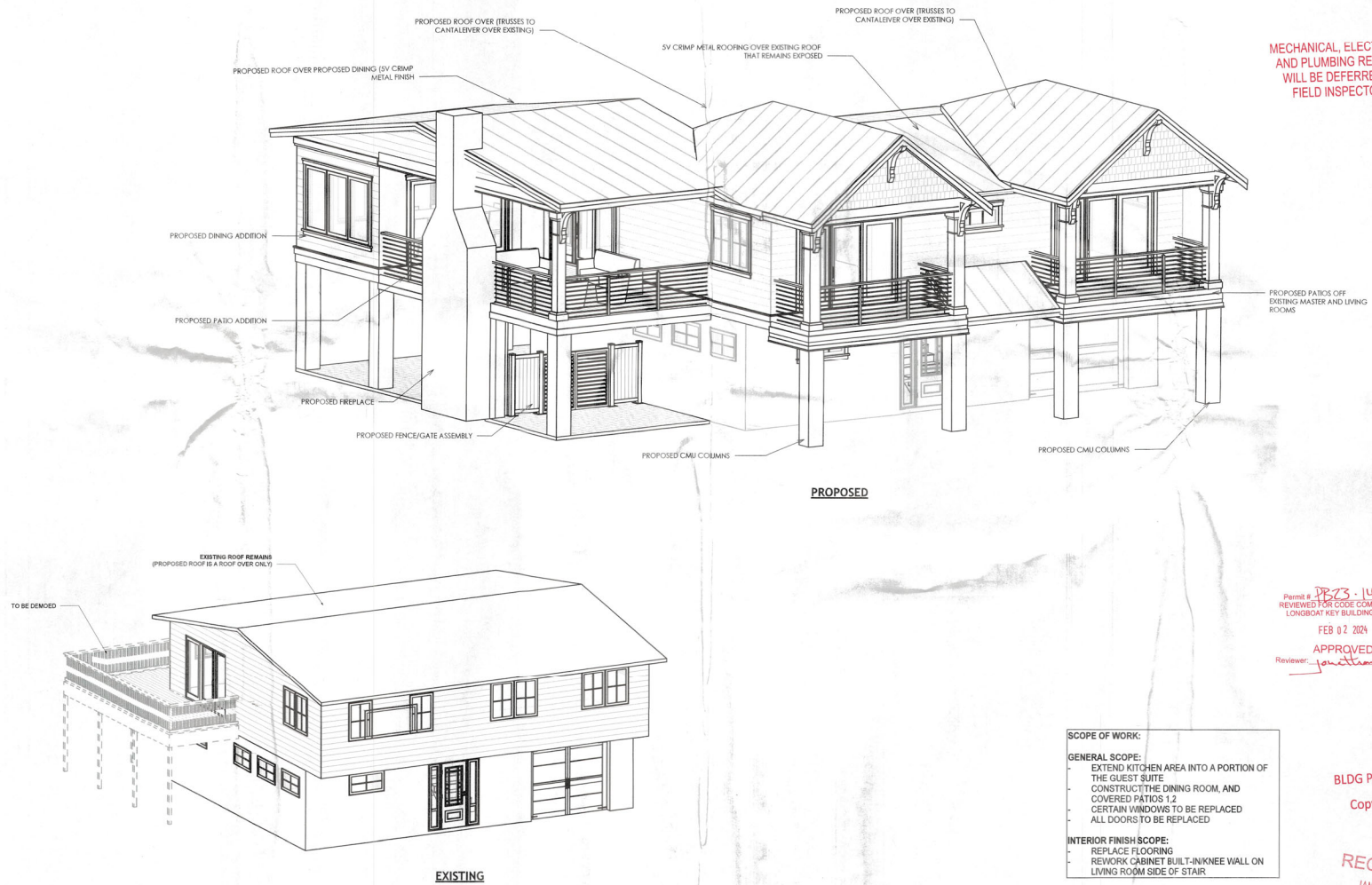


ANDERSON RESIDENCE

760 LYONS LN.
 LONGBOAT KEY, FL 34228



MECHANICAL, ELECTRICAL,
 AND PLUMBING REVIEWS
 WILL BE DEFERRED TO
 FIELD INSPECTORS

Permit # **DP-23-1406**
 REVIEWED FOR CODE COMPLIANCE
 LONGBOAT KEY BUILDING DEPT.
 FEB 02 2024
 APPROVED
 Reviewer: *[Signature]*

SCOPE OF WORK:

GENERAL SCOPE:

- EXTEND KITCHEN AREA INTO A PORTION OF THE GUEST SUITE
- CONSTRUCT THE DINING ROOM, AND COVERED PATIOS 1.2
- CERTAIN WINDOWS TO BE REPLACED
- ALL DOORS TO BE REPLACED

INTERIOR FINISH SCOPE:

- REPLACE FLOORING
- REWORK CABINET BUILT-IN/KNEE WALL ON LIVING ROOM SIDE OF STAIR

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3423 MANATEE AVE
 BRADENTON, FL 34205
 (941) 773-4079

1705 WILSHIRE, SARASOTA, FL 34235
 941-216-6101 Cert. of Auth. #33790

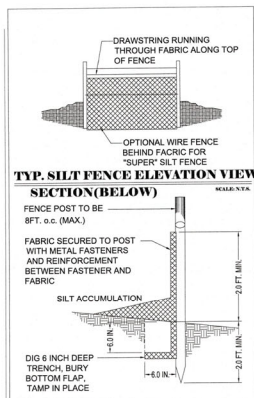
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IF DE-WATERING IS REQUIRED, DRAIN TO STREET REFERENCE DEWATERING SYSTEM OR REFER TO BUILDING DEPARTMENT REQUEST.



SITE PLAN NOTES

INFORMATION AND DATA.

THE PROPOSED IMPROVEMENTS WERE BASED ON RECORD INFORMATION GIVEN TO THE DESIGNER AT THE TIME OF PREPARATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PROPOSED IMPROVEMENTS CONTAINED IN THESE PLANS AND PREVIOUS APPROVED PLAN SUBMITTALS, CONTRACTOR IS TO CONSULT WITH THE DESIGNER AND OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY.

EXISTING STRUCTURES AND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE DESIGNER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO THE START OF WORK. THIS NOTE ALSO PERTAINS TO ALL SUB-CONTRACTORS. CONTRACTOR IS LIABLE FOR ALL ADJUSTMENTS MADE WITHOUT ENGINEER'S WRITTEN APPROVAL.

CONTRACTOR IS RESPONSIBLE TO MEET ALL BUILDING CODES REGARDLESS OF PLAN SPECIFICATIONS.

THE WORD "TYPICAL" OR "TYP" WHERE IT OCCURS MEANS THAT THE SAME WORK APPLIES WHERE SIMILAR CONDITIONS OCCUR. DETAILS ARE UNDERSTOOD TO BE TYPICAL WHERE SIMILAR CONDITIONS OCCUR UNLESS OTHERWISE NOTED.

UNAUTHORIZED CHANGES & USES. THE DESIGNER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

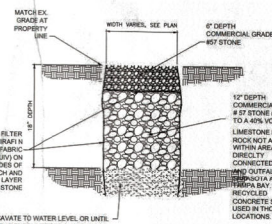
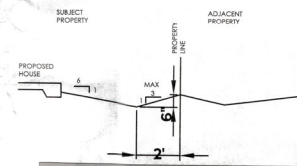
SITE PLAN NOTES

1. SLOPE DRAINAGE IS FOR A DISTANCE OF 10 FT FROM THE FOUNDATION FLOOR. IF PHYSICAL OBSTRUCTION OR LOT LINE PROHIBIT THE 10 FT DRAINAGE, A 2.5 PERCENT SLOPE SHALL BE PROVIDED TO AN ALTERNATIVE METHOD OF DRAINAGE THE WATER AWAY FROM THE FOUNDATION. (8401.3)

* THIS IS NOT A SURVEY. BOUNDARY LINES & LOT DIMENSIONS SHOWN HEREON ARE AN APPROXIMATE DEPICTION OF AERIAL PROPERTY BOUNDARY LINES SHOWN ON PLAN NEED TO BE VERIFIED. ALL BOUNDARY LINES DIMENSIONS AND SHOWN BUILDING DIMENSIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.

FOR PLACEMENT PURPOSE ONLY. CERTIFIED SURVEYOR TO VERIFY SETBACKS AND PLACEMENT.

TYP. SWALE DETAIL



HEAVY DUTY INFILTRATION TRENCH

NTS

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xDesign
Studio 93
More than just designs.
3403 MANATEE AVE
BRADENTON FL 34205
941-773-4019

GULF COAST
ENGINEERING & DESIGN
1705 4TH STREET, SEAGRAM, FL 34225
941-216-6101 Cert. of Auth. #13790

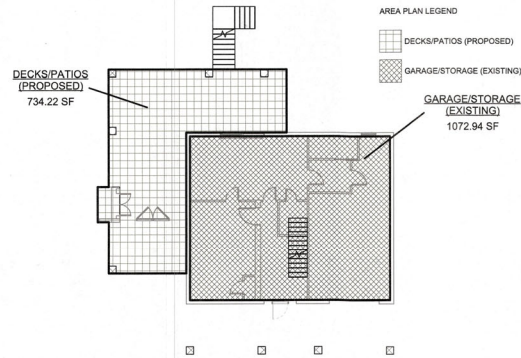
ANDERSON RESIDENCE -

740 LYONS LN.
LONGBOAT KEY, FL 34228

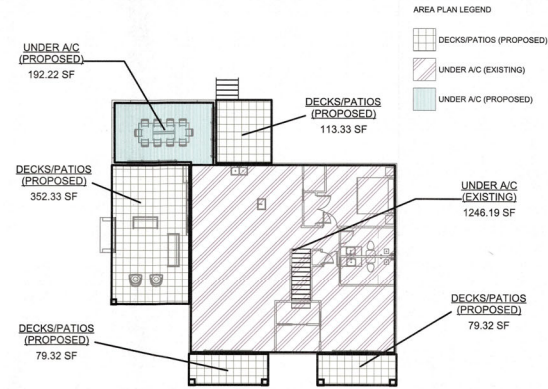
REVISIONS

NO.	DESCRIPTION





GARAGE LVL - AREA PLAN
3/32" = 1'-0"

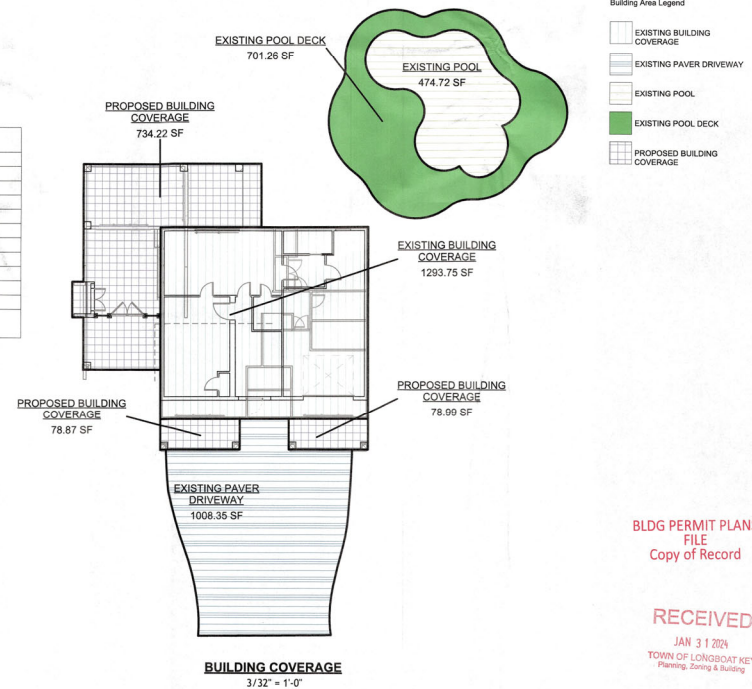


1ST LVL - AREA PLAN
3/32" = 1'-0"

AREA CALCULATIONS	
LEVEL	AREA
DECKS/PATIOS (PROPOSED)	
BLDG. ACCESS - T.O. SLAB	734.22 SF
1ST LVL - T.O. SUB FLR.	352.33 SF
1ST LVL - T.O. SUB FLR.	113.33 SF
1ST LVL - T.O. SUB FLR.	79.32 SF
1ST LVL - T.O. SUB FLR.	79.32 SF
	1358.52 SF
GARAGE/STORAGE (EXISTING)	
BLDG. ACCESS - T.O. SLAB	1072.94 SF
	1072.94 SF
UNDER A/C (EXISTING)	
1ST LVL - T.O. SUB FLR.	1246.19 SF
	1246.19 SF
UNDER A/C (PROPOSED)	
1ST LVL - T.O. SUB FLR.	192.22 SF
	192.22 SF
Grand total: 8	3869.88 SF

TOTAL AREA OF LOT	
	SQFT
	14680

IMPERVIOUS COVERAGE		
1293.75 SF	EXISTING BUILDING COVERAGE	8.69%
1293.75 SF		8.69%
1008.35 SF	EXISTING PAVER DRIVEWAY	6.78%
1008.35 SF		6.78%
474.72 SF	EXISTING POOL	3.19%
474.72 SF		3.19%
701.26 SF	EXISTING POOL DECK	4.71%
701.26 SF		4.71%
734.22 SF	PROPOSED BUILDING COVERAGE	4.93%
78.87 SF	PROPOSED BUILDING COVERAGE	0.53%
78.99 SF	PROPOSED BUILDING COVERAGE	0.53%
892.08 SF		6.00%
4370.17 SF		29.37%



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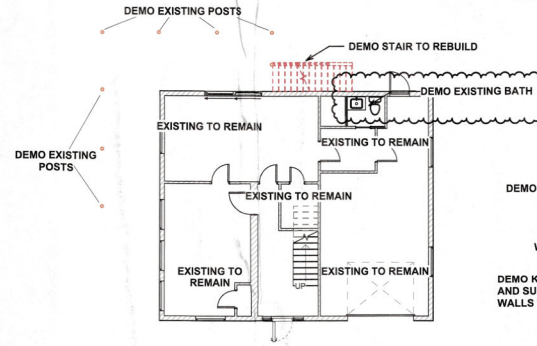
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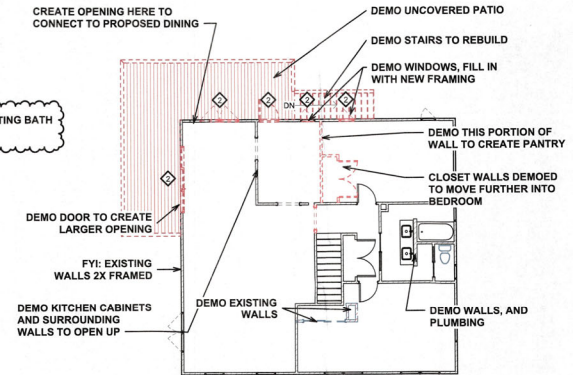
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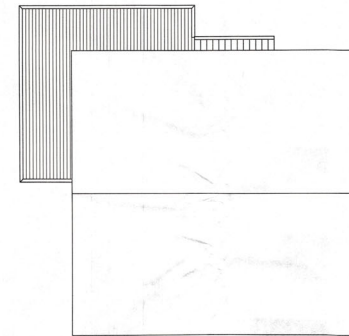
DEMO LEGEND	
	EXISTING TO BE REMOVED
	EXISTING TO BE MOVED
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN



EXISTING GROUND LEVEL FLOOR PLAN
1/8" = 1'-0"



EXISTING 1ST LVL FLOOR PLAN
1/8" = 1'-0"



EXISTING ROOF PLAN
1/8" = 1'-0"



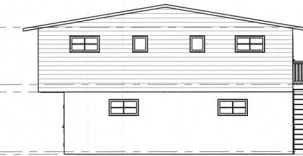
EXISTING FRONT
1/8" = 1'-0"



EXISTING LEFT
1/8" = 1'-0"



EXISTING REAR
1/8" = 1'-0"



EXISTING RIGHT
1/8" = 1'-0"

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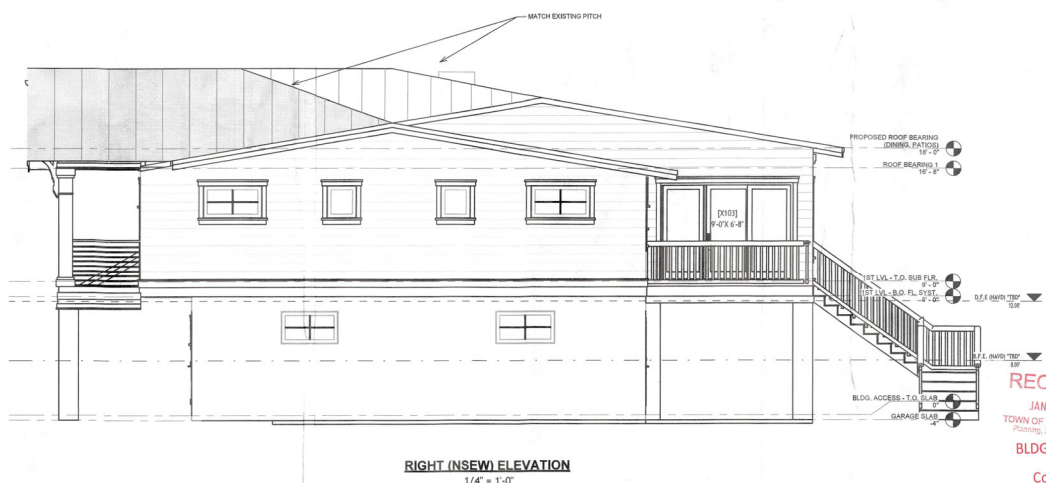
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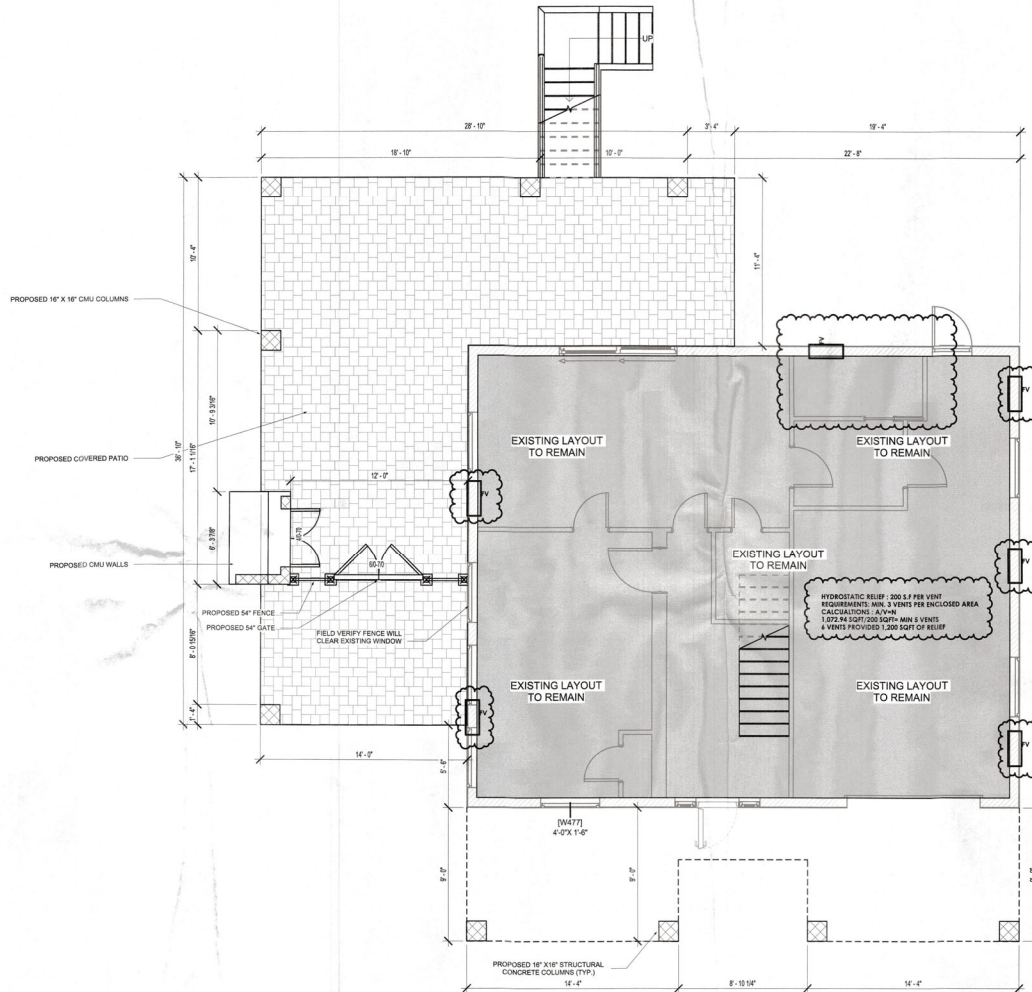
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LEFT (NSEW) ELEVATION
1/4" = 1'-0"



RIGHT (NSEW) ELEVATION
1/4" = 1'-0"



GROUND LEVEL FLOOR PLAN (PROPOSED)

1/4" = 1'-0"

FLOOR PLAN NOTES

- DRIVER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
- ALL WINDOW AND DOOR ARE TO BE IMPACT RESISTANT IN A DOUBLE GLAZED, HARBORCRAFTED.
- BUILDING INSULATION SHALL BE AS FOLLOWS:
 - FRAME WALL - R-11
 - FLOOR EXTERIOR - R-14
 - FLOOR BLOCK WALLS - R-8
 - ROOF TRUSSES - R-30 OR EQUIVALENT
- ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION. PROVIDE TRAPPED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- A/C DRAINS TO BE READILY ACCESSIBLE.
- MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHM SPACE SHALL BE LIMITED 1/4" MAXIMUM.
- ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
- WATER CLOSETS TO BE 1/4" GALVAN.
- PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETS AND AS OTHERWISE NEEDED FOR HANGING SUPPORT.
- ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
- CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE LOCATED ABOVE DFE AS REQUIRED PER FEMA TECHNICAL BULLETIN 5.
- ELEVATORS IN STRUCTURES IN SPECIAL FLOOD HAZARD AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACE 548.5 IF ELEVATORS THAT UTILIZE AND UTILITY EQUIPMENT BE LOCATED ABOVE THE DFE UNLESS LOCATION BELOW THAT ELEVATION IS SPECIFICALLY ALLOWED IN ACE 24. OR
- THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PREVENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM, FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS AND DETACHED AND ANCHORED TO RESIST FLOOD FORCES. ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.
- IF AN ELEVATOR CAR IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAR FROM DESCENDING INTO FLOODWATERS.
- NOTE AS PER IRC 703.3.5: AT GARAGE CEILINGS BENEATH HABITABLE STRUCTURES, USE 5/8" TYPE "X" DRYWALL RUNNING PERPENDICULAR TO FRAMING MEMBERS. FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTEN WITH NAILS AT 6" O.C. MAX OR SCREWS AT 4" O.C. MAX. USING 1 7/8" LONG 60 COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION R502.3.5.1. SCREWS FOR ATTACHING GYPSUM BOARD AND GYPSUM PANEL PRODUCTS TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1002 AND SHALL PENETRATE THE WOOD NOT LESS THAN 1/2" IN 1/4" PANEL. BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R302.2 OR R302.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 18.2.
- DOORS OPENING FROM A GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR A SOLID OR HONEYCOMB STEEL DOOR NOT LESS THAN 1 3/8 INCHES IN THICKNESS OF A 20 MINUTE FIRE DOOR.
- ELEVATOR COMPONENTS LOCATED BELOW DFE TO BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING AND ARE EQUIPPED WITH CONTROLS TO PREVENT CAR FROM DESCENDING INTO FLOODWATERS - IRC 2020 - BUILDING - 107.2.
- BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R302.2 OR R302.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 18-2.

BUILT-INS & FINISHES

SEE SHOP DRAWINGS FOR KITCHEN LAY-OUT.

- SUBMIT ALL SHOP DRAWINGS BY OTHERS
- ALL FANTRY CLOSETS AND LINEN CLOSETS TO HAVE SHELVES AS SELECTED BY OWNER
- OWNER TO SELECT ALL COLORS AND FINISHES UNLESS OTHERWISE NOTED ON THESE DRAWINGS

EGRESS REQUIRED

EGRESS WINDOWS MUST HAVE 5.7 SQUARE FEET OF NET "CLEAR OPENING". NOT ALL 3650 WINDOWS WILL MEET THIS REQUIREMENT. WINDOWS CAN BE ENLARGED TO 3654 WITH NO NOTIFICATION TO ENGINEER.

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WALL LEGEND	
	W-01 8" CMU WALL
	W-02 8" CMU WALL W/ FURRING
	W-03 2X6 WOOD FRAMED WALL
	W-04 2X6 WOOD FRAMED WALL W/ 1/2" SHEATHING
	W-05 2X4 WOOD FRAMED WALL
	W-06 2X6 KNEE WALL
	W-07 3" CURB W/ GLASS ENCLOSURE
SEE STRUCTURAL PLANS FOR WALL ASSEMBLY TYPES	

SCOPE OF WORK:

GENERAL SCOPE:

- EXTEND KITCHEN AREA INTO A PORTION OF THE GUEST SUITE
- CONSTRUCT THE DINING ROOM, AND COVERED PATIOS 1,2
- CERTAIN WINDOWS TO BE REPLACED
- ALL DOORS TO BE REPLACED

INTERIOR FINISH SCOPE:

- REPLACE FLOORING
- REWORK CABINET BUILT-IN KNEE WALL ON LIVING ROOM SIDE OF STAIR

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FLOOR PLAN NOTES

1. DRYER VENTED TO OUTSIDE WITH METAL VENT NON SCREENED WITH BACKDRAFT DAMPER.
2. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT UNDOUBLED GLAZED, HURRICANE-RATED BUILDING INSULATION SHALL BE AS FOLLOWS:
3. FRAME WALL - R-19
4. FLOOR SYSTEM - R-16
5. F.O. BLOCK WALLS - R-5
6. COOF TRUSSES - R-30 OR EQUIVALENT
7. ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION. PROVIDE IMPERMEABLE GLASS AT ALL SHOWER ENCLOSURES. GLASS IN DOOR UNITS, GLASS WITHIN 24" RADII OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
8. A/C DRAINS TO BE READILY ACCESSIBLE.
9. MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHIM SPACE SHALL BE LIMITED 1/4" MAXIMUM.
10. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
11. WATER CLOSERS TO BE 1.4 GALLON.
12. PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINERY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
13. ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
14. CONTRACTOR TO VERIFY ALL FLOOR PLAN AND DIMENSIONS PRIOR TO CONSTRUCTION. BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL, OF STORMWATER RUN-OFF, SHALL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
15. ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE ELEVATED ABOVE DFE AS REQUIRED PER FEMA TECHNICAL BULLETIN 5.
16. ELEVATORS IN STRUCTURES IN SPECIAL FLOOD HAZARD AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASCE 34-15 IF IT REQUIRES THAT UTILITIES AND QUALITY EQUIPMENT BE LOCATED ABOVE THE DFE UNLESS LOCATION BELOW THAT ELEVATION IS SPECIFICALLY ALLOWED IN ASCE 34 OR THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PREVENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM, FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS AND INSTALLED AND ANCHORED TO RESIST FLOOD FORCES.
17. ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.
18. IF AN ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS.
19. NOT AS PER SEC 702.3.5 AT GARAGE CEILING BEHIND HABITABLE STRUCTURES, USE 5/8" TYPE "X" DRYWALL BURNING PERPENDICULAR TO FRAMING MEMBERS. FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTEN WITH NAILS AT 16" O.C. MAX OR SCREWS AT 16" O.C. MAX. USING 17/8" LONG IC COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION 902.3.5.1. SCREWS FOR ATTACHING DRYWALL BOARD AND DRYWALL PANEL PRODUCTS TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1002 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8" MIN (1.5" MAX). BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION 802.2.3 OR 802.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 75.2.
20. DOORS OPENING FROM A GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR A SOLID OR NONCOMBUSTIBLE DOOR NOT LESS THAN 1 1/8" THICKNESS OR A 30 MINUTE FIRE DOOR.
21. ELEVATOR COMPONENTS LOCATED BELOW DFE TO BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING AND ARE EQUIPPED WITH CONTROLS TO PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS.
22. PER SEC 702.3.5, BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION 802.2.3 OR 802.3 SHALL BE FLOOD DAMAGE-RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 75.2.

BUILT-INS & FINISHES

SEE SHOP DRAWINGS FOR KITCHEN LAY-OUT.

1. SUBMIT ALL SHOP DRAWINGS BY OTHERS.
2. ALL PAINTS, CLOSETS AND LINEN CLOSERS TO HAVE SPECIES AS SELECTED BY OWNER.
3. OWNER TO SELECT ALL COLORS AND FINISHES UNLESS OTHERWISE NOTED ON THESE DRAWINGS.

EGRESS NOTES

EGRESS WINDOWS MUST HAVE 5.7 SQUARE FEET OF NET CLEAR OPENING. NOT ALL 30SD WINDOWS WILL MEET THIS REQUIREMENT. WINDOWS CAN BE ENLARGED TO 3054 WITH NO NOTIFICATION TO ENGINEER.

SCOPE OF WORK:

- GENERAL SCOPE:**
- EXTEND KITCHEN AREA INTO A PORTION OF THE GUEST SUITE
 - CONSTRUCT THE DINING ROOM, AND COVERED PATIOS 1,2
 - CERTAIN WINDOWS TO BE REPLACED
 - ALL DOORS TO BE REPLACED
- INTERIOR FINISH SCOPE:**
- REPLACE FLOORING
 - REWORK CABINET BUILT-IN KNEE WALL ON LIVING ROOM SIDE OF STAIR

WALL LEGEND	
W-01	8" CMU WALL
W-02	8" CMU WALL W/ FURRING
W-03	2X6 WOOD FRAMED WALL
W-04	2X6 WOOD FRAMED WALL W/ 1/2" SHEATHING
W-05	2X4 WOOD FRAMED WALL
W-06	2X6 KNEE WALL
W-07	3" CURB W/ GLASS ENCLOSURE

SEE STRUCTURAL PLANS FOR WALL ASSEMBLY TYPES

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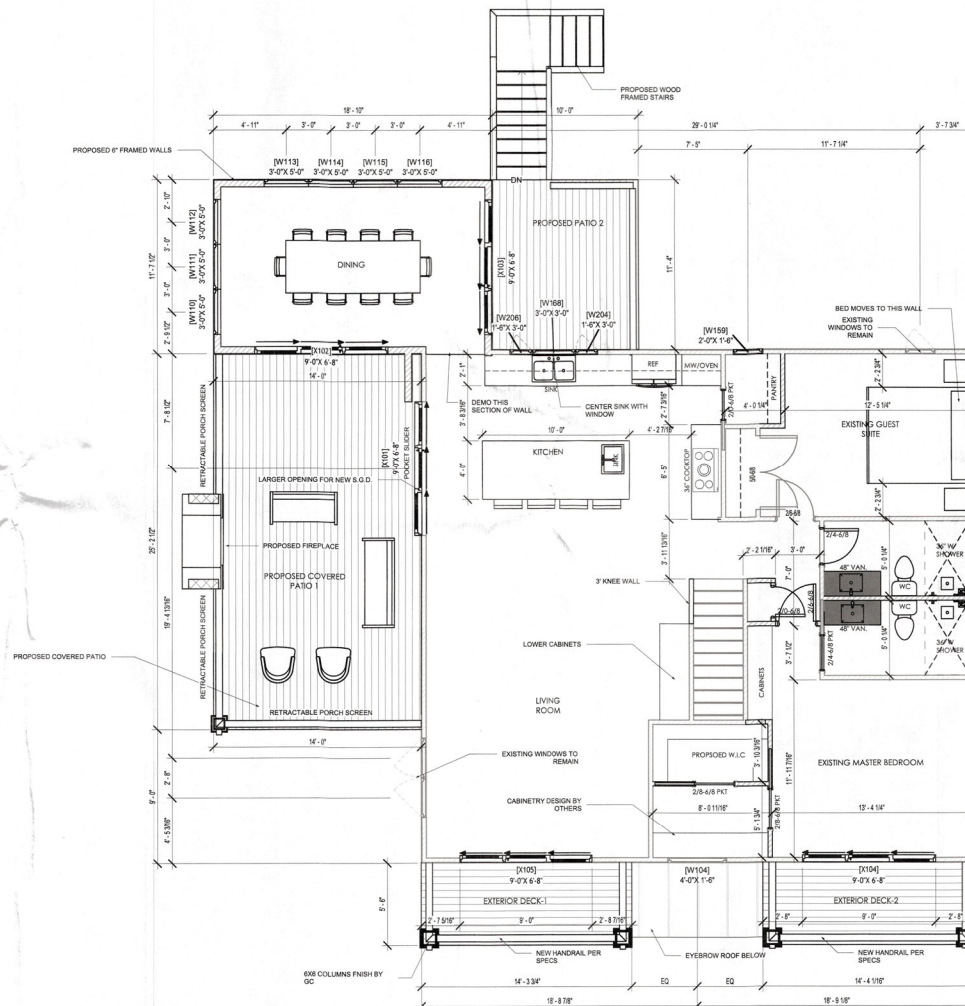
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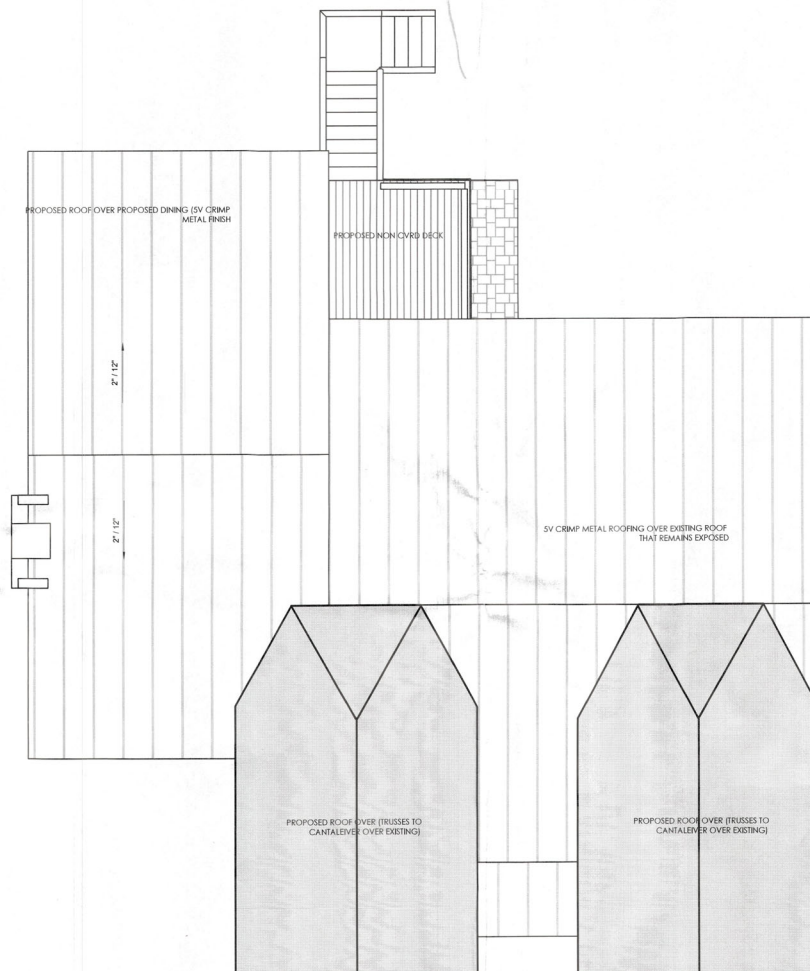
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1ST LVL FLOOR PLAN (PROPOSED)
1/4" = 1'-0"

REVISIONS



ROOF PLAN - 2ND LVL
1/4" = 1'-0"

ROOF DIAGRAM NOTES

1. SEE ENGINEERED TRUSS DRAWINGS FOR FINAL DESIGN VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH PLANS & MEET
2. THE ROOF SYSTEM SHALL CONSIST OF A PRE-ENGINEERED WOOD TRUSS SYSTEM AT 24" O.C.
3. PROVIDE SYP APA RATED EXTERIOR PLYWOOD SHEATHING, NAIL W/ 10D NAILS @ 12" MAX SPACING ON ALL EDGES AND AT 12" O.C. MAX SPACING IN THE FIELD. PROVIDE 1" CLIPS AT UNSUPPORTED EDGES.
4. ALL WOOD TRUSSES SHALL BE ATTACHED TO THE STRUCTURE WITH THE SPECIFIED SIMPSON CONNECTOR UNL/O.
5. THE TRUSS DESIGNER SHALL SPECIFY THE TRUSS TO TRUSS CONNECTIONS.
6. PLYWOOD SHEATHING SHALL BE PIGGY-BACK IF REQ. THE TOP CHORDS OF THE LOWER TRUSSES OF A PIGGY-BACK SYSTEM SHALL BE CONTINUOUSLY SHEATHED WITH PLYWOOD OR BRACED IN ACCORDANCE WITH THE TRUSS ENGINEER'S REQ.
7. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED IN EXTERIOR APPLICATIONS SHALL BE PRESERVE TREATED WITH PRESERVATIVE EXTERIOR CONNECTORS SHALL BE HOT DIPPED GALVANNEED & TOP ROOF OVERHANG SHALL BE 1'-4" OR AS NOTED.
8. CONTRACTOR TO USE 3X SYP FOR ANY CONVENTIONAL FRAMING REQ TO MATCH NEW TO EXS ROOF STRUCTURE.

ATTIC VENT CALCUALTIONS

ATTIC TO BE VENTED PER IRC 2020, 7TH EDITION PER R802.2

3391 (TOTAL) SQ FT OF ROOF AREA

3040 (TOTAL) SQ FT OF BUILDING AREA

3040 DIVIDED BY 150=20.26 SQ FT

20.26 X 144=2917.44 INCHES OF TOTAL VENTING REQ'D

ACTUAL NFP OF SOFFIT PROVIDED: (351) SQ. FT.

SOFFIT VENTING=351 X 13.2 SQ INCHES VENT CAPACITY = 4633.2 SQ. INCHES

TOTAL VENTING REQ'D = 2917.44 SQ. INCHES TOTAL VENTING PROVIDED = 4633.2 SQ. INCHES

ANDERSON RESIDENCE -

760 LYONS LN.
LONGBOAT KEY, FL 34228

REVISIONS

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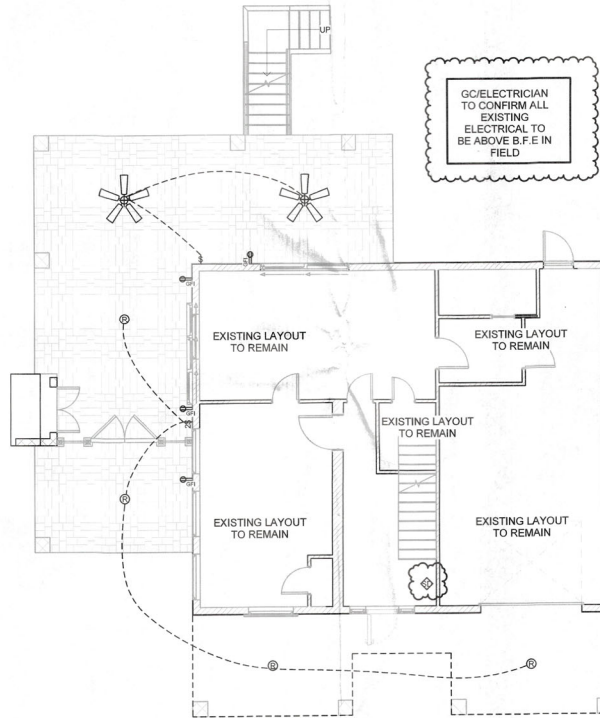
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ELECTRICAL LEGEND	
	LIGHT SWITCH
	DUPLEX WALL RECEPTACLE NOTE: USE ARC FAULT AS PER FBC 3902.12
	DEDICATED 220V RECEPTACLE
	DUPLEX WALL RECEPTACLE W/ GROUND FAULT INTER. (PROVIDE WATER RESISTANT OUTLETS AT EXTERIOR LOCATIONS)
	220V OUTLET
	DUPLEX WALL RECEPTACLE - HALF SWITCH
	DED. CIRCUIT REC. ABOVE COUNTERTOP
	DUPLEX CEILING RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	TELEPHONE PRE-WIRE
	CABLE TV PRE-WIRE
	CEILING LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	PULL CHAIN LIGHT FIXTURE
	5" RECESSED LIGHT W/ WHITE BAFFLE TRIM
	RECESSED EYEBALL 4"
	LED UNDER CABINET OR CLOSET STRIP
	2 OR 4 FT. SURFACE MT. FLUORESCENT W/ 2 TUBES
	4 FT. SURFACE MT. FLUORESCENT W/ 4 TUBES
	EXHAUST FAN INTAKE
	EXHAUST FAN
	SMOKE DETECTOR INTERCONNECTED
	SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR (COMBO, INTERCONNECTED)
	ELECTRICAL DISCONNECT - VERIFY POWER REQ.
	CEILING FAN W/ LIGHT. PREPARE FOR FLOOR WEIGHT
	DENOTES CIRCUIT
	WALL MOUNT CYLINDER TURTLE LIGHT
	LOW VOLTAGE PATH LIGHT
	5" RECESSED LIGHT W/ BLACK BAFFLE & TURTLE BULB
	CYLINDER DOWN LIGHT W/ TURTLE BULB
	LUTRON KEY PAD
	LUTRON MAESTRO SWITCH
	LUTRON CONTACT CLOSURE SWITCH
	AC SUPPLY REGISTER
	AC RETURN REGISTER



GROUND LEVEL ELECTRICAL PLAN
3/16" = 1'-0"

GENERAL ELECTRICAL NOTES (APPLIES TO ALL DRAWINGS)

- CODE
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND COMPLY WITH NEC 2014 AND NFPA 70.
 - ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED.
- FLOOD ZONE REQUIREMENTS/ STATE PERMITTING
 - ALL ELECTRIC TO BE MOUNTED ABOVE D.F.E.
 - NO ELECTRICAL DEVICES WILL BE MOUNTED ON BREAKAWAY WALLS.
 - COORDINATE ALL EXTERIOR LIGHTING WITH APPROVED STATE OF FLORIDA DEP PERMIT.
- COORDINATION BETWEEN TRADES
 - COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES AS REQUIRED. CONNECTIONS FROM EQUIPMENT TO DISCONNECTS TO BE PROVIDED BY EACH RESPECTIVE TRADE (I.E. HVAC, PLUMBING, ETC).
 - COORDINATE WITH OTHER TRADES FOR EXACT LOCATIONS OF ALL MOTORS AND OTHER EQUIPMENT TO BE INSTALLED AND/OR WIRED UNDER THIS DIVISION BUT FURNISHED UNDER ANOTHER DIVISION OF THE SPECIFICATIONS.
 - COORDINATE WITH/ OWNER FOR EXACT LOCATIONS AND LOAD REQUIREMENTS FOR APPLIANCES.
- COORDINATION WITH OWNER: CONTRACTOR TO COORDINATE WALK-THRU WITH OWNER, CONTRACTOR AND ELECTRICIAN PRIOR TO ROUGH IN OF ELECTRICAL AND PRIOR TO INSTALLING FINISHES. ALL FIXTURES, DEVICES AND ELECTRICAL FINISHES NOT SPECIFIED TO BE SELECTED BY OWNER.
 - COORDINATE TELEPHONE SYSTEM INSTALLATION WITH OWNER'S REQUIREMENTS.
 - COORDINATE SOUND SYSTEM WIRING AND OUTLET LOCATIONS WITH OWNER.
 - COORDINATE COMPUTER WIRING AND OUTLET LOCATIONS WITH OWNER.
 - COORDINATE TV OUTLET LOCATIONS WITH OWNER.
 - COORDINATE ANNUNCIATOR SYSTEM (DOORBELL) WITH/ OWNER'S REQUIREMENTS.
 - COORDINATE SECURITY SYSTEM WITH/ OWNER'S REQUIREMENTS.
 - COORDINATE ELECTRICAL REQUIREMENTS FOR ELEVATOR WITH/ELEVATOR CONTRACTOR.
 - COORDINATE POOL & POOL DECK LIGHTING WITH/ SWIMMING POOL SUB-CONTRACTOR.
 - COORDINATE LOCATION OF LANDSCAPE LIGHTING FIXTURES AND CONTROLS WITH OWNER.
 - COORDINATE CENTRAL VACUUM EQUIPMENT AND CONNECTIONS LOCATIONS IF REQ.
- ARC FAULT: ALL 120 VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN THE DWELLING SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS APPLIES TO ALL AREAS EXCEPT BATHROOMS, AND GARAGES.
- GF/ARC-FAULT: KITCHEN AND UTILITY ROOM OUTLETS SHALL BE GF/ ARC-FAULT PROTECTED.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH PROVISIONS FBC R313 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL SMOKE & CARBON MONOXIDE ALARMS SHALL BE HARD WIRED, INTERCONNECTED AND BATTERY SUPPLIED IN CASE OF POWER OUTAGE UNLESS EXEMPT UNDER R313.2.1 ALL SMOKE & CO ALARMS SHALL BE LISTED & LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND INSTALLED WITH IN 10 FEET OF EACH BEDROOM.
- ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINALS.
- PACK ALL SLEEVES FOR CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOOR SLABS WITH FIRE RESISTANT MATERIALS. ALL PENETRATIONS SHALL BE UL RATED.
- ALL EMPTY CONDUITS (EC) SHALL BE PROVIDED WITH NYLON PULL WIRES.
- COORDINATE THE REQUIRED SIZE OF ALL CIRCUIT BREAKERS FEEDING EQUIPMENT, (I.E. MOTORS, HVAC, KITCHEN EQUIPMENT, SPECIAL PURPOSE OUTLETS, ELEVATORS, OWNER FURNISHED EQUIPMENT, ETC.) WITH APPROVED EQUIPMENT SHOP DRAWINGS AND OWNER REPRESENTATIVES PRIOR TO ORDERING PANELBOARDS.
- BREAKERS SHALL BE SIZED PER THE NEC 2014, THE EQUIPMENT NAME PLATE AND MANUFACTURER'S RECOMMENDATIONS.
- SERVICE REQUIREMENTS: ELECTRICAL CONTRACTOR TO CONFIRM SERVICE SIZE.
- ALL CONDUITS IN OR UNDER SLAB OR UNDERGROUND SHALL BE PVC SCHEDULE 40.
- ALL CONDUITS SHALL BE PARALLEL AND PERPENDICULAR TO STRUCTURAL MEMBERS.
- ALL BENDS SHALL BE MADE IN CONDUIT USING PROPER EQUIPMENT AND MEET NATIONAL ELECTRICAL CODE (NEC 2014) REQUIREMENTS.
- ALL WIRE, INCLUDING BUT NOT LIMITED TO FEEDERS AND BRANCH CIRCUIT WIRING, SHALL BE COPPER.
- ALL BREAKERS SHALL BE "FULL SIZE". NO TANDEM, PIGGY BACK, TWIN, OR HALF SIZE BREAKERS WILL BE ACCEPTED. BREAKER MUST BE APPROVED BEFORE INSTALLATION.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER AND TEMPORARY LIGHTING DURING CONSTRUCTION. TEMPORARY POWER SHALL PROVIDE ADEQUATE POWER FOR NORMAL CONSTRUCTION USE. TEMPORARY LIGHTING SHALL PROVIDE ADEQUATE LIGHT SO THAT THE INDIVIDUAL TRADES WORK CAN BE COMPLETED.
- CONTRACTOR SHALL PLACE STICKERS IN ELECTRICAL PANEL INDICATING PHYSICAL AIR HANDLER LOCATIONS AND BREAKER NUMBER.
- ALL MATERIALS AND EQUIPMENT TO BE NEW, FREE OF DEFECTS AND BEAR THE MFR'S NAME, TRADE NAME AND TESTING LAB LABEL. LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS IN THE LISTING OR LABELING.
- OUTLET SPACING TO CONFORM TO THE NATIONAL ELECTRIC CODE.
- PROVIDE SWITCH & SURFACE MOUNTED LIGHT FIXTURE IN ALL ATTIC ACCESS.
- UNLESS NOTED OTHERWISE, INSTALL ELECTRICAL DEVICE RECEPTACLES AT THE FOLLOWING HEIGHTS A.F.F.:
 - SWITCHES 42"
 - OUTLETS 14" (EXCEPT OUTLETS AT COUNTERS TO BE DETERMINED)
 - TELEPHONE 14" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)
 - TELEVISION 14" (EXCEPT JACKS AT COUNTERS TO BE DETERMINED)
- ALL OUTDOOR ELECTRICAL RECEPTACLES SHALL BE WEATHER RESISTANT GFI OUTLETS.
- ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
- CHECK SITE PLAN AND/OR LANDSCAPE PLAN FOR LOW VOLTAGE OR EXTERIOR LIGHTING REQUIREMENTS.
- GARAGE OUTLETS TO BE ON DEDICATED CIRCUIT AND THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLE(S) IN A GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE PER SECTION E3901.9 FRC 2017.
- SMOKE DETECTORS ARE INTERCONNECTED & HAVE A 10 YEAR BATTERY BACKUP.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- EXCEPTION: LOW-VOLTAGE LIGHTING
- BATHROOMS VENT TO THE OUTSIDE
- ALL EXTERIOR LIGHTING THAT CAN BE SEEN FROM THE BEACH MUST BE PROTECTED TURTLE LIGHTING

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ANDERSON RESIDENCE -
740 LYONS LN.
LONGBEACH, KY. 40328

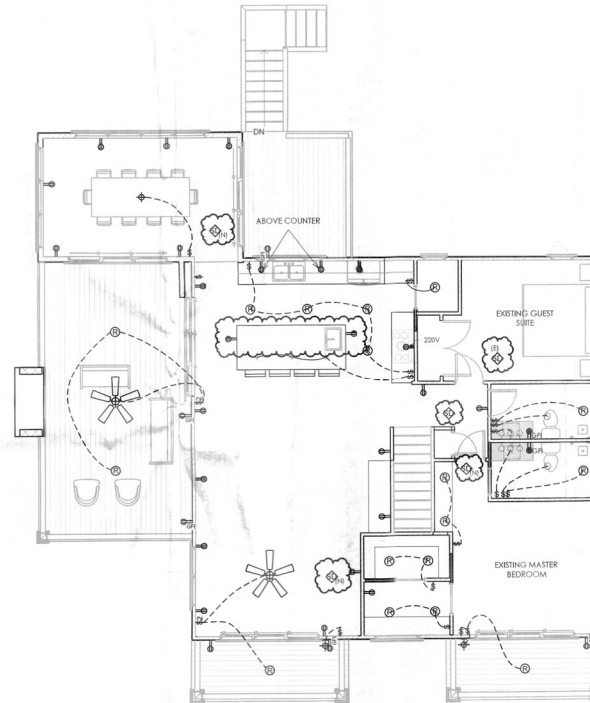
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ELECTRICAL LEGEND	
	LIGHT SWITCH
	DUPLEX WALL RECEPTACLE NOTE: USE ARC FAULT AS PER FBCR E3902.12
	DEDICATED 200V RECEPTACLE
	DUPLEX WALL RECEPTACLE W/ GROUND FAULT INTER. (PROVIDE WATER RESISTANT OUTLETS AT EXTERIOR LOCATIONS)
	200V OUTLET
	DUPLEX WALL RECEPTACLE - HALF SWITCH
	DED. CIRCUIT REC. ABOVE COUNTERTOP
	DUPLEX CEILING RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	TELEPHONE WIRE
	CABLE TV WIRE
	CEILING LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	PULL CHAIN LIGHT FIXTURE
	5" RECESSED LIGHT W/ WHITE BAFFLE TRIM
	RECESSED EYEBALL 4"
	LED UNDER CABINET OR CLOSET STRIP
	2 OR 4 FT. SURFACE MT. FLUORESCENT W/ 2 TUBES
	4 FT. SURFACE MT. FLUORESCENT W/ 4 TUBES
	EXHAUST FAN THROT
	EXHAUST FAN
	SMOKE DETECTOR INTERCONNECTED
	SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR COMBO. INTERCONNECTED
	ELECTRICAL DISCONNECT - VERIFY POWER REQ.
	CEILING FAN W/ LIGHT. PREPARE FOR T&B WEIGHT
	DENOTES CIRCUIT
	WALL MOUNT CYLINDER TURTLE LIGHT
	LOW VOLTAGE PATH LIGHT
	5" RECESSED LIGHT W/ BLACK BAFFLE & TURTLE BULB
	CYLINDER DOWN LIGHT W/ TURTLE BULB
	LUTRON KEY PAD
	LUTRON MAESTRO SWITCH
	LUTRON CONTACT CLOSURE SWITCH
	A/C SUPPLY REGISTER
	A/C RETURN REGISTER



1ST LVL ELECTRICAL PLAN
3/16" = 1'-0"

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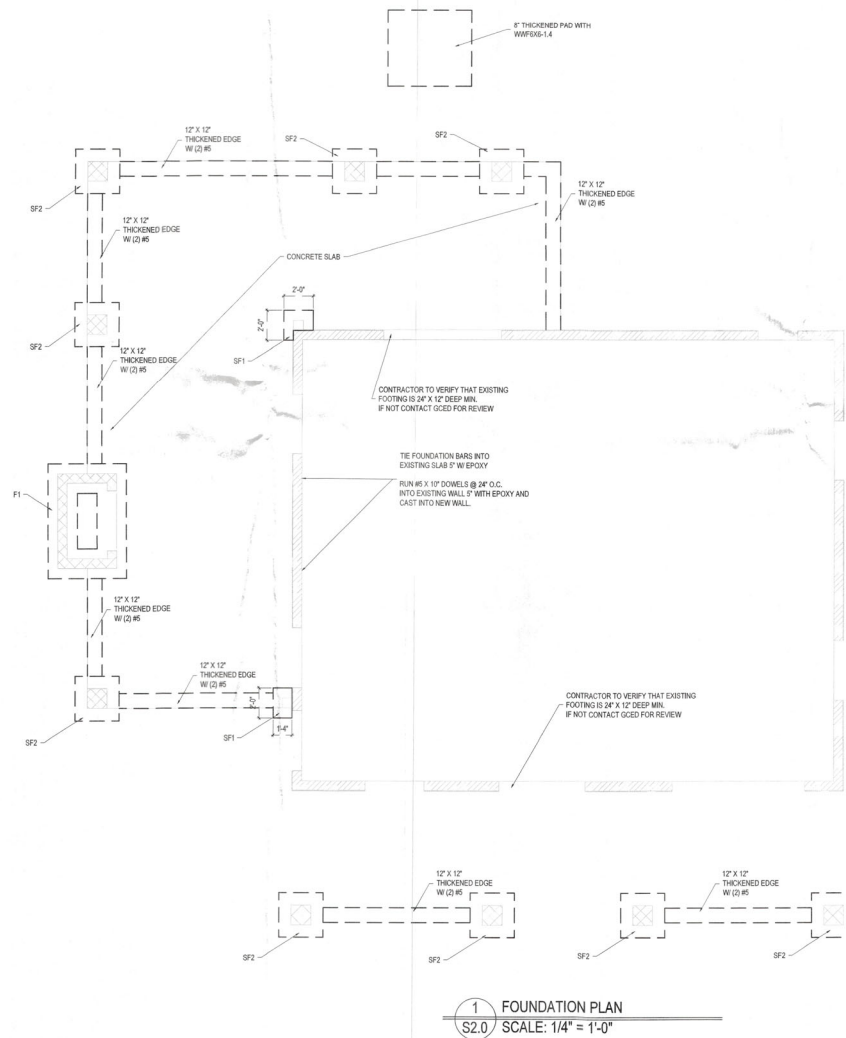
7401 LYONS LN.
LONGBOAT KEY, FL 34228

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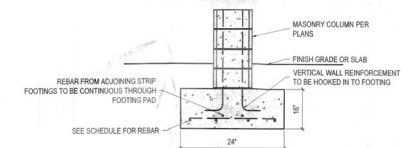
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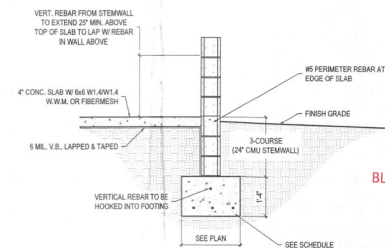
1 FOUNDATION PLAN
S2.0 SCALE: 1/4" = 1'-0"

- FOUNDATION NOTES**
1. FOUNDATION TO BE CONTINUOUS STRIP FOOTINGS WITH A CONCRETE SLAB. SEE PLAN FOR SIZE AND LOCATION.
 2. CONCRETE TO BE 4000 PSI MINIMUM.
 3. PRESUMPTIVE SOIL BEARING PRESSURE TAKEN AS 2000 PSF (FBC TABLE 1906.2).
 4. ALL REINFORCEMENT IS LAPPED AT 48X THE DIAMETER OF THE REBAR. (E. #5 BAR TO BE LAPPED AT 30" MIN.)
 5. ALL REINFORCEMENT IS TO BE BENT AND LAPPED AT CORNERS AND INTERSECTIONS.
 6. SEE ARCHITECTURAL PLANS FOR ALL FINISH FLOOR ELEVATIONS.

FOOTING SCHEDULE:		
ID	DIMENSIONS	REINFORCEMENT
F1	16" X 16" DEEP CONT FTG	2-#5 @ BOT
SF1	24" X 24" X 16" DEEP SPREAD	3-#5 @ BOT EACH WAY
SF2	36" X 36" X 16" DEEP SPREAD	4-#5 @ BOT EACH WAY



3 CMU STEMWALL & SLAB
S2.0 SCALE: 1/2" = 1'-0"



2 CMU STEMWALL & SLAB
S2.0 SCALE: 1/2" = 1'-0"

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PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGY FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE MINIMUM DESIGN STANDARDS AS SET FORTH BY THE FBC, RESIDENTIAL, 2020. PLANS WERE DESIGNED IN ACCORDANCE WITH FBC 2020 AND SEC. 2017.

NOTE:
IT IS THE CONTRACTOR'S
RESPONSIBILITY TO REVIEW
THIS SET OF PLANS FOR
ERRORS & OMISSIONS AND
REPORT ANY ISSUES TO THE
DESIGNER. VERIFY ALL DIMENSIONS WITH
ALL ARCHITECTURAL PLANS.

GULF COAST
ENGINEERING & DESIGN
INC.
1400 W. 10TH AVE., SUITE 100
TAMPA, FL 33606
TEL: 813-281-1111
WWW.GULFCOASTENGINEERING.COM

DESIGNER:
PROJECT:
CONTRACTOR:
DATE:
BY:
CHECKED:
DATE:
BY:

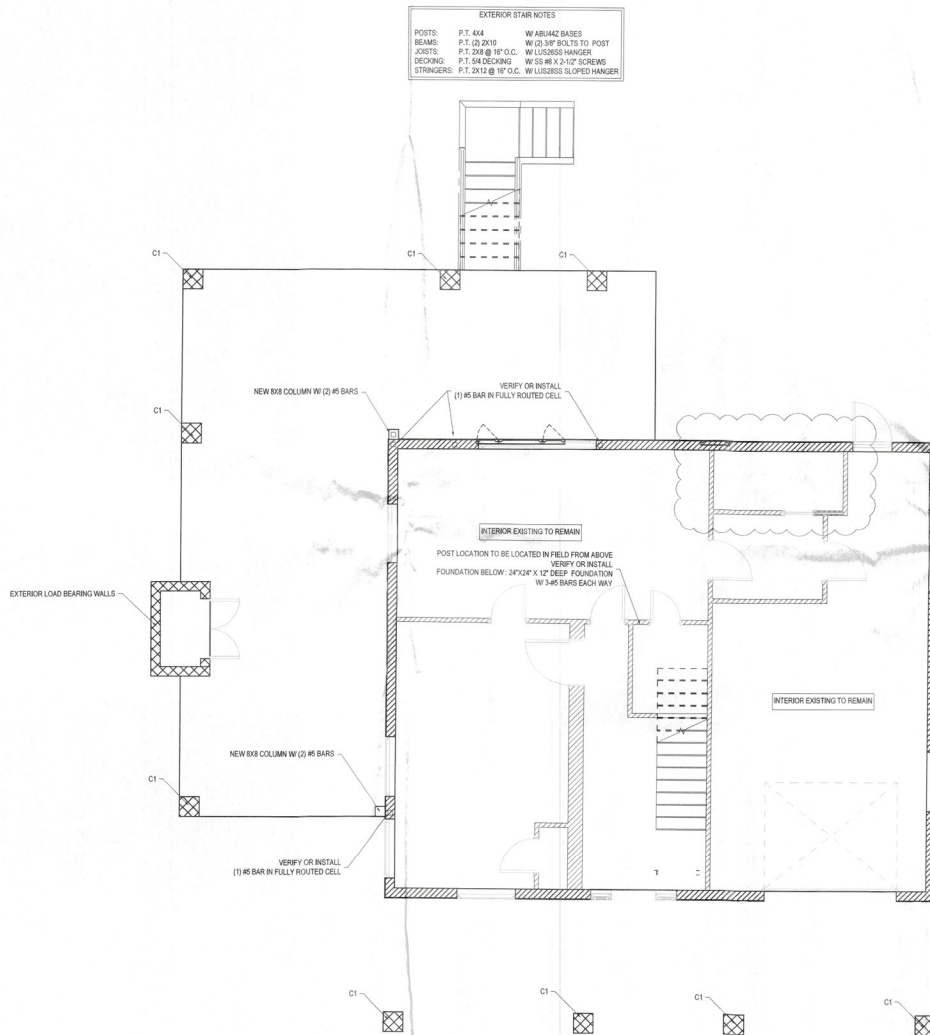
No.	Description	Date

760 Lyons Lane
Longboat Key, FL 34228



PROJECT # 122061
DATE: March 31, 2022
DRAWN BY: JRG

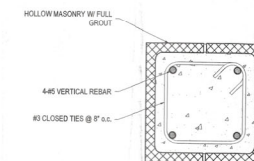
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1 GROUND FLOOR PLAN
S3.0 SCALE: 3/16" = 1'-0"

NEW GROUND FLOOR WALL NOTES:

- LOAD BEARING WALLS
 - 1.1. 8" CMU WITH #5 BARS IN FULLY GROUTED CELLS AT 48" O.C. AND AT ALL EDGES OF OPENINGS AND CORNERS.
 - 1.2. TYPICAL CMU WALL LINTEL TO BE 8" PRECAST BY CAST-CRETE OR EQUAL, FULLY GROUTED WITH 1-#5 REBAR UNLESS NOTED OTHERWISE.
 - 1.3. EXTERIOR WALL FINISHES PER ARCH
- COLUMNS
 - 2.1. C1 = 16 X 16 CMU COLUMN W/ (4) #5 VERTICAL BARS AND #3 TIES AT 8" O.C. FULLY GROUTED



2 CMU COLUMN
S3.0 SCALE: 1-1/2" = 1'-0"

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No.	Description	Date

760 Lyons Lane
Longboat Key, FL 34228



PROJECT # 22081
DATE: March 31, 2022
DRAWN BY: JBG

S3.0



CONTRACTOR:
ADDRESS:
CITY:
STATE:
ZIP:
E-MAIL:
PHONE:
FAX:

DESIGNER:
ADDRESS:
CITY:
STATE:
ZIP:
E-MAIL:
PHONE:
FAX:

FLOOR FRAMING NOTES:

1. FLOOR DECKING TO BE 3/4" CDX STRUCTURAL SHEATHING AT 24" O.C. ATTACHED W/ GLUE AND 100 NAILS @ 6" O.C. AT PANEL EDGES & 9" O.C. AT INTERMEDIATE MEMBERS.
2. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. BETWEEN FIRST (2) BAYS TO BRACE WALL.
3. THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
4. ATTACH 5/8" NON-SAG DRYWALL COVERING ON THE UNDERSIDE OF FLOOR JOISTS TO PROVIDE FIRE BARRIER TO LIVING SPACES.
5. IN FLOOR CAVITIES, PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS AND AT ALL BEAMS & HEADERS.
6. PROVIDE BLOCKING UNDER ALL NON LOAD BEARING WALLS ABOVE.
7. WHERE REQUIRED, PROVIDE ADEQUATE AND PROPER FLASHING AGAINST WATER INTRUSION (TYP.).

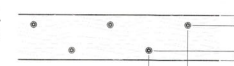
ROOF FRAMING NOTES:

1. ROOF DECKING TO BE 5/8" CDX STRUCTURAL SHEATHING ATTACHED W/ 100 NAILS @ 4" O.C. AT PANEL EDGES & 9" O.C. AT INTERMEDIATE MEMBERS.
2. THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
3. USE APPROVED SIMPSON HANGERS OR APPROVED EQUAL ON ALL WOOD TRUSS AND LEDGER CONNECTIONS.

INTERIOR FLOOR LEDGER NOTES

1. ALL FIRST FLOOR FRAMING SHALL BE 11.25" DEEP WOOD FLOOR AT 16" O.C. UNLESS NOTED OTHERWISE.
2. ALL LEDGERS SHALL BE 2-PLY 2X12 W/ 2 ROWS OF 5/8" X 8" TITEN HD @ 24" O.C. IN A STAGGERED PATTERN & SHALL BE EMBEDDED 5" MIN. INTO CAST-IN-PLACE CONCRETE TIE BEAMS.
3. ALL FLOOR JOISTS TO HAVE LUS210 HANGERS MINIMUM AT FLOOR AND LUS28 AT DECK.
4. FLOOR SHEATHING TO BE 3/4" GRADE PLYWOOD GLED & NAILED W/ 100 NAILS @ 6" O.C. @ EDGES, 9" O.C. IN FIELD.

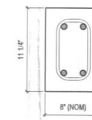
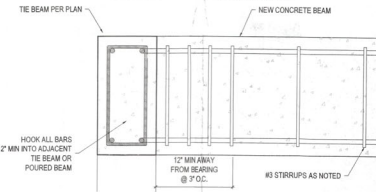
TYPICAL LEDGER DETAIL



3 LEDGERS
S4.0 SCALE: 1-1/2" = 1'-0"

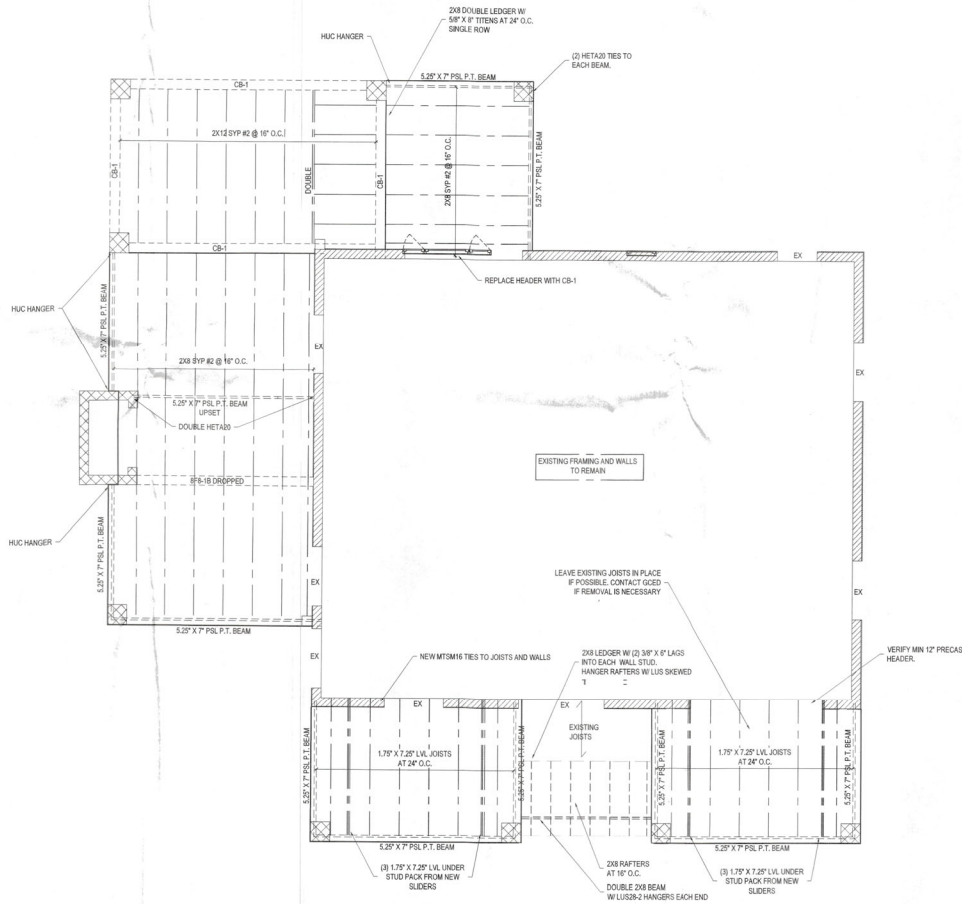
CONCRETE BEAM NOTES

- 1 1/2" REBAR COVER MIN.
- STRUTS TO BE AT 3' ON CENTER OVER BEARING POINTS
- BEAMS TO BE MIN. 12" ABOVE FIN. CONCRETE
- HOOK ALL END BARS INTO ADJACENT BEAM OR TIE BEAM 12" MIN.
- TOP BARS TO BE CONTINUOUS OVER SUPPORTS
- BOTTOM BARS TO BE CONTINUOUS BETWEEN SPANS



2 CONCRETE BEAMS
S4.0 SCALE: 1-1/2" = 1'-0"

1 FIRST FLOOR FRAMING PLAN
S4.0 SCALE: 1/4" = 1'-0"



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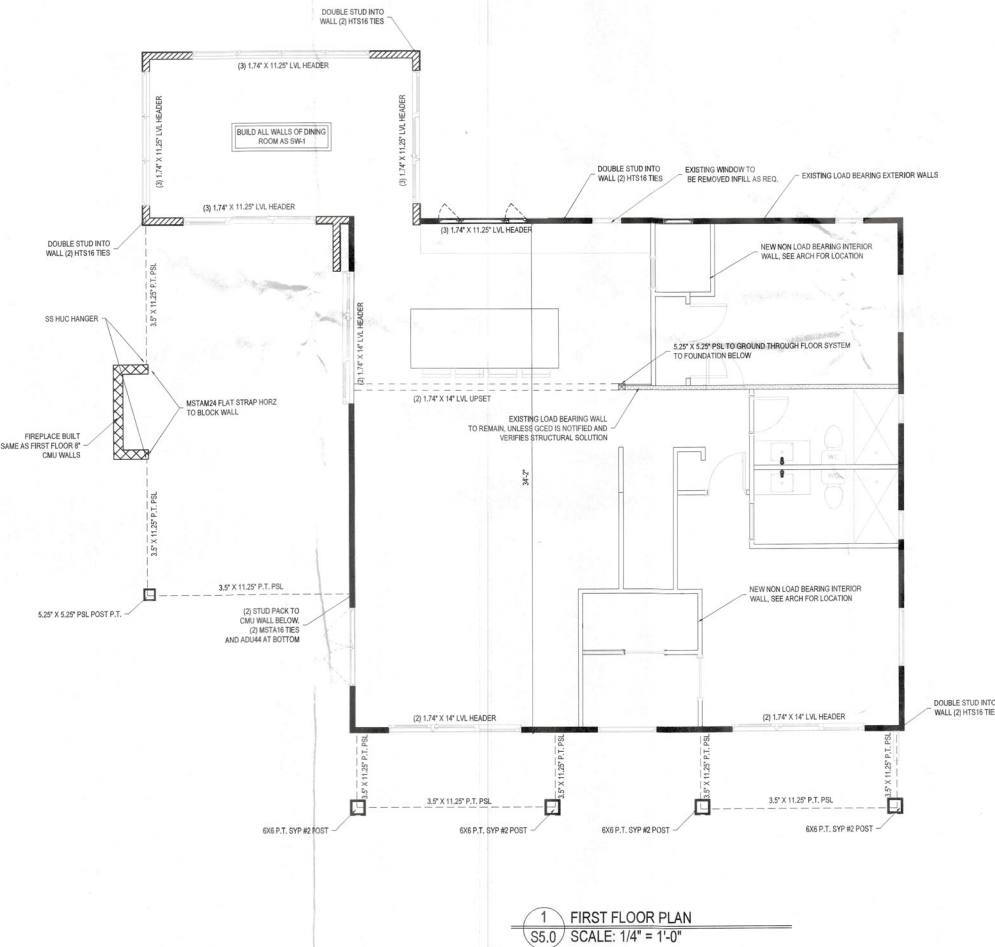
NOTES:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THIS SET OF PLANS FOR ERRORS & OMISSIONS AND REPORT ANY ISSUES TO THE ENGINEER. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL PAPERS.

DESIGNER: GULF COAST ENGINEERING & DESIGN, INC.
PROJECT: 2022-001
DATE: 01/27/2023
DRAWN BY: JES

780 Lyons Lane
Longboat Key, FL 34228

PROJECT # 22041
DATE: March 31, 2022
DRAWN BY: JES

S4.0



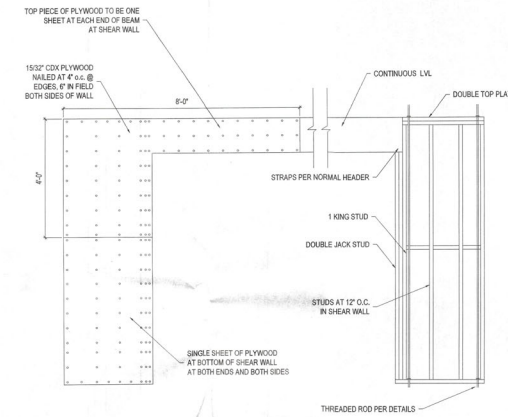
1 FIRST FLOOR PLAN
S5.0 SCALE: 1/4" = 1'-0"

NEW FIRST FLOOR WALL NOTES:

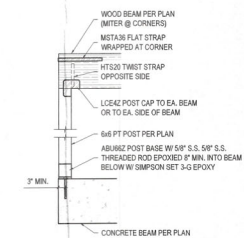
1. EXTERIOR LOAD BEARING WALLS
 - 1.1. TO BE 2X6 SYP #2 STUDS AT 16" O.C. FULLY BLOCKED AT PANEL EDGES.
 - 1.2. TYPICAL WALL EXTERIOR HEADER TO BE (3) 2X10 SYP #2 W/ PLYWOOD SPACERS, UNLESS NOTED OTHERWISE.
 - 1.3. EXTERIOR WALLS TO RECEIVE HARDBOARD OR SIMILAR SIDING AS SPECIFIED BY ARCH. INSTALL PER MANUF. SPECS FOR THE GIVEN C&C LOADS.
2. NON-LOAD BEARING INTERIOR PARTITION WALLS
 - 2.1. TO BE 2X4 STUD GRADE @ 16" O.C.
 3. COLUMNS
 - 3.1. PER PLAN

EXISTING FIRST FLOOR WALL NOTES:

1. EXTERIOR LOAD BEARING WALLS
 - 1.1. CONTRACTOR TO VERIFY THAT WALLS ARE 2X4 CONSTRUCTION AT 16" O.C. WITH MIN 1/2" EXTERIOR SHEATHING.
 - 1.2. CONTRACTOR AT ALL EXPOSED AREAS TO ADD STUD TIES TOP AND BOTTOM IF NOT EXISTING.



3 SW-1 SHEAR WALL
S5.0 SCALE: 1/2" = 1'-0"



2 PORCH BEAM AND POST
S5.0 SCALE: 1/2" = 1'-0"

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GULF COAST ENGINEERING & DESIGN
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PROJECT: 122061
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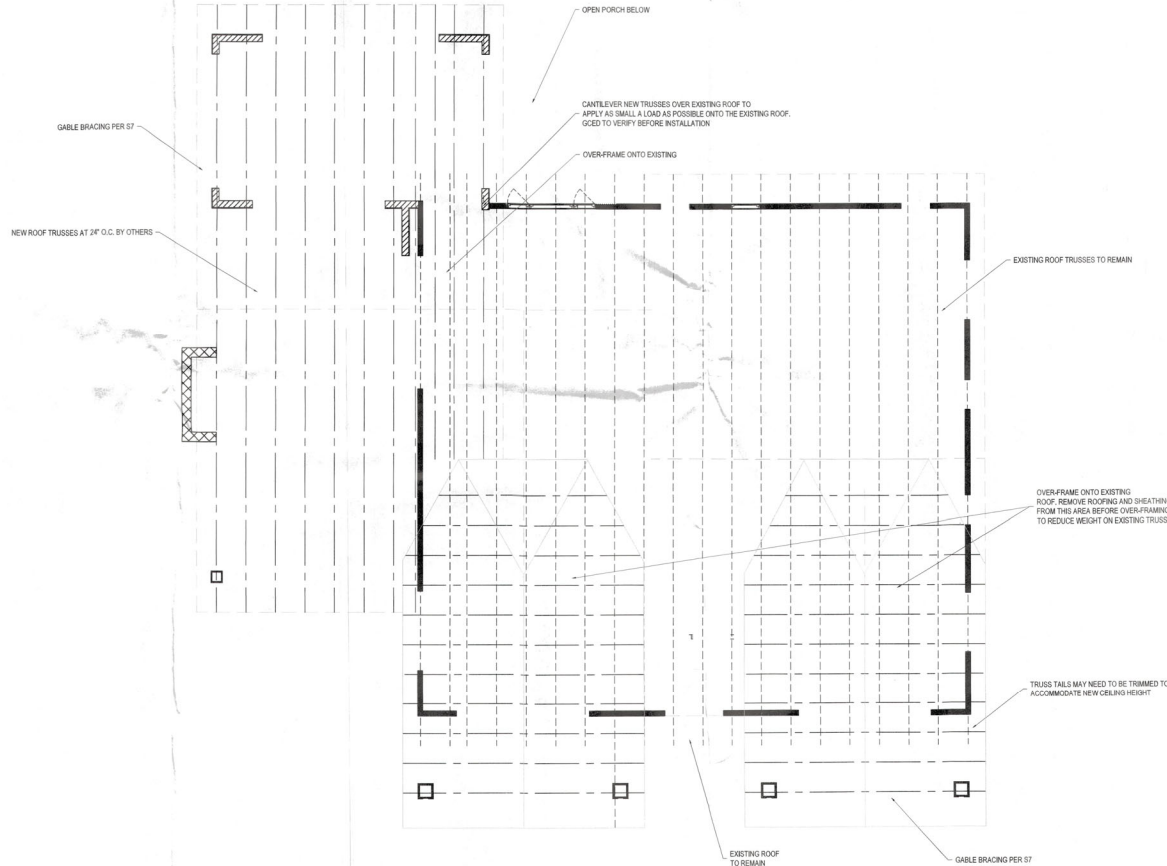
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ENGINEERED WOOD TRUSS NOTES:

1. ENGINEERED TRUSS DESIGNS SHALL BE PROVIDED TO GC FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. THE TRUSS LAYOUT DEPICTED HEREIN IS ILLUSTRATIVE ONLY. REFER TO THE ENGINEER-APPROVED TRUSS LAYOUT BY THE TRUSS MANUFACTURER.
3. TRUSS DESIGNER TO LOCATE ALL ELECTRICAL AND PLUMBING FIXTURES AND DRAIN LOCATIONS PER ARCHITECTURAL DRAWINGS AND TAKE CARE TO AVOID LOCATING TRUSSES WHERE CONFLICTS WILL OCCUR.
4. TRUSS DESIGNER TO AVOID LOCATING TRUSSES IN THE CENTERS OF HALLWAYS AND OTHER SUCH AREAS WHERE NECESSARY LIGHTING AND OTHER FIXTURES ARE COMMONLY LOCATED.
5. TRUSS DESIGNER TO VERIFY ALL BEARING HEIGHTS, CEILING CHANGES, AND FLOOR LEVEL CHANGES WITH ARCHITECTURAL DRAWINGS.

ROOF FRAMING NOTES:

1. ALL TRUSSES TO BE AT 24" O.C. MAX.
2. ROOF DECKING TO BE 5/8" CDX STRUCTURAL SHEATHING ATTACHED W/ 180 NAILS @ 4" O.C. AT PANEL EDGES & 9" O.C. AT INTERMEDIATE MEMBERS.
3. THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
4. USE APPROVED SIMPSON HANGERS OR APPROVED EQUAL ON ALL WOOD TRUSS AND LEDGER CONNECTIONS.
5. HT520 STRIPS SHALL BE INSTALLED AT ALL TRUSS TO WALL CONNECTIONS UNLESS NOTED OTHERWISE.
6. VERIFY ANY REQUIRED FINAL TIE-DOWN WITH ENGINEER-APPROVED TRUSS LAYOUTS.
7. TRUSS MANUFACTURER TO REFER TO ARCHITECTURAL PLANS FOR VAULTED, TRAY, OR OTHER VARIATIONS IN CEILING HEIGHT WHICH MAY BE REQUIRED.



1 ROOF FRAMING PLAN
S6.0 SCALE: 1/4" = 1'-0"

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JAN 31 2023
780 LYONS LANE
LONGBOAT KEY
FL 34228

BLDG PERMIT PLANS
FILE
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PROJECT #: 22061
DATE: March 31, 2022
DRAWN BY: JBO

S6.0

No.	Description	Date

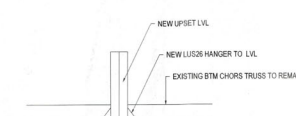
PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGION 14 DEPT AND SET FORTH BY THE FBC, RESIDENTIAL 2001. PLANS WERE DESIGNED IN ACCORDANCE WITH FBC 2001 AND REC 2017.

760 Lyons Lane
Longboat Key, FL 34228

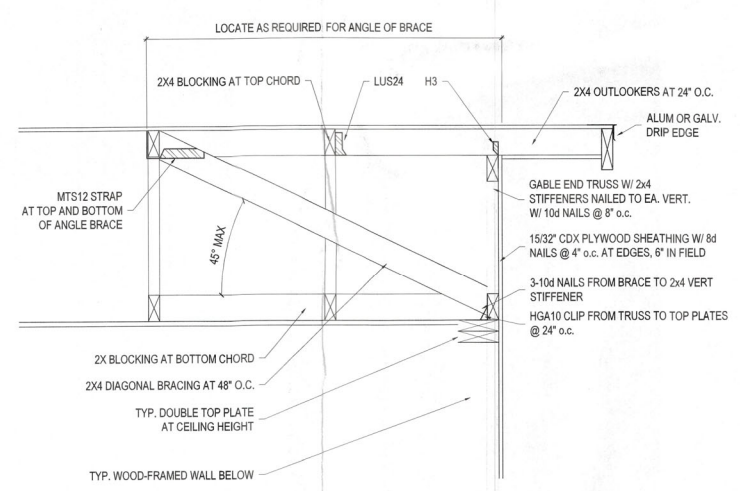


PROJECT # 23061
DATE: March 31, 2022
DRAWN BY: JGO

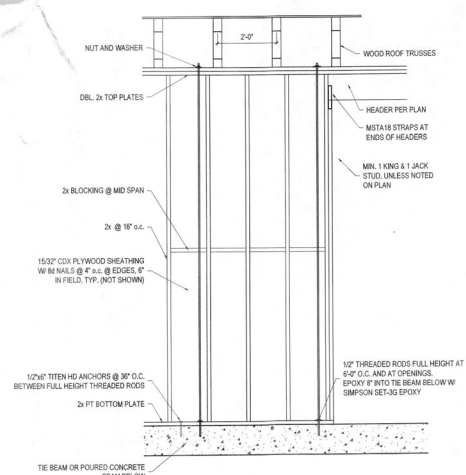
S7.0



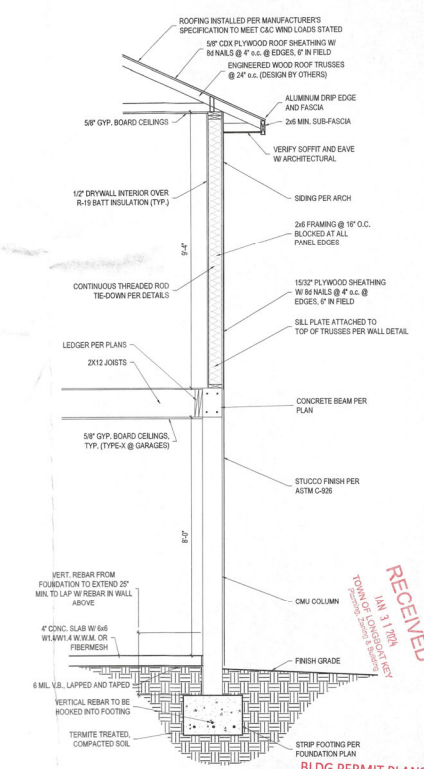
2.5 UPSET BEAM DETAIL
S7.0 SCALE: 1/2" = 1'-0"



3 GABLE BRACING DETAIL
S7.0 SCALE: 1/2" = 1'-0"



2 TYPICAL WOOD LB WALL SECTION
S7.0 SCALE: 1/2" = 1'-0"



1 NEW TYPICAL WALL SECTION
S7.0 SCALE: 1/2" = 1'-0"

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DATE OF RECEIPT: 04/04/2022