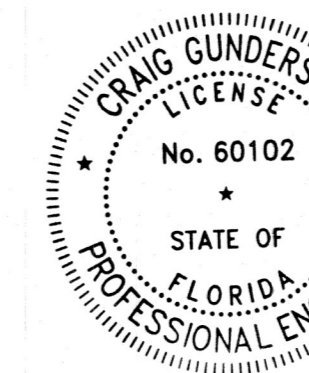


AS-BUILT & DEMOLITION PLAN

1ST FLOOR - PROPOSED OFFICE BATHROOM PLAN



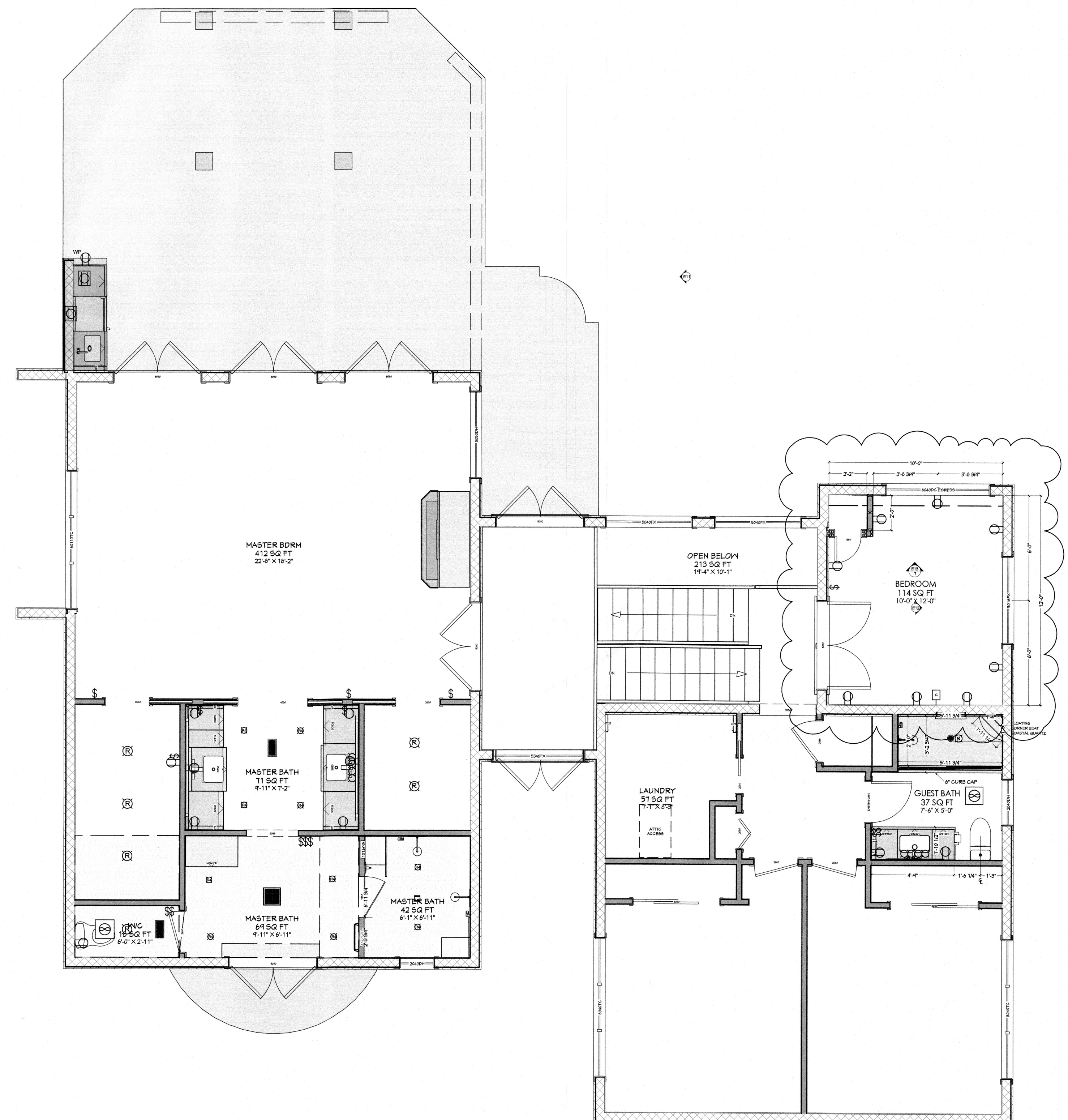
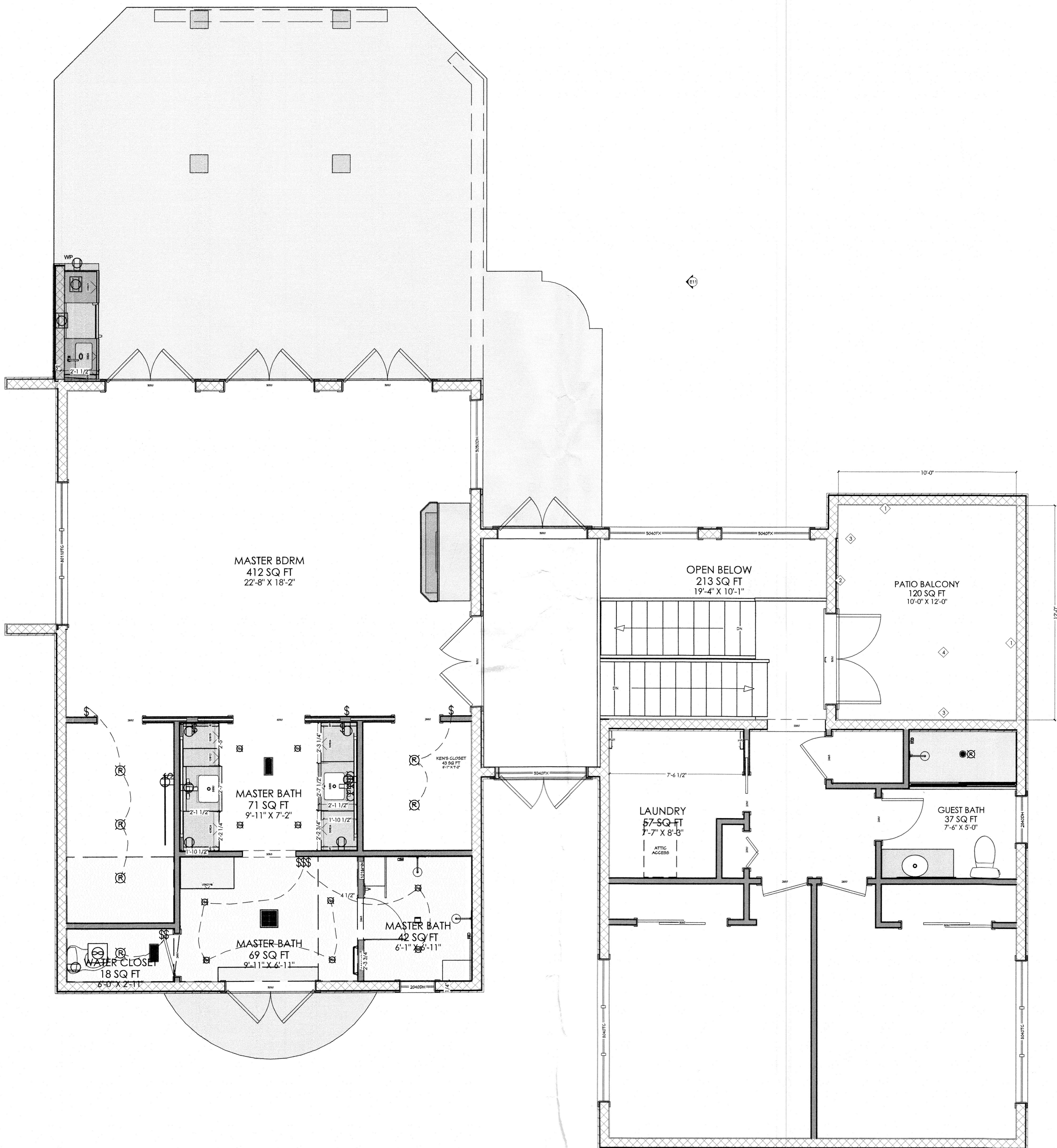
I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2020 7th EDITION FLORIDA BUILDING CODE. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD. THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2020 7th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

Craig E. Gundersen, P.E.

Date: JUL 21 2023

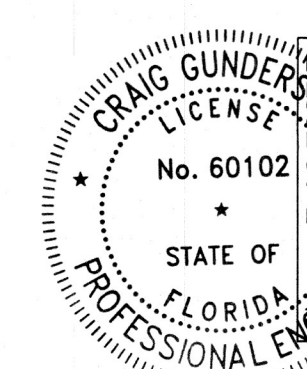
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- Planning, Zoning & Building





2ND FLOOR - EXISTING BEDROOM PLAN

2ND FLOOR - PROPOSED BEDROOM PLAN



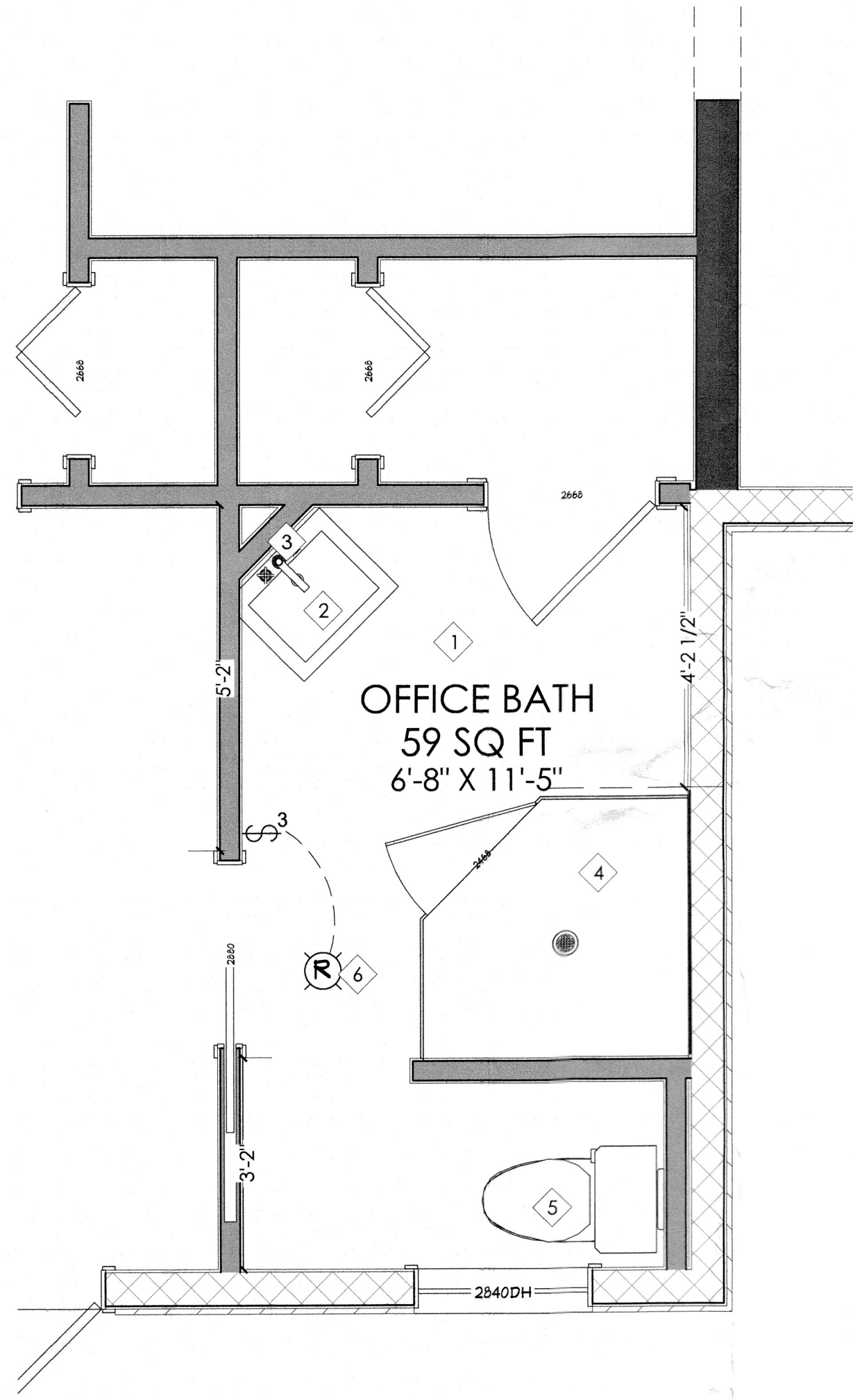
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Craig Gundersen, P.E.
 No. 60102
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 JUL 21 2023
 Date:

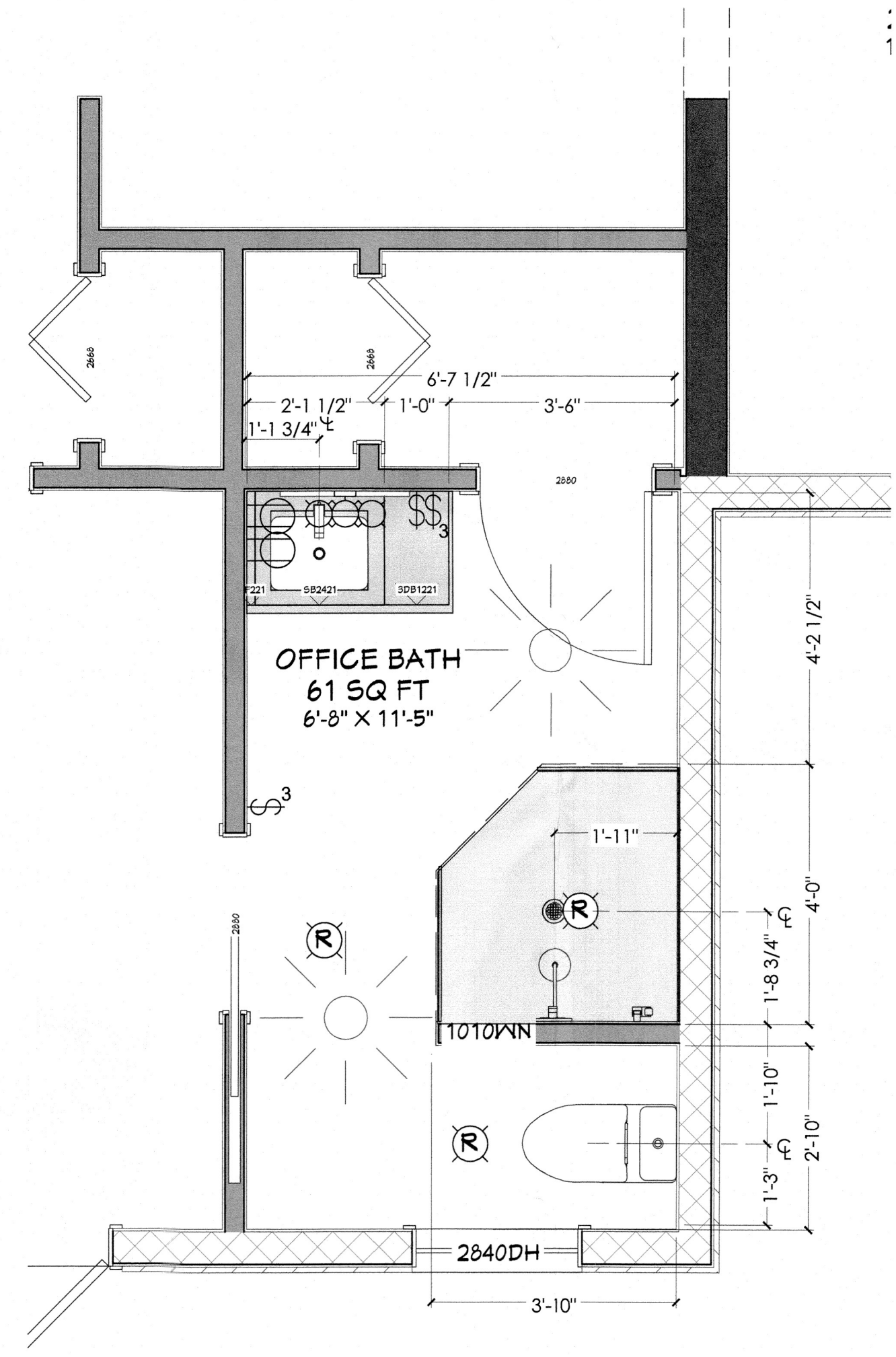
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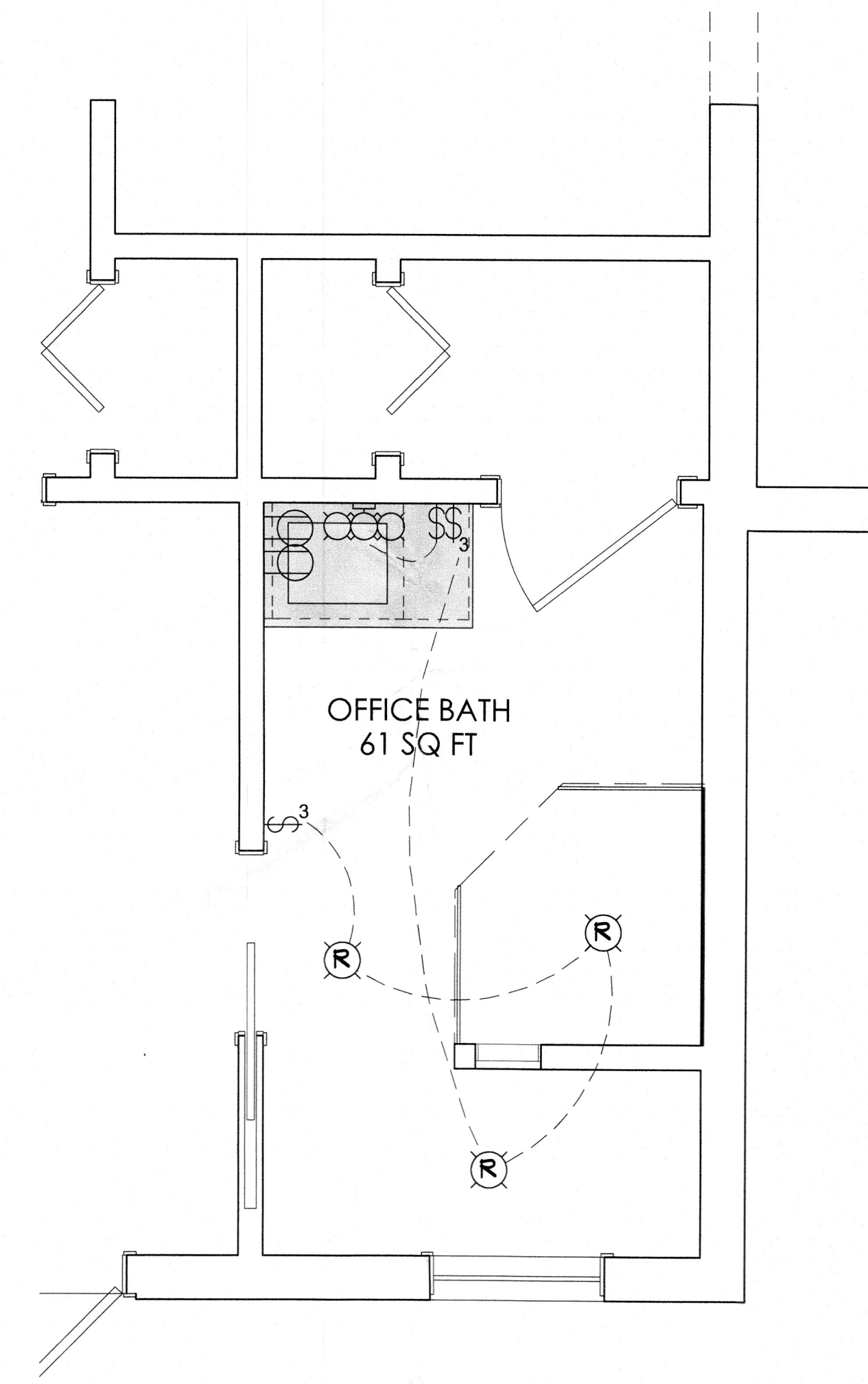
ELECTRICAL SCHEDULE		
SYM	QTY	DESCRIPTION
(R)	1	RECESSED DOWN LIGHT 4
(D)	9	DUPLEX (DECORATOR)
(S)	3	SWITCH (DECORATOR)
(B)	1	BRYANT SCONCE 4
(E)	1	EXHAUST
(C)	1	CABLE JACK



1ST FLOOR - AS BUILT & DEMOLITION PLAN
 1/2" = 1'-0"

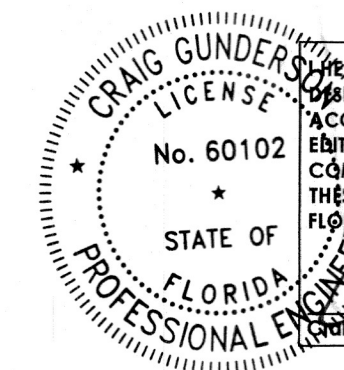


1ST FLOOR - PROPOSED PLAN
 1/2" = 1'-0"



1ST FLOOR - ELECTRICAL PLAN
 1/2" = 1'-0"

DEMOLITION NOTES - 1ST FLOOR	
◇	TILE FLOOR TO REMAIN - DO NOT REMOVE
◇	REMOVE PEDESTAL SINK, FIXTURES, DRAIN, SUPPLIES & CAP
◇	REMOVE NON-BEARING CORNER WALL FRAMING & PLUMBING STACK
◇	REMOVE EXISTING SHOWER BASE, GLASS ENCLOSURE, SHOWER DOOR, PLUMBING FIXTURES & CAP
◇	REMOVE TOILET
◇	REMOVE CEILING MOUNTED LIGHT FIXTURE

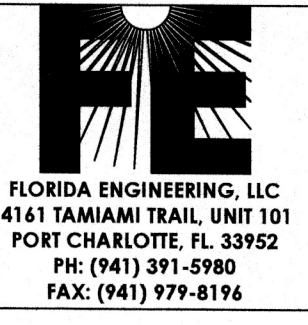


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Craig E. Gunderson, P.E.
 No. 60102
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

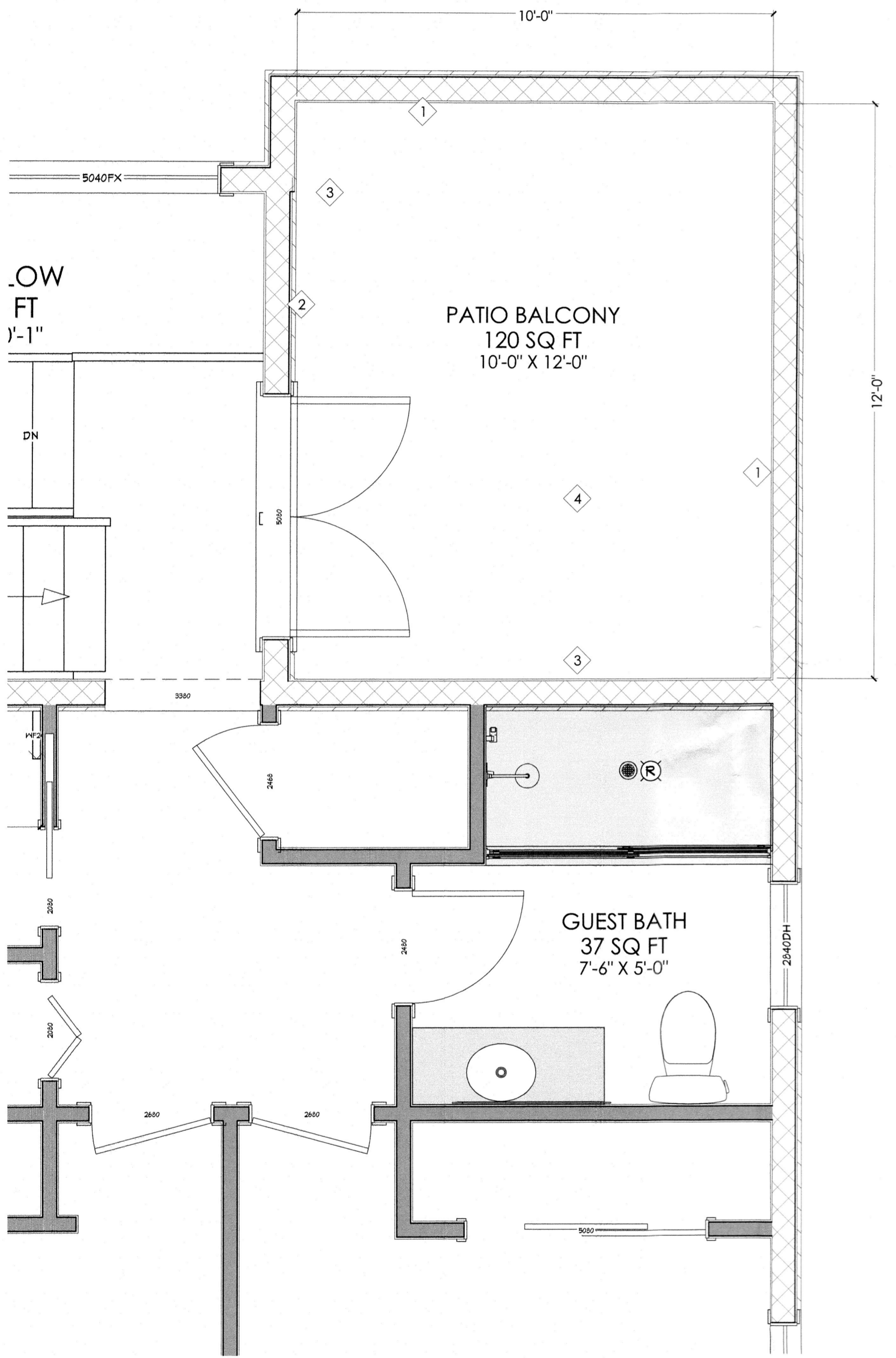
JUL 21 2023
 Date:

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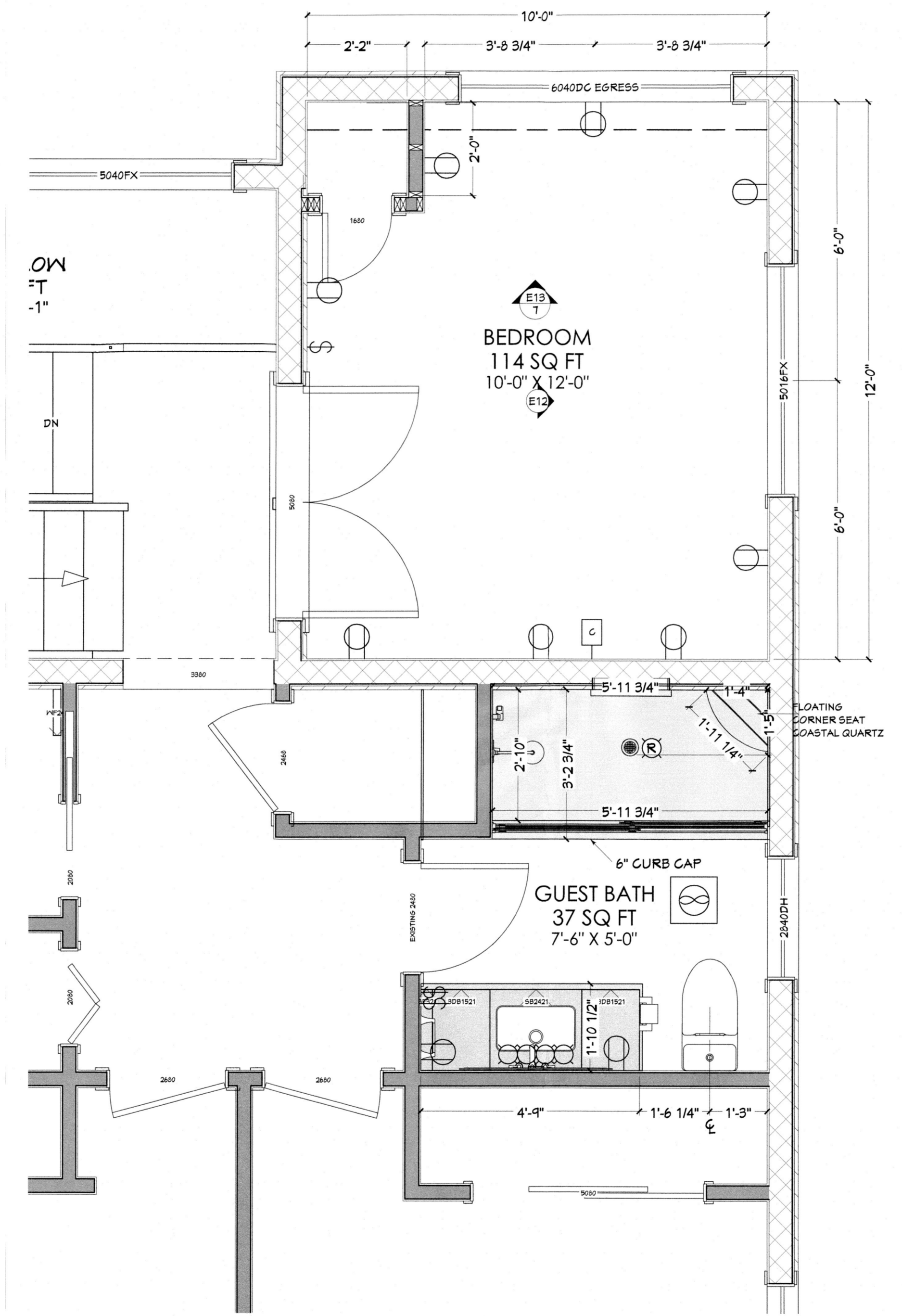


DEMOLITION NOTES - 2ND FLOOR	
1	REMOVE RAILING & PATIO WALL CAP
2	REMOVE WALL SCONCE LIGHT FIXTURE, EXTERIOR AMBIANCE LIGHTING & CAP
3	REMOVE SOFFIT, FASCIA, RAFTER TAILS & ROOFING MATERIALS AS NEEDED FOR ROOF TIE-IN
4	REMOVE PATIO FLOOR TILES

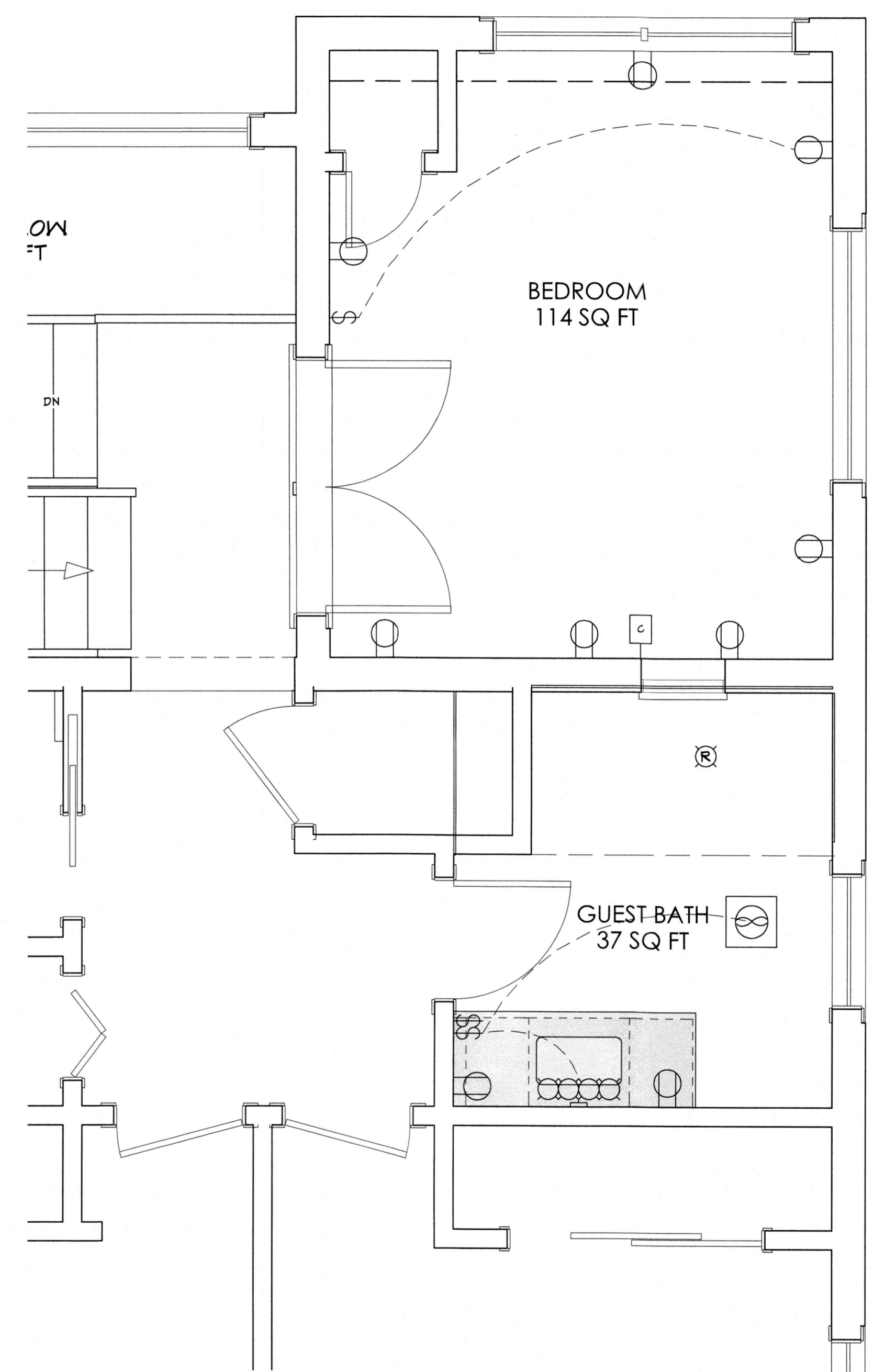
ELECTRICAL SCHEDULE		
SYM	QTY	DESCRIPTION
(R)	1	RECESSED DOWN LIGHT 4
(D)	9	DUPLEX (DECORATOR)
(S)	3	SWITCH (DECORATOR)
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(E)	1	EXHAUST
(C)	1	CABLE JACK



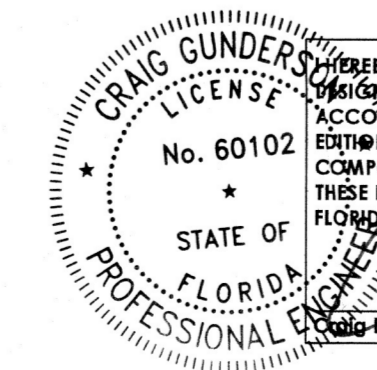
2ND FLOOR - AS-BUILT & DEMOLITION PLAN



2ND FLOOR - PROPOSED BEDROOM



2ND FLOOR - ELECTRICAL PLAN

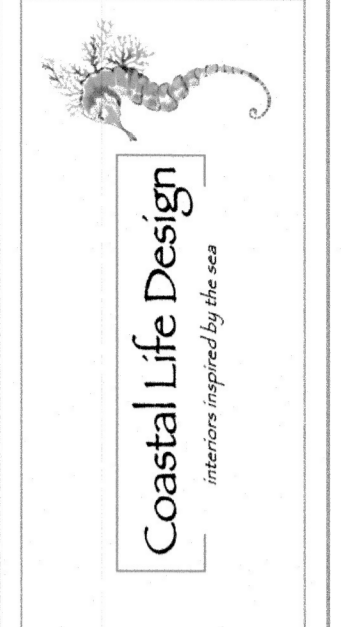


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Date: JUL 21 2023

Craig Gunders, P.E.

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AUG 02 2023
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PROJECT NAME & SITE INFORMATION:
BEDROOM ADDITION
795 MARBURY LANE
LONGBOAT KEY, FL 34228

PROJECT DESCRIPTION:
2ND FLOOR - AS-BUILT & PROPOSED

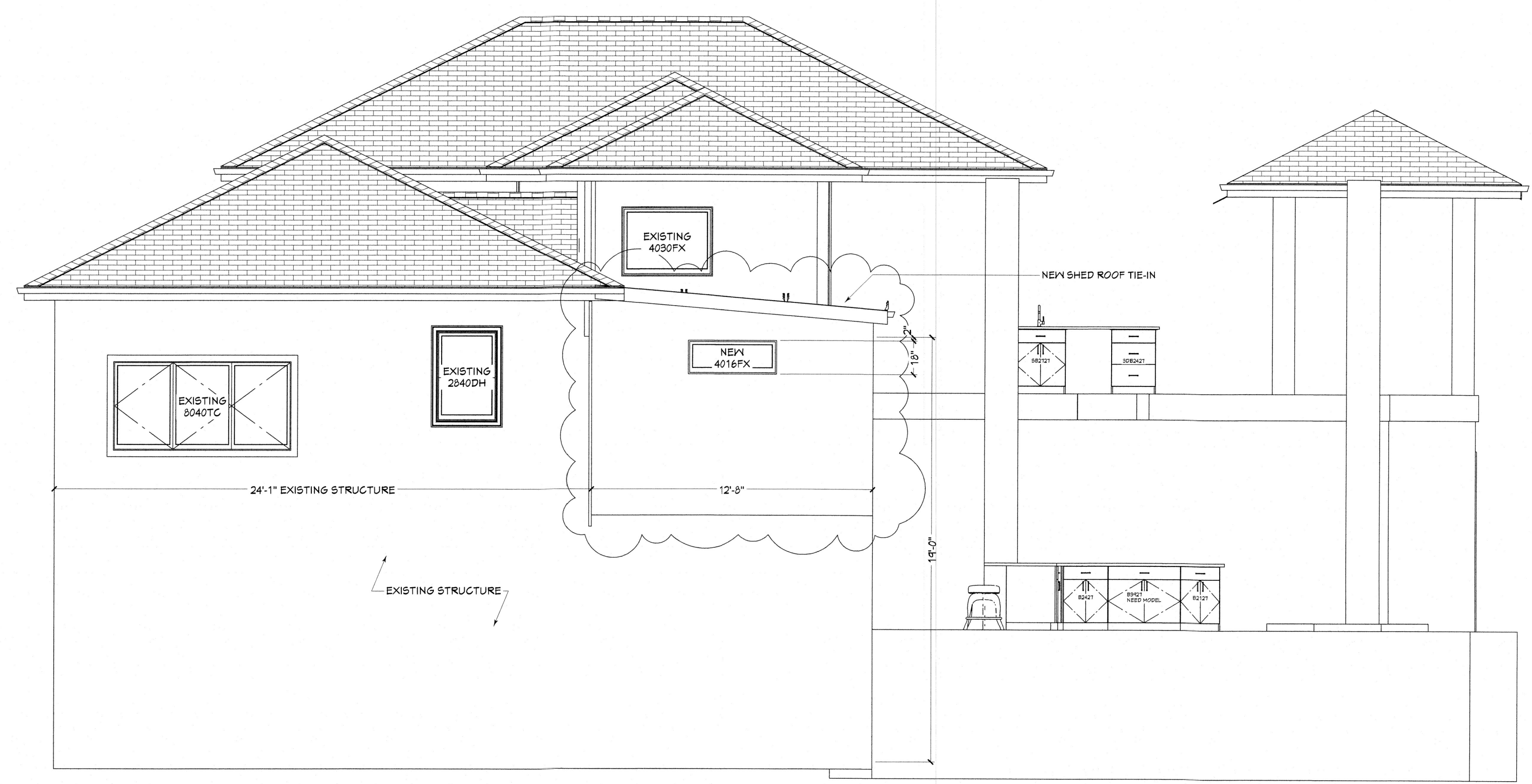
DESIGNED FOR:
BROWN RESIDENCE

REVISION:
7/17/23

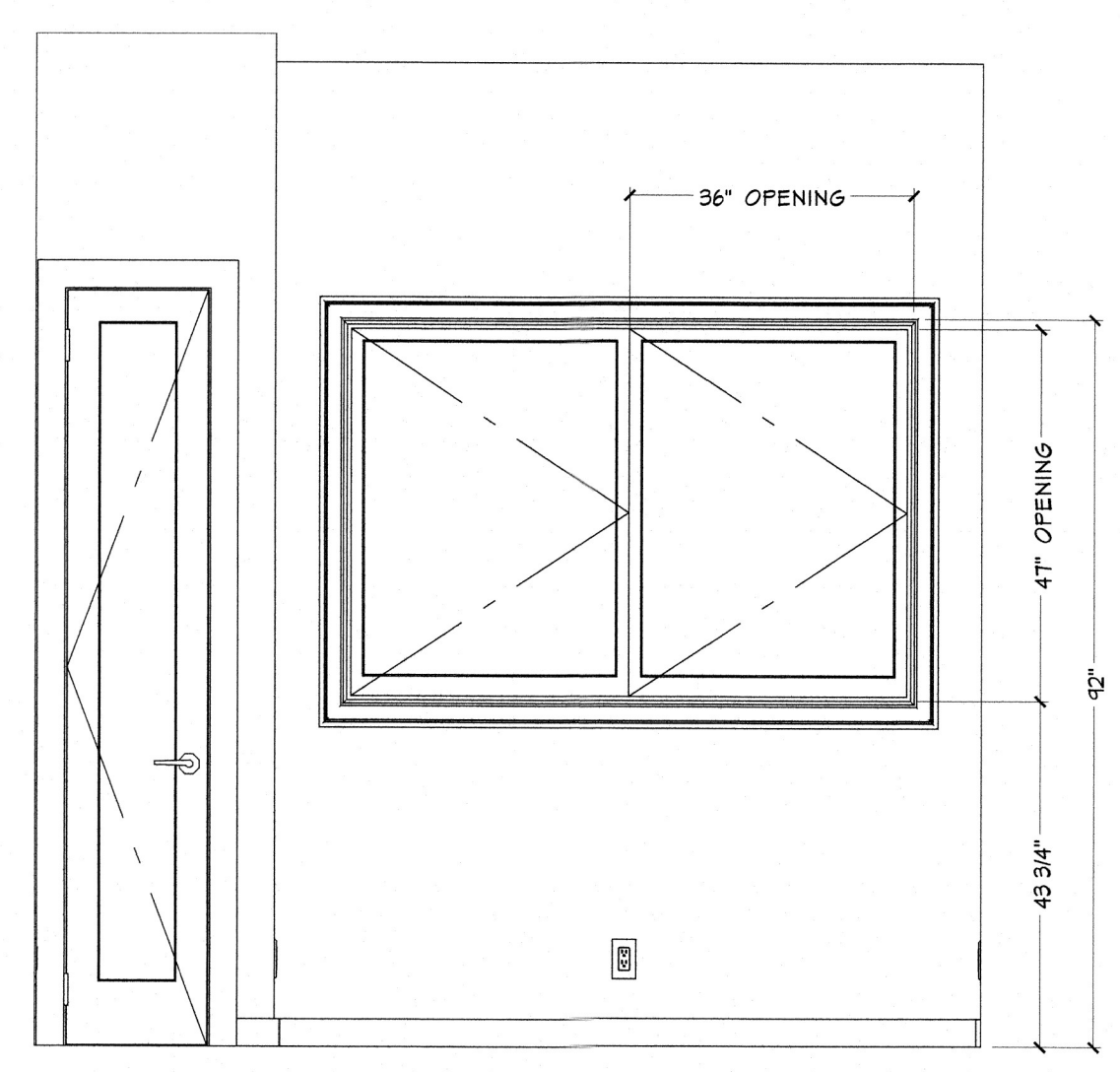
SCALE:
1/4" = 1'-0"

SHEET:
A-6

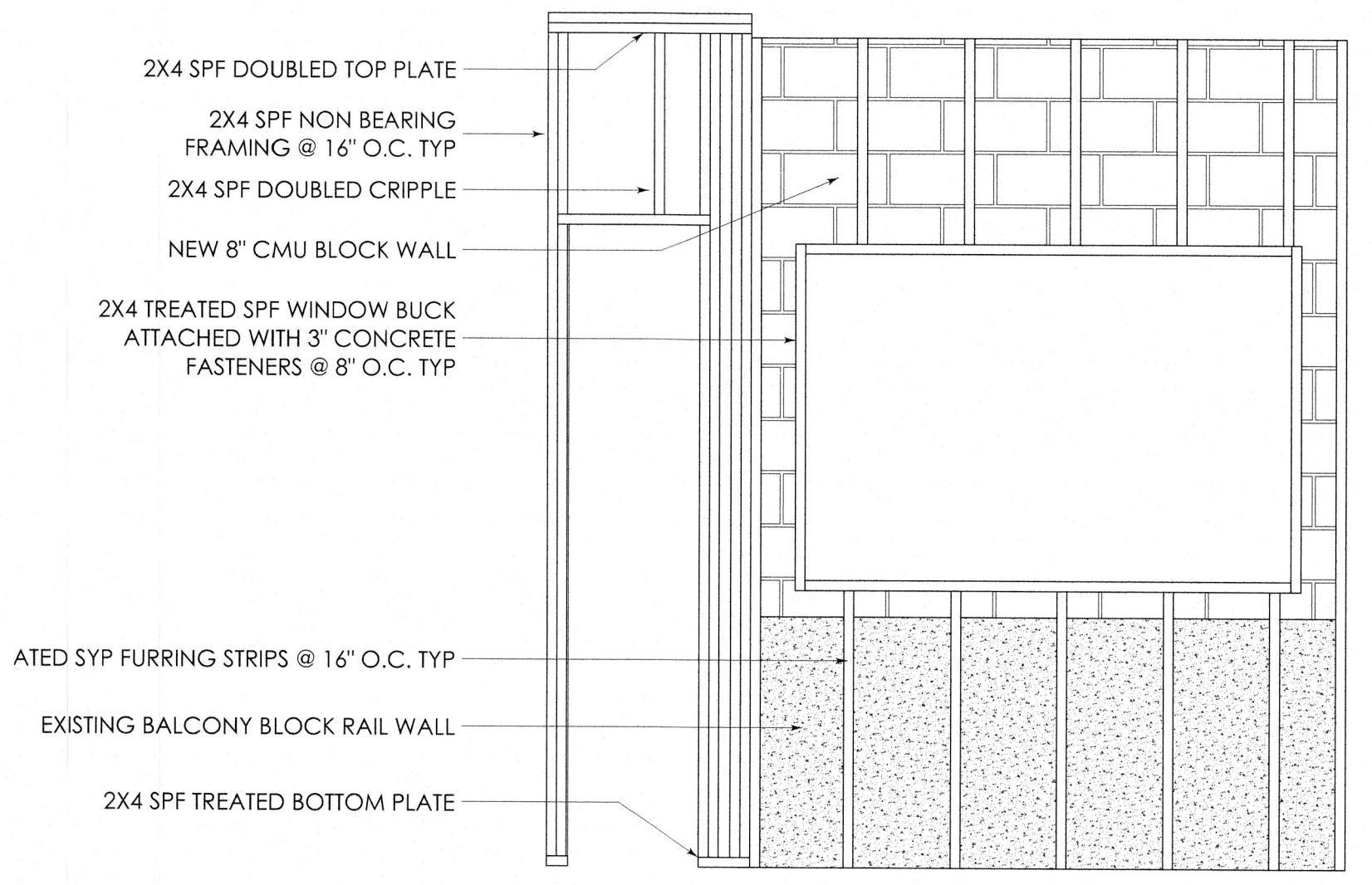
REVISION TABLE		
8/15/23	DAYLIGHT PLANE	UPDATED DYALIGHT PLANE TO PRESCRIBED 56 DEGREE
8/17/23	RENAME	DESIGN FLOOD PLANE
8/17/23	DIMENSION	ADDED OVERALL ELEVATION DIMENSION



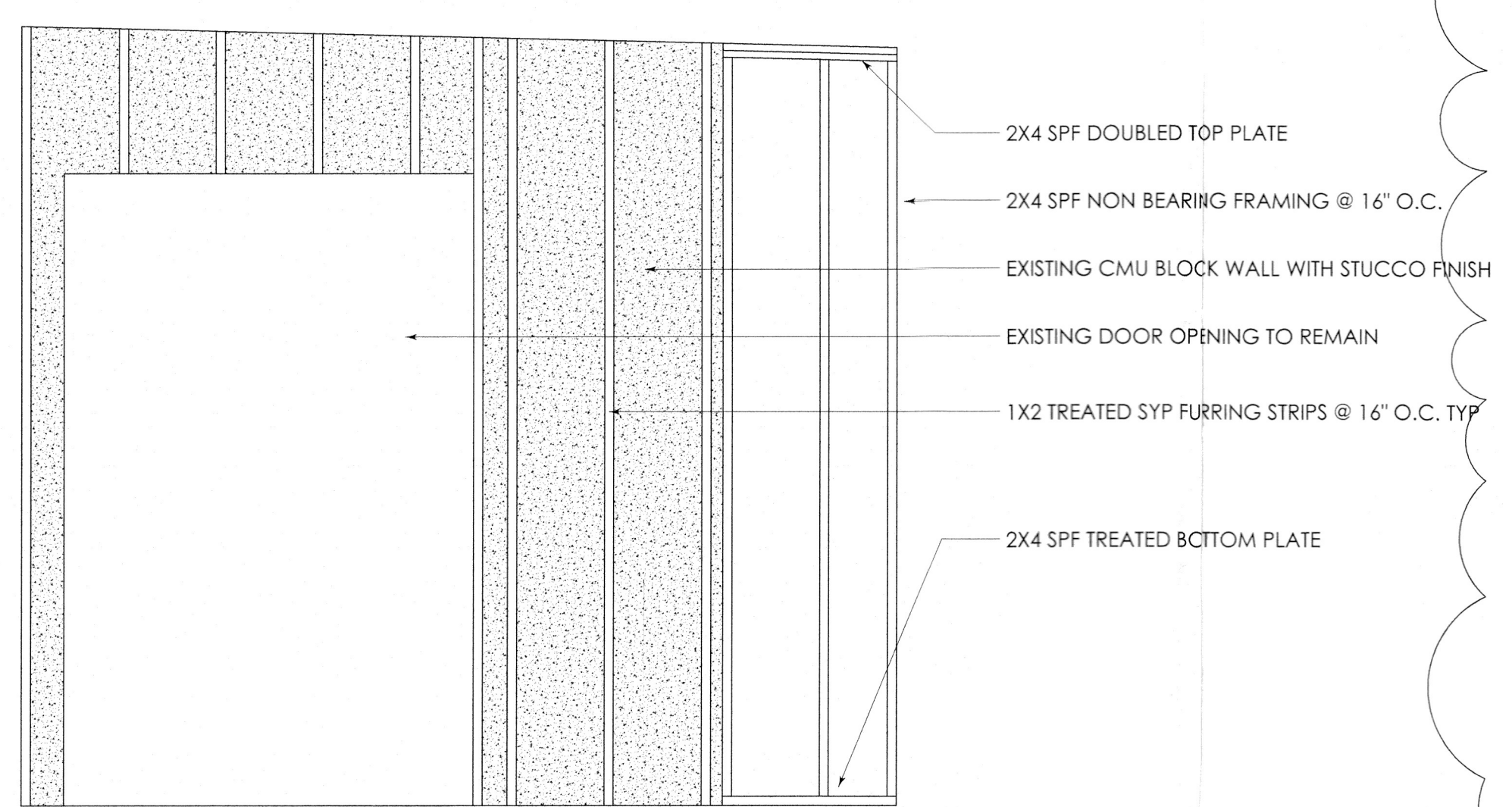
NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



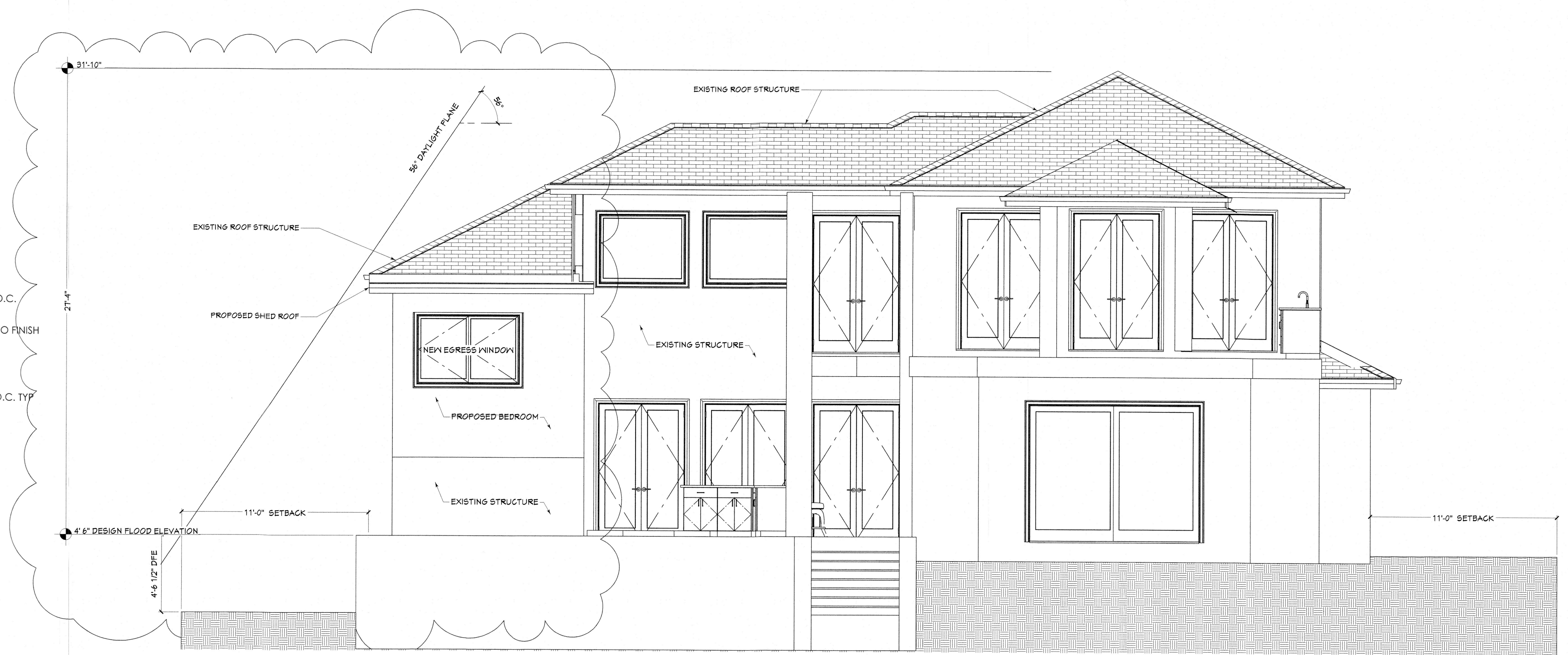
BEDROOM ESCAPE ELEVATION
1/4" = 1'-0"



ELEVATION - BEDROOM CLOSET FRAMING
1/4" = 1'-0"

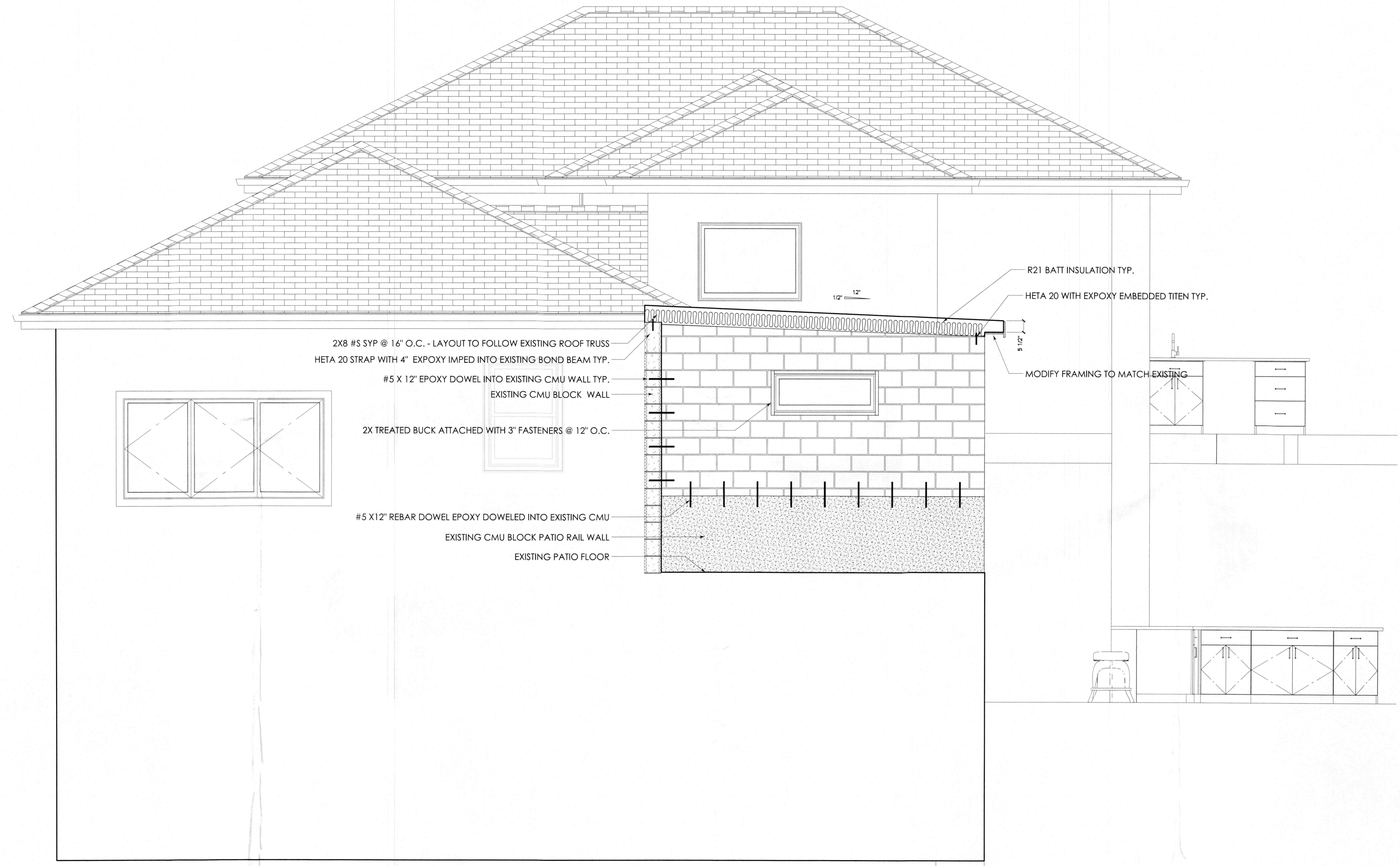


ELEVATION - BEDROOM CLOSET FRAMING
1/4" = 1'-0"



NORTH WEST DAYLIGHT PLANE
1/4" = 1'-0"

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 TOWN OF LONGBOAT KEY
 Planning, Zoning & Building



NORTHEAST DETAIL ELEVATION
 1/2" = 1'0"

DESIGNED BY: **CRAIG GUNDERSON**
 LICENSE NO. 6010
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

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Date: **JUL 21 2023**

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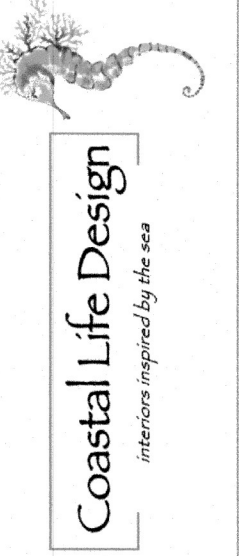
FLORIDA ENGINEERING, LLC
 4161 TAMAMI TRAIL, UNIT 101
 FORT CHARLOTTE, FL 34952
 PH: (941) 391-5980
 FAX: (941) 979-8196

BEDROOM ADDITION –

- Scaffolding;
- Pour concrete to bring existing floor level with interior house floor;
- Build CMU block exterior walls with #5 rebar. Fill cells with concrete as shown in engineered plans;
- Frame flat roof, ceiling and closet;
- Block wall for TV;
- Soffit and drip edge to match existing;
- Install gutters to match existing;
- Johns Manville Appex 4.5m membrane roof syem with 20 year warranty;
- Add R-38 batt insulation at new roof;
- Add foam insulation at new block walls;
- Stucco exterior walls to match existing texture;
- Install mini-split vent – York 16 SEER 1 ton unit;
- Install outlets, cable outlet, and switches as shown on plan with white wall plates;
- Add junction box for new fan location as shown on plan;
- Install drywall, tape, texture and prepare for paint;
- Install new bypass closet door with hardware, fixed shelves on right side, hanging storage at left;
- Install PGT bronze vinyl impact rated fixed window (east wall) and double casement window (north wall);
- Install window trim and stain to match existing;
- Add interior trim to match existing at French doors and stain to match;
- Install Carlise Engineered Wood Flooring in Studio Back Bay;
- Install baseboards to match existing profile and stain to match;
- Paint exterior stucco to match existing. Owner to provide color to match

OFFICE BATHROOM (FLOOR REMAINS)

- Frame two (2) vertical stacked 12x12" niches. Waterproof and prepare for tile;
- Frame new wall at corner;
- Relocate plumbing stack and sink supplies;
- Add plumbing lines for handheld and valve;
- Install 4" tile in drain at existing location;
- Install one (1) Kohler Caxton rectangle sink in white porcelain finish;
- Install Delta Pivotal Pressure Balanced Shower System with Shower Head, Shower Arm, Hand Shower, Slide Bar, Hose, Valve Trim and MultiChoice Rough-In in matte black finish;
- Install Delta Ara single lever lavatory faucet in matte black finish;
- Install Swiss Madison St Tropez concealed skirt, one-piece toilet with matte black dual flush actuator (SM-1T254) and new wax ring at existing location;
- Connect new faucet supply lines at new location;
- Colton 3 light vanity sconce in matte black finish, at new location;
- Replace three (3) existing LED recessed lighting with neutral 6";
- Add double receptacle at new location, left side of vanity;
- Install drywall at relocated stack pipe wall and repair drywall at shower area;
- Install Durock at shower walls and waterproof;
- Install Woodharbor vanity and 3-drawer base with finished end, Stockman door style, Dew Drop low lustre finish;
- Calacatta 3cm polished quartz with eased edge profile on countertop with 4" backsplash, side splash, and niche sills;
- Install 2x2" Sublime Natural finish shower floor tile and inside double niche. Grout color TBD;
- Sublime 12x24" rectified matte porcelain tile stacked pattern on shower walls. Grout TBD;
- Install two (2) frameless glass shower panels coated with ClearShield with matte black u-clamps;
- Install owner provided Serena & Lily Bone Inlay Wall Mirror centered above sink;
- Five (5) contemporary pulls (546548900) in matte black finish on doors and drawers; Install Ara wall mounted single hook tissue holder, towel ring & 18" towel bar matte black finish



PROJECT NAME & SITE INFORMATION:
BEDROOM ADDITION
795 MARBURY LANE
LOAGBOAT KEY, FL 34228

PROJECT DESCRIPTION:
SCOPE OF WORK

DESIGNED FOR:
BROWN RESIDENCE

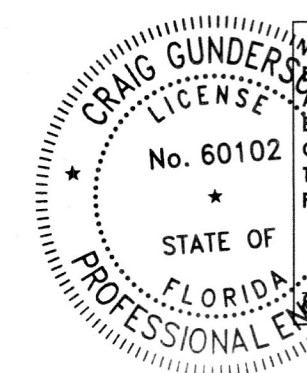
REVISION:
7/17/23

SCALE:
1/4" = 1'0"

SHEET:
A-9

RECEIVED

AUG 02 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building



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JUL 21 2023
Date:

DESIGN DATA

FBC - 2020 7th EDITION
(150- EXPOSURE D)
WINDBORNE DEBRIS AREA YES
V(UH) ULTIMATE DESIGN WIND SPEED 150 MPH
V(ASD) NOMINAL DESIGN WIND SPEED 116 MPH
RISK CATEGORY II
SURFACE ROUGHNESS D
DESIGN ENCLOSED
INTERNAL PRESSURE COEFFICIENT (+/-) 0.18
HEIGHT & EXPOSURE COEFFICIENT ADJUSTMENT FACTOR = 1.66

COMPONENTS AND CLADDING

ROOF SLOPE (7-20 DEGREES)	DESIGN PRESSURE PSF
ZONE 1	30.1 -67.7
ZONE 2	30.1 -88.2
ZONE 2a, 3	30.1 -95.0
WALL	
ZONE 4	43.0 -46.0
ZONE 5	43.0 -57.0

GARAGE DOOR:
9'x7' 40.4 -43.7
16'x7' 40.4 -54.0
SOFFIT PRESSURES TO BE SAME AS WALL PRESSURES

h = 30 FT
q = 4 FT

LOADING	LIVE	(FLOOR)	40	PSF
	LIVE LOAD (ROOF)	20	PSF	
SOIL BEARING CAPACITY 2,000 PSF ASSUMED				

GENERAL NOTES:

THE CONTRACTOR/OWNER IS TO VERIFY ALL SITE CONDITIONS, PROPERTY DIMENSIONS, AND PRODUCT AVAILABILITY. OPENINGS FOR WINDOWS AND DOORS AND ATTACHMENT REQUIREMENTS, DIMENSIONS OF PRODUCTS, INCLUDING APPROVED MANUFACTURERS ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE SECTION 1609 SUPPLEMENTS, AND ASCE7-16. ENGINEERING DESIGNS PROVIDED IN THESE DETAIL SPECIFICATIONS REPRESENT THE MINIMUM DESIGN CRITERIA FOR CONSTRUCTION TO THE CODES IDENTIFIED ABOVE. ANY PRODUCT OR MATERIAL SUBSTITUTION IS PERMITTED AS LONG AS THE SUBSTITUTION IS EQUAL TO OR GREATER THAN THE ORIGINAL SPECIFIED PRODUCT. ALL TESTING DATA OR PRODUCT VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR THE ENGINEER HAS NOT PROVIDED REVIEW OF SUCH MATERIAL UNLESS OTHERWISE SPECIFIED. THE PRESUMPTIVE LOAD-BEARING VALUES OF THE FOUNDATION MATERIALS IS TO BE 2000PSF BASED ON THE TABLE R401.4.1, FBC2020. ENGINEER HAS NOT PROVIDED ANY JOB SITE INSPECTIONS UNLESS SPECIFICALLY ARRANGED. CLADDING PRODUCTS ARE TO BE INSTALLED TO THE MANUFACTURERS SPECIFICATIONS, AND TO COMPLY WITH THE 2020 FLORIDA BUILDING CODE 7th EDITION w/SUPPLEMENTS, AND ASCE7-16 THE CONTRACTOR IS TO PROVIDE ANY INSTALLATION GUIDELINES OR PRODUCT TESTING REQUIRED BY THE BUILDING OFFICIAL IF REQUESTED. ALL CONSTRUCTION WORK AND DESIGN IS SUBJECT TO THE REVIEW AND INTERPRETATION OF THE BUILDING OFFICIALS. CONTRACTOR ACKNOWLEDGES THAT ADDITIONAL ENGINEERING DETAILS, AND/OR REQUIREMENTS MAY BE REQUESTED/REQUIRED BY THE PERMITTING AUTHORITY HAVING JURISDICTION, AND SUCH REQUIREMENTS MAY ALTER THE ORIGINAL PROPOSED DESIGN THESE ADJUSTMENTS COULD SUBJECT THE CONTRACTOR TO ADDITIONAL EXPENSES WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. HOMEOWNER ASSOCIATION, DEED RESTRICTIONS AND ZONING REQUIREMENTS, ETC ARE THE RESPONSIBILITY OF THE CONTRACTOR AND NO VERIFICATION OR COMPLIANCE IS EXPRESSED OR IMPLIED BY THE ENGINEER. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE WHEN CONSTRUCTION IS COMPLETE THE CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF SUCH TO PROVIDE SAFETY OF WORKERS, THE BUILDING AND ALL COMPONENTS OF THE BUILDING ALL TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FROM THE STRUCTURE OR BUILDING TO ALL APPLICABLE CODES AND ORDINANCES. SITE DRAINAGE IS ALSO THE CONTRACTORS RESPONSIBILITY THE ENGINEER HAS ACKNOWLEDGED NO REVIEW, COMMENT OR COMPLIANCE. NO ENVIRONMENTAL STUDIES HAVE BEEN PERFORMED BY THE ENGINEER, AND IF REQUIRED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN OF ALL PRE-ENGINEERED ROOF TRUSSES INCLUDING GIRDERS FLOOR TRUSSES, AND ALL BEAMS ARE TO BE DESIGNED TO MEET THE 2020 FBC w/SUPPLEMENTS AND ASCE 7-16 THE DESIGN IS TO INDICATE THE FLORIDA REGISTERED ENGINEER WHO DESIGNED THEM AND BEAR THE SEAL OF SUCH ENGINEER ALL LATERAL AND CROSS BRACING REQUIRED IS TO BE SPECIFIED BY THE DESIGNER. THE TRUSS OR FLOOR SYSTEM DESIGN SHALL NOT EXERT LATERAL LOADS ON ANY WALL SYSTEM, INTERIOR OR EXTERIOR THE DESIGN IS TO ALSO INDICATE THE MAGNITUDE OF THE LOADS AND ANY PROVISIONS REQUIRED, THE CONTRACTOR ASSUMES THE RESPONSIBILITY OF REVIEW OF THE PRE-ENGINEERED SYSTEMS AND ANY COMPLIANCE NECESSARY ANY DEVIATION FROM THE PROPOSED DESIGNS MAY REQUIRE ADDITIONAL REVIEW AND MODIFICATION ALL PERMANENT TRUSS BRACING, IN ADDITION TO TRUSS BRACING SPECIFIED BY THE TRUSS ENGINEER SHALL BE INSTALLED PER THE DETAIL IN THESE SHEETS, & IN ACCORDANCE TO BWT-76 & HB-91. CONCRETE IS TO BE INSTALLED TO THE LATEST PUBLICATIONS OF THE ACI MANUALS THE ENGINEER DOES NOT WARRANT THE SLAB, ANY CONCRETE OR ANY MASONRY FROM CRACKING. CONCRETE BEAMS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED ALL CONCRETE PLACEMENTS SHALL BE IN ACCORDANCE WITH ACI 318. ALL MASONRY UNITS ARE TO BE INSTALLED PER FBC 2020 7th EDITION. ENGINEER OF RECORD MUST REVIEW & APPROVE TRUSS PLANS PRIOR TO THE START OF ANY CONSTRUCTION. FOUNDATION, BEARING WALLS, BEAMS, POSTS & TRUSS CONNECTORS ARE SUBJECT TO CHANGE BASED ON FINAL TRUSS PLANS.

CIA & SOFFIT VENTING:

MINIMUM 2"x4" SUB FASCIA NAILED TO TRUSS TAILS w/(2) 16d NAILS AT EACH TRUSS - (EACH PLY WHEN MULTIPLE TRUSS)
TYPICAL DRIP EDGE & SOFFIT/FASCIA INSTALLED TO MFG SPECIFICATIONS
SEE ALUMINUM ENGINEERING SPECIFICATIONS SUPPLIED BY OTHERS FOR FASCIA OR OVERHANG REQUIREMENTS WHEN SCREEN ENCLOSURES OR STRUCTURAL GUTTERS ARE DESIGNED TO BE ATTACHED TO FASCIA NO VENTING IF USING SPRAY FOAM INSULATION
SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2 (2) (2) . FOR HALLS SECTION R103.1
ANAI CEILING SPECIFICATION OPTIONS:
1/2" SAG RESISTANT GYPSUM BOARD OVER 1"x4" P.T. FURRING STRIPS NAILED @ 16" O.C. w/ (2) 8d NAILS EACH TRUSS
1/2" NOMINAL PLYWOOD OR OSB FASTENED w/ 8d NAILS 6" O.C. OR 3/8"x1-1/2" STAPLES 4" O.C.
5/8" SAG RESISTANT EXTERIOR DRYWALL.

APPLICABLE STANDARDS:

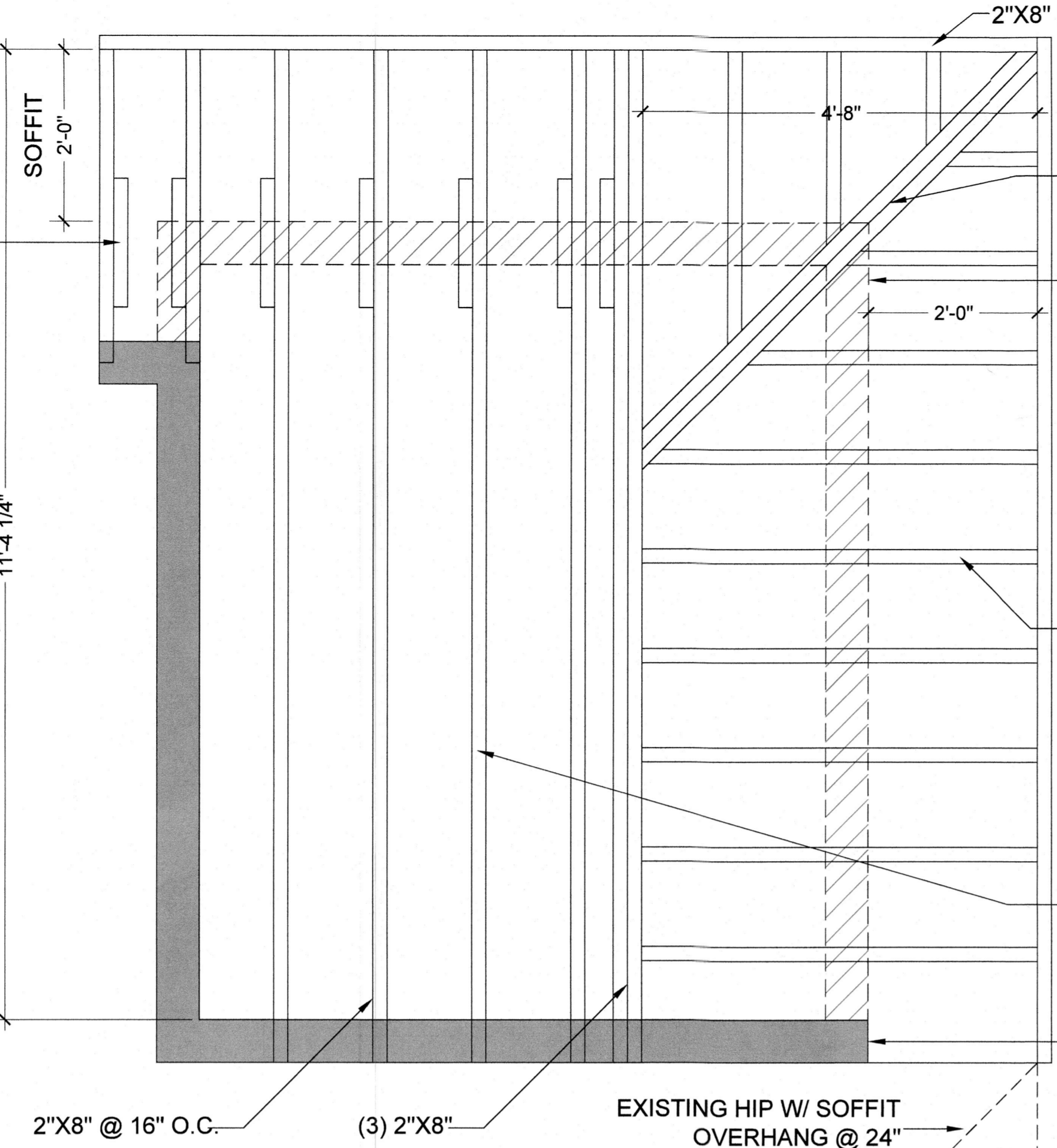
7-16. MIN. DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
18-14. BUILDING CODE REQUIREMENTS FOR STRUCTURAL RETE
STEEL CONSTRUCTION MANUAL (LATEST EDITION)
02/802-16: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
2018 NATIONAL DESIGN SPECIFICATION FOR WOOD W/ ALL ELEMENTS
2018 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC W/ ELEMENTS
01.1 STRUCTURAL WELDING CODE FOR STEEL (2020)
INUM DESIGN MANUAL 2020

APPLICABLE CODES :

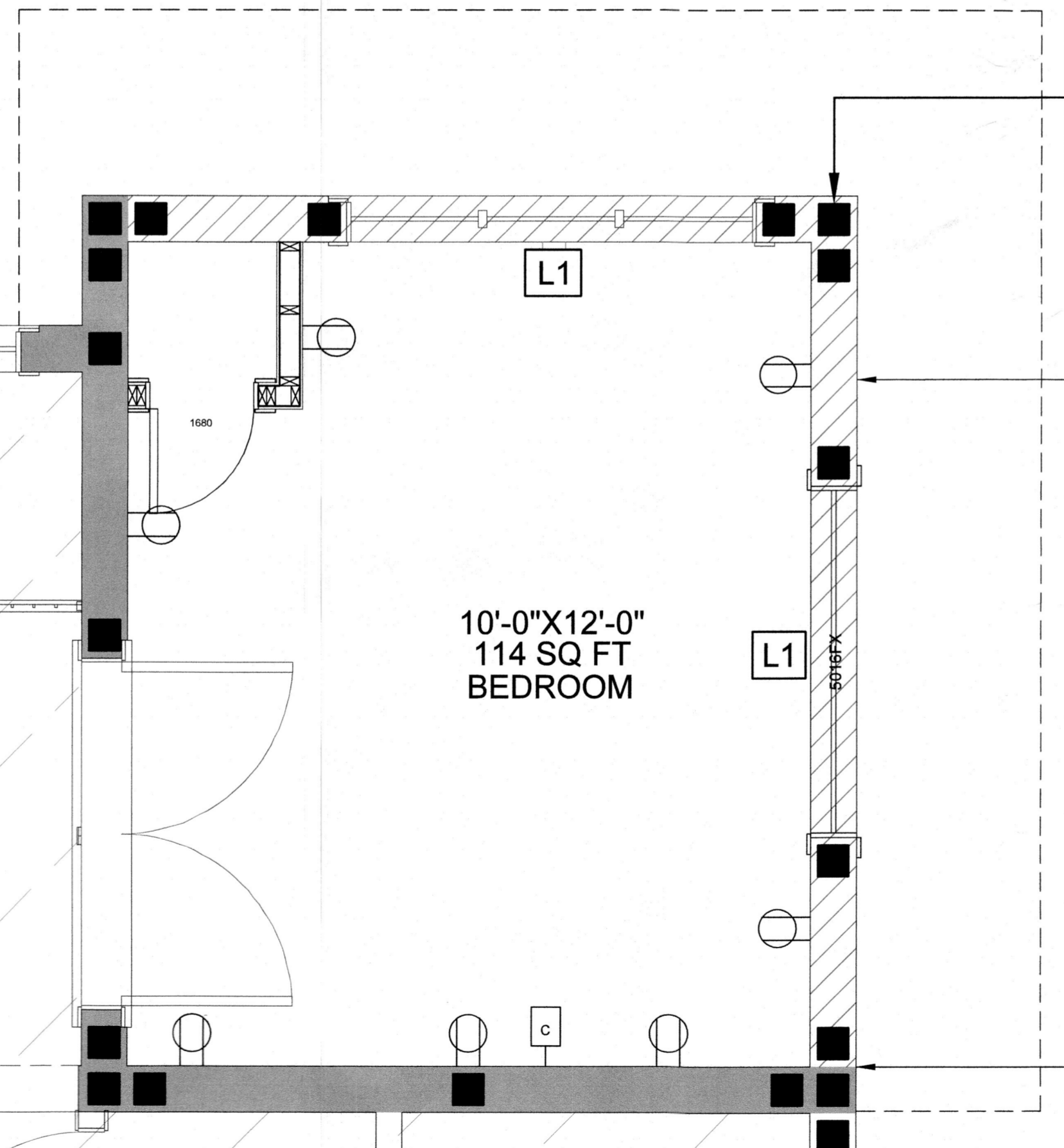
2020 FLORIDA BUILDING CODE , 7th EDITION
2020 FLORIDA BUILDING CODE , 7th EDITION, BUILDING STRUCTURES
2020 FLORIDA BUILDING CODE , 7th EDITION, EXISTING BUILDING STRUCTURES
2020 FLORIDA BUILDING CODE , 7th EDITION, MECHANICAL
2020 FLORIDA BUILDING CODE , 7th EDITION, PLUMBING
2020 FLORIDA BUILDING CODE , 7th EDITION, FUEL GAS
2020 FLORIDA BUILDING CODE , 7th EDITION, ACCESSIBILITY CODE
2020 FLORIDA BUILDING CODE , 7th EDITION, ENERGY CONSERVATION
2017 NATIONAL ELECTRIC CODE, NFPA 70
2018 NFPA 1 CODE / FFPF 6TH EDITION
2018 NFPA 101-LIFE SAFETY CODE

NAILS 2"x8" WITH MIN. 12" LENGTH TO EACH RAFTER. STRAPS TO BE WRAPPED OVER RAFTERS PER HETA 20 DETAIL.

NOTE:
- IF HETA20 NOT POSSIBLE, USE HTSM20
- USE DOUBLE STRAP WHEN A NEW RAFTER ENCOUNTERS A EXISTING TRUSS



ROOF FRAMING PLAN
N.T.S.



FLOOR PLAN
N.T.S.

LEGEND

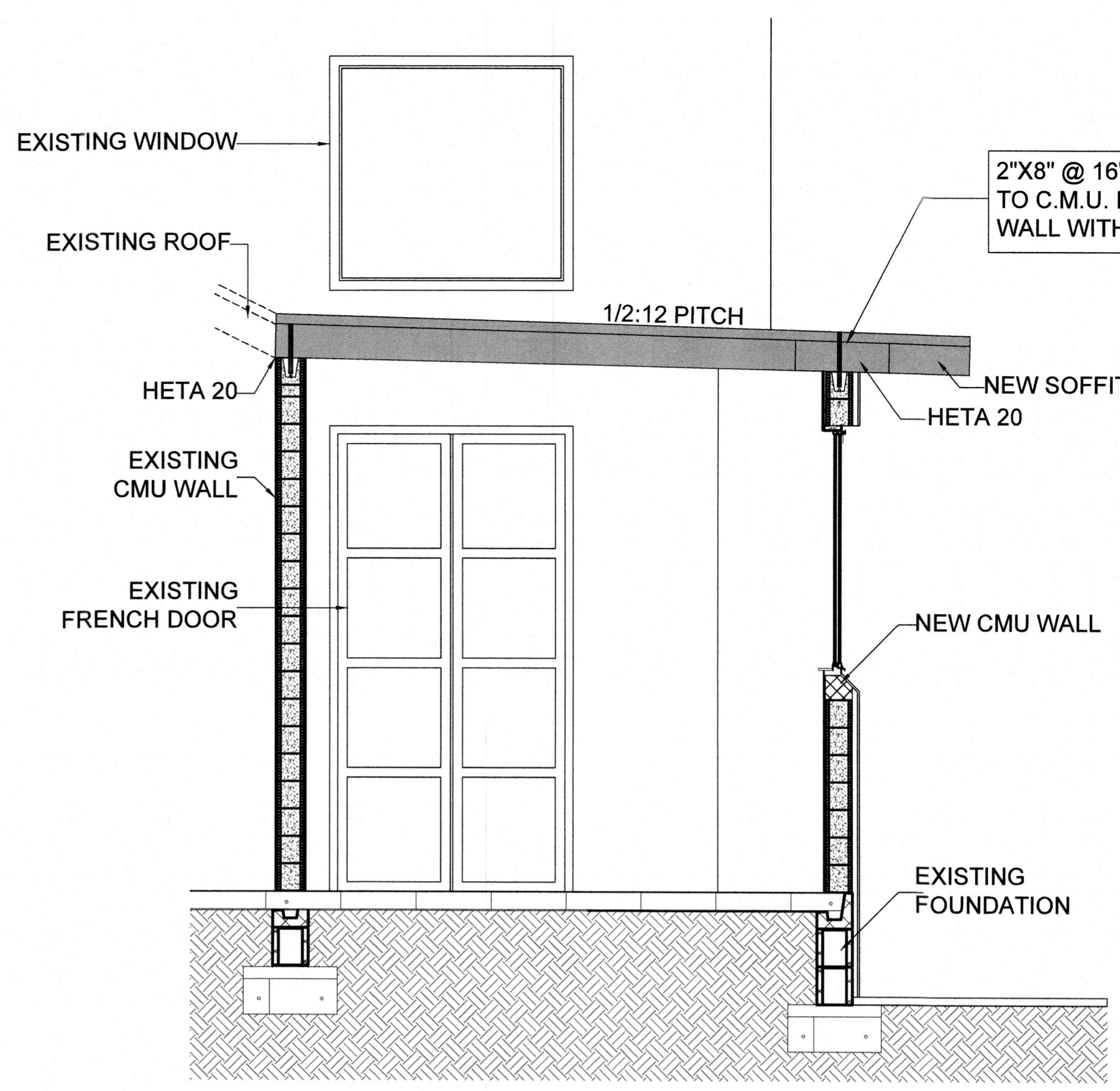
	EXISTING C.M.U. BLOCK WALL
	NEW C.M.U. BLOCK WALL

SCOPE OF WORK:
- ADD NEW C.M.U. BLOCK WALL AT MARKED AREA;
- ADD NEW ROOF AND CONNECT TO NEW C.M.U. BLOCK WALL WITH HETA20;
- 24in ROOF OVERHANG TO REMAIN;
- FASCIA TO MATCH EXISTING AT 6in;

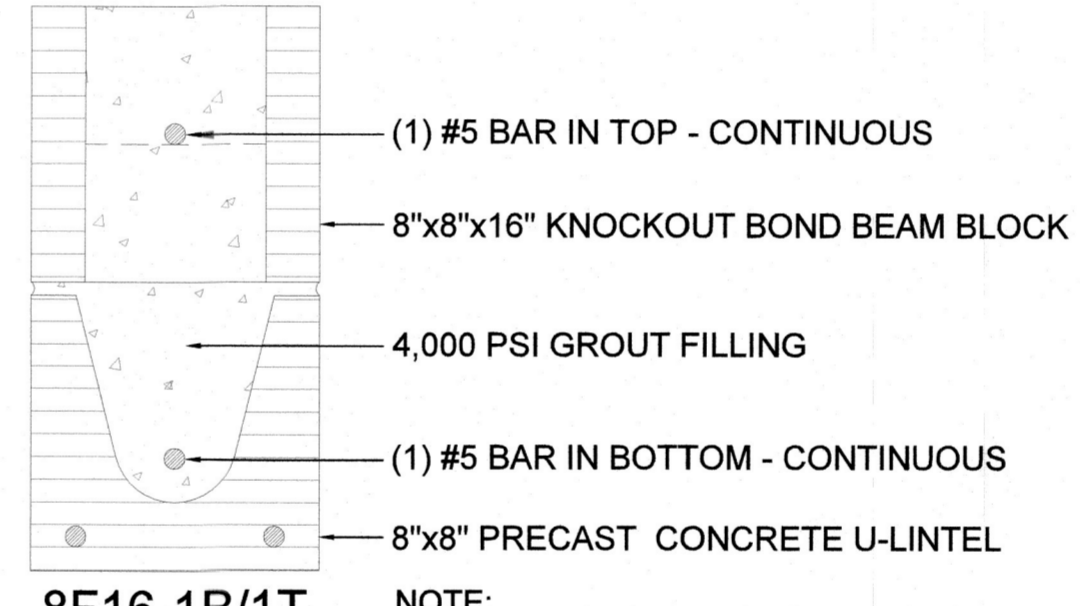
FILL CELL NEXT TO EVERY OPENING, CORNER, UNDER ALL GIRDERS, AND 48" ON CENTER.

NEW C.M.U. BLOCK WALL

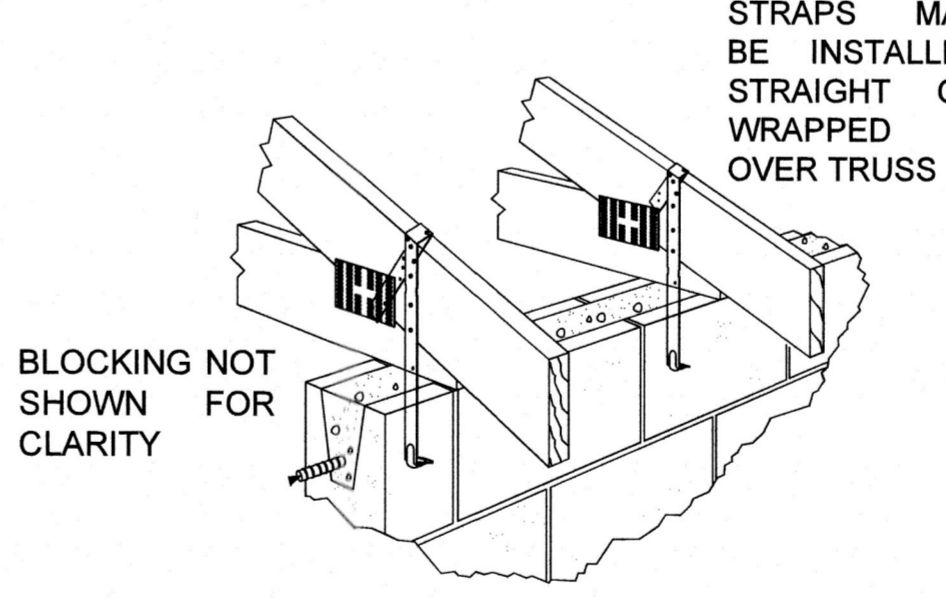
EXISTING C.M.U. BLOCK WALL



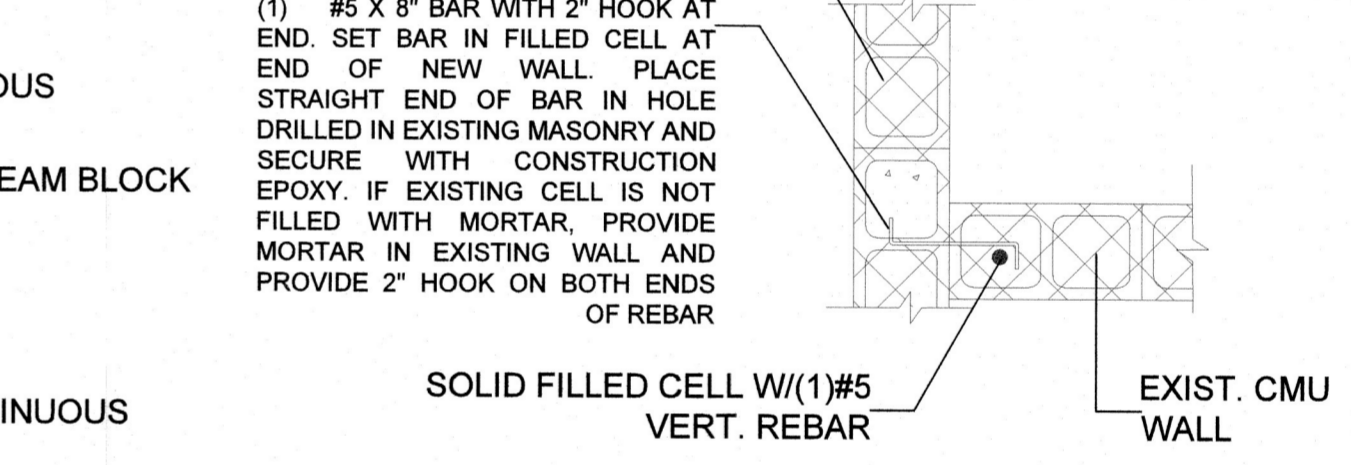
SECTION BUILDING
N.T.S.



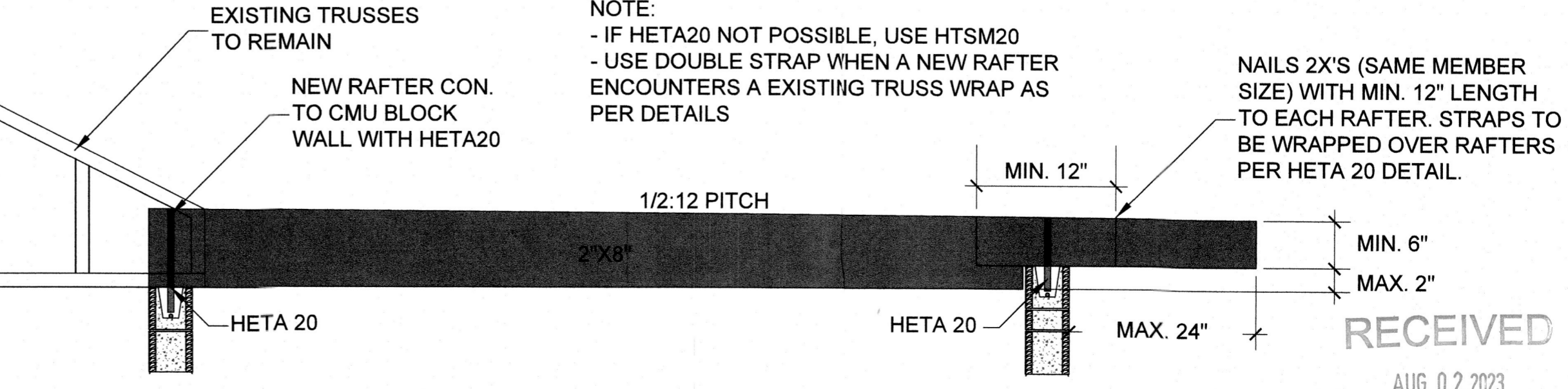
NEW CMU WALL TO EXIST CMU WALL CONNECTION
N.T.S.



HETA 20 DETAIL
N.T.S.

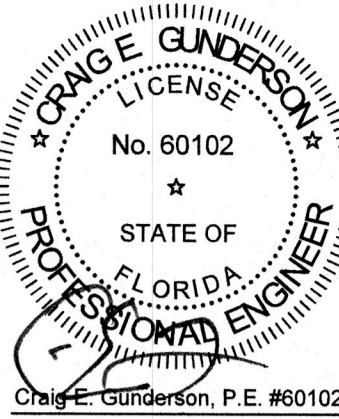


NEW TO EXISTING CMU WALL CONT
N.T.S.



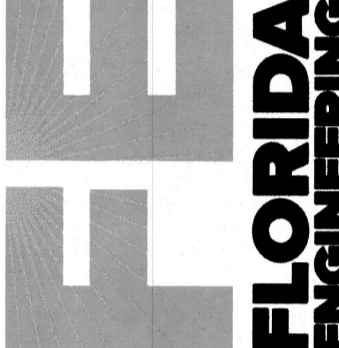
ROOF CONNECTION DETAIL
N.T.S.

NOTE:
- IF HETA20 NOT POSSIBLE, USE HTSM20
- USE DOUBLE STRAP WHEN A NEW RAFTER ENCOUNTERS A EXISTING TRUSS WRAP AS PER DETAILS
NAILS 2X'S (SAME MEMBER SIZE) WITH MIN. 12" LENGTH TO EACH RAFTER. STRAPS TO BE WRAPPED OVER RAFTERS PER HETA 20 DETAIL.



Date: 7/21/2023

ALL THE DESIGN AND DETAILS ON THIS PLAN ARE THE PROPERTY OF FLORIDA ENGINEERING LLC AND SHALL NOT BE REPRODUCED, COPIED, OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FLORIDA ENGINEERING LLC.
I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS AND AS ACCOMPANIED BY DESIGN & SUPPORT DOCUMENTS CONFORMS TO THE 2020 FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES AND TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD. THIS PLAN HAS BEEN REVIEWED BY THE ENGINEER OF RECORD AND IS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE WITH SUPPLEMENTS.
14161 TAMMAM TRAIL, UNIT 101,
PORT CHARLOTTE, FL 33962
PH: 941-391-5980
FA: 941-979-8185



BROWN
795 MARBURY LN LONGBOAT KEY FL 34228

PROJECT NAME & ADDRESS:

No.	Description	Date

DRAWN BY: RC

REVIEWED BY: ED/TB

PROJECT NO: 22 153 39

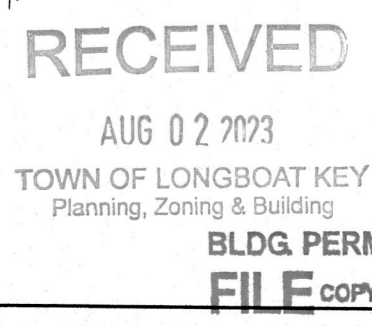
SCALE: As indicated

SHEET TITLE:

STRUCTURAL PLAN

SHEET NUMBER:

S-1



BLDG. PERMIT PLANS
FILE COPY OF RECORD

SURVEYOR'S REPORT:

1. DATE OF MOST RECENT FIELD SURVEY: 3-18-2021.
2. IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO, LANDSCAPING, UNDERGROUND UTILITIES AND FOUNDATIONS NOT LOCATED OR SHOWN.
3. BEARINGS BASED ON THE NORTHWESTERLY R/W LINE OF MARBURY LANE HAVING AN ASSUMED BEARING OF N26°00'00"E.
4. THIS SURVEY PERFORMED WITH RELIANCE UPON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. 21037193. COMMITMENT EFFECTIVE DATE: MARCH 2 2021, AT 8:00 AM.
5. SUBJECT PROPERTY LOCATED IN FLOOD ZONE AE (EL 9), PER FEMA MAP PANEL #12081C0291 E, DATED 3-17-2014.
6. OWNERSHIP OF FENCES NOT DETERMINED BY SURVEYOR.
7. THE APPROXIMATE MEAN HIGH WATER LINE HAS BEEN SHOWN HEREON DUE TO IT'S BEING INCIDENTAL TO THE PURPOSE FOR WHICH THIS SURVEY WAS PREPARED. SAID APPROXIMATE MEAN HIGH WATER LINE IS NOT A TIDAL PROPERTY BOUNDARY, WAS NOT LOCATED IN ACCORDANCE WITH THE PROCEDURES SPECIFIED IN THE "COASTAL MAPPING ACT OF 1971" (CHAPTER 177, PART II OF THE FLORIDA STATUTES) AND/OR THE RULES OF THE DEPARTMENT OF NATURAL RESOURCES (CHAPTER FCM 16-3 OF THE FLORIDA ADMINISTRATIVE CODE) AND IS NOT TO BE USED AS, REPRESENTED TO BE, OR BE ADMISSIBLE AS A TIDAL BOUNDARY LINE BEFORE ANY ADMINISTRATIVE BODY OR COURT OF LAW.

REVISION TABLE		
8/15/23	AREA OF WORK	INCLUDED AREA TO BE RENOVATED ON EXISTING SITE PLAN, AS PER REVIEW COMMENT

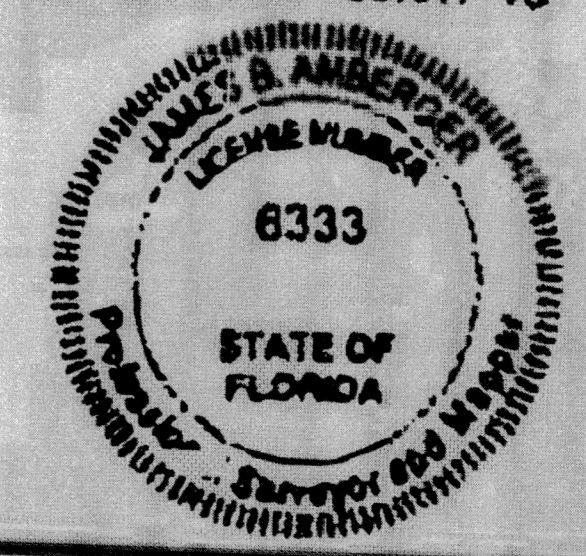
LEGEND AND ABBREVIATIONS:

- E/P EDGE OF PAVEMENT
- (P) PLAT DIMENSION
- (M) MEASURED DIMENSION
- O.R./PG. OFFICIAL RECORDS BOOK/PAGE
- D.B./PG. DEED BOOK/PAGE
- P.B./PG. PLAT BOOK/PAGE
- W.F. WOOD FENCE
- V.F. VINYL FENCE
- OUL OVERHEAD UTILITY LINE
- ESMT. EASEMENT
- AMHWL APPROXIMATE MEAN HIGH WATER LINE
- FF FLOOR ELEVATION
- R/W RIGHT-OF-WAY
- IRON ROD (I.R.) OR IRON PIPE (I.P.) FOUND
- △ MAG NAIL SET W/DISK PSM#6333
- 5/8" L ROD SET W/CAP PSM#6333
- ⊙ UTILITY POLE

SURVEYOR'S CERTIFICATE:

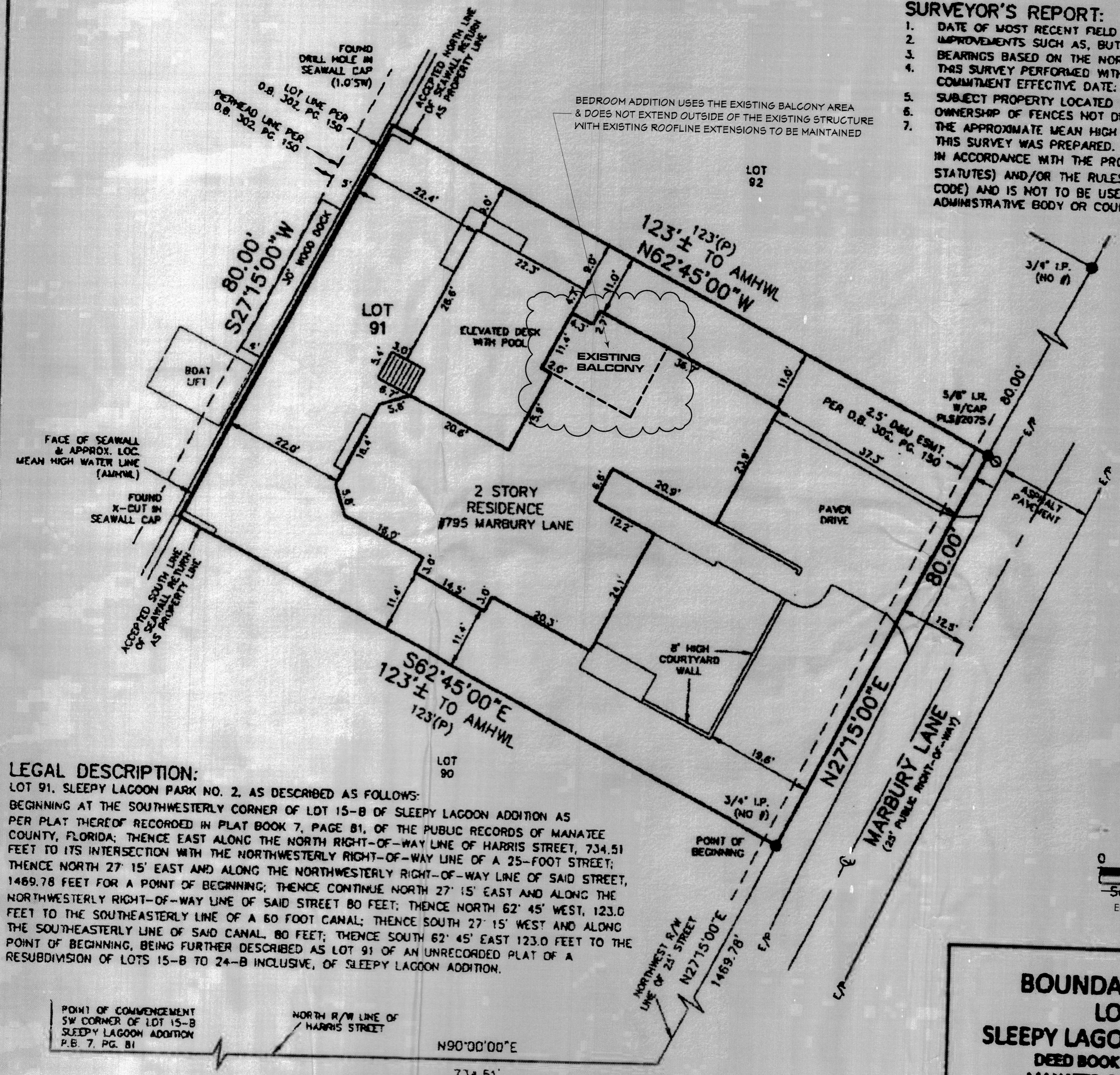
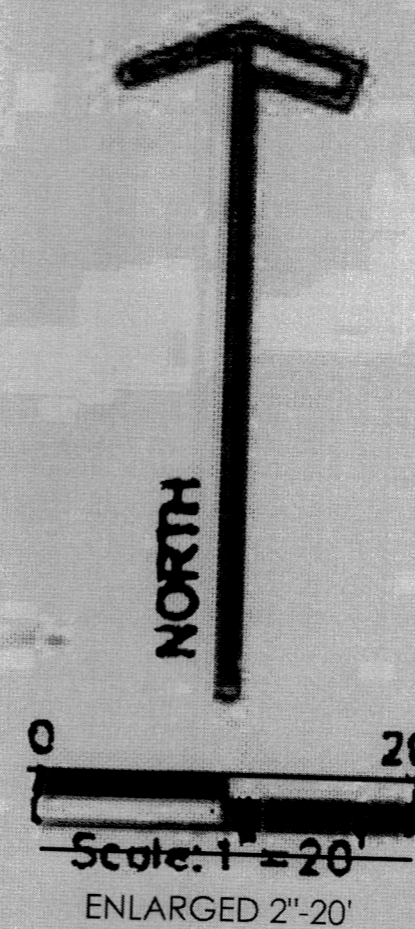
I HEREBY CERTIFY TO:
KENNETH H. BROWN AND TERESE R. GREY;
BANK OF AMERICA, N.A.;
SHUMAKER, LOOP & KENDRICK, LLP
AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
THAT THIS BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, THAT TO THE BEST OF MY KNOWLEDGE, IT IS A TRUE REPRESENTATION OF THE LANDS SHOWN HEREON AND THAT IT MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

03-21-2021
JAMES B. AMBERGER DATE
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 6333
(NOT VALID WITHOUT SURVEYOR'S SIGNATURE AND EMBOSSED WITH SURVEYOR'S SEAL)



RECEIVED

SEP 21 2023
TOWN OF LONGBOAT KEY
Planning, Zoning & Building



LEGAL DESCRIPTION:

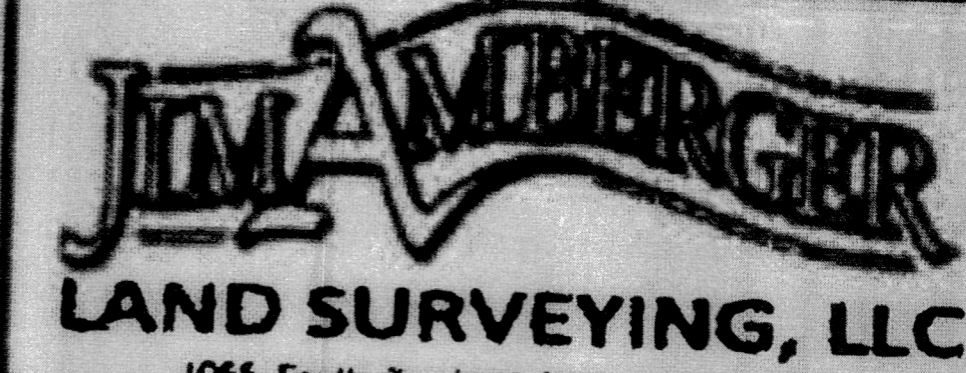
LOT 91, SLEEPY LAGOON PARK NO. 2, AS DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWESTERLY CORNER OF LOT 15-B OF SLEEPY LAGOON ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 81, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF HARRIS STREET, 734.51 FEET TO ITS INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF A 25-FOOT STREET; THENCE NORTH 27° 15' EAST AND ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID STREET, 1469.78 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE NORTH 27° 15' EAST AND ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID STREET 80 FEET; THENCE NORTH 62° 45' WEST, 123.0 FEET TO THE SOUTHEASTERLY LINE OF A 60 FOOT CANAL; THENCE SOUTH 27° 15' WEST AND ALONG THE SOUTHEASTERLY LINE OF SAID CANAL, 80 FEET; THENCE SOUTH 62° 45' EAST 123.0 FEET TO THE POINT OF BEGINNING, BEING FURTHER DESCRIBED AS LOT 91 OF AN UNRECORDED PLAT OF A RESUBDIVISION OF LOTS 15-B TO 24-B INCLUSIVE, OF SLEEPY LAGOON ADDITION.

POINT OF COMMENCEMENT
SW CORNER OF LOT 15-B
SLEEPY LAGOON ADDITION
P.B. 7, PG. 81

NORTH R/W LINE OF
HARRIS STREET

N90°00'00"E
734.51'

BOUNDARY SURVEY
LOT 91,
SLEEPY LAGOON PARK NO. 2,
DEED BOOK 302, PAGE 150,
MANATEE COUNTY, FLORIDA



1055 South Tamiami Trail, Suite 110-B
Sarasota, FL 34236
Phone (941) 955-8333 berg@jimamberger.com
Surveying & Mapping Business Authorization #LB7649

REV.
DATE: 3-22-2021
JOB # 2021141
DWG# B-21141
DRAWN BY: JBA