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R322.1.2 STRUCTURAL SYSTEMS  
STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED,  
CONNECTED, AND ANCHORED TO RESIST FLOATATION, COLLAPSE OR  
PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES  
FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION  
FBC 2020 - 7TH EDITION - BUILDING - SECTIONS 1612 & 3109, FBC 2020 - 7TH  
EDITION - RESIDENTIAL - SECTION R322.1.2, FEMA TB #9 AND ASCE 24.

EXISTING UTILITIES ON SITE, WATER AND SEWER  
CUT AND SUB UP SWERE AT THE RIGHT OF WAY  
CUT WATER AFTER BACKFLOW

### SITE SPECIFIC NOTES

#### PROPERTY NOTES:

LOCATION: 551 BROADWAY  
LONGBOAT KEY, FL 34228, USA

#### LEGAL DESCRIPTION (BY OTHERS):

THAT PART OF LOTS 58, 51, AND 52 OF BLOCK 21 OF REVISED  
LONG BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED  
IN PLAT BOOK 6, PAGE 66, OF THE PUBLIC RECORDS OF MANATEE  
COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PROPERTY,  
TOGETHER WITH PERPETUAL WATER RIGHTS AS DESCRIBED IN  
DEED RECORDED IN O.R. BOOK 1177, PAGE 3348 OF SAID  
RECORDS.

#### EXISTING INVASIVE SPECIES:

PLANTING NEW TREES AND PALMS SHALL COMPLY WITH THE  
FDEP LIST OF RECOMMENDED FLORIDA NATIVE BEACH AND  
DUNE PLANTS FOR BEACHFRONT PROPERTIES AND DUNE  
RESTORATION, DATED MAY 27, 2009.

### ZONING NOTES (DENSITY, LOT, YARD)

PARCEL ID: 7801500029  
PERCEL TYPE: REAL PROPERTY  
LAND USE: 1603 SINGLE FAMILY HOUSE  
LOT AREA: 12,500 SF  
ZONING DISTRICT: 158.064 - R-8SF (SINGLE-FAMILY HIGH-DENSITY  
RESIDENTIAL DISTRICT)

CROWN OF ROAD = 2.8' NAVD  
BASE FLOOD ELEVATION = 9.00' AFE + 10.00' AFE  
MAX HEIGHT ALLOWED = 30.00' NAVD

MAX HABITABLE STORIES: 2 ALLOWED 2 PROVIDED

### BUILDING SETBACKS

1ST HABITABLE STORY	2ND HABITABLE STORY
FRONT YARD: 20'-0"	20'-0"
SIDE YARD: 8'-0" (2'-0" COMBINED)	8'-0" (2'-0" COMBINED)
REAR: 15'-0"	15'-0"

### LOT COVERAGE & AREA TABULATIONS

LOT AREA = 12,500 SF  
GARAGE  
AREA (ENTIRETY) = 270 SF  
AREA (PATIO) = 1,104 SF  
AREA (ENCLOSURE) = 2,199 SF  
PERVIOUS DRIVEWAY PAVERS = 1,728 SF

LEVEL 02  
MAX. BUILDING COVERAGE: 30% (12,500) = 3,750 SF  
AREA (UNDER AC) = 1,490 SF  
AREA (COVERED TERRACE) = 214 SF + 169 SF = 383 SF  
AREA (COVERED) = 323 SF + 1,488 SF = 1,811 SF

POOL AND SPA  
AREA = 814 SF  
BUILDING COVERAGE 30% MAX  
3,750 SF + 3,750 SF = 36%

### FEMA/FLOODPLAIN INFO

NOTE: ALL ELEVATIONS ARE NAVD MEASURED IN POSITIVE FEET U.N.O.

PROPOSED F.F. ENTRY: 4.0'  
PROPOSED F.F. 2ND FLOOR: 10.4'

### GENERAL NOTES

GENERAL SITE NOTES:  
1. VERIFY SITE INFORMATION W/ SURVEY.  
2. VERIFY UTILITY SERVICE ENTRY LOCATIONS AS REQUIRED.  
3. NO WOOD GRADE STAKES PERMITTED.  
4. POOL BY OTHERS.

SOIL TREATMENT NOTES:  
SOIL TREATMENT FOR TERMITES: PROVIDE TERMITE  
PROTECTION BY REGISTERED  
TERMITOCIDES OR OTHER APPROVED METHODS OF  
PROTECTION LABELED FOR USE AS A  
PREVENTATIVE TREATMENT TO NEW CONSTRUCTION IN  
COMPLIANCE WITH THE FLORIDA BUILDING CODE.  
RESIDENTIAL 7TH EDITION (2020) PROVIDE CERTIFICATE OF  
COMPLIANCE IN ACCORDANCE WITH FBC R324. PROTECTIVE  
SLEEVED AROUND METALLIC PIPING PENETRATING CONCRETE  
SLAB-ON-GRADE FLOOR SHALL NOT BE OF CELLULOSE  
CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF  
TERMITOCIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.



PROJECT:  
551 BROADWAY  
Longboat Key, FL 34228

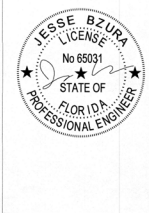
OWNER:  
NAME:

CONTRACTOR:  
EASON BUILDERS GROUP  
www.easonbuilders.com

ENGINEERS:



SEAL



ISSUE DESCRIPTION DATE

1 PERMIT SET 08/01/22

SCALE: 3/32" = 1'-0"  
PROJECT # 2109

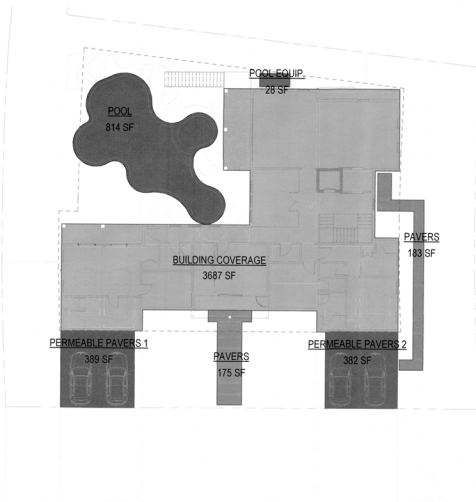
DRAWING TITLE:  
**SITE PLAN**

BLOG PERMIT PLANS  
FILE  
Copy of Record

DRAWING NO:

**A-02.00**

SHEET:



### 3 LOT COVERAGE

SCALE: 1/16" = 1'-0"

#### Area Schedule (Building Coverage)

Name	Area
BUILDING COVERAGE	3687 SF
POOL	814 SF
PERMEABLE PAVERS 1	389 SF
PERMEABLE PAVERS 2	382 SF
PAVERS	183 SF
PAVERS	175 SF
POOL EQUIP.	28 SF
	5658 SF

LOT AREA = 12,500 SF  
 MAX. BUILDING COVERAGE = 30% (12,500) = 3,750 SF  
 MAX. LOT COVERAGE = 50% (12,500) = 6,250 SF  
 BUILDING COVERAGE = 3,687 SF < 3,750 SF  
 POOL AREA = 814 SF  
 PERMEABLE DRIVEWAY PAVERS = 800 SF

#### Living Area Schedule (Enclosed)

Level	Name	Area
PROPOSED LEVEL 02		
PROPOSED LEVEL 02	UNDER AC	3415 SF
PROPOSED LEVEL 02	TERRACE 2	111 SF
PROPOSED LEVEL 02	TERRACE 1	214 SF
Grand total: 3		3740 SF



### NET ENCLOSURE

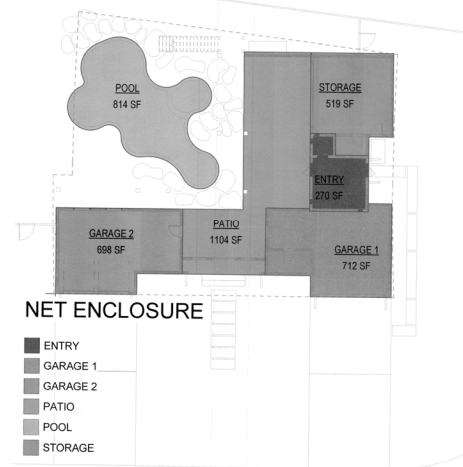
- TERRACE 1
- TERRACE 2
- UNDER AC

### 2 AREA PROPOSED LEVEL 02

SCALE: 1/16" = 1'-0"

#### Level 02 Area Schedule

Level	Name	Area
PROPOSED LEVEL 02		
PROPOSED LEVEL 02	UNDER AC	3415 SF
PROPOSED LEVEL 02	TERRACE 2	111 SF
PROPOSED LEVEL 02	TERRACE 1	214 SF
Grand total: 3		3740 SF



### NET ENCLOSURE

- ENTRY
- GARAGE 1
- GARAGE 2
- PATIO
- POOL
- STORAGE

### 1 AREA GARAGE LEVEL

SCALE: 1/16" = 1'-0"

#### Garage Level Area Schedule

Level	Name	Area
GARAGE LEVEL		
GARAGE LEVEL	GARAGE 2	698 SF
GARAGE LEVEL	STORAGE	519 SF
GARAGE LEVEL	ENTRY	270 SF
GARAGE LEVEL	GARAGE 1	712 SF
GARAGE LEVEL	POOL	814 SF
GARAGE LEVEL	PATIO	1104 SF
Grand total: 6		4117 SF



HALASA DESIGN  
 10210 Spawford Rd E Bradenton, FL 34209  
 Tel: 941 270 8158

#### PROJECT:

551 BROADWAY  
 Longwood Key, FL 34208

#### OWNER:

NAME:

#### CONTRACTOR:



EASON BUILDERS GROUP  
 www.easonbuilders.com

#### ENGINEERS:

**GULF COAST**  
 ENGINEERING & DESIGN  
 2423 Manatee Ave W, Bradenton, FL 34205  
 Cert. of Auth. #33780 941-276-6101



#### SEAL



ISSUE DESCRIPTION DATE

1 PERMIT SET 09/10/22

SCALE 1/16" = 1'-0"

PROJECT # 2109

DRAWING TITLE:

**AREAS**

DRAWING NO:

**A-03.00**

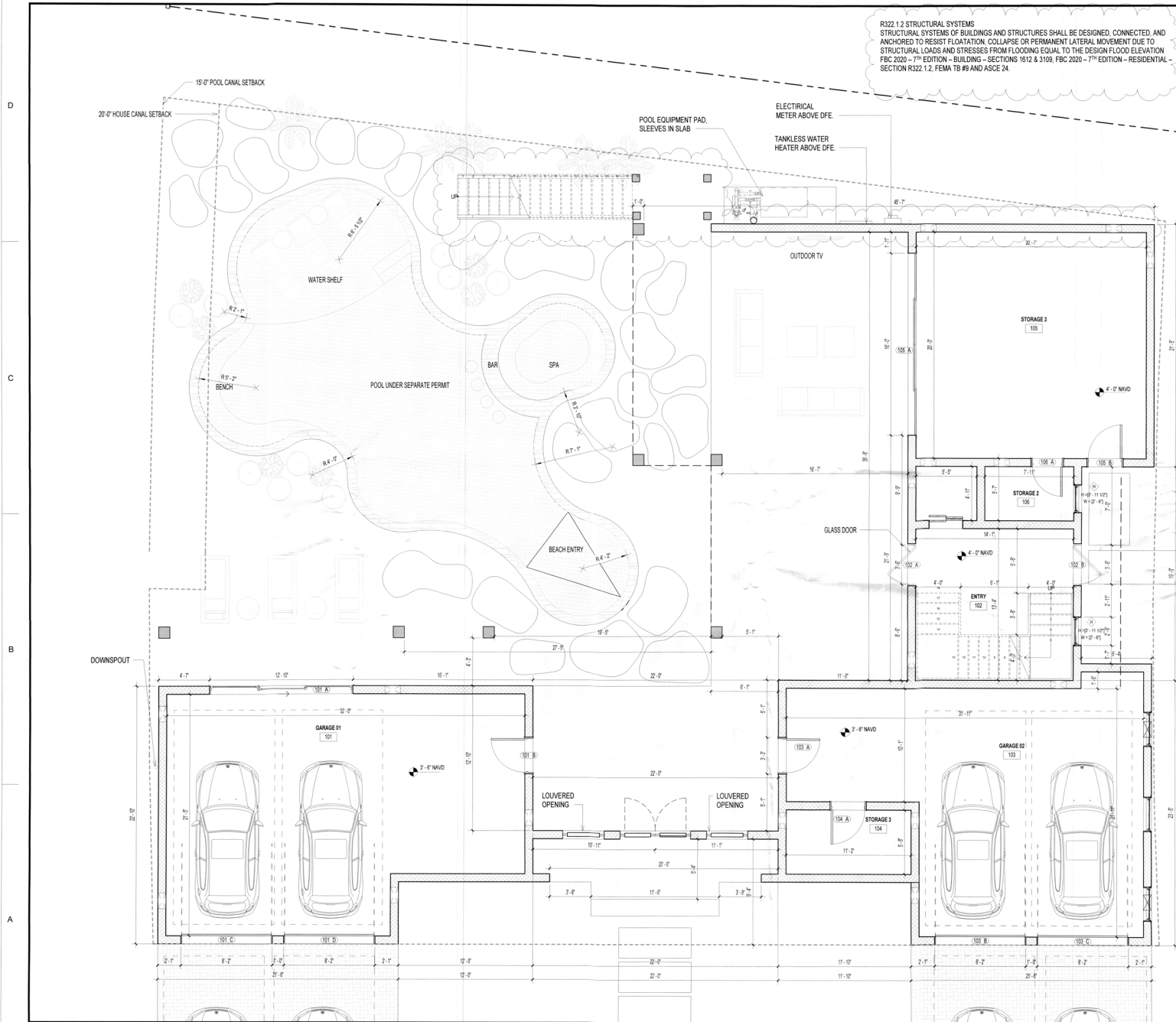
SHEET:

RECEIVED  
 NOV 16 2022  
 TOWN OF LONGWOOD KEY  
 Planning, Zoning & Public Works

BLIND PERMIT PLANS  
 FOR  
 Copy of Record







R322.1.2 STRUCTURAL SYSTEMS  
STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED, CONNECTED, AND ANCHORED TO RESIST FLOTTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION  
FBC 2020 - 7TH EDITION - BUILDING - SECTIONS 1612 & 3109, FBC 2020 - 7TH EDITION - RESIDENTIAL - SECTION R322.1.2, FEMA TB #9 AND ASCE 24

PLAN NOTES

- APPLICABLE CODES**
- FLORIDA BUILDING CODE - 2020 7TH ED.
  - FLORIDA BUILDING CODE - 2020
  - FLORIDA BUILDING CODE ENERGY - 2020
  - NFPA 70 NATIONAL ELECTRICAL
  - FLORIDA BUILDING CODE PLUMBING - 2020
  - FLORIDA BUILDING CODE MECHANICAL - 2020
  - FLORIDA BUILDING CODE EXISTING BUILDINGS - 2020
- GENERAL NOTES**
1. DRIER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
  2. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT UNLESS DOUBLE GLAZED, HURRICANE-RATED.
  3. BUILDING INSULATION SHALL BE AS FOLLOWS:
    - FRAME WALL - R-19
    - F-5 BLOWN WALLS - R-5
    - FLOOR SYSTEM - R-16
    - ROOF TRUSSES - R-30 OR EQUIVALENT
    - 4. ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
    - 5. PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
    - 6. AC DRAINS TO BE READILY ACCESSIBLE.
    - 7. MAJOR TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHM SPACE SHALL BE LIMITED TO MAXIMUM.
    - 8. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
    - 9. WATER CLOSETS TO BE 1.6 GALLON.
    - 10. PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETRY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
    - 11. ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
    - 12. CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
    - 13. BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
    - 14. ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE ELEVATED ABOVE DFE AS REQUIRED PER FEMA TECHNICAL BULLETIN 5.
    - 15. ELEVATORS IN STRUCTURES IN SPECIAL FLOOD HAZARD AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASCE 24.66 IT REQUIRED THAT UTILITIES AND UTILITY EQUIPMENT BE A LOCATED ABOVE THE DFE UNLESS LOCATION BELOW THAT ELEVATION ALLOWED IN ASCE 24. OR
    - 16. THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PRESENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM FROM EXTERIOR OR
    - 17. ACCUMULATING WITHIN THE COMPONENTS, AND INSTALLED AND ANCHORED TO RESIST FLOOD FORCES.
    - 18. ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.
    - 19. IF AN ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS.
    - 20. NOTE AS PER FBC 702.3.5: AT GARAGE CEILING BELOW HABITABLE STRUCTURES, USE 5/8" TYPE "X" DRYWALL FRAMING PERPENDICULAR TO FRAMING MEMBERS. FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTEN WITH NAILS AT 6" O.C. MAX OR SCREWS AT 6" O.C. MAX. USING 1 7/8" LONG RD COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION R702.3.5.1. SCREWS FOR ATTACHING GYPSUM BOARD AND GYPSUM PANEL PRODUCTS TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1102 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8 INCH (15.9 MM). BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.7.08 R322.9 SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA TB-2.
    - 21. DOORS OPENING FROM A GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR A SOLID OR HONEYCOMB STEEL DOOR NOT LESS THAN 1 3/8 INCHES IN THICKNESS OR A 20 MINUTE FIRE DOOR.
    - 22. ELEVATOR COMPONENTS LOCATED BELOW DFE TO BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING AND ARE EQUIPPED WITH CONTROLS TO PREVENT CAB FROM DESCENDING INTO FLOODWATERS - FBC 2020 - 6TH EDITION - BUILDING - 107.2.1

MATERIAL LEGEND

- 8" CMU BLOCK WORK
- 4" STUD WALL
- 8" EXTERIOR STUD WALL

RECEIVED  
NOV 16 2022  
TOWN OF LONGBOAT KEY  
Planning, Zoning & Building

**HALASA DESIGN**  
10215 SW 10TH AVE # 6 Bradenton, FL 34209  
TEL 941 270 2704 FAX 941 270 2704

**PROJECT:**  
551 BROADWAY  
Longboat Key, FL 34209

**OWNER:**  
NAME:

**CONTRACTOR:**  
EASON BUILDERS GROUP  
www.easongroup.com

**ENGINEERS:**

**GULF COAST**  
ENGINEERING & DESIGN  
2423 Manatee Ave W. Bradenton, FL 34205  
Cert. of Auth. #33790 941-216-6301

SEAL

**JESSE BZURA**  
LICENSE  
No 65031  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

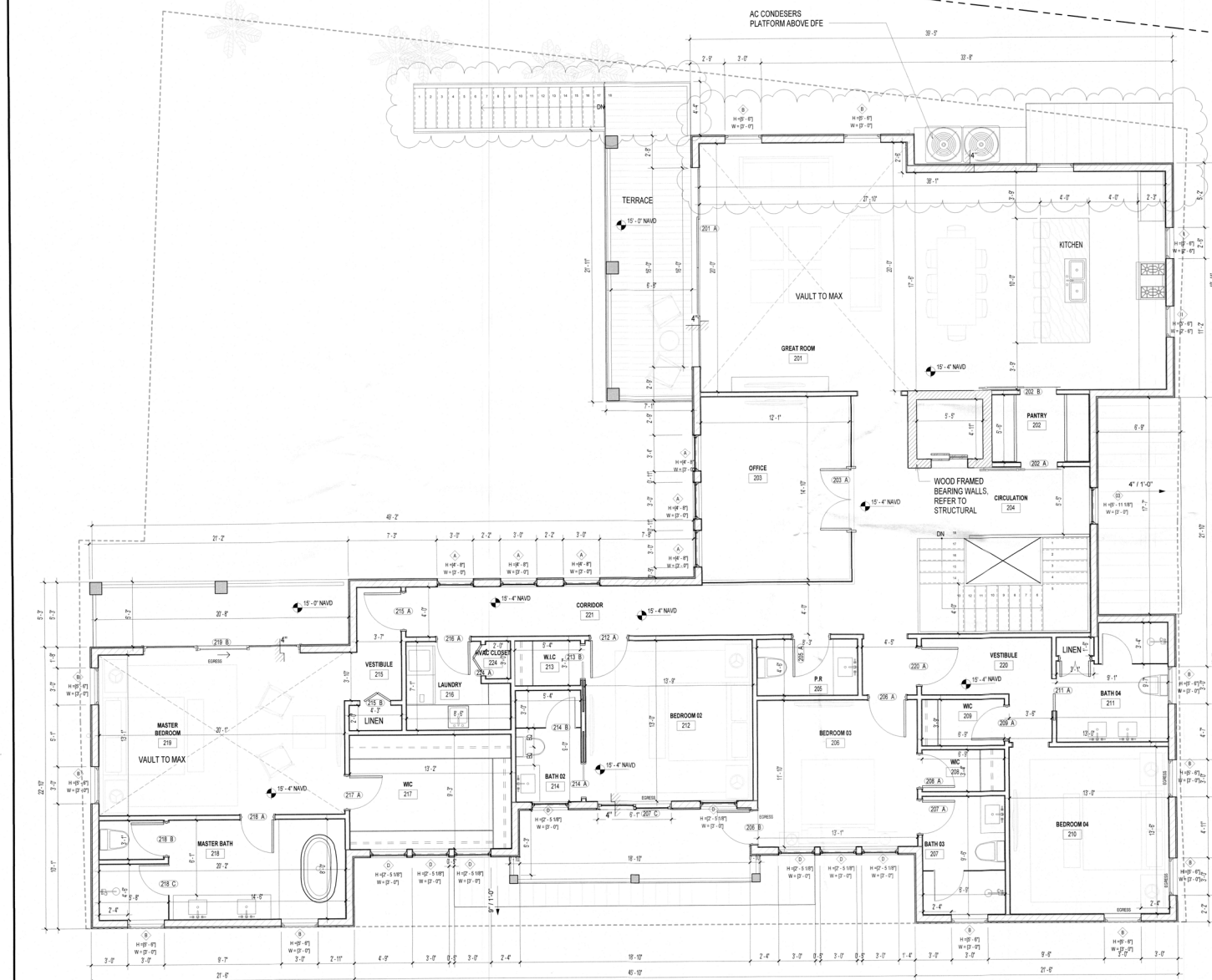
ISSUE	DESCRIPTION	DATE
1	PERMIT SET	09/01/22
SCALE	1/4" = 1'-0"	
PROJECT #	2109	
DRAWING TITLE:	FOYER LEVEL	
	BLDG PERMIT PLANS FILE & Copy of Record	
DRAWING NO:	A-102.00	
SHEET:		

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## PLAN NOTES

## DIMENSIONS:

DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS & ALIGNMENTS AS NOTED ON PLANS.  
ALL DIMENSIONS SHOWN TO FACE OF OYP. REFER TO ENLARGED PLANS & TYPICAL DETAILS FOR FINISH INFORMATION.

## APPLICABLE CODES

FLORIDA BUILDING CODE - 2020 7TH ED  
FLORIDA BUILDING CODE  
RESIDENTIAL - 2020  
NFPA 70 NATIONAL ELECTRICAL  
FLORIDA BUILDING CODE ENERGY - 2020  
FLORIDA BUILDING CODE PLUMBING - 2020  
FLORIDA BUILDING CODE MECHANICAL - 2020  
FLORIDA BUILDING CODE EXISTING  
BUILDING - 2020

## GENERAL NOTES

1. DRAIN VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
2. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT UNCOLORED GLAZED, HURRICANE-RATED.
3. BUILDING INSULATION SHALL BE AS FOLLOWS:  
FRAME WALLS - R-10  
F.G. BLOCK WALLS - R-5  
FLOOR SYSTEM - R-10  
ROOF TRUSSES - R-30 OR EQUIVALENT
4. ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
5. PROVIDE TEMPLERED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS GLASS WITHIN 24\"/>

## MATERIAL LEGEND

- 8\"/>



HALASA DESIGN  
10210 Southwest Rd E Bradenton, FL 34209  
Tel: 201 270 6104

## PROJECT:

651 BROADWAY  
Longwood Key, FL 34229

## OWNER:

NAME:

## CONTRACTOR:



EASON BUILDERS GROUP  
www.easonbuilders.com

## ENGINEERS:

REASON BUILDERS GROUP  
ENGINEERS:

**GULF COAST**  
ENGINEERING & DESIGN

2423 Manatee Ave W, Bradenton FL 34205  
Cert. of Auth. #23790 941-276-0101

## SEAL



## ISSUE DESCRIPTION DATE

## 1 PERMIT SET 08/01/22

## SCALE 1/4\"/&gt;

## PROJECT # 2109

## DRAWING TITLE: PROPOSED LEVEL 02

## SHEET: A-103.00

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# PLAN NOTES

**DIMENSIONS:**  
DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS & ALIGNMENTS AS NOTED ON PLANS.  
ALL DIMENSIONS SHOWN TO FACE OF GYP. REFER TO ENLARGED PLANS & TYPICAL DETAILS FOR FINISH INFORMATION.

## APPLICABLE CODES

FLORIDA BUILDING CODE - 2020 TTH ED.  
FLORIDA BUILDING CODE  
RESIDENTIAL - 2020  
FLORIDA BUILDING CODE ENERGY - 2020  
NFPA 70 NATIONAL ELECTRICAL  
FLORIDA BUILDING CODE PLUMBING - 2020  
FLORIDA BUILDING CODE MECHANICAL - 2020  
FLORIDA BUILDING CODE EXISTING  
BUILDING - 2020

## GENERAL NOTES

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F.G. BLOCK WALLS - R-5  
FLOOR SYSTEM - R-10  
ROOF TRUSSES - R-30 OR EQUIVALENT
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5. PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES. GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
6. A/C DRAINS TO BE READILY ACCESSIBLE.
7. MAJOR TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHM SPACE SHALL BE LIMITED TO 4" MAXIMUM.
8. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
9. WATER CLOSETS TO BE 1.6 GALLON.
10. PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETRY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
11. ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
12. CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
13. BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
14. ALL EQUIPMENT (PLUMBING, MECHANICAL & ELECTRICAL) TO BE ELEVATED ABOVE DFE AS REQUIRED PER FEMA TECHNICAL BULLETIN 5.
15. ELEVATORS IN STRUCTURES IN SPECIAL FLOOD HAZARD AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASCE 24.05 IT REQUIRES THAT UTILITIES AND UTILITY EQUIPMENT BE:  
A. LOCATED ABOVE THE DFE UNLESS LOCATION BELOW THAT ELEVATION IS SPECIFICALLY ALLOWED IN ASCE 24. OR  
B. THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PREVENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM, FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS, AND INSTALLED AND ANCHORED TO RESIST FLOOD FORCES.  
C. ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.  
D. IF AN ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE, IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS.
16. NOTE AS PER IRC 702.3.5: AT GARAGE CEILINGS BENEATH HABITABLE STRUCTURES, USE SAFETY TYPE "X" DRYWALL RUNNING PERPENDICULAR TO FRAMING MEMBERS. FRAMING MEMBERS ON CENTER SPACING TO BE 24" MAX. FASTER WITH NAILS AT 8" O.C. MAX OR SCREWS AT 8" O.C. MAX. USING 1 1/8" LONG RD COATED NAILS OR EQUIVALENT DRYWALL SCREWS. SCREWS SHALL COMPLY WITH SECTION R702.3.5.1. SCREWS FOR ATTACHING GYPSUM BOARD AND GYPSUM PANEL PRODUCTS TO WOOD FRAMING SHALL BE TYPE W OR TYPE S IN ACCORDANCE WITH ASTM C1102 AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8 INCH (15.9 MM). BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R302.2 OR R302.3 SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 19-2.
17. DOORS OPENING FROM A GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR A SOLID OR NON-COMBUSTIBLE STEEL DOOR NOT LESS THAN 1 3/8 INCHES IN THICKNESS OR A 20 MINUTE FIRE DOOR.
18. ELEVATOR COMPONENTS LOCATED BELOW DFE TO BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING AND ARE EQUIPPED WITH CONTROLS TO PREVENT CAB FROM DESCENDING INTO FLOODWATERS - FBC 2020 - 6TH EDITION - BUILDING - 107.2.1

## MATERIAL LEGEND

- 8" CMU BLOCK WORK
- 4" STUD WALL
- 8" EXTERIOR STUD WALL



HALASA DESIGN  
10710 Boulevard Rd E Bradenton, FL 34209  
Tel: 201 270 6104

PROJECT:  
851 BROADWAY  
Longboat Key, FL 34229

OWNER:  
NAME:

CONTRACTOR:



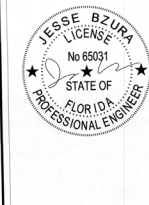
EASON BUILDERS GROUP  
www.easonbuilders.com

EASON BUILDERS GROUP  
ENGINEERS:

**GULF COAST**  
ENGINEERING & DESIGN  
2423 Manatee Ave W, Bradenton, FL 34205  
Cell: 813 411 1170 Fax: 941 716 6101



SEAL



ISSUE	DESCRIPTION	DATE
1	PERMIT SET	09/03/22

SCALE: 1/4" = 1'-0"  
PROJECT # 2109  
DRAWING TITLE:  
**TOP OF ROOF PLAN**

DRAWING NO:

**A-105.00**

SHEET:

RECEIVED  
NOV 1 6 2022  
TOWN OF LONGBOAT KEY  
Planning & Building

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ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE REQUIRED TO BE AT OR ABOVE THE DESIGN FLOOD ELEVATION (FLOOD ORDNANCE 16-5188 NO ELECTRICAL, PLUMBING, OR MECHANICAL CAN BE LOCATED ON BREAKAWAY WALLS, FEMA 175 FREE OF OBSTRUCTIONS.

ALL ELECTRICAL DEVICES LOCATED BELOW THE BFE MUST BE GFCI

STORAGE 3  
105

STORAGE 2  
106

ENTRY  
102

GARAGE 02  
103

GARAGE 01  
101

STORAGE 1  
104

ALL ELECTRICAL DEVICES LOCATED BELOW THE BFE MUST BE GFCI

ALL ELECTRICAL DEVICES LOCATED BELOW THE BFE MUST BE GFCI

## ELECTRICAL NOTES

ELECTRICAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
1. POWER FOR CONNECTIONS TO EQUIPMENT PROVIDED AND INSTALLED BY OTHER TRADES, I.E. HVAC EQUIP.  
2. REFER TO SITE PLAN SHEET FOR LOCATIONS OF ADDITIONAL LIGHTING COMPONENTS.  
3. DRAWINGS ARE SCHEMATIC ONLY, AND ARE NOT INTENDED TO DEPICT A COMPLETE ELECTRICAL SYSTEM. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL REQS FOR A COMPLETE WORKING ELECTRICAL SYSTEM IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.  
4. NOTIFY BUILDER FOR FIELD VERIFICATIONS AND APPROVAL OF FINAL LOCATIONS OF SWITCHES, LIGHT FIXTURES, AND ELECTRICAL OUTLETS PRIOR TO WIRING. BUILDER RESERVES THE RIGHT TO CHANGE LOCATIONS OF ELECTRICAL SYSTEM COMPONENTS.  
5. ALL ELECTRICAL SWITCHES, OUTLETS, ETC. TO BE INSTALLED ABOVE FLOOD ELEVATION (11'-12" NVD).  
6. PROVIDE AND INSTALL FLOORLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.  
7. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.  
8. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:  
4'-2" - SWITCHES  
14" - OUTLETS, TELEPHONE, TELEVISION  
9. EXACT FIXTURE LOCATIONS TO BE CHOSEN & VERIFIED BY OWNER/S.  
10. ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.  
11. OWNER AND/OR CONTRACTOR TO VERIFY EXISTENCE AND LOCATION OF SECURITY INTERCOM OR CENTRAL VACUUM SYSTEMS. REFER TO SHOP DRAWINGS FOR SPECIFICATIONS.  
12. OWNER TO LOCATE ELECTRIC CATV, AND SPEAKER WIRE LOCATIONS IN ACTIVITY ROOM FEATURE WALL @ ELECTRIC WALKTHRU.  
13. ALL OUTLETS NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC-FAULT AND TAMPER PROOF RECEPTACLES.  
14. SWITCHES & OUTLETS @ VANITY & KITCHEN BACK SPLASH  
15. ELECTRICAL PANEL TO BE SET 30" BOTTOM OF PANEL BOULDER  
16. OFF GARAGE SLAB  
17. UNLESS OTHERWISE INDICATED, INSTALL VANITY LIGHTS & COUCH LIGHTS AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:  
9'-0" - VANITY LIGHTS  
7'-0" - COUCH LIGHTS ABOVE GARAGE FLOOR  
18. ALL ROOMS TO BE SUPPLIED WITH AFCI FAULT CIRCUITS  
EXCEPTION:  
AFCI NOT REQUIRED LIST FOR 2014 NEC 16:  
GARAGE CIRCUITS  
UTILITY ROOM CIRCUITS  
OUTDOOR CIRCUITS  
AFCI BECAUSE THEY ARE INSTALLED IN GARAGE OR IN AN ENCLOSURE  
ANY MEDICAL EQUIPMENT THAT HAS INSTRUCTIONS SAYING NO AFCI  
FIRE ALARM CIRCUIT IN METAL CONDUIT  
17. DISHWASHER CIRCUIT TO BE GFI PROTECTED AND LOCATED UNDER SINK NOT BEHIND APPLIANCE NOR CONCEALED IN CABINETS  
18. ALL NEW OR MODIFIED 15-20 AMP BRANCH CIRCUITS REQUIRED FOR AFCI FAULT PROTECTION PER NEC 210.12 (NOT REQUIRED TO BE GFI W/LL)  
19. AFCI RECEPTACLES INCE LIGHTING  
20. BATHROOM FANS VENT TO OUTSIDE  
21. SMOKE DETECTORS TO BE INTERCONNECTED W/ A 10 YR BATTERY BACKUP  
22. ALL RECESSED LIGHTING TO BE LED  
23. ALL RECEPTACLES IN RET LOCATIONS MUST HAVE BUBBLE TYPE COVERS NEC 800.22 (A) (4)  
24. ELECTRICAL OUTLETS AND LIGHT FIXTURES TO BE MORE THAN 10' FROM WATERS EDGE @ POOLS. EXCEPT WHERE A POOL IS WITHIN 3' (914) OF A DWELLING AND THE DIMENSION OF THE LOT PRECISELY MEETING THE REQUIRED CLEARANCES. NOT MORE THAN ONE RECEPTACLE OUTLET SHALL BE PERMITTED IF NOT LESS THAN 1.5m (5ft) MEASURED HORIZONTALLY FROM THE INSIDE WALL OF THE POOL. NEC 800.22 (A) (4)  
25. ALL EXTERIOR LIGHTING THAT CAN BE SEEN FROM THE BEACH MUST BE PROTECTED TURTLE LIGHTING

## CEILING LEGEND

- EXPONED SLAB CEILING (C)
- PAINTED SLAB CLG (PT)
- TYPICAL SUSPENDED GWSB CEILING (GWSB)
- TSG CEILING FINISH (TG)

## FIXTURE TYPES

REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE LOCATIONS AND SPECS

- LIGHTING UNDER CABINET
- LINEAR LIGHTING
- PENDANT LIGHTING
- WALL SCONCE
- CEILING RECESSED LIGHTING
- SECURITY CAMERA
- RECESSED CEILING SPOILER
- JUNCTION BOX PROVIDE POWER FOR DECORATIVE FIXTURES
- STROBE, CEILING MTD
- STROBE, CEILING MTD

## SWITCHES

- SWITCH
- SWITCH - 3 WAY
- SWITCH - DIMMER
- SWITCH - 3 WAY W/ DIMMER

## CEILING OBJECTS

- CEILING PLENUM OUTDOOR WALL (SEE MECHANICAL PLANS FOR PLENUM AREAS) WALL TO EXTEND TO BOTTOM OF STRUCTURE ABOVE. CONTRACTOR SHALL SEAL GAP DUCT PENETRATIONS
- WDS WALL DIFFUSER SUPPLY
- WDR WALL DIFFUSER RETURN
- CDS CEILING DIFFUSER SUPPLY
- CDR CEILING DIFFUSER RETURN
- WDR WALL DIFFUSER RETURN
- TGR TRANSFER GRILLE AT CLG PLENUM FOR RETURN AIR
- EF EXHAUST FAN DIFFUSER
- CLG-MTD SMOKE DETECTOR CARBON MONOXIDE DETECTOR
- WALL-MTD SMOKE DETECTOR CARBON MONOXIDE DETECTOR

## NOTES

SYMBOLS SHOWN FOR REFERENCE AND LOCATION PURPOSES ONLY. PLEASE REFER TO ELECTRICAL AND LOW VOLTAGE DRAWINGS FOR SPECIFICATIONS. COORDINATE EXACT LIGHT FIXTURE LOCATIONS WITH INTERIOR ELEVATIONS AND LIGHTING DETAILS.

MILLWORK SHOWN ON RCP FOR REFERENCE ONLY.

UNLESS OTHERWISE NOTED, RCP TAGS INDICATE CEILING CONSTRUCTION TYPES ONLY AND ARE NOT MEANT TO DEPICT FINISHES. PLEASE REFER TO ROOM FINISH SCHEDULE FOR ALL FINISHES.

ANY LIGHT THAT CAN BE SEEN FROM THE BEACH MUST BE TURTLE PROTECTED



HALASA DESIGN  
12315 SOUTHWEST RD E STE 100  
FL 34091  
Tel: 201-270-9104

PROJECT:  
551 BROADWAY  
Longport, NJ, 08409

OWNER:  
NAME:

CONTRACTOR:  
EASON BUILDERS GROUP  
www.ebguilders.com

DESIGNER:  
EASON BUILDERS GROUP  
www.ebguilders.com

ENGINEERS:

GULF COAST  
ENGINEERING & DESIGN  
2423 Marquette Ave W, Bradenton, FL 34205  
Cell: 941-766-6301 Fax: 941-766-6301

SEAL

ISSUE DESCRIPTION DATE

1 PERMIT SET 09/01/22

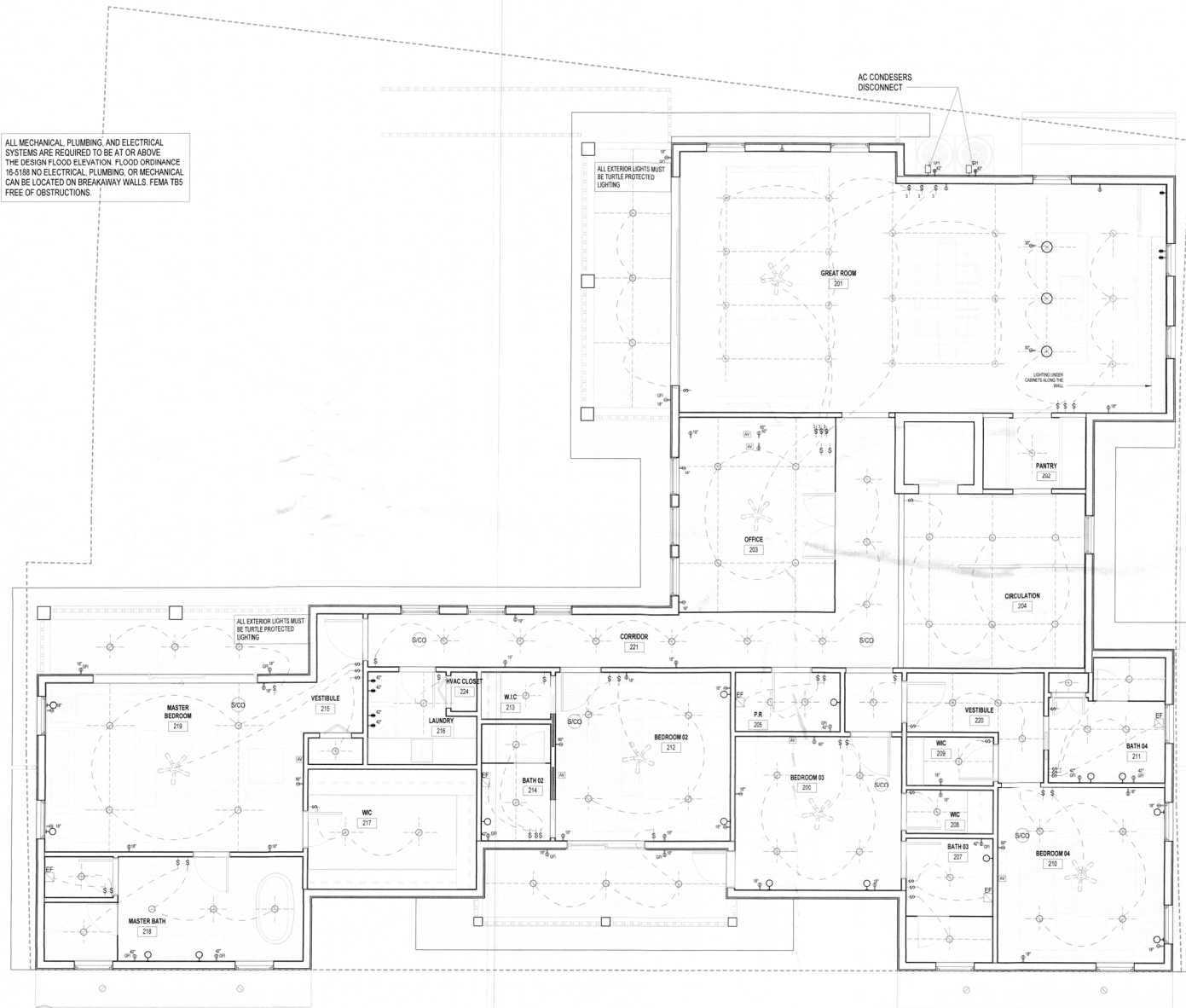
SCALE  
PROJECT: 1/4" = 1'-0"

DRAWING TITLE:  
ELECTRICAL  
PLAN GARAGE

DRAWING NO:  
A-201.00

SHEET:

RECEIVED  
NOV 16 2022  
TOWN OF LONGPORT KEY  
Planning, Zoning & Building



## POWER & DATA PLAN

**POWER AND DATA SCOPE:**  
SYMBOLS SHOWN FOR REFERENCE AND LOCATION PURPOSES ONLY. PLEASE REFER TO ELECTRICAL DRAWINGS FOR CIRCUITS AND ADDITIONAL INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL SCOPE SHOWN ON THE ELECTRICAL DRAWINGS AND THE ARCHITECTURAL POWER PLANS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION. POWER REQUIREMENTS FOR ALL APPLIANCES AND EQUIPMENT SHALL BE REVIEWED AND VERIFIED BY THE GC. (SEE APPLIANCE SCHEDULE ON SHEET G-80.0). ANY SUBSTITUTIONS OF EQUIPMENT OR APPLIANCES SHALL BE COORDINATED FOR ELECTRICAL REQUIREMENTS VIA SHOP DRAWING BY GC PRIOR TO SUBMITTING TO THE ARCHITECT FOR REVIEW.

**AV/IT DESIGN BUILD SCOPE:**  
THE GC SHALL CONTRACT WITH AN IT/AV SUBCONTRACTOR TO DESIGN AND INSTALL ALL DATA, AV AND IT SCOPE. THIS SCOPE SHALL INCLUDE ALL DATA, PHONE AND CABLE CONNECTIVITY.

**HVAC EQUIPMENT:**  
ELECTRICAL SCOPE SHALL INCLUDE ALL POWER TO AC UNITS AND DISCONNECT SWITCHES.

## FIXTURE TYPES

**NOTE:**  
ALL NEW AND EXISTING SWITCHES, RECEPTACLES, WALL PLATES TO BE WHITE DECORA OR EQUAL.

**Q** QUADRAPLEX OUTLET (NUMBER INDICATES HEIGHT ABOVE THE FLOOR; IF NO HEIGHT IS INDICATED INSTALL AT 15' AFF)

**D** DUPLEX OUTLET (NUMBER INDICATES HEIGHT ABOVE THE FLOOR; IF NO HEIGHT IS INDICATED INSTALL AT BASE)

**20** 20 OR 30 AMP DEDICATED (SEE APPLIANCE SCHEDULE FOR SPECIFIC REQUIREMENTS)

**Y** DUPLEX OUTLET IN FLUSH FLOOR MOUNT

**AV** COMBINATION MULTIMEDIA OUTLET (DATA/TELEPHONE/VIDEO CONNECTOR)

**TV** 1 HORN DATA & DUPLEX OUTLET (PROVIDE (TV) MULTI-GANG BOX WITH PARTITION DIVIDER)

**DEVICES:** 2 DATA, 1 COAXIAL & QUAD OUTLET AT 15' AFF. PROVIDE (1) MULTI-GANG BOX WITH PARTITION DIVIDER & BRUSH GROMMET FOR DATA & COAXIAL CABLES. PROVIDE 1/12" (MIN) PVC FLEX SLEEVE IN WALL BETWEEN TV & DEVICES

**AV1** MOUNT TV RECEIPTABLES AT 8' AFF. U.O.N. (WHEN SHOWN, NUMBER SPECIFIES ALTERNATE MOUNTING HEIGHT FOR TV)

**AV2** MOUNT TV RECEIPTABLES AT 12' AFF. MOUNT DEVICE RECEIPTABLES AT 15' AFF. U.O.N.

**GFCI** GROUND FAULT CIRCUIT INTERRUPTER

**WP** WATERPROOF - EXTERIOR OUTLETS

**T** THERMOSTAT (DUAL) - COORDINATE WITH MECHANICAL & PLUMBING CONTRACTOR FOR COOLING AND HEATING OPERATION

**E** ELECTRICAL PANEL

**J** JUNCTION BOX

**W** LOW VOLTAGE SECURITY WIRING - COORDINATE WITH SECURITY CONTRACTOR (BACK BOXES & EQUIPMENT TO BE PROVIDED BY OWNER)

**U** UNFATELE (STRUCTURED CABLE TERMINATION POINT)

**U** USB OUTLET

**U** DUPLEX OUTLET WITH USB

**E** ELECTRIC RADIANT FLOOR HEAT INSTALLED UNDER NEW FLOOR TILE PROVIDE WALL MOUNTED THERMOSTAT CONTROLS FOR ENTIRE BATHROOM FOOTPRINT. SHOWER STALLS TO RECEIVE "NU HEAT MAT"

**H** DEDICATED HARDWARE CONNECTION (WITH DEDICATED SHUT OFF), OUTLET IN CEILING FOR HVAC (SEE G-004 & M SERIES)

**MOUNTING DIAGRAM**

OR CORNER LEADING EDGE

CASING EDGE

AV OUTLET

SHIFTER 4" x 6"

ELEC. OUTLET

INTERCOM THERMOSTAT

1 PERMIT SET

09/01/22

SCALE: 1/4" = 1'-0"

PROJECT # 2109

DRAWING TITLE:

ELECTRICAL

PLAN LEVEL 02

DRAWING NO:

A-202.00

SHEET:

RECEIVED

NOV 15 2022

TO: GULF COAST ENGINEERING & DESIGN

FROM: [Signature]

PROJECT # 2109

DRAWING TITLE:

ELECTRICAL

PLAN LEVEL 02

DRAWING NO:

A-202.00

SHEET:

**HALASA DESIGN**  
10710 Grandview Rd E. Bradenton, FL 34209  
Tel: 201 270 6158

**PROJECT:**  
581 BROADWAY  
Longwood, FL 32750

**OWNER:**  
NAME:

**CONTRACTOR:**  
**E B G**  
EASON BUILDERS GROUP  
www.ebguilders.com

**ENGINEERS:**

**GULF COAST ENGINEERING & DESIGN**  
2423 Midway Ave W. Bradenton, FL 34209  
Cert. of Auth. #13780 941-236-6101



SEAL

ISSUE DESCRIPTION DATE

1 PERMIT SET 09/01/22

SCALE: 1/4" = 1'-0"

PROJECT # 2109

DRAWING TITLE:

ELECTRICAL

PLAN LEVEL 02

DRAWING NO:

A-202.00

SHEET:





1 GARAGE LEVEL MECHANICAL

SCALE: 1/4" = 1'-0"

GENERAL HVAC NOTES (APPLIES TO ALL DRAWINGS)

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THESE PLANS, STATE, LOCAL, & NATIONAL CODES.
2. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW EVERY DETAIL.
3. THE HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING INSTALLATION.
4. THE DUCT DESIGN AS SHOWN TAKES INTO ACCOUNT THE STATIC PRESSURES AND SYSTEM LOSSES FROM THE EQUIPMENT AND ACCESSORIES SHOWN AS SCHEDULED. VARIATIONS FROM THIS EQUIPMENT, DUCTWORK OR ROUTING LOCATIONS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION.
5. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS REGISTERED OR CERTIFIED IN THE STATE OF FLORIDA.
6. WHEN APPLICABLE, THE CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
7. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
8. DUCTWORK IS TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, IMACONA MANUALS AND THE FOLLOWING SCHEDULE.
- A. RIGID RECTANGULAR DUCT - GALVANIZED SHEET METAL DUCT SECTIONS, USE IMACONA APPROVED CONNECTION APPROACH. EXTERNALLY INSULATED WITH R6 FOIL BACKED INSULATION AND VAPOR BARRIER. ALL RECTANGULAR DUCT ELBOWS SHALL BE MADE "SOFT" BY UTILIZING ANGLES LESS THAN 90 DEGREES OR UTILIZE TURNING VANES AT ALL 90 DEGREE ELBOWS AND T-SECTIONS. BLACKBOARD WHERE VISIBLE.
- B. FIBERBOARD RECTANGULAR DUCT - FIBERGLASS DUCT BOARD, MINIMUM R6 INSULATION. ANY RECTANGULAR DUCT ELBOWS SHALL BE MADE "SOFT" BY UTILIZING ANGLES LESS THAN 90 DEGREES OR UTILIZE TURNING VANES AT ALL 90 DEGREE ELBOWS AND T-SECTIONS. BLACKBOARD WHERE VISIBLE.
- C. RIGID ROUND DUCT - GALVANIZED SHEET METAL, WRAPPED WITH R6 FOIL BACKED EXTERNAL INSULATION AND VAPOR BARRIER.
- D. FLEXIBLE DUCTS - FLEXIBLE WIRE REINFORCED DUCT WITH R6 FOIL BACKED EXTERNAL INSULATION AND VAPOR BARRIER.
- E. EXHAUST DUCT - GALVANIZED SHEET METAL, UNINSULATED.
9. AIR DISTRIBUTION DEVICES TO BE AS SCHEDULED. REFER TO PLANS FOR AIR PATTERN AND DIRECTIONS AND PROVIDE PATTERN CONTROLLERS AS REQUIRED.
10. THERMOSTATS SHALL BE PROGRAMMABLE TYPE, C/W INTEGRATED HUMIDISTAT OR APPROVED EQUAL & MOUNTED 54" ABOVE FINISHED FLOOR.
11. THE HVAC CONTRACTOR SHALL COMPLY FULLY WITH THE REQUIREMENTS OF ANSI/ACCA STANDARD 1 HVAC QUALITY INSTALLATION SPECIFICATION WITH PARTICULAR REFERENCE TO SECTIONS 4 THRU 6.
12. THE HVAC CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN 1 YEAR FROM THE DATE OF ACCEPTANCE, UNLESS OTHERWISE NOTED.
13. ALL EQUIPMENT, THERMOSTATS, SENSORS AND CONTROL PANELS SHALL BE CLEARLY AND PERMANENTLY MARKED WITH THE SYSTEM NUMBER IT SERVES. EQUIPMENT TAGS SHALL BE ENGRAVED OR EMBOSSED AND SECURED BY RIVETS OR SCREWS NEAR THE MANUFACTURERS NAME PLATE.
14. THE ENTIRE DUCT SYSTEM TO BE FABRICATED AND INSTALLED IN ANTICIPATION OF PERFORMANCE TESTING. ALL REGISTER BOXES AND PLENUMS SHALL BE SEALED AS PART OF THE ROUGH-IN PROCESS.
15. THE HVAC CONTRACTOR SHALL SEAL ALL OPEN DUCTS, REGISTERS, VENTS AND EQUIPMENT IN ORDER TO MINIMIZE CONTAMINATION DURING CONSTRUCTION.
16. THE FINAL LOCATION FOR ALL CEILING ELEMENTS IS TO BE COORDINATED ON SITE PRIOR TO INSTALLATION.
17. THE HVAC CONTRACTOR SHALL PROVIDE OWNER DOCUMENTATION AND INSTRUCTION IN ACCORDANCE WITH ANSI/ACCA STANDARD 5.

EQUIPMENT NOTES

1. THE MECHANICAL DESIGN AND EQUIPMENT SELECTION HAS BEEN COORDINATED WITH PLUMBING AND ELECTRICAL REQUIREMENTS AND WITH ARCHITECTURAL DRAWINGS THAT WERE AVAILABLE AT THE TIME OF DESIGN. THE MECHANICAL CONTRACTOR SHALL NOTIFY THE GC OF FIELD CONDITIONS THAT MAY REQUIRE ALTERNATE DUCT SIZES OR ROUTING PRIOR TO MAKING SUCH CHANGES.
2. IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER TO SUPERVISE THE COORDINATION ALL COMPONENTS OF THE BUILDING DESIGN, INCLUDING BUT NOT LIMITED TO THE ROOF TRUSSES, STRUCTURAL MEMBERS AND ARCHITECTURAL FEATURES, TO ENSURE FULL AND COMPLETE COMPLIANCE WITH THE DESIGN DOCUMENTS. THIS WILL REQUIRE THE REVIEW OF SHOP DRAWINGS BEFORE MANUFACTURING OF THESE COMPONENTS. ANY FAILURE TO COORDINATE THE WORK IS SOLELY THE RESPONSIBILITY OF THE GC/CM.

STANDARD MEP COORDINATION APPROACH

1. COOLING CAPACITIES BASED ON 75°F DB, 63°F WB AIR ENTERING INDOOR COIL, 80°F AIR ENTERING OUTDOOR COIL.
2. PROVIDE CONDENSATE DRAIN TRAPS COMPLETE WITH FLOAT SWITCH. FLOAT SWITCHES SHALL SHUT DOWN UNIT WHEN TRIGGERED.
3. EQUIPMENT SHALL NOT BE USED DURING CONSTRUCTION. TEMPORARY UNITS SHALL BE USED SHOULD COOLING BE REQUIRED DURING CONSTRUCTION.
4. ALL EQUIPMENT SHALL BE PROTECTED DURING CONSTRUCTION & ON CERTIFICATE OF OCCUPATION ALL FILTERS SHALL BE REPLACED.
6. AIR HANDLERS TO BE PROVIDED WITH SECONDARY DRAIN PANS EQUIPMENT NOTES

CEILING OBJECTS

- CEILING PLIENAL OVERBOARD, WALL (SEE MECHANICAL PLANS PLENUM AREAS). WALL TO EXTEND TO BOTTOM OF STRUCTURE ABOVE. CONTRACTOR SHALL SEAL GAP DUCT PENETRATIONS.
- WDR WALL DIFFUSER SUPPLY
- WDR WALL DIFFUSER RETURN
- CDS CEILING DIFFUSER SUPPLY
- CEILING DIFFUSER RETURN
- WDR WALL DIFFUSER RETURN
- TGR TRANSFER GRILLE AT CLO PLENUM FOR RETURN AIR
- EF EXHAUST FAN DIFFUSER
- SCO CLO/MTO SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- SCO WALL MTO SMOKE DETECTOR/CARBON MONOXIDE DETECTOR

NOTES

SYMBOLS SHOWN FOR REFERENCE AND LOCATION PURPOSES ONLY. PLEASE REFER TO ELECTRICAL AND LOW VOLTAGE DRAWINGS FOR RECEPTIONS. COORDINATE EXACT LIGHT FIXTURE LOCATIONS WITH INTERIOR ELEVATIONS AND LIGHTING DETAILS.

MILLWORK SHOWN ON RCP FOR REFERENCE ONLY.

UNLESS OTHERWISE NOTED, RCP TAGS INDICATE CEILING CONSTRUCTION TYPES ONLY AND ARE NOT MEANT TO DEPICT FINISHES. PLEASE REFER TO ROOM FINISH SCHEDULE FOR ALL FINISHES.

ANY LIGHT THAT CAN BE SEEN FROM THE BEACH MUST BE TURTLE PROTECTED



HALASA DESIGN  
10210 Spenard Rd E Bradenton, FL 34209  
Tel: 941.270.6154

PROJECT:  
561 BROADWAY  
Longboat Key, FL 34229

OWNER:  
NAME:

CONTRACTOR:

EASON BUILDERS GROUP  
www.easonbuilders.com

EASON BUILDERS GROUP

ENGINEERS:

GULF COAST  
ENGINEERING & DESIGN  
2427 Manatee Ave W, Bradenton FL 34205  
Cert. of Auth. #13790 941-270-6101



ISSUE		
DESCRIPTION	DATE	
1 PERMIT SET		

ISSUE	DESCRIPTION	DATE
1	PERMIT SET	09/01/22

SCALE: 1/4" = 1'-0"  
PROJECT # 2109

DRAWING TITLE:  
MECHANICAL  
PLAN GARAGE

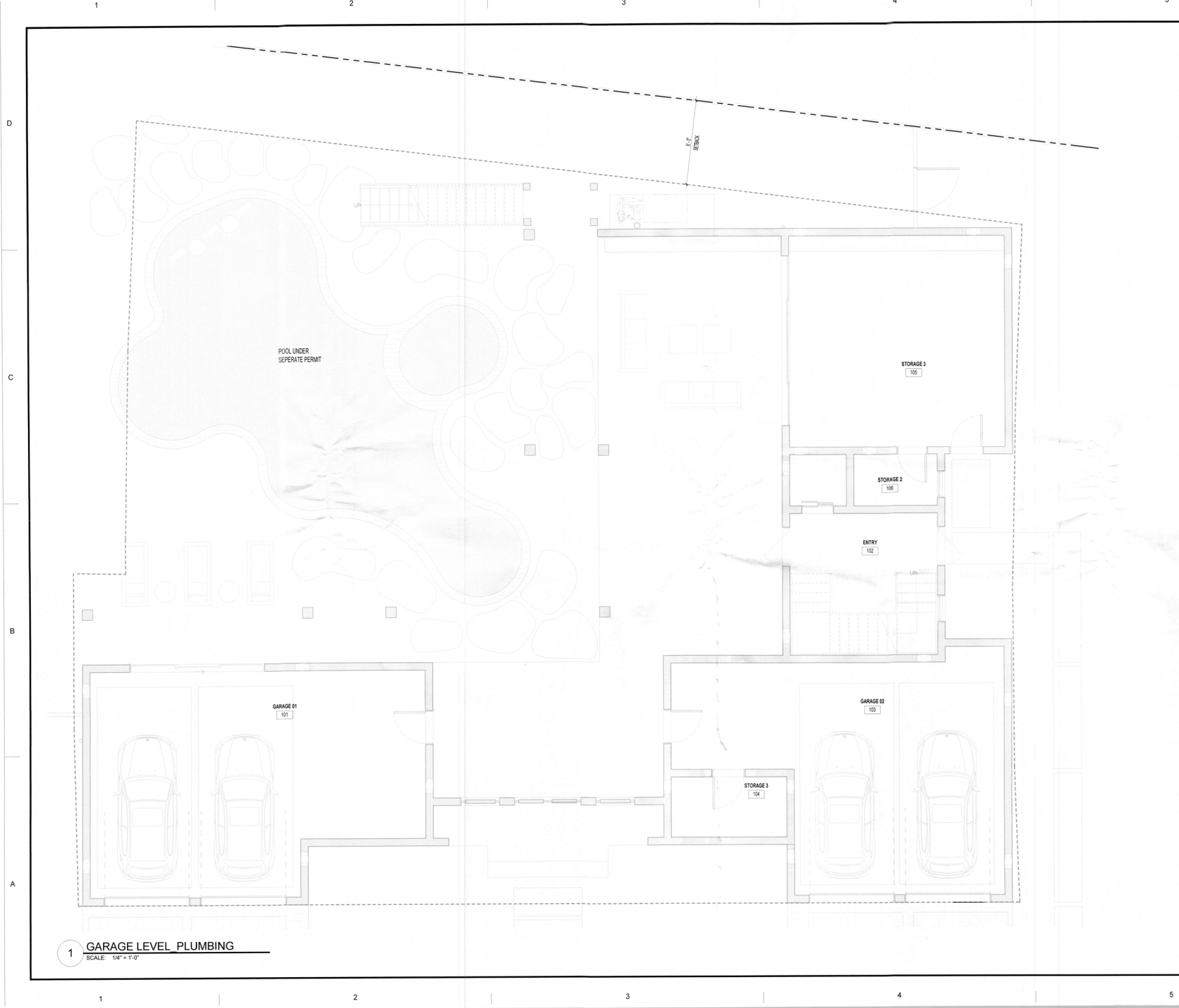
DRAWING NO:

A-203.00

SHEET:

RECEIVED  
JULY 11 2022  
TOWN OF LONGBOAT KEY  
PLANNING & ZONING DEPARTMENT





1 GARAGE LEVEL PLUMBING  
SCALE: 1/4" = 1'-0"

**HALASA DESIGN**  
10210 Squared Mile E Bradenton,  
FL 34205  
Tel: 941 276-8104

**PROJECT:**  
591 BROADWAY  
Longboat Key, FL 34228

**OWNER:**  
NAME:

**CONTRACTOR:**  
**E B G**  
EASON BUILDERS GROUP  
www.easonbuilders.com  
**ENGINEERS:**

**GULF COAST**  
ENGINEERING & DESIGN  
2423 Manatee Ave W, Bradenton FL 34205  
Cert. of Auth. #121706 941-276-8101



SEAL

ISSUE	DESCRIPTION	DATE

1 PERMIT SET 09/10/22

SCALE 1/4" = 1'-0"  
PROJECT # 2109

DRAWING TITLE:  
**PLUMBING PLAN  
GARAGE**

DRAWING NO:  
**A-205.00**  
SHEET:

RECEIVED  
NOV 11 2022  
TOWN OF BRADENTON  
Planning, Zoning & Building



NOTE: FDEP PERMIT SET  
PURSUANT TO FEMA TECHNICAL BULLETIN 4 (2010), THE ELEVATOR NEEDS TO BE EQUIPPED WITH A  
FLOAT SWITCH TO RETURN IT TO ABOVE B.F.E. IN THE EVENT OF FLOODING.

NOTE:  
ALL MATERIALS BELOW BASE FLOOD ELEVATION SHALL BE WATER RESISTANT MATERIALS  
(INCLUDING WINDOWS, DOORS, JAMBS, STAIR, WALL, MATERIALS ETC.)

NOTE:  
HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 5/8" TYPE "X" DRYWALL  
CEILING ON UNDERSIDE OF PRE-ENGINEERED WOOD FLOOR JOIST.

WALL LEGEND:  
SC STUCCO PAINT EXTERIOR  
WD BOARD AND BATTEN SIDING  
ST STONE



PROJECT:  
551 BROADWAY  
Longwood, FL 32750

OWNER:

NAME:

CONTRACTOR:

E B G  
EASON BUILDERS GROUP  
www.easonbuilders.com

ENGINEERS:

GULF COAST  
ENGINEERING & DESIGN  
2423 Mainway Ave W. Bradenton FL 34205  
Cell: 941-278-6100 Fax: 941-278-6101

SEAL



ISSUE DESCRIPTION DATE

2 REV 02 11/08/22  
1 PERMIT SET 09/01/22

SCALE 1/4" = 1'-0"  
PROJECT # 2109

DRAWING TITLE:  
ELEVATIONS 01

DRAWING NO.:

A-301.00

SHEET:

1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

DAUGHTER PLANE  
1'-0"

2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

RECEIVED  
NOV 16 2022  
TOWN OF SEASIDE  
Planning & Building Department

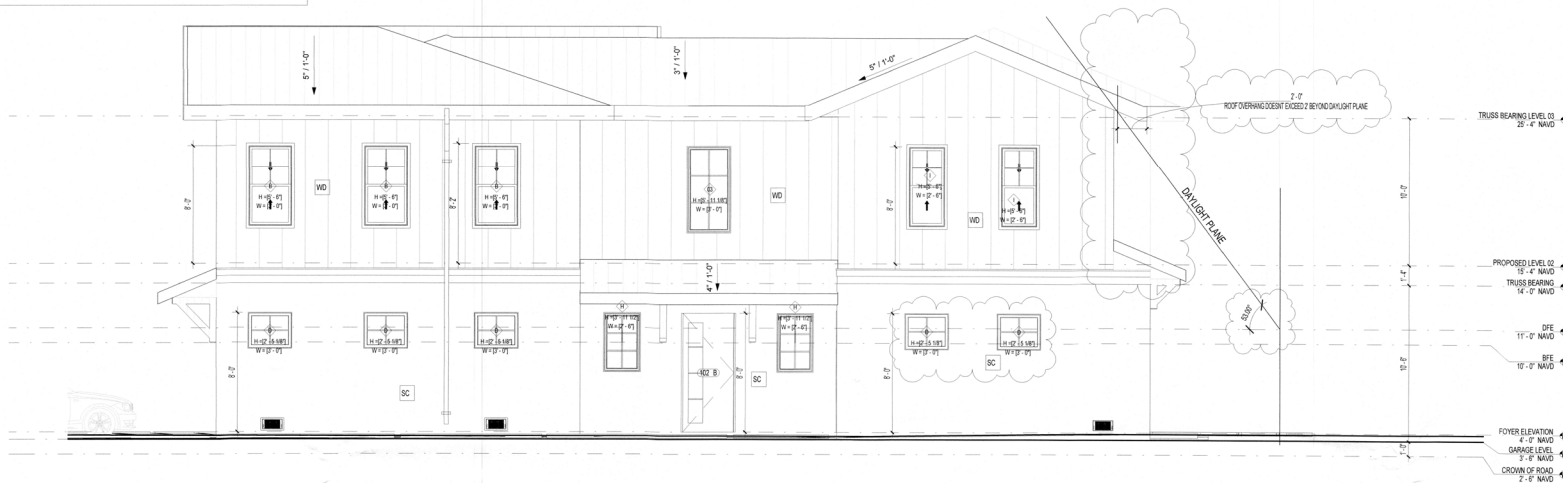


NOTE: FDEP PERMIT SET  
PURSUANT TO FEMA TECHNICAL BULLETIN 4 (2010), THE ELEVATOR NEEDS TO BE EQUIPPED WITH A  
FLOAT SWITCH TO RETURN IT TO ABOVE B.F.E. IN THE EVENT OF FLOODING.

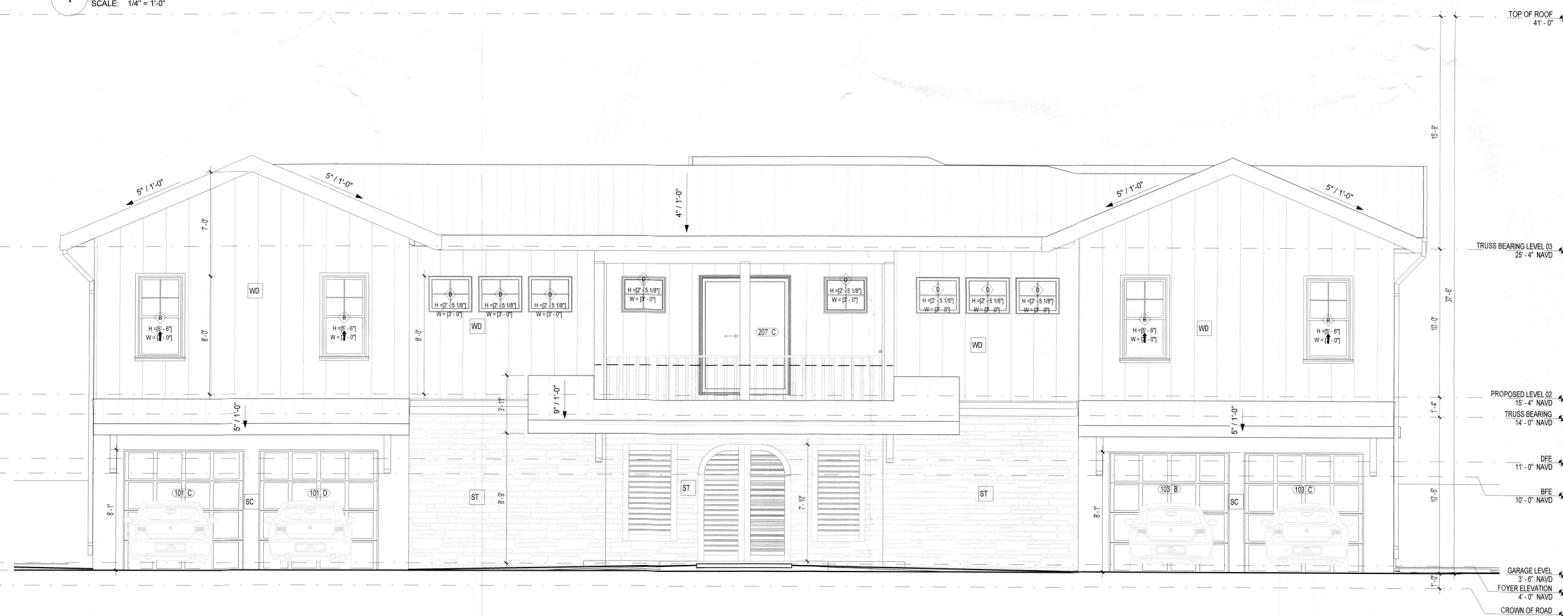
NOTE:  
ALL MATERIALS BELOW BASE FLOOD ELEVATION SHALL BE WATER RESISTANT MATERIALS  
(INCLUDING WINDOWS, DOORS, JAMBS, STAIR, WALL, MATERIALS ETC.)

NOTE:  
HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 5/8" TYPE "X" DRYWALL  
CEILING ON UNDERSIDE OF PRE-ENGINEERED WOOD FLOOR JOIST.

WALL LEGEND:  
SC STUCCO PAINT EXTERIOR  
WD BOARD AND BATTEN SIDING  
ST STONE



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PROJECT:  
591 BROADWAY  
Longwood, FL 32750

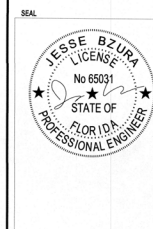
OWNER:

NAME:

CONTRACTOR:



EASON BUILDERS GROUP  
ENGINEERS:



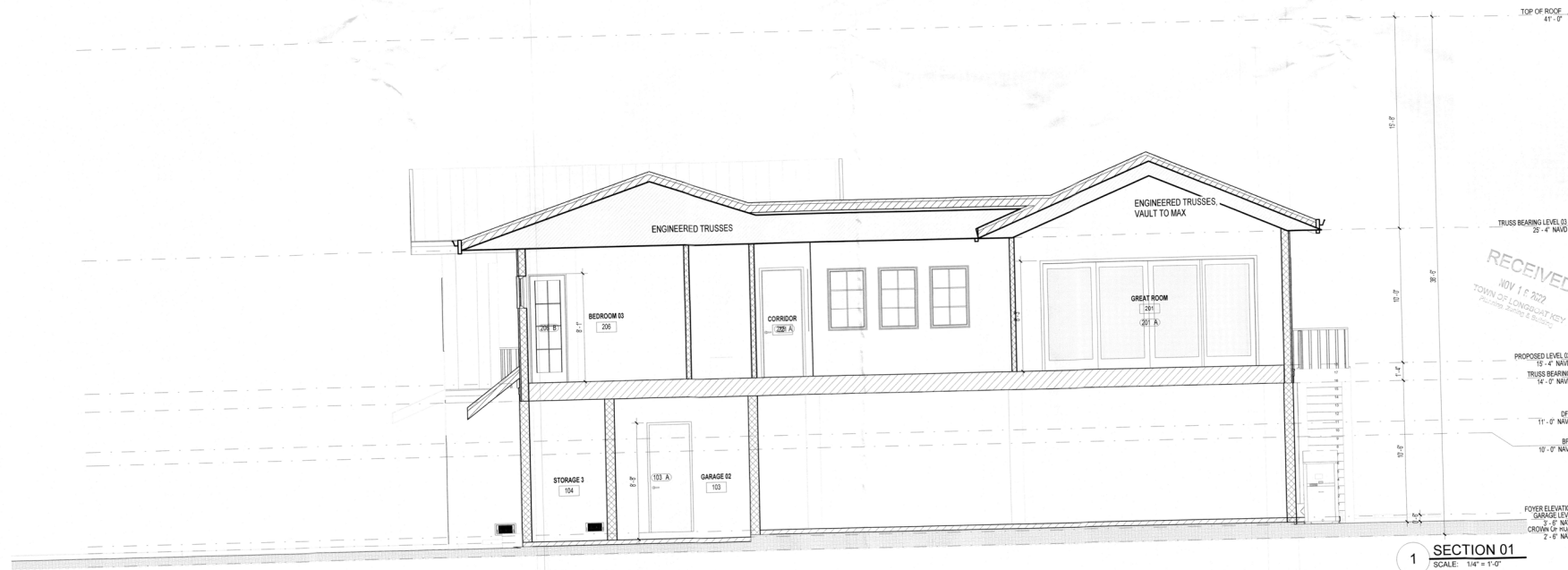
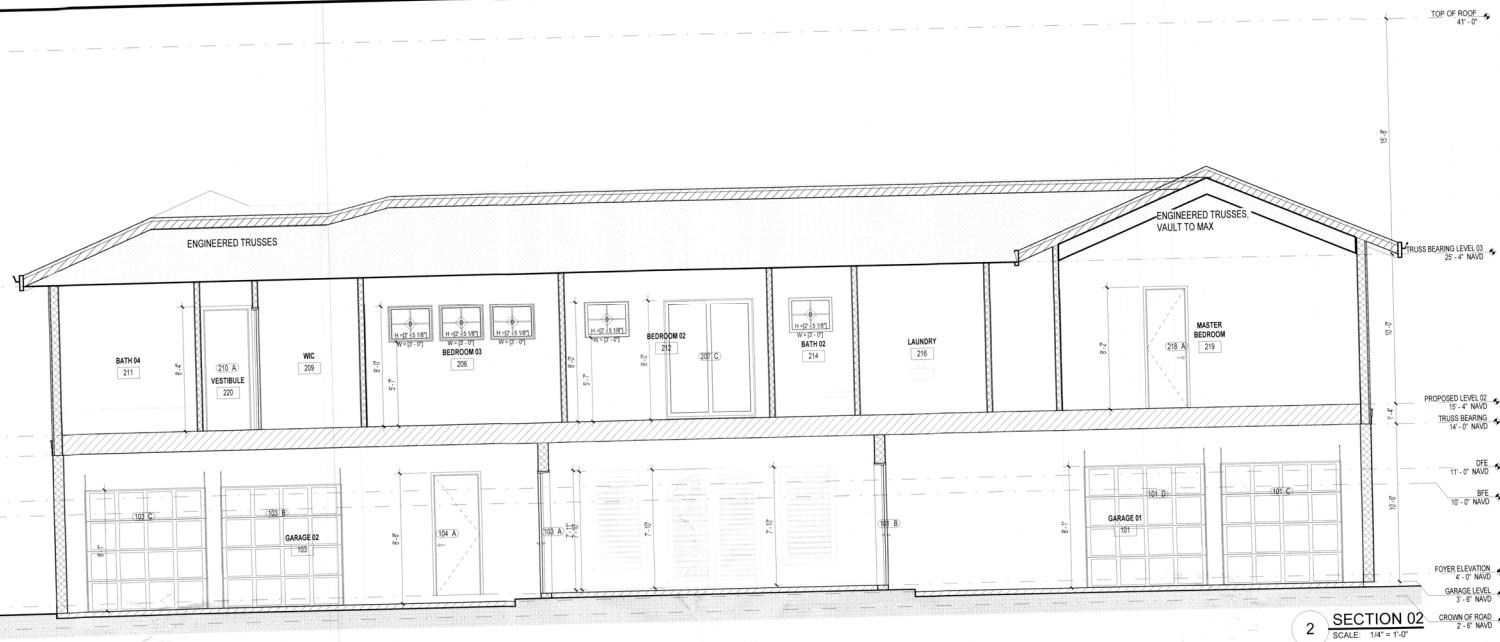
ISSUE DESCRIPTION DATE

D

C

B

A



HALASA DESIGN  
10210 Spennell Rd E Bradenton,  
FL 34209  
Tel: 202 276-9104

PROJECT:  
501 BROADWAY  
Longwood Key, FL 34209

OWNER:  
NAME:

CONTRACTOR:



EASON BUILDERS GROUP  
www.easonbuilders.com

ENGINEERS:

GULF COAST  
ENGINEERING & DESIGN  
2423 Manatee Ave W, Bradenton FL 34209  
Cert. of Arch. #131700 981-216-6101

SEAL



ISSUE DESCRIPTION DATE

NOV 1 1 2021  
TOWN OF LONGWOOD KEY  
Planning & Zoning

1 PERMIT SET 08/01/23

SCALE: 1/4" = 1'-0"

PROJECT # 2109

DRAWING TITLE:  
SECTIONS

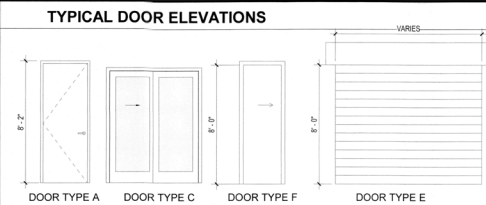
DRAWING NO:

A-401.00

SHEET

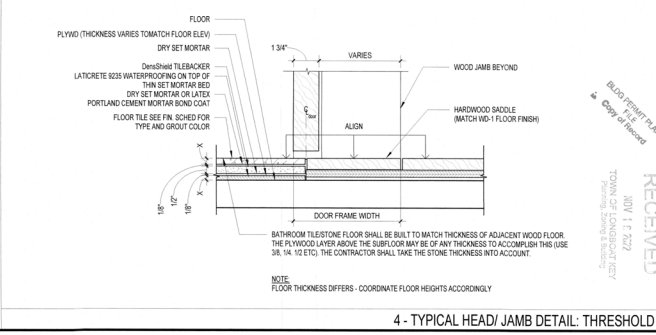
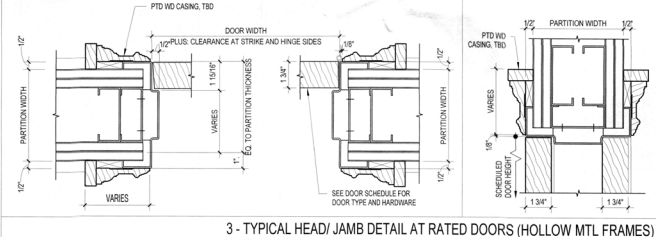
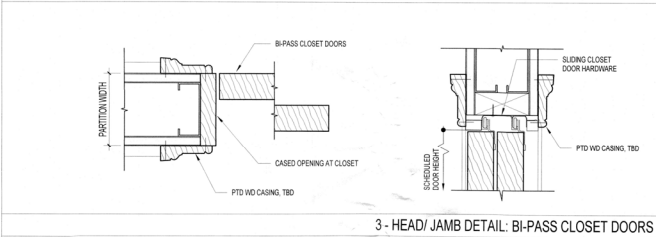
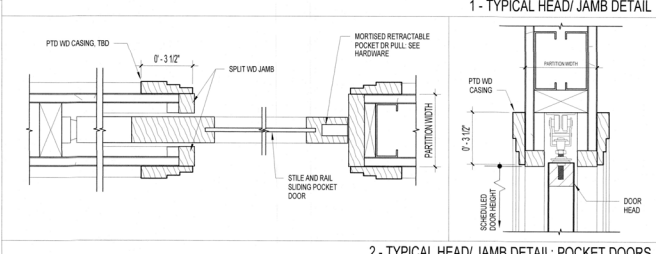
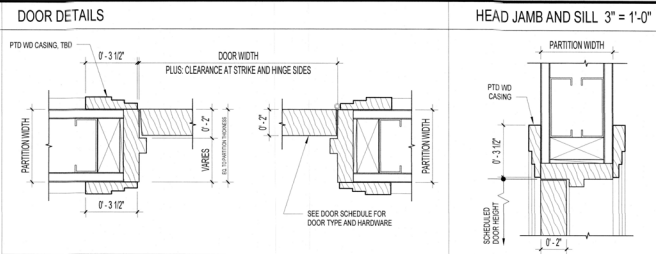
DOORS											
DOOR SCHEDULE - EXTERIOR											
Room #	Door Tag	Room Name	MEETS OPENING PROTECTION REQ	DOOR SIZE		DOOR		FRAME		Sill	REMARKS
Room #	Door Tag	Room Name	MEETS OPENING PROTECTION REQ	Width	Height	ML	FL	ML	FL	Jamb	Head
101	C	GARAGE 01		8'-0"	8'-0"			8'-0"	0'-0"		Exterior
102	D	GARAGE 01		8'-0"	8'-0"			8'-0"	0'-0"		Exterior
102	B	ENTRY		8'-0"	8'-0"			8'-0"	0'-0"		Exterior
102	A	ENTRY		8'-0"	8'-0"			8'-0"	0'-0"		Exterior
103	C	GARAGE 02		8'-0"	8'-0"			8'-0"	0'-0"		Exterior
103	B			8'-0"	8'-0"			8'-0"	0'-0"		Exterior
101	B	GARAGE 01		3'-0"	8'-0"			8'-0"	0'-0"		Exterior
101	A	GARAGE 01		12'-10"	8'-0"			8'-0"	0'-0"		Exterior
103	A			3'-0"	8'-0"			8'-0"	0'-0"		Exterior
105	A	STORAGE 3		16'-0"	8'-0"			8'-0"	0'-0"		Exterior
PROPOSED LEVEL 02											
103	A	BATH 04		2'-0"	8'-0"			8'-0"	0'-0"		Exterior
201	A	GREAT ROOM		16'-0"	8'-0"			8'-0"	0'-0"		Exterior
203	A	OFFICE		3'-0"	8'-0"			8'-0"	0'-0"		Exterior
206	B	BEDROOM 03		2'-0"	8'-0"			8'-0"	0'-0"		Exterior
207	C	BEDROOM 02		6'-0 5/8"	7'-11 1/2"			8'-0"	0'-0 1/2"		Exterior
219	B	MASTER BEDROOM		12'-10"	8'-0"			8'-0"	0'-0"		Exterior
Grand total: 16											

DOOR SCHEDULE - INTERIOR											
Room #	Door Tag	Room Name	MEETS OPENING PROTECTION REQ	DOOR SIZE		DOOR		FRAME		Sill	REMARKS
Room #	Door Tag	Room Name	MEETS OPENING PROTECTION REQ	Width	Height	ML	FL	ML	FL	Jamb	Head
104	A	GARAGE 02		3'-0"	8'-0"			8'-0"	0'-0"		Interior
105	B	STORAGE 3		3'-0"	8'-0"			8'-0"	0'-0"		Interior
106	A	STORAGE 3		2'-0"	8'-0"			8'-0"	0'-0"		Interior
PROPOSED LEVEL 02											
202	B	PANTRY		3'-0"	8'-0"			8'-0"	0'-0"		Interior
204	B	CIRCULATION		3'-0"	8'-0"			8'-0"	0'-0"		Interior
205	A	P.R.		3'-0"	8'-0"			8'-0"	0'-0"		Interior
206	A	BEDROOM 03		3'-0"	8'-0"			8'-0"	0'-0"		Interior
207	A	BATH 03		2'-0"	8'-0"			8'-0"	0'-0"		Interior
208	A	BEDROOM 03		2'-0"	8'-0"			8'-0"	0'-0"		Interior
209	A	VESTIBULE		2'-0"	8'-0"			8'-0"	0'-0"		Interior
210	A	BEDROOM 04		2'-10 9/16"	8'-0"			8'-0"	0'-0"		Interior
211	A	BATH 04		2'-7"	8'-0"			8'-0"	0'-0"		Interior
212	A	BEDROOM 02		3'-0"	8'-0"			8'-0"	0'-0"		Interior
213	B	W.I.C.		5'-10 9/16"	8'-0"			8'-0"	0'-0"		Interior
214	B	BATH 02		2'-0"	8'-0"			8'-0"	0'-0"		Interior
214	A	BATH 02		5'-10 9/16"	8'-0"			8'-0"	0'-0"		Interior
215	A	MASTER BEDROOM		3'-0"	8'-0"			8'-0"	0'-0"		Interior
215	B	MASTER BEDROOM		2'-0"	8'-0"			8'-0"	0'-0"		Interior
216	A	LUXURY		2'-0"	8'-0"			8'-0"	0'-0"		Interior
217	A	W.I.C.		2'-0"	8'-0"			8'-0"	0'-0"		Interior
218	C	MASTER BATH		2'-0"	8'-0"			8'-0"	0'-0"		Interior
218	A	MASTER BATH		2'-0"	8'-0"			8'-0"	0'-0"		Interior
218	B	MASTER BATH		2'-0"	8'-0"			8'-0"	0'-0"		Interior
220	A	VESTIBULE		3'-0"	8'-0"			8'-0"	0'-0"		Interior
224	A	HVAC CLOSET		2'-0"	8'-0"			8'-0"	0'-0"		Interior
Grand total: 26											



### WINDOW SCHEDULE

Room Name	Room #	WINDOW TYPE	Head Height	Head QTY.	WIDTH	HEIGHT	OPERABLE	FRAME FINISH	REMARKS
FOYER ELEVATION									
ENTRY	102	D	4'-0 1/2"	1	2'-0"	3'-11 1/2"			
GARAGE 02	103	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
GARAGE 02	103	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
GARAGE 02	103	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
STORAGE 3	105	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
STORAGE 3	106	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
STORAGE 3	106	H	4'-0 1/2"	8'-0"	1	12'-0"	3'-11 1/2"		
PROPOSED LEVEL 02									
GREAT ROOM	201	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
GREAT ROOM	201	I	2'-0"	8'-0"	1	2'-0"	5'-0"		
GREAT ROOM	201	I	2'-0"	8'-0"	1	2'-0"	5'-0"		
GREAT ROOM	201	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
OFFICE	203	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
OFFICE	203	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
OFFICE	203	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
CIRCULATION	204	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
CIRCULATION	204	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
CIRCULATION	204	A	3'-4"	8'-0"	1	3'-0"	4'-8"		
BEDROOM 03	206	D	2'-0 7/8"	8'-0"	1	3'-0"	5'-11 1/8"		
BEDROOM 03	206	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
BEDROOM 03	206	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
BEDROOM 03	206	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
BATH 03	207	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
BEDROOM 04	210	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
BEDROOM 04	210	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
BEDROOM 04	210	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
BATH 04	211	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
BEDROOM 02	212	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
BATH 02	214	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
W.I.C.	217	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
W.I.C.	217	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
W.I.C.	217	D	5'-6 7/8"	8'-0"	1	3'-0"	2'-5 1/8"		
MASTER BATH	218	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
MASTER BATH	218	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
MASTER BATH	218	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
MASTER BEDROOM	219	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
MASTER BEDROOM	219	B	2'-0"	8'-0"	1	3'-0"	5'-0"		
Grand total: 36									



**HALASA DESIGN**  
10010 Squared Rd S Bradenton, FL 34209  
Tel: 201 270-8104

**PROJECT:**  
5th BROADWAY  
Longport, NJ, FL 34209

**OWNER:**  
NAME:

**CONTRACTOR:**  
EASON BUILDERS GROUP  
www.ebgflorida.com

**ENGINEERS:**

**GULF COAST ENGINEERING & DESIGN**  
2401 Manatee Ave W, Bradenton, FL 34205  
Cell: 407-555-5555 Fax: 407-555-5555

**JESSE BZURA LICENSE**  
No 65031  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**RECEIVED**  
JUN 11 2024  
TOWN OF LONGPORT  
Planning & Building Department  
City of Longport

ISSUE	DESCRIPTION	DATE
1	PERMIT SET	06/01/24

**SCALE:** As indicated  
**PROJECT #:** 2109  
**DRAWING TITLE:** DOOR, WINDOW SCHEDULE & WALL TYPES  
**DRAWING NO:** A-501.00  
**SHEET:**

STRUCTURAL NOTES

SCOPE OF WORK

THE SCOPE OF WORK OF THIS PROJECT IS TO CONSTRUCT A NEW SINGLE FAMILY HOME.

DESIGN CRITERIA

THE STRUCTURAL SYSTEM FOR BUILDING DEPICTED HERE HAS BEEN DESIGNED ACCORDING TO THE 2020 7TH EDITION OF THE FLORIDA BUILDING CODE, AND ASCE 7-16.

THE STRUCTURE HAS BEEN DESIGNED TO RESIST THE FOLLOWING LIVE LOADS:

FLOOR LOADS: 40 PSF

ROOF LOADS: 20 PSF

WIND LOADS HAVE BEEN CALCULATED FOR:

- 3-SEC GUST
- 160 MPH
- RISK CATEGORY II
- CATEGORY D
- FULLY ENCLOSED

COMPONENT AND CLADDING LOADS BELOW HAVE BEEN FACTORED BY 0.6 FOR ASD CALCULATIONS.

TRIBUTARY AREA (SF)	C&O WIND PRESSURE SCHEDULE (PSF)				
	ZONE				
	ROOF		Overhang		WINDOWS & DOORS
	1	2	3	4	5
10	27.5 - 89.4	27.9 - 130.4	27.9 - 130.4	-143.5 - 192.8	48.4 - 86.6
20	25.5 - 89.4	25.5 - 114.0	25.5 - 114.0	-164.8	46.1 - 83.1
50	22.0 - 56.8	22.0 - 49.4	22.0 - 49.4	-114.3 - 123.5	42.5 - 47.8
100	19.7 - 27.9	19.7 - 73.0	19.7 - 73.0	-102.5 - 94.3	40.2 - 44.3

Width of zones 2, 3 & 5 = 8 ft.

A CONTINUOUS LOAD PATH BETWEEN FOUNDATIONS, COLUMNS, AND BEAMS ARE INTENDED BY THESE DRAWINGS AND SHALL BE FIELD VERIFIED. CONTRACTOR TO VERIFY A MINIMUM LOAD BEARING CAPACITY OF 2000 PSF FOR SOIL BEARING.

THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUITABLE SEQUENCING, MEANS AND METHODS OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO THE ADDITION OF NECESSARY SHORING, TIE DOWNS, TEMPORARY BRACING, ETC.

MATERIALS

MASONRY:

ALL MASONRY WORK SHALL BE PERFORMED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530)" & "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1)".

CONCRETE MASONRY UNITS SHALL BE 8"X8"X16" (NOMINAL) GRADE "N" HOLLOW LOAD BEARING UNITS, CONFORMING TO ASTM C-90 WITH A MINIMUM COMPRESSIVE STRENGTH (F<sub>m</sub>) OF 1500 PSI. MORTAR SHALL BE TYPE M OR S AND SHALL CONFORM TO ASTM C-270. GROUT OR PEA GRAVEL CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED. COREFILL MIX SHALL CONFORM TO ASTM C-476. AIR ENTRAINING MIXTURES OR HYDRATED LIME CONTAINING AIR ENTRAINING MIXTURES ARE PROHIBITED BECAUSE UNLESS APPROVED BY THE ENGINEER, CALCIUM CHLORIDE IS NOT PERMITTED IN MORTAR OR GROUT IN WHICH REINFORCEMENT, METAL TIES, OR ANCHORS ARE EMBEDDED BECAUSE OF EXCESSIVE CORROSION.

CONCRETE:

CONCRETE MIX SHALL BE DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI UNLESS NOTED OTHERWISE.

ALL MATERIALS SHALL COMPLY WITH THE STANDARDS OF ACI 318 AND THE REQUIREMENTS OF ASTM C 150, ASTM C 595, OR ASTM C 685.

ALL CONCRETE MEASURING, MIXING, TRANSPORTING, ETC. SHALL COMPLY WITH THE REQUIREMENTS OF ASTM STANDARD C347-04.

THE MAXIMUM TIME ALLOWED FROM THE TIME THE WATER IS ADDED UNTIL THE MIX IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS IF FOR ANY REASON THERE IS A LONGER DELAY THAN THAT STATED ABOVE, THE CONCRETE SHALL BE DISCARDED.

WOOD:

UNLESS NOTED OTHERWISE, ALL WOOD CONSTRUCTION SHALL MEET OR EXCEED REQUIREMENTS OF CHAPTER 23, FBC.

DIMENSIONAL LUMBER SHALL BE RATED IN ACCORDANCE WITH THE STANDARDS OF THE CURRENT EDITION OF THE AMERICAN WOOD COUNCIL'S NATIONAL DESIGN SPECIFICATIONS.

ALL WALL STUDS TO BE SPF #2 U.N.O. ALL TOP & BOTTOM PLATES, RAFTERS, JOISTS, LEDGERS AND OTHER STRUCTURAL MEMBERS SHALL BE SPF #2 U.N.O.

ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE SHALL BE EITHER PRESSURE TREATED OR A NATURALLY DURABLE SPECIES.

MULTI-MEMBER WOOD BEAMS SHALL BE GLUED AND NAILED TOGETHER WITH A MINIMUM OF 16D NAILS @ 12" O.C. TOP AND BOTTOM EDGES, STAGGERED (1" O.C.). SPLICES SHALL BE MADE AT SPIN THIRD POINTS OR CENTER OF SUPPORTS. NO MORE THAN ONE MEMBER SHALL BE SPLICED AT ANY ONE POINT. SPLICES SHALL BE SPACED A MINIMUM OF 4 FEET APART.

MANUFACTURED WOOD PRODUCTS, SUCH AS WOOD TRUSSES AND ENGINEERED LUMBER SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND ERECTION DRAWINGS. INSTALLATION SHALL INCLUDE BRIDGING, BRACING, BLOCKING, AND WEB STIFFENERS AS REQUIRED.

UNLESS OTHERWISE NOTED, BUILT-UP STUD COLUMNS SHALL BE LIMITED TO 3 PLIES AND NAILED TOGETHER WITH 2 ROWS OF 16D NAILS @ 9" O.C. STARTING 3" FROM EACH END. ADJACENT NAILS SHALL BE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.

FASTENERS:

ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

SOIL COMPACTION:

TOP SOIL SHALL BE REMOVED TO A MINIMUM DEPTH OF ONE FOOT OVER THE ENTIRE BUILDING AREA AND FIVE FEET BEYOND BUILDING LINES. THESE AREAS SHOULD BE CLEARED AND GRUBBED OF ANY VEGETATION. THE EXPOSED SURFACE SHOULD THEN BE COMPACTED TO A DEPTH OF (1) FOOT BELOW THE CLEARED AND GRUBBED SURFACE TO A MINIMUM 98% OF THE STANDARD OR MODIFIED PROCTOR DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-698. AFTER COMPACTION OF NATURAL SOILS, FILL MATERIAL TO FINISHED GRADE SHALL BE PLACED WITH A MAXIMUM LIFT OF 6" AND COMPACTED TO A MINIMUM 98% OF THE STANDARD OR MODIFIED PROCTOR DENSITY. FILL MATERIAL SHALL BE CLEAN TO SLIGHTLY SILTY FINE SAND, FREE OF ORGANIC MATERIAL.

GENERAL CONDITIONS

IF THERE ARE ANY DISCREPANCIES HEREIN CONTACT OCCED PRIOR TO PROCEEDING WITH THE WORK.

THIS DESIGN DOES NOT CONSTITUTE THE ENGINEERING OF ANY OTHER STRUCTURES THAT ARE NOT SPECIFICALLY MENTIONED IN THIS PLAN SET.

ALL WORK PREPARED BY OCED, IS THE PROPERTY OF OCED AND MAY ONLY BE USED FOR ITS INTENDED USE AT THE SPECIFIED LOCATION ON THE TITLE BLOCK.

OCED WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S, CLIENT'S OR OTHER ENTITIES' INADEQUATE OR UNSATISFACTORY PERFORMANCE OF THE WORK.



HALASA DESIGN  
10210 Boulevard Rd E. Bradenton,  
FL 34209  
Tel: 941 275 9104

PROJECT:

551 BROADWAY  
Longboat Key, FL 34228

OWNER:

NAME:

CONTRACTOR:



KARON BUILDERS GROUP  
www.karongroup.com

REASON  
BUILDERS  
GROUP

ENGINEERS:

GULF COAST  
ENGINEERING & DESIGN  
1401 Bradenton Ave SE, Bradenton  
FL 34209  
Tel: 941 216-6101  
Cell: 941 446-8070

SEAL



ISSUE DESCRIPTION DATE

ISSUE	DESCRIPTION	DATE

1 Daylight Plane Mod 10/18/2022

SCALE

PROJECT # 22545

DRAWING TITLE:

DRAWING

NO:

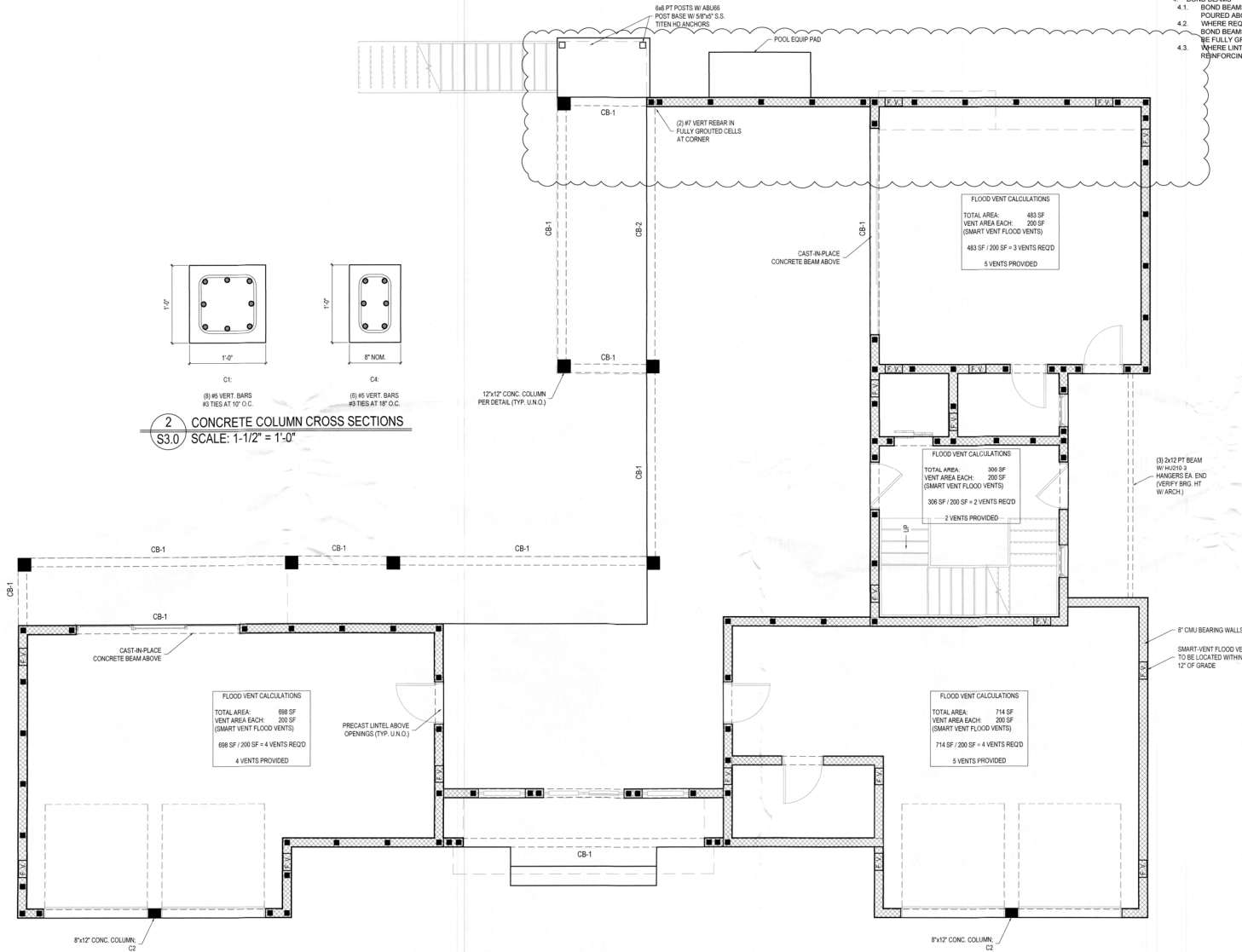
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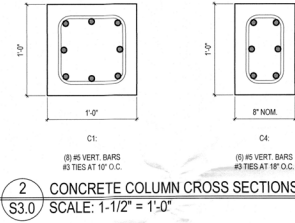


D  
C  
B  
A



**GROUND FLOOR WALL NOTES:**

1. EXTERIOR LOAD BEARING WALLS TO BE 8" CMU WITH #5 BARS IN FULLY GROUTED CELLS AT 48" O.C. AND AT ALL EDGES OF OPENINGS AND CORNERS. HORIZONTAL JOINT REINFORCEMENT SHALL BE INSTALLED AT EVERY OTHER COURSE.
2. TYPICAL CMU WALL LINTEL TO BE 8" PRECAST BY CAST-CRETE OR EQUAL, FULLY GROUTED WITH #5 REBAR UNLESS NOTED OTHERWISE.
3. INTERIOR & EXTERIOR FINISHES AS SPECIFIED BY ARCH.
4. BOND BEAMS
- 4.1. BOND BEAMS SHALL NOT BE REQUIRED WHERE CAST-IN-PLACE THE BEAM IS POURED ABOVE WALLS.
- 4.2. WHERE REQUIRED, AS NOTED ON PLANS, CONTINUOUS TWO COURSE CMU BOND BEAMS TO BE LOCATED AT TOP OF CMU WALLS. EACH COURSE IS TO BE FULLY GROUTED AND SHALL CONTAIN 1#5 CONTINUOUS REBAR WHERE LINTELS OCCUR WITHIN THE TOP TWO COURSES, THE LINTELS AND REINFORCING SHALL BE CONTINUOUS WITH THE BOND BEAM.



**1 GROUND FLOOR PLAN**  
S3.0 SCALE: 1/4" = 1'-0"

**HALABA DESIGN**  
10210 Brevard Rd E. Bradenton, FL 34209  
Tel: 941.275.8104 Fax: 941.275.8104

**PROJECT:**  
551 BROADWAY  
Longwood, FL 32750

**OWNER:**  
NAME:

**CONTRACTOR:**  
EASON BUILDERS GROUP  
www.easonbuilders.com

**ENGINEERS:**  
GULF COAST ENGINEERING & DESIGN  
2403 Bradenton Ave. W. Bradenton, FL 34205  
Tel: 941.275.8101  
Cell: 941.275.8101

SEAL

**JESSE BZURA**  
LICENSE  
No 65031  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

ISSUE	DESCRIPTION	DATE
1	Daylight Plane Mod	10/18/2022

SCALE  
PROJECT # 22545  
DRAWING TITLE:

RECEIVED  
JUN 11 2023  
TOWN OF LONGWOOD NEW  
Planning, Zoning & Building

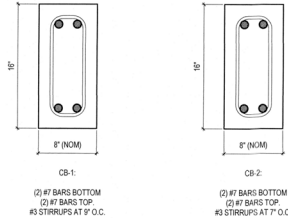
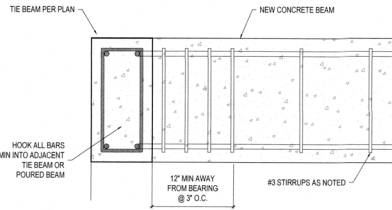
BLDG FORMER PLANS  
COPY OF RECORD

**S3.0**

SHEET:

# CONCRETE BEAM NOTES

- 1 1/2" REBAR COVER MIN.
- STIRRUPS TO BE AT 7" ON CENTER OVER BEARING POINTS
- BEAMS TO BE A MIN. OF 4000 PSI CONCRETE
- HOOK ALL END BARS INTO ADJACENT BEAM OR TIE BEAM 12" MIN.
- TOP BARS TO BE CONTINUOUS OVER SUPPORTS
- BOTTOM BARS TO BE CONTINUOUS BETWEEN SPANS



TYP. ALL BEAMS UNLESS NOTED OTHERWISE

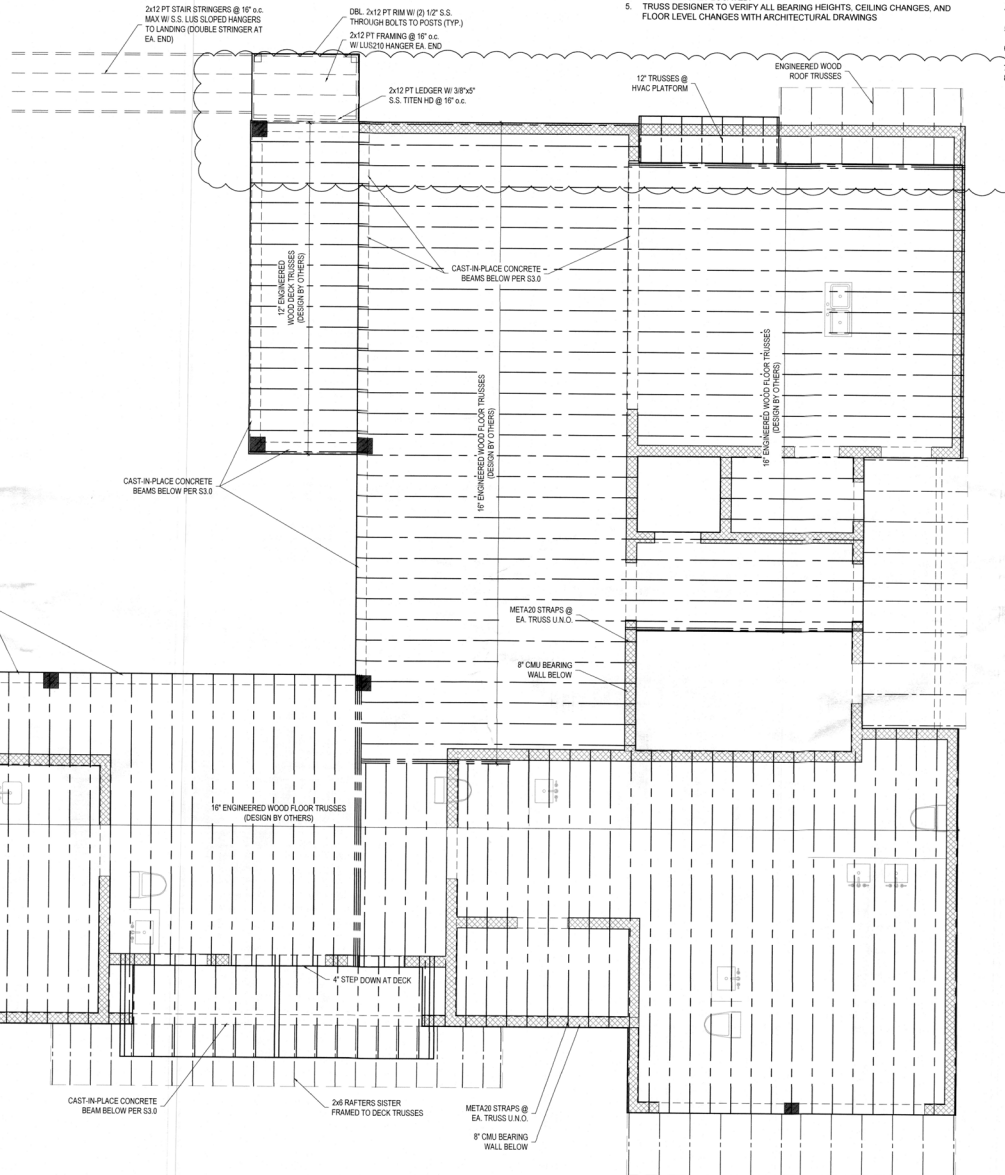
2 CONCRETE BEAMS  
S4.0 SCALE: 1-1/2" = 1'-0"

# ENGINEERED WOOD TRUSS NOTES

- ENGINEERED TRUSS DESIGNS SHALL BE PROVIDED TO GCD FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
- THE TRUSS LAYOUT DEPICTED HEREIN IS ILLUSTRATIVE ONLY. REFER TO THE ENGINEER-APPROVED TRUSS LAYOUT BY THE TRUSS MANUFACTURER
- TRUSS DESIGNER TO LOCATE ALL ELECTRICAL AND PLUMBING FIXTURES AND DRAIN LOCATIONS PER ARCHITECTURAL DRAWINGS AND TAKE CARE TO AVOID LOCATING TRUSSES WHERE CONFLICTS WILL OCCUR
- TRUSS DESIGNER TO AVOID LOCATING TRUSSES IN THE CENTERS OF HALLWAYS AND OTHER SUCH AREAS WHERE RECESSED LIGHTING AND OTHER FIXTURES ARE COMMONLY LOCATED
- TRUSS DESIGNER TO VERIFY ALL BEARING HEIGHTS, CEILING CHANGES, AND FLOOR LEVEL CHANGES WITH ARCHITECTURAL DRAWINGS

# FLOOR FRAMING NOTES

- FLOOR DECKING TO BE 3/4" CDX STRUCTURAL SHEATHING AT 24" OC ATTACHED W/ GLUE AND 10D NAILS @ 6" O.C. AT PANEL EDGES & 6" O.C. AT INTERMEDIATE MEMBERS
- WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. BETWEEN FIRST (2) BAYS TO BRACE WALL
- THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES
- ALL FLOOR FRAMING TO BE TIED DOWN TO WALLS BELOW W/ METASO EMBEDDED STRAPS UNLESS NOTED OTHERWISE
- USE APPROVED SIMPSON HANGERS ON ALL WOOD TRUSS AND LEDGER CONNECTIONS
- ATTACH 5/8" NON-SAG DRYWALL COVERING ON THE UNDERSIDE OF FLOOR JOISTS TO PROVIDE FIRE BARRIER TO LIVING SPACES
- IN FLOOR CAVITIES, PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS AND AT ALL BEAMS & HEADERS
- WHERE REQUIRED, PROVIDE ADEQUATE AND PROPER FLASHING AGAINST WATER INTRUSION (TYP.)



1 FIRST FLOOR FRAMING PLAN  
S4.0 SCALE: 1/4" = 1'-0"



HALASA DESIGN  
10210 Greenfield Rd E. Bradenton,  
FL 34208  
Tel: 941.270.8104

PROJECT:  
561 BROADWAY  
Longwood, FL 32750

OWNER:  
NAME:

CONTRACTOR:



EASON BUILDERS GROUP  
www.easonbuilders.com

ENGINEERS:

GULF COAST ENGINEERING & DESIGN  
2423 Magnolia Ave. SE Bradenton,  
FL 34208  
Tel: 941.216.6101  
Cell: 941.216.6102

SEAL



ISSUE	DESCRIPTION	DATE
1	Daylight Plane Mod	10/18/2022

SCALE  
PROJECT # 22545  
DRAWING TITLE:

DRAWING

S4.0

SHEET

BLOG PERMIT PLANS  
Copy of Record

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TOWN OF LONGBEACH NEW  
Planning, Zoning & Building



SHEET:

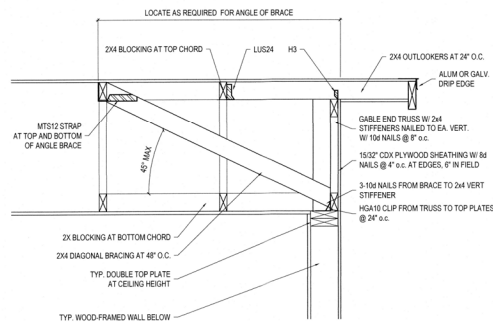
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Planning, Zoning & Building

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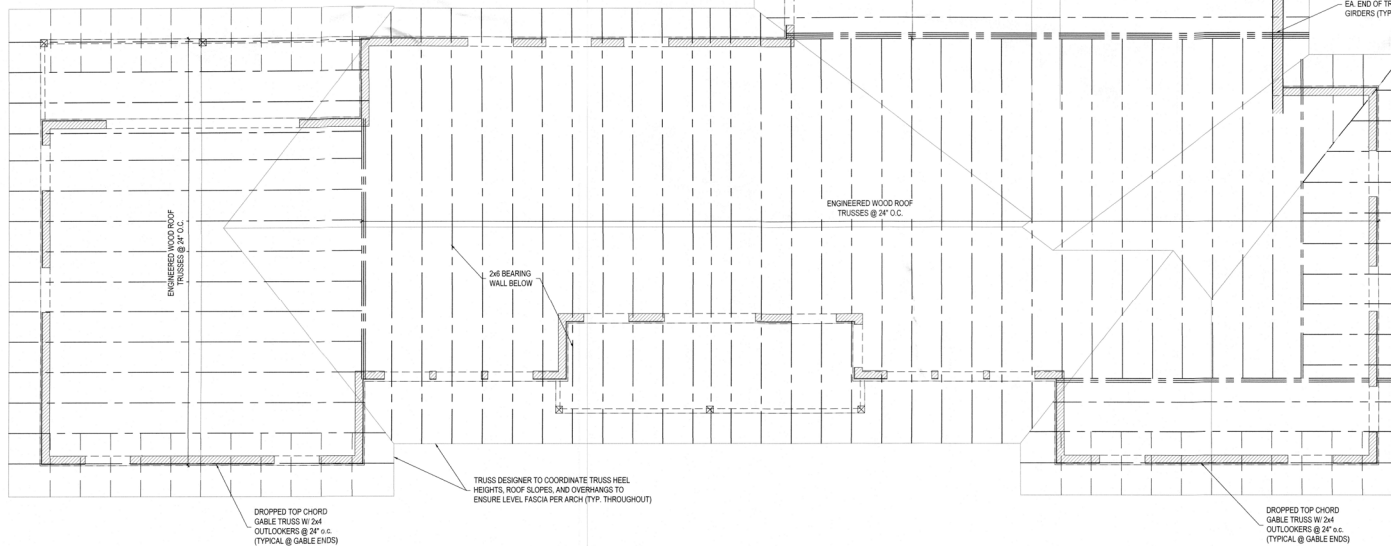
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2 GABLE END FRAMING & BRACING DETAIL  
S6.0 SCALE: 1" = 1'-0"



1 SECOND FLOOR FRAMING  
S6.0 SCALE: 1/4" = 1'-0"

#### ENGINEERED WOOD TRUSS NOTES:

1. ENGINEERED TRUSS DESIGNS SHALL BE PROVIDED TO GCD FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. THE TRUSS LAYOUT DEPICTED HEREIN IS ILLUSTRATIVE ONLY. REFER TO THE ENGINEER-APPROVED TRUSS LAYOUT BY THE TRUSS MANUFACTURER.
3. TRUSS DESIGNER TO LOCATE ALL ELECTRICAL AND PLUMBING FIXTURES AND DRAIN LOCATIONS PER ARCHITECTURAL DRAWINGS AND TAKE CARE TO AVOID LOCATING TRUSSES WHERE CONFLICTS WILL OCCUR.
4. TRUSS DESIGNER TO AVOID LOCATING TRUSSES IN THE CENTERS OF HALLWAYS AND OTHER SUCH AREAS WHERE RECESSED LIGHTING AND OTHER FIXTURES ARE COMMONLY LOCATED.
5. TRUSS DESIGNER TO VERIFY ALL BEARING HEIGHTS, CEILING CHANGES, AND FLOOR LEVEL CHANGES WITH ARCHITECTURAL DRAWINGS.

#### FLOOR FRAMING NOTES:

1. FLOOR DECKING TO BE 3/4" CDX STRUCTURAL SHEATHING AT 24" OC ATTACHED W/ GLUE AND 10d NAILS @ 8" O.C. AT PANEL EDGES & 6" O.C. AT INTERMEDIATE MEMBERS.
2. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. BETWEEN FIRST (2) BAYS TO BRACE WALL.
3. THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
4. USE APPROVED SIMPSON HANGERS ON ALL WOOD TRUSS AND LEDGER CONNECTIONS.
5. ATTACH 5/8" NON-SAG DRYWALL COVERING ON THE UNDERSIDE OF FLOOR JOISTS TO PROVIDE FIRE BARRIER TO LIVING SPACES.
6. IN FLOOR CAVITIES, PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS AND AT ALL BEAMS & HEADERS.
7. PROVIDE BLOCKING UNDER ALL NON-LOAD BEARING WALLS ABOVE WHERE REQUIRED, PROVIDE ADEQUATE AND PROPER FLASHING AGAINST WATER INTRUSION (TYP.).
8. CONTRACTOR TO COORDINATE ALL REQUIRED SLOPES, WATERPROOFING, FINISH SURFACES, ETC. W/ ARCHITECTURAL PLANS.



#### PROJECT:

551 BROADWAY

Longwood, FL 34209

#### OWNER:

NAME:

#### CONTRACTOR:



www.easonbuilders.com

#### ENGINEERS:

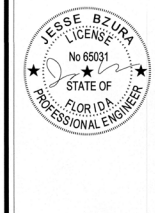


1415 Manatee Avenue North, Bradenton, FL 34208

Tel: 941.270.8101

Carl of Audis #32780

#### SEAL



#### ISSUE DESCRIPTION DATE

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#### SCALE

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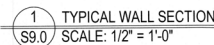
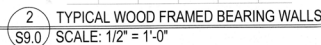
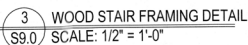
#### DRAWING

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Architectural Services & Building

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