



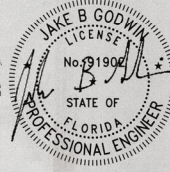
A. ARCHITECTURAL SHEET LIST	
A0.0	PROPERTY - DESIGN NOTES
A0.1	SITE PLAN - DEMO + PROPOSED
A0.2	ARCHITECTURAL SITE PLAN
A0.3	SITE DRAINAGE PLAN
A0.4	LANDSCAPING PLAN
A0.5	AREA PLAN
A1.0	FLOOR PLAN - NOTES
A1.1	FLOOR PLAN - LVL 1
A1.2	FLOOR PLAN - LVL 2
A2.0	ELEVATION - FRONT
A2.1	ELEVATION - REAR
A2.2	ELEVATION - SIDES
A2.3	TOP VIEW
A2.4	DAYLIGHT SAVINGS PLANE
A2.5	SECTIONS
A3.0	ROOF PLAN
A4.0	ARCHITECTURAL DETAILS
A5.0	ELECTRICAL NOTES
A5.1	ELECTRICAL LAYOUT
A6.0	MECHANICAL NOTES
A6.1	MECHANICAL LAYOUT
A7.0	PLUMBING LAYOUT

S. STRUCTURAL SHEET LIST	
S1.0	STRUCTURAL NOTES
S2.0	FOUNDATION PLAN
S3.0	FIRST FLOOR PLAN
S4.0	SECOND FLOOR FRAMING
S5.0	SECOND FLOOR PLAN
S6.0	ROOF FRAMING
S7.0	STRUCTURAL DETAILS

03/15/24 // COMMENT [2] RESPONSE SET

WORKSHOP 27°N  
ARCHITECTURE • DESIGN • MARKETING

Digitally signed by Jake B Godwin  
DN: cn=Jake B Godwin,  
o=Qualifiers-A01410C000001895A517570004100C,  
ou=Florida, c=US  
Reason: This item has been electronically signed &  
sealed by Jake B Godwin. If E-Printed copies of this  
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the signature must be verified on any electronic  
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Date: 2024.03.18 15:43:39-0400



Permit # **1824-0004**  
REVIEWED FOR CODE COMPLIANCE  
LONGBOAT KEY BUILDING DEPT.

MAR 25 2024  
APPROVED  
Reviewer: *J. Godwin*

RECEIVED  
MAR 19 2024  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

MECHANICAL, ELECTRICAL,  
AND PLUMBING REVIEWS  
WILL BE DEFERRED TO  
FIELD INSPECTORS

730 LONGBOAT CT

LONGBOAT KEY, FL 34228

BUILD PERMIT PLANS  
FILE  
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# STRUCTURAL NOTES

## SCOPE OF WORK

THE SCOPE OF WORK OF THIS PROJECT IS TO CONSTRUCT A NEW SINGLE FAMILY HOME.

## DESIGN CRITERIA

THE STRUCTURAL SYSTEM FOR BUILDING DEPICTED HERE HAS BEEN DESIGNED ACCORDING TO THE 2023 EDITION OF THE FLORIDA BUILDING CODE, AND ASCE 7-22.

THE STRUCTURE HAS BEEN DESIGNED TO RESIST THE FOLLOWING LIVE LOADS:

FLOOR LOADS: 40 PSF

ROOF LOADS: 20 PSF

## FEMA FLOOD DESIGN

FLOOD ZONE: AE ELEVATION: +8 FT

WIND LOADS HAVE BEEN CALCULATED FOR:

- 3-SEC GUST
- 150 MPH
- RISK CATEGORY II
- CATEGORY D
- FULLY ENCLOSED

COMPONENT AND CLADDING LOADS BELOW HAVE BEEN FACTORED BY 0.6 FOR ASD CALCULATIONS.

C&C WIND PRESSURE SCHEDULE (PSF)							
TRIBUTARY AREA (SF)	ZONE						
	1	2	3	Overhang	4	5	
10	23.5, 58.0	23.5, 92.5	23.5, 102.0	124.3	40.7, 47.6	40.7, 54.6	
20	21.5, 53.6	21.5, 79.7	21.5, 86.6	109.6	38.8, 44.7	38.8, 51.1	
50	18.5, 46.0	18.5, 40.5	38.8, 40.2	77.4	35.8, 40.2	35.8, 46.0	
100	16.6, 42.5	16.6, 47.6	16.6, 48.4	75.0	33.8, 37.2	33.8, 42.5	

Width of zones 2, 3 & 5 = 4 ft.

A CONTINUOUS LOAD PATH BETWEEN FOUNDATIONS, COLUMNS, AND BEAMS ARE INTENDED BY THESE DRAWINGS AND SHALL BE FIELD VERIFIED. CONTRACTOR TO VERIFY A MINIMUM LOAD BEARING CAPACITY OF 2000 PSF FOR SOIL BEARING.

THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUITABLE SEQUENCING, MEANS AND METHODS OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO THE ADDITION OF NECESSARY SHORING, TIE DOWNS, TEMPORARY BRACING, ETC.

## MATERIALS

### MASONRY

ALL MASONRY WORK SHALL BE PERFORMED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530)" & "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1)".

CONCRETE MASONRY UNITS SHALL BE 8" X 8" X 16" (NOMINAL) GRADE "N" HOLLOW LOAD BEARING UNITS, CONFORMING TO ASTM C-90 WITH A MINIMUM COMPRESSIVE STRENGTH (FM) OF 1800 PSI. MORTAR SHALL BE TYPE M OR S AND SHALL CONFORM TO ASTM C-270.

GROUT OR PEA GRAVEL CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED. COREFILL MIX SHALL CONFORM TO ASTM C-476. AIR ENTRAINING MIXTURES OR HYDRATED LIME CONTAINING AIR ENTRAINING MIXTURES ARE PROHIBITED BECAUSE UNLESS APPROVED BY THE ENGINEER, CALCIUM CHLORIDE IS NOT PERMITTED IN MORTAR OR GROUT IN WHICH REINFORCEMENT, METAL TIES, OR ANCHORS ARE EMBEDDED BECAUSE OF EXCESSIVE CORROSION.

### CONCRETE

CONCRETE MIX SHALL BE DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI UNLESS NOTED OTHERWISE.

ALL MATERIALS SHALL COMPLY WITH THE STANDARDS OF ACI 318 AND THE REQUIREMENTS OF ASTM C-150, ASTM C-595, OR ASTM C-845.

ALL CONCRETE MEASURING, MIXING, TRANSPORTING, ETC. SHALL COMPLY WITH THE REQUIREMENTS OF ASTM STANDARD C-941A.

THE MAXIMUM TIME ALLOWED FROM THE TIME THE WATER IS ADDED UNTIL THE MIX IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED.

### WOOD

UNLESS NOTED OTHERWISE, ALL WOOD CONSTRUCTION SHALL MEET OR EXCEED REQUIREMENTS OF CHAPTER 23, FBC.

DIMENSIONAL LUMBER SHALL BE RATED IN ACCORDANCE WITH THE STANDARDS OF THE CURRENT EDITION OF THE AMERICAN WOOD COUNCIL'S NATIONAL DESIGN SPECIFICATIONS.

ALL WALL STUDS TO BE SPP #2 U.N.O. ALL TOP & BOTTOM PLATES, RAFTERS, JOISTS, LEDGERS AND OTHER STRUCTURAL MEMBERS SHALL BE SPP #2 U.N.O.

ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE SHALL BE EITHER PRESSURE TREATED OR A NATURALLY DURABLE SPECIES.

MULTI-MEMBER WOOD BEAMS SHALL BE GLUED AND NAILED TOGETHER WITH A MINIMUM OF 160 NAILS @ 12" O.C. TOP AND BOTTOM EDGE, STAGGERED (U.N.O.). SPLICES SHALL BE MADE AT SPAN THIRD POINTS OR CENTER OF SUPPORTS. NO MORE THAN ONE MEMBER SHALL BE SPLICED AT ANY ONE POINT. SPLICES SHALL BE SPACED A MINIMUM OF 4 FEET APART.

MANUFACTURED WOOD PRODUCTS, SUCH AS WOOD TRUSSES AND ENGINEERED LUMBER SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND ERECTION DRAWINGS. INSTALLATION SHALL INCLUDE BRIDGING, BRACING, BLOCKING, AND WEB STIFFENERS AS REQUIRED.

UNLESS OTHERWISE NOTED, BUILT-UP STUD COLUMNS SHALL BE LIMITED TO 3 PLES AND NAILED TOGETHER IN 2 ROWS OF 160 NAILS @ 8" O.C. STARTING AT 3'-10" FROM EACH END. ADJACENT NAILS SHALL BE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.

### FASTENERS

ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

### SOIL COMPACTION

TOP SOIL SHALL BE REMOVED TO A MINIMUM DEPTH OF ONE FOOT OVER THE ENTIRE BUILDING AREA AND FIVE FEET BEYOND BUILDING LINES. THESE AREAS SHOULD BE CLEARED AND GRUBBED OF ANY VEGETATION. THE EXPOSED SURFACE SHOULD THEN BE COMPACTED TO A DEPTH OF (1) FOOT BELOW THE CLEARED AND GRUBBED SURFACE TO A MINIMUM 80% OF THE STANDARD OR MODIFIED PROCTOR DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-698. AFTER COMPACTION OF NATURAL SOILS, FILL MATERIAL TO FINISHED GRADE SHALL BE PLACED WITH A MAXIMUM LIFT OF 6" AND COMPACTED TO A MINIMUM 80% OF THE STANDARD OR MODIFIED PROCTOR DENSITY. FILL MATERIAL SHALL BE CLEAN TO SLIGHTLY SILTY FINE SAND, FREE OF ORGANIC MATERIAL.

### GENERAL CONDITIONS

IF THERE ARE ANY DISCREPANCIES HEREIN CONTACT GCED PRIOR TO PROCEEDING WITH THE WORK.

THIS DESIGN DOES NOT CONSTITUTE THE ENGINEERING OF ANY OTHER STRUCTURES THAT ARE NOT SPECIFICALLY MENTIONED IN THIS PLAN SET.

ALL WORK PREPARED BY GCED IS THE PROPERTY OF GCED AND MAY ONLY BE USED FOR ITS INTENDED USE AT THE SPECIFIED LOCATION ON THE TITLE BLOCK.

GCED WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS, CLIENTS OR OTHER ENTITIES' INADEQUATE OR UNSATISFACTORY PERFORMANCE OF THE WORK.

"SEE STRUCTURAL LETTER REGARDING GEOTECHNICAL ANALYSIS PROVIDED BY GCED"

NOTES:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PAGES.

PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE AMERICAN BUILDING CODES AS SET FORTH IN THE FLORIDA BUILDING CODE, 2023. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2023 AND REC. 2023.



GULF COAST PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 12034  
EXPIRATION DATE: 12/15/2023  
ADDRESS: 12034 W. 15th Ave., Suite 100, Fort Lauderdale, FL 33304  
PHONE: (954) 581-1234  
FAX: (954) 581-1235  
EMAIL: gced@ GulfCoastPE.com

No.	Description	Date
1	Permit # 2324-0007	2024.2.23
2	Reviewed for code compliance	2024.2.23

Permit # 2324-0007  
REVIEWED FOR CODE COMPLIANCE  
LONGBOAT KEY BUILDING DEPT.

MAR 25 2024

APPROVED  
Reviewer: Jonathan

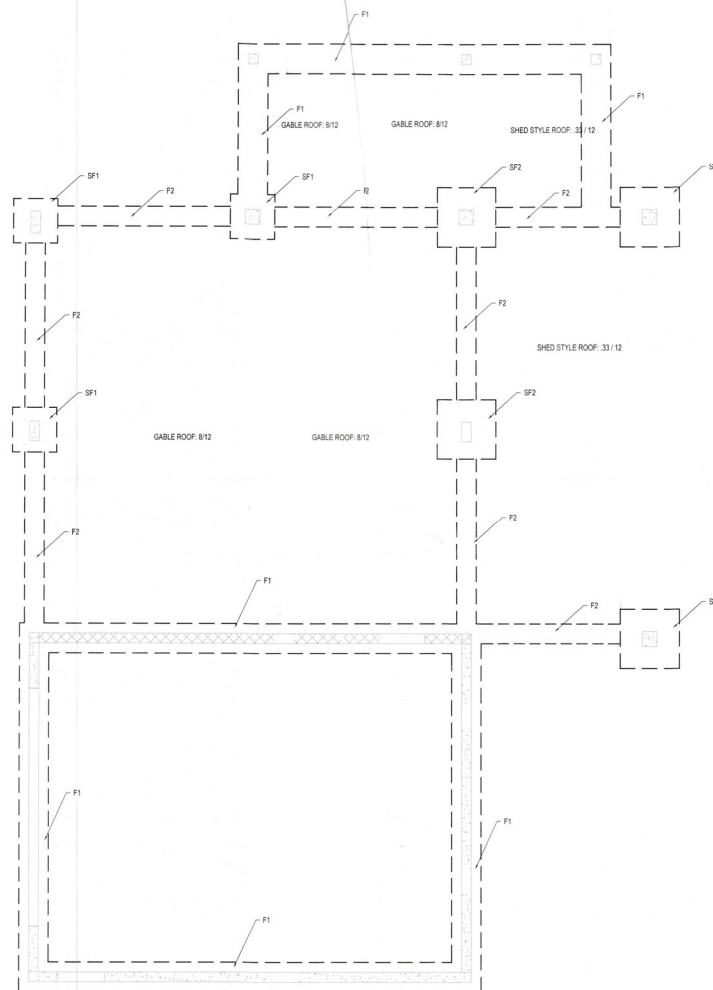
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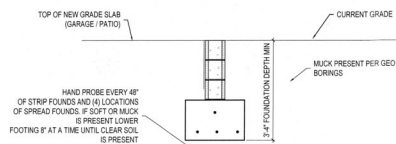
PROJECT #: 2324  
DATE: November 21, 2023  
DRAWN BY: JBC

S1.0

730 Longboat Ct.  
Longboat Key, FL 34228



1 FOUNDATION PLAN  
S2.0 SCALE: 1/4" = 1'-0"



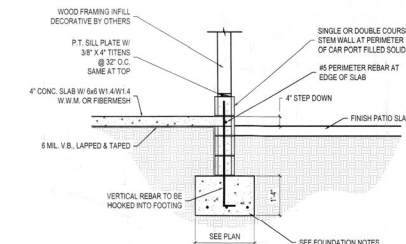
5 FOUNDATION PREP  
S2.0 SCALE: 1/2" = 1'-0"

#### FOUNDATION NOTES

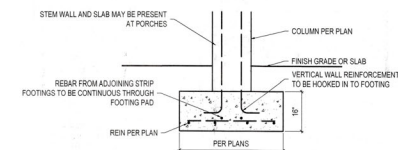
- FOUNDATIONS TO BE CONTINUOUS STRIP FOOTINGS WITH A TIED SLAB. SEE PLAN FOR SIZE AND LOCATION
- CONCRETE TO BE 4000 PSIMINIMUM
- CONCRETE SLABS ARE THE 4" MIN THICKNESS W/ FIBER MESH OR 6X6 W/F 4 W/M OVER 6 MIL V.B. LAPPED 9" AND TAPED ON CLEAN COMPACTED SOIL OR GRAVEL
- CONCRETE SLAB ELEVATIONS MAY VARY AND SHOULD BE VERIFIED WITH THE ARCHITECTURAL PLANS
- PRESUMPTIVE SOIL BEARING PRESSURE TAKEN AS 2000 PSF. CONTRACTOR THE VERIFY WITH GEOTECHNICAL REPORT. GCE HAS VERIFIED AS OF 2024.2.23
- ALL REINFORCEMENT TO BE LAPPED AT 48" THE DIAMETER OF THE BARS
- ALL REINFORCEMENT IS TO BE BENT AND LAPPED AT CORNERS AND INTERSECTIONS.
- SEE ARCH PLANS FOR ALL FFE

#### FOOTING SCHEDULE:

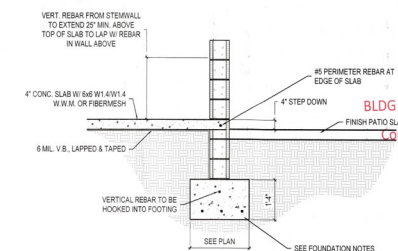
ID	DIMENSIONS	REINFORCEMENT
F1	24"W x 16"D STRIP FTG.	3-#5 @ BOT.
F2	16"W x 16"D STRIP FTG.	3-#5 @ BOT.
SF1	36" X 36" X 16"D SPRD FTG.	4-#5 E.W.
SF2	48" X 48" X 16"D SPRD FTG.	6-#5 E.W.



4 ADDITIONAL STEM WALL / FRAMING  
S2.0 SCALE: 1/2" = 1'-0"



3 COLUMN FOOTINGS  
S2.0 SCALE: 1/2" = 1'-0"



2 TYPICAL STRIP FOOTING  
S2.0 SCALE: 1/2" = 1'-0"

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GULF COAST  
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No.	Description	Date
1	Original	2024.2.23
2	Revised	2024.2.23

730 Longboat Ct.  
Longboat Key, FL 34228

PROJECT # 23528  
DATE: November 21, 2023  
DRAWN BY: JRG

S2.0

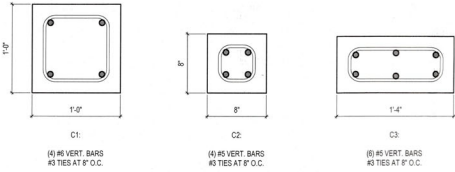
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# CONCRETE COLUMN NOTES

- 1 1/2" REBAR COVER MIN
- COLUMNS TO BE A MIN. OF 4000 PSI CONCRETE
- HOOK ALL END BARS INTO ADJACENT BEAM OR THE BEAM 12" MIN.



C1: (4) #5 VERT. BARS  
43 TIES AT 8" O.C.

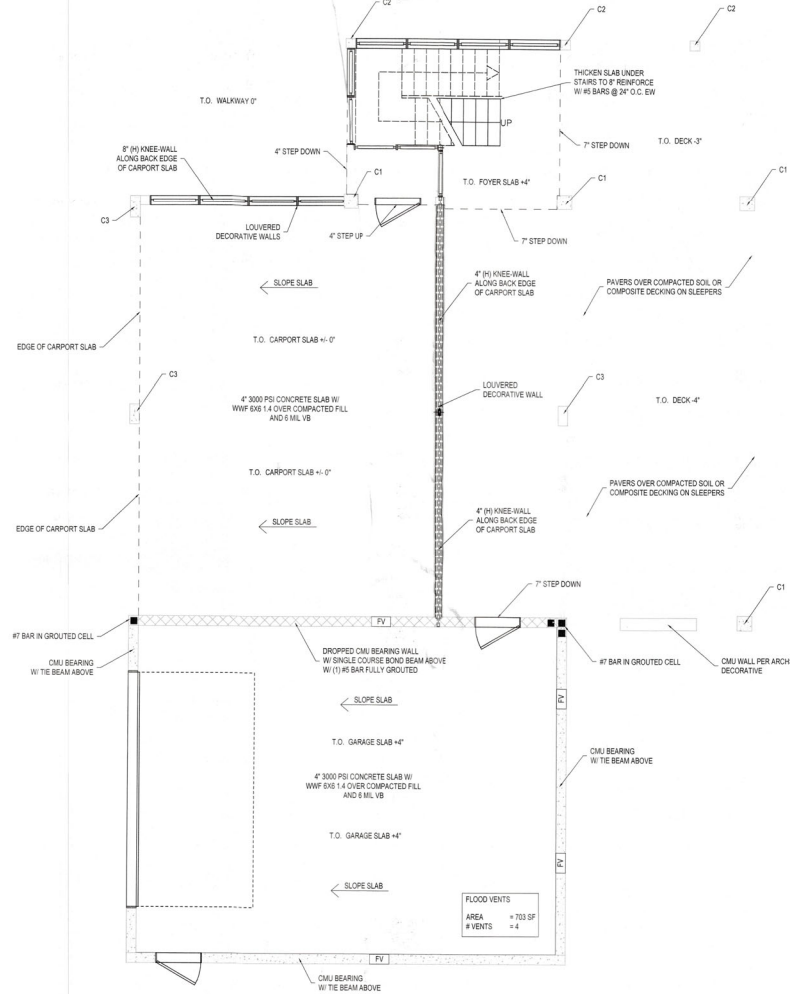
C2: (4) #5 VERT. BARS  
43 TIES AT 8" O.C.

C3: (8) #5 VERT. BARS  
43 TIES AT 8" O.C.

2 CONCRETE COLUMNS  
S3.0 SCALE: 1" = 1'-0"

## EXTERIOR STAIR NOTES

- POSTS: P.T. 4X4 W/ ABRAZC BASES ON SLAB  
BEAMS: P.T. 2X10 W/ 3/8" BOLTS TO POST  
JOISTS: P.T. 2X8 @ 16" O.C. W/ LUS26SS HANGER  
DECKING: P.T. 5/4" DECKING W/ SS #6 X 3" SCREWS  
STRINGERS: P.T. 2X12 @ 16" O.C. W/ LUS26SS SLOPED HANGER



1 FIRST FLOOR PLAN  
S3.0 SCALE: 1/4" = 1'-0"

## 1ST FLOOR WALL FRAMING NOTES

- EXTERIOR LOAD BEARING WALLS
  - 8" CMU WITH #5 BARS IN FULLY GROUTED CELLS AT 48" O.C. AND AT ALL EDGES OF OPENINGS AND CORNERS.
  - TIE BEAMS
    - TIE BEAM TO BE LOCATED OVER ALL CMU BEARING WALLS, UNO SEE 2-53.0 FOR DETAILS
    - EXTERIOR WALLS TO RECEIVE TWO STAGE STUCCO COATING MINIMUM THICKNESS OF 5/8" OR STONE VENEER AS SPECIFIED BY ARCH.
- DECORATIVE WALLS
  - WOODEN WALLS ATTACHED TO SLAB AND TIE BEAMS W/ 1/4" X 3-1/4" TAPCONS @ 8" O.C.

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VERIFY ALL DIMENSIONS WITH  
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CONTRACT NO. 2024-23  
PROJECT: 2024-23  
DATE: 2024-23  
DRAWN BY: JAG  
CHECKED BY: JAG  
APPROVED BY: JAG

GULF COAST ENGINEERING & DESIGN, INC.  
1000 W. 10TH STREET  
SUITE 100  
FORT MYERS, FL 33901  
TEL: 813-939-1111  
FAX: 813-939-1112  
WWW.GULFCOASTENGINEERING.COM

No.	Description	Date
1	2024-23	2024-23
2	2024-23	2024-23

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PROJECT #: 23324  
DATE: November 21, 2023  
DRAWN BY: JAG

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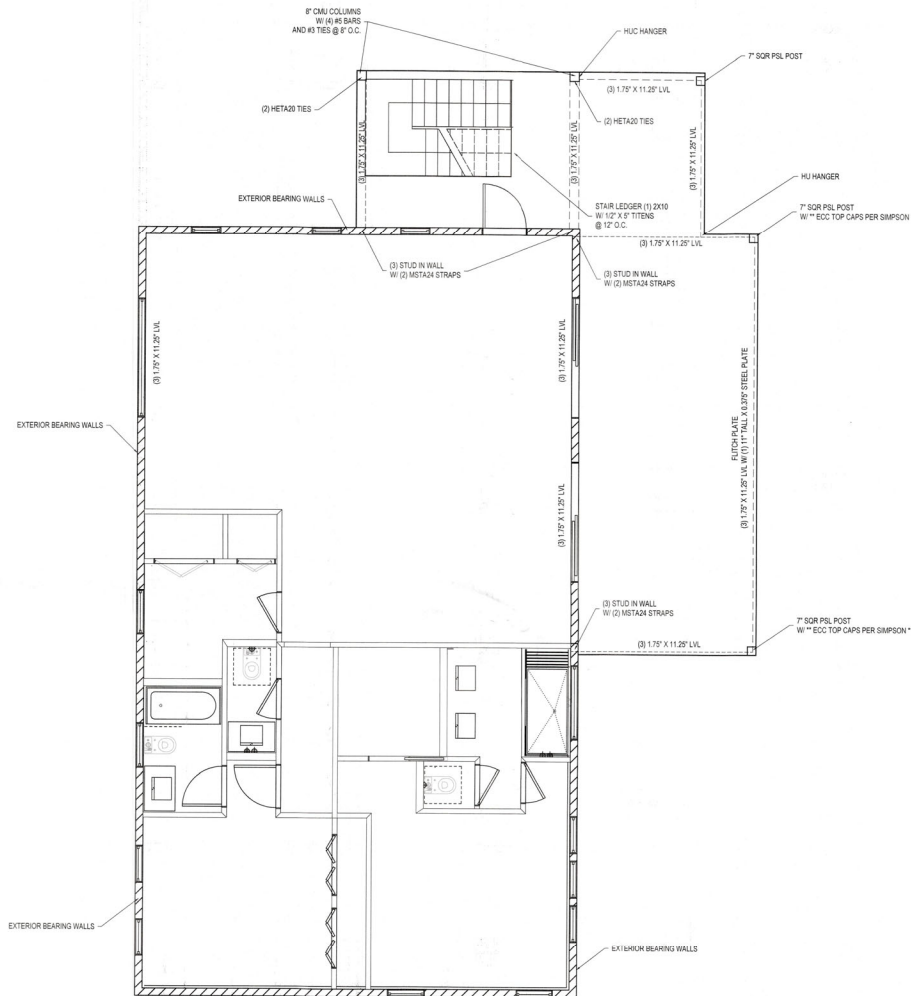




S4.0

CONSULTANT:  
ADDRESS:  
ADDRESS:  
PHONE:  
E-MAIL:

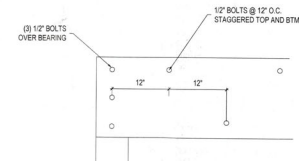
No.	Description	Date
1	comments	2024.2.8
2	geotech	2024.2.23



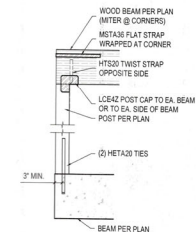
1 SECOND FLOOR PLAN  
S5.0 SCALE: 1/4" = 1'-0"

2ND FLOOR WALL FRAMING NOTES:

- EXTERIOR LOAD BEARING WALLS
  - 2X6 SYP #2 STUDS AT 16" O.C. FULLY BLOCKED AT PANEL EDGES.
  - TYPICAL HEADER TO BE (3) 2X10 #2, UNLESS NOTED OTHERWISE.
  - EXTERIOR WALLS TO RECEIVE HARDIE BOARD OR SIMILAR SIDING AS SPECIFIED BY ARCH. INSTALL PER MANUF. SPECS FOR THE GIVEN CAC LOADS.
- INTERIOR WOOD PARTITION WALLS
  - 2X6 OR 2X4 AT 16" O.C. WITH 1 ROW OF INTERMEDIATE BLOCKING.



3 FLITCH PLATE BOLTING  
S5.0 SCALE: 1/2" = 1'-0"



2 TYPICAL PORCH POST  
S5.0 SCALE: 1/2" = 1'-0"

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VERIFY ALL DIMENSIONS WITH  
ALL ARCHITECTURAL PAGES.

GULF COAST  
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INC.  
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FORT MYERS, FL 33901  
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PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
NO. 12474  
EXPIRATION DATE 12/31/2024

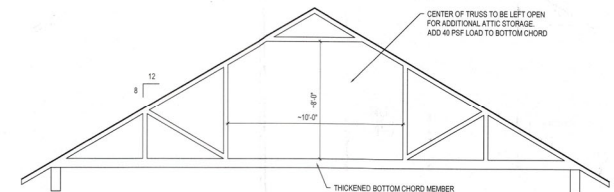
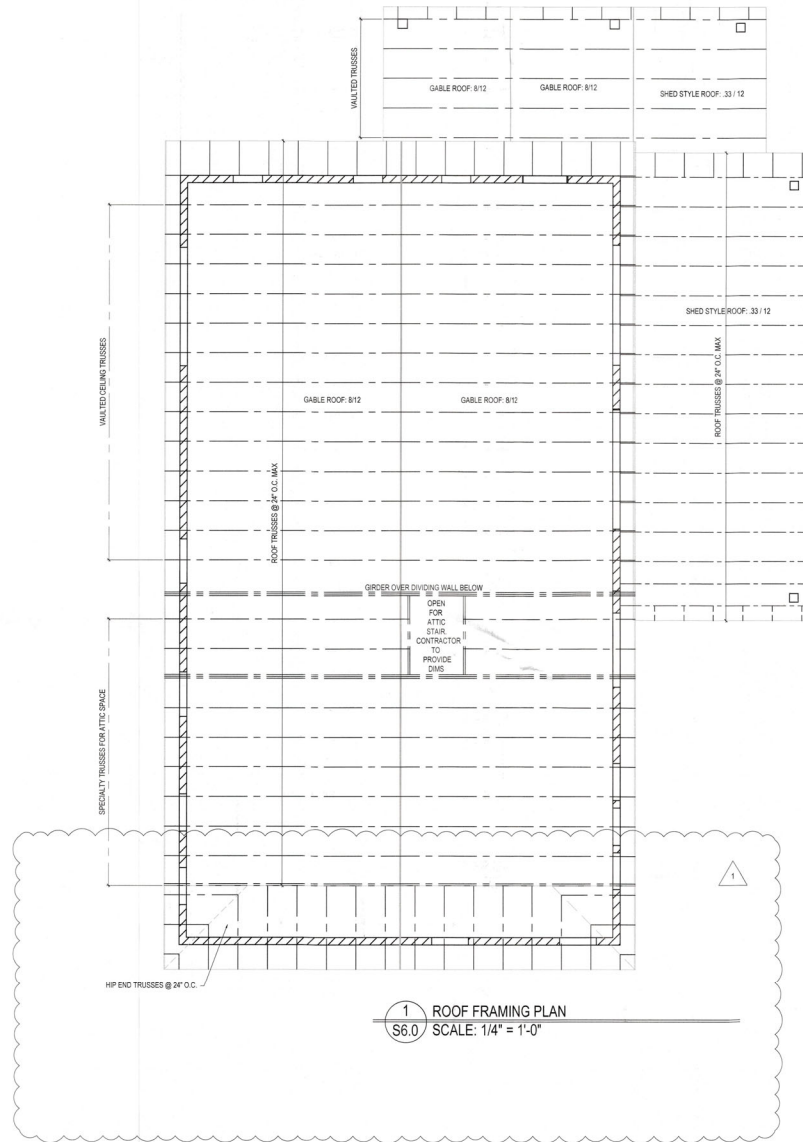
PROJECT NAME: GULF COAST RISE & RISE  
ADDRESS: 1000 W. 10TH AVE. SUITE 100  
FORT MYERS, FL 33901  
PROJECT NO: 2024-001  
DATE: 02/28/2024

No.	Date	Revision
1	2024.2.8	2024.2.23
2		

730 Longboat Ct.  
Longboat Key, FL 34228

PROJECT #: 23816  
DATE: November 21, 2023  
DRAWN BY: JRG

S5.0



1 SPECIALTY TRUSS  
S6.0 SCALE: 1/4" = 1'-0"

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#### ENGINEERED WOOD TRUSS NOTES:

- ENGINEERED TRUSS DESIGNS SHALL BE PROVIDED TO GCED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE TRUSS LAYOUT DEPICTED HEREIN IS ILLUSTRATIVE ONLY. REFER TO THE ENGINEER-APPROVED TRUSS LAYOUT BY THE TRUSS MANUFACTURER.
- TRUSS DESIGNER TO LOCATE ALL ELECTRICAL AND PLUMBING FIXTURES AND DRAIN LOCATIONS PER ARCHITECTURAL DRAWINGS AND TAKE CARE TO AVOID LOCATING TRUSSES WHERE CONFLICTS WILL OCCUR.
- TRUSS DESIGNER TO AVOID LOCATING TRUSSES IN THE CENTERS OF HALLWAYS AND OTHER SUCH AREAS WHERE RECESSED LIGHTING AND OTHER FIXTURES ARE COMMONLY LOCATED.
- TRUSS DESIGNER TO VERIFY ALL BEARING HEIGHTS, CEILING CHANGES, AND FLOOR LEVEL CHANGES WITH ARCHITECTURAL DRAWINGS.

#### ROOF FRAMING NOTES:

- ALL TRUSSES TO BE AT 24" O.C. MAX.
- ROOF DECKING TO BE 5/8" CDX STRUCTURAL SHEATHING ATTACHED W/ 100 NAILS @ 4" O.C. AT PANEL EDGES & 6" O.C. AT INTERMEDIATE MEMBERS.
- THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
- USE APPROVED SIMPSON HANGERS ON ALL WOOD TRUSS AND LEDGER CONNECTIONS.
- STRAPPING (WOOD):
 

5.1. HTA10	= 1100 LB
5.2. HTS20 TWIST STRAP	= 1310 LB
5.3. (2) HTS20 TWIST STRAP	= 2620 LB
5.4. LOTS GIRDER TIE	= 3480 LB
5.5. LOTS GIRDER TIE	= 4060 LB
5.6. HGT W/ FULL HEIGHT THREADED ROD	= 10345 LB
- VERIFY ANY REQUIRED FINAL TIE-DOWN WITH ENGINEER-APPROVED TRUSS LAYOUTS.
- TRUSS MANUFACTURER TO REFER TO ARCHITECTURAL PLANS FOR VAULTED TRAY OR OTHER VARIATIONS IN CEILING HEIGHT WHICH MAY BE REQUIRED.

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VERIFY ALL DIMENSIONS WITH  
ALL ARCHITECTURAL PLANS.

GULF COAST  
ENGINEERING & DESIGN  
1412-152-8077  
1412-152-8077  
1412-152-8077

PROJECT NAME:  
ADDRESS:  
PHONE:  
E-MAIL:

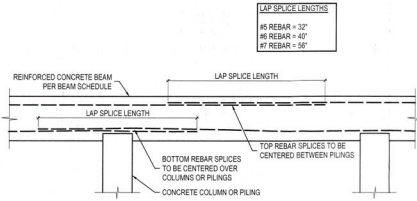
No.	Description	Date
1	2024.2.8	2024.2.8
2	2024.2.23	2024.2.23

730 Longboat Ct.  
Longboat Key, FL 34228

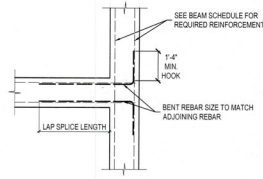
PROJECT #: 2310A  
DATE: November 21, 2023  
DRAWN BY: JBG

S6.0

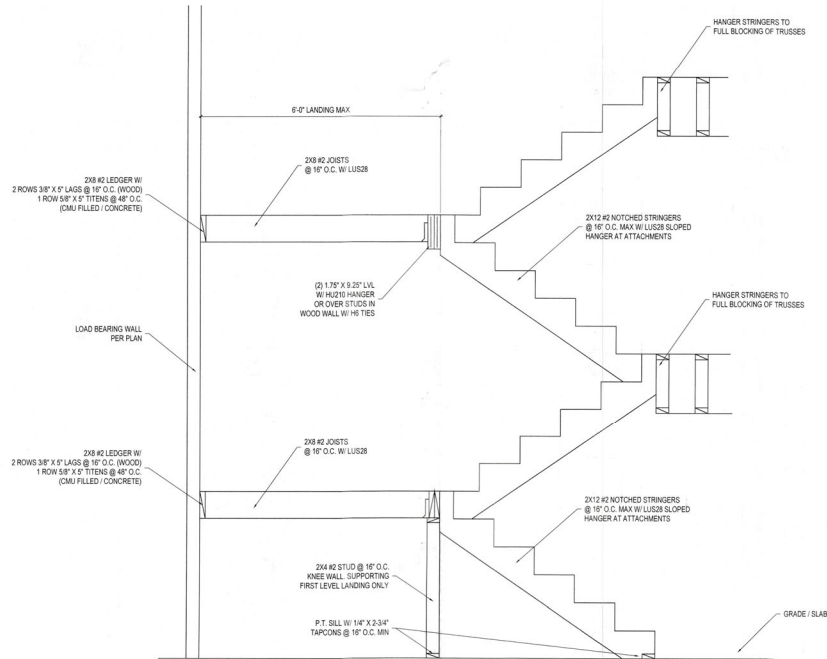




5 TYPICAL BEAM REBAR SPLICES  
S7.0 SCALE: N.T.S.



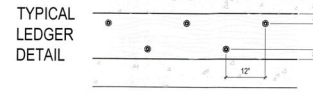
6 TYPICAL BEAM INTERSECTION  
S7.0 SCALE: N.T.S.



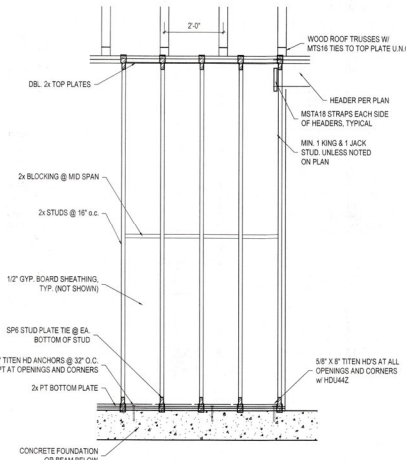
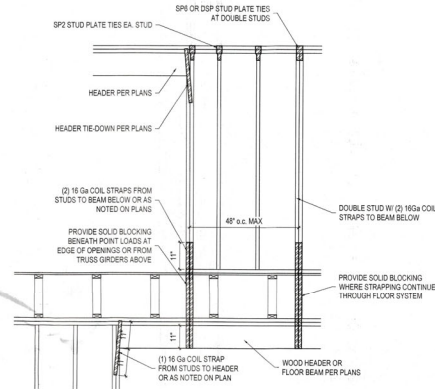
7 TYPICAL WOOD FRAMED STAIR DETAIL  
S7.0 SCALE: 3/4\"/>

## INTERIOR FLOOR LEDGER NOTES

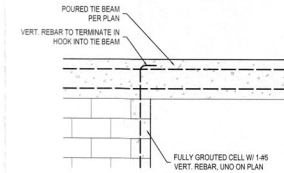
1. ALL FIRST FLOOR FRAMING SHALL BE 18\"/>



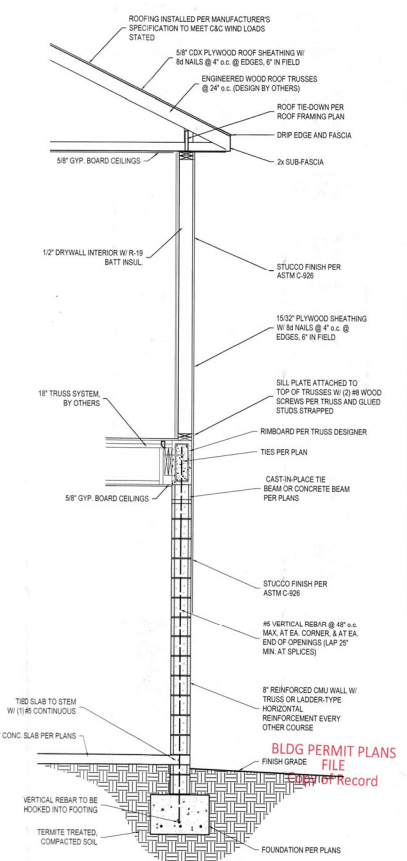
4 LEDGERS  
S7.0 SCALE: 1/2\"/>



2 TYPICAL WOOD FRAMED BEARING WALLS  
S7.0 SCALE: 1/2\"/>



3 TIE BEAM @ OPENINGS  
S7.0 SCALE: 1/2\"/>



1 TYPICAL WALL SECTION  
S7.0 SCALE: 1/2\"/>

NOTE:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND REPORT ANY ISSUES TO GC. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PAGES.

PLANS AND SPECIFICATION CONTAINED HEREIN AND ATTACHMENTS FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGIONS AS DEFINED AND SET FORTH BY THE FBC, RESIDENTIAL (2020), PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2020 AND IRC 2017.

PROJECT: 23526  
DATE: November 21, 2023  
DRAWN BY: JMS

730 Longboat Ct.  
Longboat Key, FL 34228

S7.0

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Planning, Zoning & Building

# LEGAL DESCRIPTION

PARCEL 1: THAT PORTION OF LOT 4, OF BLOCK 19, OF LONGBEACH, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 66 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, WHICH LIES WITHIN 37 1/2 FEET OF THE LINE SEPARATING SAID LOT 4 FROM THE ADJOINING LOT 5, ALSO THAT PORTION OF LOT 5 OF SAID BLOCK 19, OF SAID SUBDIVISION LYING WITHIN 25 FEET OF SAID LINE SEPARATING LOT 5 FROM THE ADJOINING LOT 4;  
 PARCEL 2: WEST 25 FEET OF LOT 5 AND EAST 3/4 OF LOT 6, BLOCK 19, LONGBEACH, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 66 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA,  
 TOGETHER WITH ALL RIGHTS, TITLE, AND INTEREST WHICH GRANTOR NOW HAS OR MAY ACQUIRE IN THE FUTURE BY VIRTUE OF THAT CERTAIN AGREEMENT, DATED MARCH 1, 1986 AND RECORDED IN O.R. BOOK 280, PAGE 439, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

SCALE 1"=30'

FLOOD ZONE: AE  
 COMMUNITY NUMBER: 125126  
 PANEL: 1208102025  
 SUFFIX: F  
 BASE FLOOD ELEVATION: 8  
 FIRM DATE: 06/10/2021

TREE#	COMMON NAME	SIZE DBH" x H' x C"
TR1	CELR	24" x 45' x 10"
TR2	CARROT	8" x 20' x 10"
TR3	CARROT	7" x 45' x 10"
TR4	FO	40" x 45' x 10"
TR5	FO	30" x 20' x 10"
TR6	BAVIAN	15" x 20' x 10"
TR7	PALE	12" x 20' x 10"
TR8	FO	22" x 45' x 10"
TR9	FO	30" x 45' x 10"
TR10	SHAP	30" x 20' x 10"

## NOTES

- LEGAL DESCRIPTION PROVIDED BY CLIENT
- NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
- ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
- SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL

ORIGINAL FIELD WORK COMPLETED BY  
 TARGET SURVEYING, LLC  
 SURVEY # 289377

DATE OF FIELD WORK: 06/21/2022  
 DATE OF MAP: 06/21/2022

SURVEYORS CERTIFICATE  
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)  
 KENNETH J. OSBORNE  
 PROFESSIONAL SURVEYOR AND MAPPER #6415

## LEGEND

- AC AIR CONDITIONER
- B.E.S. BACKSLOPE EXPOSED STRUCTURE
- EL ELEVATION
- FL FINISHED FLOOR
- LD LOT DISTANCE
- L.B. LENGTH
- L.S. LOCATED BUSINESS
- M MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.S.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P.M. PROFESSIONAL SURVEYOR AND MAPPER
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.R. PLAT BOOK
- P.K. PARKER KYLON NAIL
- R RADIUS
- S CENTERLINE
- S.D. SLOPE
- S.C.A. SLOPE CENTRAL ANGLE
- S.C. SLOPE
- CL CHAIN LINK FENCE
- W.F. WOOD FENCE
- M.F. MISCELLANEOUS FENCE

ORIGINATION BENCHMARK  
 NATIONAL GEODETIC SURVEY  
 BRASS DISK, "M C B E 22"  
 N.A.V.D. ELEVATION = 14.25'



BOUNDARY TOPOGRAPHIC AND TREE SURVEY OF  
 720 AND 730 LONGBOAT COURT  
 LONG BEACH, FL 34225  
 PREPARED FOR  
 JESSE GRIFFIN

1"=1'

COMPASS SURVEYING  
 1317 76th St.  
 West Palm Beach, FL 33411  
 www.compassurveying.com  
 PHONE: 561.640.4800 FAX: 561.640.0576

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DESIGN NOTES:

GROUP CLASSIFICATION:	R-3 (SEE CHAPTER 3)	FDEP PERMIT:	N/A
CONSTRUCTION TYPE:	V-B (SEE CHAPTER 6)	LOT SIZE:	13,122.0 SF (100%)
ZONING:	LBK_R-65F	MAX. BLDG. COVERAGE:	3,936.6 SF (30%)
OCCUPANCY TYPE:		MIN. OPEN AREA:	6,561.0 SF (50%)
FLOOD ZONE:	AE	SETBACKS:	
BFE:	8'-0"	FRONT:	20'-0"
DFE:	9'-0"	SIDE:	MIN: 8'-0" / 20'-0" COMBINED
MAX. HEIGHT:	30'-0" from DFE	REAR:	15'-0"
DAYLIGHT SAVINGS PLANE:	50"		

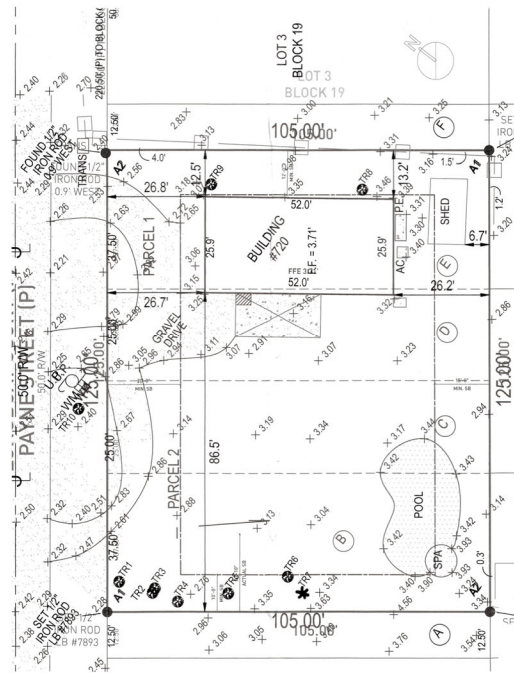
ABBREVIATIONS:

ABV.	ABOVE	JT.	JOINT
ALUM.	ALUMINUM	L.P.	LIQUID PROPANE
ARCH.	ARCHITECTURAL / ARCHITECT	LI.	MEASURE
BLDG.	BUILDING	MANUF.	MANUFACTURER
BM.	BEAM	MAX.	MAXIMUM
B.O.	BOTTOM OF [...]	MECH.	MECHANICAL
CLG.	CEILING	MIN.	MINIMUM
CMU.	CONCRETE MASONRY UNIT	NAVD.	NORTH AMERICAN VERTICAL DATUM
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	NO.	NUMBER
C.U.	CONDENSING UNIT	O.C.	ON CENTER
D.D.	DECK DRAIN	OPG.	OPENING
DET.	DETAIL	U.N.O.	UNLESS NOTED OTHERWISE
DECO.	DECORATIVE	(PI)	PLATTED
DIA.	DIAMETER	R.D.	ROOF DRAIN
DISP.	DISPOSAL	REF.	REFER/REFERENCE
DIST.	DISTANCE	RF.	REFRIGERATOR
DN.	DOWN	RES.	RESIDENCE/RESIDENTIAL
DWGS.	DRAWINGS	R.	RISER
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEV.	ELEVATOR	SECT.	SECTION
ELEC.	ELECTRICAL	SHWR.	SHOWER
ENG.	ENGINEER	S.S.	STAINLESS STEEL
EO.	EQUAL	SPECS.	SPECIFICATIONS
EQUIP.	EQUIPMENT	STRUCT.	STRUCTURAL
F.D.	FLOOR DRAIN	T.O.	TOP OF [...]
FIN.	FINISH/FINISHED	TYP.	TYPICAL
FLR.	FLOOR	T.	TREAD
FRZ.	FREEZER	U.C.	UNDER COUNTER
GALV.	GALVANIZED	V.J.F.	VERIFY IN FIELD
G.C.	GENERAL CONTRACTOR	W.C.	WATER CLOSET
GYP.	GYPSON	W.D.	WARMING DRAWER
HABIT.	HABITABLE	W.H.	WATER HEATER
HVAC.	HEATING, VENTILATION & AIR CONDITIONING	W.I.C.	WALK IN CLOSET

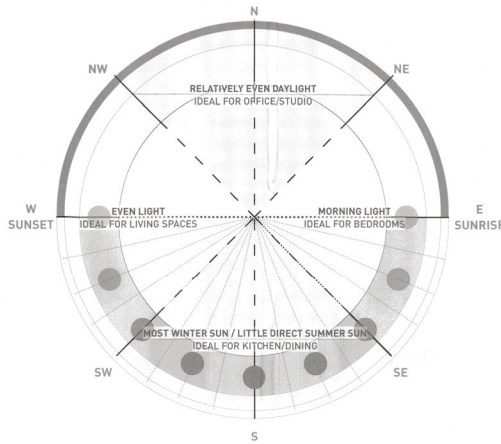
GENERAL NOTES:

- DO NOT SCALE THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS AND VERIFY THE BUILDING POSITION WITHIN THE SETBACK LINES PRIOR TO COMMENCING CONSTRUCTION.
- ALL TRADES SHALL BE RESPONSIBLE TO READ ALL DETAILS AND SPECIFICATIONS, AND PLANS - ARCHITECTURAL & STRUCTURAL, MECHANICAL, ETC. FOR PROPER COORDINATION. IF ANY CONFLICTS EXIST, THAT TRADE SHALL NOTIFY THE CONTRACTOR OF THE SAME, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION.
- SMOKE DETECTORS ARE SHOWN ON THE ELECTRICAL PLANS. SMOKE DETECTORS ARE SHOWN ON THE ELECTRICAL PLANS.
- ACCESSIBILITY REQUIREMENTS: ACCESSIBLE BATHROOM DOORS SHALL HAVE A 29" CLEAR OPENING - A 2'-8" DOOR PROVIDES A 29" ACCESSIBILITY. ALL BATHROOMS ARE ACCESSIBLE IN THIS FLOOR PLAN.
- EGRESS WINDOWS ARE SHOWN ON FLOOR PLANS.

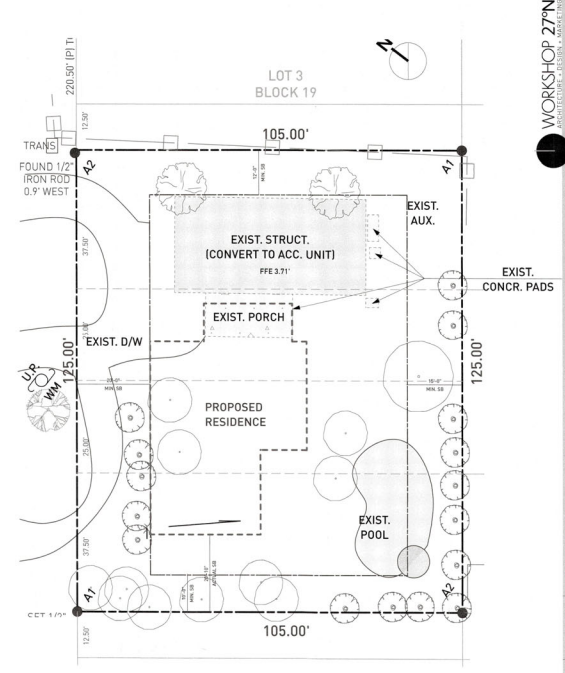
PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE, RESIDENTIAL 8TH EDITION (2023).



1 SURVEY  
Scale: 1/16" = 1'-0"



3 SUN PATH DIAGRAM



2 PROPERTY  
Scale: 1/16" = 1'-0"

EXISTING STRUCTURE TO BE CONVERTED INTO A NON-HABITABLE ACCESSORY STRUCTURE (POOL HOUSE) PRIOR TO COMPLETION OF THE PROPOSED NEW CONSTRUCTION RESIDENCE. THERE WILL ONLY BE 1 KITCHEN, THE EXISTING KITCHEN IN EXISTING STRUCTURE SHALL BE DEMO'D.

ALL BUILDING MATERIALS BELOW DFE SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE AS PER FEMA TECHNICAL BULLETIN #2 AND FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.8

BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF, AS PER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND AS REQUIRED BY FEMA SHALL BE MET THROUGHOUT THE BUILD.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, THE TOWN OF LONGBOAT KEY ZONING AND LAND DEVELOPMENT CODE AND EPA CLEAN WATER ACT OF 1972.

SILT FENCE SHALL BE INSTALLED PRIOR AND DURING CONSTRUCTION AS PER THE CONSTRUCTION STAGING PLAN.

JAKE B. GOVIN  
LICENSED  
No. 19106  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

WORKSHOP 27'N

730 LONGBOAT CT

PROJECT NO. 2023-77  
12 13 23

REVISIONS

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FILE  
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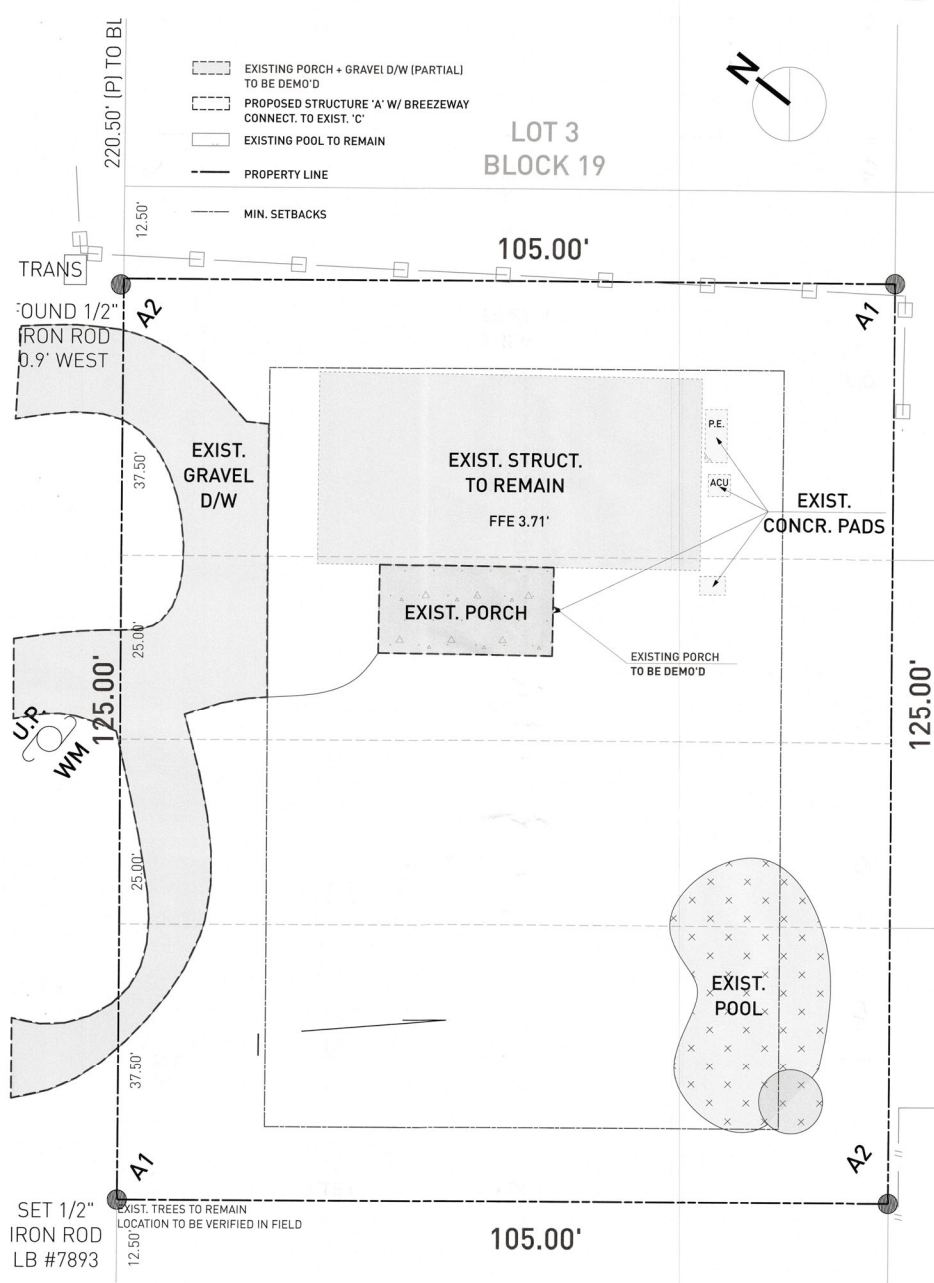
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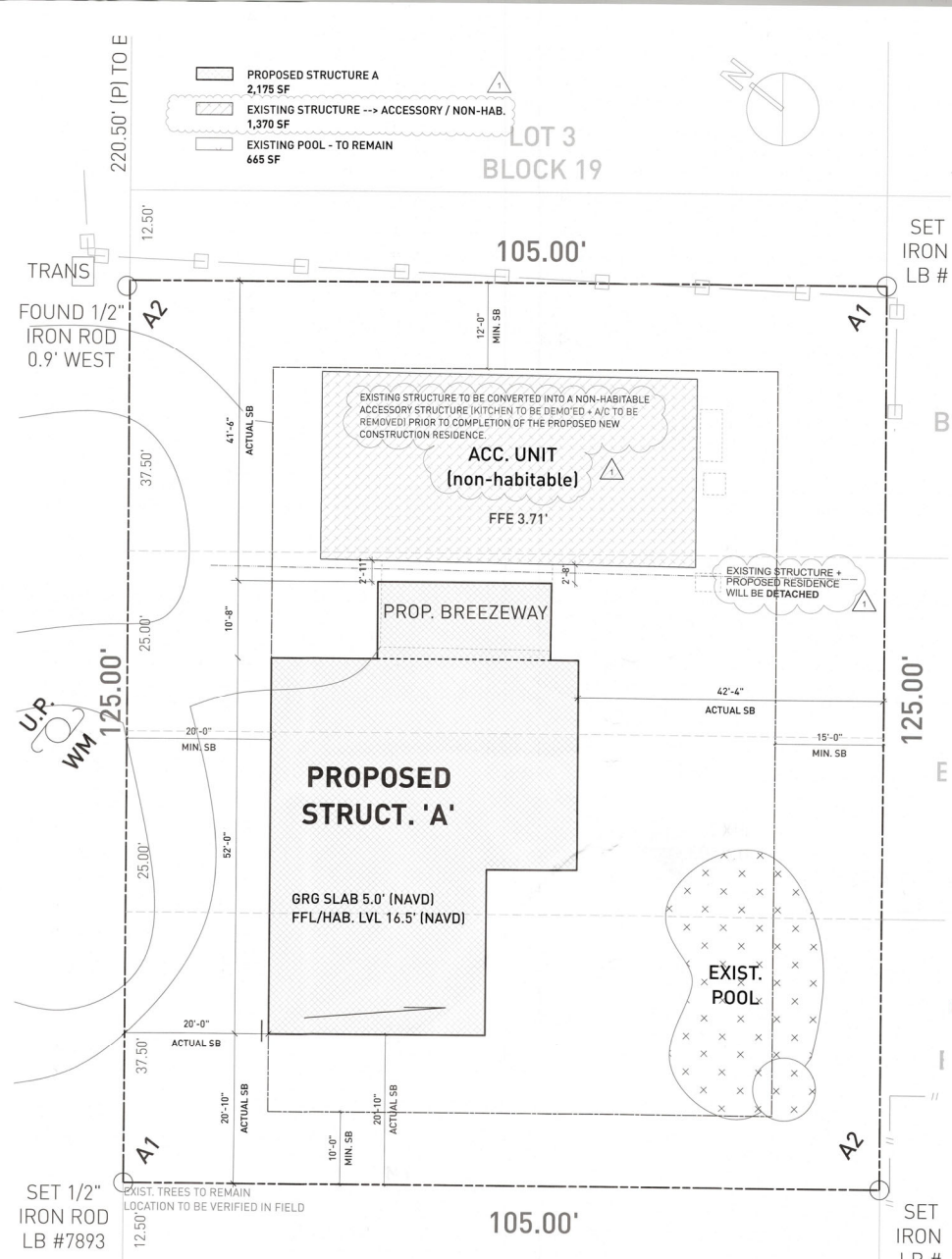
Design +  
Property  
NOTES

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**1 SITE PLAN AS-BUILT + DEMO**  
Scale: 1/8" = 1'-0"



**3 SITE PLAN PROPOSED**  
Scale: 1/8" = 1'-0"

**WORKSHOP 277N**

**JAKE B. GODWIN**  
No. 19186  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**730 LONGBOAT CT**

**PROJECT NO. 2023-77**

**12 13 23**

**REVISIONS**

**BLDG PERMIT PLANS**  
FILE  
Copy of Record

**NORTH**

**DRAWN BY: M.V.**  
**CHECKED: M.V.**

**Site Plan**  
**DEMO +**  
**PROPOSED**

**A 0.1**

**RECEIVED**  
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**TOWN OF LONGBOAT KEY**  
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## GENERAL NOTES:

BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF, AS PER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND AS REQUIRED BY FEMA SHALL BE MET THROUGHOUT THE BUILD.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE **FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL**, THE TOWN OF LONGBOAT KEY ZONING AND LAND DEVELOPMENT CODE AND EPA CLEAN WATER ACT OF 1972.

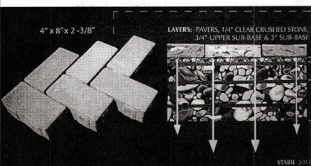
SILT FENCE SHALL BE INSTALLED PRIOR AND DURING CONSTRUCTION AS PER THE CONSTRUCTION STAGING PLAN.

### PROPOSED SITE PLAN

- PROPERTY BOUNDARY
- MIN. REQ. SETBACKS
- EXISTING FENCE
- PROPOSED BUILDING COVERAGE  
2,175 SF
- PROPOSED PERVIOUS COVERAGE  
885 SF
- EXISTING BUILDING COVERAGE  
1,370 SF
- OTHER IMPERVIOUS COVERAGE AT GRADE LVL  
900 SF
- EXISTING PROPERTY GRADE ELEVATION
- EXISTING GRADE ADJACENT TO PROPERTY

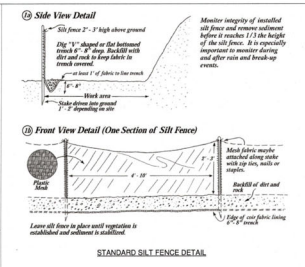
### ZERO IMPERVIOUS PAVERS

HYDRO-BLOCK IS AN ENVIRONMENTALLY FRIENDLY HARDCAPE PRODUCT. IT ALLOWS THE READMISSION OF WATER INTO THE GROUND AND THE NATURAL RECHARGE OF THE AQUIFER BY REDUCING OR ELIMINATING STORM WATER RUNOFF. THIS 4" X 8" PERMEABLE PAVEMENT HELPS PROTECT THE ENVIRONMENT FROM DANGEROUS POLLUTANTS IN STORM WATER RUN-OFF. THE HYDRO-BLOCK PAVEMENT INCORPORATES SLIGHT CHAMFERS WITH VOIDS THAT ARE LESS THAN 1/2 INCH WIDE TO DIRECT WATER THROUGH 6 VERTICAL CHANNELS. THIS WILL ALLOW WATER TO PASS THROUGH THE PAVEMENT SURFACE AT A RATE OF APPROX. 354 INCHES PER HOUR.



### CONSTRUCTION STAGING ONLY

- CONSTRUCTION ACCESS, PARKING AND MATERIAL STORAGE
- SILT FENCE



C.O.R.  
2.37'

LONGBOAT COURT (F)  
PAYNE STREET (P)  
50.0' RW  
U.P.  
WM 125.00'

EXISTING STRUCTURE TO BE CONVERTED INTO A NON-HABITABLE ACCESSORY STRUCTURE (POOL HOUSE) PRIOR TO COMPLETION OF THE PROPOSED NEW CONSTRUCTION RESIDENCE.

LOT 3  
BLOCK 19

105.00'

SET 1/2"  
IRON ROD  
LB #7893

LOT 22  
BLOCK 19

LOT 21  
BLOCK 19

LOT 20  
BLOCK 19

SET 1/2"  
IRON ROD  
LB #7893

### 1 ARCHITECTURAL SITE PLAN

Scale: 1/8" = 1'-0"

WORKSHOP 27N  
RECEIVED  
DATE 11/11/2023  
TOWN OF LONGBOAT KEY



730 LONGBOAT CT

PROJECT NO. 2023-77

12 13 23

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### REVISIONS

- BLDG. DEPARTMENT COMMENTS (1)  
RECEIVED 03/10/2024
- BLDG. DEPARTMENT COMMENTS (2)  
RECEIVED 03/10/2024

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FILE  
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NORTH

DRAWN BY: MW  
CHECKED: MW

Site Plan  
ARCH

A0.2

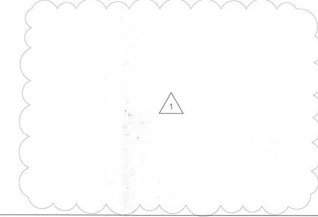


## GENERAL NOTES:

1. NEW SWALE DRAINAGE PLAN IS FOR INDICATED DRAINAGE BOUNDARY UNITS ONLY.
2. SWALE SLOPES SHALL BE A MINIMUM OF 0.23% LONGITUDINAL SLOPE.
3. SURFACE SLOPES SHALL NOT EXCEED ONE FOOT (1'-0") VERTICAL RISE IN SIX FEET (6'-0") HORIZONTAL DISTANCE WITHIN FIVE FEET (5'-0") OF ANY PROPERTY LINE.
4. NO ENVIRONMENTAL ASSESSMENTS WERE PERFORMED FOR THIS SITE BY DESIGNMARKET.
5. NO UNDERGROUND ENCROACHMENTS HAVE BEEN FIELD LOCATED EXCEPT AS SHOWN. (e.g. UTILITIES, FOUNDATIONS)
6. NO INSTRUMENT OF RECORD REFLECTING EASEMENTS, RIGHT OF WAYS, AND/OR OWNERSHIP WERE FURNISHED BY THIS SURVEYOR EXCEPT AS SHOWN.
7. NO JURISDICTION WETLAND AREAS OR OTHER PHYSICAL TOPOGRAPHIC FEATURES HAVE BEEN LOCATED UNLESS OTHERWISE NOTED.
8. PERMANENT LANDSCAPING MUST BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PROCESS. THIS INCLUDES BOXING THE TRUNKS IN BEHIND A 2x4 "FENCE" WHICH ALSO SURROUNDS THE ROOTS.
9. ALL GUTTER DOWN SPOUTS TO DRAIN INTO INFILTRATION LOW POINTS AND/OR INFILTRATION TRENCHES. GUTTER DESIGN CAPTURES 100% OF TOP FLOOR RUNOFF.
10. ALL RAINWATER DIRECTED FROM PROPOSED STRUCTURE AND IMPERVIOUS AREAS TOWARDS GRADING LOW POINTS AND/OR INFILTRATION TRENCHES WITHOUT SPILLING OVER TO ADJACENT LOTS.

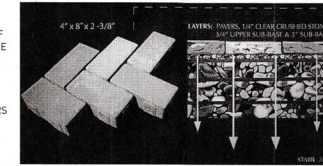
## STORM WATER, EROSION AND SEDIMENT CONTROL PLAN:

1. PROJECT TO START UPON ISSUANCE OF BUILDING PERMITS AND COMMENCEMENT OF CONSTRUCTION.
3. SILT FENCE TO BE INSTALLED AT PERIMETER OF CONSTRUCTION AREA ALONG PROPERTY LINE AS PER SURVEY + CONSTRUCTION STAGING PLANS.
4. SILT FENCE TO BE INSPECTED AFTER EACH STORM EVENT AND TO BE MAINTAINED AS REQUIRED.
5. ALL GUTTER DOWN SPOUTS TO DRAIN INTO INFILTRATION TRENCH. GUTTER DESIGN CAPTURES 100% OF TOP FLOOR RUNOFF.



## ZERO IMPERVIOUS PAVERS

HYDRO-BLOCK IS AN ENVIRONMENTALLY FRIENDLY HARDCAPE PRODUCT. IT ALLOWS THE READMISSION OF WATER INTO THE GROUND AND THE NATURAL RECHARGE OF THE AQUIFER BY REDUCING OR ELIMINATING STORM WATER RUNOFF. THIS 4"X8" PERMEABLE PAVEMENT HELPS PROTECT THE ENVIRONMENT FROM DANGEROUS POLLUTANTS IN STORM WATER RUN-OFF. THE HYDRO-BLOCK PAVEMENT INCORPORATES SLIGHT CHAMFERS WITH VOIDS THAT ARE LESS THAN 1/2 INCH WIDE TO DIRECT WATER THROUGH A VERTICAL CHANNELS. THIS WILL ALLOW WATER TO PASS THROUGH THE PAVEMENT SURFACE AT A RATE OF APPROX. 354 INCHES PER HOUR.



## STORM WATER MANAGEMENT SYSTEMS / LOT DRAINAGE DETAILS AND INFILTRATION TRENCHES SHALL BE PERFORMED IN COMPLIANCE WITH THE CITY OF LONGBOAT KEY, LAND DEVELOPMENT CODE / ARTICLE III / DIVISION 5 / SECTION 158.030 - PERFORMANCE STANDARDS FOR SITE DEVELOPMENT PLANS.

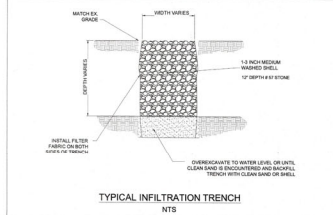
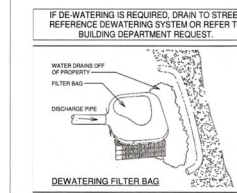
ALL STORMWATER RUNOFF FROM DEVELOPMENT SITES AND CONSTRUCTION SITES SHALL MEET APPLICABLE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION APPLICABLE STORMWATER AND WASTEWATER DISCHARGE REQUIREMENTS.

ALL STORMWATER MANAGEMENT SYSTEMS SHALL ASSURE ADEQUATE DRAINAGE, FLOOD PREVENTION, AND PROTECTION OF WATER QUALITY.

ALL ON-SITE MANAGEMENT OF RUNOFF IS TO BE PERFORMED IN SUCH A MANNER THAT POST-DEVELOPMENT DISCHARGE RATES WILL NOT EXCEED PRE-DEVELOPMENT CONDITIONS AND REQUIREMENTS.

NO STORMWATER SHOULD BE DISCHARGED DIRECTLY INTO SARASOTA BAY OR THE GULF OF MEXICO UNLESS IT HAS BEEN OBTAINED ON-SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS AND CONVEYED TO THE OPEN WATER IN AN ACCEPTABLE MANNER.

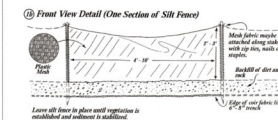
ALL PUBLICATIONS INCORPORATED IN THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD) CRITERIA FOR REVIEW OF SURFACE WATER MANAGEMENT SHALL BE USED IN PLANNING AND REVIEWING SURFACE WATER MANAGEMENT WITHIN THE TOWN OF LONGBOAT KEY.



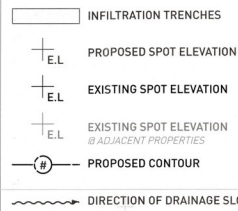
BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF, AS PER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND AS REQUIRED BY FEMA SHALL BE MET THROUGHOUT THE BUILD.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL. THE TOWN OF LONGBOAT KEY ZONING AND LAND DEVELOPMENT CODE AND EPA CLEAN WATER ACT OF 1972.

SILT FENCE SHALL BE INSTALLED PRIOR AND DURING CONSTRUCTION AS PER THE CONSTRUCTION STAGING PLAN.

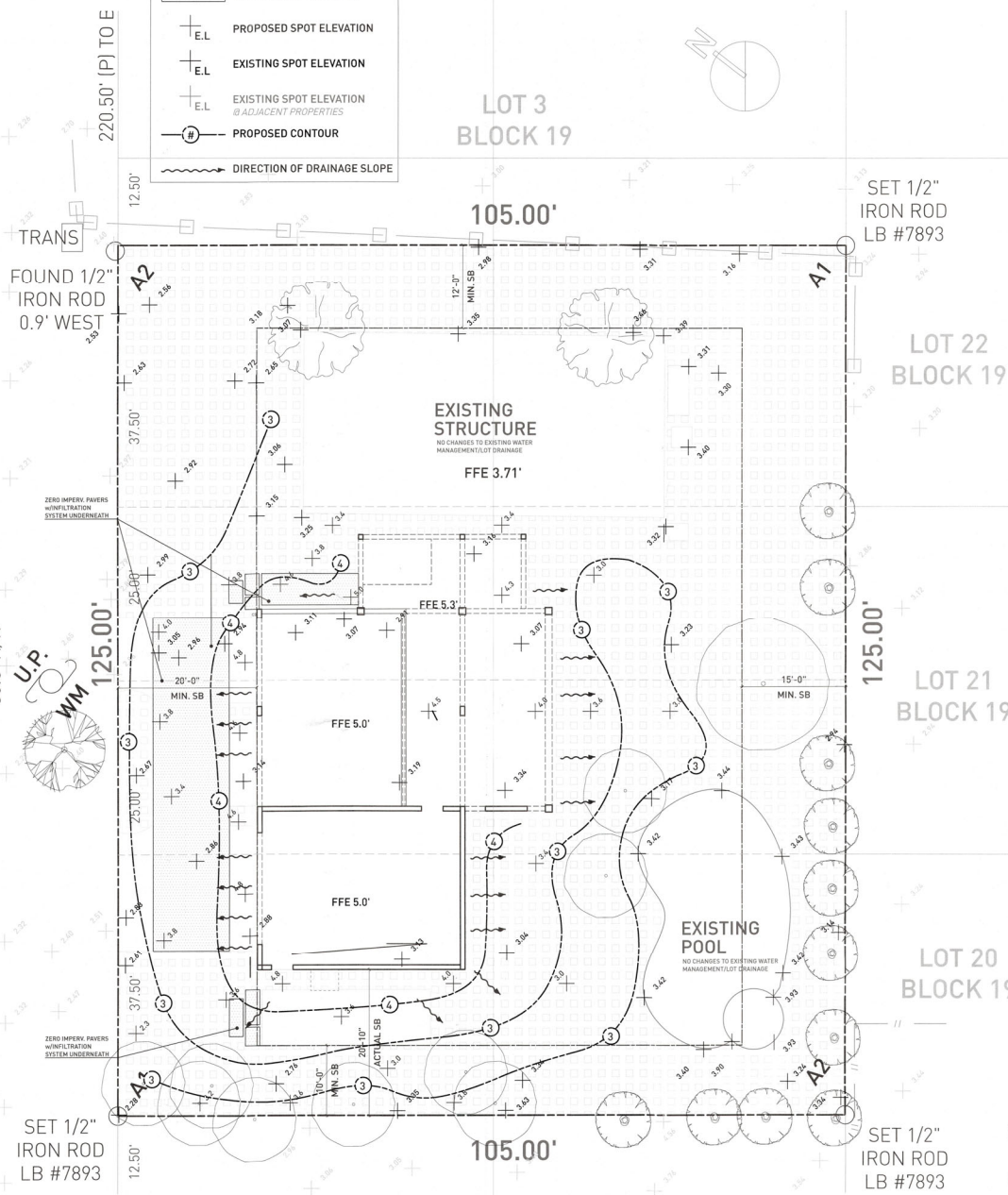


STANDARD SILT FENCE DETAIL



C.O.R.  
2.37'

LONGBOAT COURT (F)  
PAYNE STREET (P)  
50.0' R/W



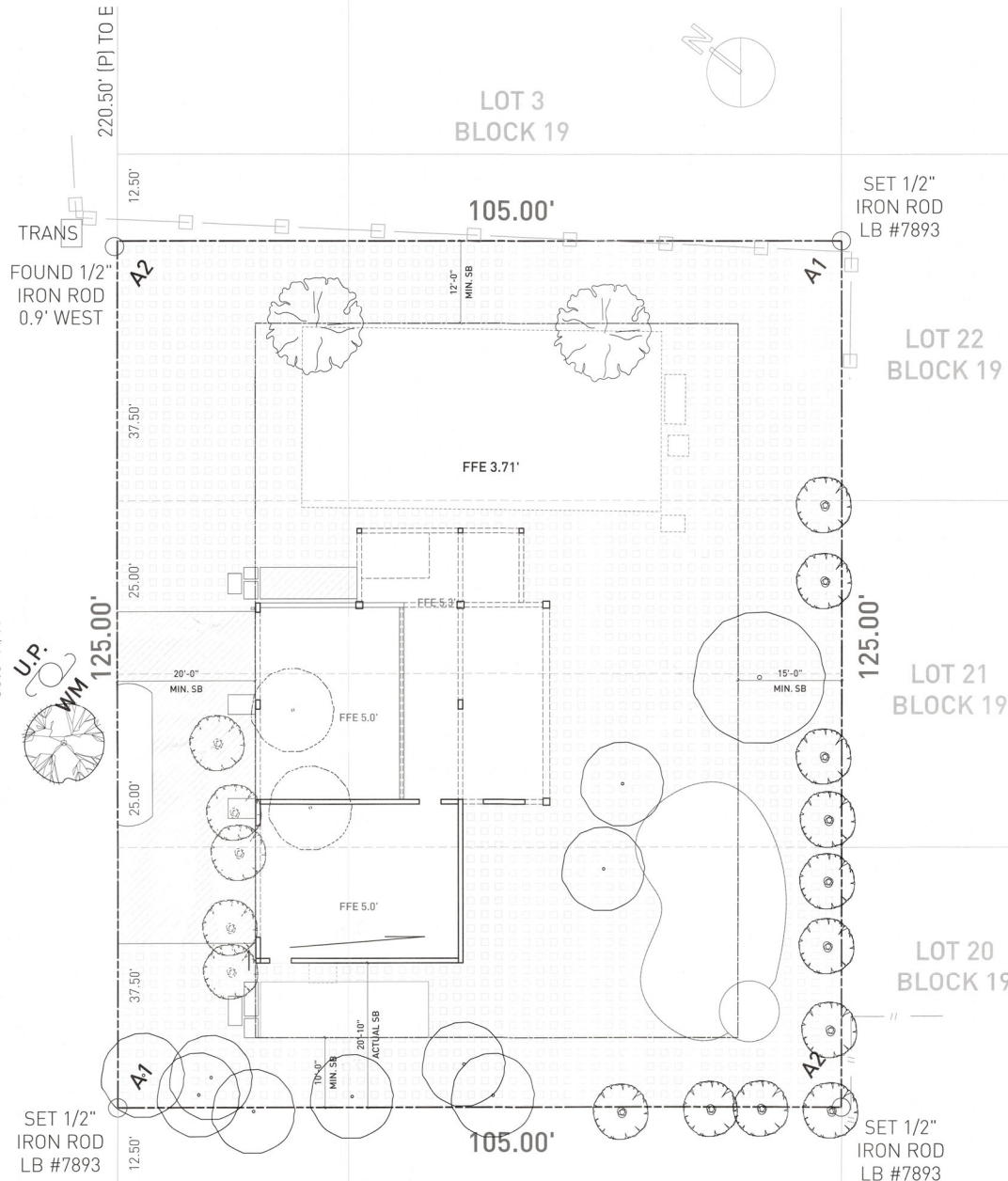
## SITE GRADING + DRAINAGE PLAN

Scale: 1/8" = 1'-0"



C.O.R.  
2.37'

LONGBOAT COURT (F)  
PAYNE STREET (P)  
50.0' R/W



1 LANDSCAPING PLAN  
Scale: 1/8" = 1'-0"

- OPEN AREA - EXISTING GROUND COVER/NATURAL LAWN (VERIFY IN FIELD)
- INFILTRATION TRENCHES (NO LANDSCAPING)

	EXISTING FISHTAIL PALM
	EXISTING
	EXISTING
	EXISTING COCONUT PALM
	EXISTING FISHTAIL PALM TO BE RELOCATED PRIOR TO CONSTRUCTION
	EXISTING COCONUT PALM TO BE RELOCATED PRIOR TO CONSTRUCTION

VERIFY EXISTING TREES IN THE FIELD  
NO LANDSCAPING TO BE LOCATED IN INFILTRATION AREAS

WORKSHOP 277N

JAKE B. GOODE  
LICENSED PROFESSIONAL ENGINEER  
No. 91904  
STATE OF FLORIDA

730 LONGBOAT CT

PROJECT NO. 2023-77  
12 13 23

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BY J.B.G.  
CHECKED BY J.B.G.

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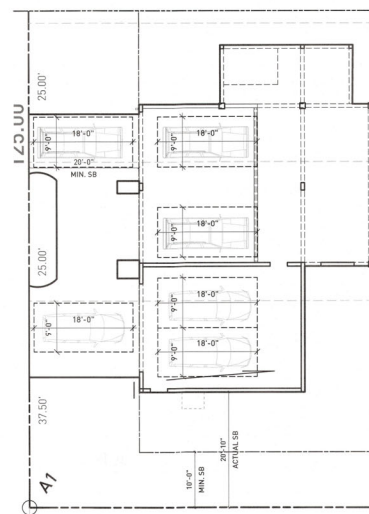
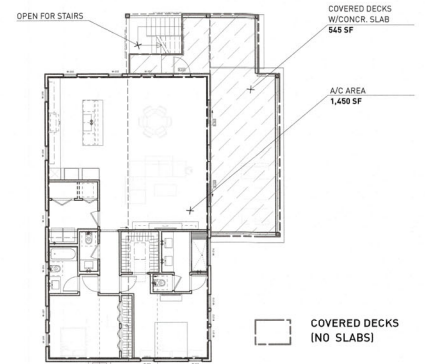
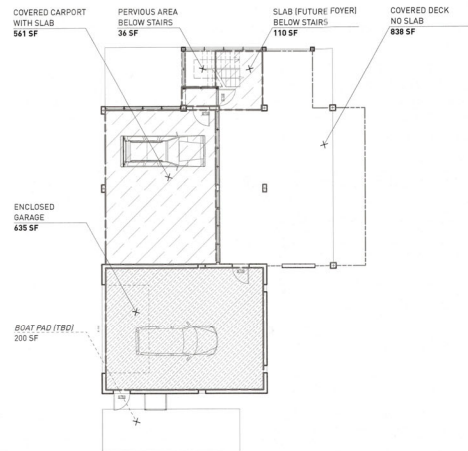
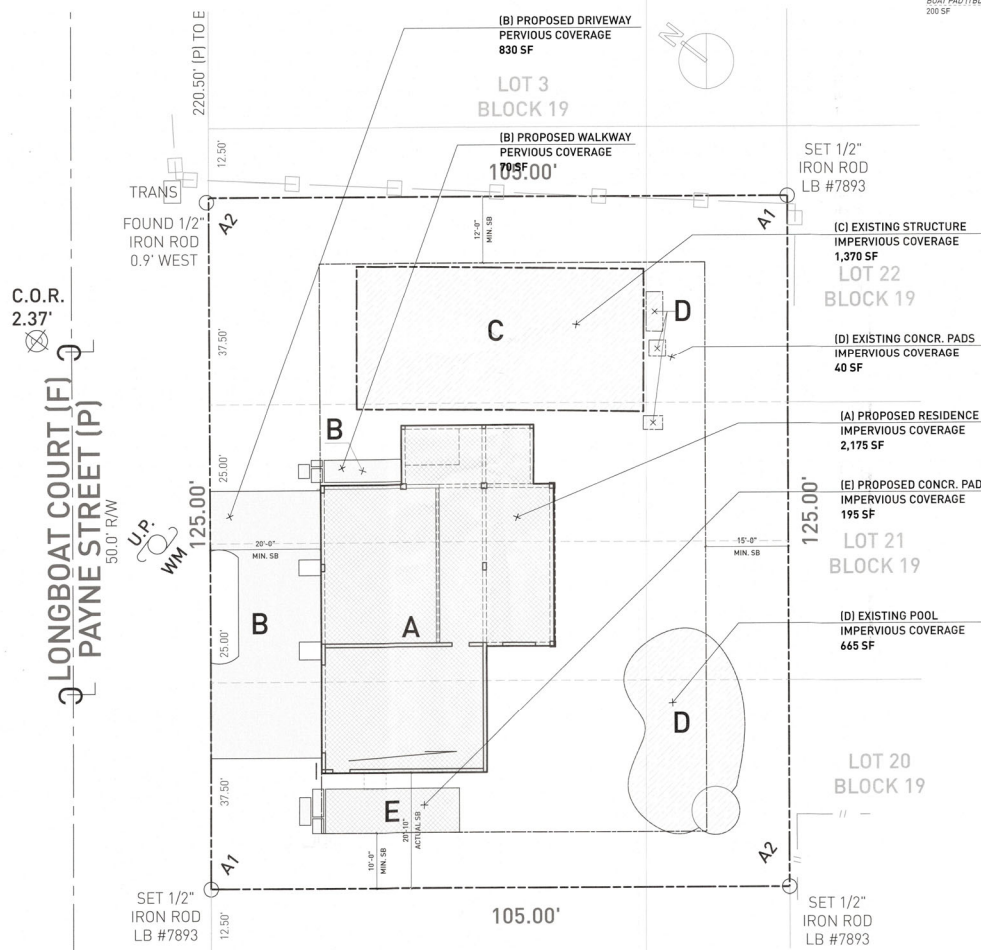
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Site Plan  
LANDSCAPE

A0.4

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	PROPOSED BUILDING COVERAGE 2,175 SF	A		EXISTING BUILDING COVERAGE 1,370 SF	C
	PROPOSED IMPERVIOUS COV. @ GRADE 195 SF	E		EXISTING IMPERVIOUS COV. @ GRADE 705 SF	D
	PROPOSED PERVIOUS COVERAGE 900 SF	B			



#### COVERAGE CALCULATIONS:

##### TOTAL AREA OF LOT:

13,122 SQFT = 100%

##### 01 BUILDING COVERAGE <20%

AREA	NAME	COVERAGE
(A) 2,175 SQFT	PROPOSED STRUCTURE	16.58%
(C) 1,370 SQFT	EXISTING STRUCTURE	10.44%
3,545 SQFT	TOTAL	27.02%

##### 02 OPEN SPACE MIN. 50% :

(A+C) 3,545 SQFT	BLDG. COVERAGE	27.02%
(D+E) 900 SQFT	POOL/PADS	6.86%
(B) 900 SQFT	DRIVEWAY/WALKWAYS	6.86%
5,345 SQFT	TOTAL NON-OPEN SPACE	40.73%
7,777 SQFT	TOTAL OPEN SPACE	59.27%



GENERAL NOTES:

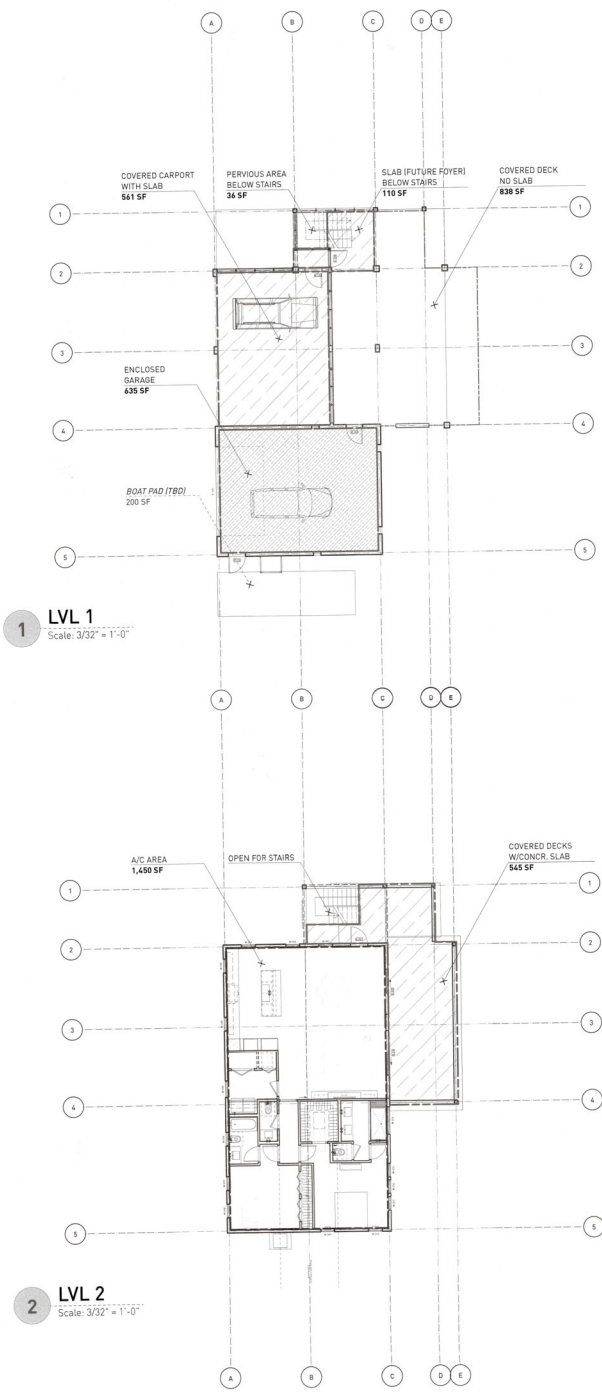
1. DRIER VENT TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
2. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT U.N.O. DOUBLE GLAZED, HURRICANE-RATED.
3. THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
4. BUILDING INSULATION SHALL BE AS FOLLOWS:  
FRAME WALL R-19  
F.G. BLOCK WALLS R-5  
FLOOR SYSTEM R-16  
ROOF TRUSSES R-30 OR BETTER
5. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT. (FBC RESIDENTIAL 8TH EDITION 2023)
6. 36" HIGH (STAIR) ALUMINUM RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYPE) SECTION R312 OF THE FBC 2023) G.C. TO VERIFY HANDRAIL INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1-1/4" - 2" OR PROVIDE A NONCIRCULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2023 R311.7.8.3.
7. ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
8. PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
9. A/C DRAINS TO BE READILY ACCESSIBLE.
10. G.C. TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS, SHIM SPACE SHALL BE LIMITED 1/4" MAXIMUM.
11. ALL GYPSUM BOARD IN WET AREAS TO BE MOISTURE RESISTANT.
12. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
13. WATER CLOSETS TO BE 1.6 GALLON.
14. PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETRY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
15. CONTRACTOR TO VERIFY ALL FLOORPLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
16. ALL MATERIAL BELOW THE D.F.E. TO BE FLOOD RESISTANT.
17. GARAGE CEILINGS TO HAVE ON LAYER OF TYPE-X OR EQUAL FOR FIRE RATING.
18. BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
19. G.C. TO VERIFY POSITIVE SLOPE AT FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT ALL OUTDOOR AREAS AND GARAGES.
20. G.C. TO PROVIDE ICYNENE INSULATION AT THE UNDERSIDE OF ALL ROOFS INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM.
21. ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE ELEVATED ABOVE DFE AS REQUIRED PER FEMA TECHNICAL BULLETIN 5.
22. G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SIZE & LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, & ELECTRICAL PANELS.
23. NOTE AS PER FBC R702.3.5, AT GARAGE CEILINGS BENEATH HABITABLE STRUCTURES, USE 5/8" TYPE "X" DRYWALL RUNNING PERPENDICULAR TO FRAMING MEMBERS, FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTEN WITH NAILS AT 6" O.C. MAX. OR SCREWS AT 6" O.C. MAX. USING 1 7/8" LONG 6D COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION R702.3.5.1: SCREWS FOR ATTACHING GYPSUM BOARD AND GYPSUM PANEL PRODUCT TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1102 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8" (15.9MM).
24. ALL DOORS SEPARATING LIVING AREA FROM GARAGE AREA ARE TO BE SOLID CORE DOORS. THE DOOR(S) IS TO HAVE A THICKNESS NOT LESS THAN 1 3/8" AND IS IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2020, SECTION R.302.5.1. DOOR SHALL BE EQUIPPED WITH SELF-CLOSING DEVICE.
25. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE BY NOT LESS THAN 1/2" TYPE "X" GYPSUM BOARD AS PER RESIDENTIAL FBC 2023 R302.6. DUCT WORK WHICH PENETRATE THE WALLS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE CONSTRUCTED OF A MIN. OF NO. 26 GAGE SHEET METAL OR OTHER APPROVED MATERIAL AS PER R302.5.2 OF THE FBC 2023 RESIDENTIAL.
26. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS, WALLS AND BEAMS, COLUMN DIMENSIONS, WALL TYPES, FOUNDATIONS, FLOOR FRAMING, ROOF FRAMING, STAIR DETAILS AND BUILDING SECTIONS.

ALL BUILDING MATERIALS BELOW DFE SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE AS PER FEMA TECHNICAL BULLETIN #2 AND FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.8

BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF, AS PER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND AS REQUIRED BY FEMA SHALL BE MET THROUGHOUT THE BUILD.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, THE TOWN OF LONGBOAT KEY ZONING AND LAND DEVELOPMENT CODE AND EPA CLEAN WATER ACT OF 1972.

SILT FENCE SHALL BE INSTALLED PRIOR AND DURING CONSTRUCTION AS PER THE CONSTRUCTION STAGING PLAN.



1 LVL 1  
Scale: 3/32" = 1'-0"

2 LVL 2  
Scale: 3/32" = 1'-0"

- COVERED DECKS (NO SLABS)
- COVERED WET DECKS (CONCR. SLABS)
- ENCLOSED GARAGE (CONCR. SLAB)
- AIR-CONDITIONED AREAS (HABITABLE)

AREAS UNDER AIR:

LVL 1:	n/a
LVL 2:	1,450 SF
TOTAL:	1,450 SF

ENCLOSED NON A/C:

LVL 1:	635
LVL 2:	n/a
TOTAL:	635 SF

WET DECKS:

LVL 1:	671 SF
LVL 2:	545 SF
TOTAL:	1,216 SF

COV. DECKS w/OUT SLABS:

LVL 1:	874 SF
LVL 2:	n/a
TOTAL:	874 SF

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TOWN OF LONGBOAT KEY  
PLANNING DEPARTMENT  
MAY 19 2024

WORKSHOP 277N  
JACK & GOVIN  
LICENSED  
No. 191906  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

730 LONGBOAT CT

PROJECT NO. 2023-77

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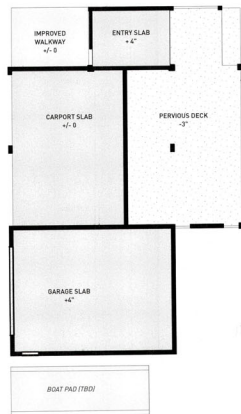
Floor Plan  
Notes

A1.0





**1 KEY PLAN**  
Scale: 3/32" = 1'-0"



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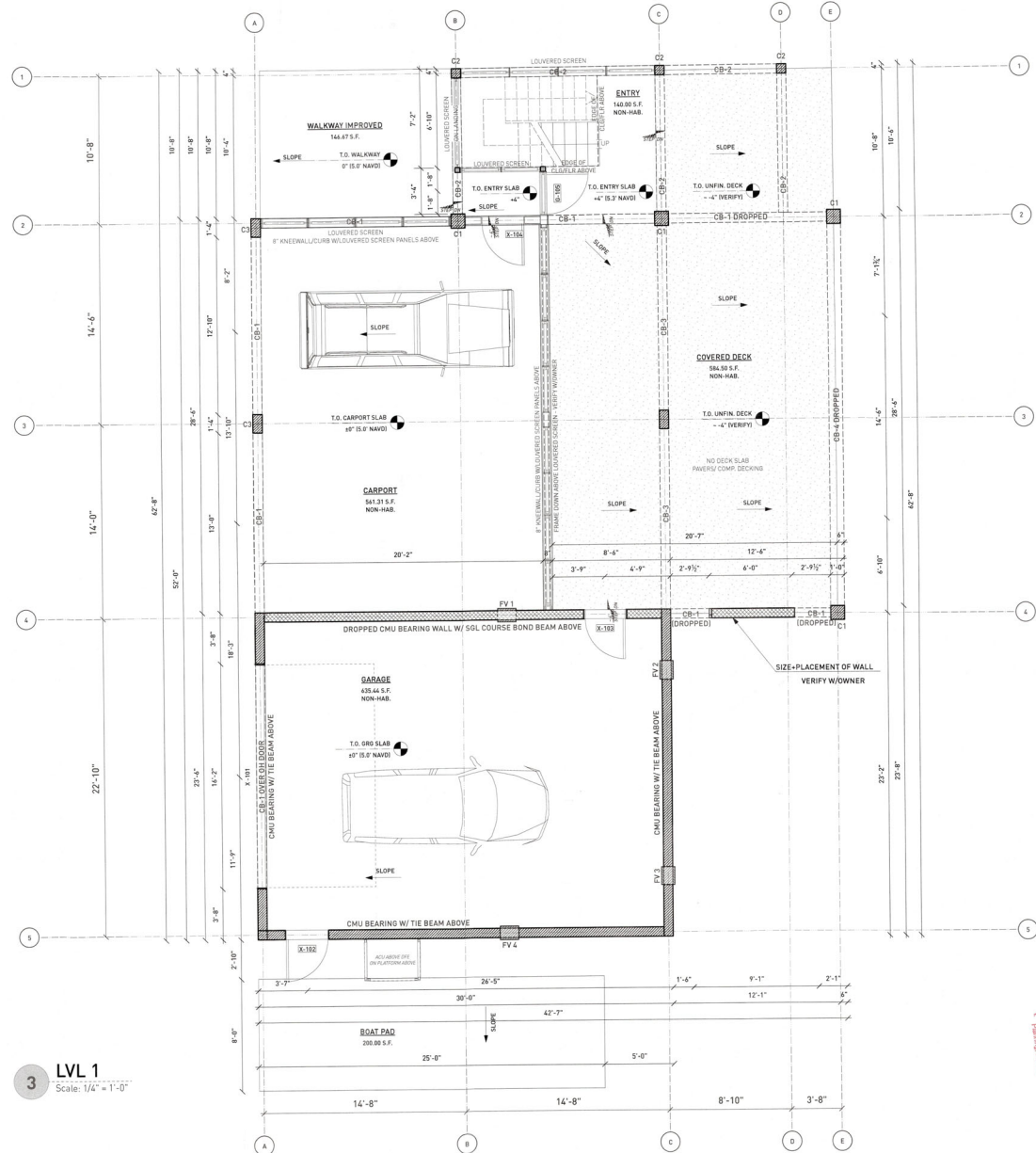
**2 HORIZONTAL SECTION C-C**  
Scale: 3/32" = 1'-0"

#### WINDOW SCHEDULE

ID #	WIDTH	HEIGHT	CONFIG.	HEAD	SILL	EGRESS	Comments
W-201	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-202	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-203	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-204	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-205	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-206	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-207	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-208	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-209	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-210	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-211	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-212	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-213	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		
W-214	2'-6"	6'-0"	Fixed Glass	8'-0"	2'-0"		

#### DOOR SCHEDULE

ID #	WIDTH	HEIGHT	HEAD	CONFIG.	SLAB	GLAZ.	Comments
D-106	3'-0"	8'-0"	8'-0"	Swing	Solid	IMPACT	Louvered Gate
D-107	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-108	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-109	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-110	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-111	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-112	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-113	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate
D-114	3'-0"	8'-0"	8'-0"	Swing	Solid	None	Louvered Gate



**3 LVL 1**  
Scale: 1/4" = 1'-0"



1 KEY PLAN  
Scale: 3/32" = 1'-0"

#### WINDOW SCHEDULE

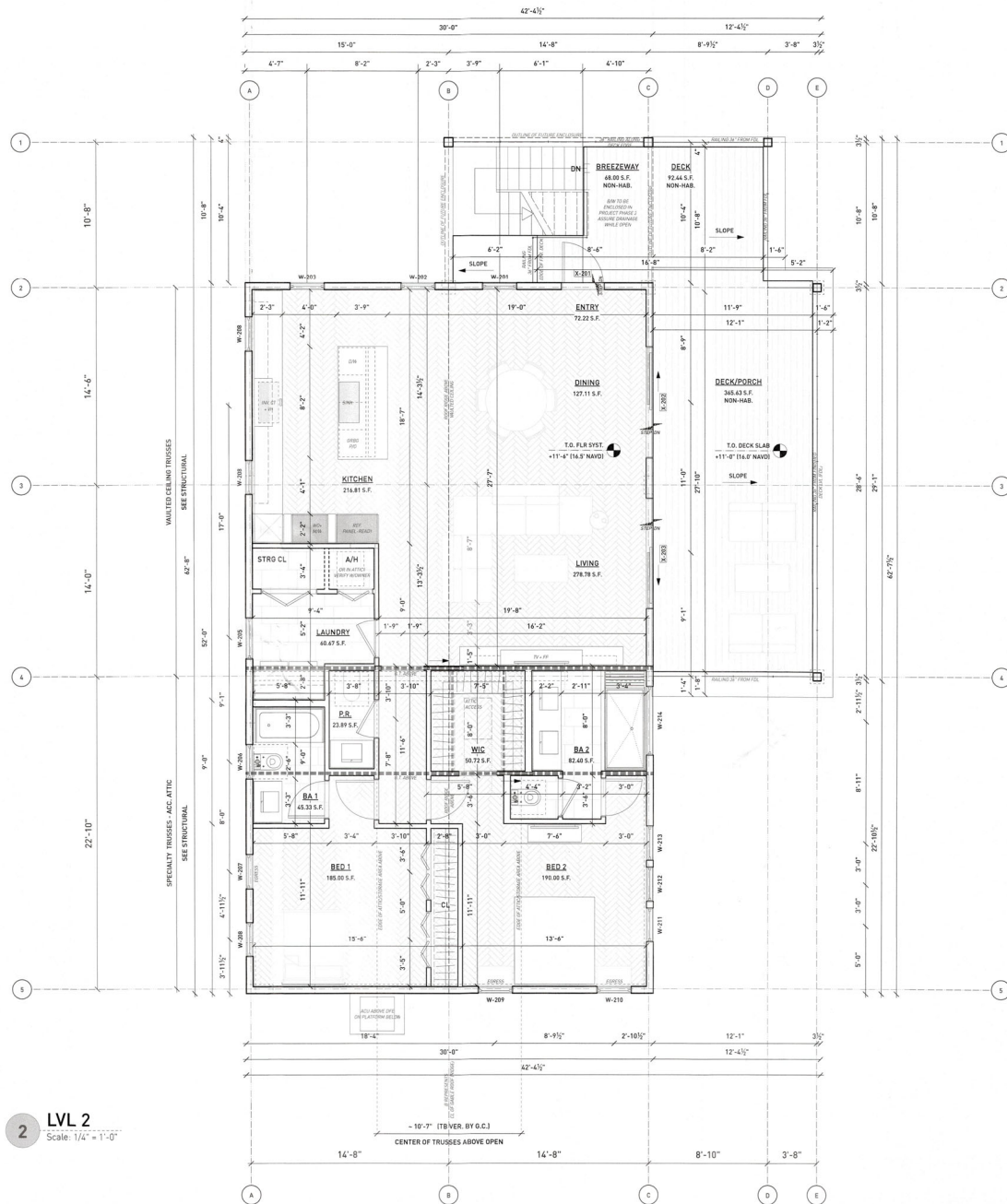
ID #	WIDTH	HEIGHT	CONFIG.	HEAD	SILL	EGRESS	Comments
W-201	2'-6"	4'-0"	Fixed Glass	8'-0"	2'-0"		
W-202	2'-6"	4'-0"	Fixed Glass	8'-0"	2'-0"		
W-203	2'-6"	4'-0"	Fixed Glass	8'-0"	2'-0"		
W-205	3'-0"	1'-6"	Fixed Glass	8'-0"	6'-4"		
W-206	2'-6"	1'-6"	Fixed Glass	8'-0"	6'-4"		VERIFY CONFIG. W/OWNER
W-207	2'-6"	5'-0"	Double Hung	8'-0"	3'-0"	YES	BED ROOM 1
W-208	2'-6"	5'-0"	Fixed Glass	8'-0"	3'-0"		
W-209	2'-6"	5'-0"	Fixed Glass	8'-0"	3'-0"		
W-210	2'-6"	5'-0"	Double Hung	8'-0"	3'-0"	YES	BED ROOM 2
W-211	2'-6"	4'-0"	Double Hung	8'-0"	2'-0"	YES	BED ROOM 2
W-212	2'-6"	7'-6"	Fixed Glass	8'-0"	0'-4"		
W-213	2'-6"	7'-6"	Fixed Glass	8'-0"	0'-4"		
W-214	5'-0"	1'-6"	Fixed Glass	8'-0"	6'-8"		VERIFY CONFIG. W/OWNER

#### DOOR SCHEDULE

ID #	WIDTH	HEIGHT	HEAD	CONFIG.	SLAB	GLAZ.	Comments
D-104	3'-0"	8'-0"	8'-0"	Swing	Solid	IMPACT	
D-105	3'-0"	8'-0"	8'-0"	Swing	Panel	None	Louvered Gate
D-106	1'-6"	8'-0"	8'-0"	Overhead	Panel	None	8" TYP. T.O. G.R.O. Slab
D-107	3'-0"	8'-0"	8'-0"	Swing	Solid	None	
D-108	3'-0"	8'-0"	8'-0"	Swing	Solid	None	
D-209	8'-0"	8'-0"	8'-0"	Sliding	Glass	None	

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, NEC 2023 AND NFPA 70.

KITCHEN OF EXISTING STRUCTURE ON LOT TO BE DEMO'D PRIOR TO COMPLETION OF THE PROPOSED NEW CONSTRUCTION ADDITION.



2 LVL 2  
Scale: 1/4" = 1'-0"





**1 FRONT VIEW**  
Scale: 3/4" = 1'-0"

DFE +30.0' (MAX. HEIGHT)  
+39.0' NAVD  
ACTUAL HEIGHT  
+38.3' NAVD

FFL  
+16.5' NAVD

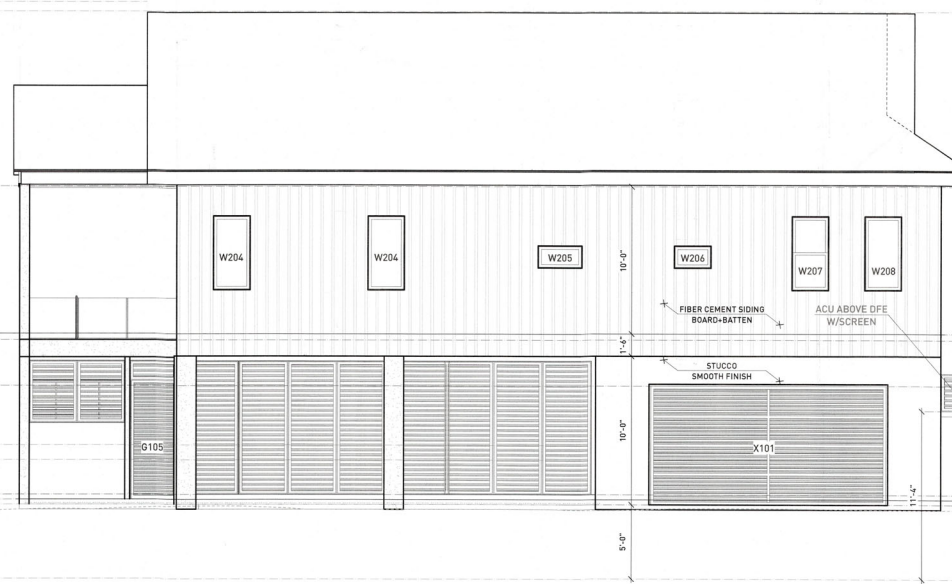
DFE  
+9.0' NAVD  
BFE  
+8.0' NAVD  
T.O. GRS SLAB  
+5' NAVD

EXIST. GRADE (VARIES)  
+3.0' NAVD

NAVD ZERO  
±0.0'

29'-4"  
ACTUAL BUILDING HEIGHT FROM DFE

9'-0"



ROOF PEAK  
+33'-4"

T.O. WALL  
+21'-6"

LVL 2 - T.O. FLR SYST  
+11'-4"

LVL 2 - T.O. DECK SLAB  
+11'-0"

LVL 2 - B.O. FLOOR SYST  
+10'-0"

LVL 1 - T.O. KNEE WALL  
+5'

LVL 1 - T.O. ENTRY SLAB  
+4'

LVL 1 - T.O. CARPORT/GARAGE SLAB  
±0

NAVD ZERO  
-5'-0"

**2 FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

WORKSHOP 277N



# 730 LONGBOAT CT

PROJECT NO. 2023-77

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TOWN OF LONGBOAT  
Planning, Zoning & Building

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CHECKED: MK

Elevations  
FRONT

A2.0

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# 730 LONGBOAT CT

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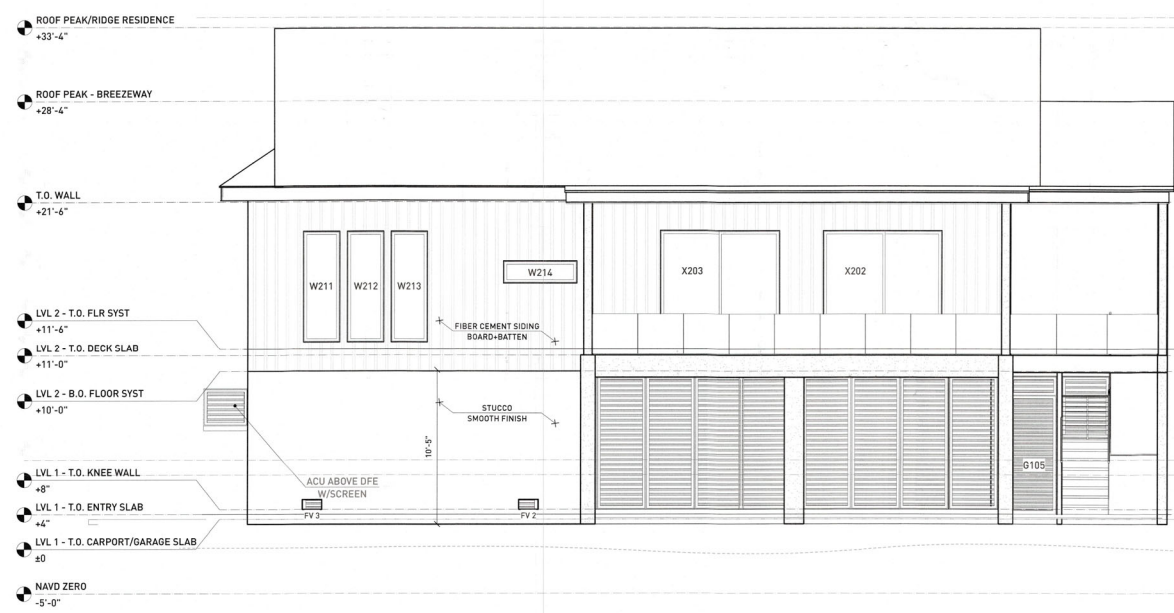
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Elevations  
 REAR

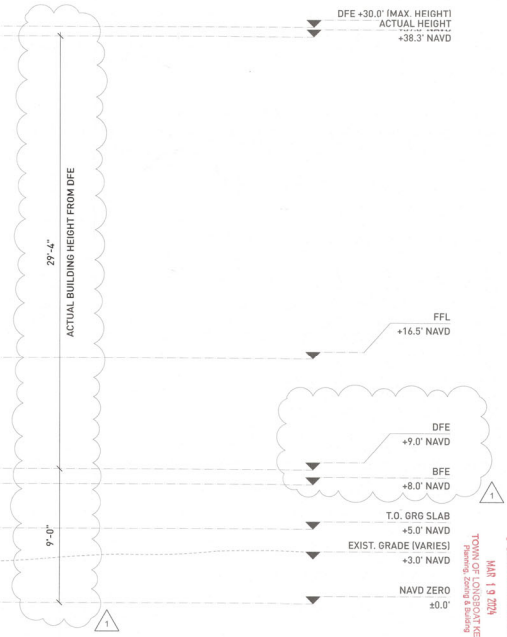
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1 REAR VIEW  
 Scale: 3/4" = 1'-0"



2 REAR ELEVATION  
 Scale: 1/4" = 1'-0"



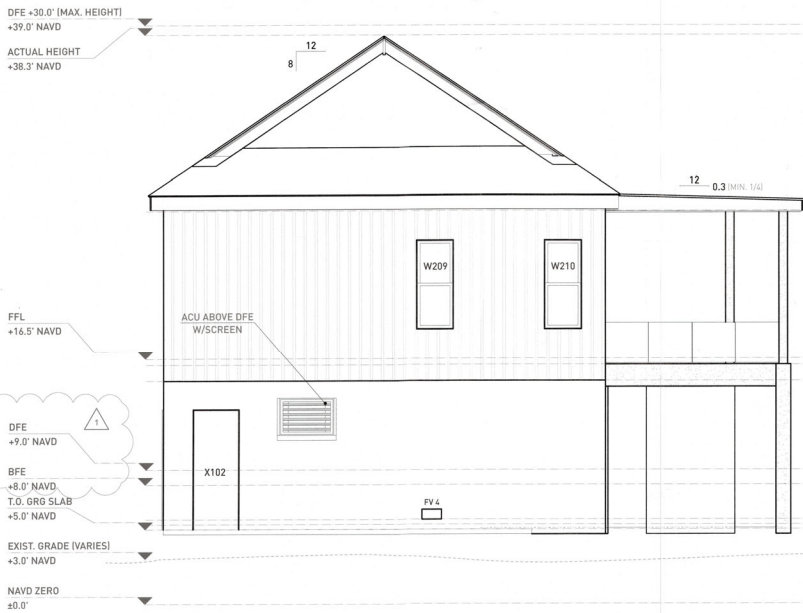
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 Planning, Zoning & Building



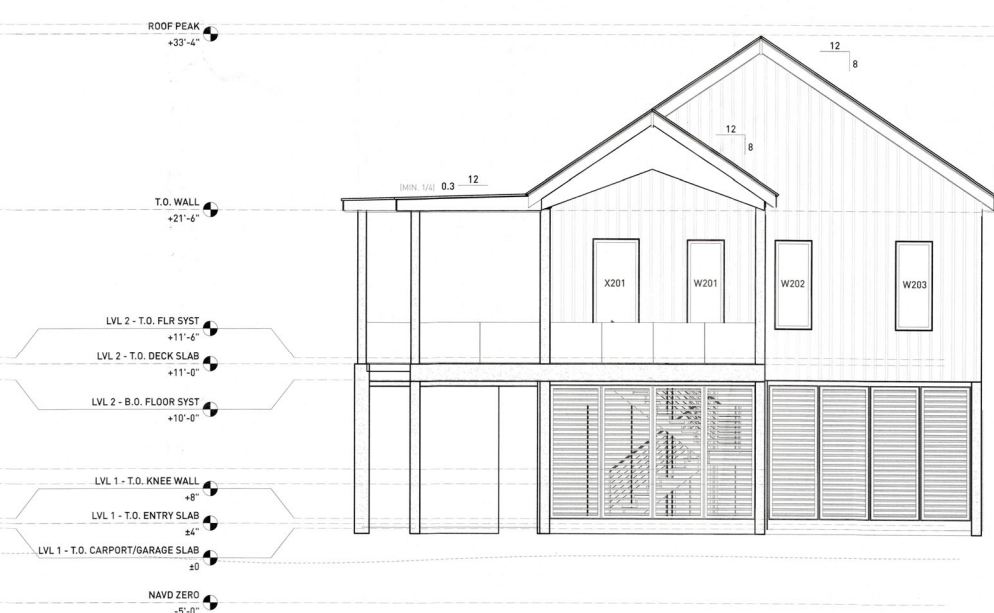
**1 FRONT-LEFT VIEW**  
Scale: 1/4" = 1'-0"



**2 REAR-LEFT VIEW**  
Scale: 1/4" = 1'-0"



**3 RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"



**4 LEFT ELEVATION**  
Scale: 1/4" = 1'-0"

WORKSHOP 27°N

JAKE B. GOODWIN  
No. 019190  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

**730 LONGBOAT CT**

PROJECT NO. 2023-77

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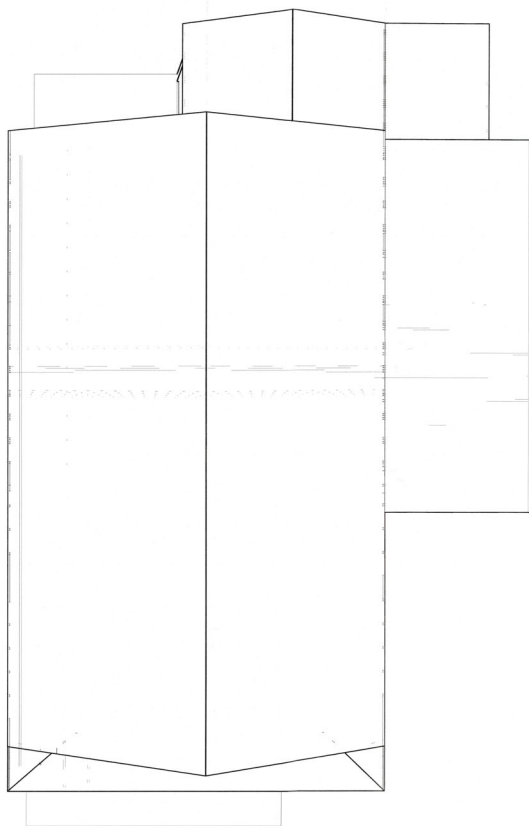
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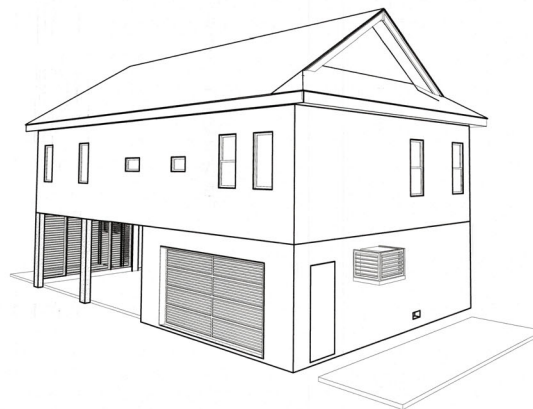
**Elevations  
SIDES**

**A2.2**

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1 TOP VIEW  
Scale: 3/4" = 1'-0"

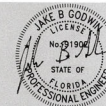


2 FRONT/RIGHT SIDE VIEW  
Scale: 1/4" = 1'-0"



3 REAR/LEFT SIDE VIEW  
Scale: 1/4" = 1'-0"

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PROJECT NO. 2023-77

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#### REVISIONS

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MAY 13 2024  
TOWN OF LONGBOAT  
Planning, Zoning & Safety

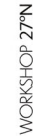
Elevations  
3D VISUALS

A2.3

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## PROJECT NO. 2023-77

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## Building SECTIONS

## A 2.5



**KEY PLAN LVL 1**  
Scale: 1/8" = 1'-0"



**KEY PLAN LVL 2**  
Scale: 1/8" = 1'-0"



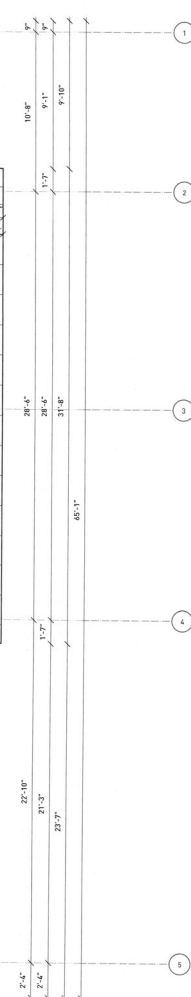
**SECTION A-A**  
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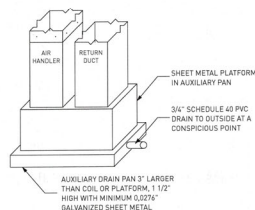
SECTION B-B

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TOWN OF LONGBOAT KEY  
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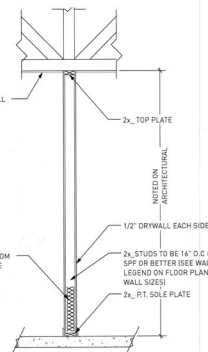




### A 3.0



### DETAILS - AUXILIARY DRAIN PAN



### INT WALL DETAIL

THE FOLLOWING ARE THE BASIC STEPS FOR APPLYING WATER PROOFING TO MASONRY WALLS:

- THE FOLLOWING ARE THE BASIC STEPS TO APPLYING WATERPROOF TO ROASTERY WALLS:
1. APPLY VULKAN 20R OR EQUIVALENT TO MASONRY WATERPROOF, ONE COAT PER WALL, INCLUDING THE CEILING.
  2. APPLY ONE GENEROUS 3/4" BEAD OF VULKAN 1T OR 2R EQUIVALENT POLYURETHANE SEALANT TO OPENINGS AS REQUIRED FOR 2X BLOCK LEAD-IN AT EXTERIOR EDGES BETWEEN WALLS SET TO FINISH.
  3. INSTALL BUCKS PER PLAN, APPLY SEALANT WHERE ALL END GRAINS BUTTS AND BETWEEN ALL LAMINATED BUILT-UP LAYERS OF BUCKS.
  4. FASTEN BUCKS PER SPEC WHILE SEALANT IS STILL WET. CLEAN OFF AND SQUEEGE OUT.
  5. IF ANY JOINTS, GAPS OR CRACKS ARE TO BE SEALED WITH VULKAN 1T OR EQUIVALENT, SO WHEN SEALANT IS APPLIED THERE ARE NO BREAKS IN WATERPROOF. AFTER SEALANT HAS DRIED, PRIME WOOD BUCKS WITH THREMO PRIMER 20R FOR JOINTS, VULKAN 20R OR EQUIVALENT MUST BE APPLIED WITHIN ONE HOUR OR JUST AFTER.
  6. AFTER WOOD BUCKS HAVE BEEN PRIMED AND TACKED, VULKAN 20R OR EQUIVALENT IS APPLIED OVER THE ENTIRE WALL AND CEILING AND LOWER 6" OF THE SECOND COAT OF THE FINISHED PRODUCT SHOULD BE 40% MILK. MINOWOOD CAN BE SET WHEN DRY.
- NOTE: IF JOINT STAYS FOR OVER 24 HOURS IT MUST BE REPRIMED WITH THREMO 20R FOR EQUIVALENT REPRIMER.

## DOOR AND WINDOW INSTALLATION



## DETAILS - STAIRS

STUCCO RETURN

REFER TO PLANS

SLOPE

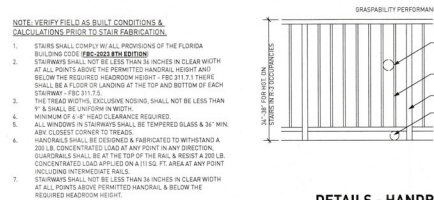
RECESS SLAB AS REQUIRED TO MEET DOOR SPEC.

D.H. INSULATED STEEL DOOR WITH APPLIED TRIM, NOT PER MFR. SPECIFICATIONS

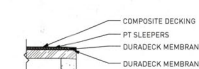
SLOPE

G.C. TO VERIFY PERMISSIBLE PAVEMENT DEPTH

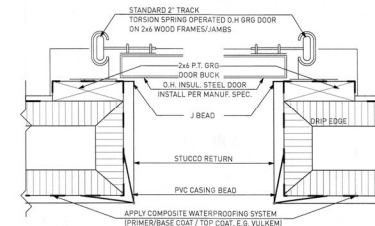
### O.H. GARAGE DOOR SILL DETAIL



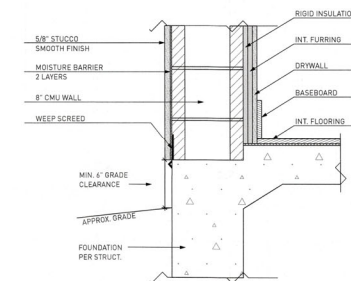
### DETAILS - HANDRAIL



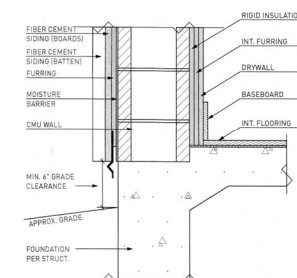
**DETAILS - DRIED IN DECK**



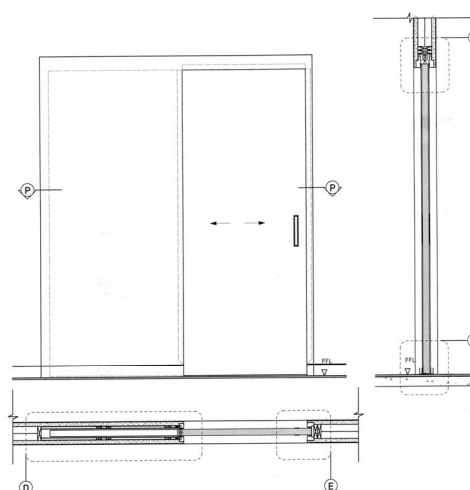
### O.H. GARAGE DOOR JAMB DETAIL



**GRADE CLEARANCE - STUCCO**



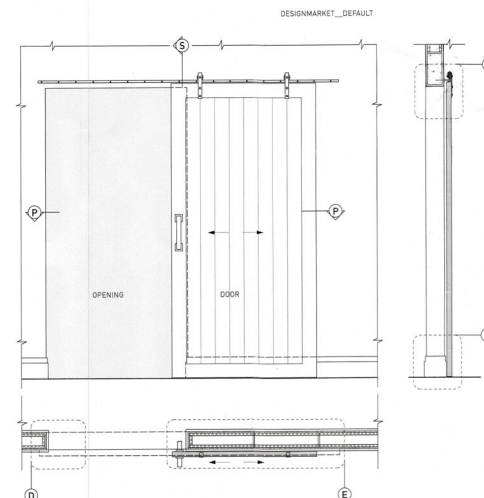
GRADE CLEARANCE - FIBER-CEMENT SIDING



### CONCEALED TRIM POCKET DOOR

1. DRYWALL W/PLASTER SKIM AND PAINT FINISH
2. TIMBER OR METAL FRAMED (KNAUF) STUD WALL W/ INSULATION
3. CONCEALED TRIM POCKET DOOR WITH INTUMESCENT STRIPS TO MATCH DOOR COLOR, MANUFACTURER'S RECOMMENDATIONS AND DESIRED FIRE RATING, FRAME PAINTED TO MATCH WALL
4. PAINTED SOLID CORE POCKET DOOR, SEE ENIGMAS'S WEBSITE FOR FURTHER OPTION
5. CONCEALED POCKET DOOR TRACK
6. TYPICAL FLUSH RECESSED PULL HANDLE, POSSIBLE FIRE BRIGING AREA, CONSULT MANUFACTURER FOR RECOMMENDATIONS
7. TYPICAL 3/4" ALLOWANCE FOR FINISHED FLOOR

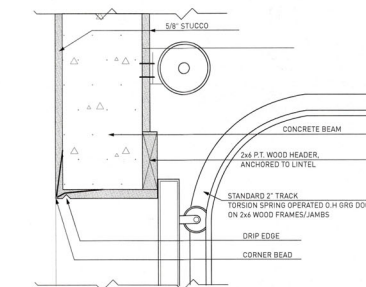
DETAIL NOTES: CONCEALED TRIM POCKET DOOR'S HEIGHT AND WIDTH CAN BE CUSTOMISED ALONG WITH THE TRIM INCLUDING THE ONE SHOWN, A VISIBLE FRAME OR WITH A SHADOW GAP FRAME. REFER TO MANUF. FOR OTHER PRODUCT OPTIONS BASED ON DIFFERENT WALL THICKNESS, FIRE RATINGS AND WALL BUILD UPS. PLEASE SEE PRODUCT PAGE AND CONTACT THE MANUFACTURER FOR MORE INFORMATION. TIMBER FRAME TO BE APPROVED BY THE STRUCTURAL ENGINEER.



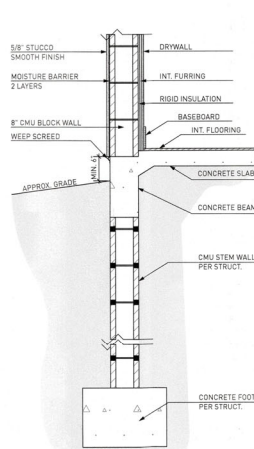
**FRONT HUNG SLIDING DOOR - BARN STYLE**

1. CEMENT RENDER, PLASTER SKIM AND PAINT FINISH TO SINGLE CMU WALL
2. STAINLESS STEEL BARN DOOR MECHANISM, CONNECTION DETAILS AND STRUCTURE / BACKING ABOVE DOOR AS PER MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE STRUCTURAL ENGINEER
3. PAINTED SOLID CORE DOOR W/ WOOD STAIN OR PAINTED FINISH, SPECIFIED BY INTERIOR DESIGNER
4. TYPICAL WALL FINISH TO DOOR OPENING
5. TYPICAL INTERIOR DOOR HANDLE FOR SLIDING DOOR
6. 3/8" UNDERCUT AT BASE FOR INSTALLATION

NOTES: STANDARD FRONT SLIDING, BARN STYLE SLIDING DOOR SHOWN.  
NOTE POSSIBLE CLASHES WITH DOOR AND SKIRTING, DEPENDING ON SKIRTING  
AND DOOR LEAF THICKNESS. STRUCTURE TO BE APPROVED BY DOOR  
MANUFACTURER AND STRUCTURAL ENGINEER.



### O.H. GARAGE DOOR HEAD DETAIL



## EXT. WALL SECTION

ALL BUILDING MATERIALS BELOW DFE SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE AS PER FEMA TECHNICAL BULLETIN #2 AND FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.1

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA  
BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, NEC 2023  
AND NFPA 70.

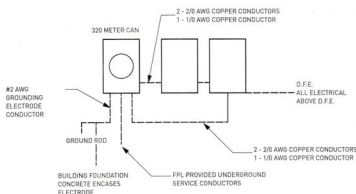


GENERAL ELECTRICAL NOTES:

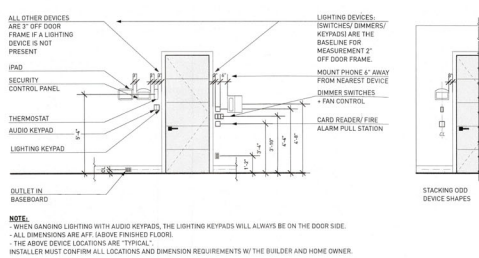
- CODE:
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND COMPLY WITH **NEC 2023 AND NFPA 70**.
- B. ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED.
- FLOOD ZONE REQUIREMENTS/STATE PERMITTING:
- A. ALL ELECTRIC TO BE MOUNTED ABOVE D.F.E.
- B. NO ELECTRICAL DEVICES WILL BE MOUNTED ON BREAKAWAY WALLS.
- C. COORDINATE ALL EXTERIOR LIGHTING WITH APPROVED STATE OF FLORIDA DEP PERMIT.
- COORDINATION BETWEEN TRADES:
- A. COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES AS REQUIRED.
- CONNECTIONS FROM EQUIPMENT TO DISCONNECTS TO BE PROVIDED BY EACH RESPECTIVE TRADE (I.E. HVAC, PLUMBING ETC.)
- B. COORDINATE WITH OTHER TRADES FOR EXACT LOCATIONS FOR ALL MOTORS AND OTHER EQUIPMENT TO BE INSTALLED AND/OR WIRED UNDER THIS DIVISION BUT FURNISHED UNDER ANOTHER DIVISION OF THE SPECIFICATIONS.
- C. COORDINATE WITH OWNER FOR EXACT LOCATIONS AND LOAD REQUIREMENTS FOR APPLIANCES.
- COORDINATION WITH OWNER: CONTRACTOR TO COORDINATE WALK-THRU WITH OWNER, CONTRACTOR AND ELECTRICIAN PRIOR TO ROUGH IN OF ELECTRICAL AND PRIOR TO INSTALLING FINISHES. ALL FIXTURES, DEVICES AND ELECTRICAL FINISHES NOT SPECIFIED TO BE SELECTED BY OWNER.
- A. COORDINATE TELEPHONE SYSTEM INSTALLATION WITH OWNER'S REQUIREMENTS.
- B. COORDINATE SOUND SYSTEM WIRING AND OUTLET LOCATIONS WITH OWNER
- C. COORDINATE COMPUTER WIRING AND OUTLET LOCATIONS WITH OWNER.
- D. COORDINATE TV OUTLET LOCATIONS WITH OWNER
- E. COORDINATE ANNUNCIATOR SYSTEM (DOORBELL) WITH OWNER'S REQUIREMENTS.
- F. COORDINATE SECURITY SYSTEM WITH OWNER'S REQUIREMENTS.
- G. COORDINATE ELECTRICAL REQUIREMENTS FOR ELEVATOR WITH ELEVATOR CONTRACTOR.
- H. COORDINATE POOL AND POOL DECK LIGHTING WITH SWIMMING POOL SUBCONTRACTOR.
- I. COORDINATE LOCATION OF LANDSCAPE LIGHTING FIXTURES AND CONTROLS WITH OWNER.
- J. COORDINATE CENTRAL VACUUM EQUIPMENT AND CONNECTIONS LOCATIONS, IF REQUIRED.
- ARC FAULT: ALL 120 VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN THE DWELLING SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS APPLIES TO ALL AREAS EXCEPT BATHROOMS AND GARAGES.
- GF/ARC-FAULT, KITCHEN AND UTILITY ROOM OUTLETS SHALL BE GF/ARC-FAULT PROTECTED.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH PROVISIONS FBC R313 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED, INTERCONNECTED AND BATTERY SUPPLIED IN CASE OF POWER OUTAGE UNLESS EXEMPT UNDER R313.2.1 ALL SMOKE AND CO ALARMS SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND INSTALLED WITHIN 10 FEET OF EACH BEDROOM.
- ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINAL S.
- PACK ALL SLEEVES FOR CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOOR SLABS WITH FIRE RESISTANT MATERIALS. ALL PENETRATIONS SHALL BE UL RATED.
- ALL EMPTY CONDUITS (EC) SHALL BE PROVIDED WITH NYLON PULL WIRES.
- COORDINATE THE REQUIRED SIZE OF ALL CIRCUIT BREAKERS FEEDING EQUIPMENT, (I.E. MOTORS, HVAC, KITCHEN EQUIPMENT, SPECIAL PURPOSE OUTLETS, ELEVATORS, OWNER FURNISHED EQUIPMENT, ETC) WITH APPROVED EQUIPMENT SHOP DRAWINGS AND OWNER REPRESENTATIVES PRIOR TO ORDERING PANEL BOARDS.
- BREAKERS SHALL BE SIZED PER THE NEC 2020, THE EQUIPMENT NAME PLATE AND MANUFACTURER'S RECOMMENDATIONS.
- SERVICE REQUIREMENTS: ELECTRICAL CONTRACTOR TO CONFIRM SERVICE SIZE.
- ALL CONDUITS IN OR UNDER SLAB OR UNDERGROUND SHALL BE PVC SCHEDULE 40.
- ALL CONDUITS SHALL BE PARALLEL AND PERPENDICULAR TO STRUCTURAL MEMBERS.
- ALL BENDS SHALL BE MADE IN CONDUIT USING PROPER EQUIPMENT AND MEET NATIONAL ELECTRICAL CODE (**NEC 2020**) REQUIREMENTS.
- ALL WIRE, INCLUDING BUT NOT LIMITED TO FEEDERS AND BRANCH CIRCUIT WIRING, SHALL BE COPPER.
- ALL BREAKERS SHALL BE "FULL SIZE": NO TANDEM, PIGGY BACK, TWIN OR HALF SIZE BREAKERS WILL BE ACCEPTED. BREAKER MUST BE APPROVED BEFORE INSTALLATION.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER AND TEMPORARY LIGHTING DURING CONSTRUCTION. TEMPORARY POWER SHALL PROVIDE ADEQUATE POWER FOR NORMAL CONSTRUCTION USE. TEMPORARY LIGHTING SHALL PROVIDE ADEQUATE LIGHT SO THAT THE INDIVIDUAL TRADES WORK CAN BE COMPLETED.
- CONTRACTOR SHALL PLACE STICKERS IN ELECTRICAL PANEL, INDICATING PHYSICAL AIR HANDLER LOCATIONS AND BREAKER NUMBER.
- ALL MATERIALS AND EQUIPMENT TO BE NEW, FREE OF DEFECTS AND BEAR THE MFR'S NAME, TRADE NAME AND TESTING LAB LABEL.
- AT LEAST (2) BRAND CIRCUITS ARE PROVIDED IN THE KITCHEN.
- OUTLET SPACING TO CONFORM TO THE NATIONAL ELECTRIC CODE.
- PROVIDE SWITCH & SURFACE MOUNTED LIGHT FIXTURE IN ALL ATTIC ACCESS.
- UNLESS NOTED OTHERWISE, INSTALL ELECTRICAL DEVICE RECEPTACLES AT THE FOLLOWING HEIGHTS A.F.F.:
- |            |   |
|------------|---|
| SWITCHES   | 42"   |
| OUTLETS    | 14" (EXCEPT OUTLETS AT COUNTERS TO BE DETERMINED) |
| TELEPHONE  | 14" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)   |
| TELEVISION | 14" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)   |
- ALL OUTDOOR ELECTRICAL RECEPTACLES SHALL BE WEATHER RESISTANT GFI OUTLETS.
- ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
- CHECK SITE PLAN AND/OR LANDSCAPING PLAN FOR LOW VOLTAGE OR EXTERIOR LIGHTING REQUIREMENTS.
- GARAGE OUTLETS TO BE ON DEDICATED CIRCUIT AND THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLES IN A GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE PER SECTION E3901.9 **FBC 2023**
- SMOKE DETECTORS ARE INTERCONNECTED AND HAVE A 10-YEAR BATTERY BACK-UP.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS OR NOT LESS THAN 75% PERMANENTLY INSTALLED.
- BATHROOMS VENT TO THE OUTSIDE.
- ALL EXTERIOR LIGHTING THAT CAN BE SEEN FROM THE BEACH MUST BE PROTECTED. TURTLE LIGHTING.

ELECTRICAL LEGEND	
	LIGHT SWITCH
	DUPLEX WALL RECEPTACLE NOTE: USE ARC DEFAULT AS PER FBCR E3902.12
	DUPLEX WALL RECEPTACLE WORKING GFI (ENTER PROVIDE WATER RESISTANT OUTLETS AT OUTDOOR LOCATIONS)
	300V GFI CIRCUIT BREAKER
	DUPLEX CEILING RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	TELEPHONE PRE-WIRE
	CABLE TV PRE-WIRE
	CEILING / SURFACE MOUNT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE / WALL SCONCE
	PULL CHAIN LIGHT FIXTURE
	4' WET/DRY RATED WATER SUPPLY LINE
	REQUIRED WATERPROOF LIGHT
	4' RECESSED CEILING
	LED UNDER CABINET OR CLOSET LINEAR TAPE LIGHTS
	2 OR 4 FT SURFACE MT. FLUORESCENT W/ 2 TUBES
	4 FT SURFACE MT. FLUORESCENT W/ 4 TUBES
	EXHAUST FAN
	SMOKE DETECTOR INTERCONNECTED
	SMOKE CARBON MONOXIDE DETECTOR COMB. INTERCONNECTED
	ELECTRICAL DISCONNECT OR FLOOD SWITCH - VERIFY POWER REG.
	CEILING FAN W/BLIND. PREPARE FOR TUBS WEIGHT
	DENOTES CIRCUIT
	WALL MOUNT CYLINDER INCANDESCENT BULB (IF SPECIFIED)
	LOW VOLTAGE TRACK LIGHT
	CEILING / SURFACE MOUNT LIGHT FIXTURE WITH MOTION SENSOR
	4' RECESSED LIGHT W/ BLACK ANTR. INCANDESCENT BULB (IF SPECIFIED)
	CYLINDER DOWNLIGHT (INCANDESCENT BULB IF SPECIFIED)
	LUTRON KEY PAD
	LUTRON MAESTRO SWITCH
	LUTRON CONTACT CLOSURE SWITCH
	A/C SUPPLY REGISTER
	A/C RETURN REGISTER
	4' RETURN VENT (IF CHAIRING STATION)

ELECTRICAL SERVICE SCHEMATIC:



WALL DEVICE POSITIONING:



ALL BUILDING MATERIALS BELOW DFE SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT AT MINIMUM, CAN WITHSTAND FLOOD WATERS FOR 72 HOURS WITHOUT DAMAGE AS PER FEMA TECHNICAL BULLETIN #2 AND **FBC 2023 - 8TH EDITION - RESIDENTIAL - R322.1.8**

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE **FBC 2023 - 8TH EDITION - RESIDENTIAL, NEC 2020 AND NFPA 70.**

ELECTR. SERVICE CALCS

OPTIONAL METHOD RESIDENTIAL SERVICE CALCULATION (NEC 2014)			
FLOOR AREA	= 1,450 SQ FT (A/C)		
LOAD TYPE	LOAD VALUE	MULTIPLIER/DEMAND	TOTAL
GENERAL LIGHTING	1,450 X 3 VA	= 4,350 VA	
SMALL APPLIANCE BRANCH CIRCUIT (2) MINIMUM	(2) CIRCUITS X 1,500 VA	= 3,000 VA	
LAUNDRY CIRCUIT	(1) CIRCUIT X 1,500 VA	= 1,500 VA	
ELECTRIC DRYER	(1) CIRCUIT X 5,000 VA	= 5,000 VA	
EL. TRANGE (IND. CT+W/O)	(2) RANGE X 11,000 VA	= 11,000 VA	
GARBAGE DISPOSAL	(1) G/D X 800 VA	= 800 VA	
MICROWAVE OVEN	(1) MICRO X 1,500 VA	= 1,500 VA	
DISHWASHER	(1) D/W X 1,200 VA	= 1,200 VA	
EL. WATER HEATER	(1) W/H X 4,500 VA	= 4,500 VA	
POOL	(1) PUMP X 5,000 VA	= 5,000 VA	
SPA	(1) PUMP X 4,500 VA	= 4,500 VA	
ELEVATOR	(1) ELEV X 2,400 VA	= 2,400 VA	
TOTAL LOAD (SUM OF LOAD VALUES)	TOTAL LOAD VALUE	= 32,850 VA	9,140 VA
AIR CONDITIONER	(1) AC X 7,000 VA	= 7,000 VA	7,000 VA
			TOTAL CALC. LOAD 16,140 VA
SERVICE CONDUCTORS SHALL BE PROVIDED AS PER NEC TABLE 310.15(B)(7)		MIN. SERVICE SIZE	2/40 VOLTS 100 = 47 AMPS

JAKE B GORDON  
LICENSE  
No. 19004  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

WORKSHOP 27FN  
ARCHITECTURE, DESIGN, PLANNING

730 LONGBOAT CT

PROJECT NO. 2023-77

12 13 23

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REVISIONS

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BLDG. DEPARTMENT COMMENTS (2)

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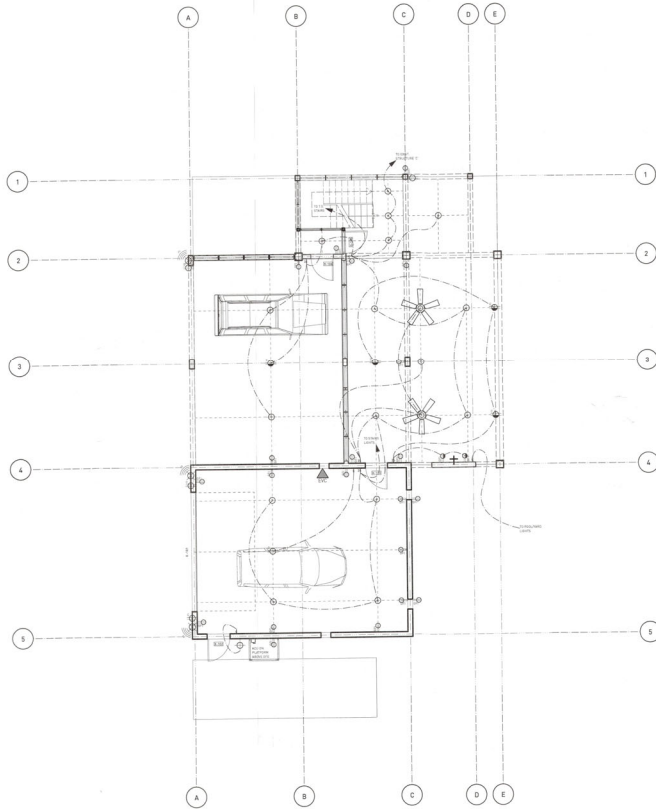
Electrical  
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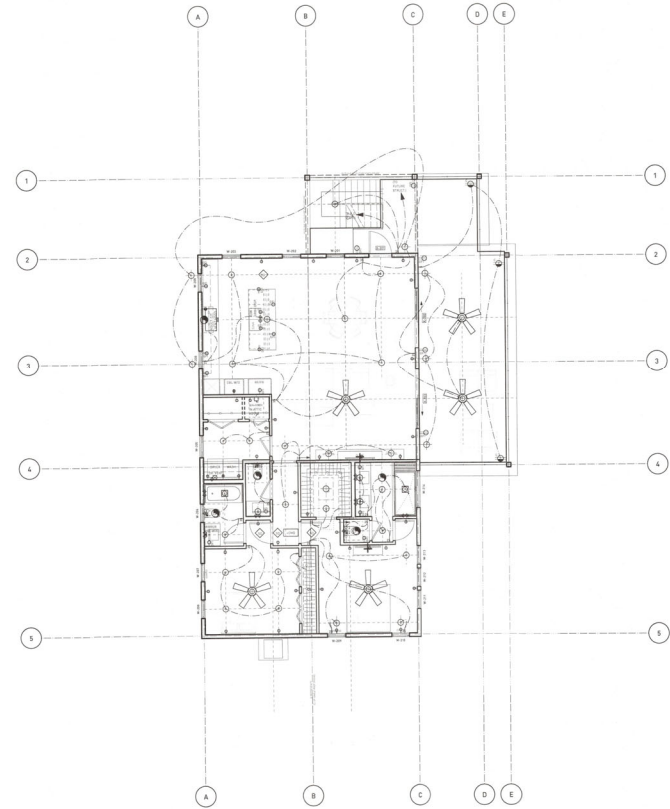
ELECTRICAL LEGEND	
§	LIGHT SWITCH
⊕	DOUBLE WALL RECEPTACLE NOTE: USE AMT. DEFAULT AS PER NEC 210.52
⊕	DOUBLE WALL RECEPTACLE W/ROUND TAIL- INTER PROVIDE WATER RESISTANT GROUND AT EXISTING LOCATION
⊕	DOUBLE WALL RECEPTACLE - HALF SWITCH
⊕	200V GED CIRCUIT RECEPTACLE
⊕	DOUBLE CEILING RECEPTACLE
⊕	DOUBLE FLOOR RECEPTACLE
—	PURE WIRE
+	CABLE TV PRE-WIRE
⊕	CEILING / SOFFIT MOUNT LIGHT FIXTURE
⊕	WALL MOUNT LIGHT FIXTURE / WALL SCONCE
⊕	PULL CHAIN LIGHT FIXTURE
⊕	5" RECESSED LIGHT W/ WHITE BAFFLE TRIM
⊕	RECESSED WATERPROOF LIGHT
⊕	4" RECESSED EXTERIALL
⊕	LIGHT UNDER CABINET OR CLOSEST LINEAR TAPE LIGHTS
⊕	2 OR 4 FT SURFACE MT. FLUORESCENT T8 TUBES
⊕	4 FT SURFACE MT. FLUORESCENT T8 TUBES
⊕	EXHAUST FAN TRIM
⊕	EXHAUST FAN
⊕	SMOKE DETECTOR INTERCONNECTED
⊕	SMOKE/ CARBON MONOXIDE DETECTOR CAMEL INTERCONNECTED
⊕	ELECTRICAL DISCONNECT OR FLOOD SWITCH - HENRY POWER REG.
⊕	CEILING FAN W/LIGHT, PREPARE FOR TUBS WEIGHT
⊕	DENOTES CIRCUIT
⊕	WALL MOUNT CYLINDER (W/TURTLE BULB IF SPECIFIED)
⊕	LOW VOLTAGE PATH LIGHT
⊕	CEILING SOFFIT MOUNT LIGHT FIXTURE W/MOTION SENSOR
⊕	5" RECESSED LIGHT W/ BLACK BAFFLE (W/TURTLE BULB IF SPECIFIED)
⊕	CYLINDER DOWN LIGHT (W/TURTLE BULB IF SPECIFIED)
⊕	LUTRON KEY PAD
⊕	LUTRON MASTERO SWITCH
⊕	LUTRON CONTACT CLOSURE SWITCH
⊕	A/C SUPPLY REGISTER
⊕	A/C RETURN REGISTER
⊕	ELECTRIC VEHICLE CHARGING STATION

CONTRACTOR/BUILDER TO VERIFY ALL ELECTRICAL REQUIREMENTS, PLACEMENT AND FIXTURES W/HOMEOWNER+INTERIOR DESIGNER IN THE FIELD.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, NEC 2020 AND NFPA 70.



1 LVL 1 ELECTRICAL  
Scale: 1/8" = 1'-0"



2 LVL 2 ELECTRICAL  
Scale: 1/8" = 1'-0"

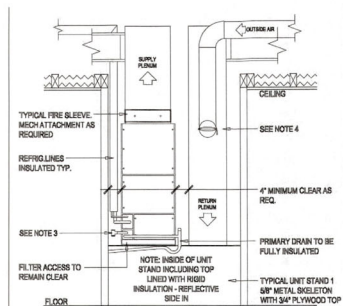
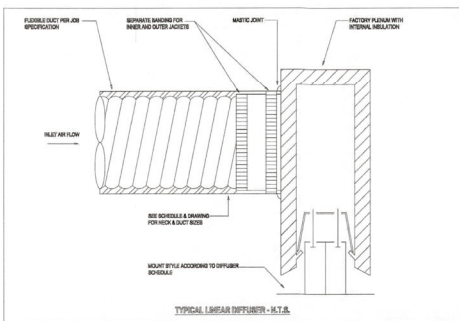
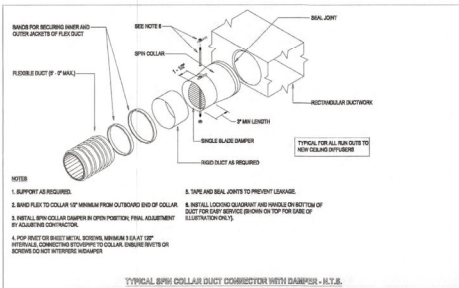
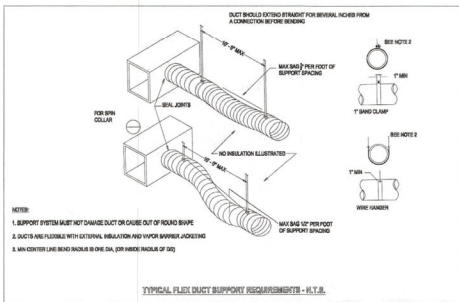
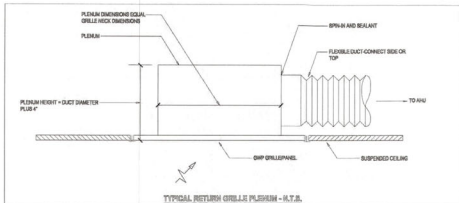


1. ALL WORK TO BE DONE IN ACCORDANCE WITH THESE PLANS, STATE, LOCAL, & NATIONAL CODES.
2. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW EVERY DETAIL.
3. THE HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING INSTALLATION.
4. THE DUCT DESIGNING WORK TAKES INTO ACCOUNT THE STATIC PRESSURES AND AIR FLOWS FROM THE EQUIPMENT AND ACCESSORIES SHOWN AS SCHEDULED. VARIATIONS FROM THIS EQUIPMENT, DUCTWORK OR ROUTING LOCATIONS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION.
5. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS REGISTERED OR CERTIFIED IN THE STATE OF CALIFORNIA.
6. WHEN APPLICABLE - THE CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
7. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF THE CONSTRUCTION.
8. DUCTWORK IS TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, SMACNA MANUALS AND THE FOLLOWING SCHEDULE:
  - A. USE RECTANGULAR DUCT - GALVANIZED SHEET METAL, DUCT SECTIONS, USE SMACNA APPROVED CONNECTION APPROACH, EXTERNALLY INSULATED WITH R6 FOIL BACKED INSULATION AND VAPOR BARRIER. ALL RECTANGULAR DUCT ELBOWS SHALL BE MADE "SOFT" BY UTILIZING ANGLES LESS THAN 90 DEGREES. UTILIZE TURNING VANES AT ALL 90 DEGREE ELBOWS AND T-JUNCTIONS.
  - B. FIBERBOARD RECTANGULAR DUCT - FIBERGLASS DUCT BOARD, MINIMUM R6 INSULATION, ANY RECTANGULAR DUCT ELBOWS SHALL BE MADE "SOFT" BY UTILIZING ANGLES LESS THAN 90 DEGREES OR UTILIZE TURNING VANES AT ALL 90 DEGREE ELBOWS AND T-JUNCTIONS. R6 BACKED WHERE VISIBLE.
  - C. RIGID ROUND DUCT - GALVANIZED SHEET METAL, WRAPPED WITH R6 FOIL BACKED EXTERNAL INSULATION AND VAPOR BARRIER.
  - D. FLEXIBLE DUCTS - FLEXIBLE FIRE REINFORCED DUCT WITH R6 FOIL BACKED EXTERNAL INSULATION AND VAPOR BARRIER.
  - E. EXHAUST DUCT - GALVANIZED SHEET METAL, UNINSULATED.

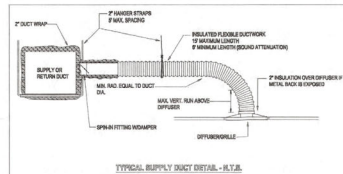
8. AIR DISTRIBUTION DEVICES TO BE AS SCHEDULED, REFER TO PLANS FOR AIR  
PATTERN AND DIRECTIONS AND PROVIDE PATTERN CONTROLLERS AS REQUIRED.  
9. ALL DUCT SIZE INDICATES INSIDE "FREE AREA" DIMENSIONS.  
10. THERMOSTATS SHALL BE PROGRAMABLE, BULB TYPE, C/W INTEGRATED HUMIDIDISTAT  
ADJUSTMENT EQUAL & MODULATING, 24 HOUR, 7 DAY, 1 WEEK, 4 WEEK, 12 MONTH  
11. THE HVAC CONTRACTOR SHALL COMPLY FULLY WITH THE REQUIREMENTS OF  
ANSI/ACCA STANDARD 5 "HVAC QUALITY INSTALLATION SPECIFICATION" WITH  
PARTICULAR REFERENCE TO SECTIONS 4 THRU 6.  
12. THE HVAC CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP  
FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN 1 YEAR FROM THE DATE OF  
ACCEPTANCE, UNLESS OTHERWISE NOTED.  
13. ALL EQUIPMENT, THERMOSTATS, SENSORS AND CONTROL PANELS SHALL BE  
CLEARLY AND PERMANENTLY MARKED WITH THE SYSTEM NUMBER IT SERVES.  
14. ALL EQUIPMENT TACS SHALL BE IDENTIFIED, PROTECTED AND SECURED BY RIVETS OR  
SCREWS NEAR THE MANUFACTURES NAME PLATE  
15. THE ENTIRE DUCT SYSTEM TO BE FABRICATED AND INSTALLED IN ANTICIPATION OF  
PERFORMANCE TESTING. ALL REGISTER BOXES AND PLenums SHALL BE SEALED  
AS PART OF THE ROUGH-IN PROCESS.  
16. THE HVAC CONTRACTOR SHALL PROVIDE OWNERS WITH ALL OPEN DUCTS, REGISTERS, VENTS AND  
EQUIPMENT IN ORDER TO MINIMIZE CONTAMINATION DURING CONSTRUCTION.  
17. THE FINAL LOCATION FOR ALL CEILING ELEMENTS TO BE CO-ORDINATED ON SITE  
PRIOR TO INSTALLATION.  
18. THE HVAC CONTRACTOR SHALL PROVIDE OWNER'S DOCUMENTATION AND  
INSTALLATION IN ACCORDANCE WITH ANSI/ACCA STANDARD 5 "HVAC QUALITY  
INSTALLATION SPECIFICATION" SECTION 4.

1. THE MECHANICAL DESIGN AND EQUIPMENT SELECTION HAS BEEN COORDINATED WITH PLUMBING AND ELECTRICAL REQUIREMENTS AND WITH ARCHITECTURAL DRAWINGS THAT WERE AVAILABLE AT THE TIME OF DESIGN. THE MECHANICAL EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS TO REQUIRE ALTERNATE DUCT SIZES OR ROUTING PRIOR TO MAKING SUCH CHANGES.
2. IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER TO SUPERVISE THE COORDINATION ALL ELEMENTS OF THE BUILDING DESIGN. THE CONTRACTOR IS NOT LIMITED TO THE ROOF TRUSSES, STRUCTURAL MEMBERS AND ARCHITECTURAL FEATURES. TO ENSURE FULL AND COMPLETE COMPLIANCE WITH THE DESIGN DOCUMENTS. THIS WILL REQUIRE THE REVIEW OF SHOP DRAWINGS BEFORE MANUFACTURING OF ANY COMPONENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK IS SOLELY THE RESPONSIBILITY OF THE GC/CM.

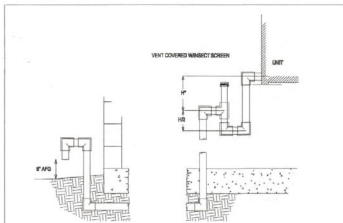
1. COOLING CAPACITIES BASED ON 75°F DB, 63°F WB AIR ENTERING INDOOR COIL, 95°F  
AIR ENTERING OUTDOOR COIL.
2. PROVIDE CONDENSATE DRAIN TRAPS COMPLETE WITH FLOAT SWITCH. FLOAT  
SWITCHES SHALL SHUT DOWN UNIT WHEN TRIGGERED.
3. EQUIPMENT SHALL NOT BE USED DURING CONSTRUCTION, TEMPORARY UNITS  
SHALL BE USED SHOULD COOLING BE PROTECTED DURING CONSTRUCTION,  
ON CERTIFICATE OF OCCUPANCY ALL FILTERS SHALL BE REPLACED.
4. AIR HANDLERS TO BE PROVIDED WITH SECONDARY DRAIN PANS.



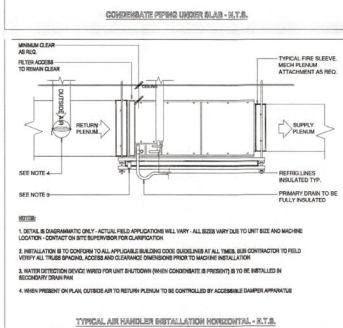
1. DETAILED IS DIAGRAMMATIC ONLY - ACTUAL FIELD APPLICATIONS WILL VARY - ALL SIZES VARY DUE TO UNIT SIZE AND HEIGHT OF STAND - CONTACT ON SITE SUPERVISOR FOR CLARIFICATION
2. INSTALLATION IS TO CONFORM TO ALL APPLICABLE BUILDING CODE GUIDELINES AT ALL TIMES. SUB CONTRACTOR TO FIELD VERIFY CLOSET/STAND DIMENSIONS PRIOR TO DRYWALL INSTALLATION
3. SECONDARY DRAIN LINE TO BE PROVIDED WITH WATER DETECTION DEVICE WIRED FOR UNIT SHUTDOWN WHEN CONDENSATE IS PRESENT IN LINE
4. WHEN PRESENT ON PLAN, OUTSIDE AIR TO RETURN PLenum TO BE CONTROLLED BY DAMPER APPROPRIATELY ACCESSIBLE FROM INTERIOR OF MECHANICAL UNIT CLOSET



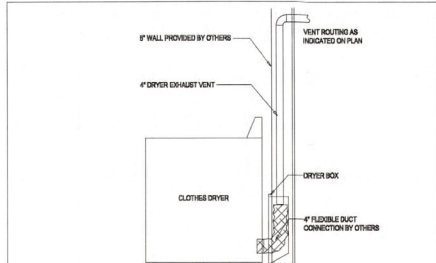
TYPICAL SUPPLY DUCT DETAIL - H.V.A.C.



NOTE:  $H = 1' + \text{CASING STATIC PRESSURE}$

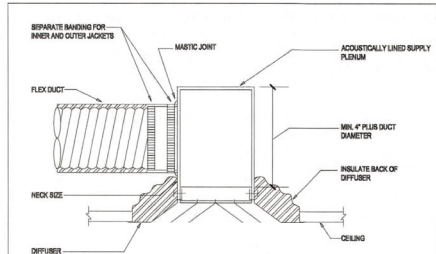


TYPICAL AIR HANDLER INSTALLATION HORIZONTAL - R.T.B.

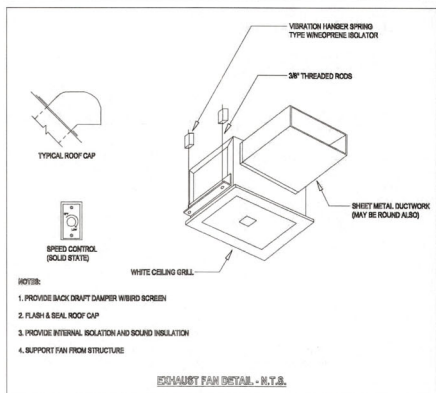


DRYER BOX EXHAUST CONNECTION - M.T.S.

THIS DETAIL REPRESENTS THE INSTALLATION OF A MODEL 425 DRYER BOX BY IN-Q-VATE TECHNOLOGIES, INC. THE LOCATION IN THE WALL MUST BE FIELD VERIFIED USING THE INSTALLATION INSTRUCTIONS FOR THE DRYERS THAT WILL BE INSTALLED IN EACH UNIT. THE 4" Ø DRYER DISCHARGE MUST BE ENTIRELY WITHIN THE 9 1/2" INSIDE WIDTH OF THE BOX. COORDINATION WITH OTHER TRADES TO SECURE THE PROPER LOCATION OF THE BOX IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR AND GENERAL CONTRACTOR.



TYPICAL AIR DEVICE CONNECTION - N.T.S.



EXHAUST FAN DETAIL - N.T.S.

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FBC 2023 - 8TH EDITION - RESIDENTIAL, NEC 2023 AND NFPA 70.

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ENGINEER SEAL IS FOR GENERAL LAYOUT AND VISUAL PURPOSE  
CONTRACTOR IS RESPONSIBLE TO MEET **ONE-STOP JOB 2022** REPAIR  
OF ANY ERROR OR OMISSIONS ON THE LAYOUT PAGES BY OBTAINING  
PERMIT TO THE CONTRACTOR. CONTRACTOR ASSUMES THESE  
RESPONSIBILITIES AND ALL LIABILITIES THEREIN.

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BLDG. DEPARTMENT COMMENTS (2)  
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Mechanical  
NOTES

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## MECHANICAL LEGEND

### STANDARD



### LINEAR



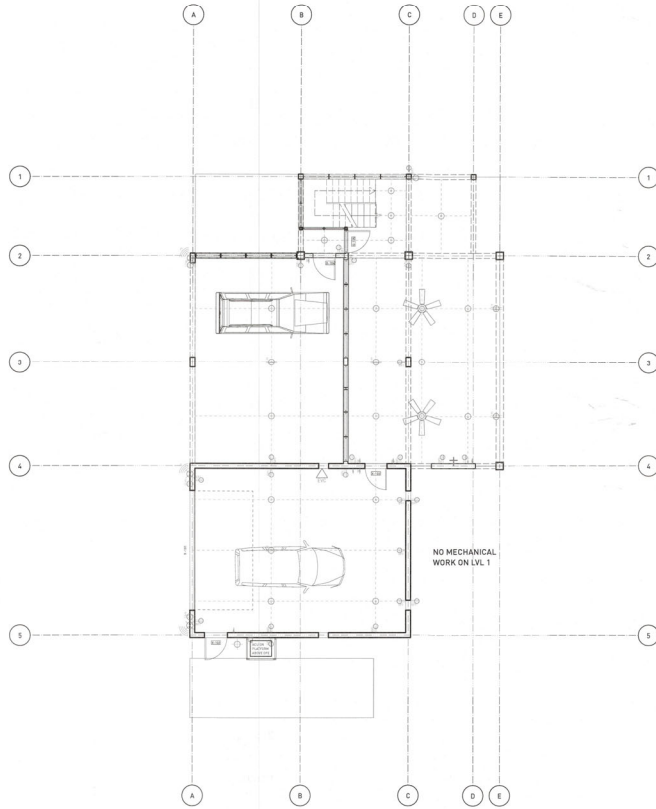
### LINEAR - BOTTOM OF WALL/ DOOR



CONTRACTOR/BUILDER TO VERIFY ALL MECHANICAL REQUIREMENTS, PLACEMENT AND FIXTURES W/HOMEOWNER-INTERIOR DESIGNER IN THE FIELD.

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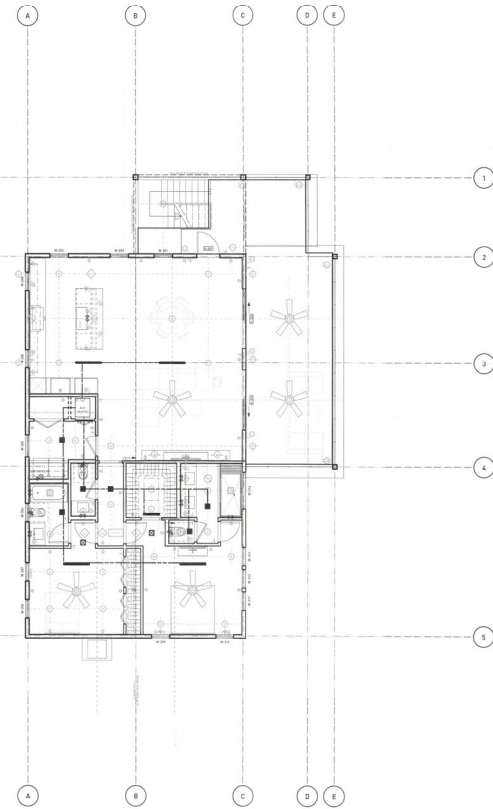
2



### 3 LVL 1 ELECTRICAL

Scale: 1/8" = 1'-0"

NO MECHANICAL WORK.  
ACU ON PLATFORM ABOVE DFE



### 2 LVL 2 ELECTRICAL

Scale: 1/8" = 1'-0"

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## PLUMBING LEGEND

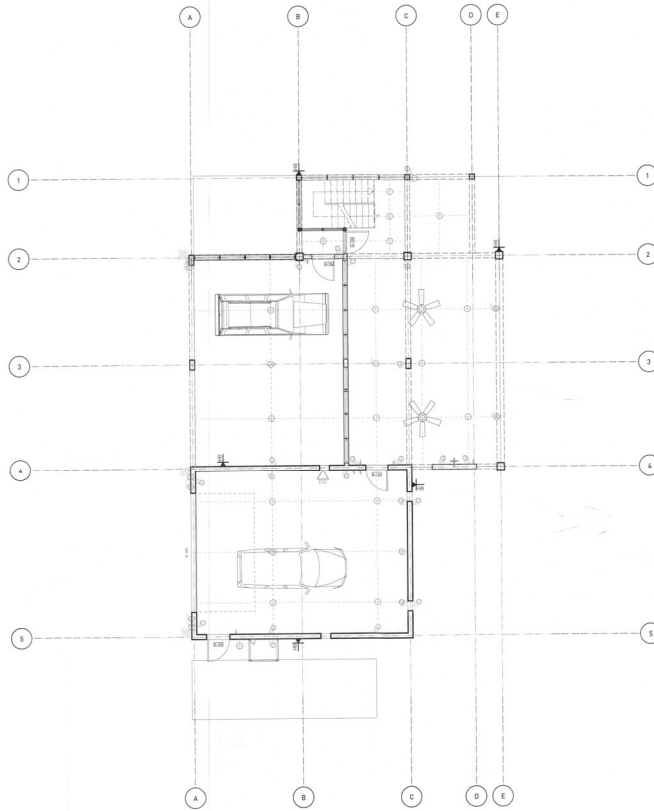
-CW- CW COLD WATER SUPPLY

-HW- HW HOT WATER SUPPLY

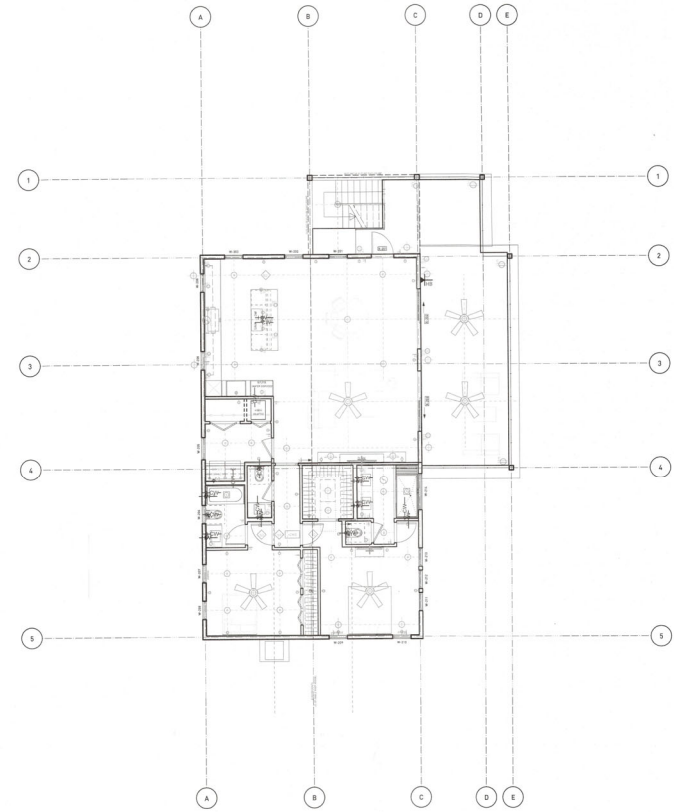
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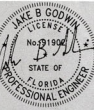


**3 LVL 1 ELECTRICAL**  
Scale: 1/8" = 1'-0"



**2 LVL 2 ELECTRICAL**  
Scale: 1/8" = 1'-0"

WORKSHOP 27FN



**730 LONGBOAT CT**

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