

EDGE OF PAVEMENT

NORTH SHORE ROAD

CENTERLINE

50' PUBLIC ROW (ASPHALT)

EDGE OF PAVEMENT

N. 45°00'00" E. 150.38' (P)

14.4'

78.00' (P)
N. 45°00'00" E. 77.73' (M)

RIGHT OF WAY

8'

20' F.S.B.

NEW COV ENTRY
122 SF

DRIVE & PATH
467 SF

EXIST HOUSE
1500 SF

POOL DECK
1190 SF

NEW ADDITION
265 SF

PARTY DECK
427 SF
EXIS SPIRAL STAIRS

POOL BY OTHERS

PROP. IMPERVIOUS CALCS

EXIST HOUSE	1500 SF
NEW ADDITION	265 SF
NEW ENTRY	122 SF
POOL & DECK	1190 SF
PARTY DECK	427 SF
DRIVE & PATH	467 SF
A/C SLAB	16 SF
POOL EQUIP SLAB	43 SF
TOTAL IMP. AREA	4,030 SF = 43.1%
TOTAL COV. AREA	1,887 SF = 20.2%
LOT SIZE	9332 SF

S. 45°26'52" W. 78.13' (M)
78.00' (P)

SITE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY DIMENSIONS OF EXISTING CONDITIONS.
- NEW WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE RESOLVED PRIOR TO RELATED WORK BEING STARTED.
- ALL PLUMBING FIXTURES TO BE REMOVED OR RELOCATED ARE TO BE CAPPED AND ABANDONED IN ACCORDANCE WITH NATIONAL AND FLORIDA BUILDING CODES 2010-14th EDITION.
- ALL ELECTRICAL NOT USED IS TO BE ABANDONED IN ACCORDANCE WITH CURRENT NATIONAL NEC AND LOCAL ELECTRIC CODES.
- DEMOLITION SHALL BE RESTRICTED TO ONLY THE AMOUNT REQUIRED TO ACCOMPLISH THIS WORK. ALL REMOVED EQUIPMENT SHALL REMAIN OWNER'S PROPERTY AND ONLY DISPOSED OF AS DIRECTED BY OWNER OR BY OWNER'S REPRESENTATIVE.
- TYPICAL DEMOLITION REMOVE ALL BUT NOT EXCLUSIVE TO CONTRACTOR TO COORDINATE WORKER SAFETY ITEMS TO BE REMOVED DURING DEMOLITION ARE TO BE SAVED, STORED AND/OR REUSED.
- ALL STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS NOTED TO BE REMOVED OR MODIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SHORING OF ANY REMAINING STRUCTURAL ELEMENTS UNTIL STRUCTURAL MODIFICATIONS HAVE BEEN IMPLEMENTED.

DESIGN CRITERIA

2020-FBC-R 14th EDITION	
BASIC WIND SPEED	150 MPH
RISK CATEGORY	II
WIND EXPOSURE	D
APPLICABLE INT. PRESSURE COEF.	±0 (FULLY ENCLOSED)

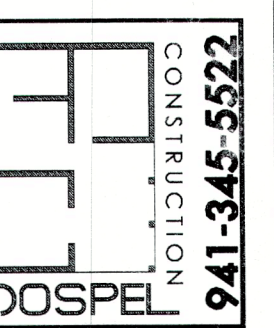
2020-FBC 17th EDITION-BUILDING SECTION 1612.1
ALTERATION LEVEL 2: SECTION 504.1
LEVEL 1 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

LOT COVERAGE CALCS

EXIST COV. AREA TO REMAIN	1498.5 SF
NEW ADDITION	265 SF
NEW COV. ENTRY	122 SF
TOTAL	1887 SF
LOT SIZE	9332 SQ FT
LOT COVERED AREA + PERCT.	1887 SQ FT / 20.2%

WINDOW DOOR NOTES:
NOTE: ALL WINDOWS TO BE PROVIDED BY CONTRACTOR NEW UNLESS TO COMPLY WITH THE DADE COUNTY REG. ALL GLASS NOT IMPACT TO BE SHATTERED. SEE PLANS FOR DESIGN PRESSURES. CONTR. TO FIELD VERIFY EXIST. WINDOW OPENINGS WHERE APPLICABLE U-FACTOR: 0.40 OR BETTER SHGC: 0.25 OR BETTER

REVISIONS	
No.	Date
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OCCHIPINIT RESIDENCE
361 NORTH SHORE ROAD
LONGBOAT KEY, FL
FLORIDA ROOM ADDITION

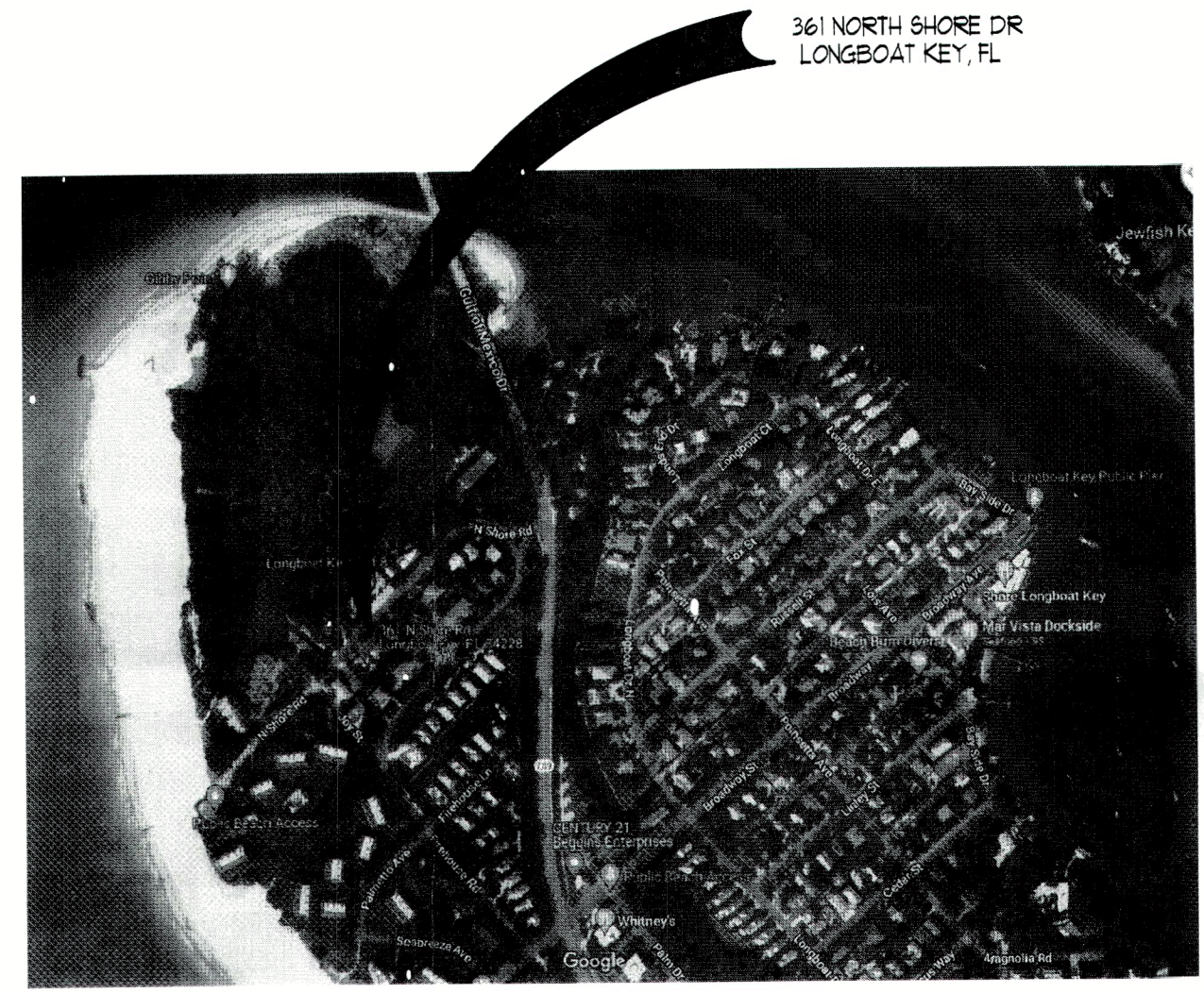
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SHEET NO. A.1

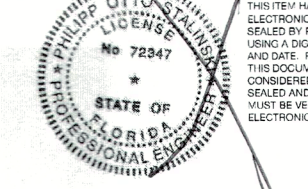


SITE LOCATION MAP
NOT TO SCALE

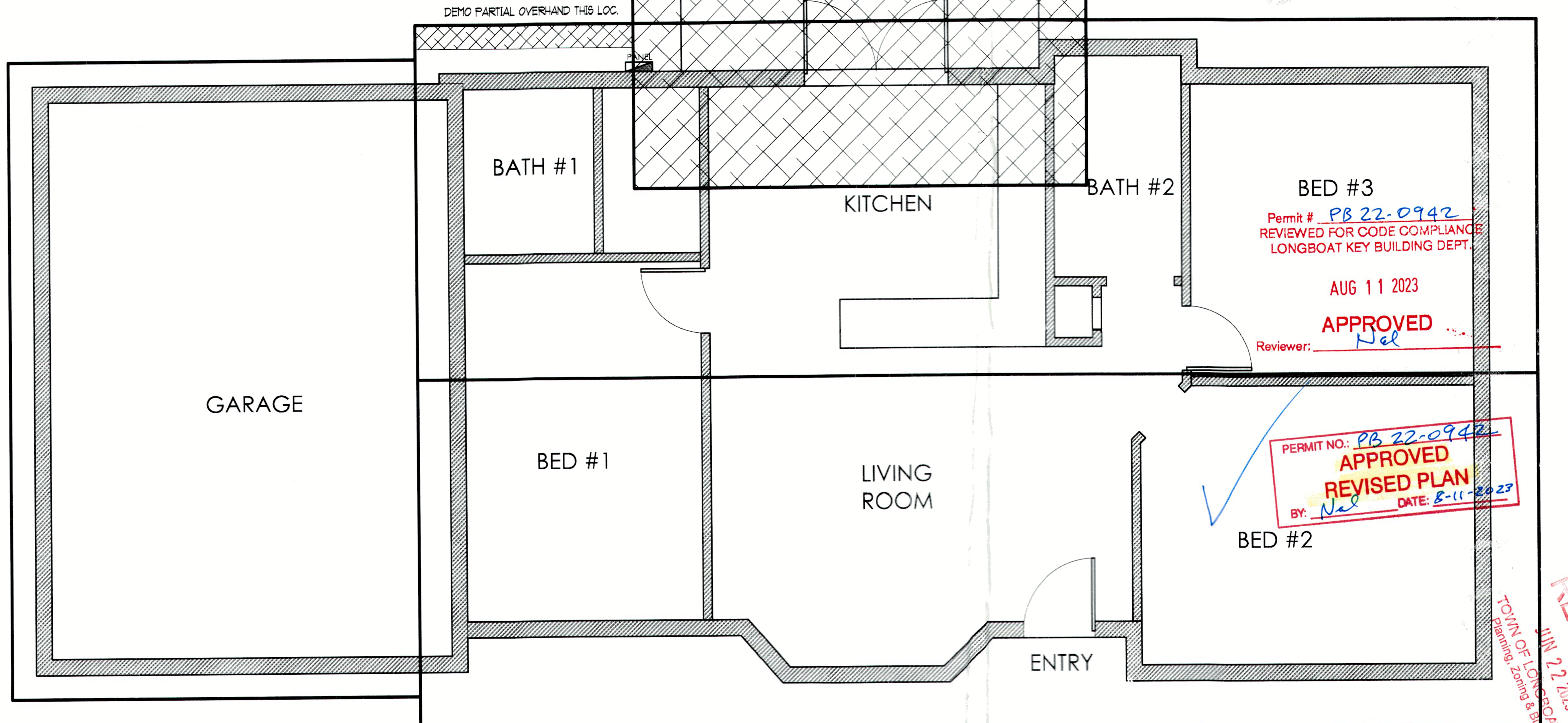
SCOPE OF WORK

- DEMO EXISTING ROOF & SCREEN CAGE AT REAR
- NEW ROOM ADDITION
- NEW POOL & PATIO (POOL PERMITTED SEPARATELY); CONTR. TO VERIFY PROVIDE NEW SMOKE DETECTORS AS PER CURRENT NEC. S.D. SHALL BE INSIDE AND OUTSIDE OF EACH BEDROOM. THEY SHALL BE HARD WIRED WITH A BATTERY BACK-UP OR THEY CAN BE POWERED BY A 10 YEAR BATTERY. ALL S.D. SHALL BE INTERCONNECTED.
- NEW COVERED ENTRY

BLDG PERMIT PLANS
FILE COPY OF RECORD



Digitally signed
by Phil Stalinski
Date: 2023.03.15
12:01:46 -04'00'



Permit # **PB 22-0942**
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

AUG 11 2023
APPROVED
Reviewer: *Neil*

PERMIT NO: **PB 22-0942**
APPROVED
REVISED PLAN
BY: *Neil* DATE: **8-11-23**

RECEIVED
 03/15/2023 10:43:12 AM
 LONGBOAT KEY
 BUILDING DEPT.

W/ DEMO NOTES
EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

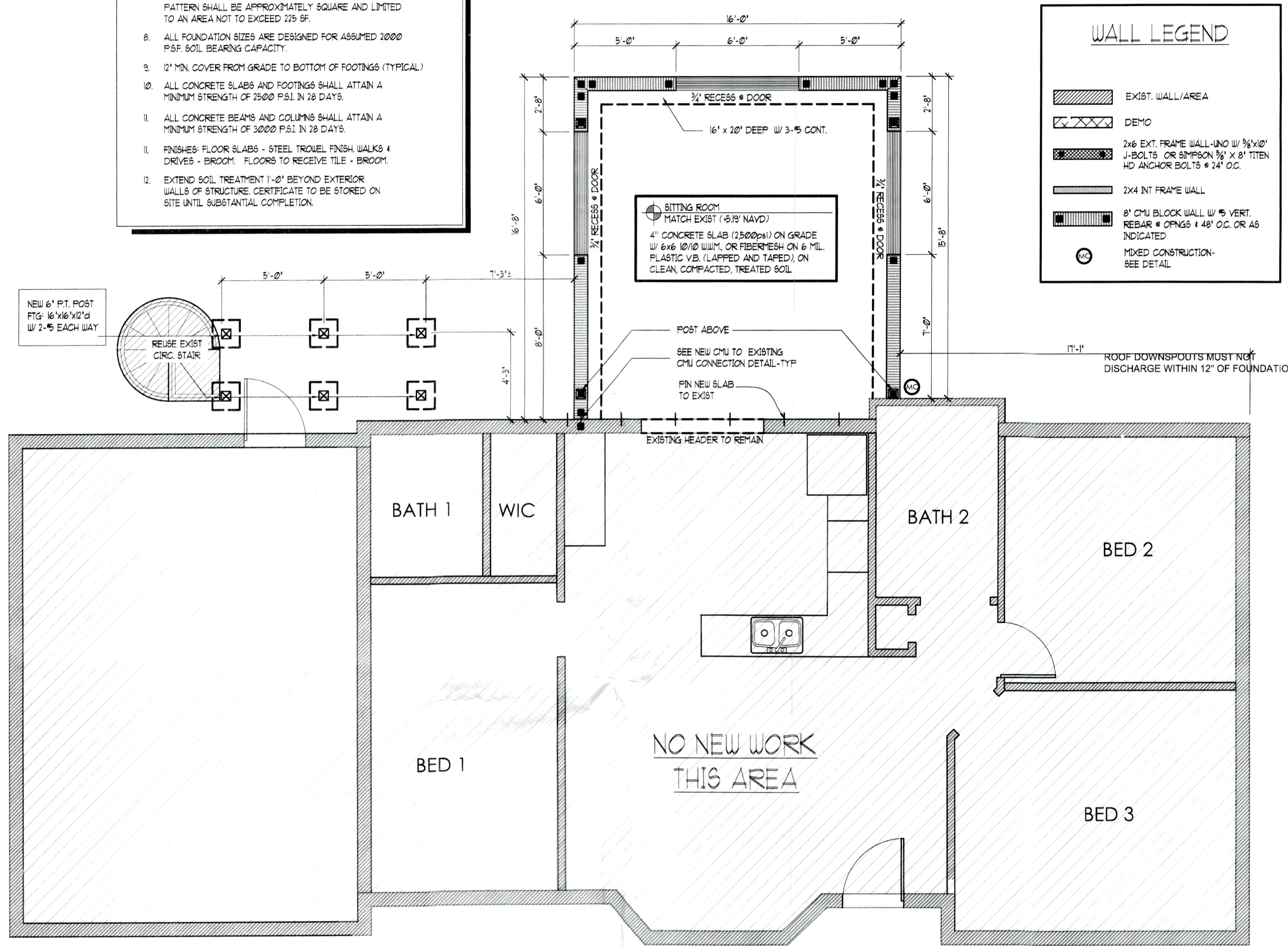
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL AND MEP FOR ADDITIONAL INFORMATION.
2. FLOOR SLAB IS A 4" MINIMUM THICKNESS CONCRETE SLAB ON GRADE. REINFORCE WITH 6 x 6-1/4 x 1/4 U/LF AT MID DEPTH. SEE ARCHITECTURAL DRAWINGS FOR VAPOR BARRIER-JO.
3. CONTRACTOR SHALL BACKFILL SIMULTANEOUSLY ON EACH SIDE OF FOUNDATION WALLS.
4. FOUNDATION WALLS WHICH HAVE UNEVEN BACKFILLS SHALL BE TEMPORARILY SHORED UNTIL FLOOR SLABS ARE POURED. SEE DETAIL.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTION TO AVOID DISTURBING OR UNDERCUTTING THE EXISTING BUILDING FOUNDATIONS.
6. CENTERLINES OF WALLS AND COLUMNS SHALL COINCIDE WITH CENTERLINES OF FOOTINGS UNLESS NOTED OTHERWISE.
7. PROVIDE CONTROL JOINTS IN SLAB ON GRADE. CONTROL JOINTS SHALL BE TOOLED OR SAUCUT. CONTROL JOINT PATTERNS SHALL BE APPROXIMATELY SQUARE AND LIMITED TO AN AREA NOT TO EXCEED 125 SF.
8. ALL FOUNDATION SIZES ARE DESIGNED FOR ASSUMED 2000 P.S.F. SOIL BEARING CAPACITY.
9. 2" MIN. COVER FROM GRADE TO BOTTOM OF FOOTINGS (TYPICAL).
10. ALL CONCRETE SLABS AND FOOTINGS SHALL ATTAIN A MINIMUM STRENGTH OF 3000 PSI IN 28 DAYS.
11. ALL CONCRETE BEAMS AND COLUMNS SHALL ATTAIN A MINIMUM STRENGTH OF 3000 PSI IN 28 DAYS.
12. FINISHES FLOOR SLABS - STEEL TROUSLE FINISH WALKS 4 DRIVE - BROOM FLOORS TO RECEIVE TILE - BROOM.
13. EXTEND SOIL TREATMENT 1'-0" BEYOND EXTERIOR WALLS OF STRUCTURE. CERTIFICATE TO BE STORED ON SITE UNTIL SUBSTANTIAL COMPLETION.

FLOOR PLAN NOTES:

1. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT UNO 4 BE WIND LOAD RESISTANT TO MEET THE LIMITS OF THE DESIGN LOADS SPECIFIED.
2. BUILDING INSULATION SHALL BE AS FOLLOWS:
 ***** FRAME WALL - R-10
 ***** FLOOR WALLS - R-5
 ***** FLOOR SYSTEM - R-10
 ***** ROOF TRUSSES ARE - 30 OR BETTER.
3. ALL BATHROOM BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
4. PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES GLASS INDOOR UNITS GLASS WITHIN 24" RADIUS OF DOOR UNITS AND GLASS WITH BOTTOM EDGE LESS THAN 8" ABOVE THE FLOOR.
5. AC DRAINS TO BE READILY ACCESSIBLE.
6. MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHIP SPACE SHALL BE LIMITED TO MAXIMUM.
7. ALL GYPSUM BOARD IN WET AREAS ARE TO BE MOISTURE RESISTANT.
8. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE-TREATED.
9. WATER CLOSETS TO BE 1/2 GALLON.
10. PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINETRY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
11. ALL MATERIAL BELOW THE DFE TO BE FLOOD RESISTANT.
12. GARAGE CEILING TO HAVE ONE LAYER OF TYPE 'X' OR EQUAL FOR FIRE RATING.
13. ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
14. CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
15. BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUNOFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
16. CONSTRUCTION OF FLOOD DAMAGE RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING.
17. DOOR OPENINGS FROM THE GARAGE TO LIVING SPACE SHALL BE SOLID WOOD DOORS OR SOLID OR HONEYCOMB STEEL DOOR NOT LESS THAN 1-3/8" IN THICKNESS OR A 20 MINUTE FIRE RATED DOOR.
18. BLOWER DOOR TEST TO BE SUBMITTED PRIOR TO A MECHANICAL FINAL.

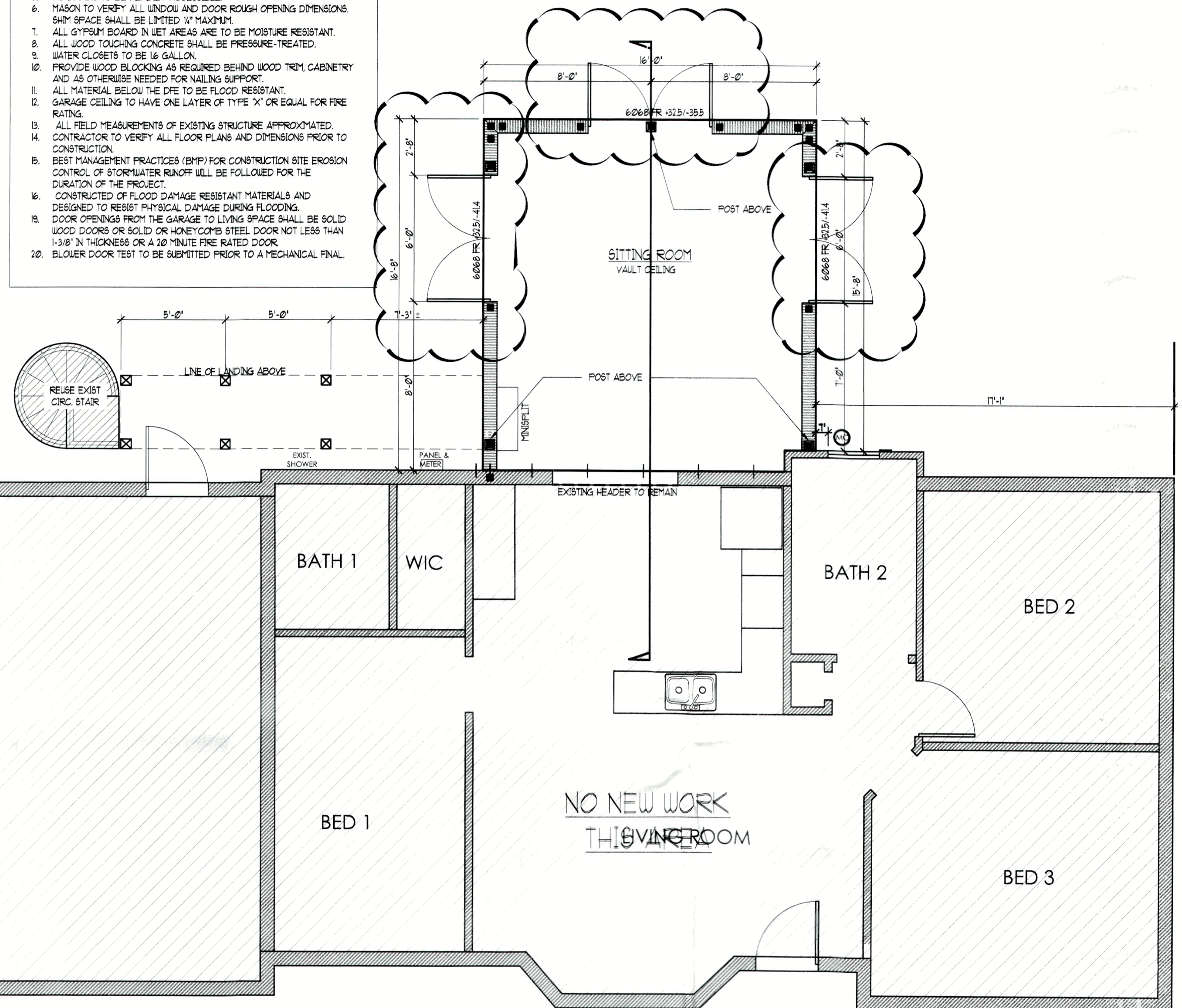
WALL LEGEND

- EXIST. WALL/AREA
- DEM'D
- 2x6 EXT. FRAME WALL-UNO W/ 3/4"X10" J-BOLTS OR SIMPSON 3/8" X 8" TITEN HD ANCHOR BOLTS @ 24" O.C.
- 2X4 INT FRAME WALL
- 8" CMU BLOCK WALL W/ 6" VERT. REBAR @ SPACS 148" O.C. OR AS INDICATED
- MIXED CONSTRUCTION-SEE DETAIL



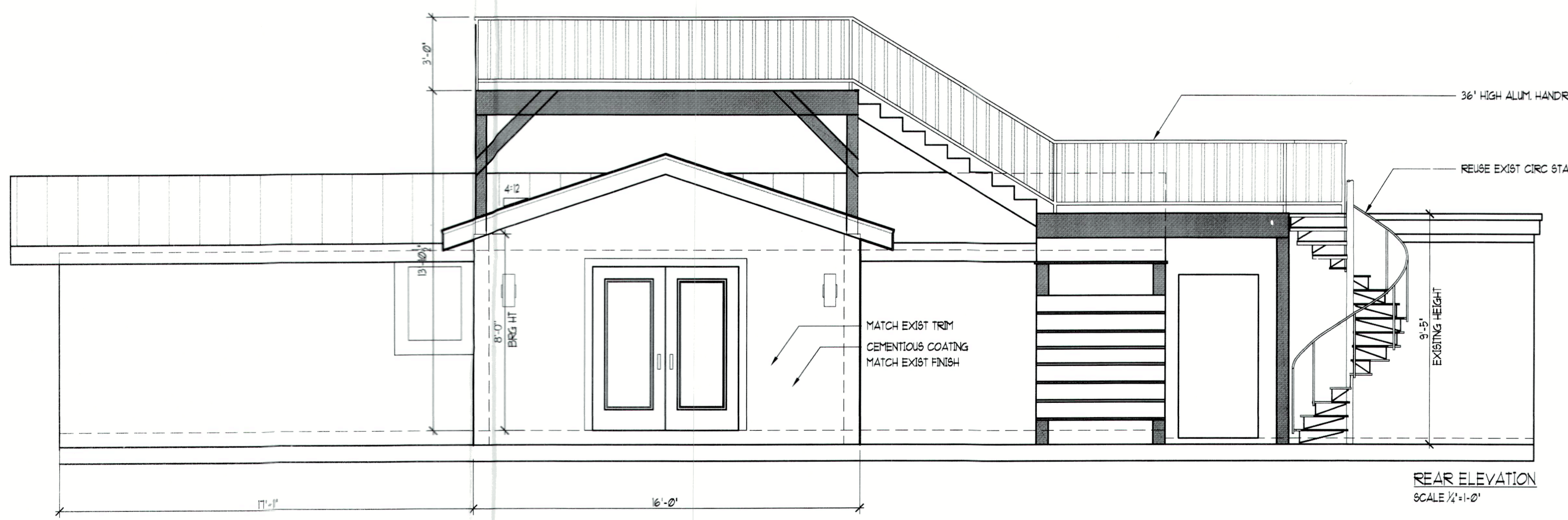
FOUNDATION PLAN
SCALE 1/4"=1'-0"

SEE ADDM PAGE FOR NEW COVERED ENTRY

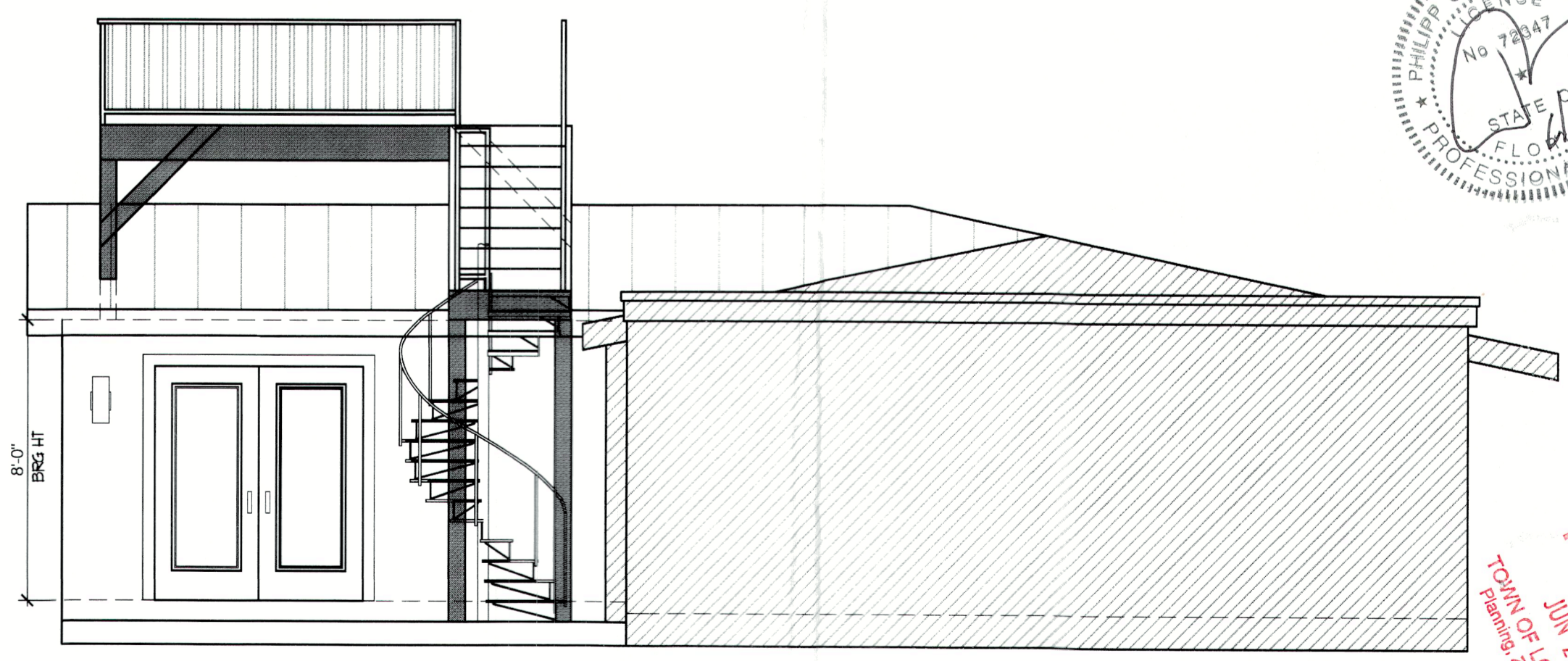


FLOOR PLAN
SCALE 1/4"=1'-0"

SEE ADDM PAGE FOR NEW COVERED ENTRY



REAR ELEVATION
SCALE 1/4"=1'-0"



SIDE ELEVATION
SCALE 1/4"=1'-0"



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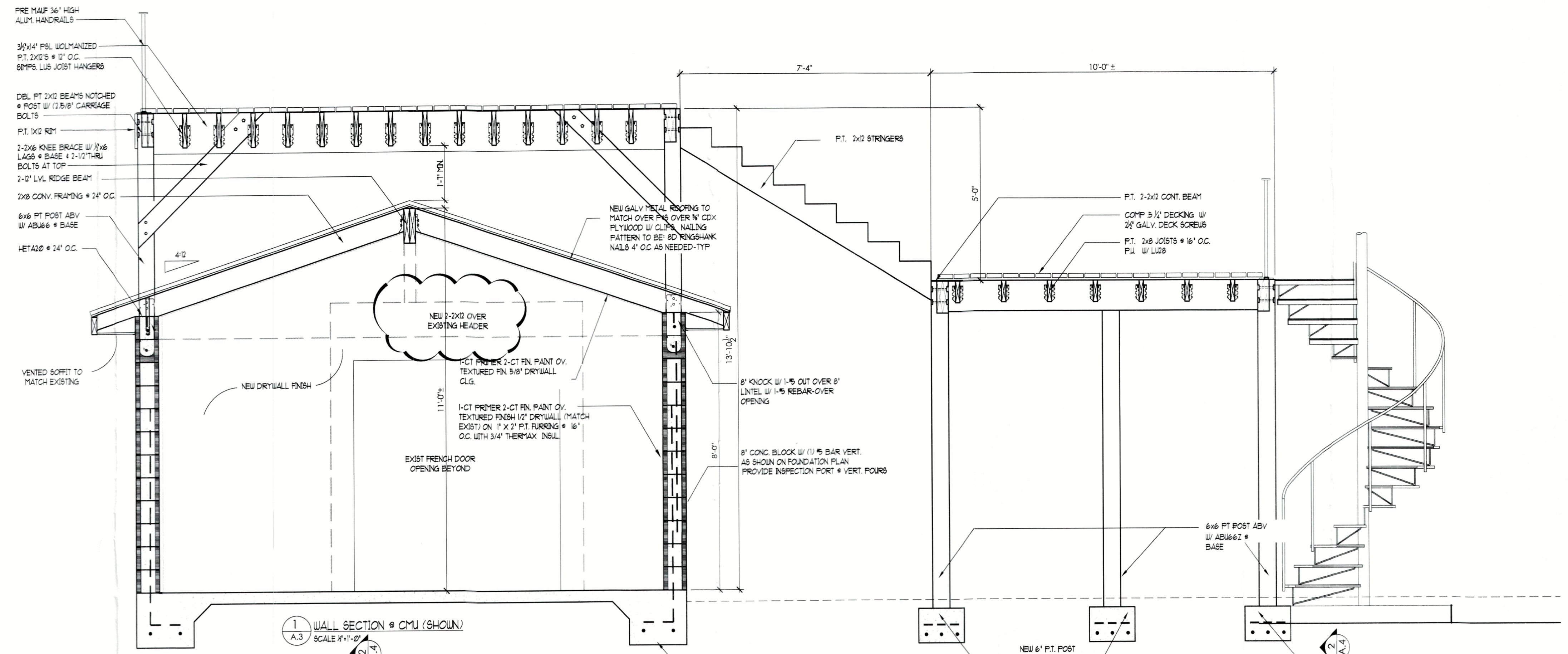
OCCHIPIT RESIDENCE
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 LONGBOAT KEET, FL
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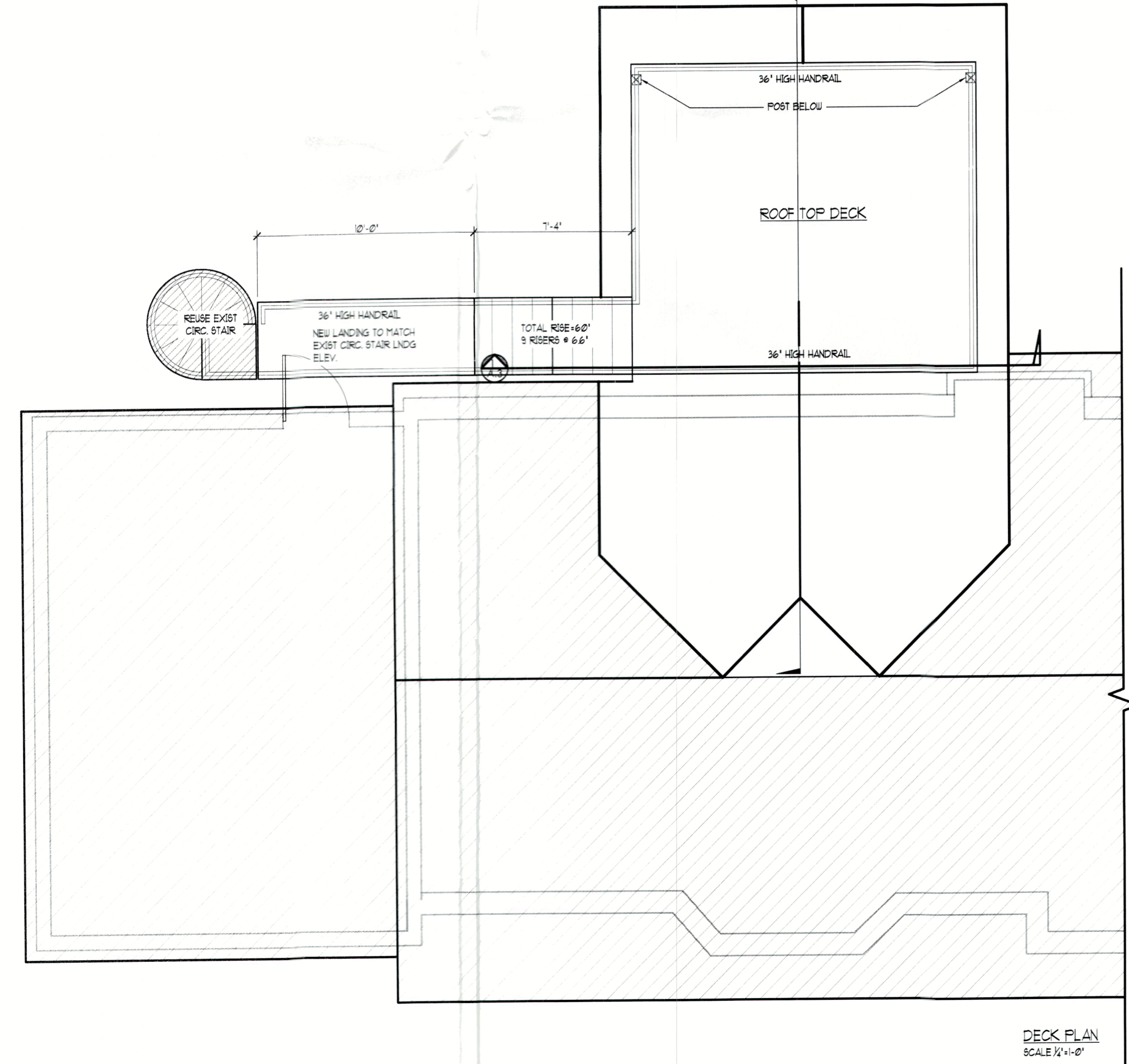
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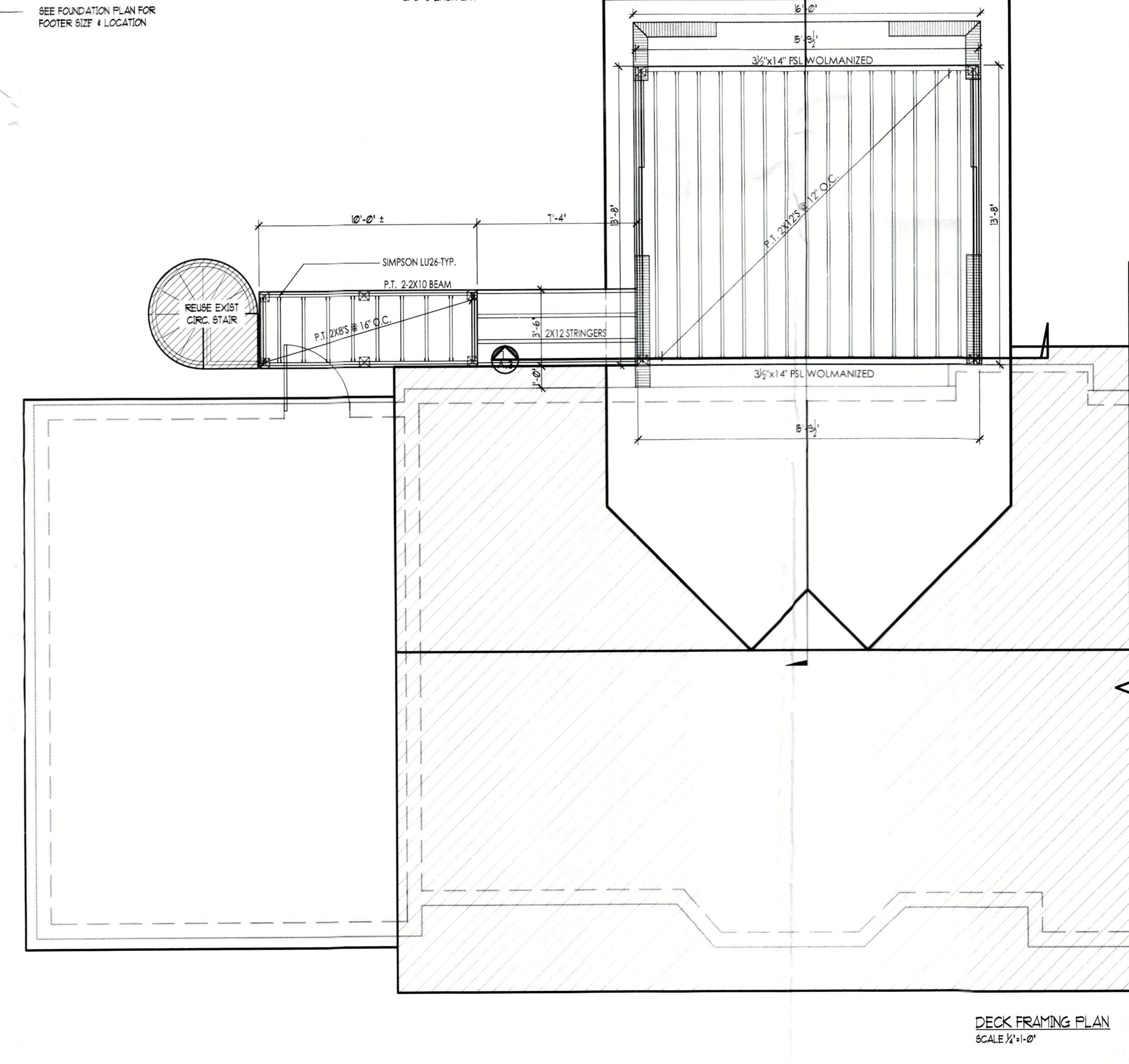
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1 WALL SECTION @ CMU (SHOWN)
SCALE 1/2"=1'-0"



DECK PLAN
SCALE 1/2"=1'-0"



DECK FRAMING PLAN
SCALE 1/2"=1'-0"

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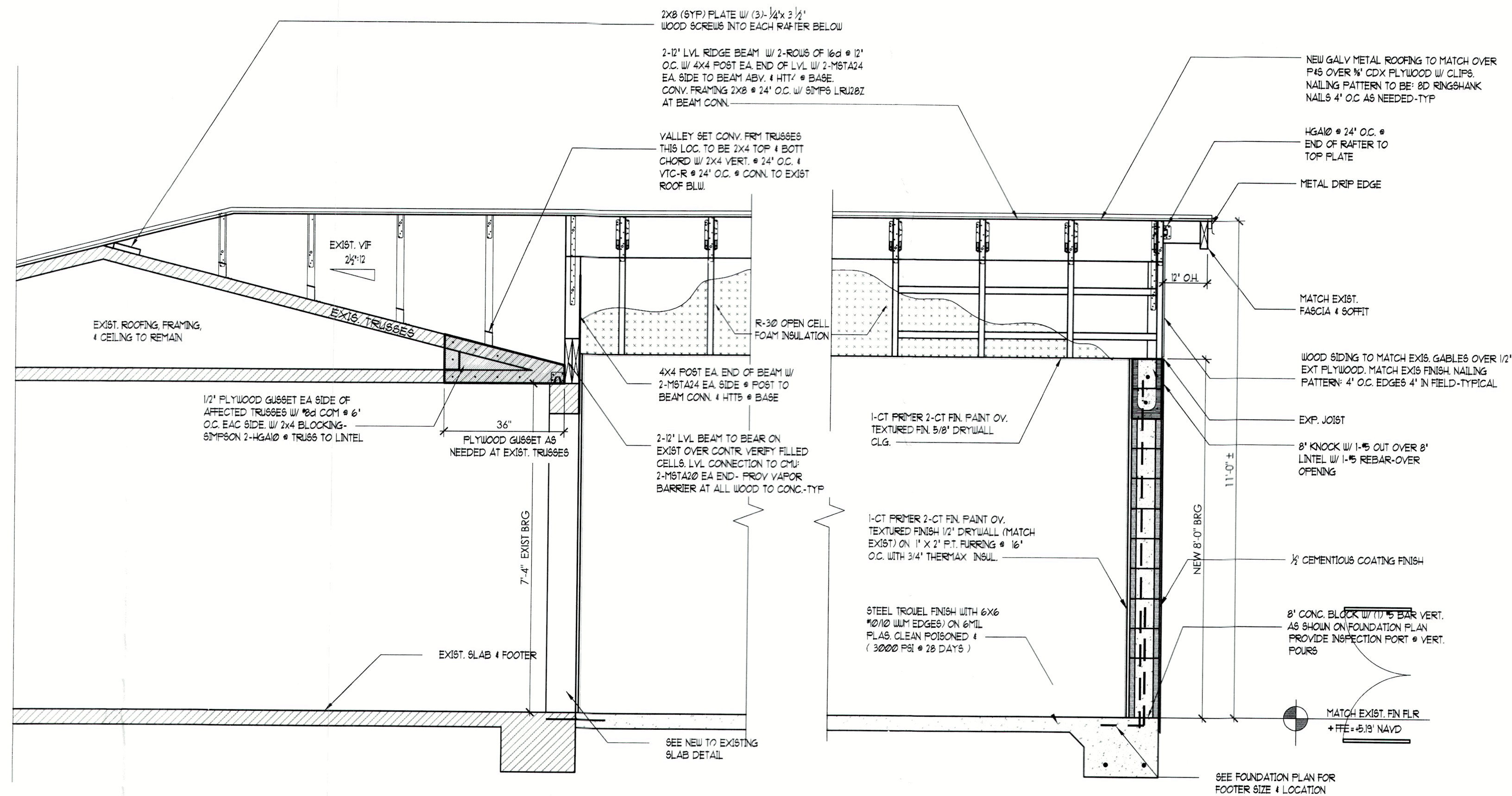


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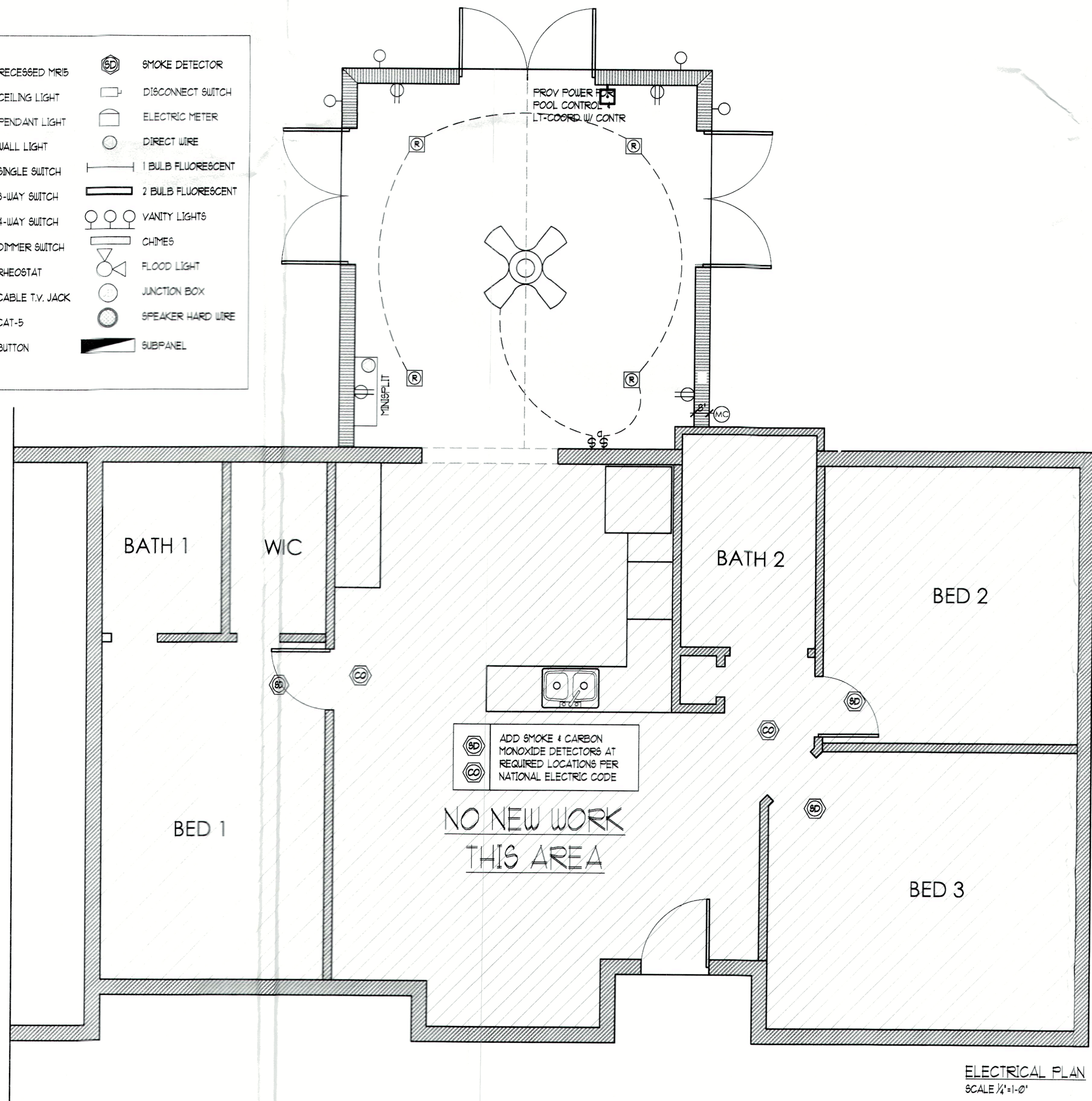
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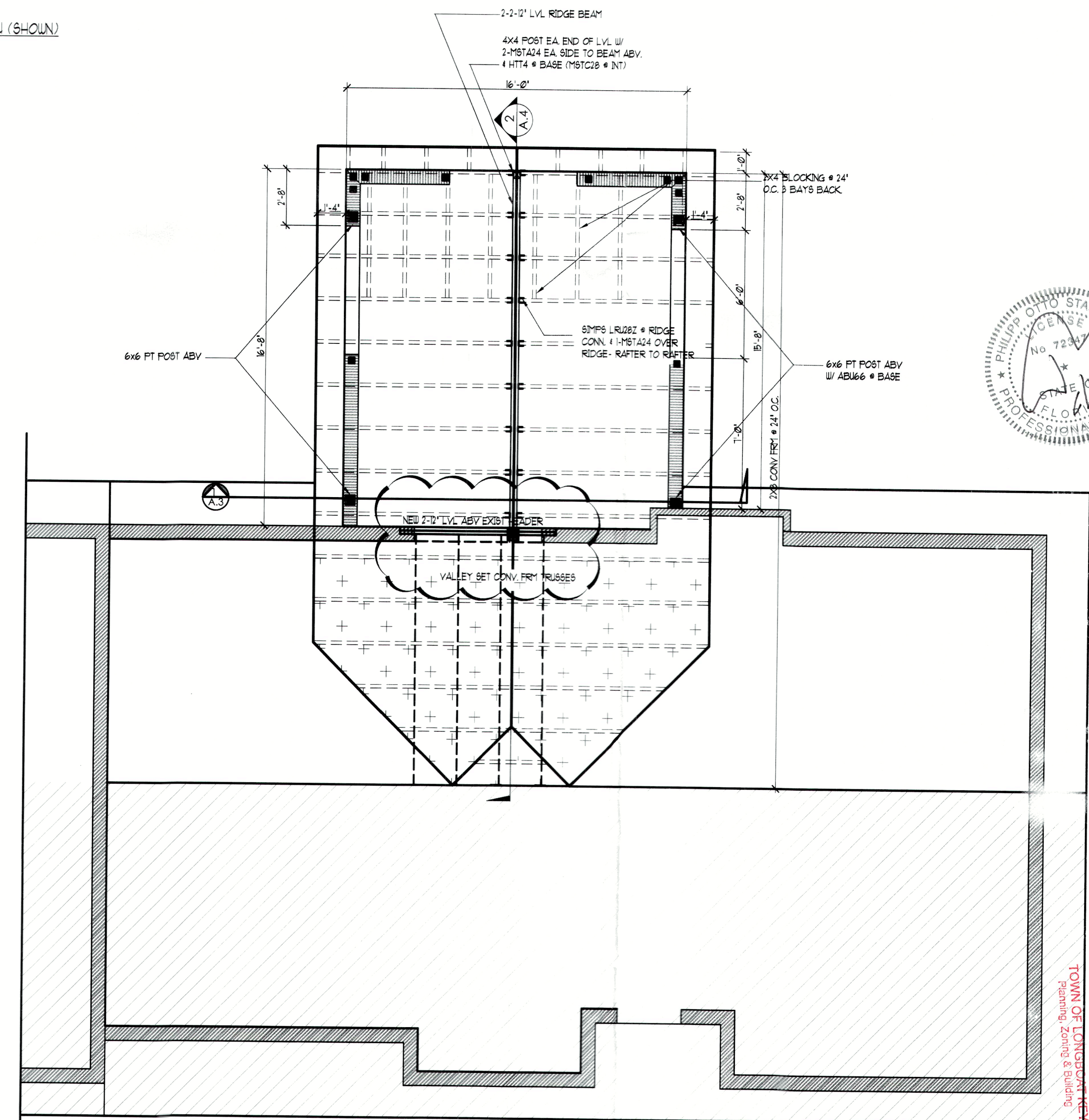


2 WALL SECTION @ CMU (SHOWN)
SCALE 1/4"=1'-0"

- ELECTRICAL NOTES**
- HOME OWNER TO HAVE FINAL APPR ON ALL FINISHED FIXTURES
 - ALL ELECTRICAL TO MEET CURRENT NEC 2021
 - PROVIDE ALL COPPER WIRING
 - CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES
 - CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
 - PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
 - ALL NEW RECEPTACLES NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC-FALLT WITH TAMPER PROOF RECEPTACLE
 - ALL SM DET. TO BE INTERCONNECTED & HARDWIRED WITH BATTERY BACKUP (OR PROV. 10 YR BATTERY)
- | | | |
|--|-----------------|----------------------|
| ⊕ DUPLEX OUTLET | ⊕ RECESSED MRB | ⊕ SMOKE DETECTOR |
| ⊕ SPLIT SWITCHED OUTLET | ⊕ CEILING LIGHT | ⊕ DISCONNECT SWITCH |
| ⊕ CEILING OUTLET | ⊕ PENDANT LIGHT | ⊕ ELECTRIC METER |
| ⊕ FLOOR OUTLET | ⊕ WALL LIGHT | ⊕ DIRECT WIRE |
| ⊕ SPLIT SWITCHED FLOOR OUTLET | ⊕ SINGLE SWITCH | ⊕ 1 BULB FLUORESCENT |
| ⊕ GFI | ⊕ 3-WAY SWITCH | ⊕ 2 BULB FLUORESCENT |
| ⊕ WEATHER PROOF OUTLET | ⊕ 4-WAY SWITCH | ⊕ VANITY LIGHTS |
| ⊕ 220V OUTLET | ⊕ DIMMER SWITCH | ⊕ CHIMES |
| ⊕ EXHAUST FAN | ⊕ RHEOSTAT | ⊕ FLOOD LIGHT |
| ⊕ EXHAUST FAN / LIGHT | ⊕ CABLE TV JACK | ⊕ JUNCTION BOX |
| ⊕ HEAT / LIGHT & EXHAUST FAN | ⊕ CAT-5 | ⊕ SPEAKER HARD WIRE |
| ⊕ RECESSED CAN LIGHT (EYEBALL AT VAULTS) | ⊕ BUTTON | ⊕ SUBPANEL |



ELECTRICAL PLAN
SCALE 1/2"=1'-0"



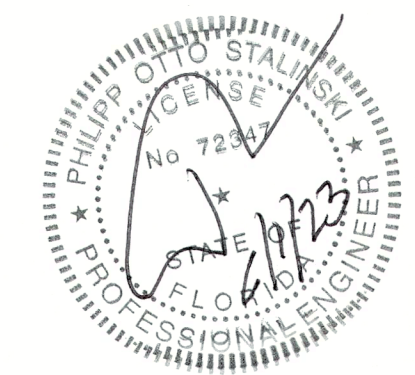
SEE ADDM PAGE FOR NEW COVERED ENTRY
ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

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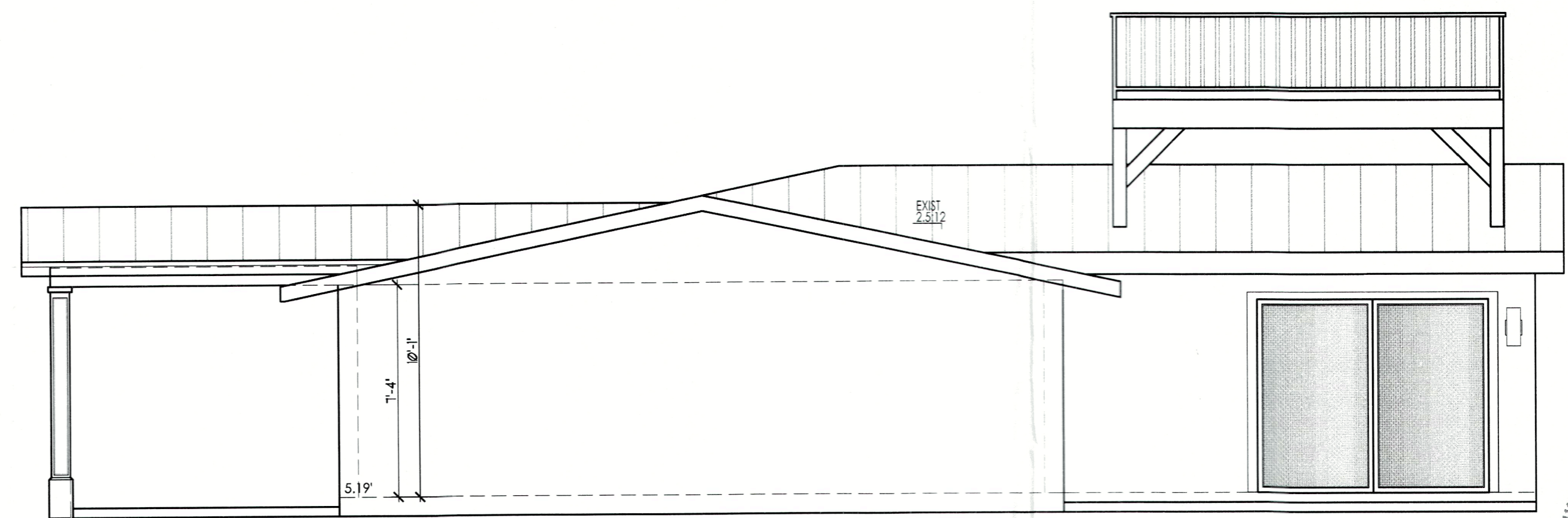
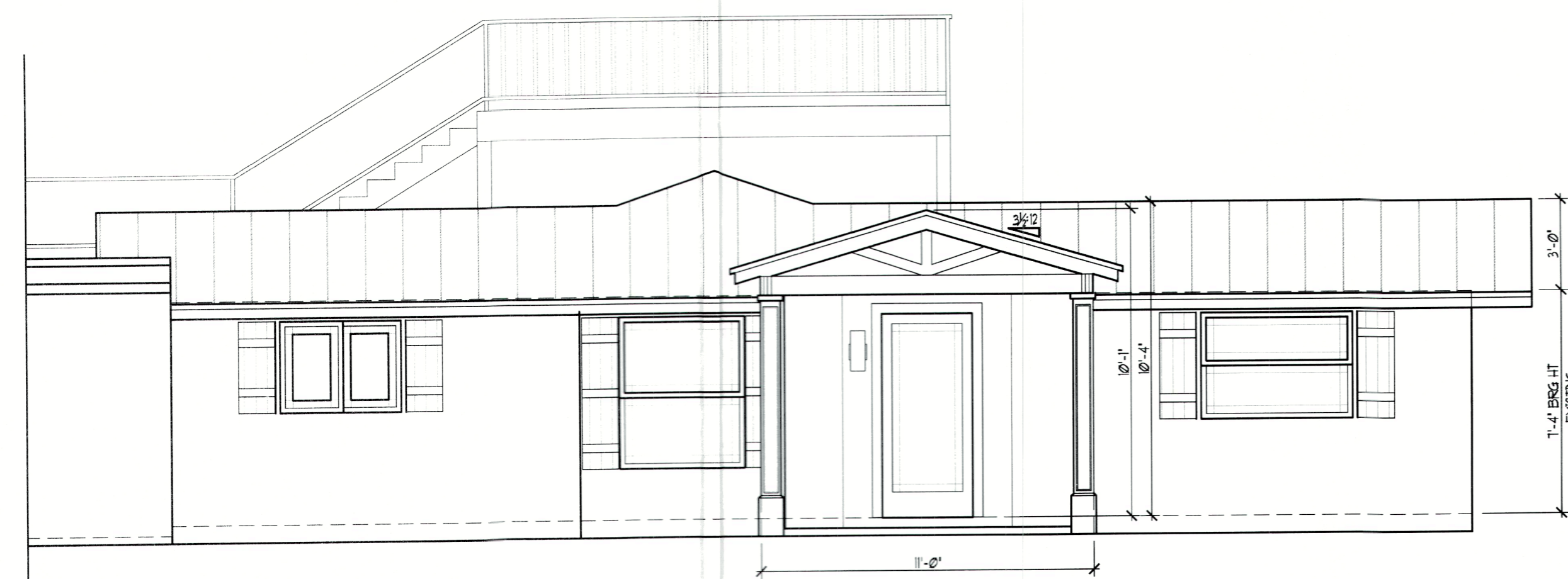
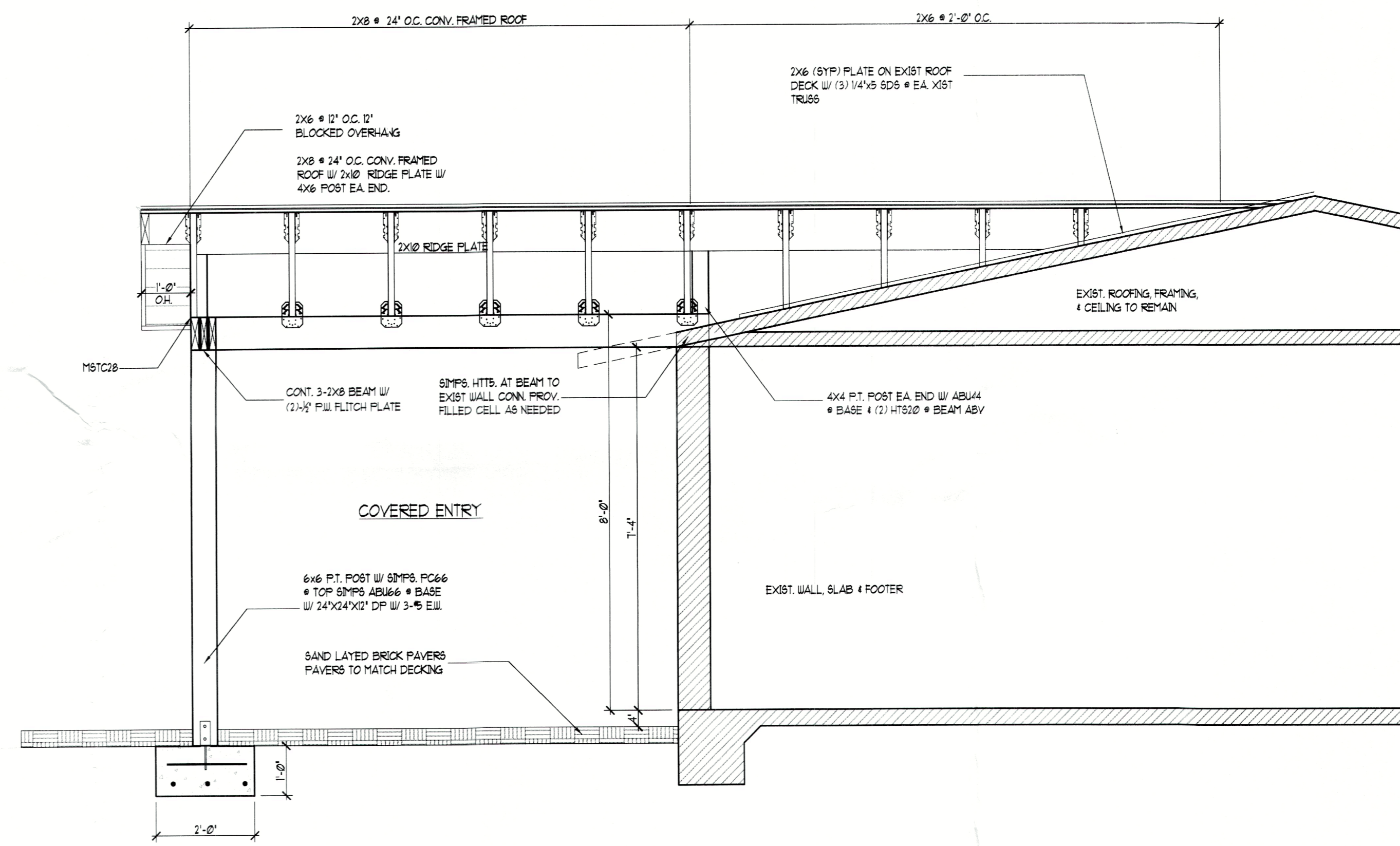
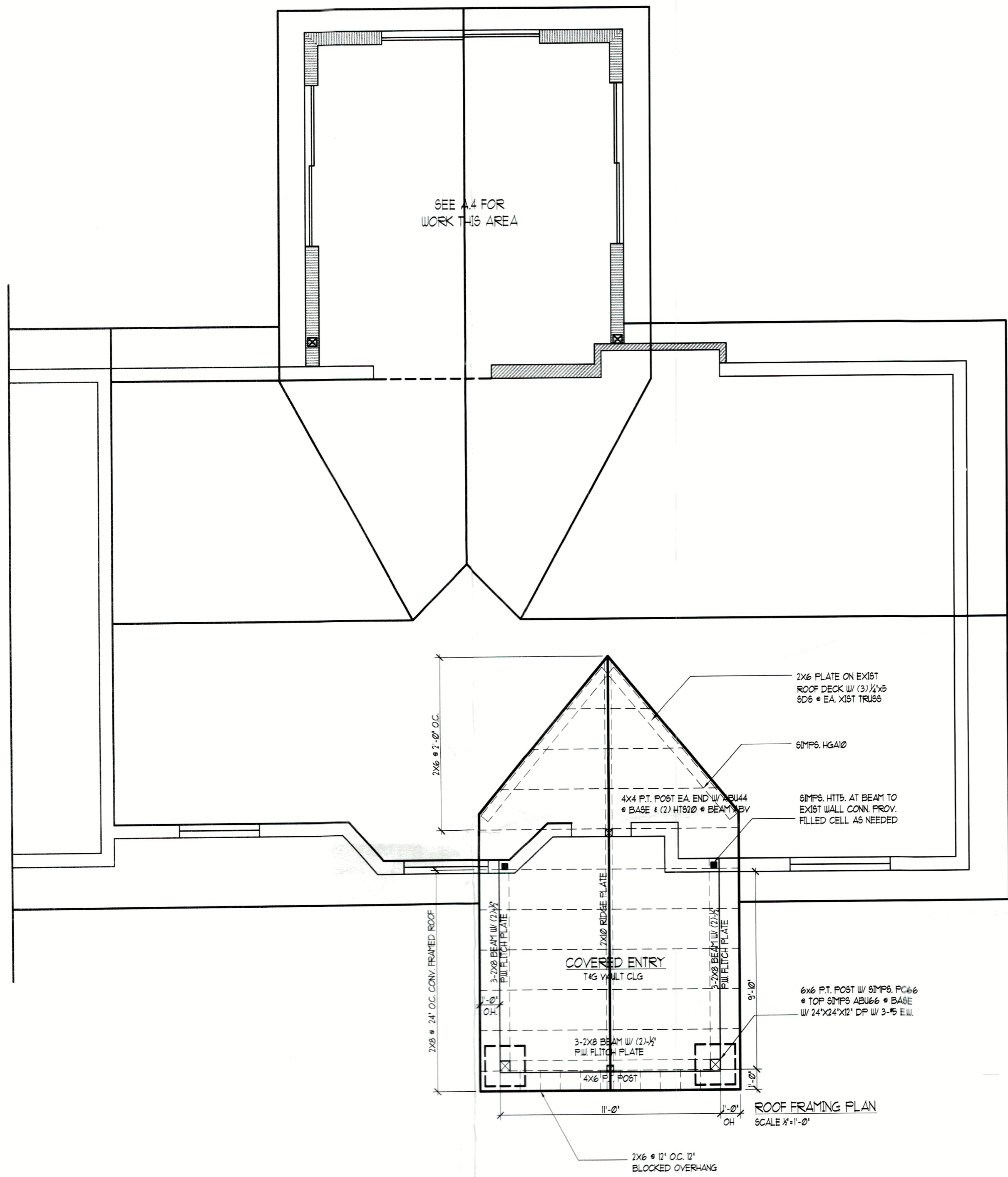


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