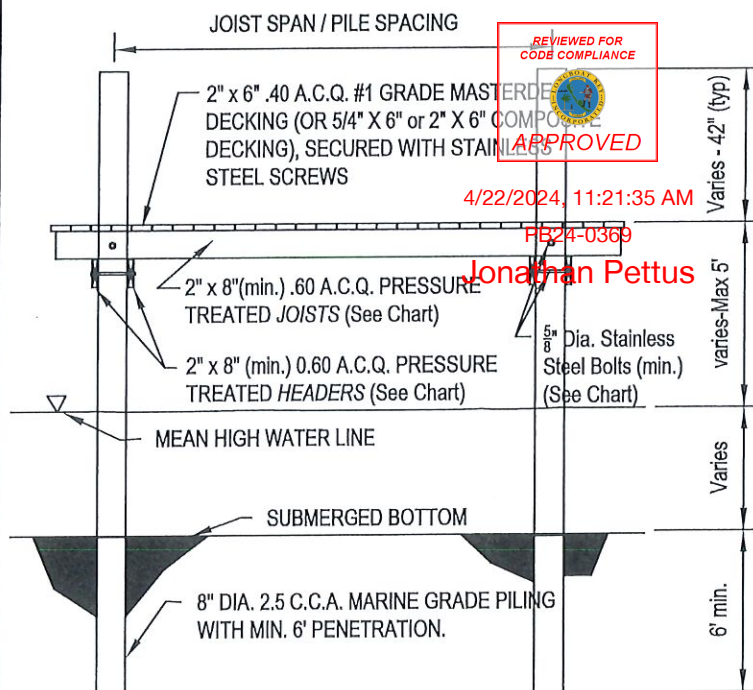


LEGAL DESCRIPTION:

UNIT 9, OF LANDS END, A CONDOMINIUM, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN O.R. BOOK 868, PAGE 203, AND ALL EXHIBITS AND AMENDMENTS THEREOF, AND AS PER PLAT RECORDED IN CONDOMINIUM PLAT BOOK 7, PAGE 81, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

CERTIFIED TO:

CLIENT NO: 36653-001

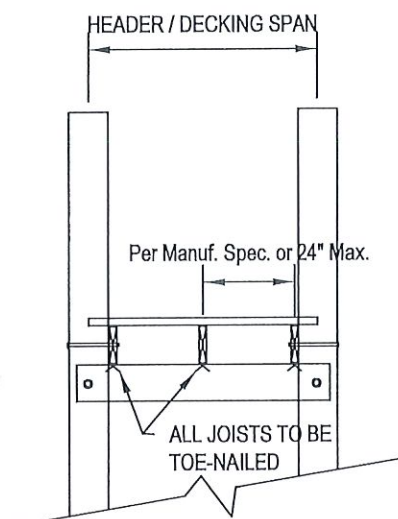


LONGITUDINAL DOCK CROSS SECTION

HEADER SPAN (Feet)	JOIST SPAN (Feet)	HEADER SIZE (Nominal Inches)	JOIST SIZE (Nominal Inches)	BOLT SIZE (Qty, Inches)
<6	10	2X8	2x8	1-5/8
8	10	2x8	2x8	2-5/8
10	10	2x10	2x8	2-5/8
12	10	2x12	2x10	2-5/8
<6	12	2X8	2x8	1-5/8
7	12	2x8	2x8	2-5/8
9	12	2x10	2x8	2-5/8
11	12	2x12	2x10	2-3/4

GENERAL NOTES:

- IN LIEU OF SPECIFIC CODE REQUIREMENTS, RESIDENTIAL DOCK HAS BEEN DESIGNED FOR THE FOLLOWING MINIMAL CONDITIONS:
 LIVE LOAD: 40 PSF
 DEAD LOAD: 10 PSF
 HURRICANE
 UPLIFT: 30 PSF
 DEFLECTION LIMITS: L/360 (LIVE LOAD)
- ALL DIMENSIONAL LUMBER SHALL BE MINIMUM NO. 2 SOUTHERN YELLOW PINE.
- DESIGN MEETS MINIMUM REQUIREMENTS OF THE 2023 8th Edition FLORIDA BUILDING CODE. WIND SPEED 170 MPH EXP. D.



TRANSVERSE DOCK CROSS SECTION

		TYPICAL CROSS SECTIONS FOR RESIDENTIAL DOCKS		
		DUNCAN SEAWALL 1714 INDEPENDENCE BLVD, SRQ 34234		SHEET # 1 of 1

PRODUCT ANNOUNCEMENT

200900 EZ Kayak Launch



4/22/2024, 11:21:35 AM

PB24-0369

Jonathan Pettus



Implementation Date: January 2017

PATENT PENDING



Features and Benefits

Introducing EZ Dock's new Kayak Launch. This port offers single piece design and the key features needed to port the most popular kayaks on the market. Features patent pending and innovative built in hand holds to help effortlessly pull yourself onto the port or push yourself into the water via the entries/exits on either side of the port. Designed for the residential customer in mind and utilizing two different heights, this port can be attached to either the Standard Height or the Low Profile EZ Dock using normal couplers, as well as any other existing dock. Allows experienced users and beginners to get in and out of the water without getting wet- extending the kayak season.

MODEL	COLORS		SIZE	WEIGHT	PART#
EZ Kayak Launch	GREY	BEIGE	58.5"W x 168" L x 25" H (1.49m x 4.27m)	325lbs.	200900

PRODUCT ANNOUNCEMENT

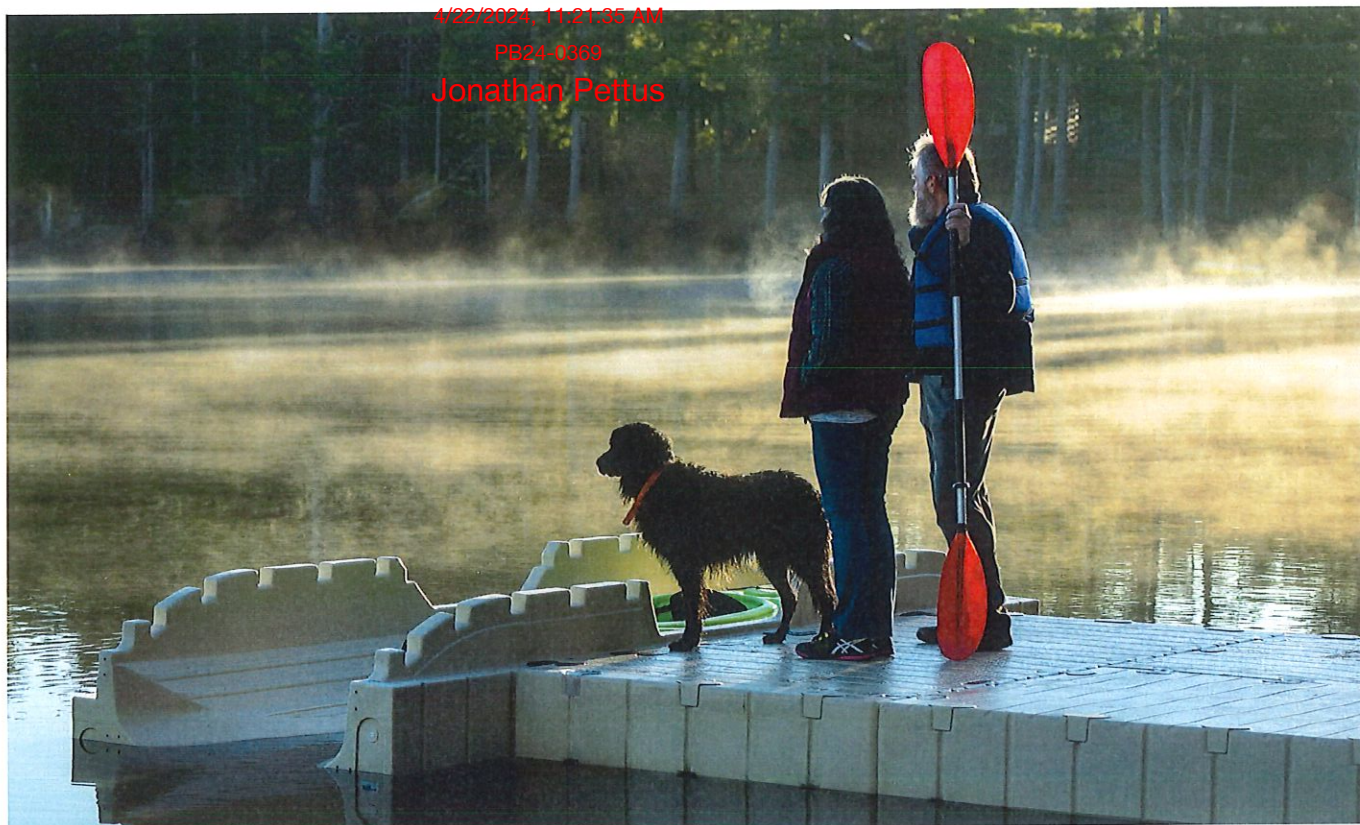
200900 EZ Kayak Launch



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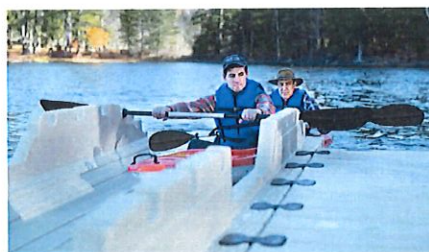
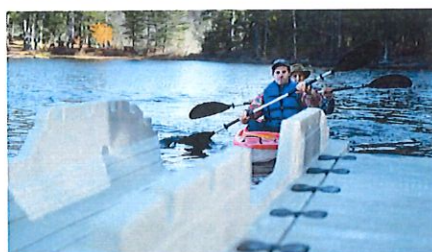
Jonathan Pettus



EXITING THE DOCK



RETURNING TO DOCK



REVIEWED FOR
CODE COMPLIANCE

APPROVED

4/22/2024, 11:21:35 AM
PB24-0369
Jonathan Pettus

LANDS END DR

R=110.1 L=182.9

Street Names

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Manatee County Property



TRANSMITTAL FORM

Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
941-316-1966
941-316-1970 Fax

DATE: 2/3/25 ATTN: Plan Review / Zoning

FROM: Rob Hill

Company: Duncan Seawall, Dock and Boat Lift, LLC

Phone: 941-351-1553 Email: kim@duncanseawall.com

SITE LOCATION/ADDRESS: 701 Lands End Dr. Hansen

PERMIT NUMBER: PB24-0369

THE FOLLOWING IS SUBMITTED FOR CONSIDERATION BY PZB STAFF

☐ RESPONSE TO COMMENTS

☒ REVISIONS / RE-SUBMITTALS

☐ OTHER: _____

APPLICABLE CODES / TRADES (Check All That Apply):

☒ BUILDING / FEMA

☐ ELECTRICAL

☐ HVAC

☐ PLUMBING

☒ ZONING

☐ GAS VENTING

☐ GAS PIPING

☐ FIRE MARSHAL

ITEMS INCLUDED IN THIS TRANSMITTAL:

Move location of floating dock. No other changes to plan.

Prepared By: Rob Hill 941-809-6410
Duncan Seawall Dock & Boat Lift, LLC
1714 Independence Blvd.
Sarasota, FL 34234



Scale:
1" = 10'
Date:
1/31/25

Prepared For: John Hansen
701 Lands End drive
Longboat Key, FL 34228

- = Pilings cut above the decking
- = Pilings cut below the decking

Scope of Work:

Relocate existing 5' x 10' floating dock.
Remove existing pivoting ramp.
Reinstall floating dock.
Install new 5' x 10' access ramp in same location as existing.
Install new 5' x 20' terminal platform.
Install new kayak launch.
Total square footage over water will be 239 square feet.
Dock will be 2.5' above M.H.W.L.
No seagrass present in project area.
No impact to mangroves, access ramp to be in the same location as existing gap in mangroves.

Canal Width is 47.5' from mangrove roots to mangrove roots at narrowest point.
47.5 x 25% = 11.875'
Dock will extend 14' from mangrove roots

3/4/2025, 11:44:47 AM
PB24-0369
Tate Taylor

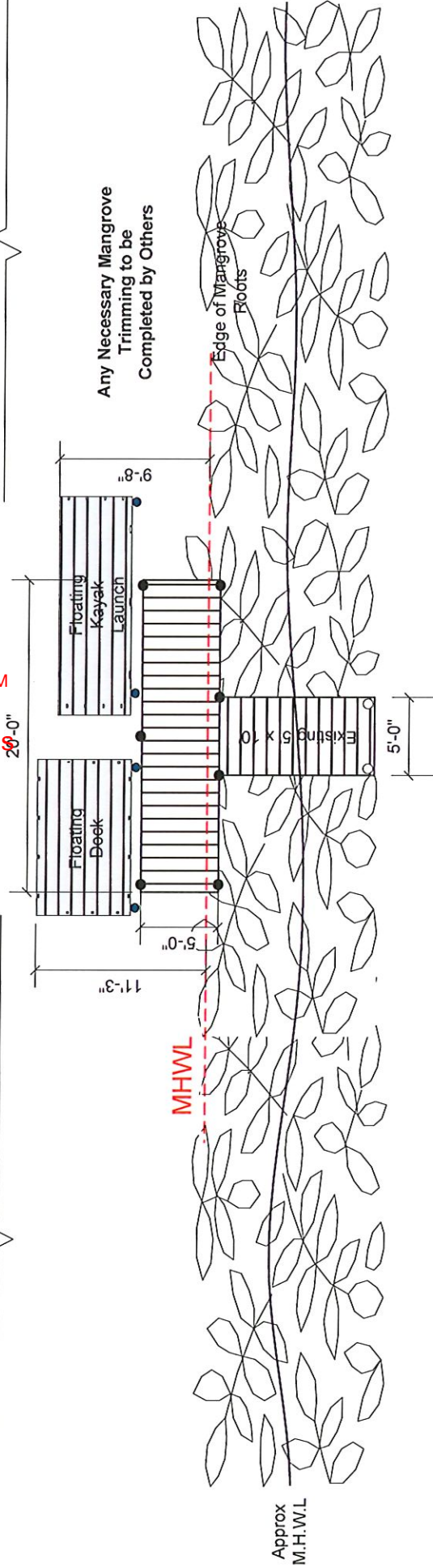


2/18/2025, 1:41:07 PM
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120' +/- to Closest Dock

Approx 250' to Closest Dock



Approx 1,165' of shoreline that is common Area of Lands End Subdivision but will be behind house.