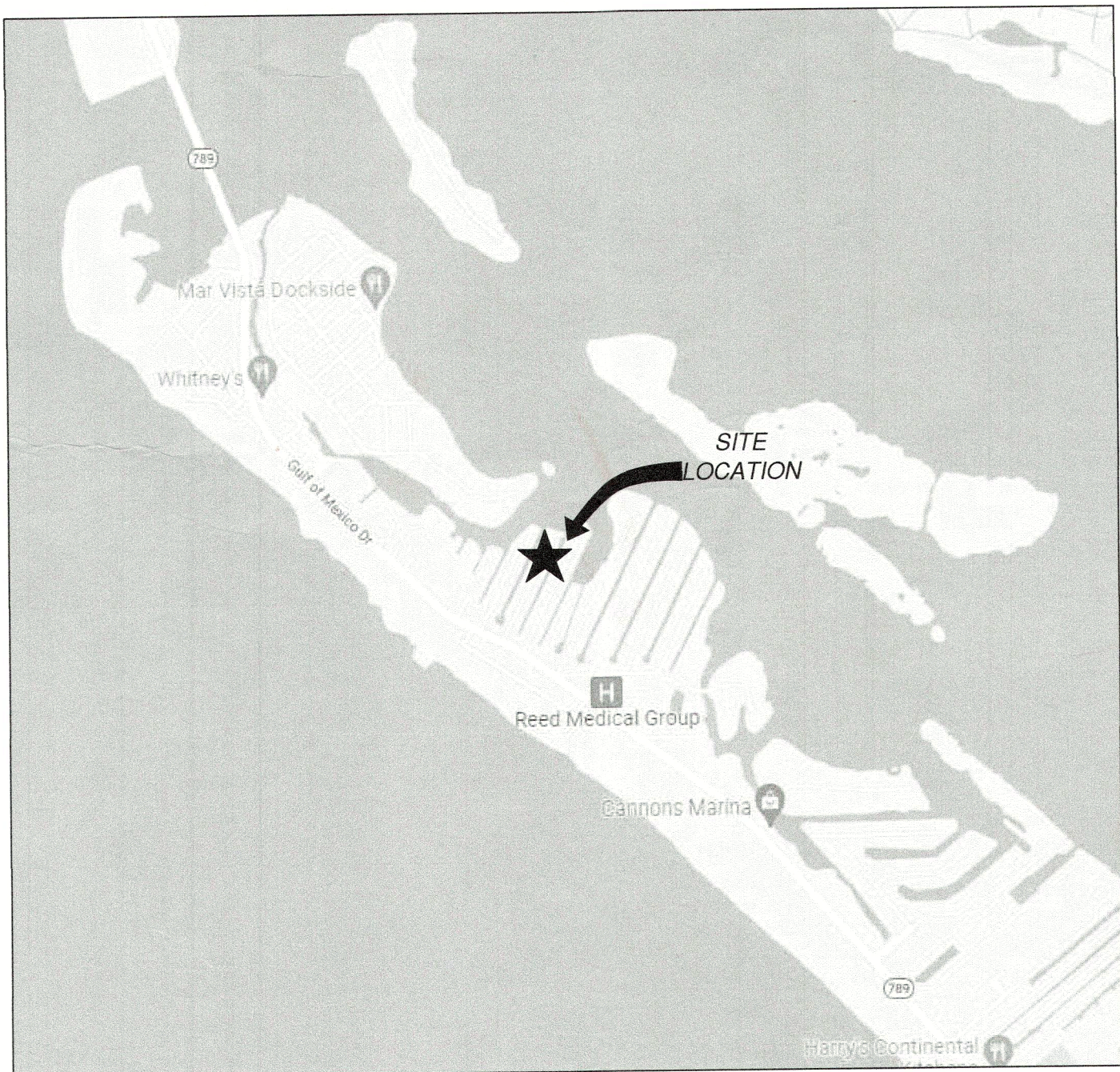




ARCHITECT'S RENDERING FOR REFERENCE ONLY

A NEW RESIDENCE FOR  
**THE MARTERIE FAMILY**  
590 DE NARVAEZ DRIVE      LONGBOAT KEY, FLORIDA 34228



VICINITY MAP  
NOT TO SCALE



ARCHITECT  
DSDG, INC.  
1348 FRUITVILLE ROAD, SUITE 204  
SARASOTA, FLORIDA 34236  
PH. 941.955.5645  
FAX 941.955.7354

STRUCTURAL ENGINEER  
YOUNG & HEDRICK ENGINEERING, LLC  
6771 PROFESSIONAL PKWY W SUITE 201  
LAKEWOOD RANCH, FLORIDA 34240  
PH. 941.306.1225

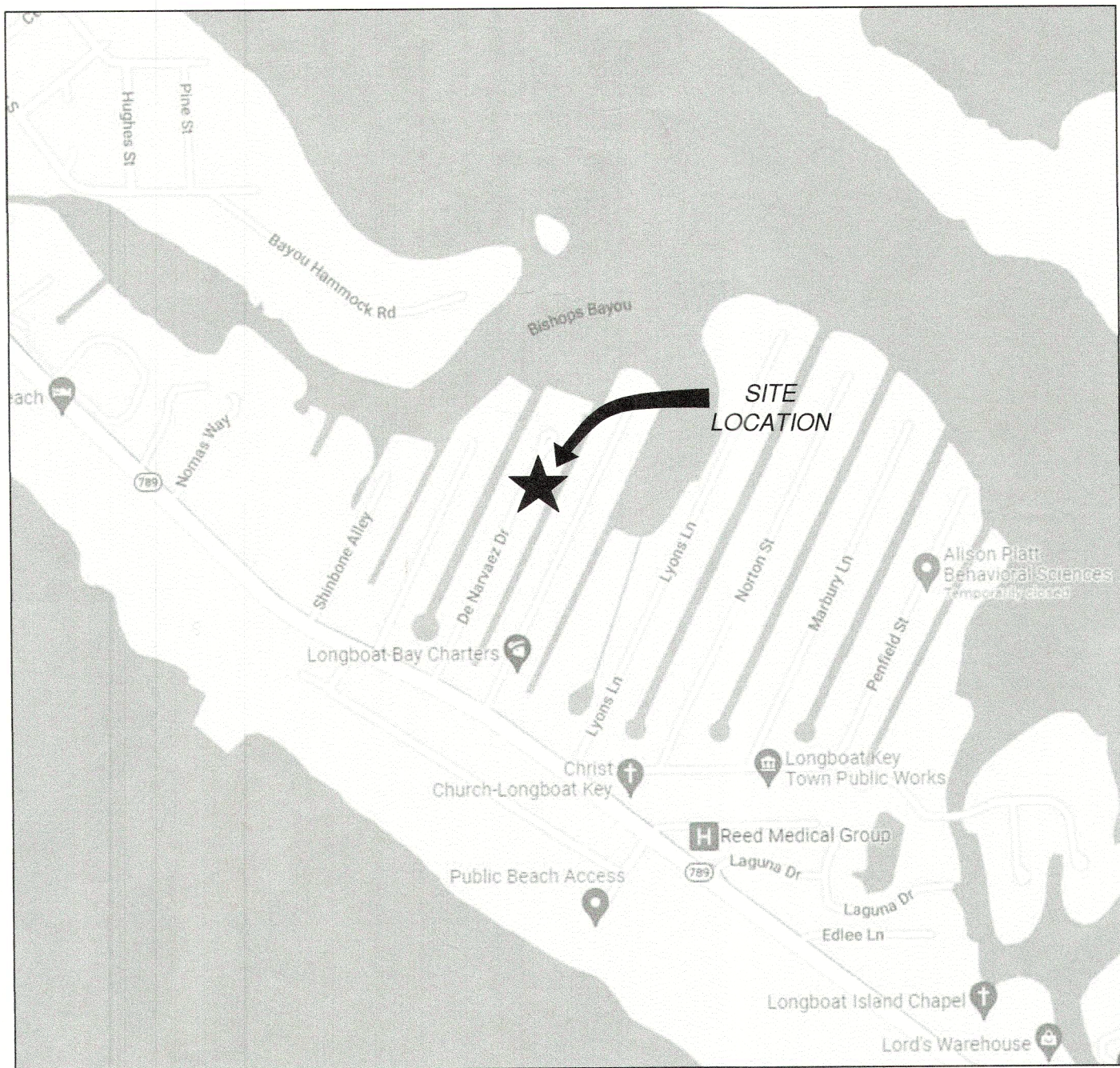
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A0.15 NOTES SHEET  
  
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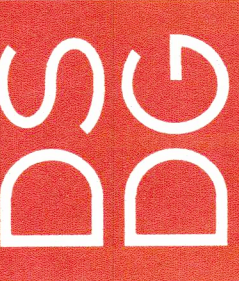
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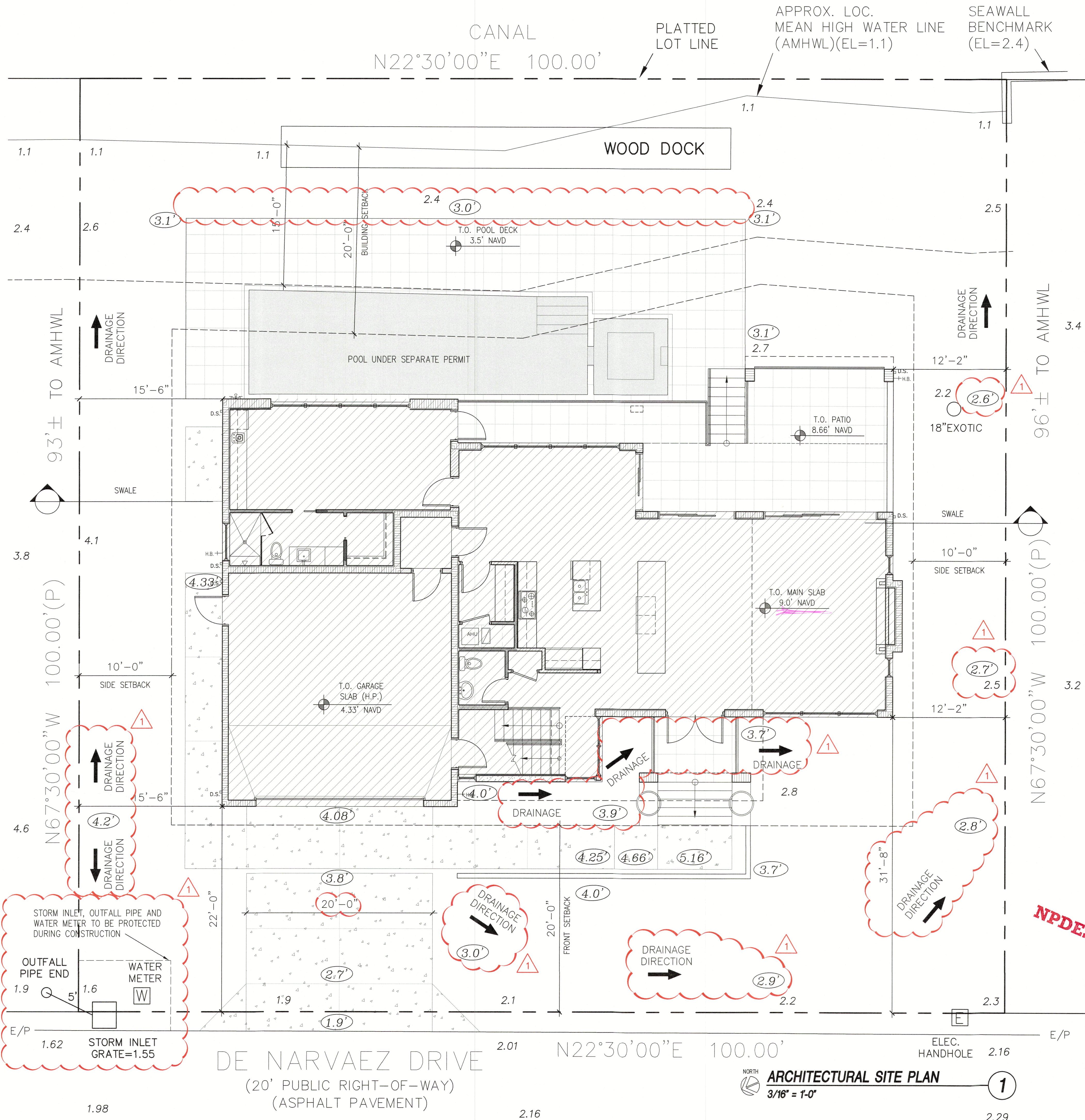


A NEW RESIDENCE FOR:  
**THE MARTERIE FAMILY**  
**DE NARVAEZ RESIDENCE**  
590 DE NARVAEZ DRIVE      LONGBOAT KEY, FLORIDA 34228

COVER  
SHEET

Project Ref: MARTERIE  
Drawn by: SG / V  
Checked by: MR  
Date Issued: 9/7/2022

Sheet N°



- LONGBOAT KEY REQUIRED PLAN INFORMATION LIST
- 1.) PROJECT NAME : MARTERIE RESIDENCE
  - 2.) PROJECT ADDRESS : 590 DE NARVAEZ DRIVE, LONGBOAT KEY, FL 34228
  - 3.) CONTRACTOR'S NAME : BLUEWATER CONSTRUCTION  
CONTRACTOR'S PHONE # 941.322.2200
  - 4.) CONTRACTOR'S LICENSE NUMBER : CGC 1506434
  - 5.) CONTRACTOR SEAL OR SIGNATURE : \_\_\_\_\_
  - 6.) PLANS AND SPECIFICATIONS CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH WIND BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE 2020 - 7TH EDITION.
  - 7.) ALL NEW HVAC FOR RESIDENTIAL REQUIRE A DUCT TEST AND ENVELOPE LEAKAGE TEST.
  - 8.) BUILDING USE : SINGLE FAMILY RESIDENTIAL  
LOT ZONING : RSF4 - LOW DENSITY RESIDENTIAL
  - 9.) CONSTRUCTION TYPE : VB
  - 10.) SPRINKLED OR NON SPRINKLED : NON SPRINKLED
  - 11.) THIS STRUCTURE HAS BEEN DESIGNED PER THE 2020 FLORIDA BUILDING CODE AND HAS BEEN DESIGNED FOR WIND VELOCITIES OF 160 MPH W/ 3-SEC. GUST. NORM DESIGN WIND SPEED 160 MPH W/ 3-SEC. GUST.
  - 12.) ROOF LOADS :  
LIVE LOAD - 20 psf.  
DEAD LOAD - 15 psf.  
DEAD LOAD - 5psf. (AVAILABLE TO RESIST UPLIFT)
  - FLOOR LOADS :  
LIVE LOAD - 40 psf.  
DEAD LOAD - 15 psf.
  - 13.) RISK CATEGORY : II
  - 14.) FLOOD ZONE : AE (EL=8)  
DESIGN FLOOD : BASE FLOOD + 1FT. FREEBOARD = 9.00' NAVD
  - 15.) EXPOSURE CATEGORY : D
  - 16.) MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT SHALL BE ELEVATED ABOVE BFE, IN ACCORDANCE WITH FBC 2020 - 7TH EDITION - RESIDENTIAL - R322.1.6, ASCE 24-14 CH.7, & FEMA/NFIP TECH BULLETIN #1.
  - 17.) PLAN DESIGN BASED ON SPECIAL FLOOD HAZARD AREAS. R322.1.2 STRUCTURAL SYSTEMS. STRUCTURAL SYSTEMS OF BUILDINGS & STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS & STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION. FBC 2020 - 7TH EDITION BUILDING - SECTIONS 1612 & 3109, FBC 2020 - 7TH EDITION - RESIDENTIAL - SECTION R322.1.2, FEMA TECH BULLETIN #9 AND ASCE 24.

TOWN OF LONGBOAT KEY  
SINGLE FAMILY COVERAGE CALCULATIONS: ZONING

This worksheet is to assist in calculating Lot Coverage and Non-Open Space for a lot. All detailed calculations shall be included on the to-scale site plan, which is signed and sealed by the design professional. All information must be completed and must be illustrated to-scale on your submitted plans.

LOT COVERAGE is the area of a lot covered by any structure/building or part of a structure/improvement that is more than six-inches (6") above finished or adjacent grade. Maximum allowable Lot Coverage is established by LBK 158.145 or other project approve by resolution or ordinance.

NON-OPEN SPACE is that area of a lot covered by structure/building/improvements included in Lot Coverage, driveways/parking and walkways (pervious or impervious), swimming pool shells and decks, and any at-grade impermeable feature. Grade from a structure to property line cannot exceed 1:4 slope (LBK 158.156). Maximum allowable Non-Open Space coverage is established in LBK 158.102 (F) or other project approve by resolution or ordinance.

LOT SIZE is calculated as the area within platted lot lines except:  
- Where a lot line lies within a public/private street, the edge of the street or the right-of-way shall be considered the lot line.  
- Where a lot line lies within a public or private waterway, the Erosion Control Line, mean high water line, water-right-of-way, bulkhead or bulkhead line, whichever is most landward, shall be considered the lot line. (LBK 158.006-LOT LINES)  
LOT SIZE, BULKHEAD LINE & 10,000.0 square feet, as supported by submitted signed/sealed survey

1.0	Non-Pool/Spa Areas	IN SQUARE FEET		
		EXISTING	THIS PERMIT	BY OTHERS
-	Residential Structure (from exterior walls/columns)	-	2,830.2	
-	Garage/Carport (not under house)	-		
-	Roof Eave Overhang (exceeding 3' in depth or over useable areas)	-	36.0	
-	Front Entry & Front Stairs (roofed and unroofed)	-	55.9	
-	Rear Entry & Rear Stairs (roofed and unroofed)	-	32.0	
-	Roofed Porch, Lanai and/or Covered Room, Screened Room	-		
-	Raised Deck or Terrace (>6" above finished grade)	-		
-	Elevated Mechanical Equipment Pad (i.e. a/c. pool)	-		
-	Accessory Structure (i.e., gatehouse, clubhouse, shed, gazebo, etc.)	-		
-	Other Building/Structures/Improvements (>6" above finished grade)	-		
1.1	Total Non-Pool/Spa Areas	-	2,954.1	
2.0	Elevated/Covered Pool/Spa Areas (including stairs)	-		
3.0	Subtotal Lot Coverage Square Footages (lines 1.1 + 2.0)	-	2,954.1	
3.1	Total Lot Coverage Square Footage (sum of "existing", "this permit" and "by others" in line 3.0)		2,954.1 sq. ft.	
4.0	Total Lot Coverage Percentage		2,954.1 sq. ft. (line 3.1) + Lot Size = 29.5%	

5.0	At-Grade Improvements	IN SQUARE FEET		
		EXISTING	THIS PERMIT	BY OTHERS
-	Driveway/Parking Areas (as per site plan) (all surface types)	-	438.9	
-	Designated Walkways/Sidewalks (as per site plan) (all surface types)	-	289.9	
-	Impermeable Patios, Slabs, etc.	-		
-	Impermeable Pool Deck (at-grade)	-	755.9	
-	Pool/Spa Shell (at-grade)	-	523.0	
-	Mechanical Equipment Pads (i.e. a/c. pool/at-grade)	-	32.0	
-	Other Impermeable Surface (at-grade) (Pool Bath)	-		
6.0	Total At-Grade Square Footage (sum of "existing", "this permit" and "by others" in 5.0)		2,954.1 sq. ft.	
7.0	Total Non-Open Space Square Footage (lines 3.1 + 6.0)		line 3.1 + line 6.0 = 4,993.8 sq. ft.	
8.0	Total Non-Open Space Percentage		4,993.8 sq. ft. (line 7.0) + Lot Size = 49.9%	

LEGAL DESCRIPTION:  
LOT 39, SLEEPY LAGOON PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 83, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

SURVEY INFORMATION PROVIDED BY:  
JIM AMBERGER LAND SURVEYING, LLC  
1055 SOUTH TAMiami TRAIL, SUITE 110-B  
SARASOTA, FL 34236  
(P) 941.955.6333

LEGEND:  
A.5 EXISTING ELEVATION  
5.0 PROPOSED ELEVATION  
X EXISTING TREE TO BE REMOVED  
--- 3'H. TREE CONSTRUCTION BARRIER  
--- 6'H. CHAIN LINK FENCE TREE BARRIER

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Checked by: MES  
Date Issued: 8.29.2022

Sheet Number:  
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JIM AMBERGER  
LAND SURVEYOR  
No. 1506434  
EXPIRATION DATE 08/31/2025  
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A NEW RESIDENCE FOR:  
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DE NARVAEZ RESIDENCE  
LONGBOAT KEY, FLORIDA 34228  
590 DE NARVAEZ DRIVE

ARCHITECTURAL  
SITE PLAN

Project Ref: MARTERIE  
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## AREA TABULATIONS

TOTAL LOT AREA	10,000 SQUARE FEET
MAIN RESIDENCE UNDER ROOF	3,013 SQUARE FEET
COVERED WALK AREAS	156 SQUARE FEET
TOTAL BUILDING COVERAGE	5,069 SQUARE FEET
TOTAL BUILDING % COVERAGE	21.6 %
MAX. BUILDING % COVERAGE ALLOWED	30 %

TOTAL BUILDING COVERAGE	4,069 SQUARE FEET
POOL AND POOL PAVERS	1,232 SQUARE FEET
DRIVE, WALKWAYS & EQUIPMENT PADS	4,369 SQUARE FEET
TOTAL IMPERVIOUS	11,645 SQUARE FEET
TOTAL % IMPERVIOUS	49.5 %
MAX. TOTAL % IMPERVIOUS	50 %

## BUILDING INFORMATION

RESIDENCE (A/C LIVING) FIRST FLOOR	1,785 SQUARE FEET
RESIDENCE (A/C LIVING) SECOND FLOOR	1,460 SQUARE FEET
TOTAL A/C AREA	3,245 SQUARE FEET
GARAGE	618 SQUARE FEET

TYPE V CONSTRUCTION, UNSPRINKLERED, UNPROTECTED

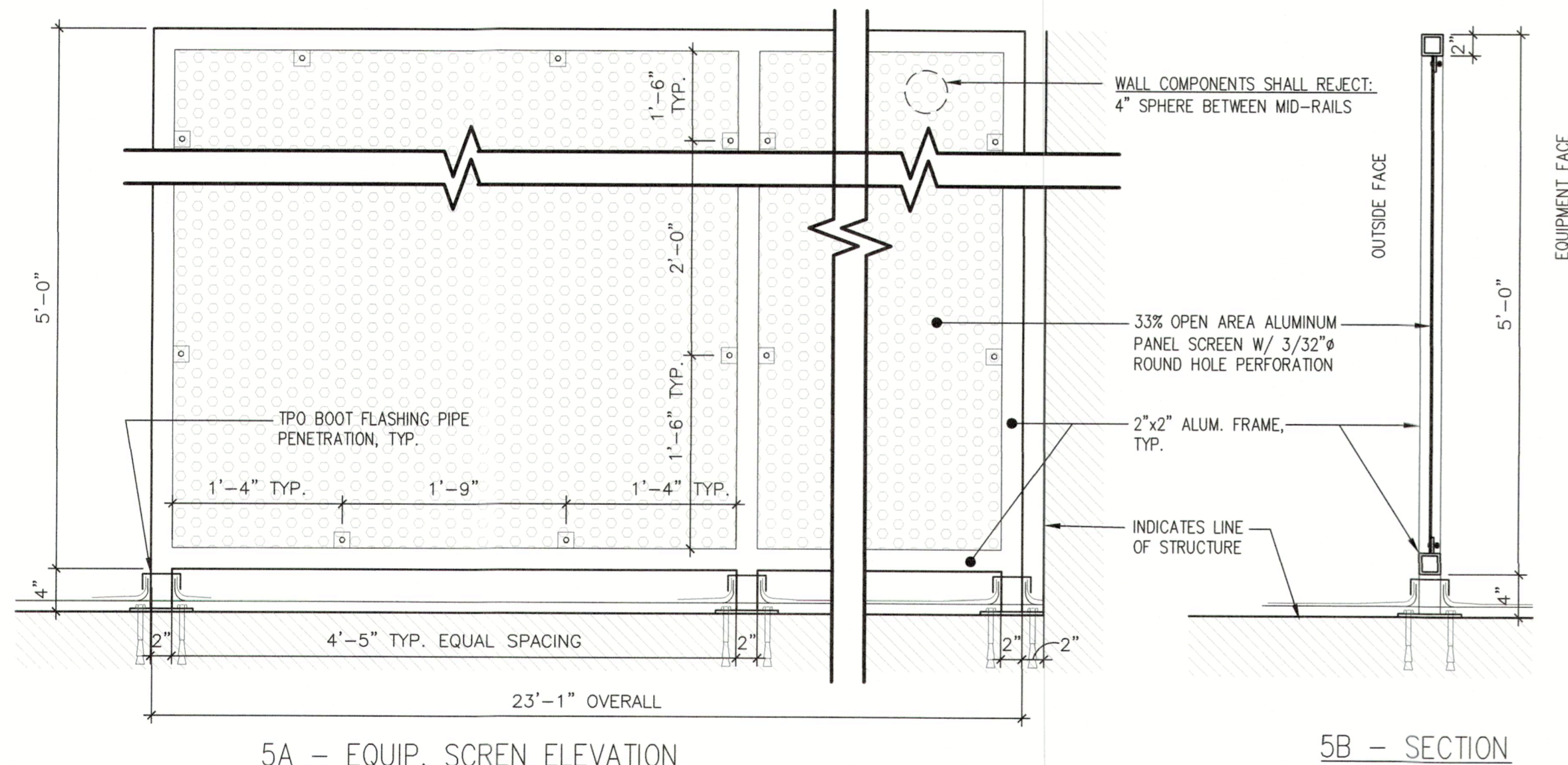
LOT ZONING: RSF-1  
FLOOD ZONE: AE (EL. 8)

THIS STRUCTURE HAS BEEN DESIGNED PER THE 2020 FLORIDA BUILDING CODE  
AND HAS BEEN DESIGNED FOR WIND VELOCITIES OF 150 MPH W/ 3-SEC. GUST.  
NORM DESIGN WIND SPEED 116 MPH W/ 3-SEC. GUST.

## REQUIRED BUILDING SETBACKS

FRONT (STREET)	20'-0"
SIDE YARD (MIN, COMBINED)	8'-0", 20'-0"
REAR (WATERFRONT)	20'-0"

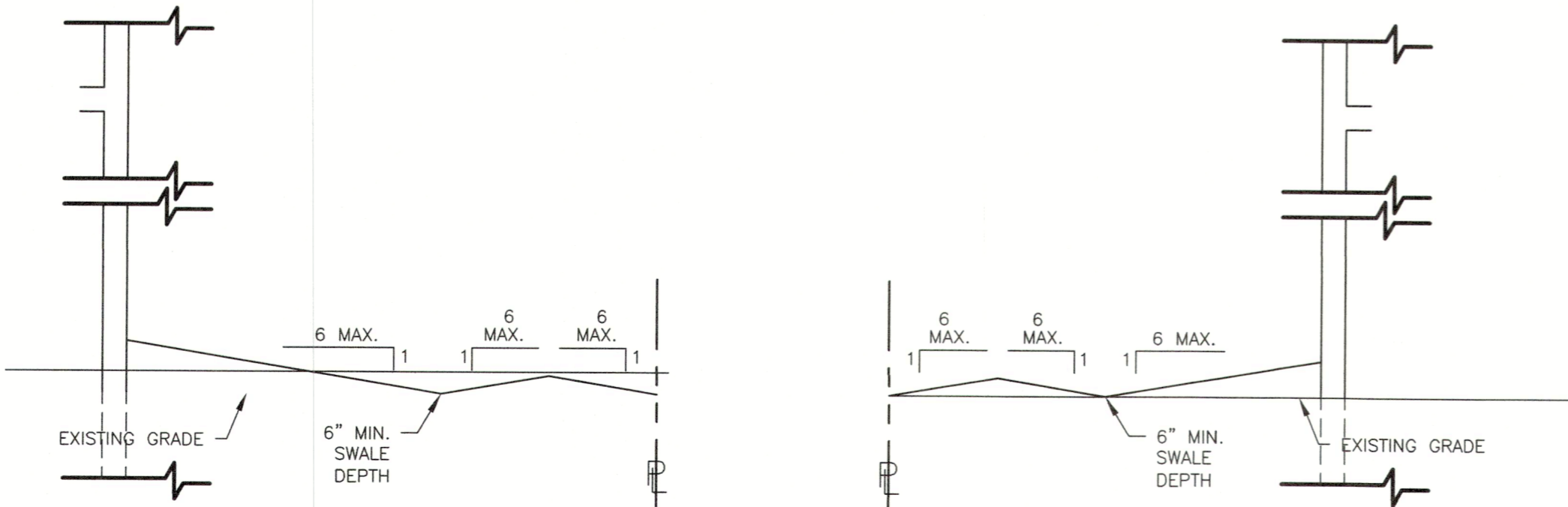
TOWN OF LONGBOAT KEY



SCREEN WALL NOTES:  
- PROVIDE SUBMITTALS FOR ALL CONDITIONS AND FASTENING TO THE STRUCTURE SIGNED AND SEALED W/ CALCULATIONS.  
- MAINTAIN REGULAR SPACING OF STIFFENING RODS/POST (AS REQ'D.) ACROSS THE FULL WIDTH OF WALL.  
- ALL FABRICATION TO ACCOUNT FOR ANY DISSIMILAR MATERIALS.  
- SCREEN WALL ASSEMBLY TO HAVE WHITE KYNAR OR POWDERCOATED PAINT FINISH.

## ALUMINUM SCREEN WALL DETAILS 5

1' = 1'-0"

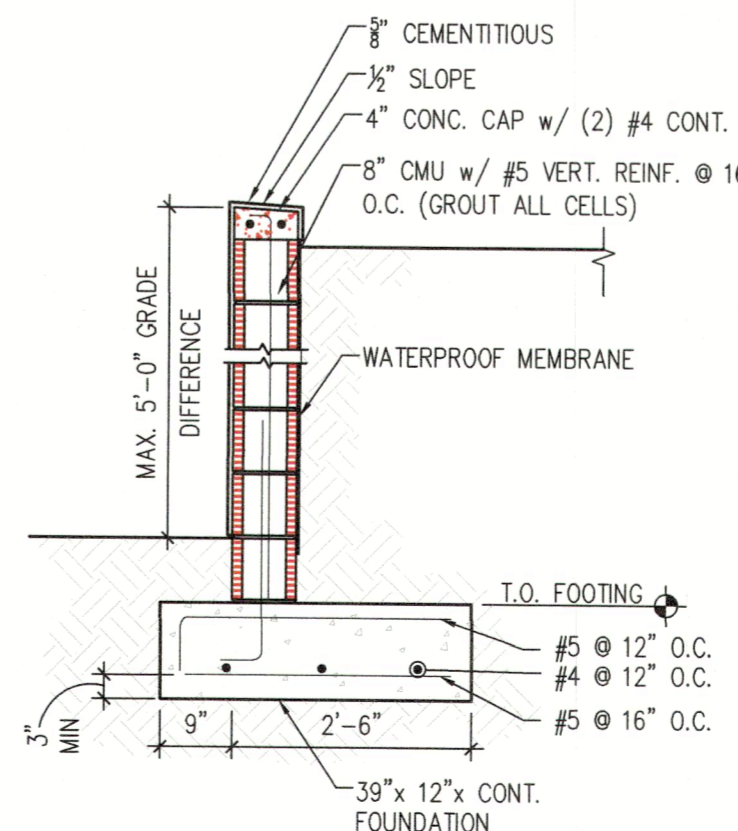


## GRADING DETAIL 4

N.T.S.

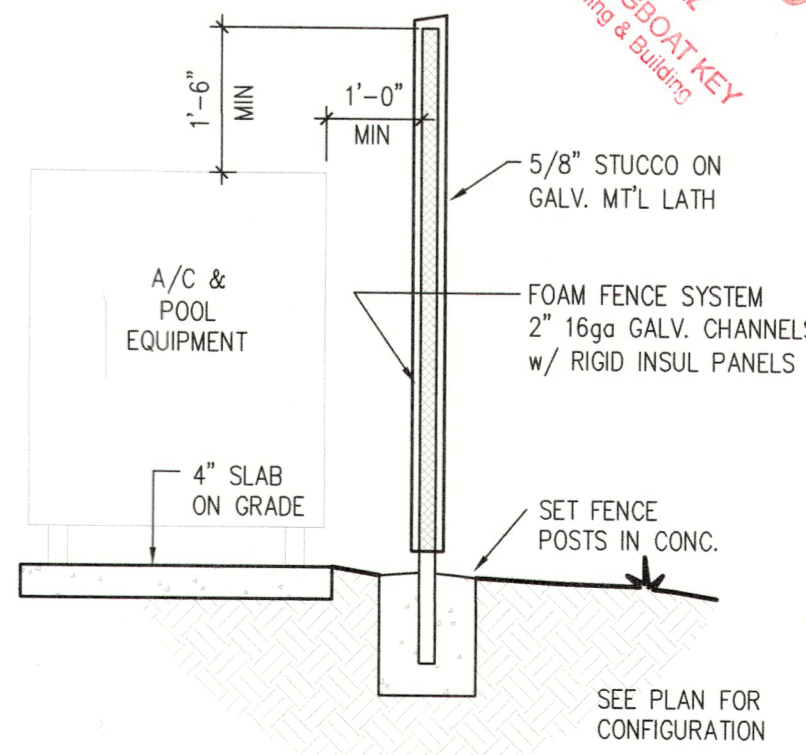
## GRADING DETAIL 3

N.T.S.



## RETAINING WALL SECTION 2

N.T.S.



## REMOVABLE SOUND MITIGATION WALL SECTION 1

N.T.S.

- NOTES:
- 1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONCRETE BLOCK.
  - 2.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
  - 3.) ALL DOORS SHALL BE 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED. ALL OTHER DOORS ARE DIMENSIONED TO CENTERLINE.
  - 4.) WINDOWS ARE DIMENSIONED TO CENTERLINE.
  - 5.) WINDOWS LABELLED AS EGRESS SHALL MEET FBC-R310 REQUIREMENTS.
  - 6.) ALL A/C UNITS TO BE ELEVATED ABOVE DESIGN FLOOD ELEVATION & SECURED TO EQUIPMENT PLATFORM w/ STAINLESS STEEL STRAPS AND (1) 1/4"x3" TAPCON EACH SIDE MAINTAIN 12" MIN. CLEAR SPACE AROUND EACH A/C UNIT TYP.
  - 7.) TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS SHALL MEET FBC-R SECTION R308.4.
  - 8.) ALL SHOWER PAN LINERS SHALL HAVE A 1/4" PER FOOT MINIMUM SLOPE TO DRAIN.
  - 9.) ALL CEMENTITIOUS BD. TILED WALL LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTGEN BY US GYP. UNLESS OTHERWISE NOTED.
  - 10.) EXTERIOR CEMENTITIOUS COATING SHALL COMPLY WITH FBC-R SECTIONS 703.6 THROUGH 703.6.5.
  - 11.) AIR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT ARE THE THERMAL ENVELOPE FOR THE BUILDING PER FBCEC-R402.4.

### WALL LEGEND

- PARTITION WALL - 4" (U.N.O.)  
5/8" GYP. BD. ON EACH SIDE OF 2x4 WD. STUDS @ 16" O.C.
- PARTITION WALL - 4" (U.N.O.)  
5/8" GYP. BD. ON EACH SIDE OF 2x4 WD. STUDS @ 16" O.C.  
W/ SOUND ATTENUATION BATT INSULATION BETWEEN STUDS.
- CMU WALL - 8" (U.N.O.)  
INTERIOR SIDE TO PAINTED SMOOTH FINISH 8" CMU WALL.  
EXTERIOR SIDE TO BE CEMENTITIOUS COATED (U.N.O.).
- CMU WALL - 8" (U.N.O.)  
5/8" GYP. BD. OVER 1x2 P.T. FURRING STRIPS OVER 3/4" RIGID INSULATION OVER 8" CMU WALL.  
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- CONCRETE WALL OR COLUMN - 8" (U.N.O.)  
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EXTERIOR SIDE TO BE CEMENTITIOUS COATED.

NOTE:  
ALL MATERIALS BELOW DESIGN FLOOD ELEVATION  
SHALL BE APPROVED WATER RESISTANT MATERIALS  
PER FEMA TECH. BULLETIN #2, AUG 2008  
(I.E. - WINDOWS, DOORS, JAMBS, STAIRS, ETC.)

NOTE:  
PURSUANT TO FEMA TECHNICAL  
BULLETIN 4 (2010), THE ELEVATOR  
NEEDS TO BE EQUIPPED WITH A FLOAT  
SWITCH TO RETURN IT TO ABOVE B.F.E.  
IN THE EVENT OF FLOODING.

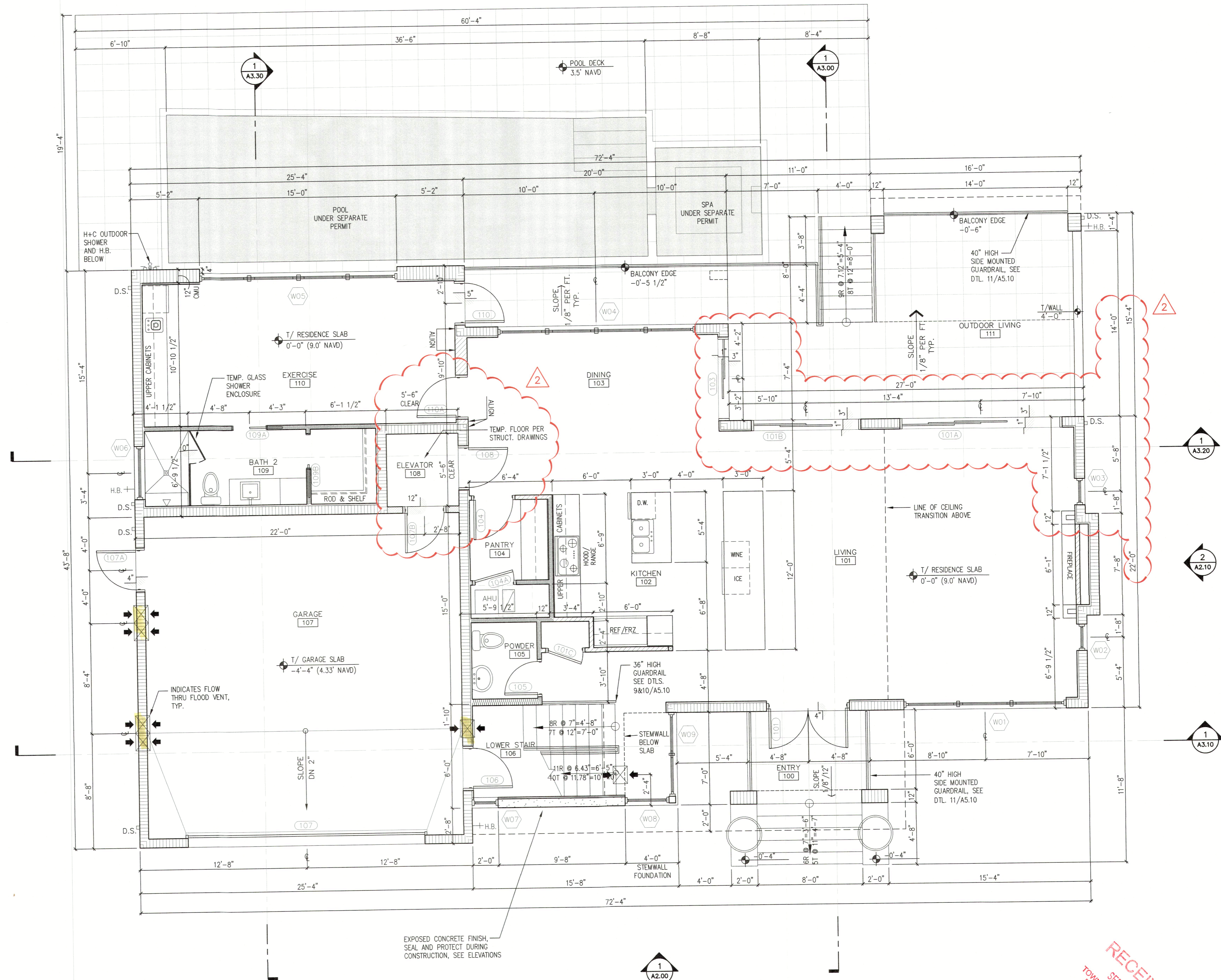
FLOW THRU OPENING CALCULATIONS				
ROOM NO.	AREA	AREA REQ'D	TOTAL NET OPENING PROVIDED	
STAIR 106	91 S.F.	91 S.I.	(2x) TYPE "A" OPENINGS PROVIDED @ 200 NET S.I. PER UNIT = 400 NET S.I.	
GARAGE 110	618 S.F.	618 S.I.	(4x) TYPE "A" OPENINGS PROVIDED @ 200 NET S.I. PER UNIT = 800 NET S.I.	
TOTAL PERIMETER	709 S.F.	709 S.I.	(5x) TYPE "A" OPENINGS PROVIDED @ 200 NET S.I. PER UNIT = 1000 NET S.I.	

COLOR TO BE SELECTED BY ARCHITECT

TYPE "A" - CERTIFIED FLOOD VENT  
200 SQ. FT.

FLOW THRU UNIT "A" BY:  
SMART VENT - PIVOTING SOLID INSULATED FACE  
MODEL #1540-520

2  
A2.00



NORTH  
**FIRST FLOOR PLAN**  
1/4" = 1'-0"

1  
A2.00

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**FIRST FLOOR PLAN**

Project Ref: MALTERIE  
Drawn by: SG / VA  
Checked by: MES  
Date Issued: 8.29.2022

Sheet Number:  
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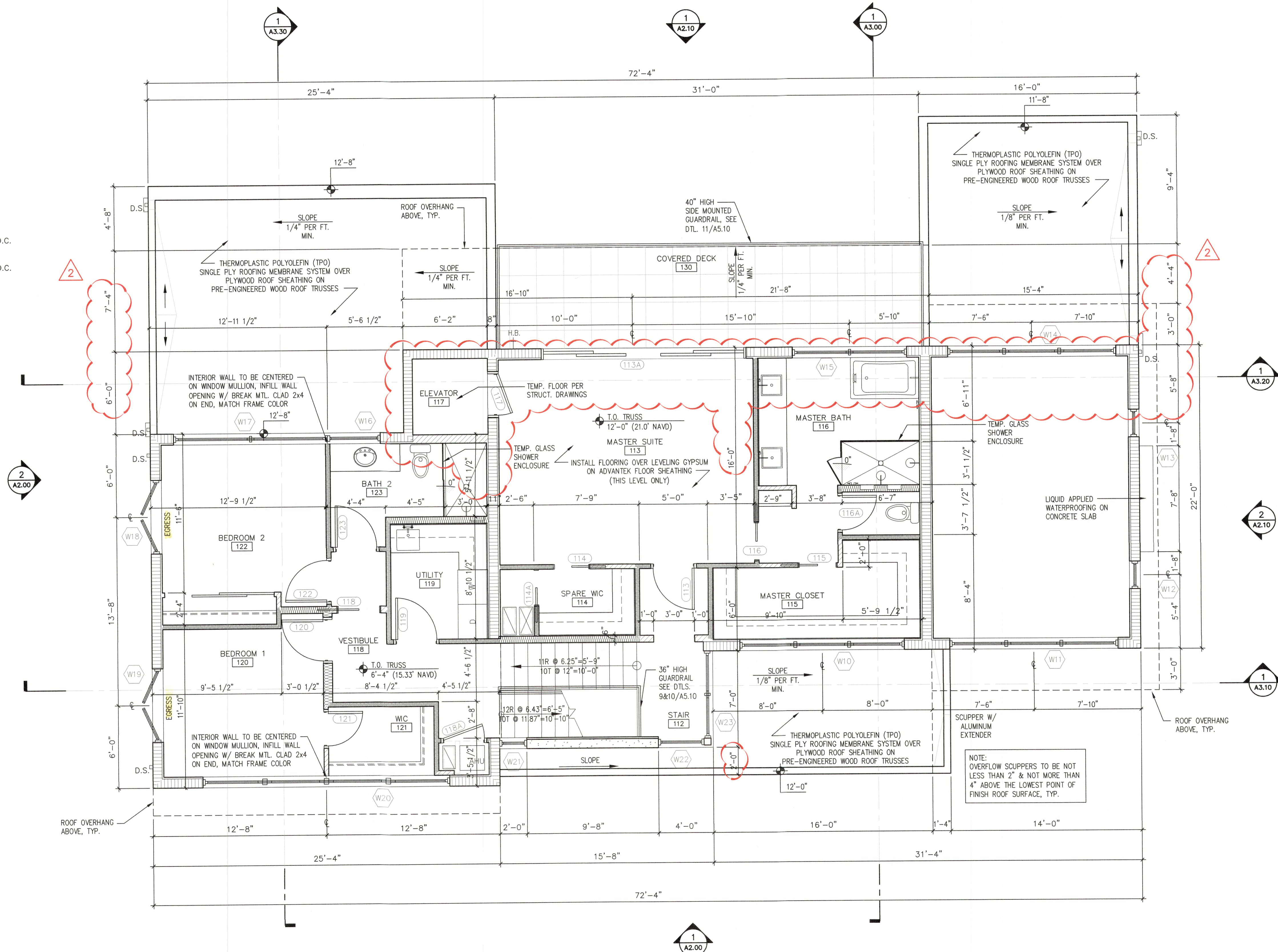
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  - 7.) TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS SHALL MEET FBC-R SECTION R308.4.
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NORTH  
**SECOND FLOOR PLAN**  
1/4" = 1'-0"

1

2 - ELEVATOR AND ROOF CHANGE

STATE OF FLORIDA  
REGISTERED ARCHITECT  
AUG 29 '2022

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A NEW RESIDENCE FOR:  
THE MARTERIE FAMILY

DE NARVAEZ RESIDENCE  
LONGBOAT KEY, FLORIDA 34228  
590 DE NARVAEZ DRIVE

SECOND  
FLOOR PLAN

Project Ref: MARTERIE  
Drawn by: SG / VA  
Checked by: MES  
Date Issued: 8.29.2022

Sheet Number:

A1.20

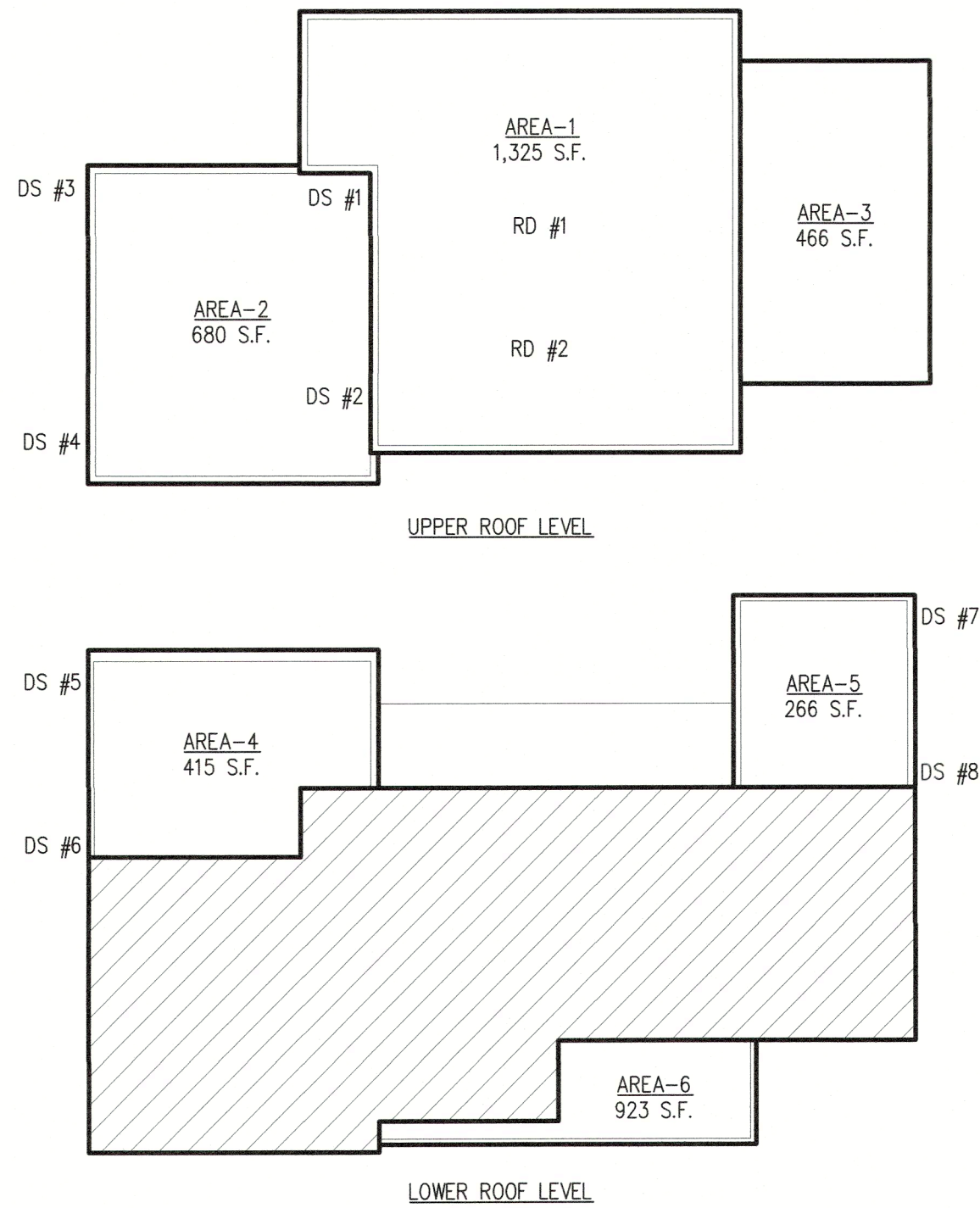
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NOTES:  
1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONCRETE BLOCK.

2.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

NOTE:  
PER FBC R302.12, G.C. TO INSTALL DRAFTSTOP FIRE SEPARATION SUCH THAT THE AREAS OF THE CONCEALED SPACE DOES NOT EXCEED A MAXIMUM AREA OF 1,000 S.F.. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS.



2 ROOF DRAINAGE AREA CALCS:

AREA-1 1,325 S.F. = 62.0 G.P.M.  
RD #1 4" @ 1/8" = 78 G.P.M.  
DS #1 3"x3" VERTICAL = 92 G.P.M.  
OVERFLOW 1,325 S.F. = 62.0 G.P.M.  
RD #2 4" @ 1/8" = 78 G.P.M.  
DS #2 3"x3" VERTICAL = 92 G.P.M.  
TOTAL DRAINAGE PROVIDED = 78 G.P.M.

AREA-2 680 S.F. = 31.8 G.P.M.  
+ AREA-1 1,325 S.F. = 93.8 G.P.M.  
SCUPPER 4"x4" @ 1/4" = 48 G.P.M.  
DS #3 3"x3" VERTICAL = 92 G.P.M.  
SCUPPER 4"x4" @ 1/4" = 48 G.P.M.  
DS #4 3"x3" VERTICAL = 92 G.P.M.  
TOTAL DRAINAGE PROVIDED = 96 G.P.M.

AREA-3 466 S.F. = 21.8 G.P.M.  
GUTTER 4"x4" @ 1/8" = 39 G.P.M.  
DS 3"x3" VERTICAL = 92 G.P.M.  
DS 3"x3" VERTICAL = 92 G.P.M.  
TOTAL DRAINAGE PROVIDED = 39 G.P.M.

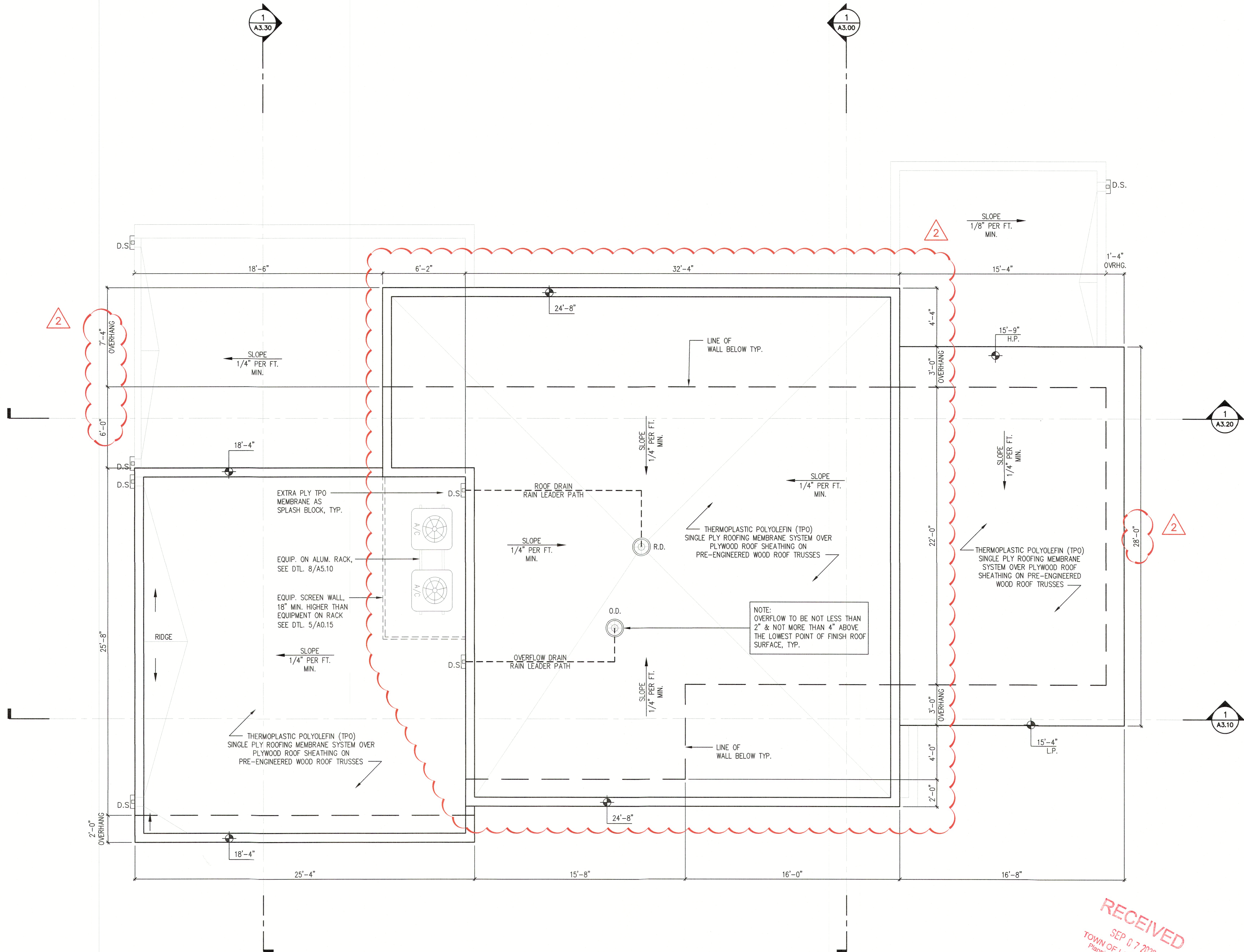
ROOF DRAINAGE AREA CALCS:

AREA-4 415 S.F. = 19.4 G.P.M.  
SCUPPER 4"x4" @ 1/4" = 48 G.P.M.  
DS #5 3"x3" VERTICAL = 92 G.P.M.  
SCUPPER 4"x4" @ 1/4" = 48 G.P.M.  
DS #6 3"x3" VERTICAL = 92 G.P.M.  
TOTAL DRAINAGE PROVIDED = 96 G.P.M.

AREA-5 266 S.F. = 12.4 G.P.M.  
SCUPPER 4"x4" @ 1/8" = 39 G.P.M.  
DS #7 3"x3" VERTICAL = 92 G.P.M.  
SCUPPER 4"x4" @ 1/8" = 39 G.P.M.  
DS #8 3"x3" VERTICAL = 92 G.P.M.  
TOTAL DRAINAGE PROVIDED = 78 G.P.M.

AREA-6 923 S.F. = 8.7 G.P.M.  
SCUPPER 4"x4" @ 1/8" = 39 G.P.M.  
OVERFLOW 923 S.F. = 8.7 G.P.M.  
SCUPPER 4"x4" @ 1/8" = 39 G.P.M.  
TOTAL DRAINAGE PROVIDED = 39 G.P.M.

NOTE:  
THESE CALCULATIONS ARE CONSIDERING 4.5" RAINFALL PER HR. AND CONVERSIONS OF:  
GALLONS PER HOUR (G.P.H.) PER SQUARE FOOT = 2.805  
GALLONS PER MINUTE (G.P.M.) PER SQUARE FOOT = .0468



NORTH  
ROOF PLAN  
1/4" = 1'-0"

1

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LONGBOAT KEY, FLORIDA 34228

ROOF  
PLAN

Project Ref: MARGERIE  
Drawn by: SG / VA  
Checked by: MES  
Date Issued: 8.29.2022

Sheet Number:

A1.30

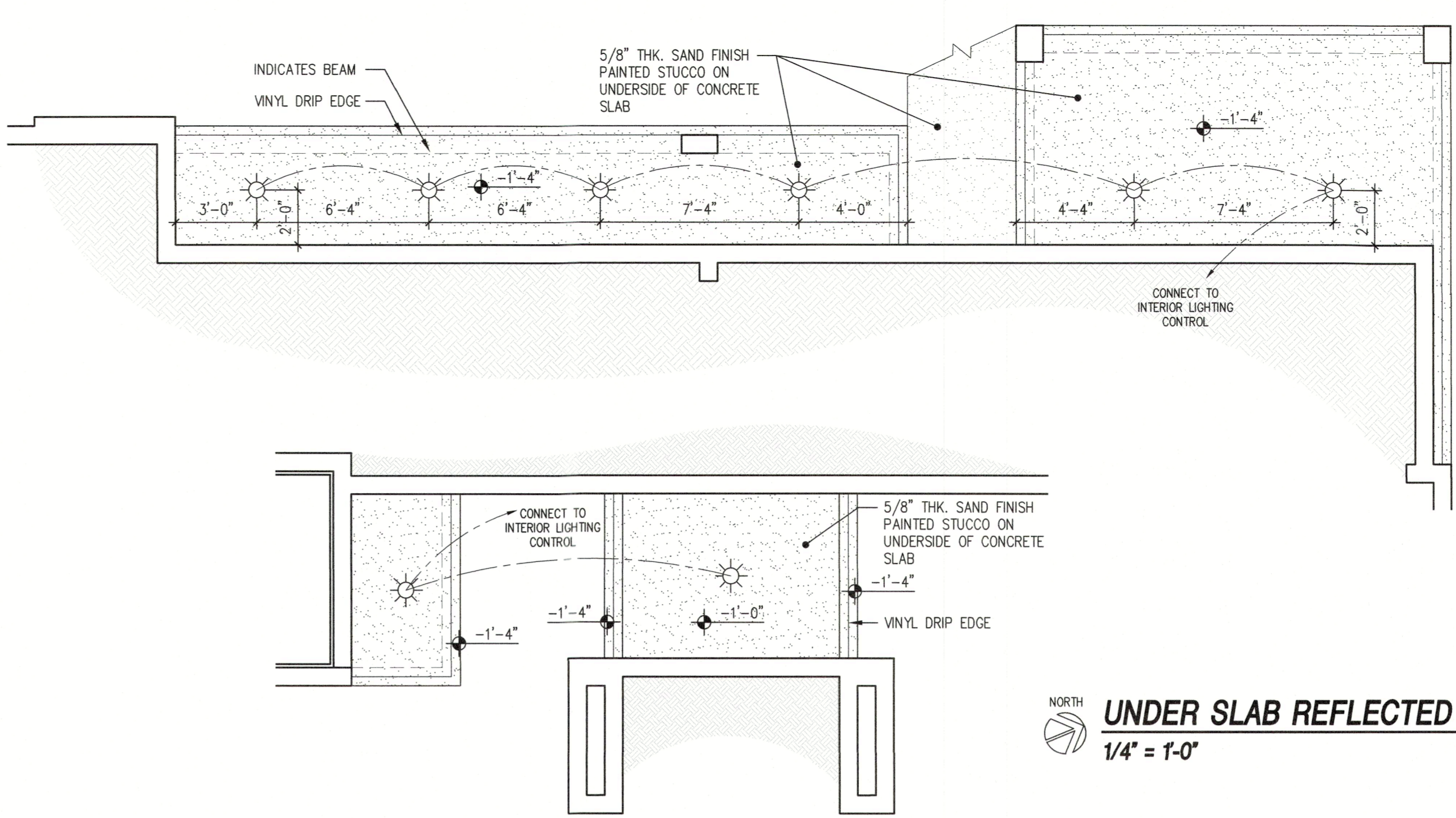
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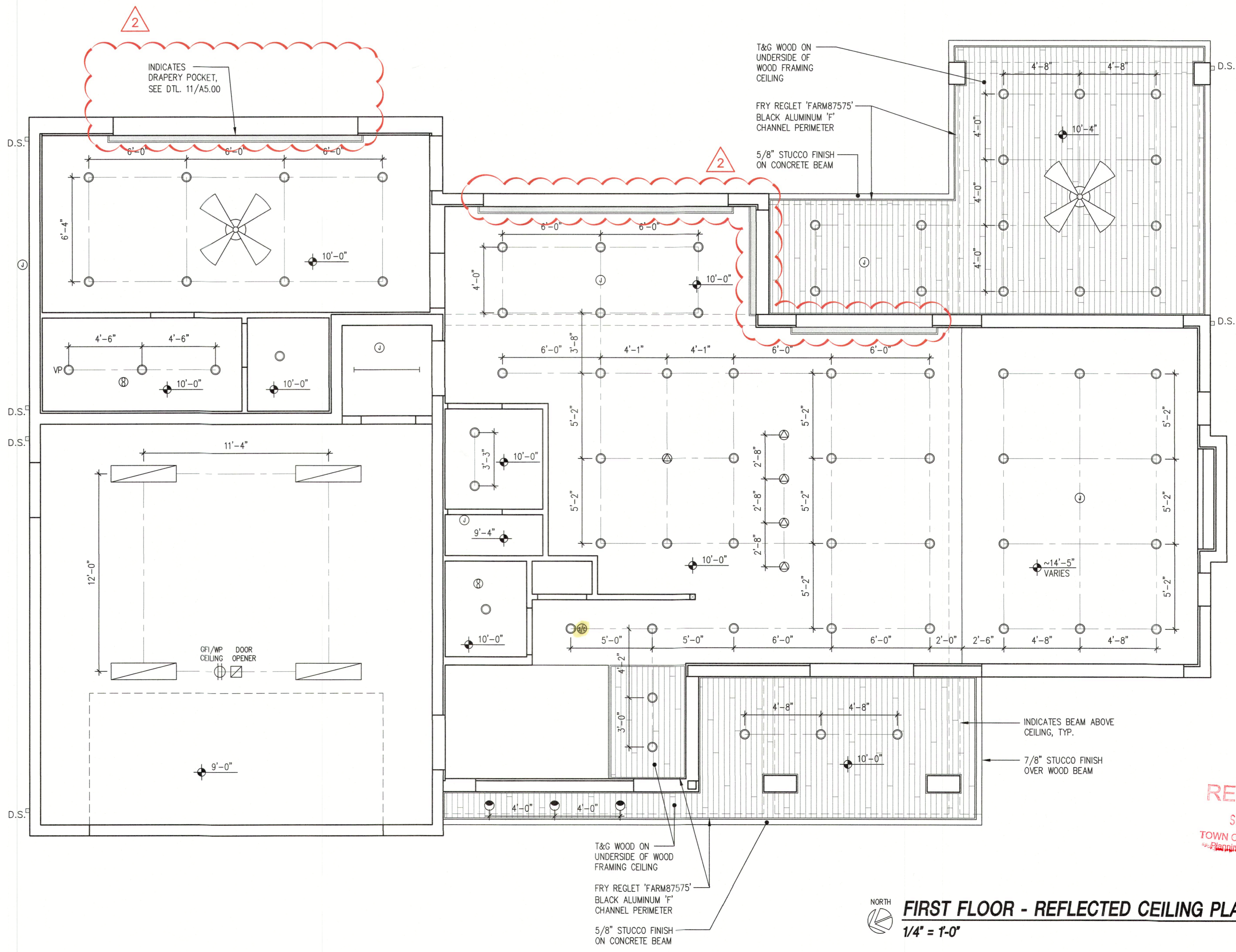
- NOTES:
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  - 2.) ALL CEILING ELEVATIONS ARE FROM TOP OF SLAB/TRUSS ELEVATION.
  - 3.) ALL INTERIOR CEILINGS TO BE 5/8" GYP. CEILING BD. UNLESS OTHERWISE NOTED.
  - 4.) ALL WET LOCATION CEILINGS (I.E. CEILINGS OVER BATHROOM SHOWERS,) TO BE 1/2" CEMENT BD. EQUAL TO SHEETROCK MOLD TOUGH BY US GYP. UNLESS OTHERWISE NOTED.
  - 5.) ALL CEMENTITIOUS BD. @ TILE LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTGEN BY US GYP. UNLESS OTHERWISE NOTED.
  - 6.) UNLESS OTHERWISE NOTED, LIGHT FIXTURES TO BE CENTERED WITHIN AREA.
  - 7.) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
  - 8.) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.
  - 9.) GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TYPE AND LOCATION OF AIR CONDITIONING GRILLES.

NOTE:  
HABITABLE ROOMS SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN 5/8" TYPE "X" DRYWALL CEILING ON UNDERSIDE OF PRE-ENGINEERED WOOD FLOOR JOIST.

ELECTRICAL LEGEND	
ELECTRICAL SYMBOL ABBREVIATIONS	LIGHT FIXTURES
A - ABOVE COUNTER	○ RECESSED CEILING LIGHT FIXTURE
AUC - ABOVE UPPER CABINET	● RECESSED WALL WASH FIXTURE
ADFE - ABOVE DESIGN FLOOD ELEVATION PLANE	☀ SURFACE MOUNTED CEILING LIGHT FIXTURE
C - RECESSED CLOCK RECEPTACLE	⊙ PENDANT - CEILING MOUNTED
GFI - GFCI CIRCUIT	☑ 3-HEAD LIGHT ASSEMBLY - CEILING MTG.
UC - UNDER COUNTER	☑ WALL MOUNTED FLOOD LIGHT FIXTURE
VP - VAPOR PROOF FIXTURE	⊙ JUNCTION BOX
WCR - RECEPTACLE WITHIN CABINET W/ GFI PROTECTION	⊙ HIGH VOLTAGE JUNCTION BOX PER MOTORIZED DOOR ACTUATOR MANUFACTURER'S SPECS.
WP - WEATHER PROTECTED	⊙ HIGH VOLTAGE JUNCTION BOX PER ROLL DOWN BUS SCREEN MANUFACTURER'S SPECS.
USB - UNIVERSAL SERIAL BUS RECEPTACLE PORT	⊙ LOW VOLTAGE JUNCTION BOX PER ROLL DOWN WINDOW TREATMENT MANUFACTURER'S SPECS.
SWITCHING:	
- ALL SWITCH COVERS TO BE SCREWLESS TYPE.	
\$ SINGLE POLE WALL SWITCH	⊙ UNDERWATER POOL LIGHT - WALL MTG.
\$0 SINGLE POLE WALL SWITCH W/ DIMMER	⊙ UNDERWATER POOL LIGHT - BOTTOM MTG.
\$1 SINGLE POLE WALL SWITCH W/ TIMER	⊙ WALL SCONCE
\$3 3-WAY WALL SWITCH	▭ SURFACE MOUNTED LED
\$ FLIP UP SWITCH - FLUSH W/ COUNTER TOP	▭ SURFACE MOUNTED LED
\$⊕ FLIP UP SWITCH & DUPLEX RECEPTACLE COMBINATION - FLUSH W/ COUNTER TOP	— UNDER CABINET LIGHTING
▣ LIGHT CONTROL TOUCH PAD	— LED UPLIGHTING
☑ GARAGE DOOR OPENER CONTROL	☑ IN WALL MOUNTED LIGHT LOW VOLTAGE
MS MOTION SENSOR LIGHT SWITCH W/ PHOTO CELL	☑ CEILING MOUNTED FAN
OUTLETS:	
- ALL RECEPTACLES THAT ARE NOT REQUIRED TO BE G.F.I. PROTECTED SHALL BE ARC FAULT & TAMPERPROOF PER N.E.C. CODE.	
- ALL RECEPTACLE COVERS TO BE SCREWLESS TYPE.	
⊕ DUPLEX RECEPTACLE	MISC
⊕ ABOVE COUNTER LOCATED DUPLEX RECEPTACLE	
⊕ WALL SWITCH CONTROLLED DUPLEX RECEPT. ONE OUTLET SWITCHED - ONE NON-SWITCHED (WHEN WIRED IN TANDOM ONLY SWITCHED OUTLETS TO BE WIRED TOGETHER)	
⊕ 220 VOLT RECEPTACLE	
⊕ CEILING OUTLET	
⊕ FLOOR OUTLET	
⊕ FLIP UP DUPLEX RECEPTACLE - FLUSH W/ COUNTER TOP	
△ CAT 6E	
TV CABLE T.V.	
☐ DISCONNECT	
⊕ SMOKE/CARBON MONOXIDE DETECTOR HARD WIRED, INTERCONNECTED W/BATTERY BACK-UP	
▭ ELECTRICAL PANEL	
⊕ THERMOSTAT	
⊕ GAS	
⊕ DOOR CHIME	
⊕ CEILING MOUNTED EXHAUST FAN	
⊕ SURFACE MOUNTED SPEAKER	
⊕ ALARM PANEL	



NORTH  
**UNDER SLAB REFLECTED CEILING**  
1/4" = 1'-0" **2**



NORTH  
**FIRST FLOOR - REFLECTED CEILING PLAN**  
1/4" = 1'-0" **1**

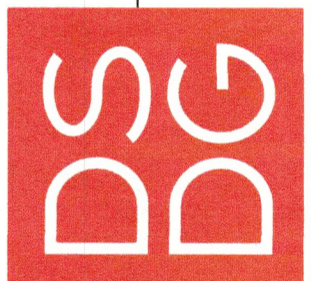
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**FIRST FLOOR REFLECTED CEILING PLAN**

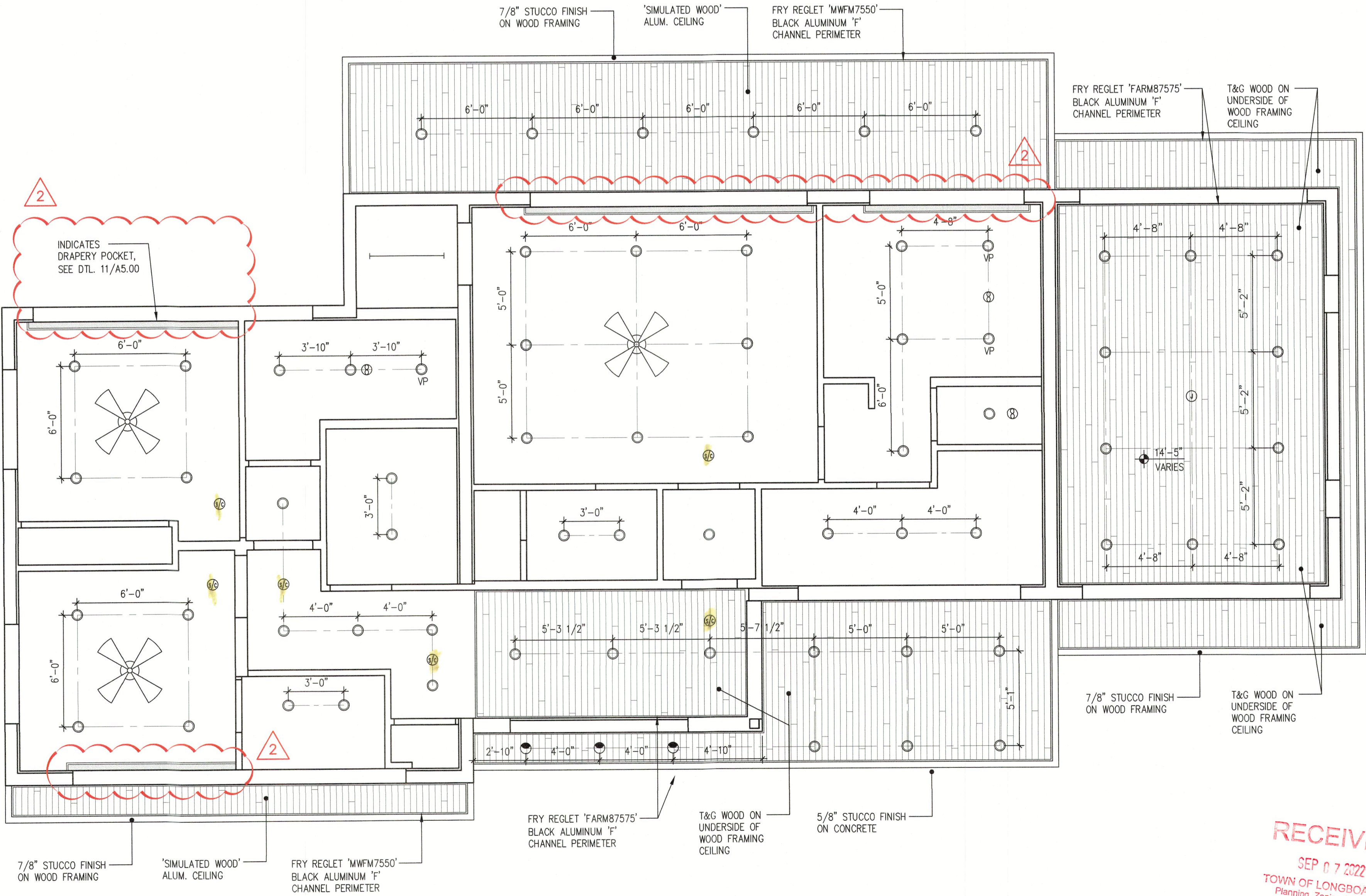
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Checked by: MES  
Date Issued: 8.29.2022

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**A1.40**

- NOTES:
- 1.) ALL DIMENSIONS ARE TAKEN FROM EDGE OF STUDS, OR EDGE OF CONC. BLOCK.
  - 2.) ALL CEILING ELEVATIONS ARE FROM TOP OF SLAB/TRUSS ELEVATION.
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  - 5.) ALL CEMENTITIOUS BD. @ TILE LOCATIONS TO BE 1/2" CEMENT BD. EQUAL TO DUROCK NEXTGEN BY US GYP. UNLESS OTHERWISE NOTED.
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  - 9.) GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TYPE AND LOCATION OF AIR CONDITIONING GRILLES.
  - 10.) SEE SHT. A\_\_\_\_ FOR ELECTRICAL LEGEND.

ELECTRICAL LEGEND	
FIXTURE SYMBOLS	LIGHT FIXTURES
ADFE - ABOVE DECK FLOOD ELEVATION PLANE	○ RECESSED CEILING LIGHT FIXTURE
GFI - GFCI CIRCUIT	○ RECESSED WALL WASH FIXTURE
VP - VAPOR PROOF FIXTURE	○ PENDANT - CEILING MOUNTED
WP - WEATHER PROTECTED	○ JUNCTION BOX
SWITCHING	○ WALL SCONCE
\$ SINGLE POLE WALL SWITCH	▭ SURFACE MOUNTED FLUORESCENT
\$ <sub>D</sub> SINGLE POLE WALL SWITCH W/ DIMMER	••••• UNDER CABINET LIGHTING
\$ <sub>3</sub> 3-WAY WALL SWITCH	⊗ CEILING MOUNTED FAN
□ LIGHT CONTROL TOUCH PAD	
☑ GARAGE DOOR OPENER CONTROL	
MS MOTION SENSOR LIGHT SWITCH W/ PHOTO CELL	
OUTLETS:	MISC
ALL RECEPTACLES THAT ARE NOT REQUIRED TO BE G.F.I. PROTECTED SHALL BE ARC FAULT & TAMPERPROOF PER N.E.C. CODE	☼ SMOKE/CARBON MONOXIDE DETECTOR HARD WIRED, INTERCONNECTED w/ BATTERY BACK-UP
⊕ DUPLEX RECEPTACLE	⬛ ELECTRICAL PANEL
⊕ ABOVE COUNTER LOCATED DUPLEX RECEPTACLE	⊖ THERMOSTAT
⊕ WALL SWITCH CONTROLLED DUPLEX RECEPT. ONE OUTLET SWITCHED - ONE NON-SWITCHED (WHEN WIRED IN TANDUM ONLY SWITCHED OUTLETS TO BE WIRED TOGETHER)	⊕ GAS
⊕ <sub>220</sub> 220 VOLT RECEPTACLE	⊕ DOOR CHIME
⊕ CEILING OUTLET	⊕ CEILING MOUNTED EXHAUST FAN
⊕ FLOOR OUTLET	
△ CAT 5	
TV CABLE T.V.	
DISCONNECT	



SECOND FLOOR - REFLECTED CEILING PLAN  
1/4" = 1'-0"

2 - ADD DRAPERY POCKETS

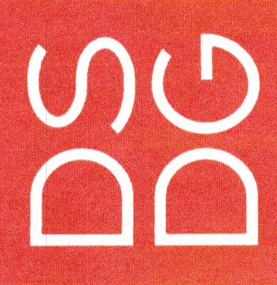


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THE MARTERIE FAMILY

DE NARVAEZ RESIDENCE

LONGBOAT KEY, FLORIDA 34228

590 DE NARVAEZ DRIVE

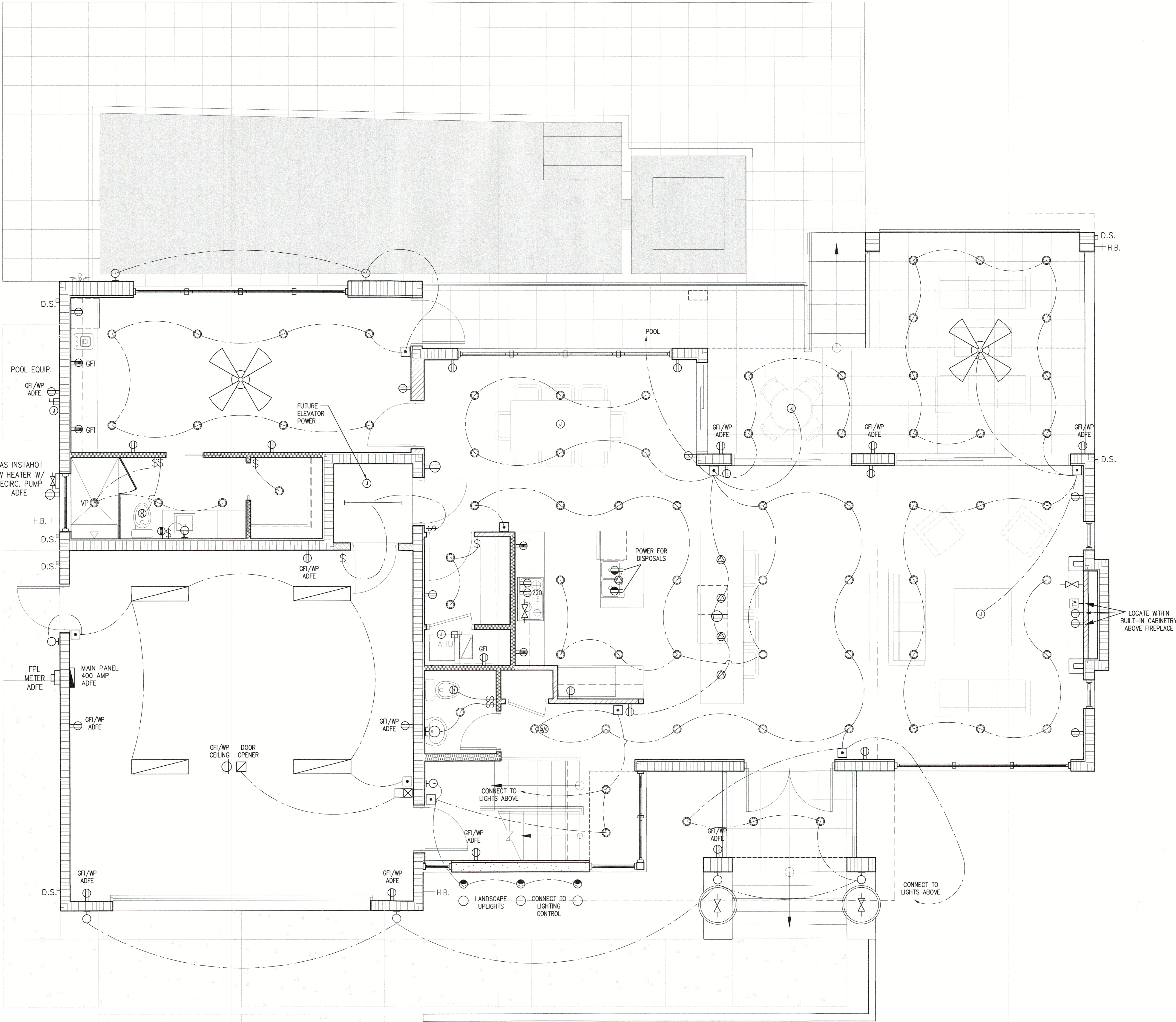
SECOND REFLECTED CEILING PLAN

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Checked by: MES  
Date Issued: 8.29.2022

Sheet Number:

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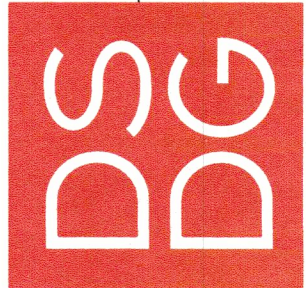
- ELECTRICAL NOTES:
- 1.) ALL ELECTRICAL TO BE WIRED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE 2022.
  - 2.) ELECTRICAL SUB CONTRACTOR TO SIZE ELECTRICAL PANEL IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC70).
  - 3.) ALL OUTLETS THAT ARE NOT REQUIRED TO BE GFI PROTECTED SHALL BE ARC FAULT WITH TAMPER PROOF RECEPTACLES.
  - 4.) ALL ELECTRICAL OUTLETS & SWITCHES INCLUDING ELECTRICAL PANELS TO BE MOUNTED ABOVE DESIGN FLOOD ELEVATION (ADFE).
  - 5.) ALL SWITCHES AND RECEPTACLES TO BE DECORA (FLUSH WHITE) BY LEVITON.
  - 6.) G.C. TO COORDINATE ARCHITECTURAL POWER PLAN AND STRUCTURED WIRING PLAN BY OTHERS.
  - 7.) ALL FIRE SMOKE/CARBON MONOXIDE DETECTORS TO BE WIRED IN TANDEM, IF ONE IS ACTIVATED IT SHALL CAUSE ALL DETECTORS TO SOUND.
  - 8.) PROVIDE EXTERIOR GARAGE DOOR CONTROL PANEL.
  - 9.) ALL LOW VOLTAGE FIXTURES SHALL BE IC LISTED.
  - 10.) PROVIDE DOWN STAIRS OUTDOOR FIXTURE STUB OUTS FOR FUTURE LANDSCAPE LIGHTING IN PLANTERS, TREES, IRRIGATION SYSTEMS, ETC.
  - 11.) CLOSET LIGHTING:
    - RECESSED FIXTURE W/ LENS MUST MAINTAIN (FROM EDGE OF FINISHED TRIM) A MINIMUM OF 6" CLEARANCE TO SHELF AND A MINIMUM OF 18" TO THE BACK AND SIDE WALLS.
    - FLUORESCENT FIXTURE W/ LENS MUST MAINTAIN 12" MIN. CLEARANCE TO THE SHELF AND 24" MINIMUM CLEARANCE TO THE BACK AND SIDE WALLS.
  - 12.) ALL EXTERIOR LIGHTING AND FANS WILL BE RATED FOR EXTERIOR USE.
  - 13.) AT LEAST 75% OF ALL LIGHTING TO BE HIGH EFFICIENCY LAMPS. SEE 2014 ENERGY CONSERVATION CODE SECTION R404.
  - 14.) GENERAL CONTRACTOR SHALL COORDINATE ALL CONTROL SYSTEMS AND INDIVIDUAL DRIVERS FOR COMPATIBILITY.
  - 15.) SEE SHT. A1.70 FOR ELECTRICAL LEGEND.



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590 DE NARVAEZ DRIVE  
LONGBOAT KEY, FLORIDA 34228

**FIRST FLOOR -  
ELECTRICAL PLAN**

Project Ref: MARTERIE  
Drawn by: SG / VA  
Checked by: MES  
Date Issued: 8.29.2022

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**FIRST FLOOR -  
ELECTRICAL PLAN**  
1/4" = 1'-0"

1

- ELECTRICAL NOTES:
- 1.) ALL ELECTRICAL TO BE WIRED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE 2011.
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  - 15.) SEE SHT. A1.70 FOR ELECTRICAL LEGEND.



**SECOND FLOOR -  
ELECTRICAL PLAN**  
1/4" = 1'-0"

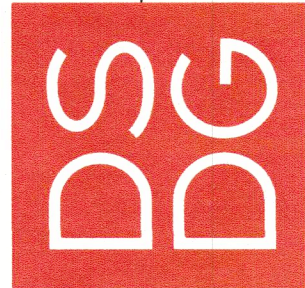
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**DE NARVAEZ RESIDENCE**

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**SECOND FLOOR -  
ELECTRICAL PLAN**

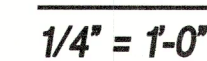
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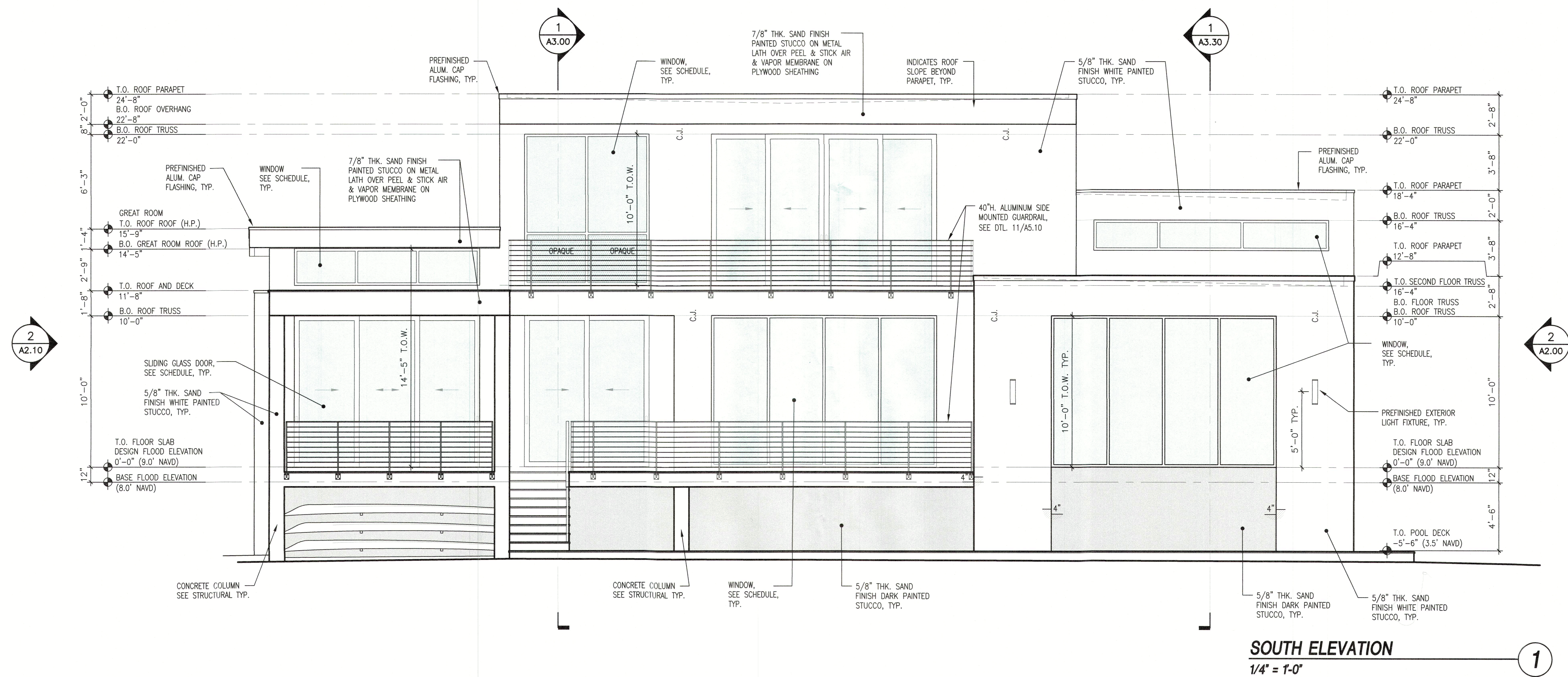
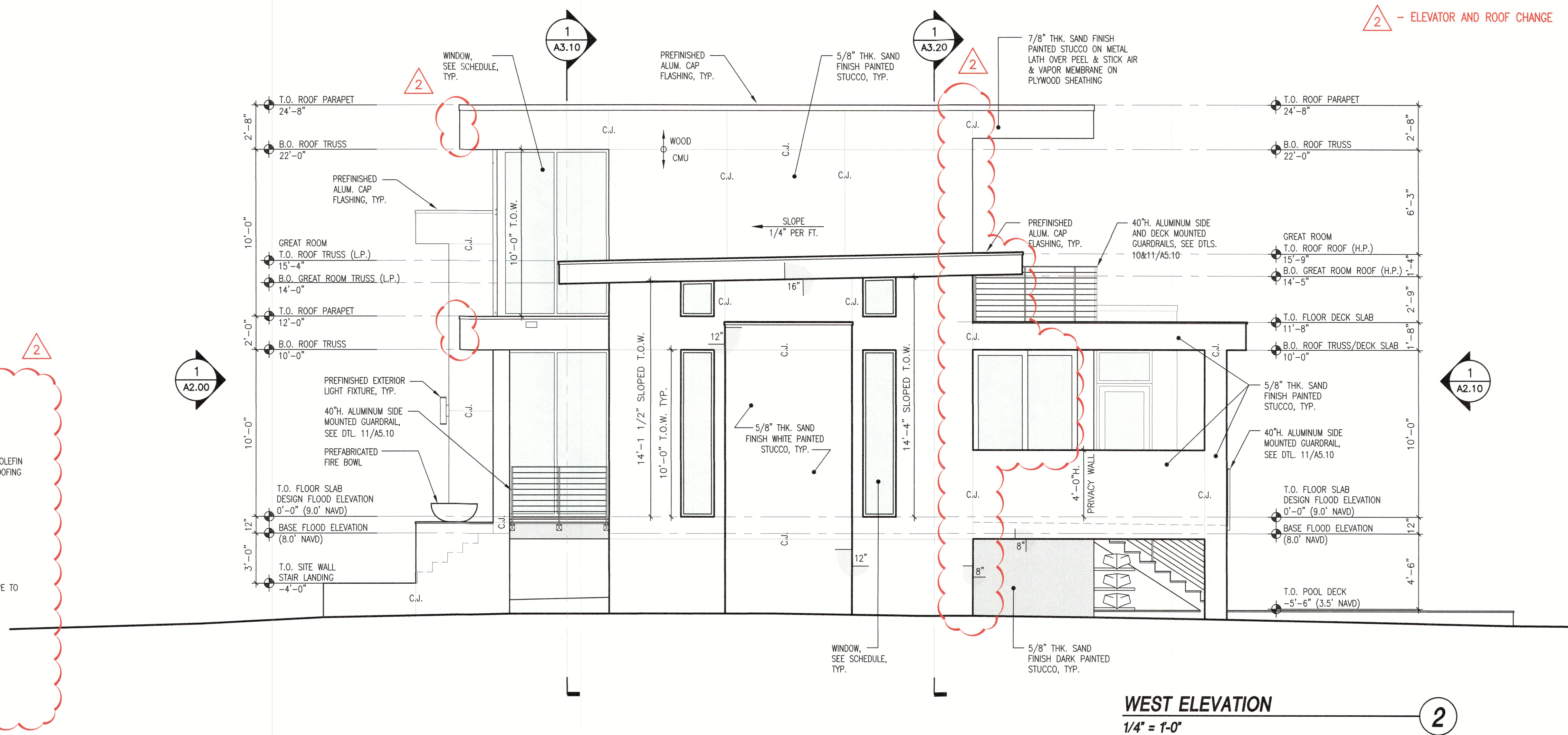
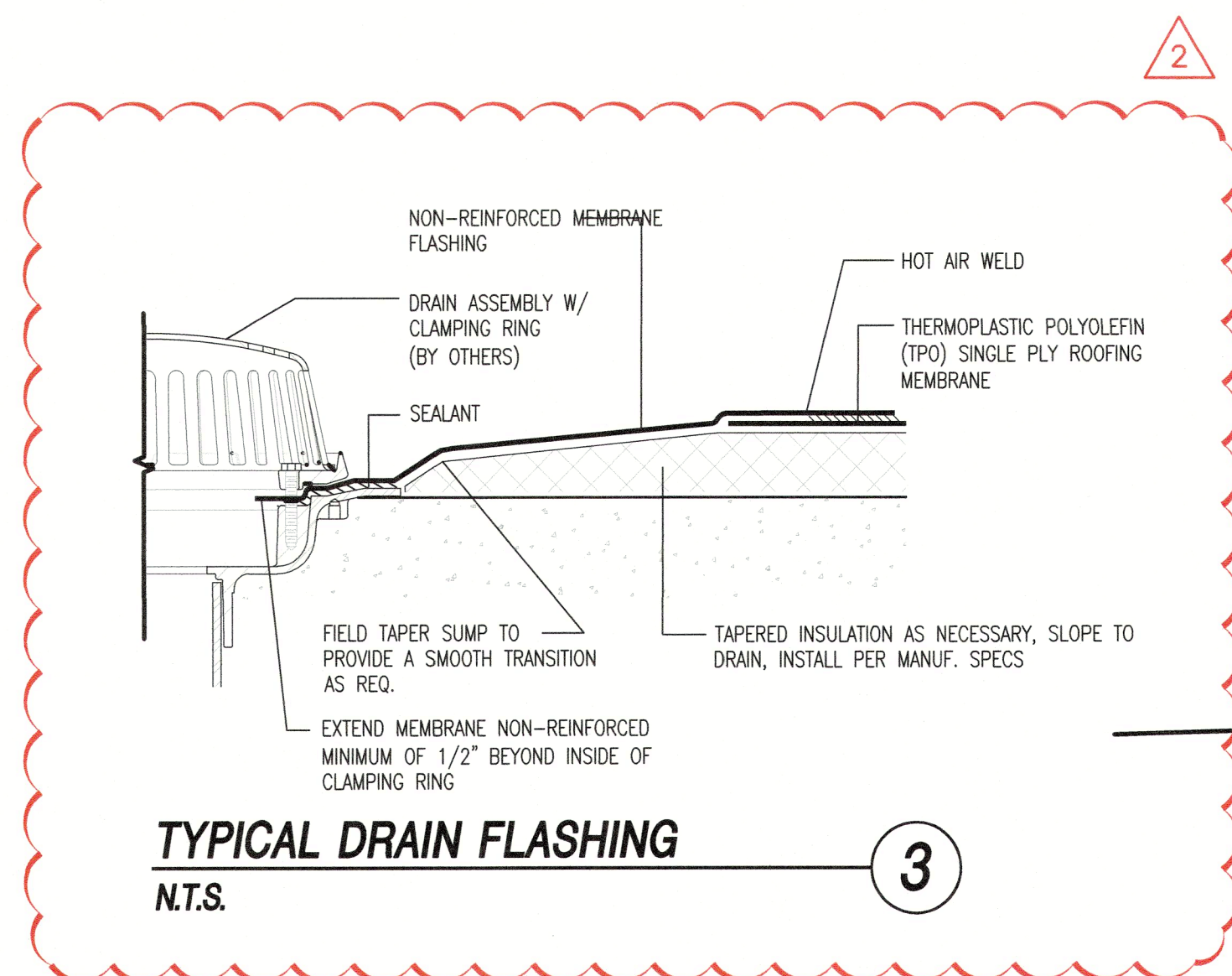
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2 - ELEVATOR AND ROOF CHANGE

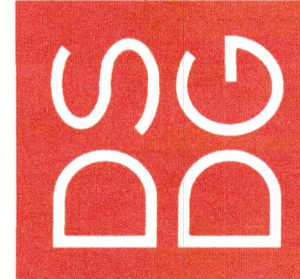


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CONSTRUCTION MANAGEMENT



THE MARTERIE FAMILY  
DE NARVAEZ RESIDENCE  
LONGBOAT KEY, FLORIDA 34228

A NEW RESIDENCE FOR:  
590 DE NARVAEZ DRIVE

BUILDING  
SECTIONS

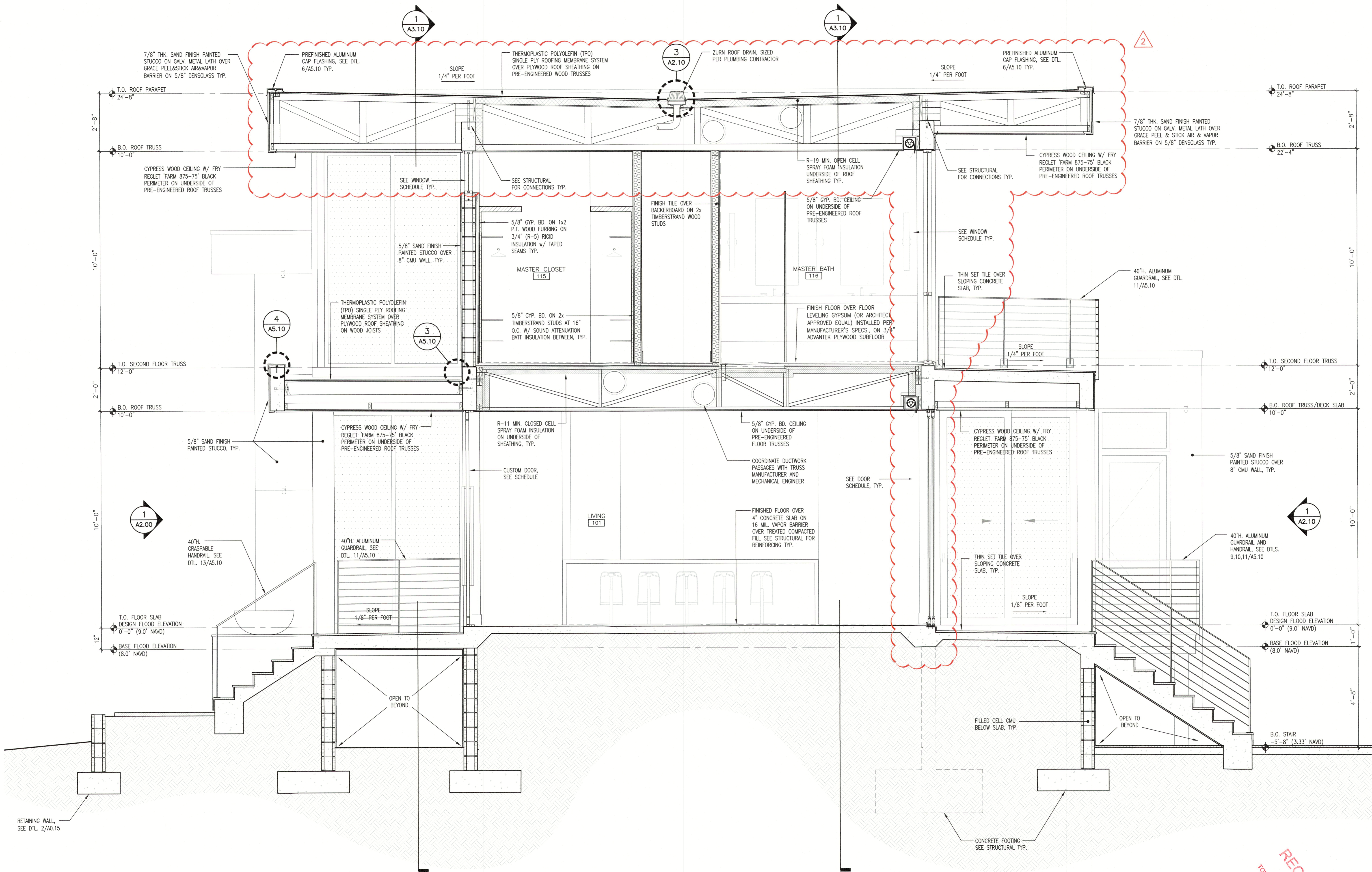
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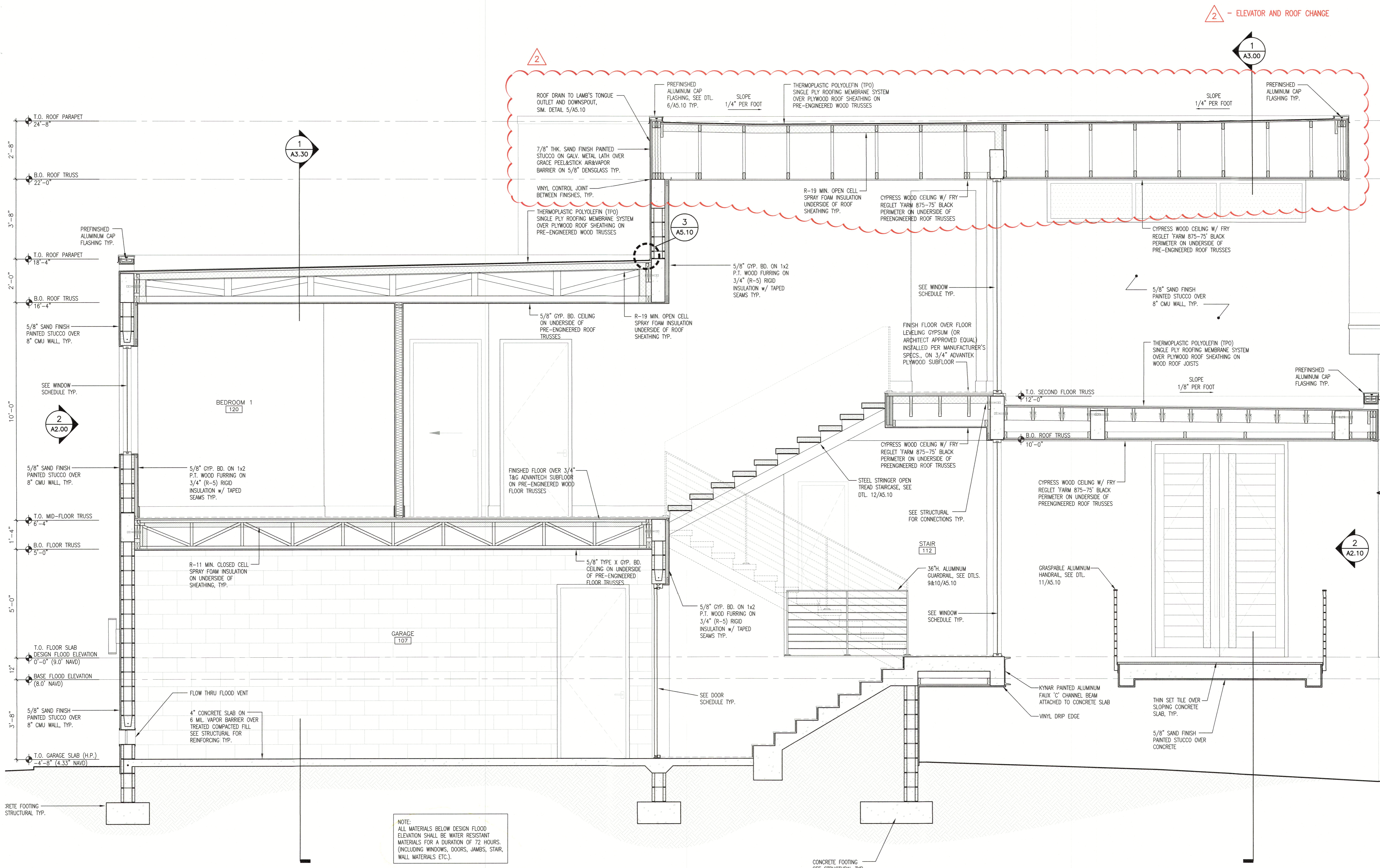
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BUILDING SECTION  
1/2" = 1'-0"

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NOTE:  
ALL MATERIALS BELOW DESIGN FLOOD ELEVATION SHALL BE WATER RESISTANT MATERIALS FOR A DURATION OF 72 HOURS. (INCLUDING WINDOWS, DOORS, JAMBS, STAIR, WALL MATERIALS ETC.).

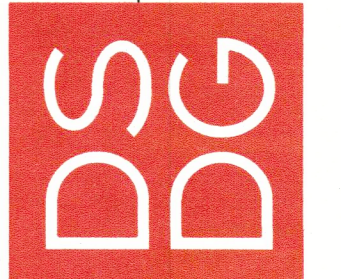
**BUILDING SECTION**  
1/2" = 1'-0"

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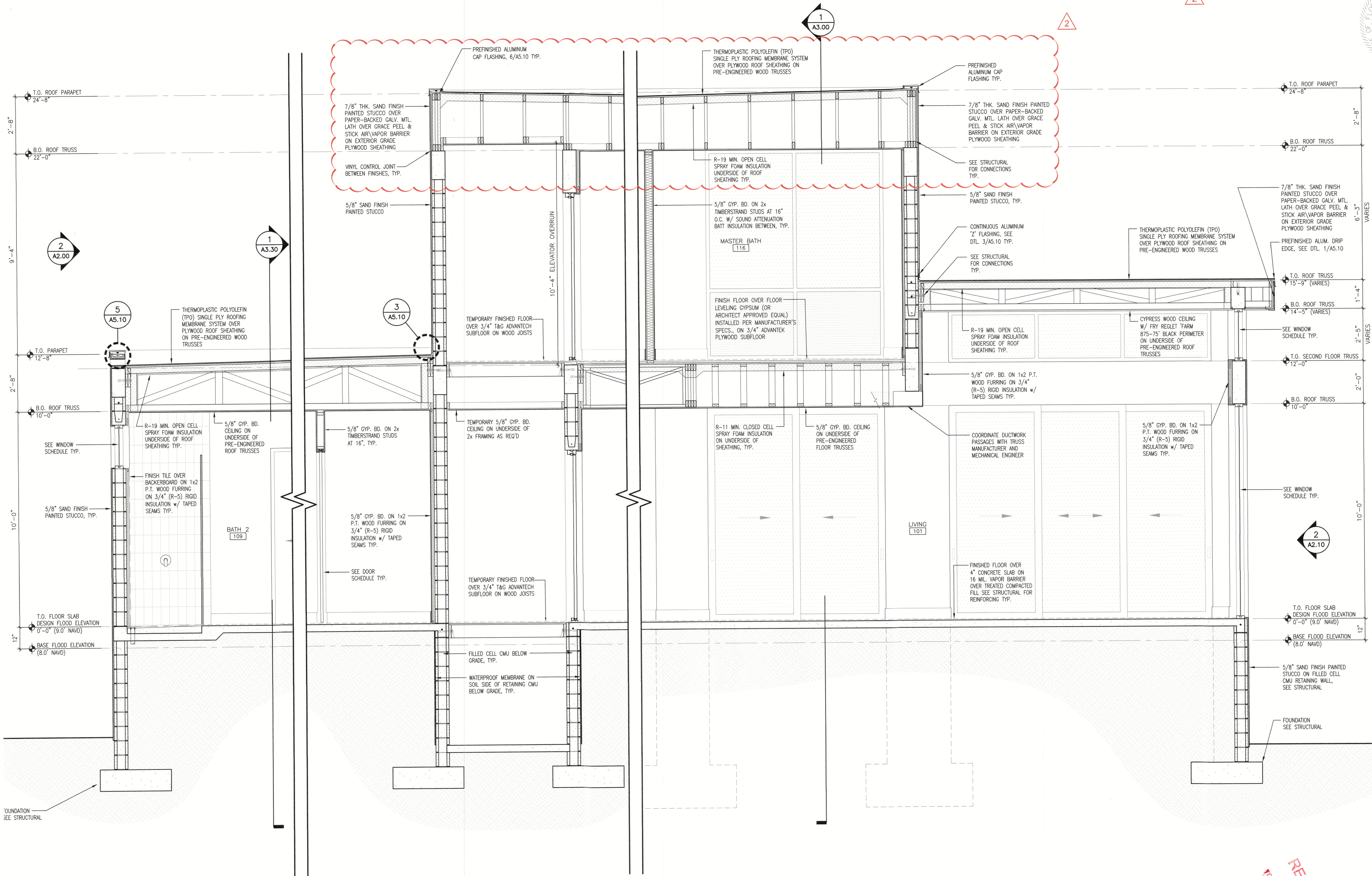
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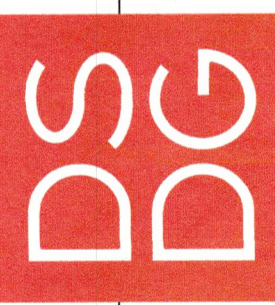


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**BUILDING SECTION**

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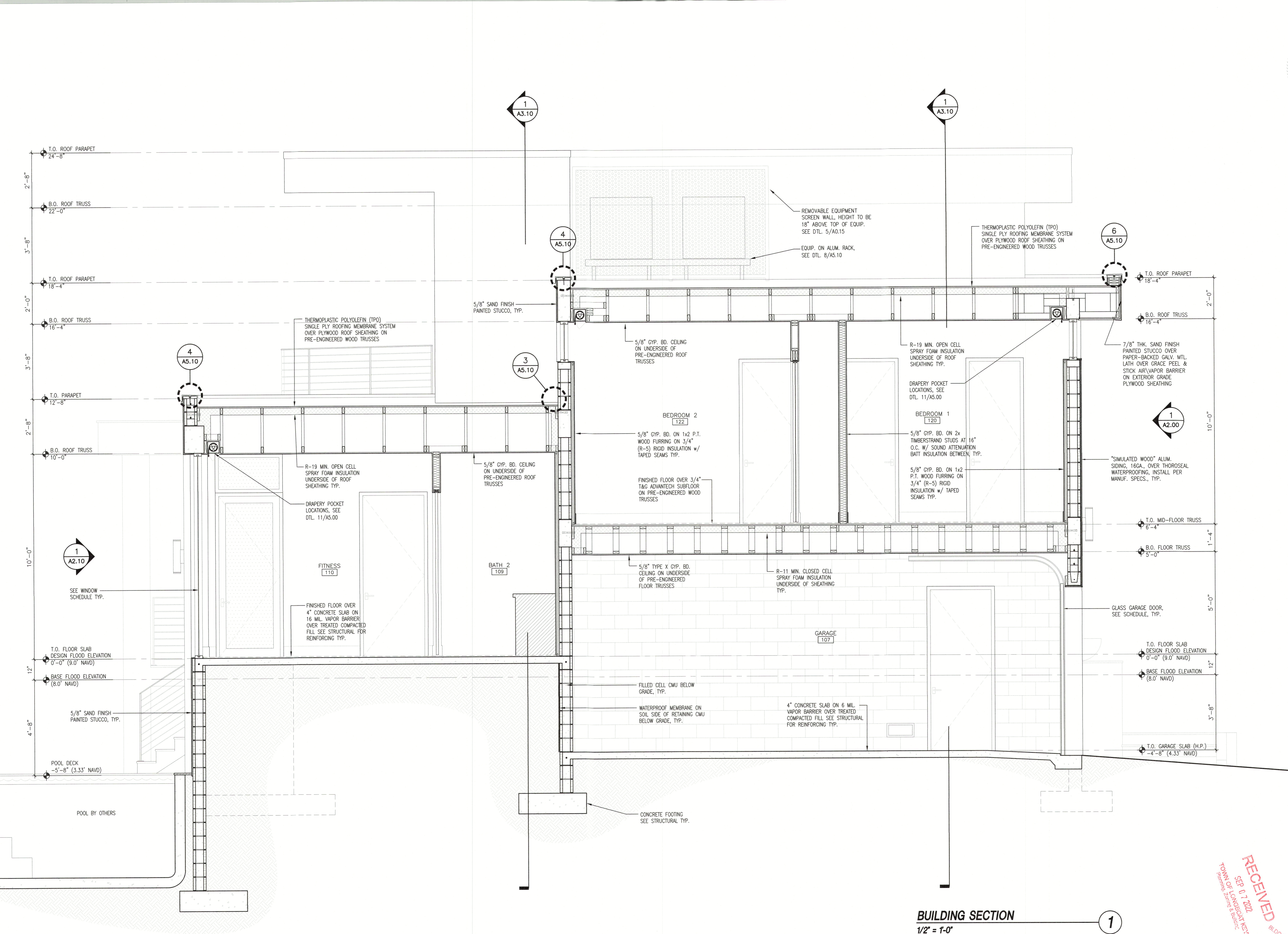
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**BUILDING SECTION**  
1/2" = 1'-0"

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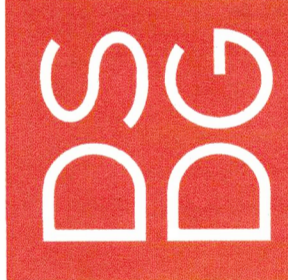


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LONGBOAT KEY, FLORIDA 34228

**BUILDING SECTIONS**  
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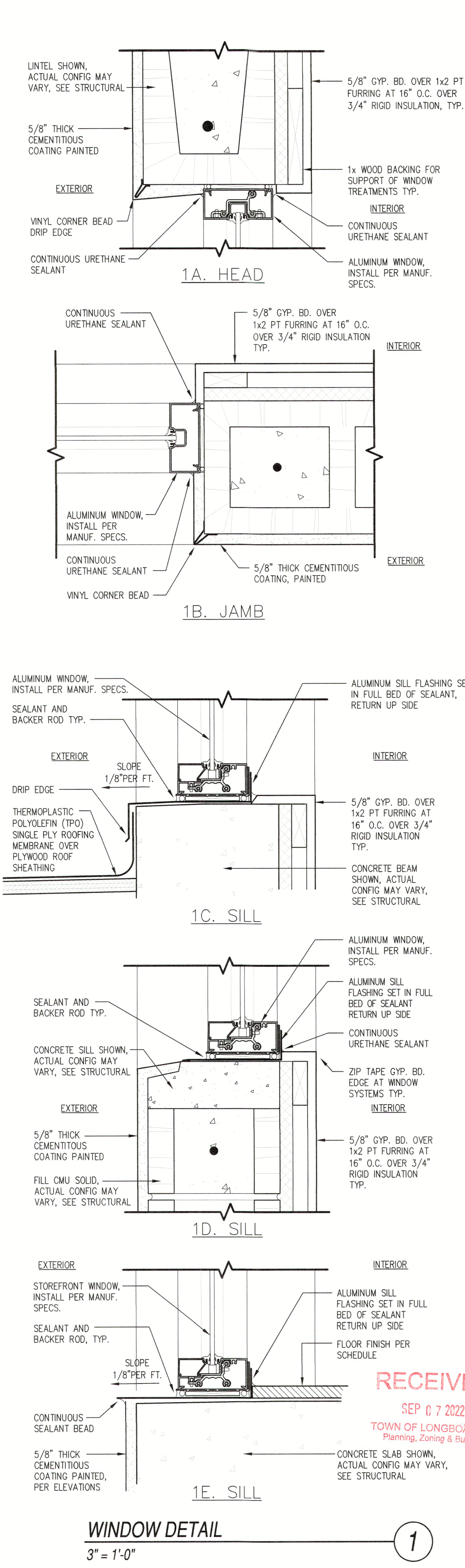
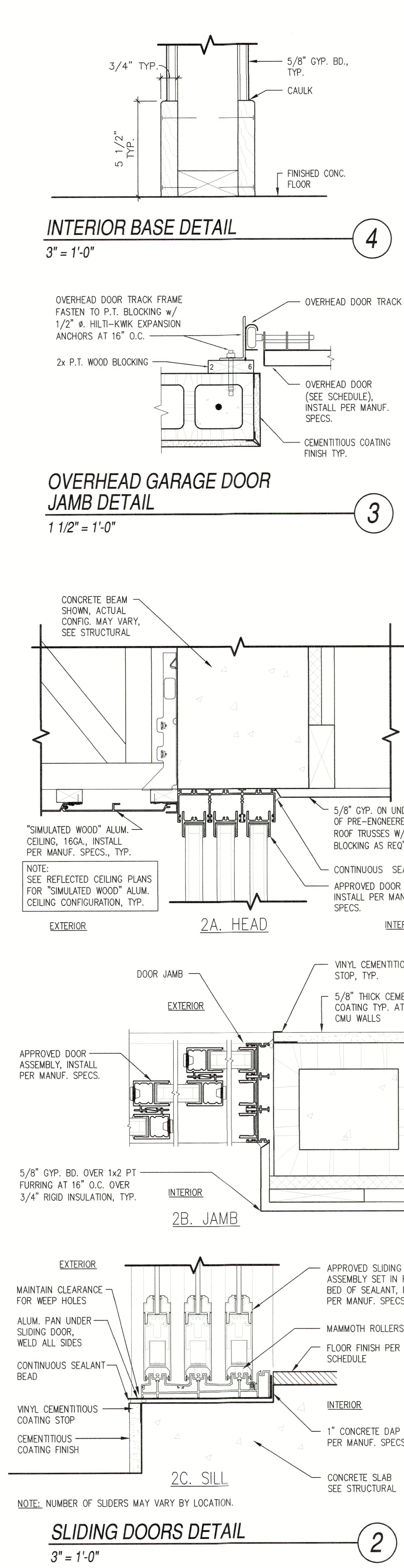
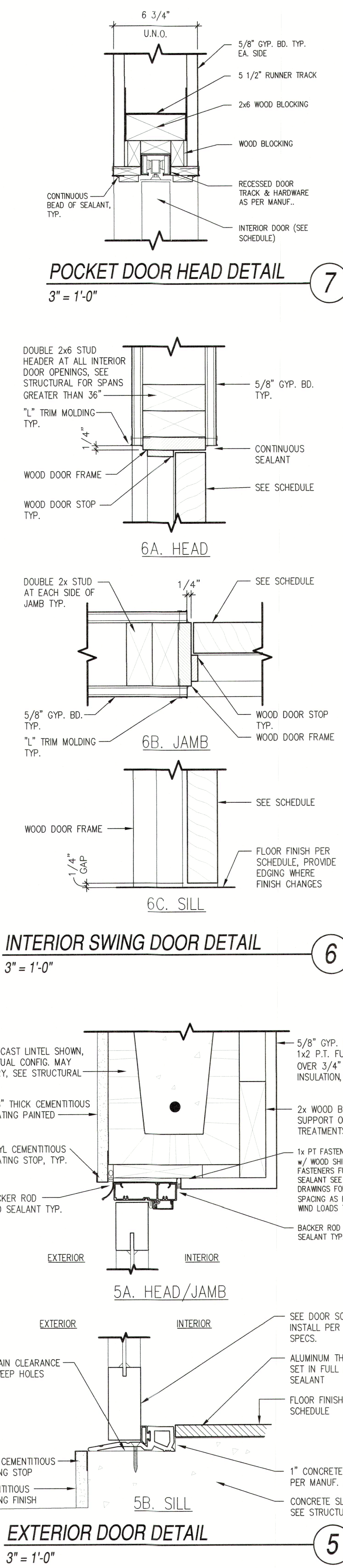
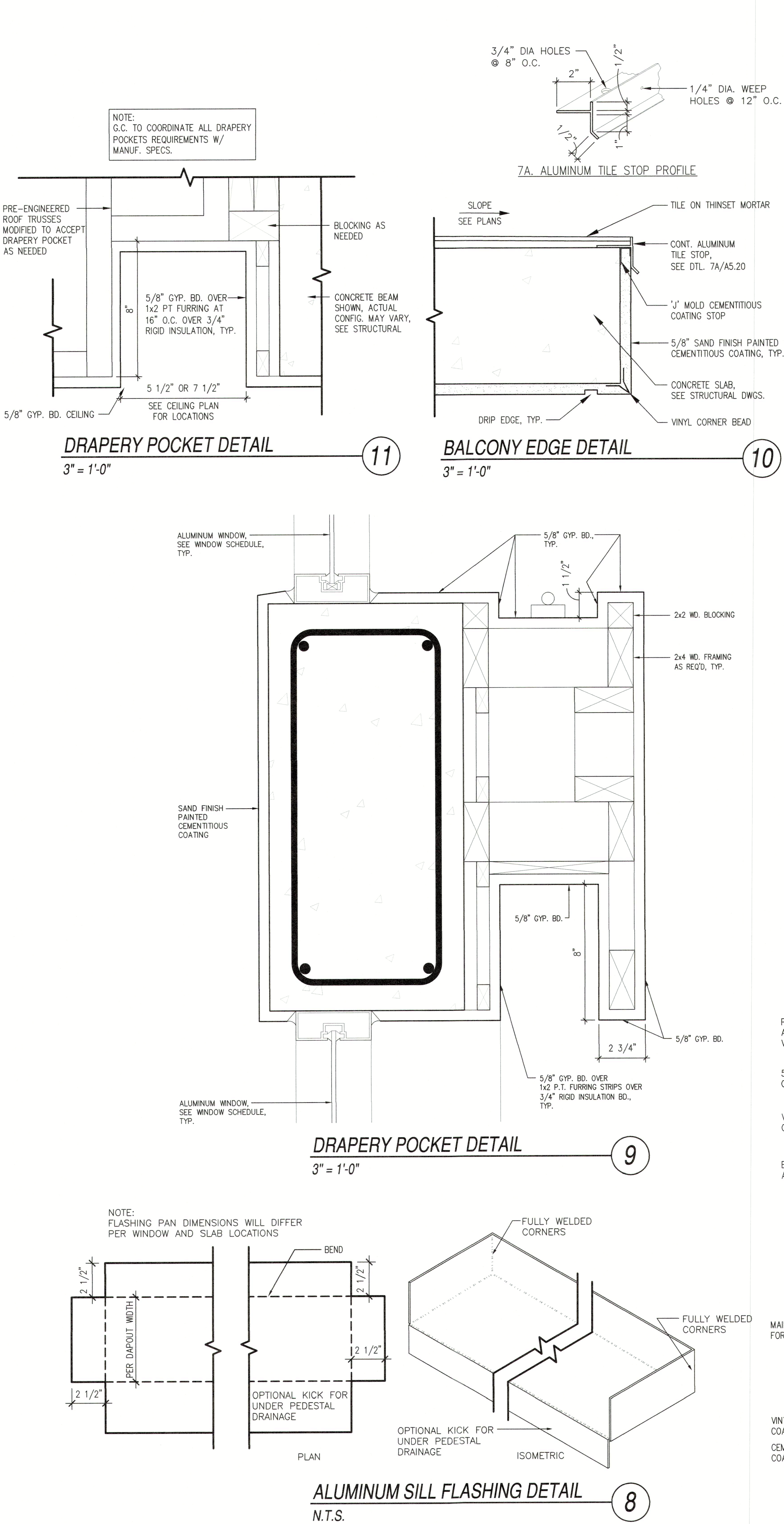
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DOOR  
 MISCELLANEOUS  
 DETAILS

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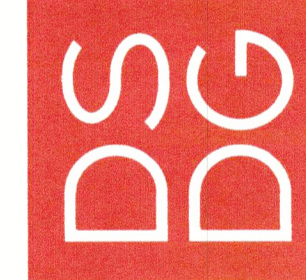
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A NEW RESIDENCE FOR:  
THE MARGERIE FAMILY

DE NARVAEZ RESIDENCE

590 DE NARVAEZ DRIVE  
LONGBOAT KEY, FLORIDA 34228

DOOR  
SCHEDULE

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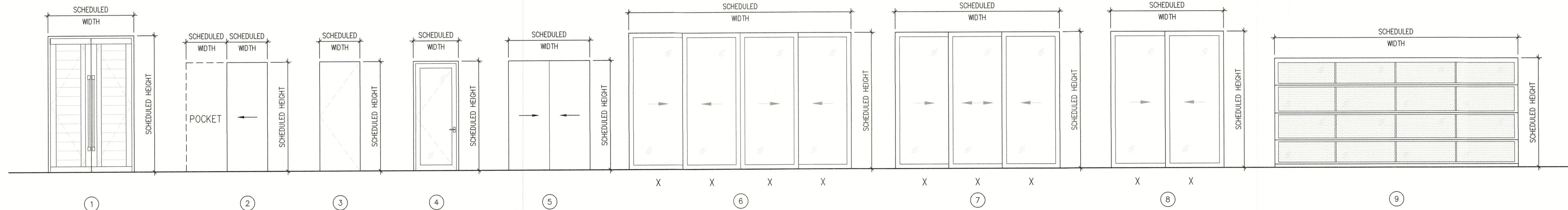
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## DOOR AND FRAME SCHEDULE

DOOR NO.	TYPE	DOOR					FRAME					HARDWARE SET	STYLE	REMARKS
		SIZE			MATL	FINISH	DETAILS			MATL	FINISH			
		WD	HGT	THK			HEAD	JAMB	SILL					
101	1	6'-0"	8'-0"	1 3/4"	WOOD/GL.	PREFINISHED	5A/A5.00 SIM	5A/A5.00 SIM	5B/A5.00	WOOD	PAINT	5 POINT	HINGED - DOUBLE - EXTERIOR	CUSTOM SOLID WOOD DOOR
101A	7	12'-0"	10'-0"	1 3/4"	ALUM/GL.	PREFINISHED	2A/A5.00	2B/A5.00	2C/A5.00	ALUMINUM	PREFINISHED	LOCK	SLIDING - TRIPLE - FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
101B	8	8'-0"	10'-0"	1 3/4"	ALUM/GL.	PREFINISHED	2A/A5.00	2B/A5.00	2C/A5.00	ALUMINUM	PREFINISHED	LOCK	SLIDING - DOUBLE - FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
101C	3	2'-8"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
103	8	6'-0"	10'-0"	1 3/4"	ALUM/GL.	PREFINISHED	2A/A5.00	2B/A5.00	2C/A5.00	ALUMINUM	PREFINISHED	LOCK	SLIDING - DOUBLE - FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
104	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
104A	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
105	3	2'-6"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE
106	3	3'-0"	8'-0"	1 3/4	FIBERGLASS	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	COMPOSITE	PAINT	LOCK	HINGED - SINGLE	20 MINUTE RATED, INSULATED, COORD. W/ ELEVATOR
107	9	18'-0"	8'-0"	1 3/4	ALUM/GL.	PREFINISHED	-	3/A5.00	-	STEEL	PREFINISHED	-	OVERHEAD - SECTIONAL	WIND RATED PER CODE W/ KEYPAD
107A	4	3'-0"	8'-0"	1 3/4"	ALUM/GL.	PREFINISHED	5A/A5.00	5A/A5.00	5B/A5.00	ALUMINUM	PREFINISHED	LOCK	HINGED - SINGLE - EXTERIOR FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
107B	3	3'-0"	8'-0"	1 3/4	FIBERGLASS	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	LOCK	HINGED - SINGLE	20 MINUTE RATED ON CLOSER, INSULATED
108	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
109A	2	2'-6"	8'-0"	1-3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PRIVACY	POCKET - SINGLE	PREHUNG SOLID CORE
109B	2	2'-6"	8'-0"	1-3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PASS	POCKET - SINGLE	PREHUNG SOLID CORE
110	4	3'-0"	8'-0"	1-3/4"	ALUM/GL.	PREFINISHED	5A/A5.00	5A/A5.00	5B/A5.00	ALUMINUM	PREFINISHED	LOCK	HINGED - SINGLE - EXTERIOR FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
110A	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
113	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE
113A	6	14'-8"	8'-0"	1 3/4"	ALUM/GL.	PREFINISHED	2A/A5.00	2B/A5.00	2C/A5.00	ALUMINUM	PREFINISHED	LOCK	SLIDING - QUADRUPLER BI-PARTING - FULL LITE	LOW-E CLEAR IMPACT INSULATED GLASS
114	2	2'-6"	8'-0"	1-3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PASS	POCKET - SINGLE	PREHUNG SOLID CORE
114A	2	2'-6"	8'-0"	1-3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PASS	POCKET - SINGLE	PREHUNG SOLID CORE
115	2	2'-8"	8'-0"	1 3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PASS	POCKET - SINGLE	PREHUNG SOLID CORE
116	2	2'-8"	8'-0"	1 3/8"	WOOD	PAINT	7/A5.00	-	-	WOOD	PAINT	PRIVACY	POCKET - SINGLE	PREHUNG SOLID CORE
116A	3	2'-6"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE
117	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
118	2	3'-0"	8'-0"	1-3/8"	WOOD	PAINT	7/A5.00	--	--	WOOD	PAINT	PRIVACY	POCKET - SINGLE	PREHUNG SOLID CORE
118A	3	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
119	3	3'-0"	8'-0"	1-3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
120	3	3'-0"	8'-0"	1-3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE
121	3	2'-6"	8'-0"	1-3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PASS	HINGED - SINGLE	PREHUNG SOLID CORE
122	3	3'-0"	8'-0"	1-3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE
122A	5	8'-0"	8'-0"	1-3/4"	WOOD	PAINT	7/A5.00 SIM	-	-	WOOD	PAINT	PASS	BI-PASS - DOUBLE	PREHUNG SOLID CORE
123	3	3'-0"	8'-0"	1-3/4"	WOOD	PAINT	6A/A5.00	6B/A5.00	6C/A5.00	WOOD	PAINT	PRIVACY	HINGED - SINGLE	PREHUNG SOLID CORE

### DOOR NOTES:

- 1.) G.C. TO VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING.
- 2.) G.C. TO PROVIDE SHOP DRAWINGS FOR ALL DOORS TO ARCHITECT BEFORE ORDERING.
- 3.) DOOR MANUFACTURER TO MEET ALL DESIGN PRESSURES NOTED ON STRUCTURAL DRAWINGS - REFER TO ATTACHED PRODUCT CONTROL NOTICE OF ACCEPTANCE.
- 4.) REFER TO EXTERIOR ELEVATIONS FOR MUNTIN PATTERNS.
- 5.) GLASS FOR ALL EXTERIOR DOORS TO BE SOLARBAN 70XL LOW-E IMPACT INSULATED CLEAR GLASS OR EQUAL W/ SENTRYGLAS PLUS INTERLAYER (SGP).
- 6.) ALL SLIDING GLASS DOORS TO HAVE FLUSH PULLS AND LOCKS.
- 7.) DOORS WITH WINDOWS LISTED AS OPAQUE TO BE MADE WITH A TRANSLUCENT WHITE PVB INNER LAYER - "ARCTIC SNOW" IN COLOR.
- 8.) WATER PROOFING AT EXTERNAL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH FMA/WDMA 400-13.



## DOOR ELEVATIONS

1/4" = 1'-0"

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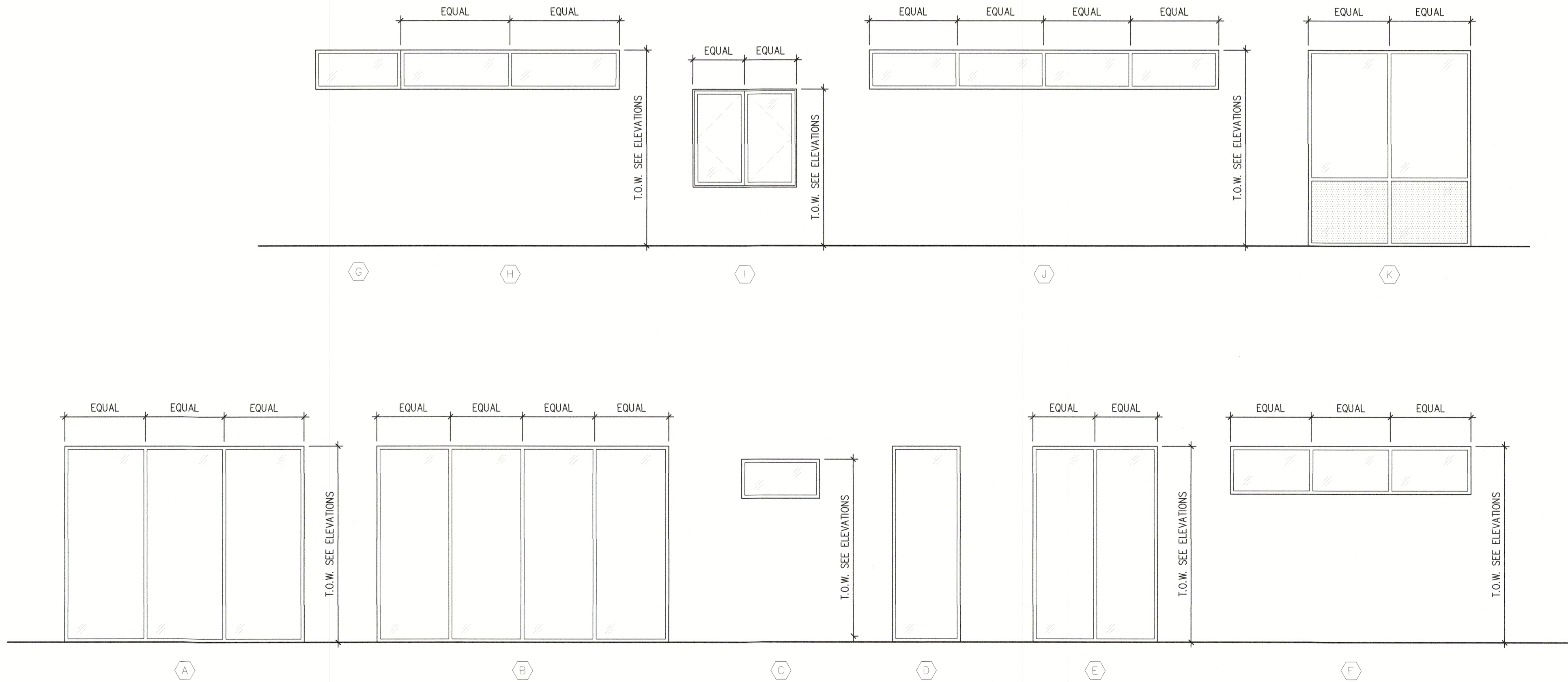
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ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	FINISH	HEIGHT	
100	ENTRY	TILE	--	--	--	--	--	CYPRESS	10'-0"	--
101	LIVING	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	CYPRESS	VARIES	--
102	KITCHEN	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
103	DINING	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
104	PANTRY	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
105	POWDER	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
106	LOWER STAIR	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	CYPRESS	10'-0"	BELOW DESIGN FLOOD WATER RESISTANT MATERIALS
107	GARAGE	CONCRETE	--	PAINT	PAINT	PAINT	PAINT	PAINT	9'-4"	--
108	ELEVATOR	CONCRETE	--	EXPOSED	EXPOSED	EXPOSED	EXPOSED	--	--	--
109	BATH 2	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	TILE SHOWER ENCLOSURE TO CEILING
110	EXERCISE	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
111	OUTDOOR LIVING	TILE	--	--	--	--	--	CYPRESS	10'-0"	--
112	STAIR	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	CYPRESS	10'-0"	--
113	MASTER SUITE	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
114	SPARE WIC	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
115	MASTER CLOSET	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
116	MASTER BATH	TILE	4/A5.00	PAINT	PAINT/TILE	PAINT/TILE	PAINT	PAINT	10'-0"	TILE SHOWER ENCLOSURE TO CEILING
117	ELEVATOR	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
118	VESTIBULE	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
119	UTILITY	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
120	BEDROOM 1	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
121	WIC	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
122	BEDROOM 2	TILE	4/A5.00	PAINT	PAINT	PAINT	PAINT	PAINT	10'-0"	--
123	BATH 2	TILE	4/A5.00	PAINT/TILE	PAINT/TILE	PAINT	PAINT/TILE	PAINT	10'-0"	TILE SHOWER ENCLOSURE TO CEILING
130	COVERED DECK	TILE	--	--	--	--	--	WOOD ALUM. SIDING	10'-0"	--

- NOTE:
- ALL SPECIFIC FINISHES TO BE DETERMINED AND COORDINATED BY ARCHITECT AND OWNERS
  - ALL CONSTRUCTION LOCATED BELOW DESIGN FLOOD ELEVATION SHALL BE OF WATER RESISTANT MATERIALS

WINDOW SCHEDULE												
WINDOW NO.	TYPE	WINDOW				FRAME					STYLE	REMARKS
		SIZE		MATL	GLAZING	DETAILS			MATL	FINISH		
		WD.	HGT.			HEAD	JAMB	SILL				
W01	A	12'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED – TRIPLE	–
W02	D	2'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W03	D	2'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W04	B	15'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED – QUADRUPLE	–
W05	B	15'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED – QUADRUPLE	–
W06	C	4'-0"	2'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W07	D	2'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1E/A5.00 SIM	ALUMINUM	PREFINISHED	FIXED	–
W08	D	3'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1E/A5.00 SIM	ALUMINUM	PREFINISHED	FIXED	MULLED W/ W09 NON-STRUCTURAL CORNER
W09	E	6'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1E/A5.00 SIM	ALUMINUM	PREFINISHED	FIXED – DOUBLE	MULLED W/ W08 NON-STRUCTURAL CORNER
W10	F	12'-0"	2'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	FIXED – TRIPLE	–
W11	F	12'-4"	2'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	FIXED – TRIPLE	–
W12	C	2'-0"	2'-1"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W13	C	2'-0"	2'-4"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W14	F	12'-4"	2'-5"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED – TRIPLE	–
W15	K	8'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1E/A5.00	ALUMINUM	PREFINISHED	FIXED – DOUBLE	–
W16	G	3'-10"	2'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W17	H	11'-3"	2'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED – DOUBLE	–
W18	I	5'-4"	5'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	CASEMENT – DOUBLE	EGRESS
W19	I	5'-4"	5'-0"	ALUM/GLASS	LOW-E CLEAR	1A/A5.00	1B/A5.00	1D/A5.00	ALUMINUM	PREFINISHED	CASEMENT – DOUBLE	EGRESS
W20	J	18'-0"	2'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1D/A5.00 SIM	ALUMINUM	PREFINISHED	FIXED – QUADRUPLE	–
W21	D	2'-0"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED	–
W22	D	3'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED	MULLED W/ W23 NON-STRUCTURAL CORNER
W23	E	6'-4"	10'-0"	ALUM/GLASS	LOW-E CLEAR	2A/A5.00 SIM	1B/A5.00	1C/A5.00	ALUMINUM	PREFINISHED	FIXED – DOUBLE	MULLED W/ W22 NON-STRUCTURAL CORNER

- NOTES:
- CONTRACTOR TO VERIFY ALL WINDOW, DOOR AND ROUGH OPENINGS BEFORE ORDERING
  - EXACT WINDOW SIZES SHALL BE VERIFIED BY GENERAL CONTRACTOR AND WINDOW MANUFACTURER
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS TO ARCHITECT BEFORE ORDERING
  - WINDOW MANUFACTURER TO MEET ALL DESIGN PRESSURES NOTED ON STRUCTURAL DRAWINGS REFER TO ATTACHED PRODUCT CONTROL NOTICE OF ACCEPTANCE
  - GLASS FOR ALL EXTERIOR WINDOWS TO BE SOLARBAN 70XL LOW-E IMPACT INSULATED CLEAR GLASS OR EQUAL
  - WATER PROOFING AT EXTERNAL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH FMA/WDMA 250-10
  - DOORS LISTED AS OPAQUE TO BE MADE WITH A WHITE PVB INNER LAYER - "ARCTIC SNOW" IN COLOR



## WINDOW ELEVATIONS

1/4" = 1'-0"

1

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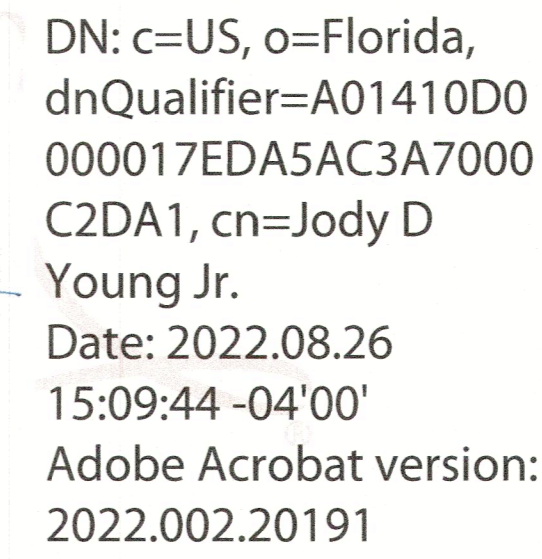
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## FINISH & WINDOW SCHEDULE

Project Ref: MARTERIE  
Drawn by: SG / VA  
Checked by: MES  
Date Issued: 8/29/2022

Sheet Number:

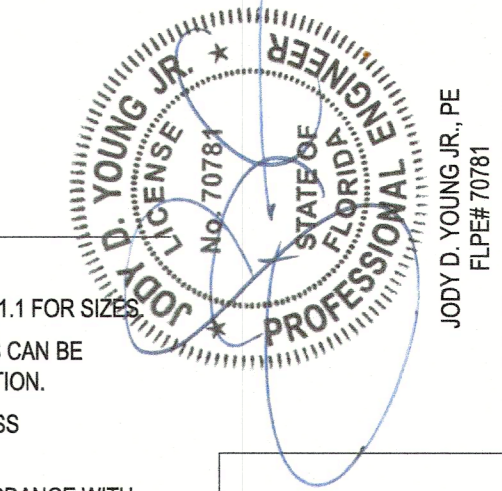
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 STRUCTURAL ENGINEERING

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1. DO NOT SCALE FOOTING SIZE FROM PLAN.
2. SET FOUNDATION / STEM/WALL SECTIONS ON SHEET S1 FOR SIZE.
3. ISOLATED PAD FOOTINGS AND MONOLITHIC FOOTINGS CAN BE POURED INTEGRALLY, BOTTOMS AT THE SAME ELEVATION.
4. REFER TO DETAIL ON SHEET S1.1 FOR SHOWER RECESS REQUIREMENTS.
5. USE BORA-CARE FOR FERMITE PROTECTION IN ACCORDANCE WITH FBC SECTION R218.
6. MOISTURE PROTECTION BY OTHERS.
7. TOP OF ALL FOUNDATIONS SHALL BE A MINIMUM OF 6" BELOW ADJACENT GRADE / PAVERS / SLAB.

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

1. 4" THICK, 3000 PSI CONCRETE SLAB WITH STEEL TROWEL FINISH WITH FIBER ADDITIVE ON 6 MIL PLASTIC VAPOR BARRIER, LAPPED 6" AND TAPED ON CLEAN COMPACTED FILL.
2. REFER TO SHEET S4.0 'GENERAL NOTES' FOR COMPACTION REQUIREMENTS.

■	INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
▲	INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
□	INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, TOP OF LOW WALL, OR BOTTOM OF OPENING ABOVE PROVIDE 8" HOOKS

MARK	DESCRIPTION
S-1	SLAB ON GRADE: 4" CONCRETE SLAB w/ FIBERMESH SLOPE TO DRAIN AS REQ'D.
S-2	SLAB: RECESS SLAB 4" AT SHOWER w/ 8"W THICKENED EDGE w/ (1) #5 CONT. REFER TO DETAIL ON SHEET S1.1
S-3	LOAD BEARING WALL: ATTACH PT. BOTTOM PLATE TO FOOTING w/ 5/8" x 6" TITEN HDs AT 16" O.C. MIN. (2) PER WALL SEGMENT

MARK	SIZE / TYPE	REINFORCING	REMARKS
F-1	10"X 16" W STRIP FTG.	(2) #6 CNT.	REFER TO 4 COURSE DETAIL ON SHEET S1.1
F-2	12"X 24" W STRIP FTG.	(3) #6 CNT.	REFER TO TYPICAL DETAIL ON SHEET S1.1
F-3	20"X 16" W THICK. EDGE	(2) #6 CNT.	REFER TO DETAIL 5 ON SHEET S1.1
F-4	8"X 12" W THICK. EDGE	(1) #6 CNT.	REFER TO DETAIL M3 ON SHEET S1.1
F-5	12"X 40" W STRIP FTG.	(5) #6 CNT.	REFER TO 10 COURSE STEMM WALL DETAIL ON SHEET S1.1
AR-1	12"X 24" W STRIP FTG.	(3) #6 CNT.	REFER TO ANGLE OF REPOSE DETAIL AR1 ON SHEET S1.1

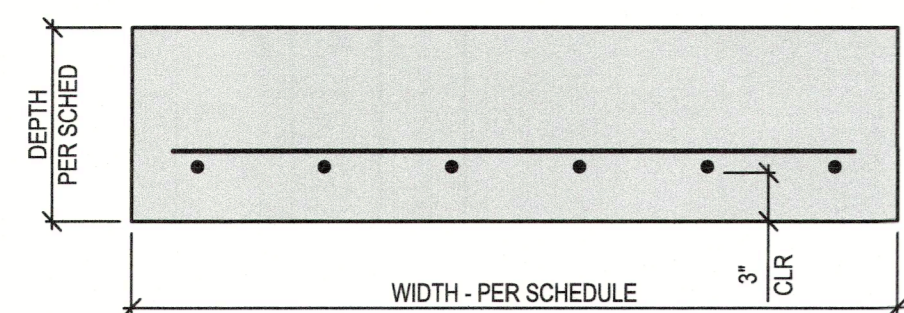
MARK	SIZE	REINFORCING	REMARKS
P-2.0	24" x 24" x 12" PAD	(3) #5s EACH WAY	-
P-2.5	30" x 30" x 12" PAD	(3) #5s EACH WAY	-
P-3.0	36" x 36" x 12" PAD	(5) #5s EACH WAY	-
P-3.5	42" x 42" x 12" PAD	(5) #5s EACH WAY	-
P-4.0	48" x 48" x 12" PAD	(6) #5s EACH WAY	-
P-4.5	54" x 54" x 18" PAD	(7) #5s EACH WAY	-
P-5.0	60" x 60" x 24" PAD	(8) #5s EACH WAY	-
P-X	36" x 48" x 12" PAD	#5s AT 8" O.C. EACH WAY	-

**FOUNDATION PLAN**  
**1/4" = 1' - 0"**

[illegible]

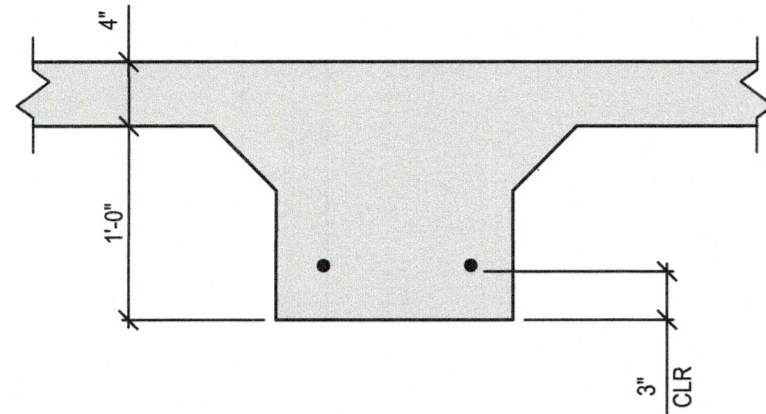
## S1.0

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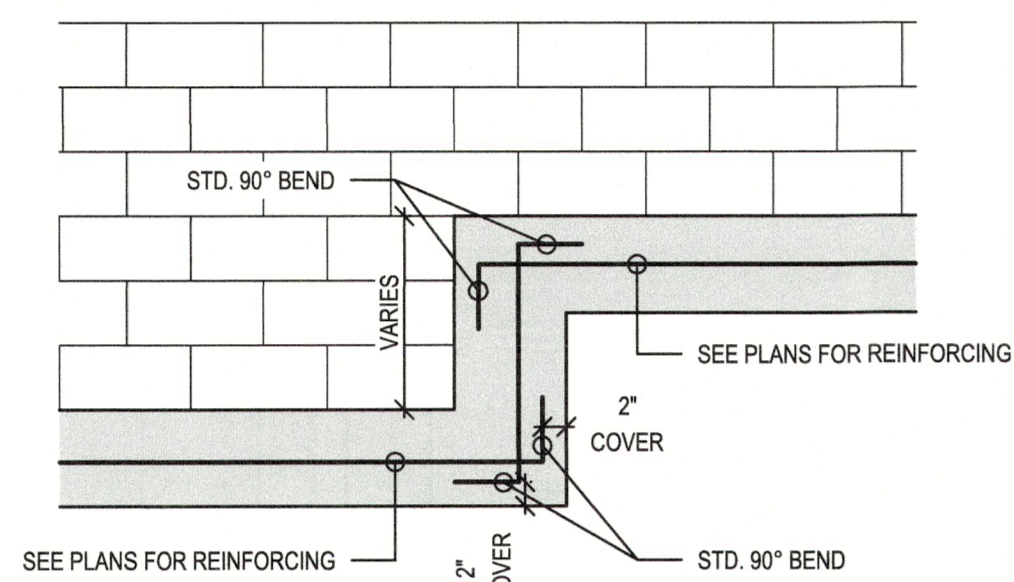
**PAD FOOTING, TYP.**

1" = 1'-0"



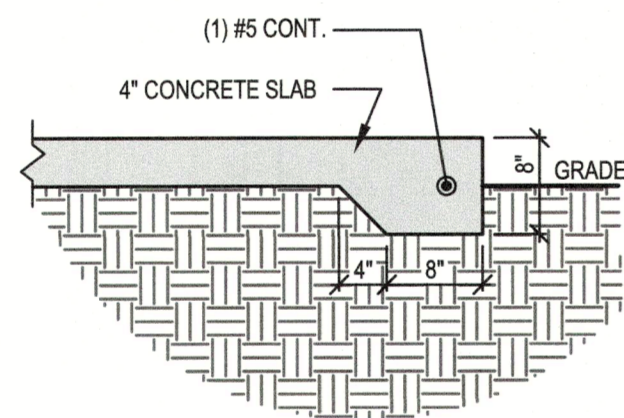
**THICKENED SLAB FOOTING, TYP.**

1" = 1'-0"



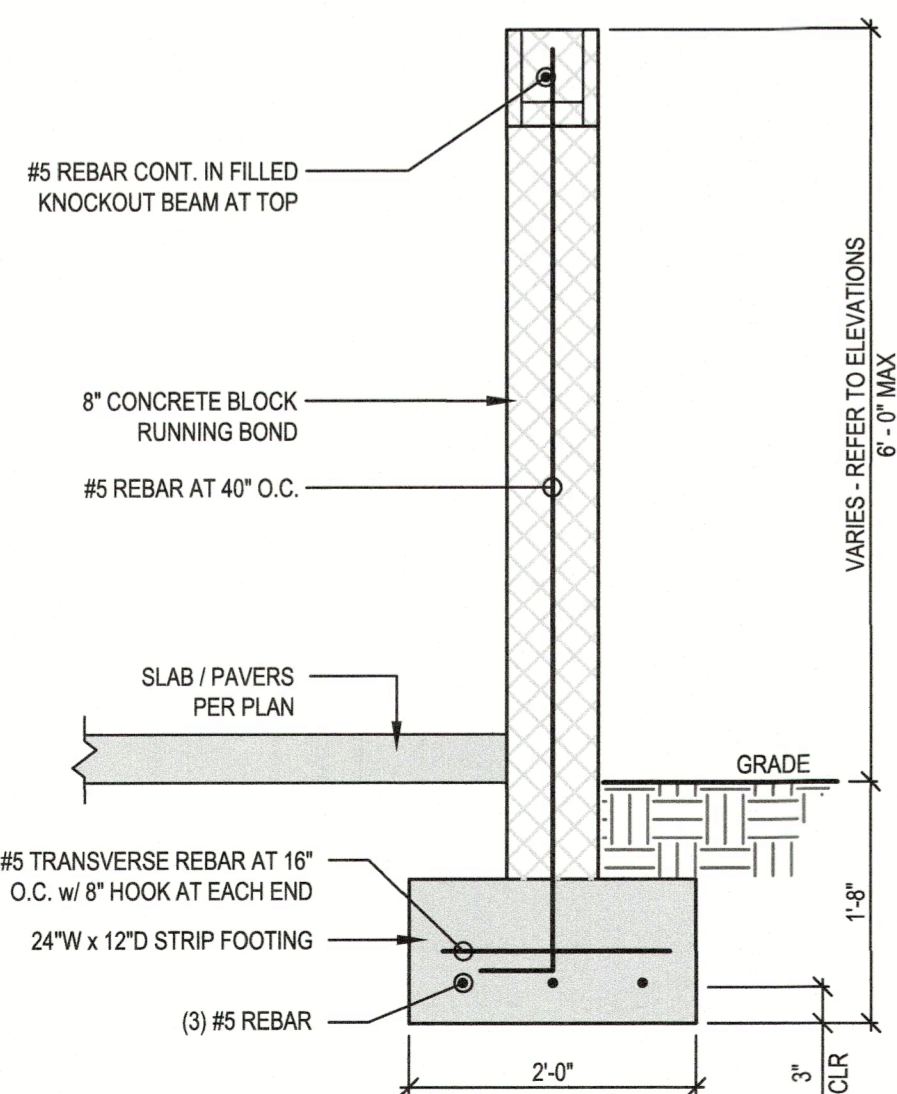
**FOOTER STEP DETAIL, TYPICAL**

1/2" = 1'-0"



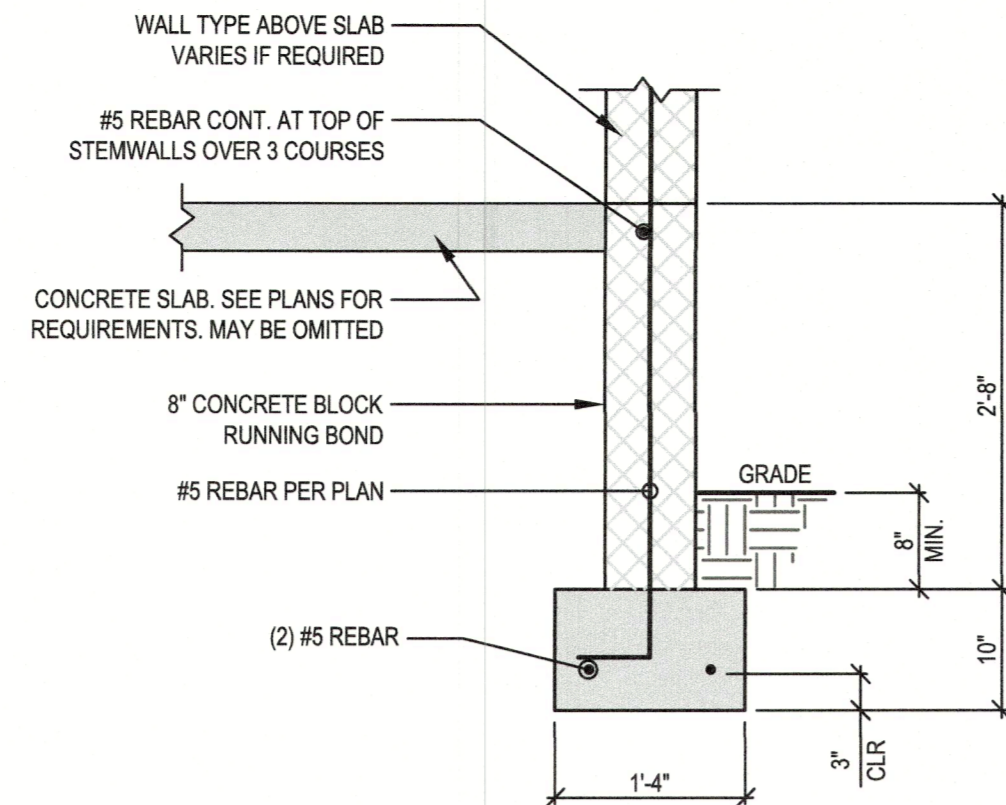
**M3 SLAB EDGE - EQUIPMENT PAD**

3/4" = 1'-0"



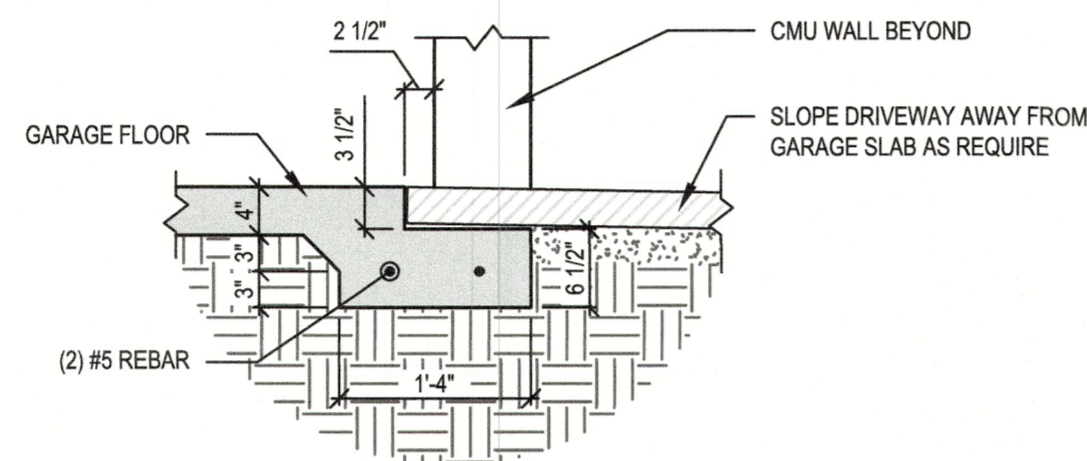
**SW1 SCREEN WALL**

3/4" = 1'-0"



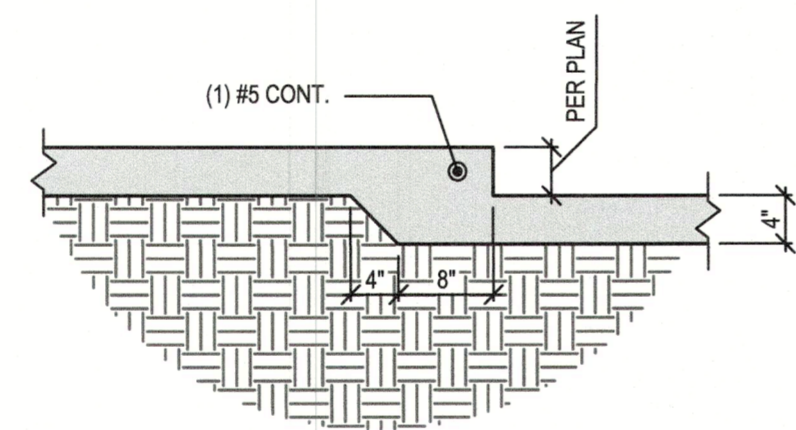
**F-1 UP TO 4 COURSE STEMWALL**

3/4" = 1'-0"



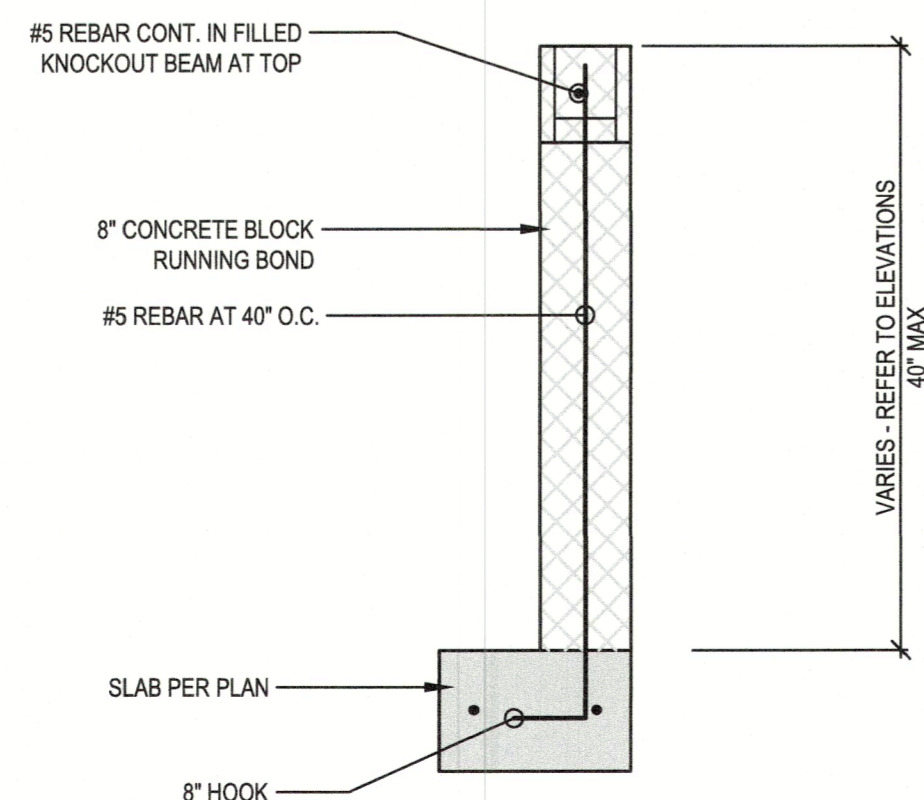
**G1 GARAGE DOOR RECESS**

3/4" = 1'-0"



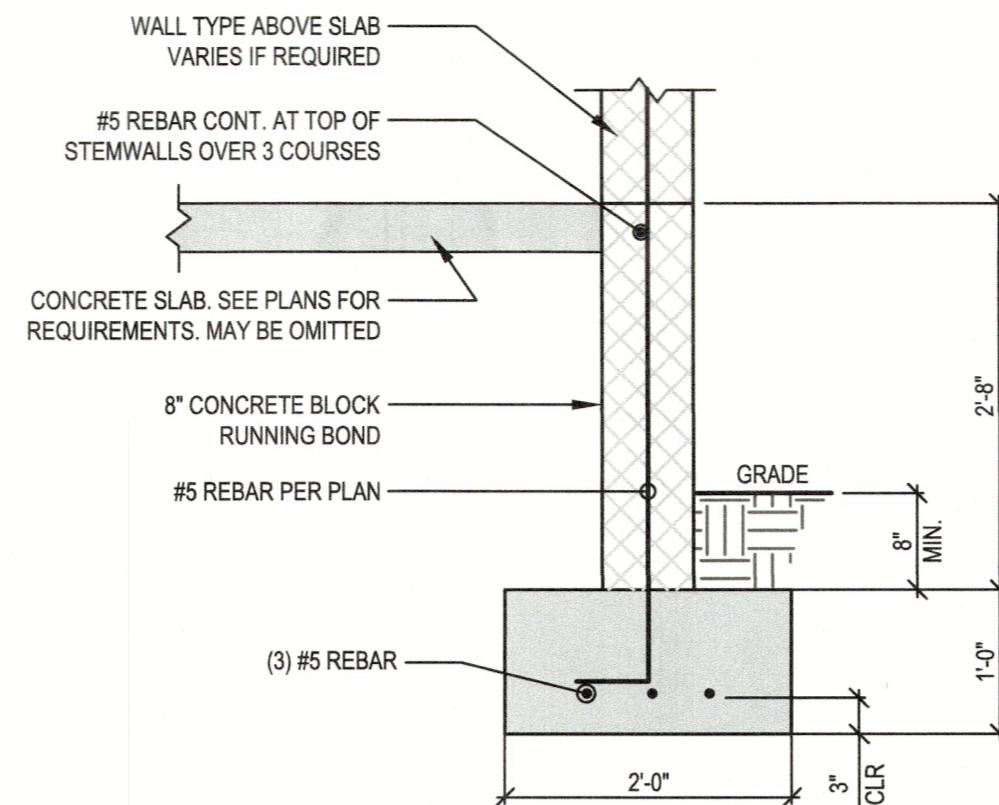
**R1 SLAB RECESS - SHOWER**

3/4" = 1'-0"



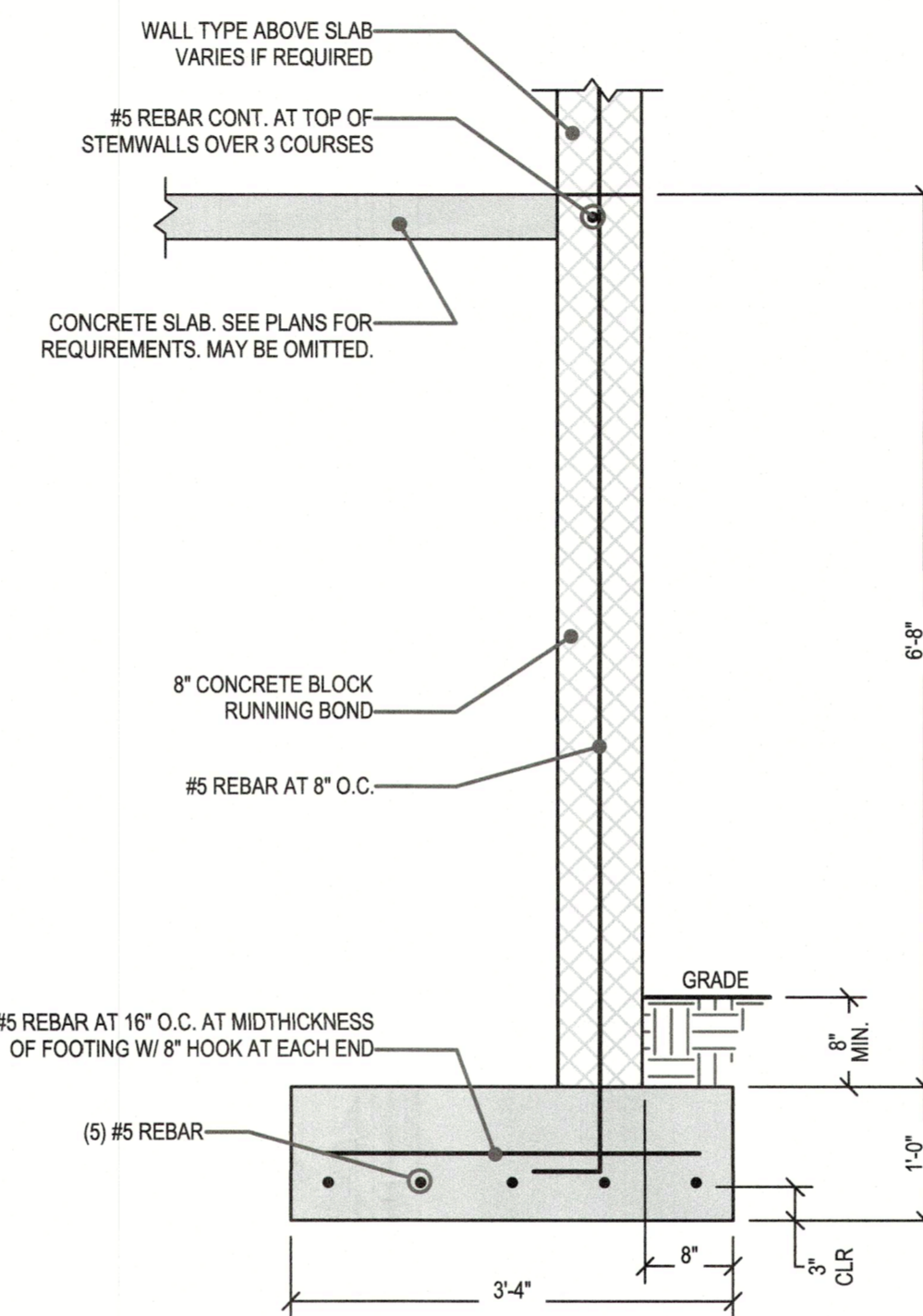
**KW1 KNEE WALL**

3/4" = 1'-0"



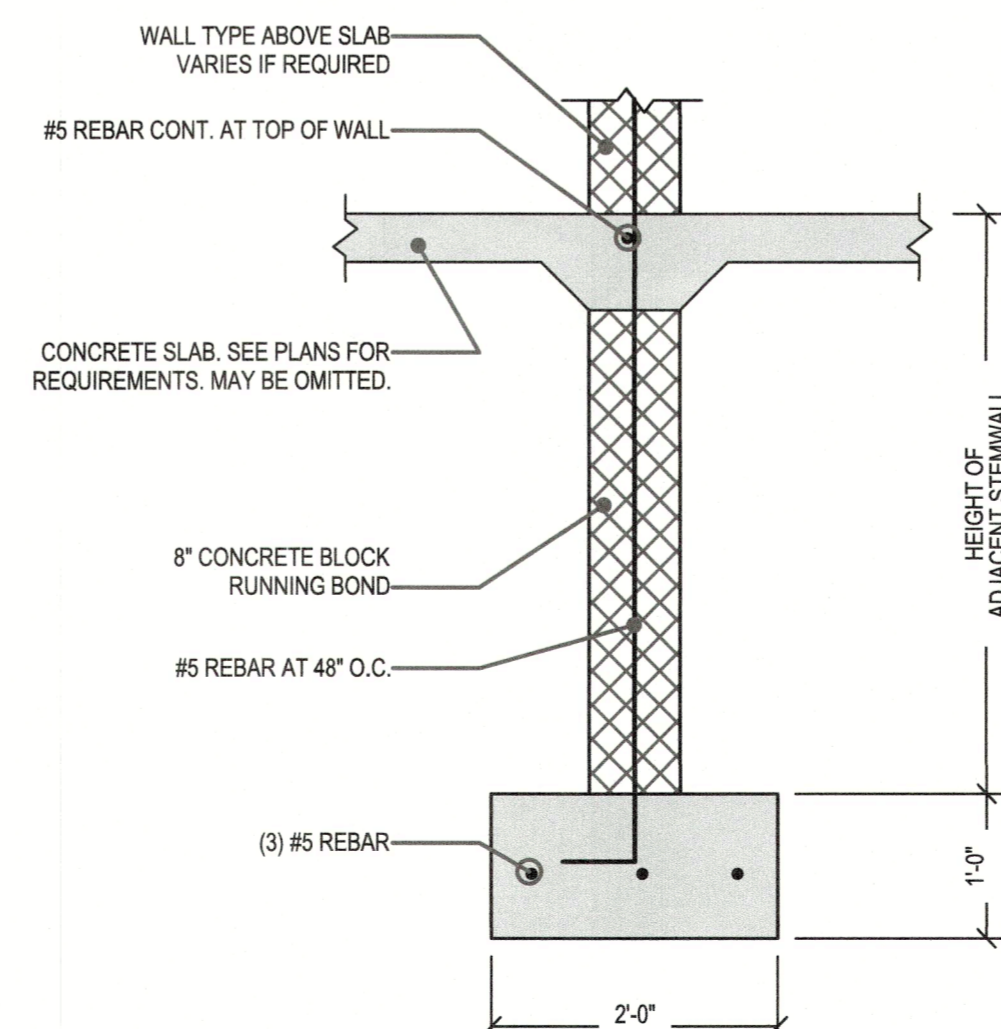
**F-2 UP TO 4 COURSE STEMWALL (2 STORY)**

3/4" = 1'-0"



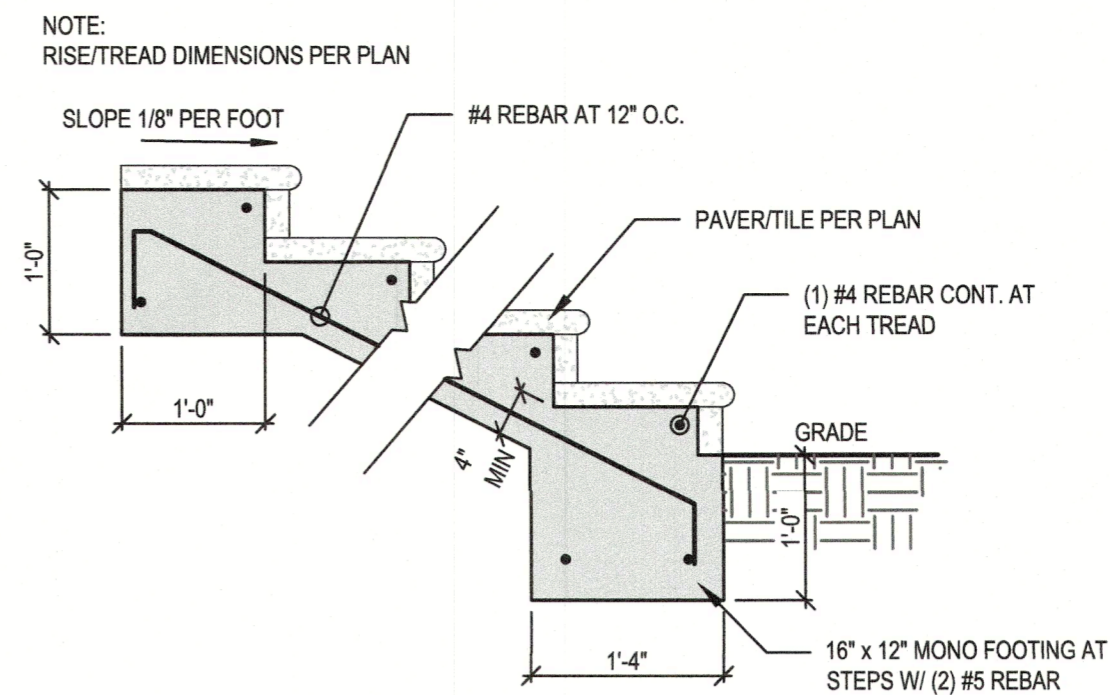
**F-5 10 COURSE STEMWALL**

3/4" = 1'-0"



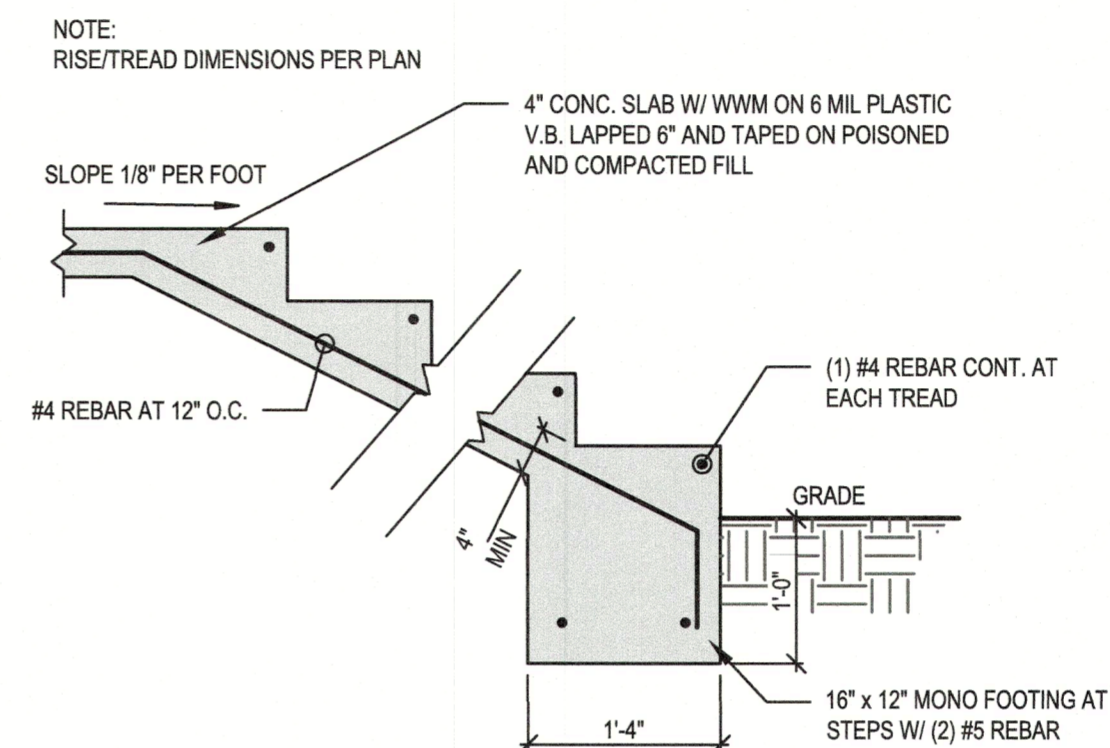
**AR1 ANGLE OF REPOSE**

3/4" = 1'-0"



**ST1 STAIR ON GRADE w/ PAVERS DETAIL**

3/4" = 1'-0"



**ST2 STAIR ON GRADE w/ PAVERS DETAIL**

3/4" = 1'-0"

REVISIONS	
BY	DATE
JDY	08.26.2022
JDY	04.19.2022

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## DIMENSION NOTES

- SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

A NEW CUSTOM RESIDENCE:

DE NARVAEZ SPEC

590 DE NARVAEZ DRIVE, LONGBOAT KEY, FL-34228

STRUCTURAL FIRST FLOOR PLAN

1/4" = 1' - 0"

## REVISIONS

BY	DATE
JDY	08.26.2022
JDY	04.19.2022

S2.0

## FILLED CELLS LEGEND

- INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, TOP OF LOW WALL, OR BOTTOM OF OPENING ABOVE PROVIDE 8" HOOKS

## POST SCHEDULE

MARK	DESCRIPTION
P-1	(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-2	(2) 2 x SYP NO. 2 KING STUDS W/ ADDL. JACK STUD MATCH WALL THICKNESS
P-4	3-1/2" x 3-1/2" VERSA-LAM 1.8 2750 COLUMN
P-4B	3-1/2" x 5-1/4" VERSA-LAM 1.8 2750 COLUMN
P-4B	3-1/2" x 7" VERSA-LAM 1.8 2750 COLUMN
P-6	5-1/4" x 5-1/4" VERSA-LAM 1.8 2750 COLUMN
P-6A	5-1/4" x 7" VERSA-LAM 1.8 2750 COLUMN

## CONNECTOR SCHEDULE

MARK	DESCRIPTION
C-1	(1) SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=1310#)
C-2	(1) SIMPSON HTT4 W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=3610#)
C-3	(1) SIMPSON HTT5KT W/ 5/8" DIA. ALL-THREAD. DRILL AND EPOXY 6" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=5445#)
C-4	(1) SIMPSON HD08 W/ 7/8" DIA. ALL-THREAD. DRILL AND EPOXY 8" INTO CONCRETE BELOW W/ SIMPSON SET EPOXY (T=7630#)

## STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	MASONRY WALL: FILL ALL CELLS
S-2	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. TOP OF WALL: 10' - 0" AFF
S-3	1-#5 REBAR CONTINUOUS IN FILLED COURSE AT TOP OF KNEE-WALL. #5 VERTICAL REBARS AT 40" O.C. FROM BOTTOM OF SLAB TO FILLED COURSE AT TOP. PROVIDE 8" HOOK AT TOP & BOTTOM.
S-4	8" THICK FORM & POUR CONCRETE WALL w/ #5 REBAR AT 12" O.C. EACH WAY AT CENTER OF WALL w/ 8" HOOK AT EACH END. PROVIDE 2-ADDL. #5 VERTICAL TRIM BARS (4" APART) AT EACH WINDOW, 1/2" COVER
S-5	VERTICAL REBAR IN STEMWALL BELOW SHALL HOOK 8" INTO 8" SLAB ABOVE
S-6	2x8 SYP JOISTS AT 16" O.C. w/ SIMPSON LU26 HANGER AT EACH END w/ 10D x 1 1/2" NAILS. SINGLE 2x8 P.T. LEDGER AT PERIMETER ON ALL SIDES. ATTACH LEDGER TO CMU WALL WITH 1/2" x 3" LONG TAPCONS AT 8" O.C. AT MIDHEIGHT OF LEDGER.
S-7	NO. 5 REBAR AT OUTER EDGE W/ 3" EDGE DISTANCE AT CENTER OF SLAB
S-8	LOAD BEARING WALL: 2x8 SYP STUDS AT 16" O.C. TOP OF WALL: 6' - 8" AFF

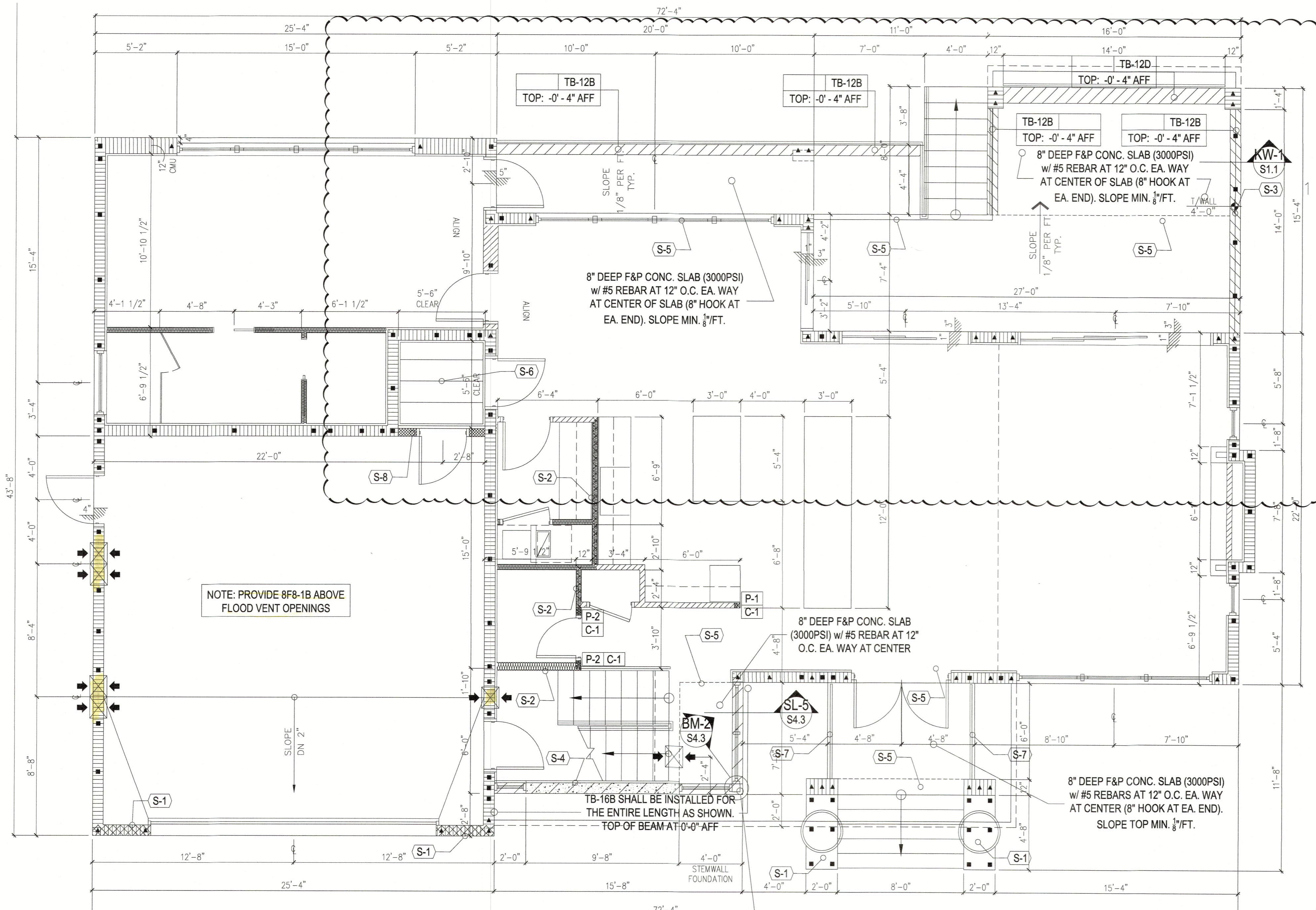
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## CONCRETE BEAM SCHEDULE

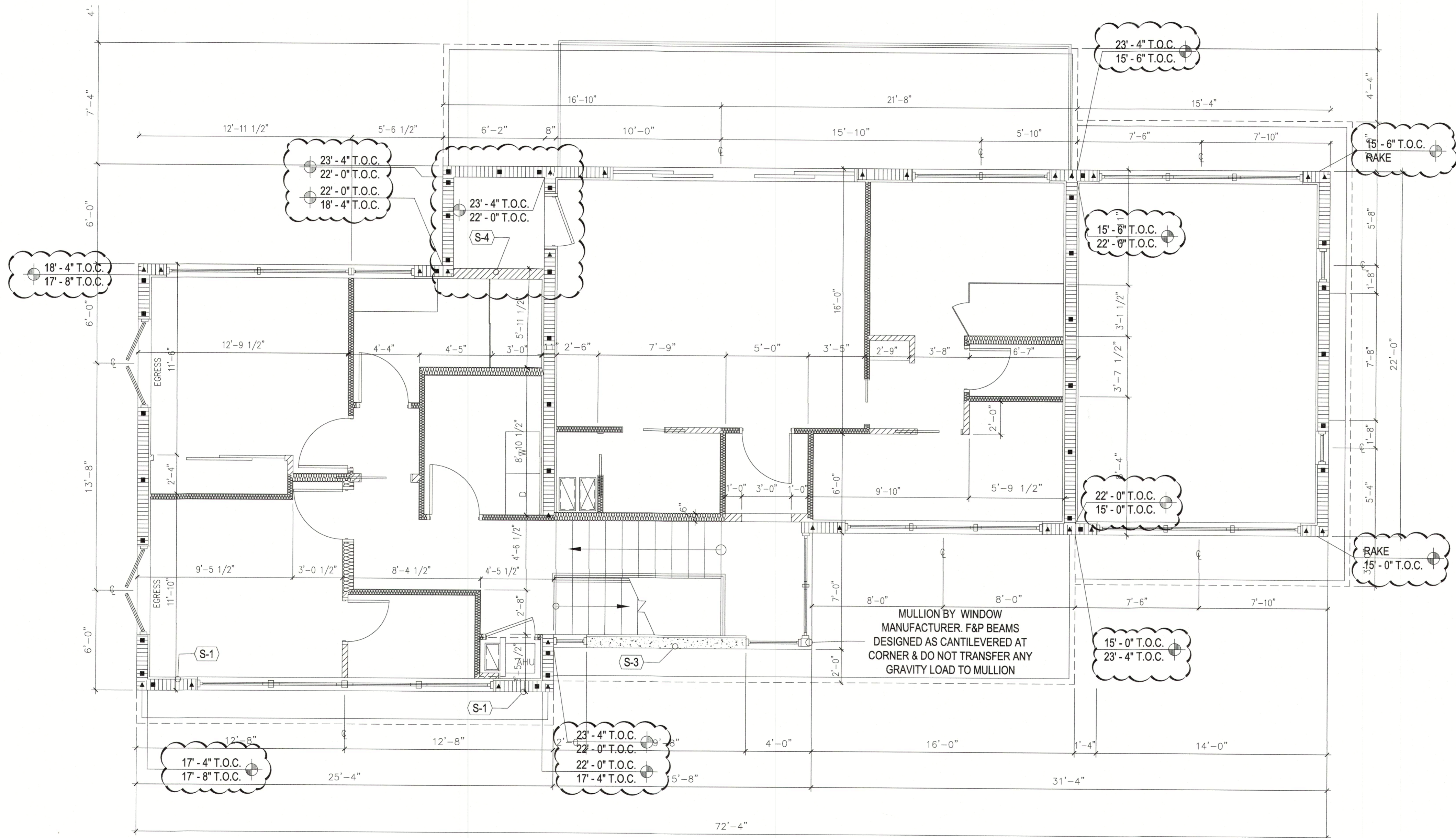
MARK	DESCRIPTION	TYPE
TB-12A	8" x 12" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM	2
TB-12B	8" x 12" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 4" O.C.	3
TB-12C	8" x 12" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (4) NO. 5 REBAR, BOTTOM BUNDLED NO. 3 TIES AT 4" O.C.	3
TB-12D	12" x 12" FORM & POUR CONCRETE BEAM (3) NO. 5 REBAR, TOP (6) NO. 5 REBAR, BOTTOM BUNDLED NO. 3 TIES AT 4" O.C.	3
TB-16A	8" x 16" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, TOP (1) NO. 5 REBAR, BOTTOM	2
TB-16B	8" x 16" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 8" O.C.	3
TB-16C	12" x 16" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, BOTTOM	3
TB-16D	8" x 16" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 6 REBAR, BOTTOM NO. 3 TIES AT 8" O.C.	3
TB-20B	8" x 20" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 8" O.C.	3
TB-20C	8" x 20" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (4) NO. 5 REBAR, BOTTOM BUNDLED NO. 3 TIES AT 8" O.C.	3
TB-24A	8" x 24" FORM & POUR CONCRETE BEAM (1) NO. 5 REBAR, MIDDLE (1) NO. 5 REBAR, BOTTOM	2
TB-24B	8" x 24" FORM & POUR CONCRETE BEAM (2) NO. 5 REBAR, TOP (2) NO. 5 REBAR, BOTTOM NO. 3 TIES AT 10" O.C.	3
TB-24C	8" x 24" FORM & POUR CONCRETE BEAM (2) NO. 7 REBAR, TOP (2) NO. 7 REBAR, BOTTOM NO. 3 TIES AT 10" O.C.	3

TYPE 1	TYPE 2	TYPE 3
TYPE 4		



NOTE: PROVIDE 8F8-1B ABOVE FLOOD VENT OPENINGS

MULLION BY WINDOW MANUFACTURER.  
F&P BEAMS DESIGNED AS CANTILEVERED  
AT CORNER & DO NOT TRANSFER ANY  
GRAVITY LOAD TO MULLION



# DIMENSION NOTES

- SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

# FILLED CELLS LEGEND

- INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (2) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL w/ (1) NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO SLAB, TOP OF LOW WALL, OR BOTTOM OF OPENING ABOVE PROVIDE 8" HOOKS

# CONNECTOR SCHEDULE

MARK	DESCRIPTION
C-1	(2) SIMPSON MSTAM36 TO TIE-BEAM BELOW

# STRUCTURAL NOTES

MARK	DESCRIPTION
S-1	MASONRY WALL: FILL ALL CELLS
S-2	LOAD BEARING WALL: 2x SYP STUDS AT 12" O.C. TOP OF WALL: 10' - 0" AFF
S-3	8" THICK FORM & POUR CONCRETE WALL w/ #5 REBAR AT 12" O.C. EACH WAY AT CENTER OF WALL w/ 8" HOOK AT EACH END PROVIDE 2 ADD'L #5 VERTICAL TRIM BARS (4" APART) AT EACH WINDOW, DOOR & CORNER
S-4	LOAD BEARING WALL: 2x SYP STUDS AT 16" O.C. TOP OF WALL: ELEV. 22' - 0", 1-CS16 EA. STUD TO WALL/BEAM BELOW

# POST SCHEDULE

MARK	DESCRIPTION
P-1	(2) 2 x SYP NO. 2 STUDS - MATCH WALL THICKNESS
P-2	(2) 2 x SYP NO. 2 KING STUDS w/ ADD'L JACK STUD MATCH WALL THICKNESS
P-4	3-1/2" x 3-1/2" VERSA-LAM 1.8 2750 COLUMN
P-4A	3-1/2" x 5-1/4" VERSA-LAM 1.8 2750 COLUMN
P-4B	3-1/2" x 7" VERSA-LAM 1.8 2750 COLUMN
P-6	5-1/4" x 5-1/4" VERSA-LAM 1.8 2750 COLUMN
P-6A	5-1/4" x 7" VERSA-LAM 1.8 2750 COLUMN

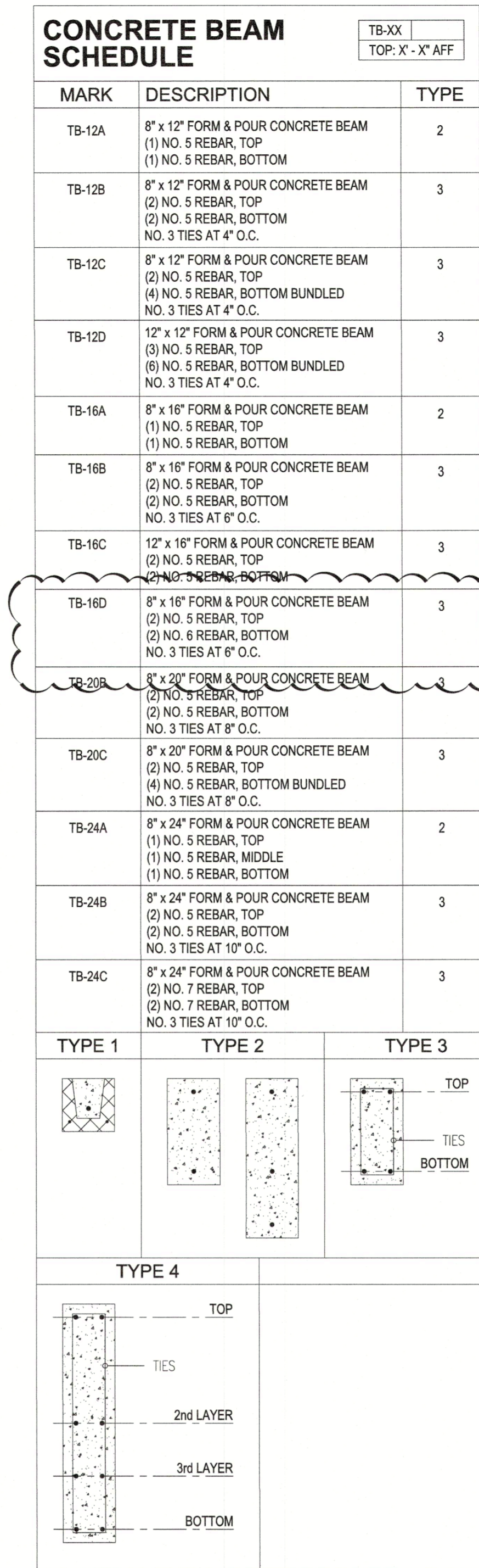
# REVISIONS

BY	DATE
JDY	08.26.2022
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JDY	04.19.2022

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### S3.0



1. FILL ALL CELLS ABOVE PRECAST LINTELS.
2. STUB RAISED HEEL ROOF TRUSSES BACK 3/4" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
3. STUB FLOOR TRUSSES BACK 2-1/2" FOR RIMBOARD, PLYWOOD AND STUCCO.
3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
4. SHORING: ALL MASONRY OR CONCRETE BEAMS 6-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

1. SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

MARK	DESCRIPTION
S-1	SHORE TIE-BEAM FOR A MINIMUM OF 28 DAYS AFTER CONCRETE POUR.
S-2	DOUBLE 2X8 PT LEDGER - ATTACH TO CMU WALL OR TIE-BEAM WITH $\frac{3}{8}$ " X 8" LONG TIE-BEAM $12^{\circ}$ O.C. AT MIDHEIGHT OF LEDGER - ATTACH EACH TRUSS TO LEDGER WITH (1) SIMPSON HUS26. BOTTOM OF LEDGER AT $14'-5"$ AFF.
S-3	SOLID FILLED DOUBLE COURSE BOND BEAM w/ (1) #5 CONT. TOP & BOTTOM. FROM $14'-5"$ TO $14'-5"$ AFF.
S-4	DOUBLE 2X8 PT LEDGER - ATTACH TO CMU WALL OR TIE-BEAM WITH $\frac{3}{8}$ " X 8" LONG TIE-BEAM $12^{\circ}$ O.C. AT MIDHEIGHT OF LEDGER - ATTACH EACH TRUSS TO LEDGER WITH (1) SIMPSON HUS26. BOTTOM OF LEDGER AT $16'-4"$ AFF
S-5	TB-24A CONTINUOUS - TOP AT $18'-4"$ AFF
S-6	SINGLE 2X8 PT LEDGER - ATTACH TO CMU WALL WITH $\frac{3}{8}$ " X 8" LONG TIE-BEAM $24^{\circ}$ O.C. AT MIDHEIGHT OF LEDGER. TOP OF LEDGER AT TOP OF ROOF. SLOPE LEDGER TO MATCH ROOF SLOPE.
S-7	8"x16" FORM & POUR TIE-BEAM AT TOP OF WALL w/ (1)#5 REBAR CONTINUOUS AT TOP& BOTTOM. THE 16" TIE-BEAM SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF WALL.
S-8	TB-24B FORM & POUR TIE-BEAM AT TOP OF WALL SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF WALL.



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JDY	08.26.2022
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### S3.1

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GENERAL NOTES

FBC REFERS TO 2020 FLORIDA BUILDING CODE, 7TH EDITION.  
FBC-R REFERS TO 2020 FLORIDA BUILDING CODE, 7TH EDITION, RESIDENTIAL.  
COMPACT BACK FILL 5'-0" FROM STRUCTURE. THE BUILDING AREA PLUS A MARGIN OF 5'-0" AFF OUTSIDE PERIMETER LINES SHALL BE COMPACTED TO A MINIMUM 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.  
CONTACT SOILS FOR FOUNDATIONS SHALL BE COMPACTED TO A MINIMUM 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.  
CONTACT SOILS FOR FOUNDATIONS SHALL BE TESTED AFTER COMPACTION. FILL WITHIN STEMWALLS SHALL BE PLACED AND COMPACTED PER THE RECOMMENDATIONS OF GEOTECHNICAL REPORT.  
FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 2000 PSF.  
CONTRACTOR TO VERIFY MANUFACTURED TRUSS PLAN PRIOR TO PLACEMENT OF STEMWALL OR MONOLITHIC FOOTING.  
PLUMBER IS TO INFORM SUPERINTENDENT OF ANY VENTING WHICH UTILIZES A MASONRY WALL TO RESOLVE ANY POSSIBLE STRUCTURAL INTEGRITY ISSUES.

CONCRETE/MASONRY NOTES

ALL CONCRETE SHALL BE Fc=3000PSI.  
MASONRY SHALL USE TYPE S MORTAR, Fm=1900PSI.  
REINFORCING STEEL SHALL SATISFY ASTM A615, GD 60. FOOTING MAY USE GD 40 STEEL.  
WHERE INDICATED ON FLOOR PLANS, PROVIDE CONCRETE FILLED CELL WITH REINFORCING STEEL FROM FOOTING TO THE BEAM HOOKED & TIED BEFORE INSPECTION. IF GROUT CFT EXCEEDS 4'-0", AN INSPECTION HOLE TO VERIFY GROUTING SHALL BE PROVIDED AT THE BOTTOM CELL.  
PROVIDE (1) #5 VERTICAL REINFORCING STEEL ELECTRICAL GROUND TO FOUNDATION STEEL.  
FOUNDATION DOWELS AND VERTICAL REINFORCING SPACES AS SHOWN ON FLOOR PLANS. IN THE EVENT OF CONFLICTS, THE FLOOR PLANS SHALL TAKE PRECEDENCE OVER THE FOUNDATION PLAN.  
ALL FOOTINGS TO BE SMOOTH AND LEVEL.  
REINFORCING STEEL LAP LENGTH IN CONCRETE AND/OR MASONRY SHALL BE:  
#5 REBAR -30"  
#6 REBAR -36"  
#7 REBAR -45"  
LAP LENGTH OF INDIVIDUAL BARS WITHIN A BUNDLE SHALL BE THAT FOR THE INDIVIDUAL BAR, INCREASED 20% FOR THREE-BAR BUNDLE, AND 33% FOR FOUR-BAR BUNDLE.  
INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF THE BEAM SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40db STAGGER.  
A FILLED CELL WITH (1) #5 VERTICAL SHALL BE LOCATED AT GIRDER TRUSSES WITH UPLIFT EXCEEDING 2000LBS U.N.O.  
MINIMUM CONCRETE COVER 3" CAST AGAINST SOIL AND 1½" ELSE U.N.O. MAXIMUM CONCRETE COVER 6" U.N.O.  
EMBEDDED TRUSS ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.  
EMBEDDED ANCHORS/TIEDOWNS SHALL HAVE MIN 2" COVER.  
MASONRY WALLS SHALL BE BRACED IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" MASON CONTRACTORS ASSOCIATION OF AMERICA, JULY 2001.  
THE MASONRY BOND-BEAM AT TOP OF ALL WALLS SHALL BE AN 8" KNOCKOUT BLOCK WITH (1) NO. 5 CONTINUOUS IN SOLID FILLED COURSE U.N.O.  
BEAM SIZES SHOWN ON DRAWINGS ARE MINIMUM NOMINAL DIMENSIONS. BEAM SIZES MAY BE INCREASED BY UP TO 12" TO ACCOMMODATE ON-SITE BEAM REQUIREMENTS PROVIDED THAT THE DISTANCE BETWEEN TOP AND BOTTOM REINFORCING STEEL REMAINS THE SAME OR IS INCREASED.

FRAMING NOTES

ALL DOOR HEADERS AT BEARING WALLS TO BE (2) 2X10 SYP OR BETTER, U.N.O.  
EXTERIOR FRAME WALLS, BEARING OR NON BEARING, SHALL BE SHEATHED WITH ½" PLYWOOD OR EQUAL, BLOCKED AND NAILED WITH 8d AT 4" O.C. EDGES, 8" O.C. FIELD.  
SHEAR WALL AND EXTERIOR WALL PLYWOOD SHEATHING SHALL BE BLOCKED.  
TRUSSES AND BEAMS SHALL BEAR DIRECTLY ON PSL OR SYP POSTS U.N.O. WHERE REQUIRED, SHIMS TO BE A36 STEEL U.N.O.  
PSL OR SYP POSTS SHALL BEAR DIRECTLY ON CONCRETE SLAB OR ON SYP OR PT PLATE U.N.O.  
UPLIFTS AND REACTIONS SHOWN ON MANUFACTURED TRUSS PLANS SHALL BE USED U.N.O. ON ENGINEER'S SEALED ROOF/FLOOR LAYOUT PLAN.  
BUILD-OUTS SHALL BE ATTACHED TO THE MASONRY/CONCRETE WITH ⅜" TAPCONS AT 16" O.C. WITH MINIMUM EMBEDMENT OF 1½"  
FLOOR SHEATHING SHALL BE ¾" T&G PLYWOOD OR EQUAL, FASTENED WITH 10d NAILS AT 4" O.C. EDGES AND 8" O.C. FIELD U.N.O.

WOOD NOTES

PSL: 1.8E PARALLEL STRAND LUMBER, Fb=2400psi  
LVL: 1.9E LAMINATED VENEER LUMBER, Fb=2600psi  
PT: PRESSURE TREATED SOUTHERN PINE #2 GRADE OR BETTER  
SPF: SPRUCE PINE FIR #2 GRADE OR BETTER

ROOF FRAMING NOTES

THE DESIGN OF ROOF FRAMING SHALL BE BASED ON THE REQUIREMENTS OF THE FBC-R.  
DESIGN WIND LOADS SHALL BE APPLIED IN ACCORDANCE WITH FBC SECTION 1609. SEE WIND NOTES FOR WIND DESIGN REQUIREMENTS.  
ROOF TRUSS MANUFACTURER SHALL SUBMIT AND PROVIDE COMPLETE LAYOUT AND FURNISH THE FOLLOWING INFORMATION: ROOF PITCH, LUMBER SIZE, SPACING, SPECIES AND GRADING, LOCATION AND MAGNITUDE OF UPLIFT LOADS.  
PRE-ENGINEERED TRUSS DESIGN SHALL BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.  
ROOF SHEATHING SHALL BE 1932" CD PLYWOOD OR EQUAL, FASTENED WITH 8d RING-SHANK NAILS AT 4" O.C. EDGES AND 4" O.C. FIELD U.N.O. NAILING SHALL BE AT 4" O.C. EDGES AND FIELD WITHIN 4'-0" OF RIDGES AND EDGES OF ROOF AND 3" O.C. WITHIN 4'-0" OF EXTERIOR ROOF CORNERS.  
CONTRACTORS SHALL VERIFY WITH ROOF TRUSS PLAN PRIOR TO PLACEMENT OF FOOTINGS.

6. DESIGN LOADS AND NOTES

- 6.1 ROOF TRUSSES - D+L  
55PSF W/ 1.33 STRESS INCREASE FACTOR, OR  
45PSF W/ 1.25 STRESS INCREASE FACTOR, OR  
41PSF W/ 1.00 STRESS INCREASE FACTOR.  
6.2 FLOOR - D+L  
65PSF W/ 1.00 STRESS INCREASE FACTOR.  
6.3 DL = 10PSF IN COMBINATION WITH WIND LOADS.  
6.4 MEAN ROOF HEIGHT SHALL BE DETERMINED BY CONTRACTOR.  
6.5 LATERAL LOADS AT TOP OF EXTERIOR WALLS SHALL BE BASED ON 36.4 PSF ON WALL.  
6.6 LATERAL LOADS IN TRUSSES ARE RESISTED BY ROOF DIAPHRAGM AT POINT OF WIND LOAD INPUT U.N.O.  
6.7 TRUSS MANUFACTURER'S TRUSS LAYOUT SHALL SHOW ALL CONNECTIONS BETWEEN TRUSSES AND OTHER TRUSSES AND BETWEEN TRUSSES AND WOOD BEAMS.  
6.8 TRUSSES MUST BE DESIGNED TO SUPPORT WALLS AGAINST OUT-OF-PLANE LOADS IN ACCORDANCE WITH ITEM 6.5. THIS APPLIES TO ALL TRUSSES WITH A RAISED HEEL CONDITION THAT BEAR ON AN EXTERIOR WALLS.  
6.9 NO PROVISION HAS BEEN MADE IN THE STRUCTURAL DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO RESIST STRESSES OR INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR SUCH MEASURES.

7. WIND NOTES

- 7.1 WIND LOADS ARE BASED ON A WIND VELOCITY OF 150 MPH APPLIED FOR A FULLY ENCLOSED STRUCTURE.  
7.2 THIS BUILDING IS DESIGNED AS A FULLY ENCLOSED BUILDING BASED ON ALL OPENINGS BEING PROTECTED OR HAVING MISSILE IMPACT GLASS.  
7.3 WIND DESIGN LOADS WERE DETERMINED BASED ON THE FOLLOWING:  
BASIC WIND SPEED = 150 MPH.  
BUILDING CATEGORY II, IMPORTANCE FACTOR = 1.0  
WIND EXPOSURE = D  
INTERNAL PRESSURE COEFFICIENT = 0.18.  
FULLY ENCLOSED BUILDING

DESIGN WIND PRESSURES (0.6W) FOR COMPONENTS AND CLADDING			
POSITIVE PRESSURES = INWARD NEGATIVE PRESSURES = OUTWARD (SUCTION) ALL PRESSURE VALUES ARE IN PSF.			
COMPONENT AREA (SQ. FT.)	ZONE 4	ZONE 5	
10	+46.4/-50.4	+46.4/-62.2	
20	+44.5/-48.4	+44.5/-57.9	
30	+43.3/-47.2	+43.3/-55.5	
40	+42.1/-46.1	+42.1/-54.0	
50	+41.7/-45.7	+41.7/-52.3	
75	+40.6/-44.5	+40.6/-50.0	
100	+39.4/-43.3	+39.4/-48.4	
150	+38.2/-42.1	+38.2/-45.7	

8. PEST/DECAY PROTECTION NOTES

- 8.1 ALL PLANTINGS AND IRRIGATION/SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL BE AT LEAST 1'-0" FROM BUILDING SIDEWALLS.  
8.2 IN WALL PEST TUBING AND BORA CARE TREATMENT ON ALL INTERIOR WOOD PROVIDES SUBTERRANEAN TERMITE ABATEMENT AS WELL AS PROTECTION AGAINST WOOD DESTROYING ORGANISMS.  
8.3 WOOD GRADE STAKES SHALL NOT BE USED.  
8.4 PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH FBC SECTIONS R317 AND R318.  
8.5 ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF FBC SECTIONS R703.7.5, R703.8, R903.2 AND R905.

9. GARAGE NOTES

- 9.1 OPENINGS FROM GARAGE INTO LIVING SPACE OF RESIDENCE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.1.  
9.2 DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.2.  
9.3 GARAGE AND LIVING SPACE SEPARATION SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.6.  
9.4 GARAGE DOORS SHALL SATISFY THE REQUIREMENTS OF FBC FOR WIND LOADS AS DEFINED IN ROOF FRAMING AND WIND NOTES.

10. GENERAL CONNECTIONS NOTES

- 10.1 CONNECTIONS SHOWN ARE RECOMMENDED, BUT OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.  
10.2 FOR ADDITIONAL TIE DOWN INFORMATION, SEE SIMPSON OR USP CATALOGS.  
10.3 FOR POST-INSTALLED ANCHORS: HOLE PREPARATION, CARTRIDGE PREPARATION, AND EPOXY FILLING SHALL BE PERFORMED PER MANUFACTURER'S ADHESIVE ANCHOR INSTALLATION INSTRUCTIONS.  
10.4 AN EPOXY INSPECTION MAY BE REQUIRED DEPENDING ON JURISDICTION. CONTRACTOR MUST VERIFY.

11. TRUSS TO FRAME CONNECTION NOTES

- 11.1 ROOF TRUSSES: USE SIMPSON H10 OR H10-2 AT EACH TRUSS WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS FOR UPLIFTS IN EXCESS OF GIVEN ALLOWABLE VALUES. WHERE H10 OR H10-2 CANNOT BE USED (E.G. 3-PLY GIRDERS, CORNERS, ETC.) USE SIMPSON H2.5 PLUS ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT LOADS.  
11.2 FLOOR TRUSSES: USE SIMPSON H2.5 AT EACH TRUSS (WITH OR WITHOUT UPLIFT) WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT LOADS.

12. EXTERIOR CEILING NOTES

- 12.1 ENTRY/LANA/CABANA CEILINGS (AREAS EXPOSED TO WIND): PROVIDE 2X4 BLOCKING AT 48" O.C AT THE BOTTOM CHORD OF ALL TRUSSES. PROVIDE ½" EXTERIOR GRADE DRYWALL OR ¾" EXTERIOR GRADE PLYWOOD WITH 8d NAILS 8" O.C. FIELD/4" O.C. EDGES.

TRUSS UPLIFT ANCHORS - MASONRY/CONCRETE

TRUSS ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS  
(REFER TO SIMPSON 2020 CATALOG #C-2020)  
OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

TYPE MEMBER	NOMINAL UPLIFT CAPACITY	CONNECTOR TYPE	NAILS TO TRUSS FOR NOMINAL UPLIFT	NOTES AND COMMENTS
SINGLE PLY, CMU	595#	SIMPSON HM9KT	(4) SDS ½"x1½" LONG TO TRUSS AND (5) ¾"x2½" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
SINGLE PLY, CONCRETE	595#	SIMPSON HM9KT	(4) SDS ½"x1½" LONG TO TRUSS AND (5) ¾"x1½" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
SINGLE PLY	1065#	SIMPSON H10S	(8) 8dx1½" LONG TO TRUSS AND (2) ¾"x4" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
	1450#	SIMPSON META12	(7) 10dx1½" LONG	-
	1520#	SIMPSON HETA12	(7) 10dx1½" LONG	-
	1810#	SIMPSON HETA16	(9) 10dx1½" LONG	-
	1985#	(2) SIMPSON META12	(10) 10dx1½" LONG	NOTE 1
SINGLE OR MULTI PLY, CMU	2035#	(2) SIMPSON HETA12	(10) 10dx1½" LONG	NOTE 1
	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) ½"x2½" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY, CONCRETE	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) ½"x2½" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) ½"x1½" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) ½"x1½" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
	3330#	SIMPSON MGT	(22) 10dx1½" LONG	NOTE 2
DBL PLY	2150#	SIMPSON LGT2	(16) 10d SINKERS	POST-INSTALLED, NOTE 4
	10980#	SIMPSON HGT-2	(16) 10d	NOTE 3
DBL OR TPL PLY, CMU	1900#	(2) SIMPSON META12	(14) 16d	NOTE 1
	2500#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
DBL OR TPL PLY, CONCRETE	2565#	(2) SIMPSON META12	(14) 16d	NOTE 1
	2700#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
TPL PLY	3350#	(2) SIMPSON LHETA12	(14) 16d	NOTE 1
	3285#	SIMPSON LGT3-SDS2.5	(12) SDS ½"x2½" LONG	POST-INSTALLED, NOTE 5
QUAD PLY	10530#	SIMPSON HGT-3	(16) 10d	NOTE 3
	9250#	SIMPSON HGT-4	(16) 10d	NOTE 3
MULTI PLY	1450#	SIMPSON META12	(6) 16d	-
	1520#	SIMPSON HETA12	(7) 16d	-
	1810#	SIMPSON HETA16	(8) 16d	-

- NOTES:  
1. FOR (2) CONNECTORS: (A) THE NAILS SHALL NOT BE DRIVEN IN CONFLICT WITH EACH OTHER OR THE SECOND CONNECTOR, AND (B) STRAPS SHALL NOT OVERLAP THE 2ND CONNECTOR.  
2. FASTENER TO CMU/CONCRETE: (1) ½" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH  
3. FASTENER TO CMU/CONCRETE: (2) ¾" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH  
4. FASTENER TO CMU WALL: (7) ½"x2½" LONG SIMPSON TITEN SCREW  
FASTENER TO CONCRETE WALL: (7) ½"x1½" SIMPSON TITEN SCREW  
5. FASTENER TO WALL: (4) ¾"x5" LONG SIMPSON TITEN HD

13. WALL SECTION NOTES

- 13.1 INSTALLATION OF LATH SHALL MEET THE REQUIREMENTS OF SECTION R703.7.1 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.  
13.2 PLASTERING WITH PORTLAND CEMENT PLASTER MEET SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.  
13.3 INSTALLATION OF WEEP SCREDS SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2.1 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.  
13.4 INSTALLATION OF WATER RESISTIVE BARRIER SHALL MEET THE REQUIREMENTS OF SECTION R703.7.3 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.  
13.5 INSTALLATION OF FLASHING SHALL MEET THE REQUIREMENTS OF SECTION R703.4 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.

14. WATER PROOFING NOTES

- 14.1 ALL WATER-PROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE BUILDER.

POST UPLIFT ANCHORS - MASONRY/CONCRETE

POST ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS  
(REFER TO SIMPSON 2020 CATALOG #C-2020)  
OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

MINIMUM POST THICKNESS	NOMINAL UPLIFT CAPACITY FOR SYP OR BTR	CONNECTOR TYPE	FASTENER TO POST FOR NOMINAL UPLIFT	ANCHOR BOLT DIAMETER
1½"	1310#	SIMPSON LTT19	(8) 10dx1½" LONG NAILS	½", ⅝" OR ¾"
	1350#	SIMPSON LTT131	(18) 10dx1½" LONG NAILS	⅝"
	3610#	SIMPSON HTT4	(18) 10dx1½" LONG NAILS	⅝"
	4350#	SIMPSON HTT5	(26) 10dx1½" LONG NAILS	⅝"
2½"	2405#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	⅝" OR ¾"
	3955#	SIMPSON HTT16	(18) 16dx2½" LONG NAILS	⅝"
	4235#	SIMPSON HTT4	(18) 16dx2½" LONG NAILS	⅝"
	5090#	SIMPSON HTT5	(26) 16dx2½" LONG NAILS	⅝"
3"	3835#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	⅝" OR ¾"
	4165#	SIMPSON HTT22	(32) 10d NAILS	⅝"
	4670#	SIMPSON HTT5	(26) 10d NAILS	⅝"
	6480#	SIMPSON HD5	(3) ¾" DIAM STUD BOLTS	⅝" OR 1"
3½"	5010#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	¾"
	6480#	SIMPSON HD7	(3) ¾" DIAM STUD BOLTS	⅝" OR 1"
	10330#	SIMPSON HD9	(3) 1" DIAM STUD BOLTS	⅝" OR 1"
	11350#	SIMPSON HD12	(4) 1" DIAM STUD BOLTS	1"

- NOTES  
• ½" DIAMETER A307 ALL THREAD SET IN ⅝" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 5"  
• ⅝" DIAMETER A307 ALL THREAD SET IN ¾" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 8"  
• ¾" DIAMETER A307 ALL THREAD SET IN 1" DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 6".  
• 1" DIAMETER A307 ALL THREAD SET IN 1½" DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 9".

MULTIPLE MEMBER CONNECTIONS FOR 1.9E MICROLLAM LVL BEAMS

2 PIECES - 1½" WIDE:  
• MINIMUM (2) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS LESS THAN 14" DEEP  
• MINIMUM (3) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 14" DEEP

3 PIECES - 1½" WIDE:  
• (3) ROWS OF 12d NAILS AT 12" O.C.; OR  
• (2) ROWS OF ¾" BOLTS AT 12" O.C.; OR  
• (2) ROWS OF ¾" X 3½" LAG SCREWS AT 12" O.C.

4 PIECES - 1½" WIDE:  
• (2) ROWS OF ¾" BOLTS AT 12" O.C.; OR  
• (2) ROWS OF ¾" X 3½" LAG SCREWS AT 12" O.C.

GENERAL NOTES:  
• A307 BOLTS WITH WASHERS REQUIRED. BOLT HOLES TO BE ⅝" MAXIMUM.  
• SCREWS MUST HAVE SELF-DRILLING TIP AND MINIMUM BENDING YIELD STRENGTH OF 217,000PSI.  
• 6" LONG SCREWS REQUIRED.  
• CONNECTION INSTRUCTIONS ON PLAN SUPERSEDE PRECEDING.

ROOF AND WALL ZONES FOR COMPONENTS AND CLADDING WIND PRESSURES

A = 8 FT

DESIGN WIND PRESSURES FOR COMPONENTS AND CLADDING	
POSITIVE PRESSURES = INWARD NEGATIVE PRESSURES = OUTWARD (SUCTION) ALL PRESSURE VALUES ARE IN PSF. ASD.	
COMPONENT AREA (SQ. FT.)	ZONE 1
10	+24.0/-43.2
	ZONE 2E
	+24.0/-59.5
	ZONE 2R
	+24.0/-59.5
	ZONE 3E & 3R
	+24.0/-59.5
SOFFIT PRESSURE	ZONE 4
	ZONE 5
	+46.4/-50.4
	+46.4/-62.2

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS FOR THIS RESIDENCE COMPLY WITH THE APPLICABLE STRUCTURAL PROVISIONS OF THE 2020 EDITION OF THE FLORIDA BUILDING CODE, RESIDENTIAL (FBC-R), 7TH EDITION.

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FL-070781

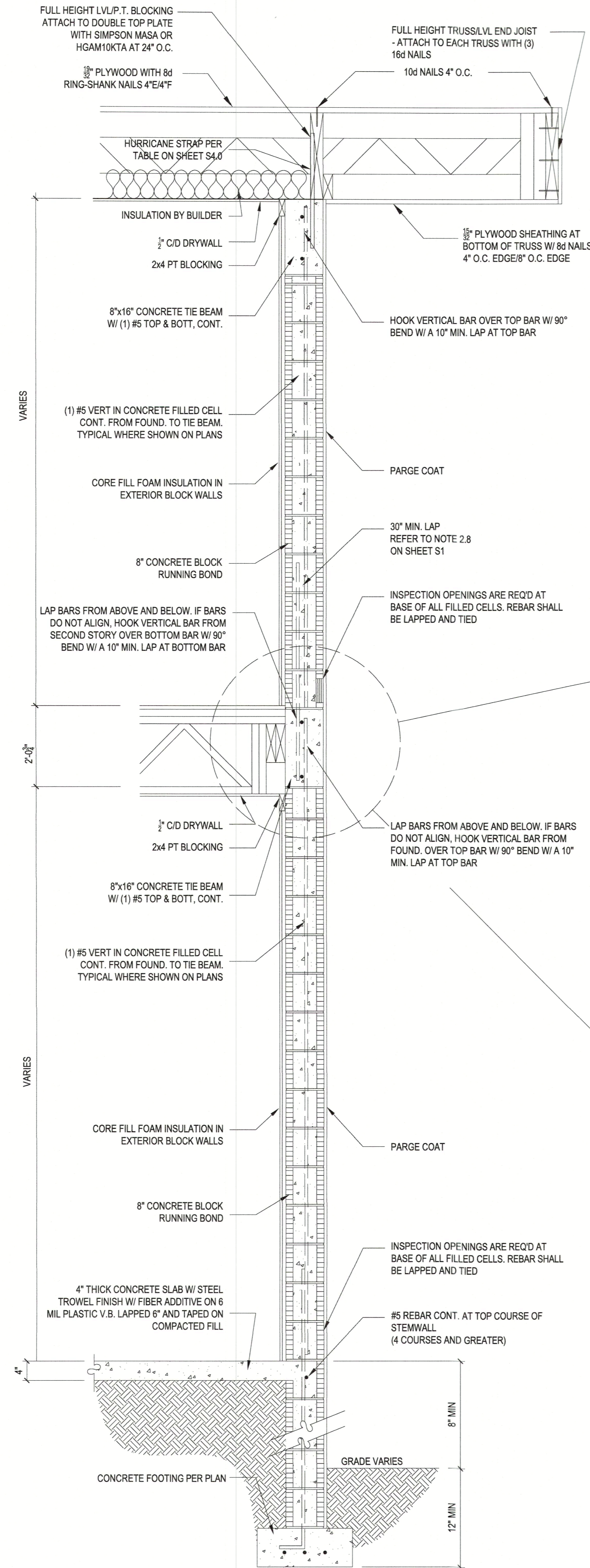
A NEW CUSTOM RESIDENCE:  
**DE NARVAEZ SPEC**  
590 DE NARVAEZ DRIVE, LONGBOAT KEY, FL-34228

STRUCTURAL NOTES  
NTS

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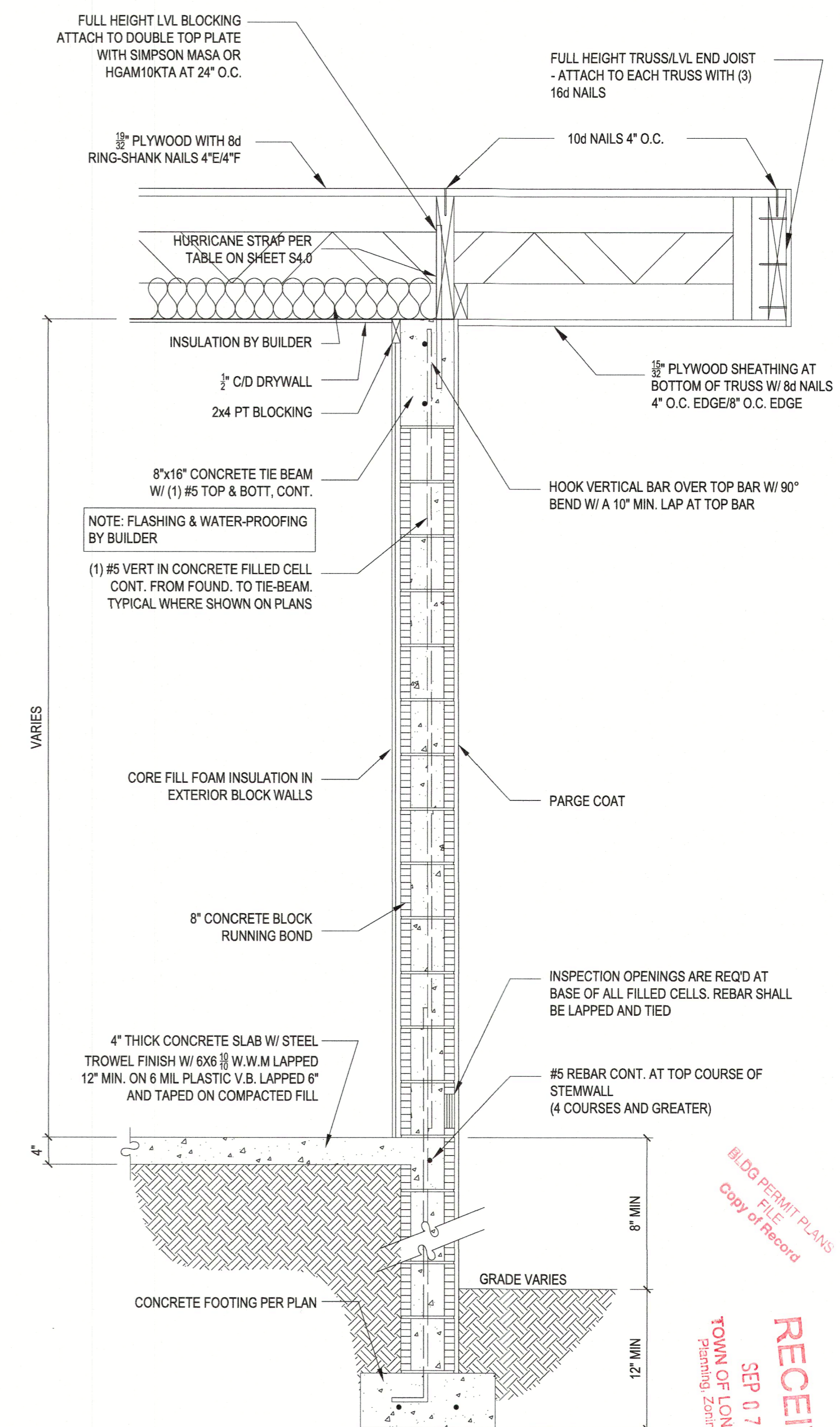
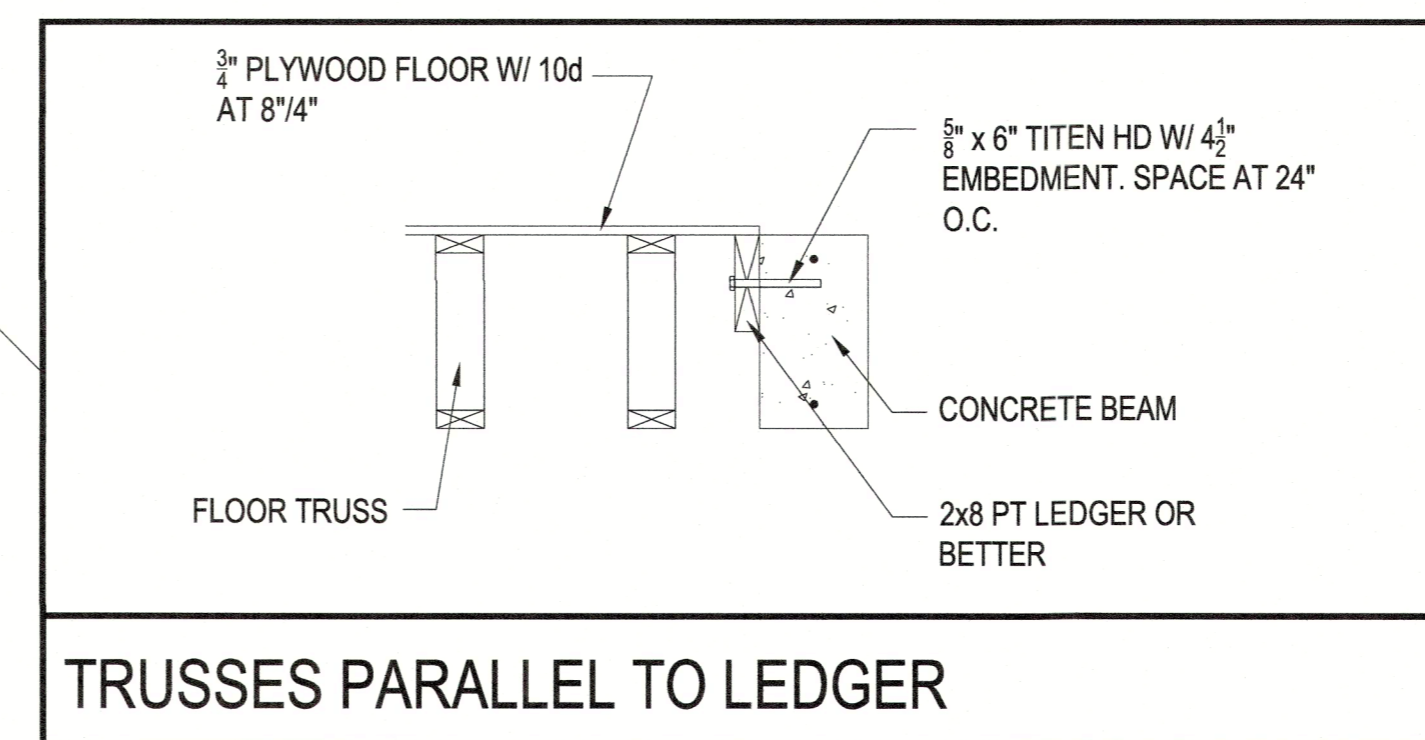
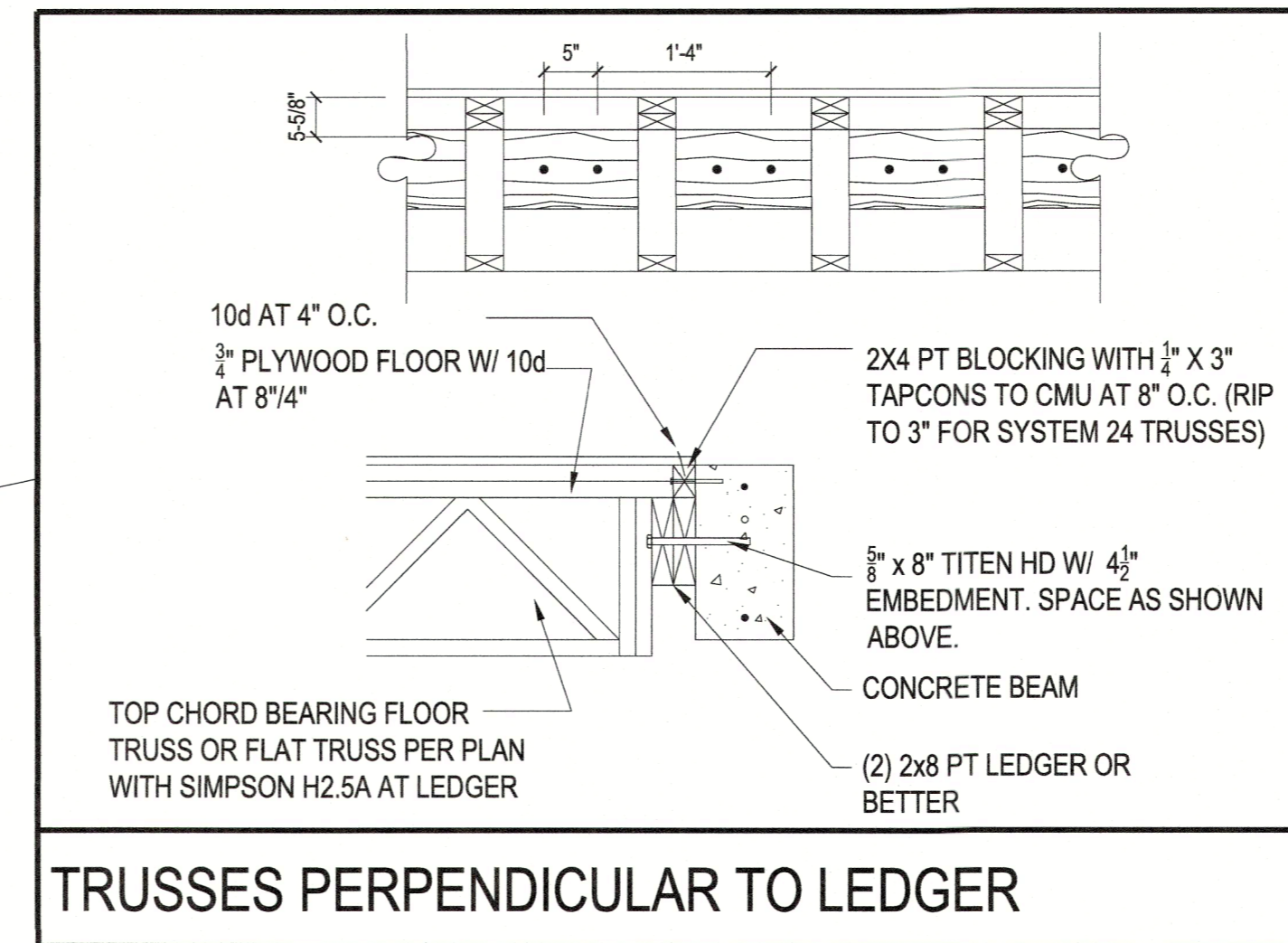
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TYPICAL TWO STORY  
MASONRY WALL SECTION

SCALE: 3/4" = 1'-0"



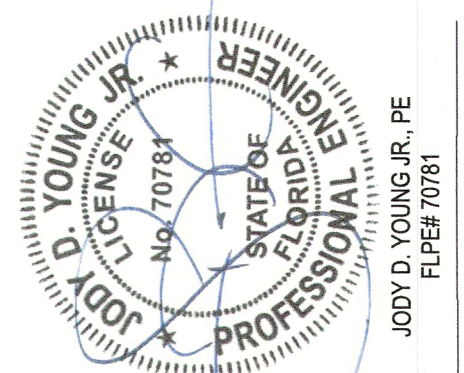
TYPICAL ONE STORY WALL SECTION

SCALE: 3/4" = 1'-0"

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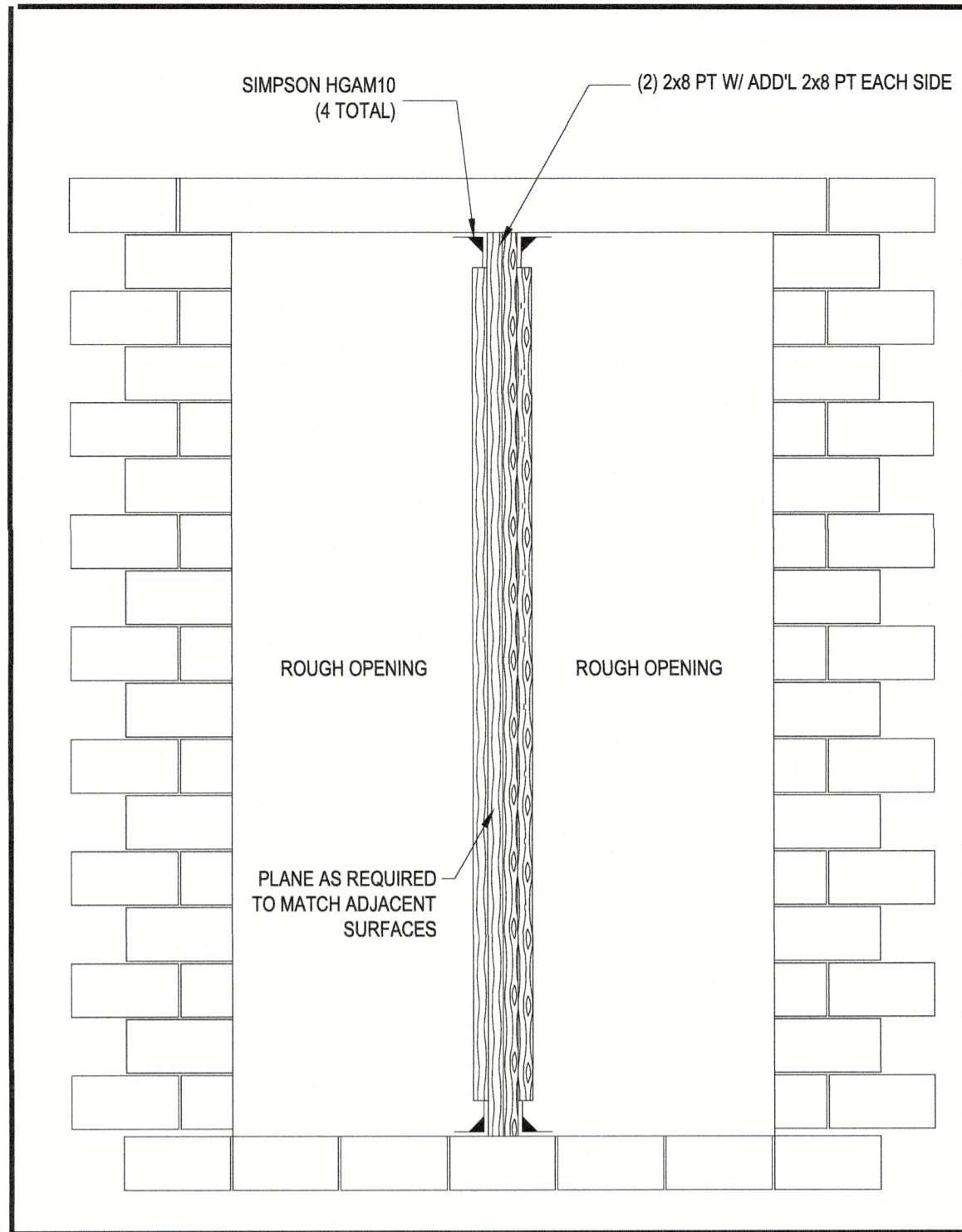
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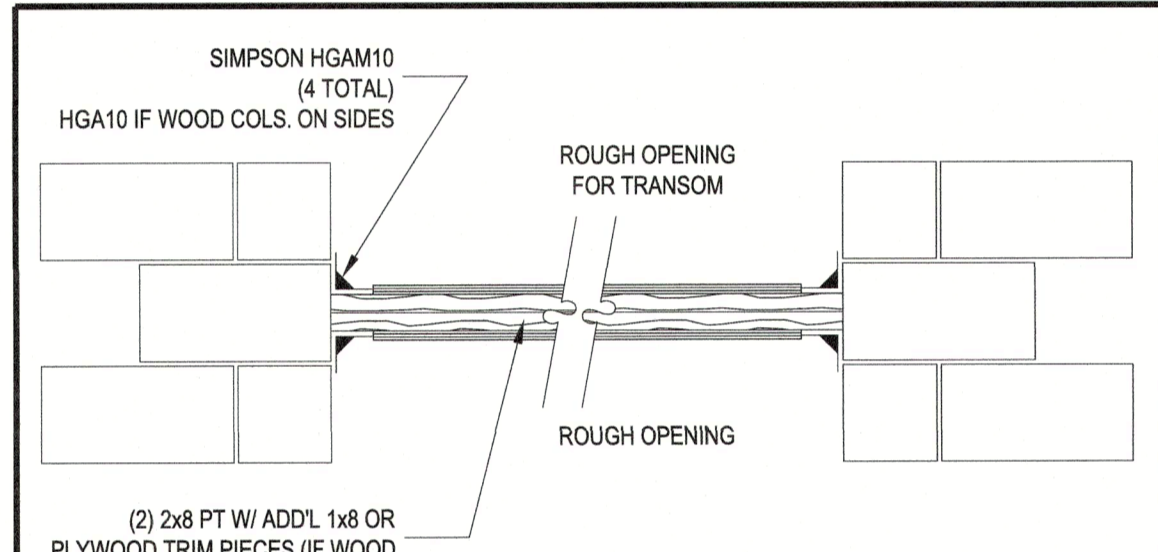
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VERT. WINDOW MULLION

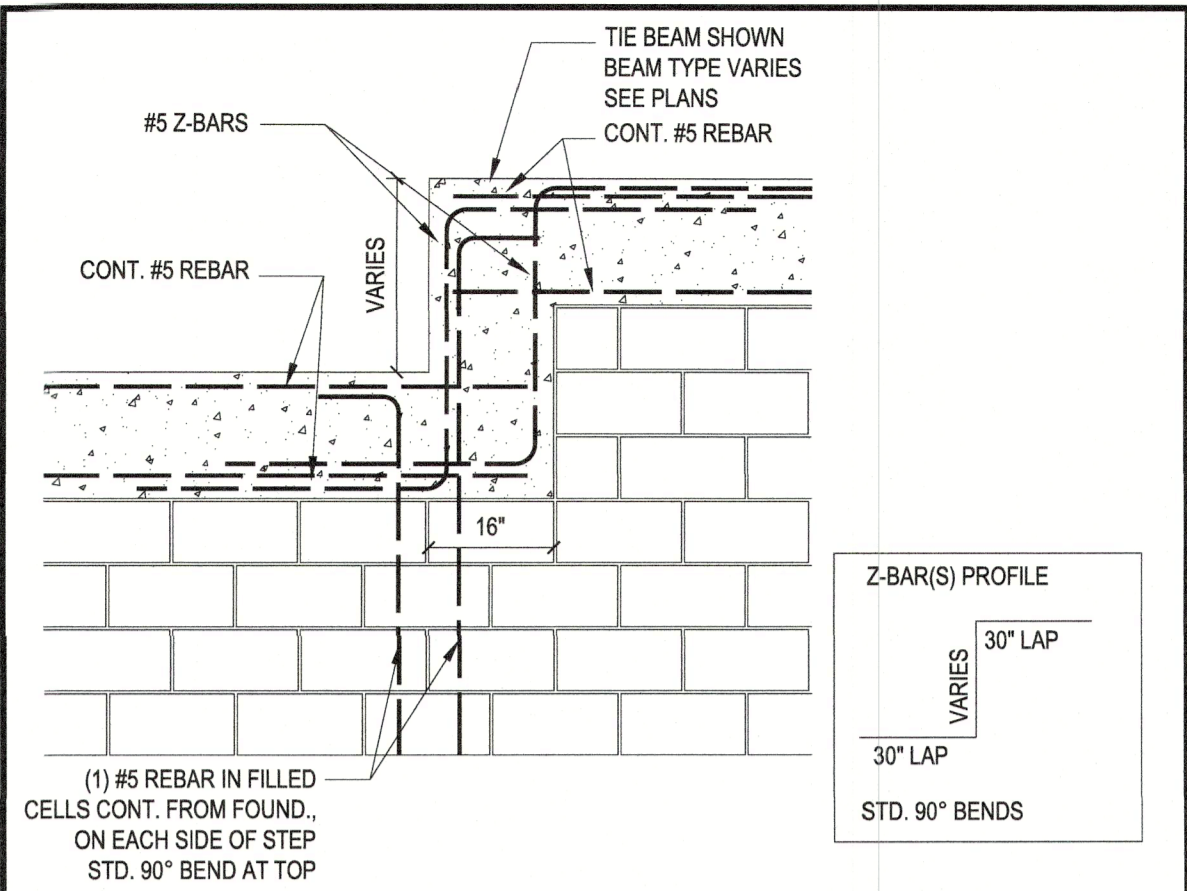
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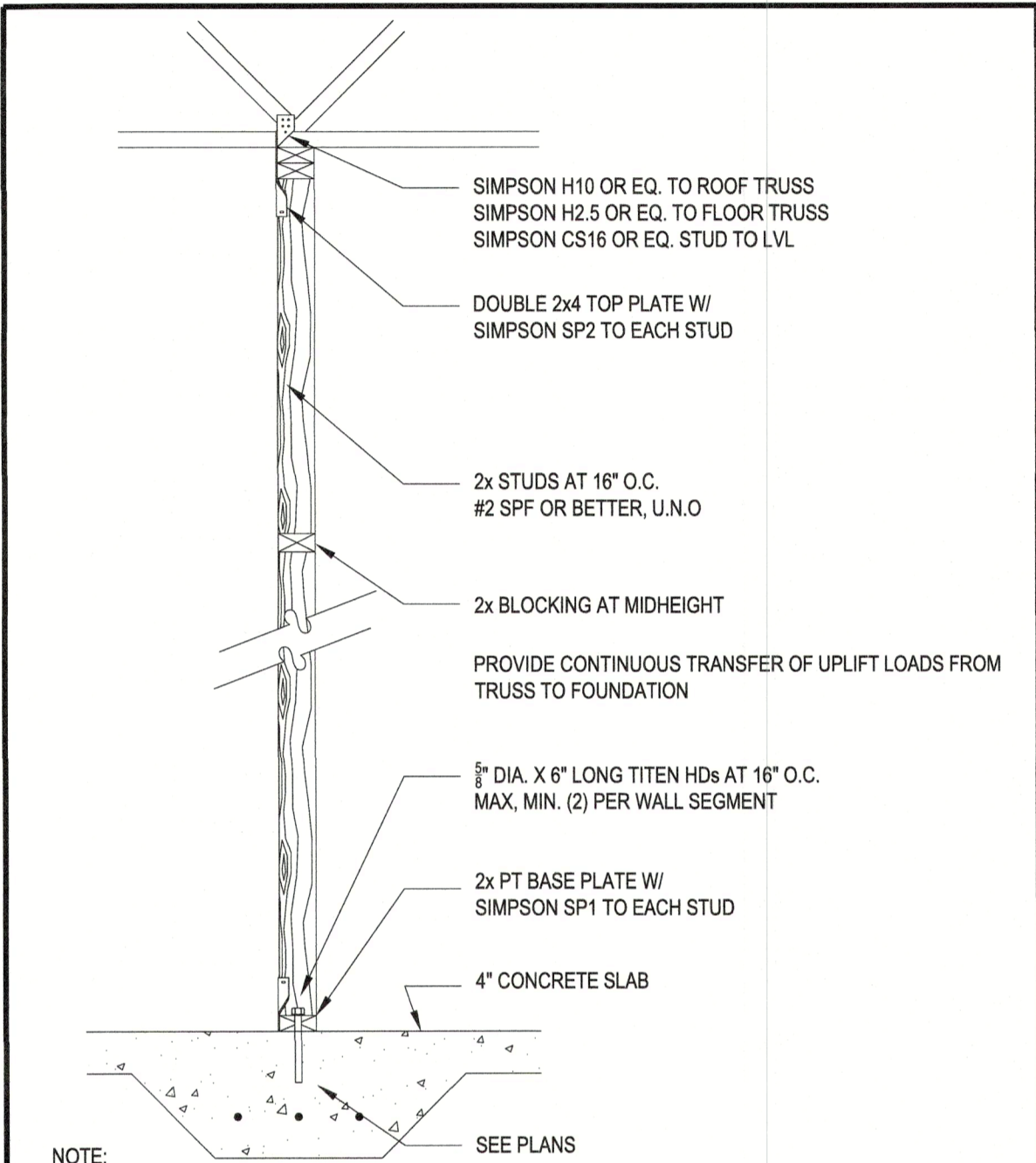
WOOD HEADER BEAM DETAIL

D

- 1. WINDOW/DOOR INSTALLATION**
- 1.1 SEE MANUFACTURER'S DRAWINGS FOR DETAILS AND SPACING OF TAPCONS/BOLTS.
  - 1.2 DETAILS B OR C MAY BE USED FOR FAN/HALF CIRCLE WINDOWS U.N.O.
  - 1.3 PRECAST WINDOW SILLS SHALL BE WIND RESISTANT PRECAST WINDOW SILLS AS MANUFACTURED BY CASTCRETE OR EQ.
  - 1.4 WINDOW DETAILS B AND C MAY BE USED INTERCHANGEABLY AND AT SILL FOR ROUND OR OVAL WINDOWS.
  - 1.5 WOOD FILLER MAY BE USED AS REQUIRED TO MAINTAIN  $\frac{1}{2}$ " GAP OR LESS AT CORNER OF ROUND AND SQUARE WINDOWS.
- 2. GENERAL CONNECTIONS NOTES**
- 2.1 CONNECTIONS SHOWN ON SHEET S2 ARE RECOMMENDED.
  - 2.2 OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.

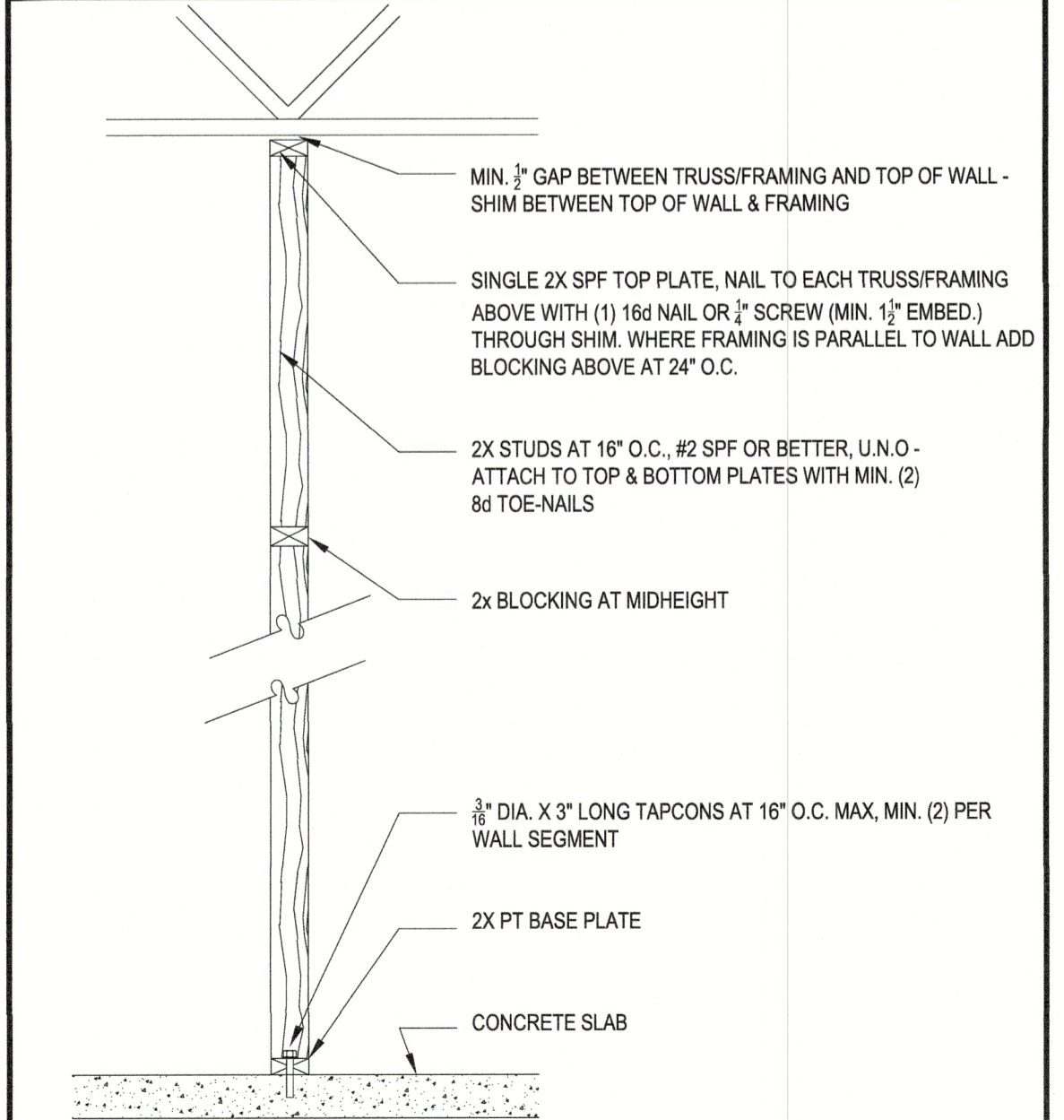


TIE BEAM STEP



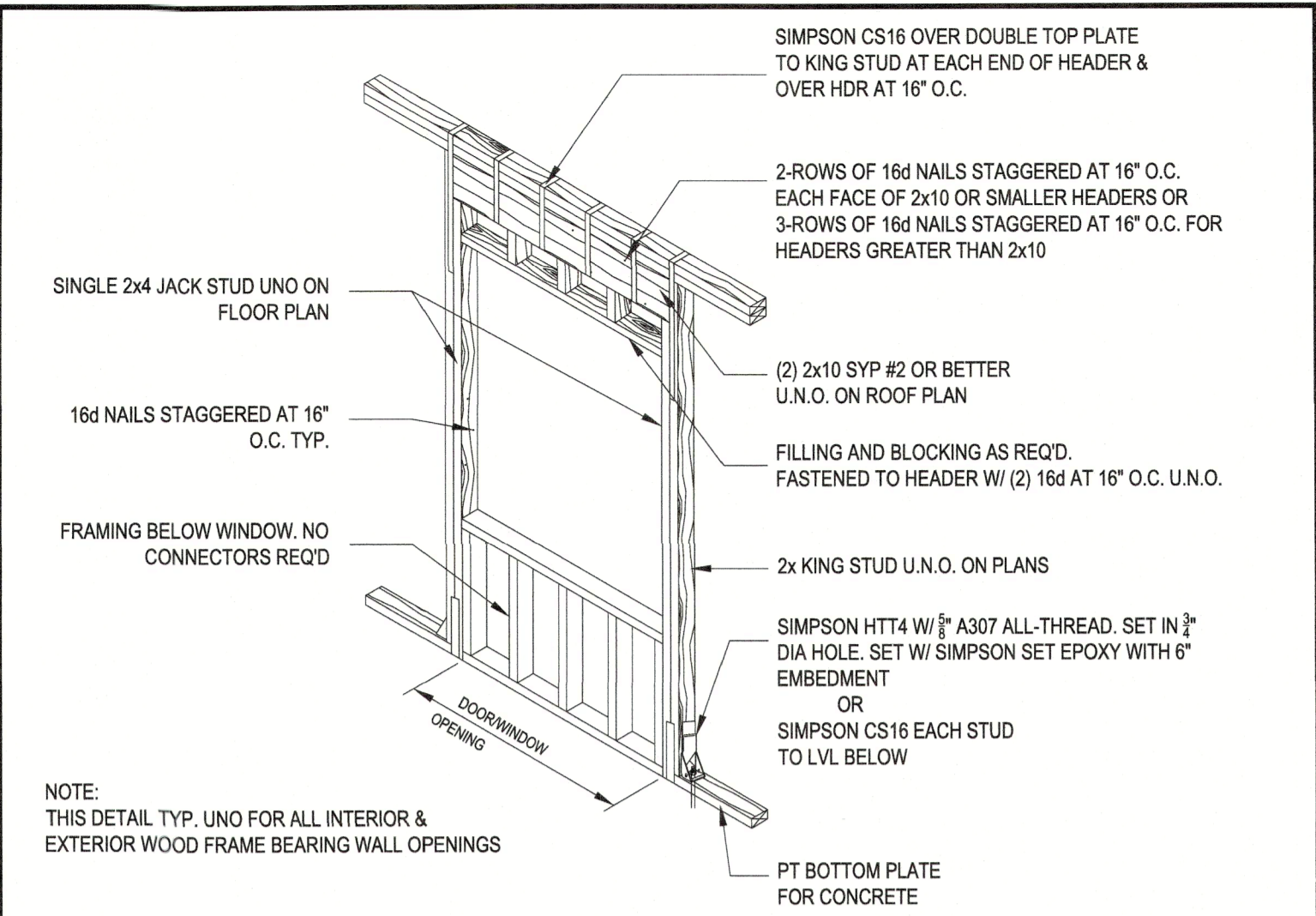
NOTE:  
ALTERNATE METHODS AND MATERIALS FOR ANCHORING INTERIOR LOAD BEARING WALLS:  
1.  $\frac{5}{8}$ " DIA. x 10" LONG THREADED ROD DRILLED AND EPOXIED INTO SLAB 7" (SAME SPACING AS TITENS) USING SIMPSON "SET" EPOXY.  
2.  $\frac{5}{8}$ " DIA. x 8" LONG "POWER-STUD" BY RAWL OR EQUAL AT 12" O.C.  
3.  $\frac{5}{8}$ " DIA. x 8" LONG RED HEAD WEDGE ANCHOR.

INTERIOR BEARING WALL DETAIL

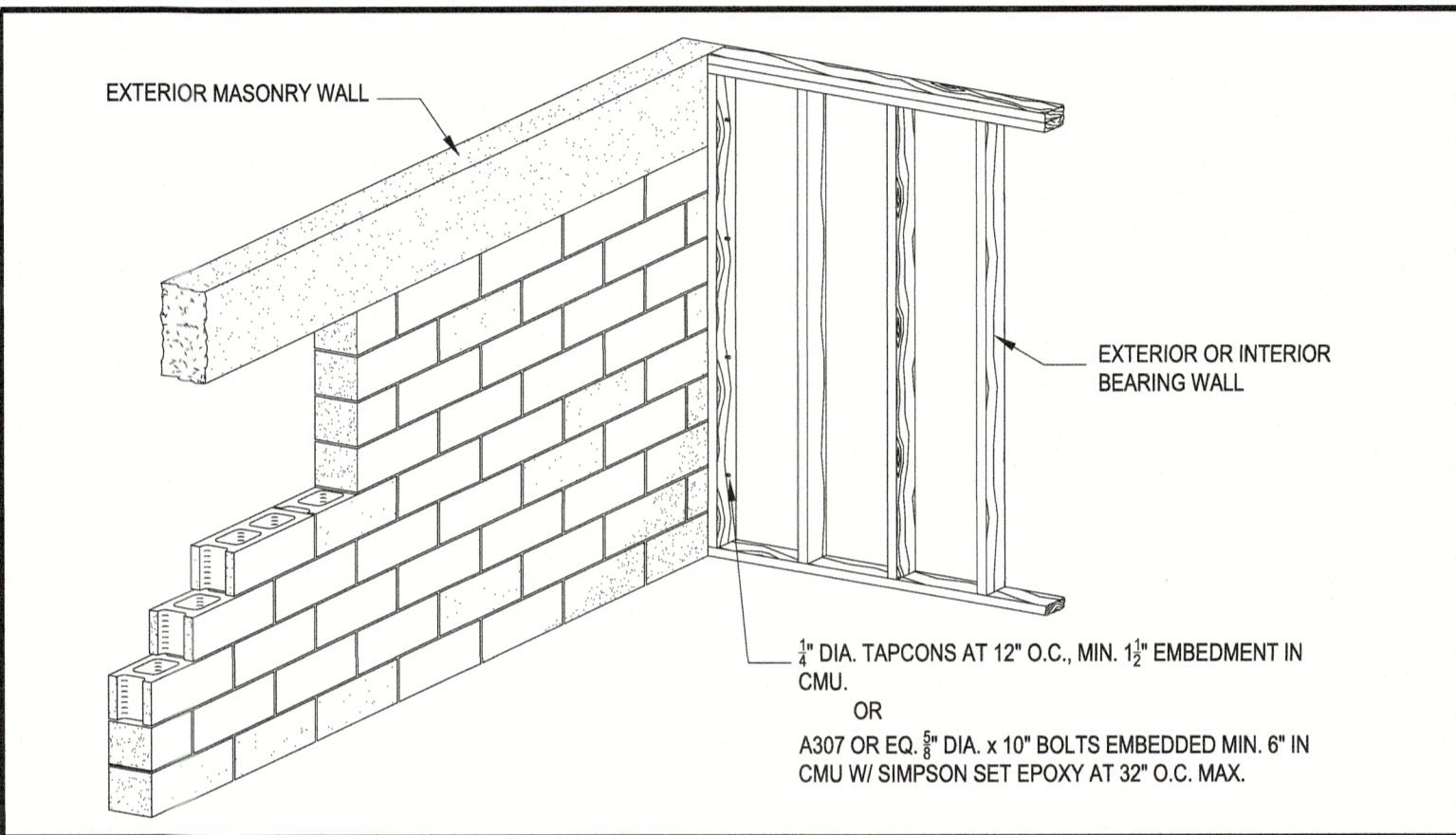


NOTE:  
ALTERNATE METHODS & MATERIALS FOR ANCHORING INTERIOR NON-BEARING WALLS TO CONCRETE FLOOR:  
1. 0.177" DIA. (X-ALH) HILTI POWER DRIVEN FASTENERS WITH  $\frac{3}{4}$ " MIN. EMBEDMENT AT 16" O.C.

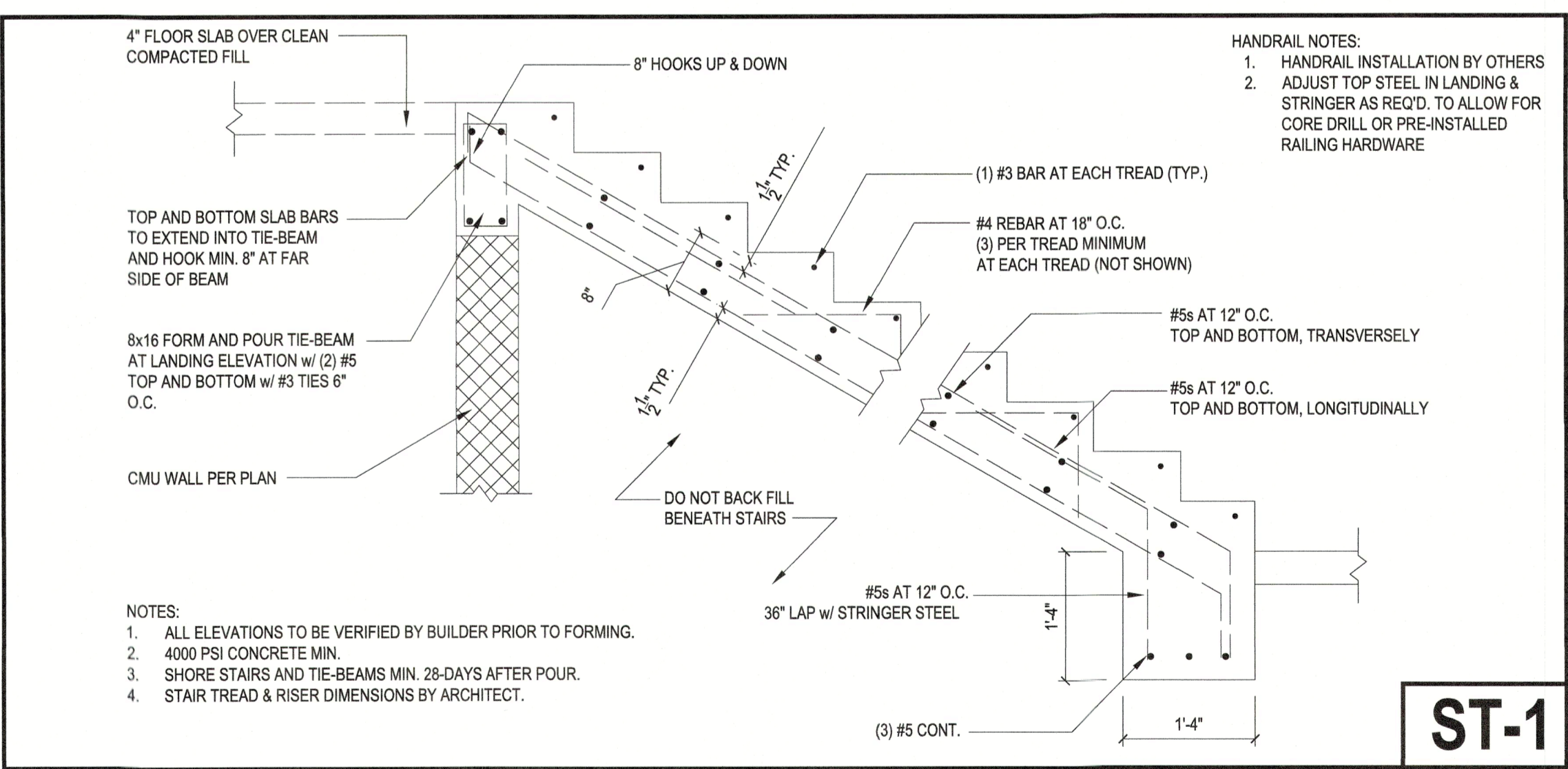
INTERIOR NON-BRG. WALL DET.



BEARING WALL HEADER DETAIL



MIXED CONSTRUCTION DETAIL



NOTES:  
1. ALL ELEVATIONS TO BE VERIFIED BY BUILDER PRIOR TO FORMING.  
2. 4000 PSI CONCRETE MIN.  
3. SHORE STAIRS AND TIE-BEAMS MIN. 28-DAYS AFTER POUR.  
4. STAIR TREAD & RISER DIMENSIONS BY ARCHITECT.

A NEW CUSTOM RESIDENCE:  
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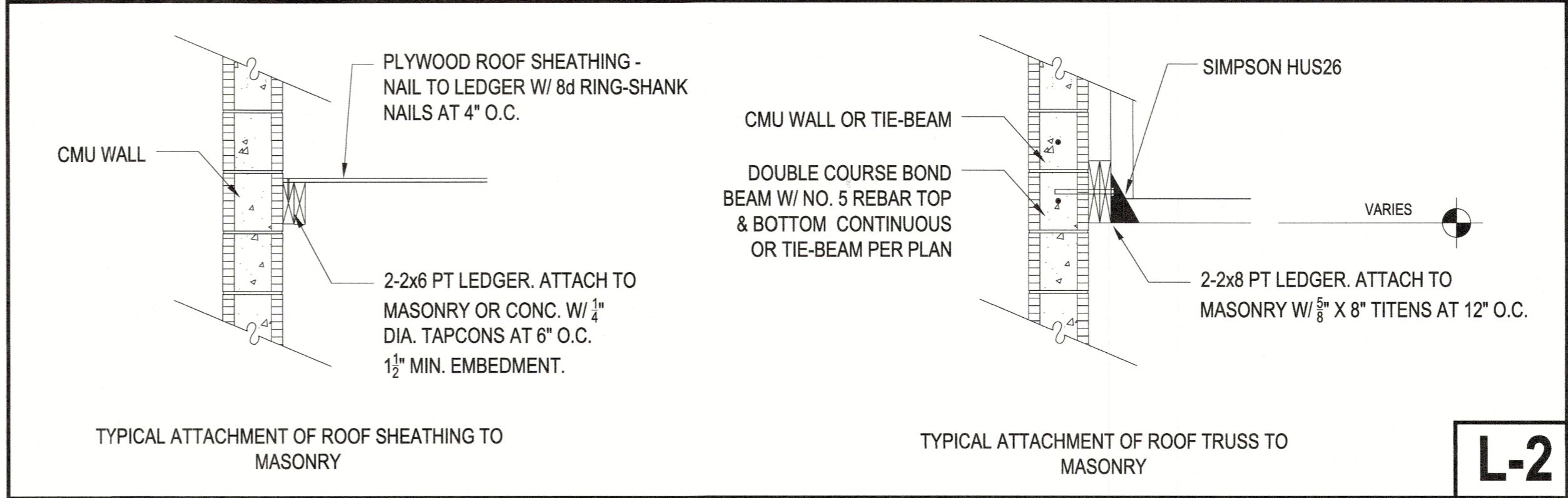
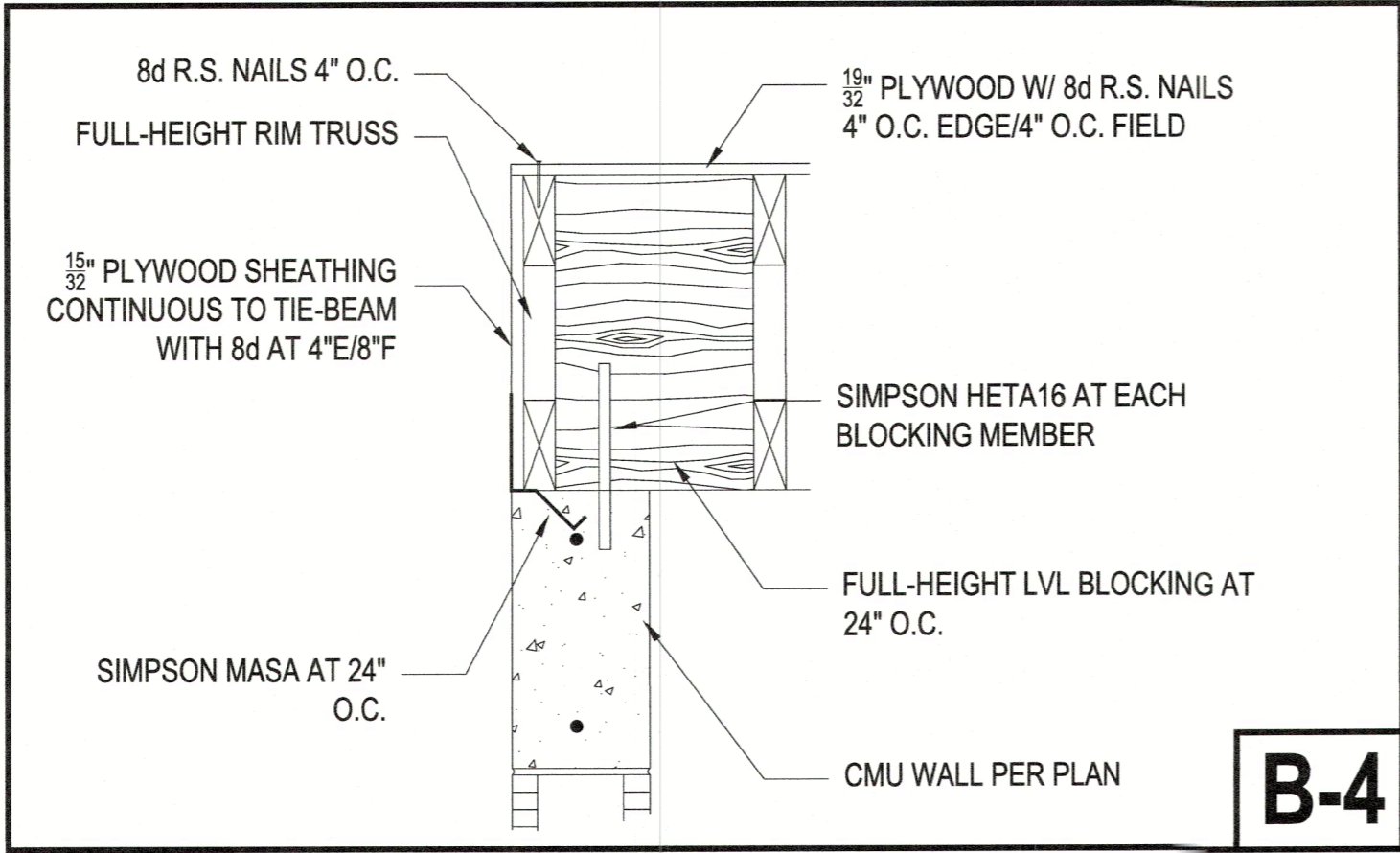
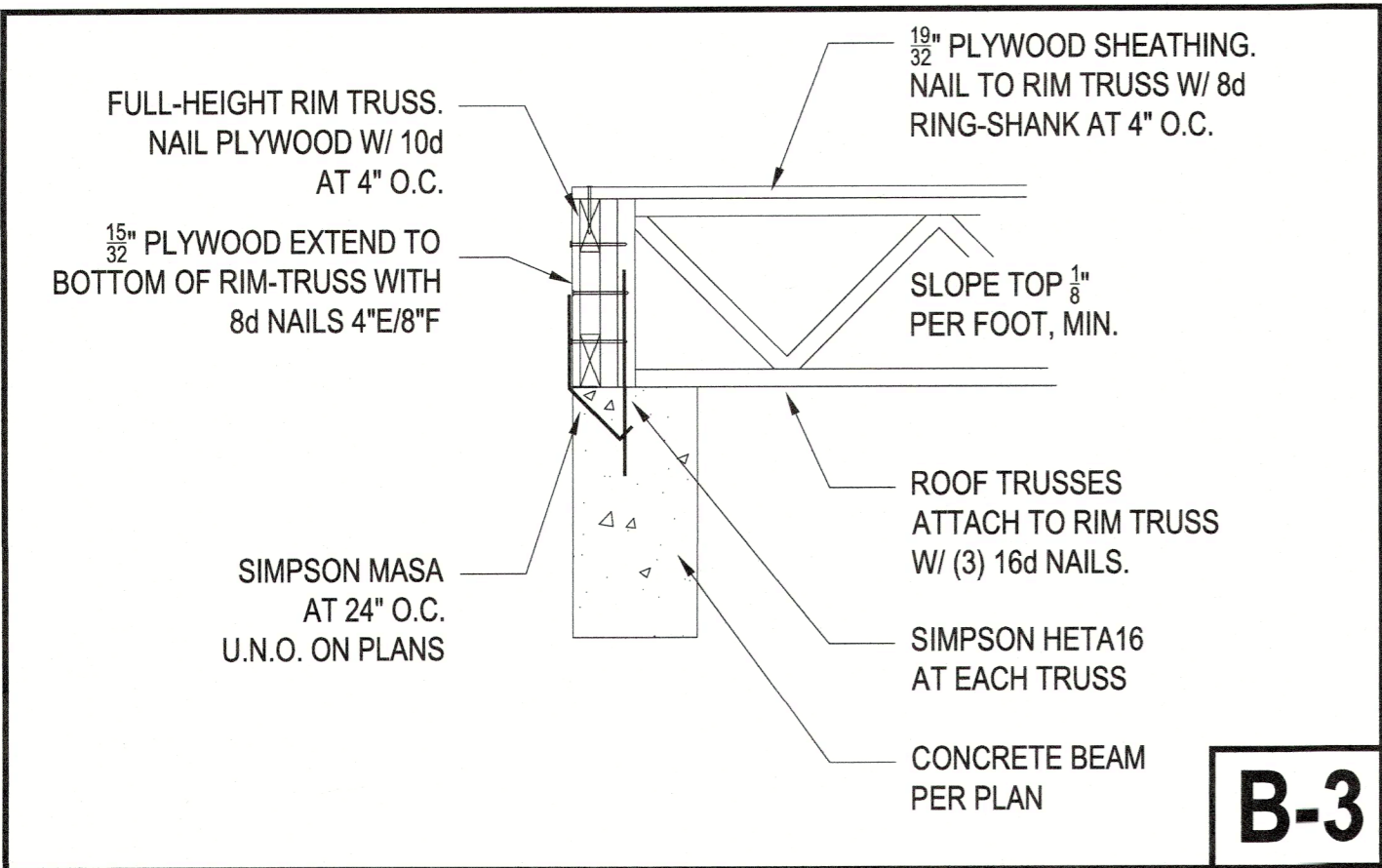
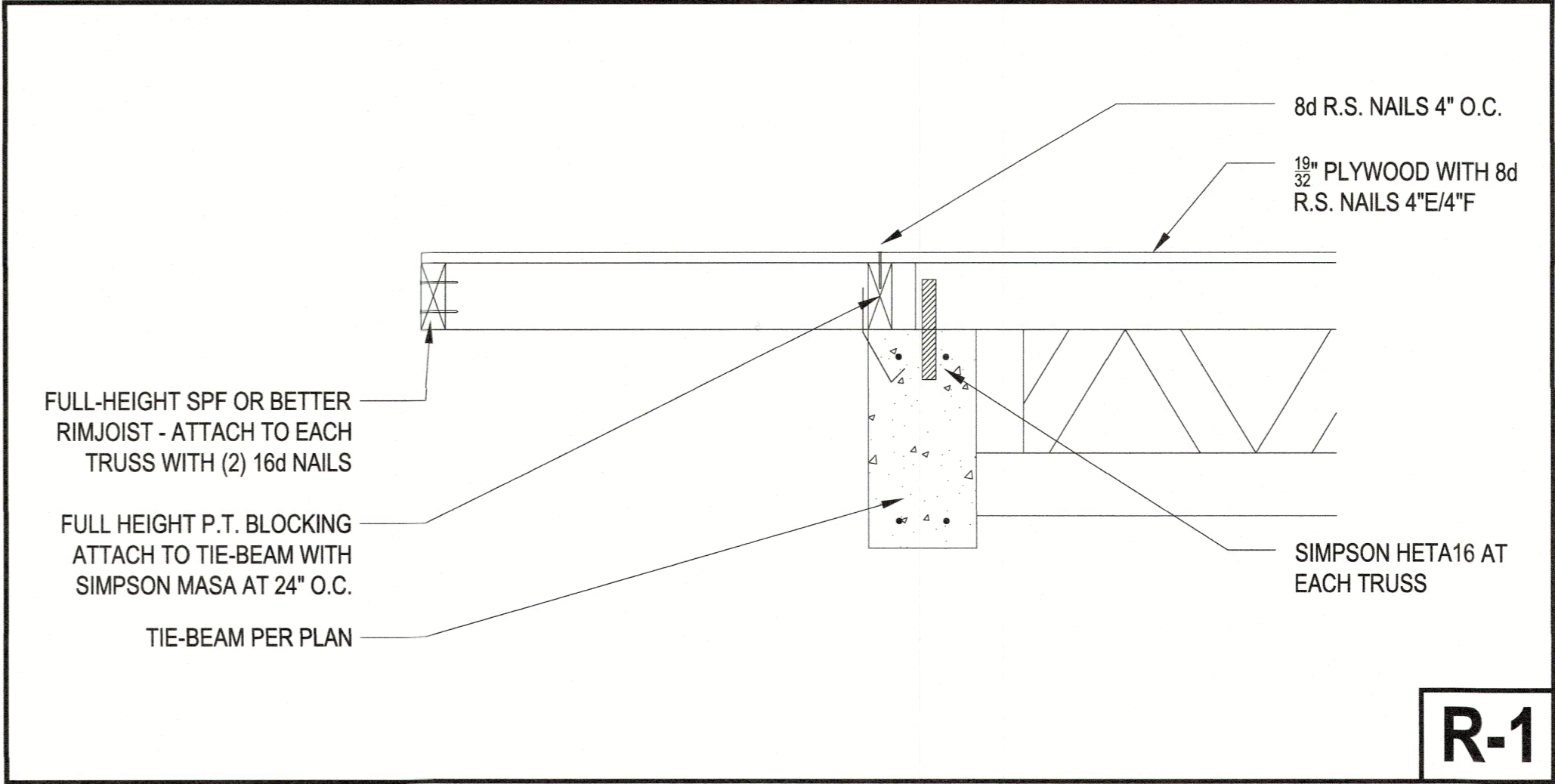
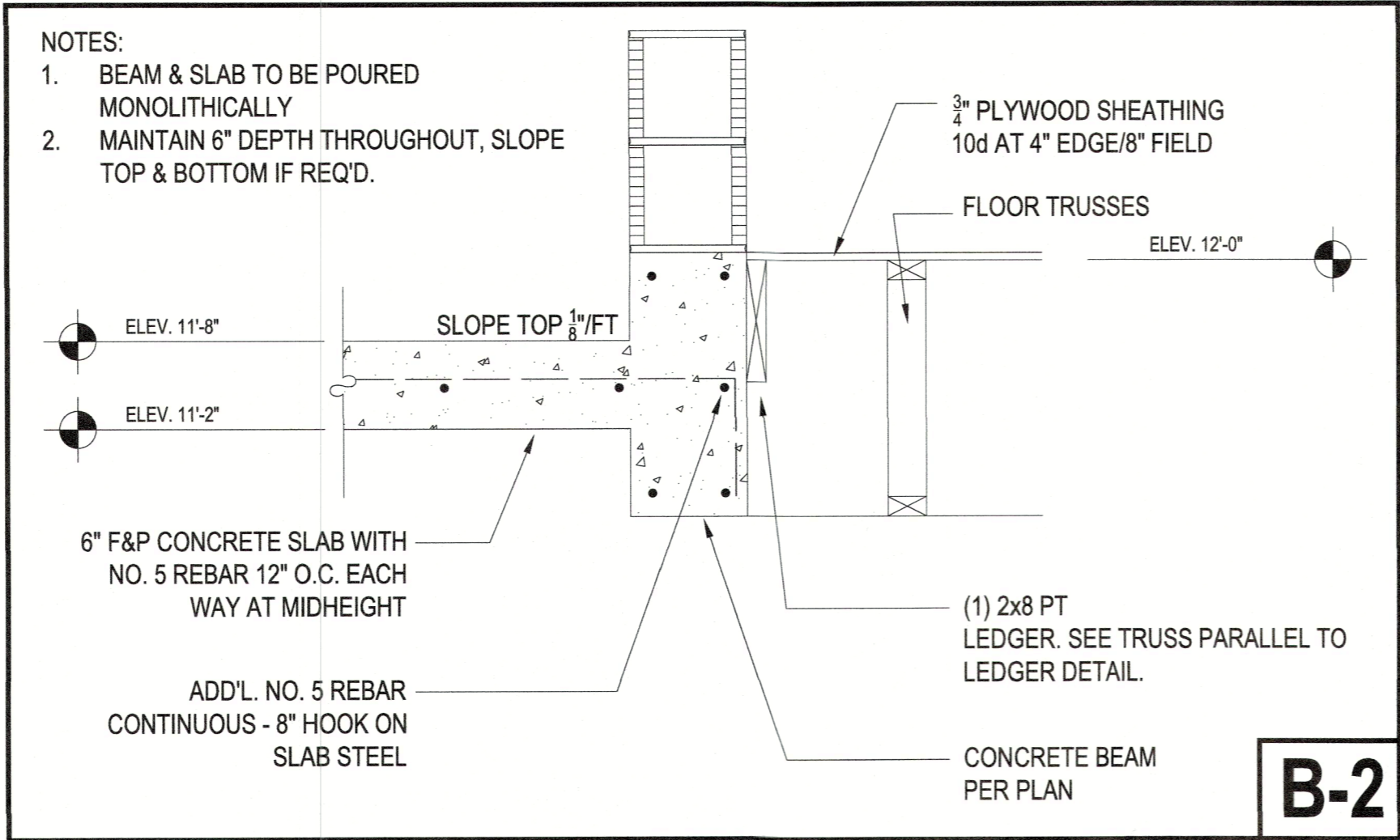
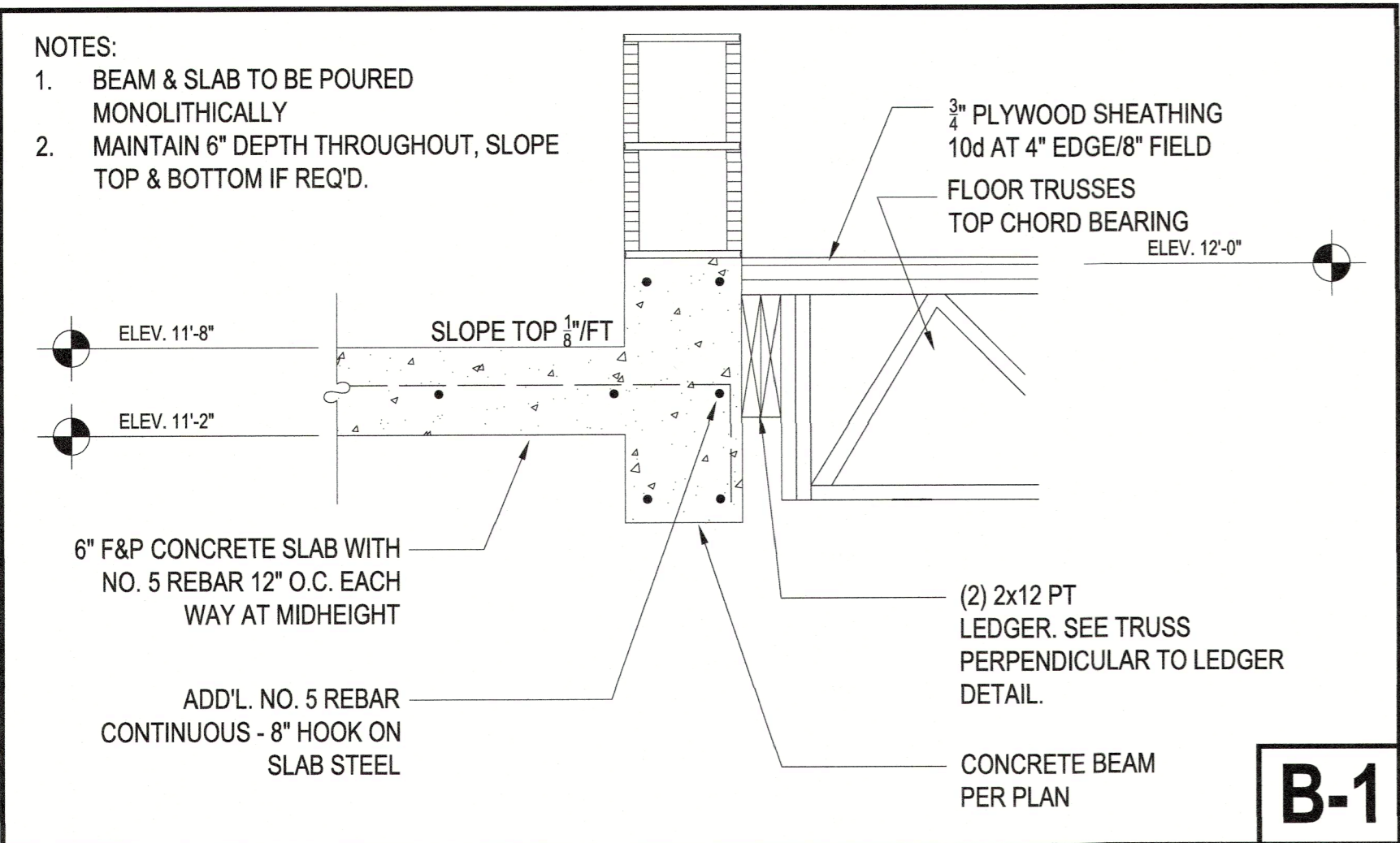
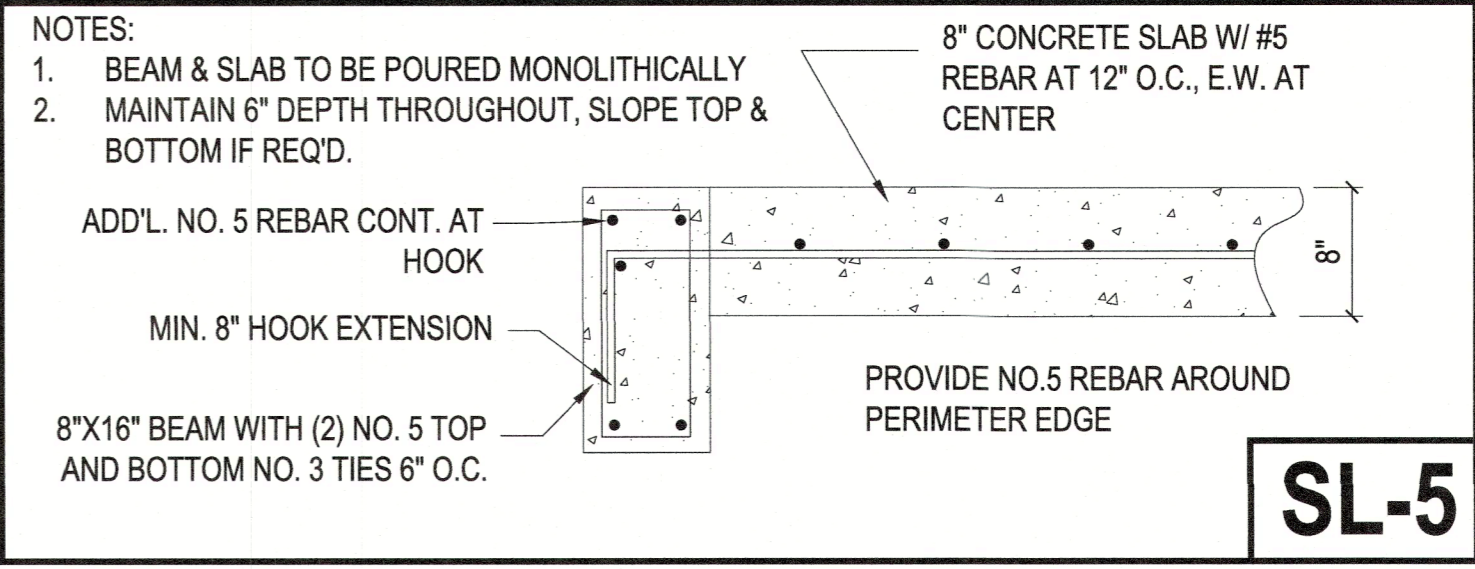
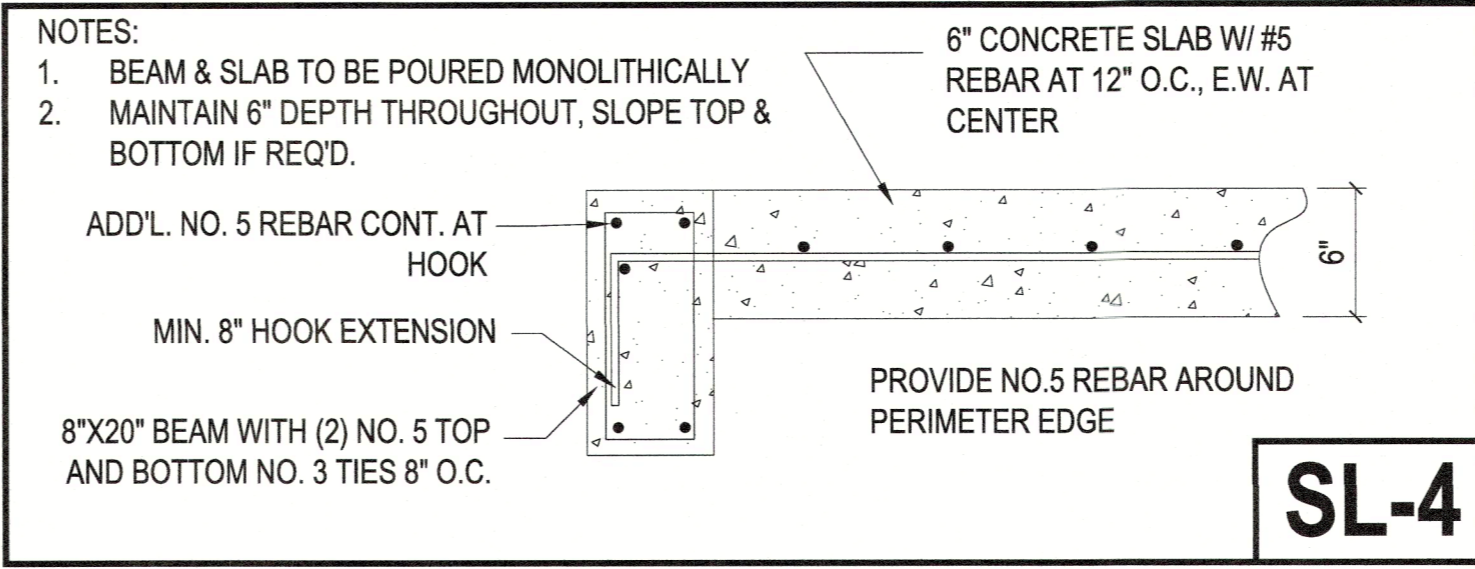
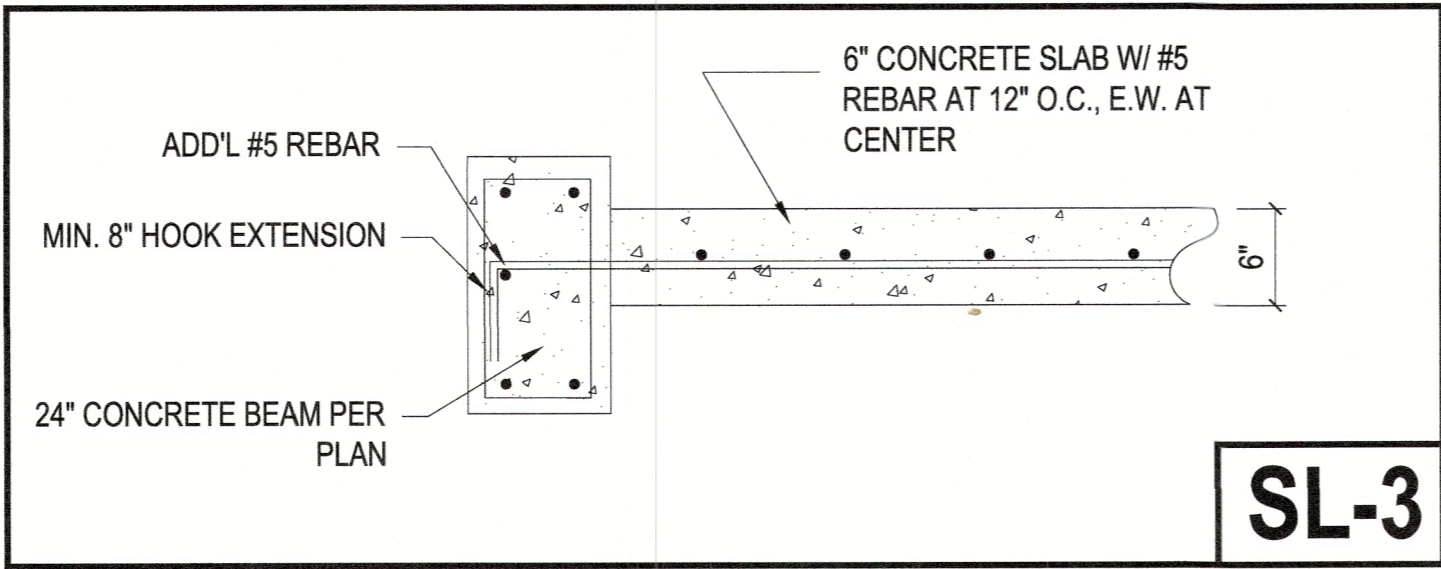
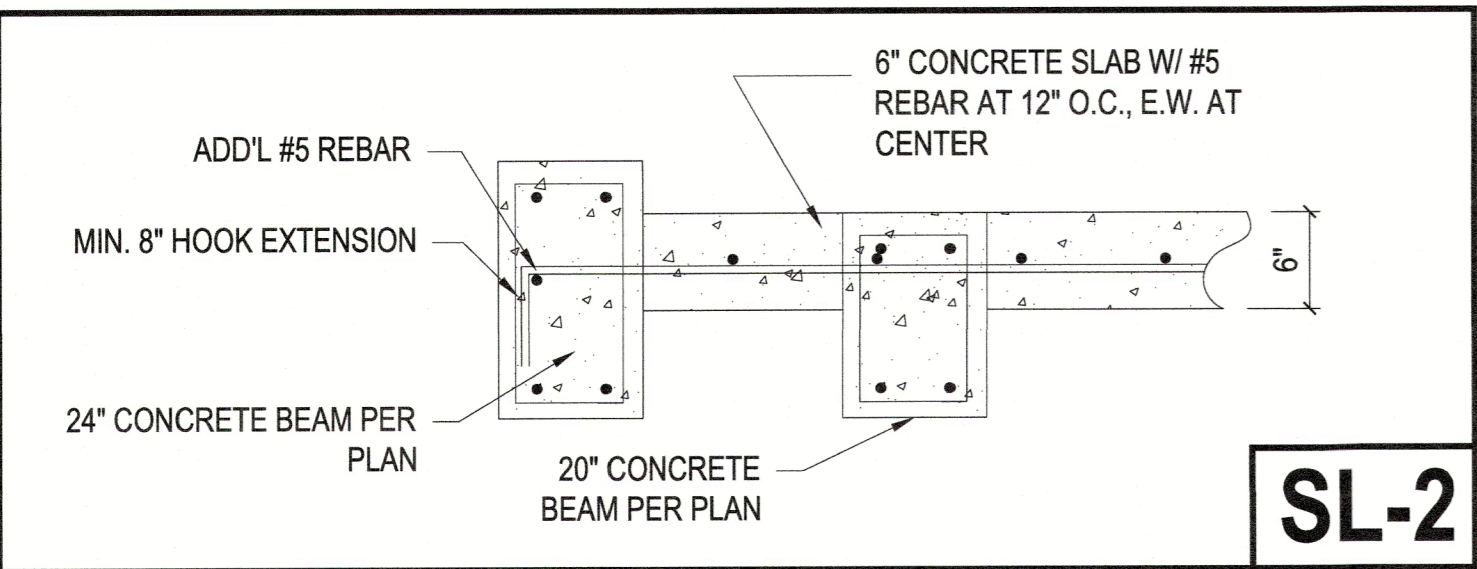
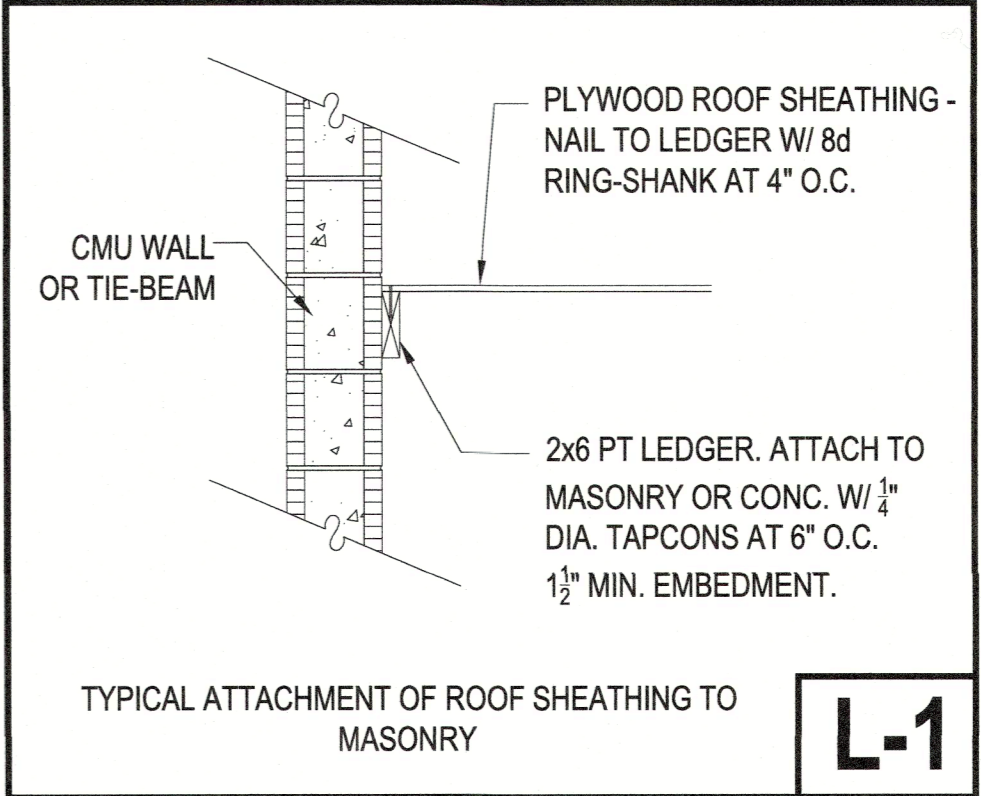
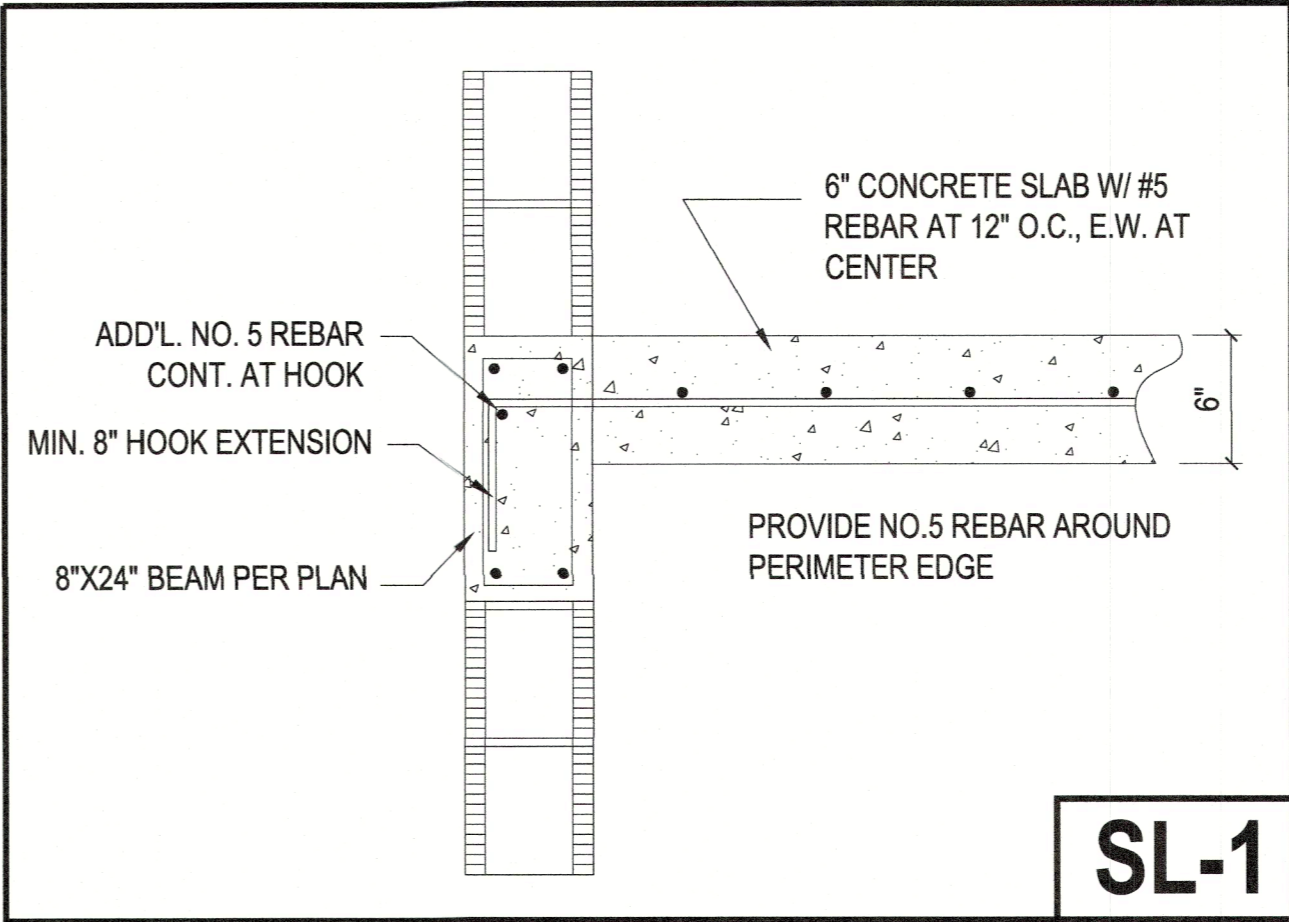
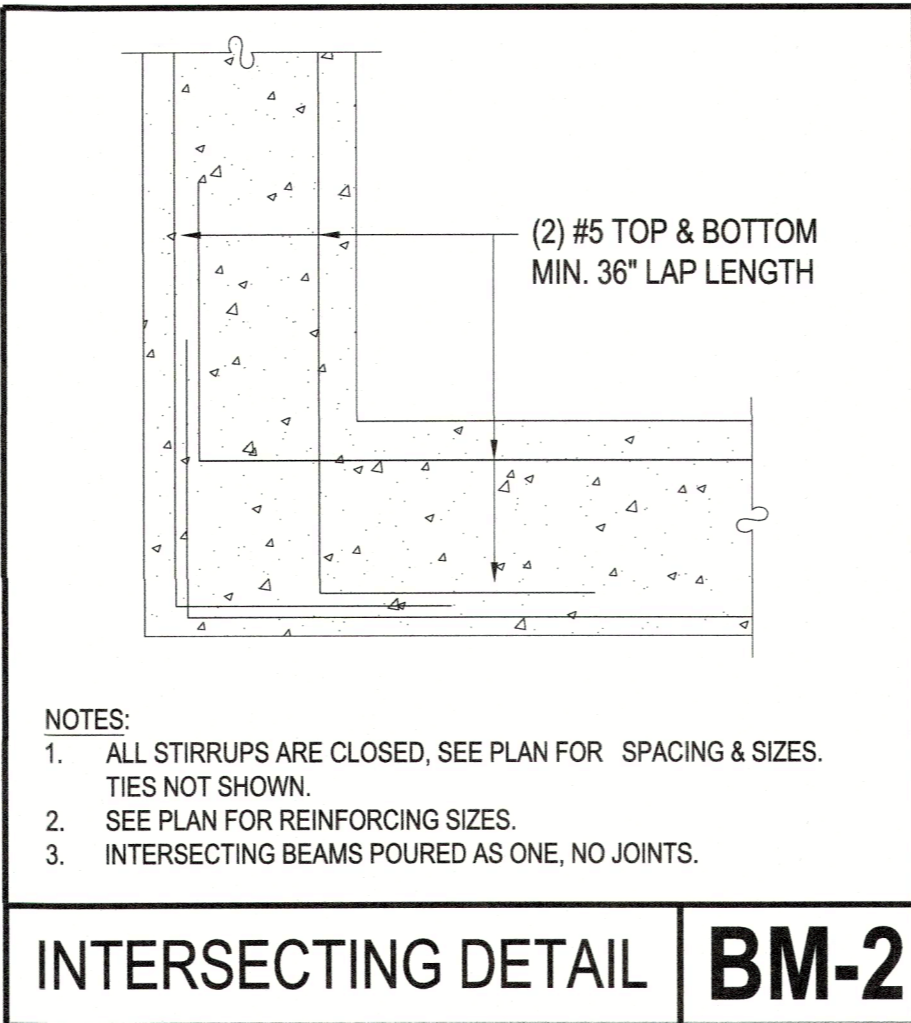
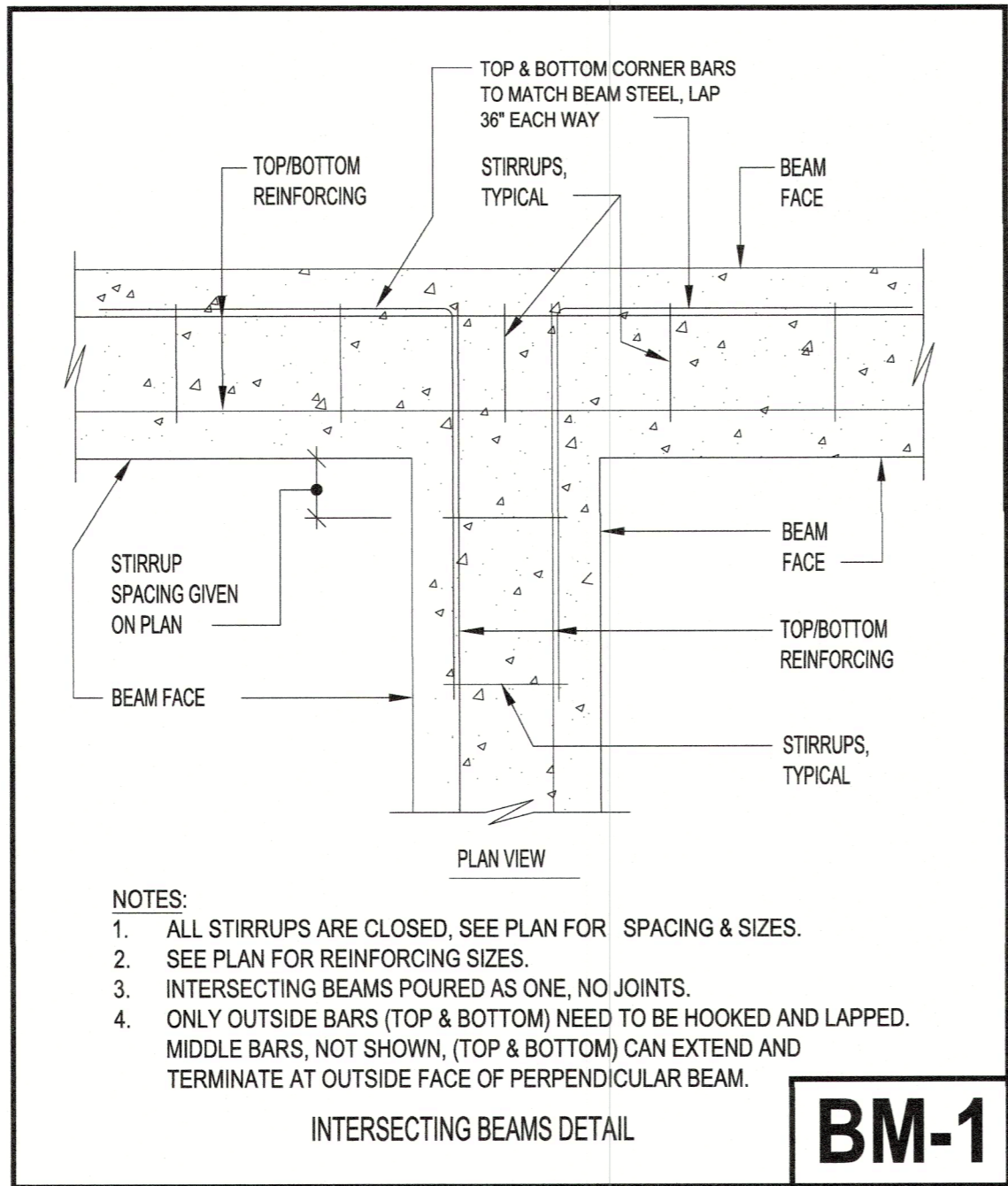
**STRUCTURAL DETAILS**  
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# THE MARTERIE RESIDENCE

## AS-BUILT PLAN SET

590 DeNarvaez Drive  
Longboat Key, Florida 34228

Dated: 4/18/24

### INDEX

<u>SHEET</u>	<u>DESCRIPTION</u>
LS-AB	As-Built Landscape
HS-AB	As-Built Hardscape
L-AB	As-Built Lighting
DR-AB	As-Built Drainage
IR-1	Irrigation







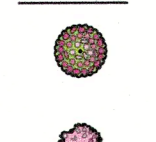
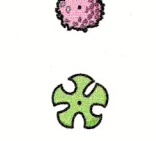









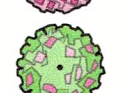
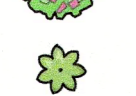



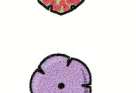


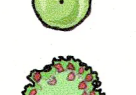
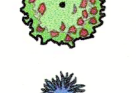

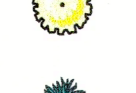



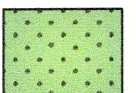
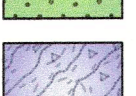
4370 Woodview Drive    phone: 941.374.8304  
Sarasota, Florida 34232    fax: 941.488.6236

DennisBarthLA@GMail.com  
FL RLA License #0001613

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Landscape Architect  
DESIGN • CONSULT • MANAGEMENT  
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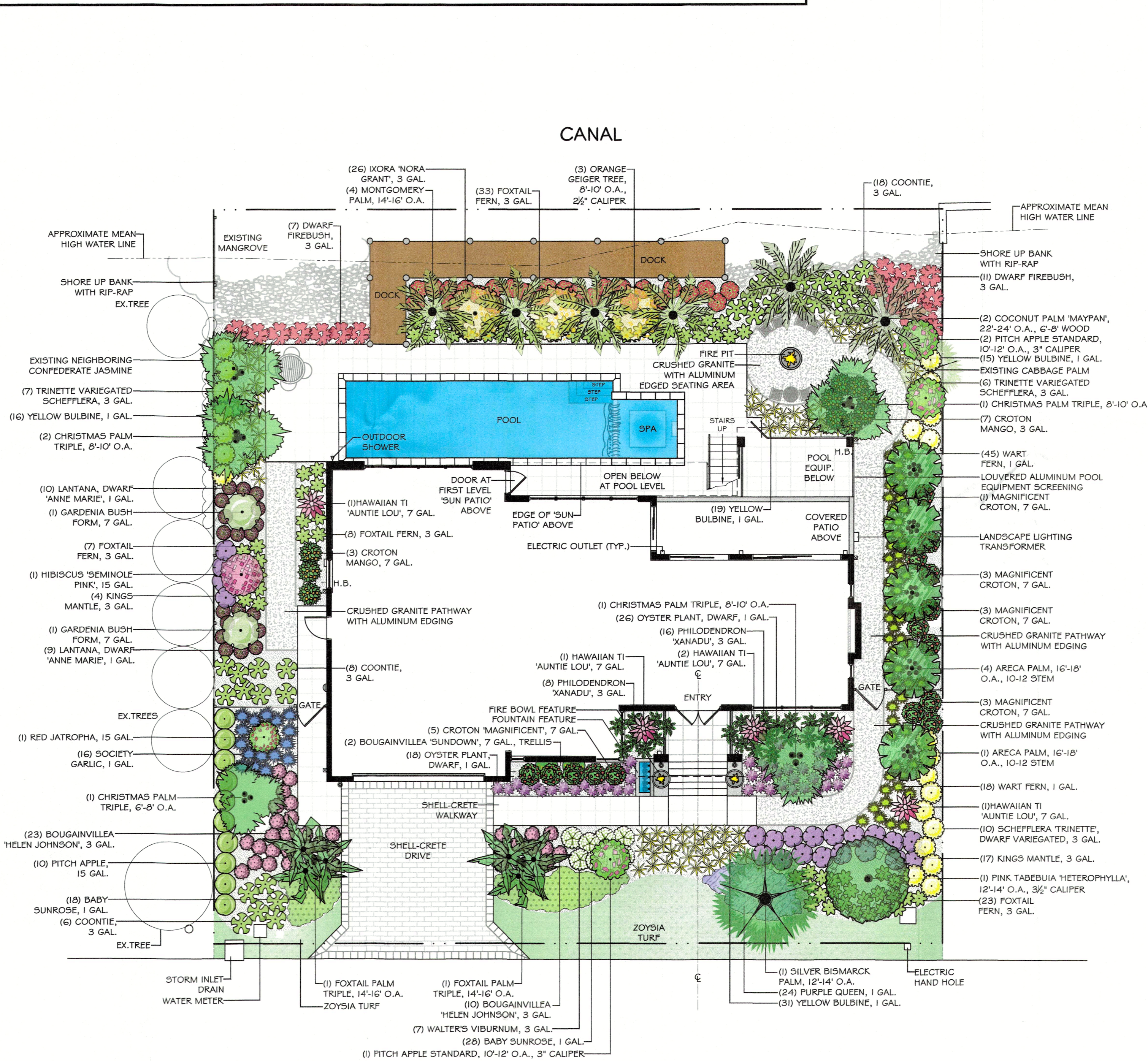
PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	OVERALL SIZE
	BS	1	SILVER BISMARK PALM / BISMARKIA NOBILIS 'SILVER'	12'-14" O.A.
	AM	5	CHRISTMAS PALM TRIPLE / ADONIDIA MERRILLII	6'-8" O.A.
	CN	2	COCONUT PALM / COCOS NUCIFERA 'MAYPAN'	6'-7" CLEAR WOOD
	VA	4	MONTGOMERY PALM / VEITCHIA ARECINA	14'-16" O.A.
	TH	1	PINK TABEBOUIA / TABEBOUIA HETEROPHYLLA	12'-14" O.A., 3 1/2" CALIPER
	CS	3	ORANGE GEIGER TREE / CORDIA SABASTENA	8'-10" O.A., 2 1/2" CALIPER
	WB	2	FOXTAIL PALM TRIPLE / WODYETIA BIFURCATA	14'-16" O.A.
	DL	5	ARECA PALM / DYPSSIS LUTESCENS	16'-18" O.A., 10-12 STEM
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	GALLON SIZE
	LA	19	ANNE MARIE LANTANA / LANTANA CAMARA 'ANNE MARIE'	1 GAL.
	BH	33	BOUGAINVILLEA, DWARF 'HELEN JOHNSON' / BOUGAINVILLEA X 'HELEN JOHNSON'	3 GAL.
	ZI	32	COONTIE / ZAMIA INTEGRIFOLIA	3 GAL.
	CM	15	CROTON 'MAGNIFICENT' / CODIAEUM VARIEGATUM 'MAGNIFICENT'	7 GAL.
	CM2	3	CROTON 'MANGO' / CODIAEUM VARIEGATUM 'MANGO'	7 GAL.
	CM3	7	CROTON 'MANGO' / CODIAEUM VARIEGATUM 'MANGO'	3 GAL.
	HAM COM	18	DWARF FIREBUSH / HAMELIA PATENS 'COMPACTA'	3 GAL.
	TD2	44	DWARF OYSTER PLANT / TRADESCANTIA SPATHACEA 'DWARF'	1 GAL.
	HA	1	'SEMINOLE PINK' HIBISCUS / HIBISCUS ROSA-SINENSIS 'SEMINOLE PINK'	15 GAL.
	CA3	3	PITCH APPLE STANDARD / CLUSIA ROSEA	10'-12" O.A., 3" CAL.
	AD	71	FOXTAIL FERN / ASPARAGUS DENSIFLORUS 'MYERS'	3 GAL.
	GJ	2	GARDENIA, BUSH FORM / GARDENIA JASMINOIDES	7 GAL.
	CA	5	HAWAIIAN TI 'AUNTIE LOU' / CORDYLINE FRUTICOSA 'AUNTIE LOU'	7 GAL.
	IN	26	IXORA 'NORA GRANT' / IXORA COCCINEA 'NORA GRANT'	3 GAL.
	TE	21	KING'S MANTLE / THUNBERGIA RECTA	3 GAL.
	PX	24	PHILODENDRON 'XANADU' / PHILODENDRON X 'XANADU'	3 GAL.
	CA2	10	PITCH APPLE, 15 GAL. / CLUSIA GUTTIFERA	15 GAL.
	JJ	1	RED JATROPHA, BUSH FORM / JATROPHA INTEGERRIMA	15 GAL.
	TV	16	SOCIETY GARLIC, 1 GAL. / TULBAGHIA VIOLACEA	1 GAL.
	ST	25	TRINETTE VARIEGATED SCHEFFLERA / SCHEFFLERA ARBORICOLA 'TRINETTE'	3 GAL.
	WF	62	WART FERN / MICROSORUM SCOLOPENDRIA	1 GAL.
	BY	84	YELLOW BULBINE, 1 GAL. / BULBINE FRUTESCENS 'YELLOW'	1 GAL.
	VO	7	WALTER'S VIBURNUM / VIBURNUM OBOVATUM	3 GAL.
	VO	2	BOUGAINVILLEA 'SUN-DOWN', TRELLIS / BOUGAINVILLEA X	15 GAL.
SHRUB AREAS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
	AC	46	BABY SUNROSE, 1 GAL. / APTENIA CORDIFOLIA	1 GAL.
	TP	24	PURPLE QUEEN / TRADESCANTIA PALLIDA 'PURPLE QUEEN'	1 GAL.

PLANT SCHEDULE CONT'D

TURF	QTY.	TYPE	WALK WAY AGGREGATE	QTY.	TYPE
	800 SQ. FT.	ZOYSIA		4-1/2 YRDS.	CRUSHED GRANITE
TOP SOIL AREA	QTY.	TYPE	RIP-RAP	QTY.	TYPE
	25 YRDS.	TREE/SHRUB MIX		4 YRDS.	
MULCH	QTY.	TYPE	FERTILIZER		
	280 3 CU. FT. BAGS	GRADE 'A' CYPRESS			
EDGING	QTY.	TYPE			
	215 LIN. FT.	BLACK ALUMINUM			

-CONTRACTOR SHALL PROVIDE A PROPER MIX WITH REGARD TO SITE SPECIFIC CONDITIONS  
-SEE LANDSCAPE 'GENERAL NOTES' FOR MORE INFORMATION



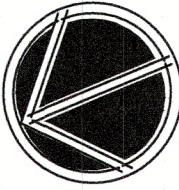
DE NARVAEZ DRIVE

GENERAL NOTES:

- ANY DISCREPANCIES IN PLANT COUNT OR SQUARE FOOTAGE IN BED SIZES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE # ONE OR BETTER AS DEFINED IN "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE PLANT BOARD OF FLORIDA. PLANT MATERIAL NOTED AS "SPECIMEN" SHALL BE FLORIDA GRADE.
- ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE INDICATED ON THE PLAN AND/OR PROPOSAL. IF PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE PROPOSED ALTERNATE SIZE AND OR SUBSTITUTIONS MAY BE REQUIRED WITH OWNERS APPROVAL. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT SHALL BE AS NOTED ON PLAN/PROPOSAL.
- ANY BUILDING CONSTRUCTION/FORIGN MATERIAL LEFT BY THE RESPECTIVE CONTRACTOR SHALL BE REMOVED FROM PLANTING AREAS AND REPLACED WITH ACCEPTABLE SOIL.
- ALL TREES AND PALMS EIGHT FEET IN HEIGHT AND OVER SHALL BE STAKED ACCORDING TO THE BEST PRACTICES STANDARD STAKING. ALL NON-BIODEGRADABLE WRAPPING SUCH AS TWINE WIRE OR NYLON CORD SHALL BE REMOVED FROM THE TREE ROOT BALL PRIOR TO PLANTING. TOP OF TREE ROOT BALL SHALL BE PLANTED FLUSH WITH EXISTING GRADE.
- MULCH ALL MULCHING BEDS WITH GRADE "A" SHREDDED CYPRESS OR EQUAL TO A MINIMUM DEPTH OF TWO INCHES. IN AREAS OF EXISTING MULCH THE MULCH SHALL BE TAKEN UP AND REPLACED WITH THE NEW.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATED WASTE MATERIAL, DEBRIS AND RUBBISH. ALL SOD REMOVED FOR PLANTING BED LOCATIONS SHALL BE REMOVED FROM SITE.
- THE LANDSCAPE CONTRACTOR SHALL FULLY INSPECT AND FAMILIARIZE THEMSELVES WITH THE SITE AND ALL WORK CONDITIONS SO AS TO INCLUDE IN THEIR PROPOSAL A COST FOR ALL PLANT REMOVALS, TRANSPLANTS, SOD ADJUSTMENTS, DEBRIS REMOVAL, FINISH GRADING AND ANY OTHER CONDITIONS THAT MAY WARRANT LABOR FEES.
- INSTALL ALL "GROUND COVER" PLANTS EIGHTEEN INCHES AND ALL "SHRUBS" TWENTY-FOUR INCHES AWAY FROM EDGES OF ALL WALKS, DRIVEWAYS, TERRACE WALLS AND ADJOINING PLANTING BED EDGES.
- TREE REMOVAL SHALL INCLUDE BACKFILLING OF HOLES TO A LEVEL FLUSH WITH EXISTING GRADE. ALL EXCESS MATERIAL SHALL BE REMOVED FROM SITE.
- SITE PREPARATION SHALL INCLUDE WEED REMOVAL, REMOVAL OF PATCHES OF GRASS, CLEANUP OF ANY DEAD MATERIAL AND FINISH GRADING.
- PLANTING SOIL MIX SHALL BE USED IN SEASONAL PLANTING BEDS ONLY. TOP SOIL SHALL BE USED IN ALL OTHER BED AREAS.
- A COMMERCIAL GRADE GRANULAR HERBICIDE SHALL BE USED IN ALL PLANTING BEDS TO DETER WEED GROWTH. FOLLOW APPLICATION RATE BY MANUFACTURER.
- ALL PLANT MATERIAL SHALL RECEIVE A COMMERCIAL GRADE FERTILIZER AS FOLLOWS:  
SHRUBS -  
GROUNDCOVER - 12-6-8 (OR EQUAL)  
PALMS - 13-3-13 (OR EQUAL)  
TREES - 12-6-8 (OR EQUAL)  
APPLICATION RATE SHALL BE AS SPECIFIED BY MANUFACTURER.
- FINAL GRADE SHALL BE ESTABLISHED BY THE GRADING CONTRACTOR TO ± TWO INCHES. SURFACE DRAINAGE SHALL BE SET BY THE GRADING CONTRACTOR. WITH THE ADDITION OF TOPSOIL AND/OR BERMING BY THE LANDSCAPE CONTRACTOR POSITIVE DRAINAGE SHALL BE MAINTAINED AS SPECIFIED BY THE GRADING CONTRACTOR.
- SUB-SURFACE DRAINAGE FROM GUTTER DOWNSPOUTS, CORRUGATED PIPE, CATCH BASINS, TRENCH DRAINS AND ANY OTHER APPURTENANCES SHALL BE THE RESPONSIBILITY OF AND PROVIDED BY THE GRADING CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- IRRIGATION SCHEDULING SHALL BE REDUCED BY OWNER TO APPROXIMATELY TWO DAYS PER WEEK AFTER PLANT MATERIAL BECOMES ESTABLISHED. IRRIGATION SCHEDULING SHALL BE IN ACCORDANCE WITH ALL COUNTY AND/OR CITY CODE AND ORDINANCE.
- EXISTING PLANT MATERIAL PROPOSED FOR RELOCATION ON SITE SHALL NOT BE WARRANTED UNLESS OTHERWISE AGREED UPON AND/OR SPECIFIED.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN SATISFACTORY GROWTH FOR A PERIOD OF TWELVE MONTHS EXCLUDING CITRUS AND ANNUALS OF WHICH ARE WARRANTED FOR THIRTY DAYS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL DUE TO THEFT, IMPROPER MAINTENANCE, VANDALISM, WIND, FREEZE OR ANY OTHER UNUSUAL ACTS OF GOD.
- THIS PLAN DEPICTS TO THE BEST OF MY KNOWLEDGE THE AS-BUILT CONDITIONS OF SAID PROPERTY.

sheet number

LS-AB

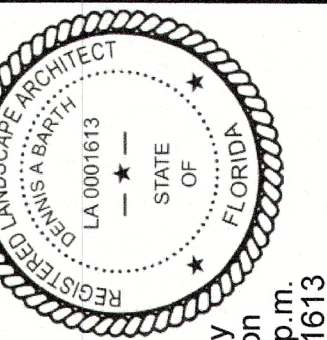


scale: 1" = 10'-0"

design: d. barth  
drawn: t. quilland  
date: 4-18-24  
revised: 4-18-24 as bilt-tg.

site information taken from  
boundary and location  
survey provided by:  
JIM AMBERGEE LAND  
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941-955-6333  
#1B7649

An As-Built Landscape Plan for:  
**THE MARTERIE RESIDENCE**  
590 De Narvaez Drive  
Longboat Key, Florida 34228



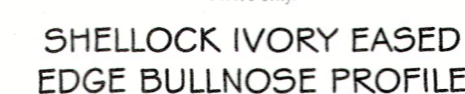
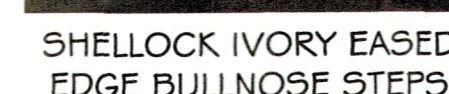
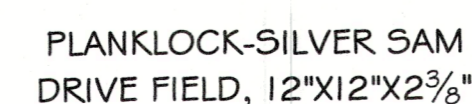
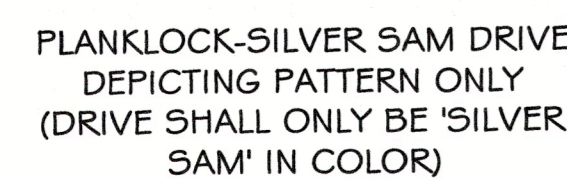
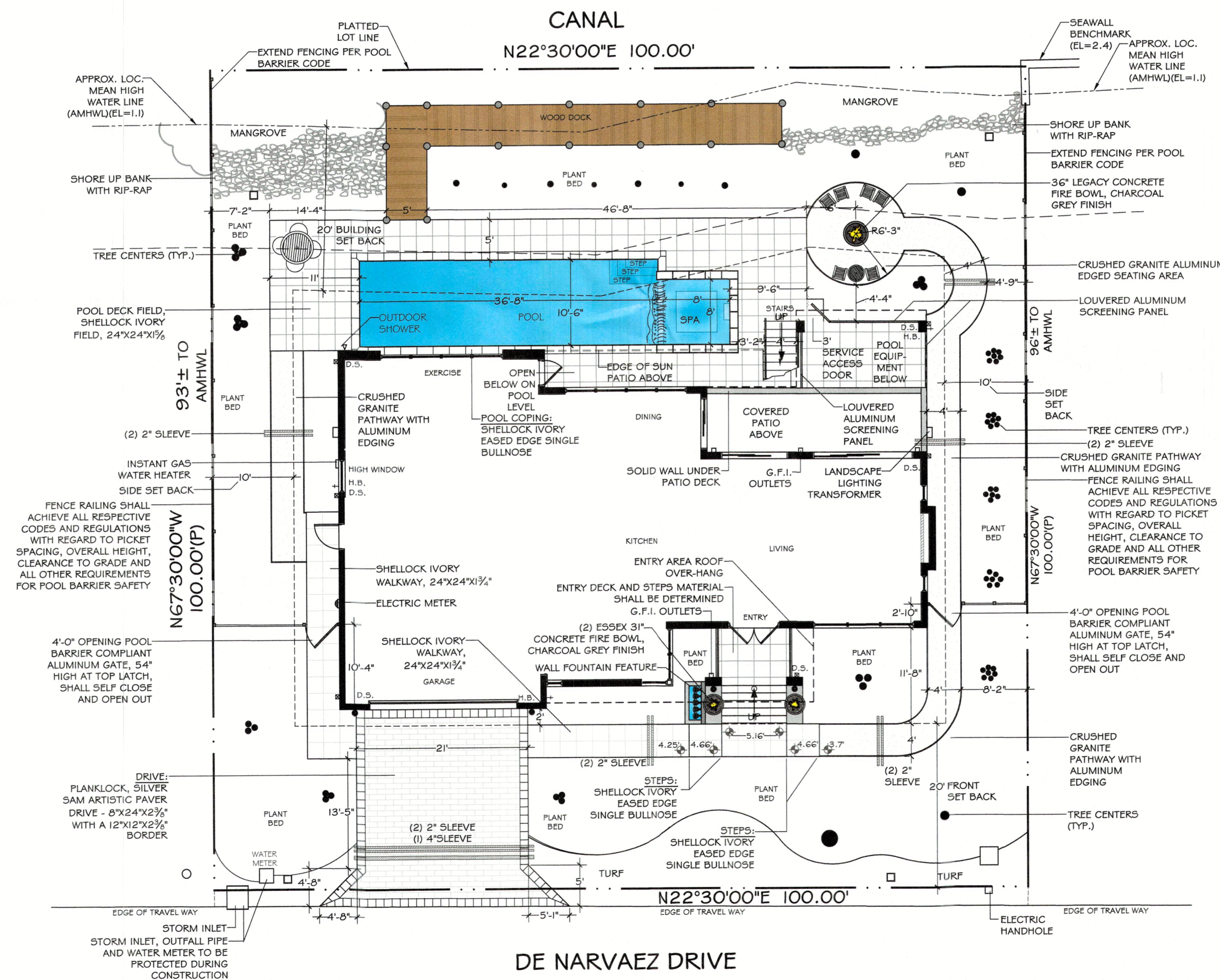
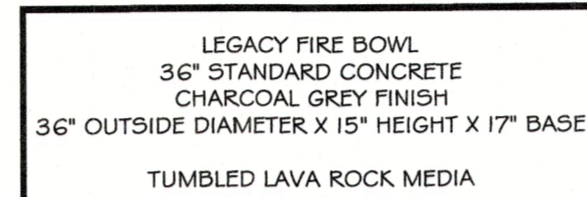
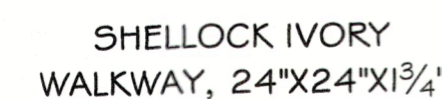
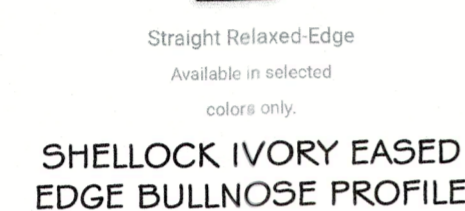
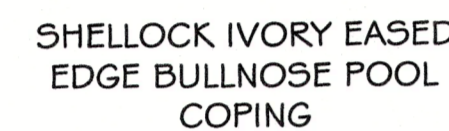
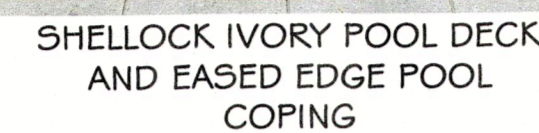
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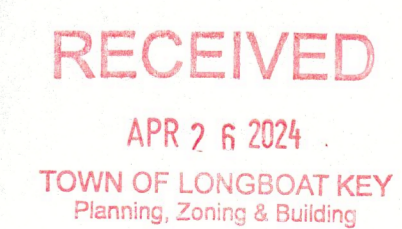
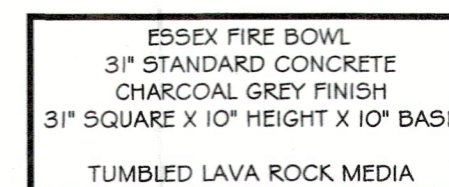
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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building





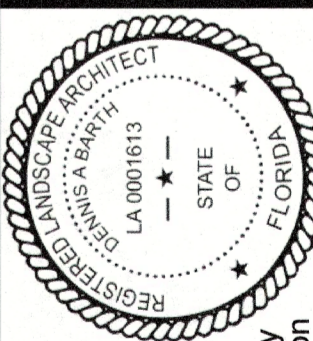
TOWN OF LONGBOAT KEY SINGLE FAMILY COVERAGE CALCULATIONS: ZONING				
LOT COVERAGE CALCULATION				
		IN SQUARE FEET		
		EXISTING	THIS PERMIT	BY OTHERS
1.0	NON-POOL/SPA AREAS			
	RESIDENTIAL STRUCTURE (FROM EXTERIOR WALLS/COLUMNS)	2,839		
	GARAGE/CARPORT (NOT UNDER HOUSE)			
	ROOF EAVE OVERHANG (EXCEEDING 3" IN DEPTH OR OVER USABLE AREAS)	36		
	FRONT ENTRY & FRONT STAIRS (ROOFED AND UNROOFED)	54.4		
	REAR ENTRY & REAR STAIRS (ROOFED AND UNROOFED)	32		
	ROOFED PORCH, LANAI AND/OR CAGED ROOM, SCREENED ROOM			
	RAISED DECK OR TERRACE (>6" ABOVE FINISHED GRADE)			
	ELEVATED MECHANICAL EQUIPMENT PAD (I.E. A/C, POOL)			
	ACCESSORY STRUCTURE (I.E. GATE HOUSE, CLUB HOUSE, SHED, GAZEBO, ETC.)			
	OTHER BUILDINGS/STRUCTURES/IMPROVEMENTS (>6" ABOVE FINISHED GRADE)			
1.1	TOTAL NON-POOL/SPA AREAS	2,961.4		
2.0	ELEVATED /CAGED POOL/SHOP AREAS (INCLUDING STAIRS)			
3.0	SUBTOTAL LOT COVERAGE SQUARE FOOTAGES (LINES 1.1 + 2.0)	2,961.4		
3.1	TOTAL LOT COVERAGE SQUARE FOOTAGE (SUM OF "EXISTING", "THIS PERMIT" AND "BY OTHERS" IN LINE 3.0)	2,961.4 SQ. FT.		
4.0	TOTAL LOT COVERAGE PERCENTAGE	2,961.4 SQ. FT. (LINE 3.1) ÷ 10,000 SQ. FT. (LOT SIZE) = 29.6%		
COVERAGE				
NON-OPEN SPACE CALCULATION				
		EXISTING	THIS PERMIT	BY OTHERS
5.0	AT-GRADE IMPROVEMENTS			
	DRIVEWAY/PARKING AREAS (AS PER SITE PLAN) (ALL SURFACE TYPES)	470		
	DESIGNATED WALKWAYS/SIDEWALKS (AS PER SITE PLAN) (ALL SURFACE TYPES)	276		
	IMPERMEABLE PATIOS, SLABS, ETC.			
	IMPERMEABLE POOL DECK (AT GRADE)	531		
	POOL/SPA SHELL (AT GRADE)	513		
	MECHANICAL EQUIPMENT PADS (I.E. A/C, POOL) (AT GRADE)			
	OTHER IMPERVIOUS SURFACE (AT GRADE) FOUNTAIN FEATURE AT FRONT ENTRY	13		
6.0	TOTAL AT-GRADE SQUARE FOOTAGE (SUM OF "EXISTING", "THIS PERMIT" AND "BY OTHERS" IN 5.0)	1,803 SQ. FT.		
7.0	TOTAL NON-OPEN SPACE SQUARE FOOTAGE (LINES 3.1+6.0)	2,961.4 + 1,803 = 4,764.4		
8.0	TOTAL NON-OPEN SPACE PERCENTAGE (LINE 7 ÷ LOT SIZE)	4,764.4 ÷ 10,000 = 47.6% TOTAL COVERAGE		



An As-Built Hardscape Plan for:

## THE MARTERIE RESIDENCE

590 De Narvaez Drive  
Longboat Key, Florida 34228

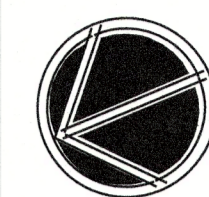


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FL License #0001613

**DENNIS A BARTH**  
Landscape Architect  
DESIGN + CONSULT + MANAGEMENT

sheet number

# HS-AB



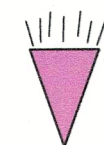
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date: 4.18.23  
revised: 4.18.24-as hlt -t a

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LIGHTING LEGEND



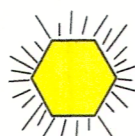
UP LIGHT  
(12) VS LED UPLIGHT -  
FX LUMINAIRE -  
VS-2D-3LED-LS-NP -  
3LED, 7.7 WATT (9.3 VA)  
PHOTOMETRY - 45°  
ANGLED LONG SHROUD -  
NICKEL PLATED FINISH



UP LIGHT  
(3) VS LED UPLIGHT -  
FX LUMINAIRE -  
VS-2D-3LED-LS-NP -  
3LED, 4.0 WATT (4.4 VA)  
PHOTOMETRY - 45°  
ANGLED LONG SHROUD -  
NICKEL PLATED FINISH



UP LIGHT  
(6) FX UP LIGHT -  
FX LUMINAIRE - LC-6LED-NP -  
6LED, 7.7 WATT (9.3 VA)  
PHOTOMETRY - BRASS  
CONSTRUCTION AND NICKEL  
PLATED FINISH



PATH LIGHT  
(17) FX PATH LIGHT -  
FX LUMINAIRE -  
CALEDIA-NP-G-3LED-18RA-NP  
- 4.0 WATT (4.4 VA) WITH  
18" GROUND STAKE AND  
NICKEL PLATED FINISH



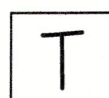
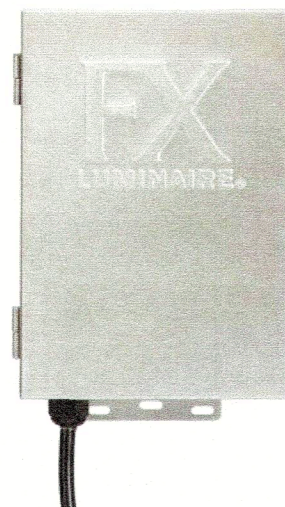
WASH LIGHT  
(2) FX WASH LIGHT -  
FX LUMINAIRE -  
PB-3LED-NP - 3LED, 4.0  
WATT (4.4 VA)  
PHOTOMETRY - BRASS  
CONSTRUCTION AND



FINISH SHALL  
BE THIS  
(NICKEL PLATE)



DOCK LIGHT  
(4) FX DOCK LIGHT -  
FX LUMINAIRE -  
MS-1LED-NP - 3LED, 4.0  
WATT (4.4 VA)  
PHOTOMETRY - BRASS  
CONSTRUCTION AND  
NICKEL PLATE FINISH



TRANSFORMER  
(2) FX LOW VOLTAGE  
TRANSFORMER  
FX LUMINAIRE - DX-300-99

LIGHTING LOAD NOTES:

DX-300 TRANSFORMER CAPACITY = 300  
WATTS  
(80% OR 240 WATTS MAX RECOMMENDED LOAD TO  
ALLOW FOR UPGRADES/ADDITIONS)

TOTAL PROJECT FIXTURE LOAD (VOLT  
AMPERES):

(12) VS 6LED UP LIGHTS X 9.3 VA = 111.6 VA  
(5) VS 3LED UP LIGHTS X 4.4 VA = 22 VA  
(17) CALEDIA 3LED PATH LIGHTS X 4.4 VA = 74.8 VA  
(4) LC 6LED UP LIGHTS X 9.3VA = 55.8  
(2) PB 3LED WASH LIGHTS X 4.4VA = 8.8 VA  
(4) MS 1LED DOCK LIGHTS X 2.4VA = 9.6 VA

LIGHTING NOTES:

- LANDSCAPE LIGHTING SHALL BE  
INSTALLED IN ACCORDANCE WITH  
ALL LOCAL, STATE AND FEDERAL  
REGULATIONS AND CODES

- ELECTRICIAN SHALL SUPPLY G.F.I.  
ELECTRICAL OUTLETS WITH BUBBLE  
COVERS AT LOCATIONS DEPICTED  
FOR TRANSFORMERS

- OTHERS SHALL PERFORM  
LANDSCAPE LIGHTING INTEGRATION  
WITH CENTRAL HOME AND/OR  
MOBILE AUTOMATED SYSTEMS

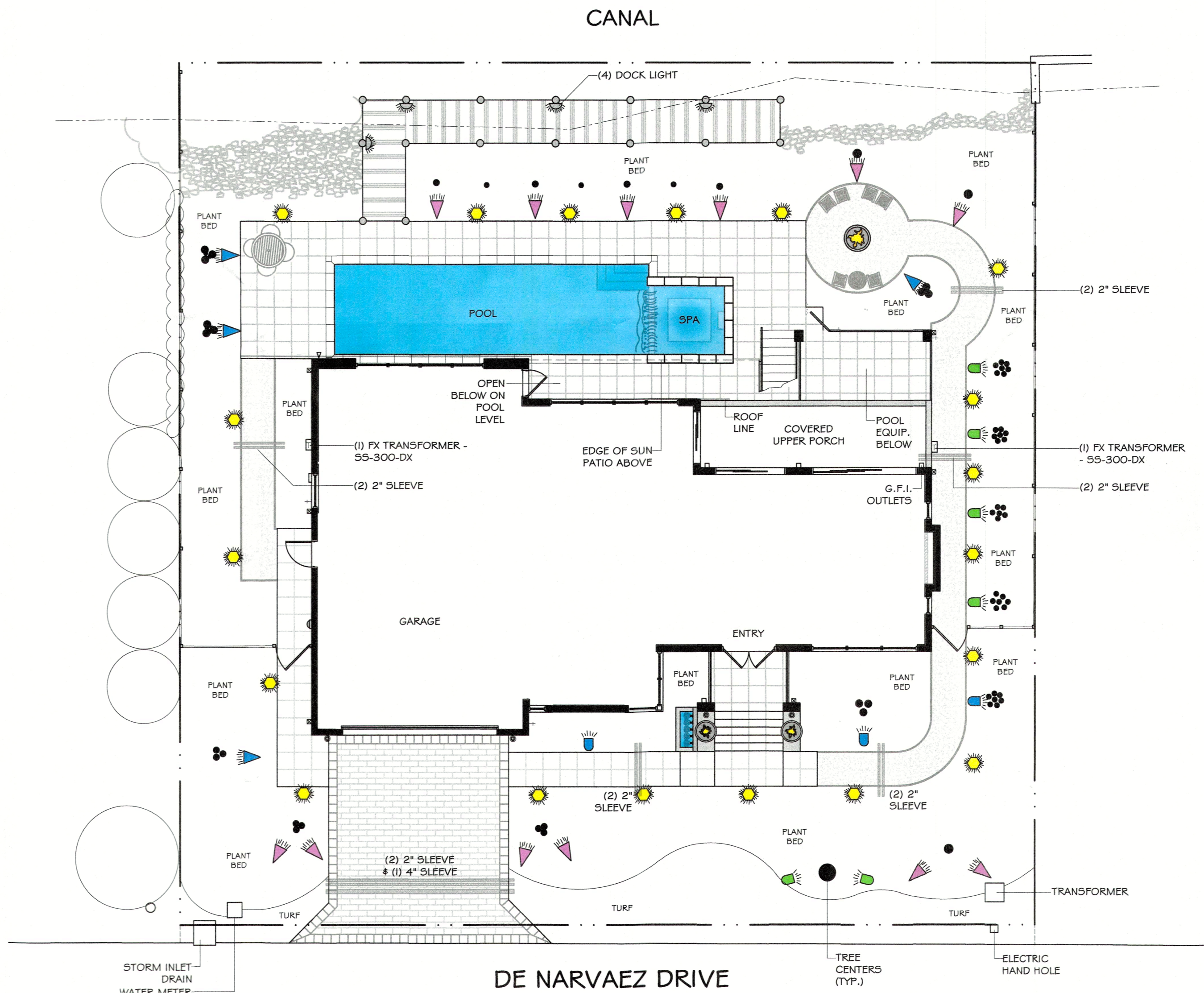
LIGHTING WIRE

- 500 LINEAR FEET - 10-2 GAUGE WIRE  
- 250 LINEAR FEET - 12-2 GAUGE WIRE

SLEEVING

APPROX. 110 LINEAR  
FEET OF 2" SLEEVE

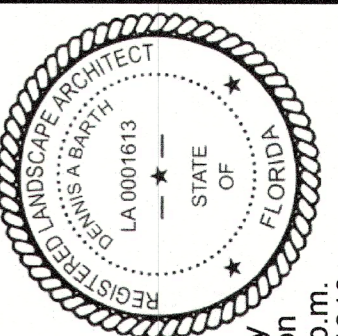
APPROX. 22 LINEAR  
FEET OF 4" SLEEVE



An As-Built Landscape Lighting Plan for:

THE MARTERIE RESIDENCE

590 De Narvaez Drive  
Longboat Key, Florida 34228



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Dennis A. Barth on  
4/18/24 at 12:23 p.m.  
FL License #90001613

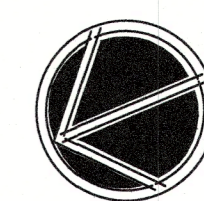


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Site information taken from  
boundary and location  
survey provided by:  
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sheet number

L-AB



scale: 1"=10'-0"

design: d. barth  
drawn: t. quilland  
date: 4.18.24  
revised: 4.18.24 as-blt-1g

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941-955-6333  
#187649

### GENERAL NOTES:

-DRAINAGE PIPING AND ALL APPURTENANCES SHALL BE INSTALLED PRIOR TO POURING ANY AFFECTED CONCRETE AREAS AND STEPS. CONTRACTOR SHALL CONFIRM LOCATIONS OF DOWNSPOUTS, ANY CHANGE IN DOWNSPOUT LOCATION AND ANY ELIMINATION OF DOWNSPOUT LOCATION DEPICTED ON THIS PLAN.

-DOWNSPOUT ADAPTERS SHALL BE INSTALLED AT ALL DOWNSPOUTS

-THE MAXIMUM FRONT YARD SLOPE SHALL BE FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL. SLOPES SHALL BE HELD TO SIX FEET (6') HORIZONTAL TO ONE FOOT (1') VERTICAL, OR FLATTER TO WHEREVER PRACTICAL.

-MAXIMUM SIDE AND REAR SLOPES SHALL BE SIX FEET (6') HORIZONTAL TO ONE FOOT (1') VERTICAL.

-EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED

-WATER FROM ROOF VALLEYS, DOWNSPOUTS, SCUPPERS OR OTHER RAINWATER COLLECTION DEVICES SHALL NOT BE DIRECTED TOWARDS ADJACENT PARCELS OF LAND LOCATED WITHIN TEN FEET (10') OF THE TERMINUS OF SUCH COLLECTION DEVICES.

-ELEVATIONS DEPICTED ARE IN ACCORDANCE WITH THE N.A.V.D. OF 1988

-SURVEY PROVIDED BY: JIM AMBERGER LAND SURVEYING, LLC - SEE TITLE BLOCK

### DRAINAGE PIECES

**PIPE**  (180 LINEAR FEET) - 4 INCH PIPE

#### CATCH BASINS

(2) 18" KITS WITH 1 OUTLET AND A POLY GRATE SHALL INCLUDE:

- (2) NDS 1882 CATCH BASIN
- (2) NDS 1811 GRATE
- (2) NDS 1206 OUTLET PLUG
- PIPE ADAPTOR SIZE:
- (2) NDS 1243 FOR 3-4"

(6) 12" KITS WITH 1 OUTLET AND A GALVANIZED STEEL GRATE SHALL INCLUDE:

- (6) NDS 1200 CATCH BASIN
- (6) NDS 1215 GALVANIZED STEEL
- (6) NDS 1206 OUTLET PLUG
- PIPE ADAPTOR SIZE:
- (6) NDS 1243 FOR 3-4"

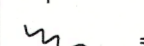

(2) 12" KITS WITH 1 OUTLET AND A POLY GRATE SHALL INCLUDE:

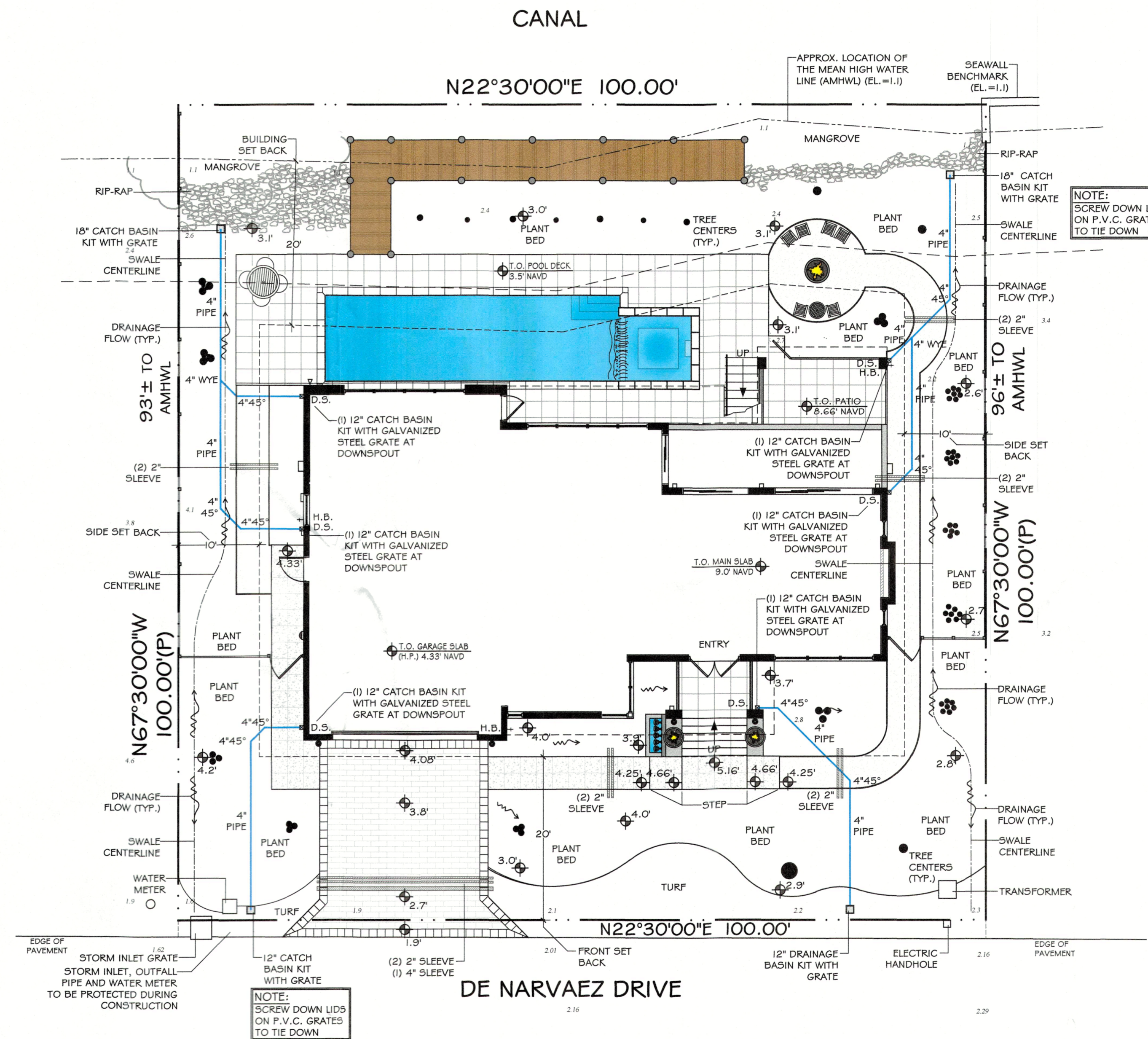
- (2) NDS 1200 CATCH BASIN
- (2) NDS 1212 GRATE GREEN VINYL
- (2) NDS 1206 OUTLET PLUG
- PIPE ADAPTOR SIZE:
- (2) NDS 1243 FOR 3-4"

#### PVC FITTINGS

- (2) - 4 INCH WYE
- (9) - 4 INCH 45°

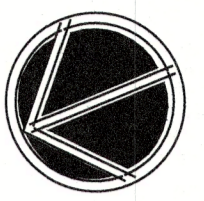
### LEGEND

- 2.8 = EXISTING SPOT ELEVATIONS
- 1.0' = PROPOSED GRADE ELEVATION
-  = DIRECTION OF WATER FLOW
-  = SWALE CENTERLINE



sheet number

DR-AB



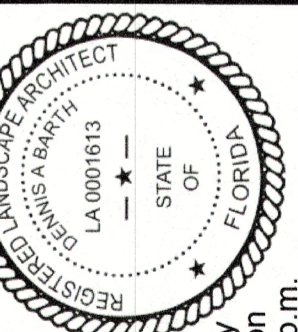
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PLD7649

An As-Built Gutter and Downspout Drainage Plan for:  
**THE MARTERIE RESIDENCE**

590 De Narvaez Drive  
Longboat Key, Florida 34228



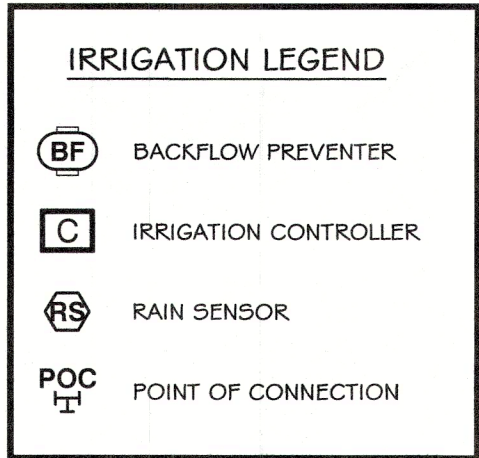
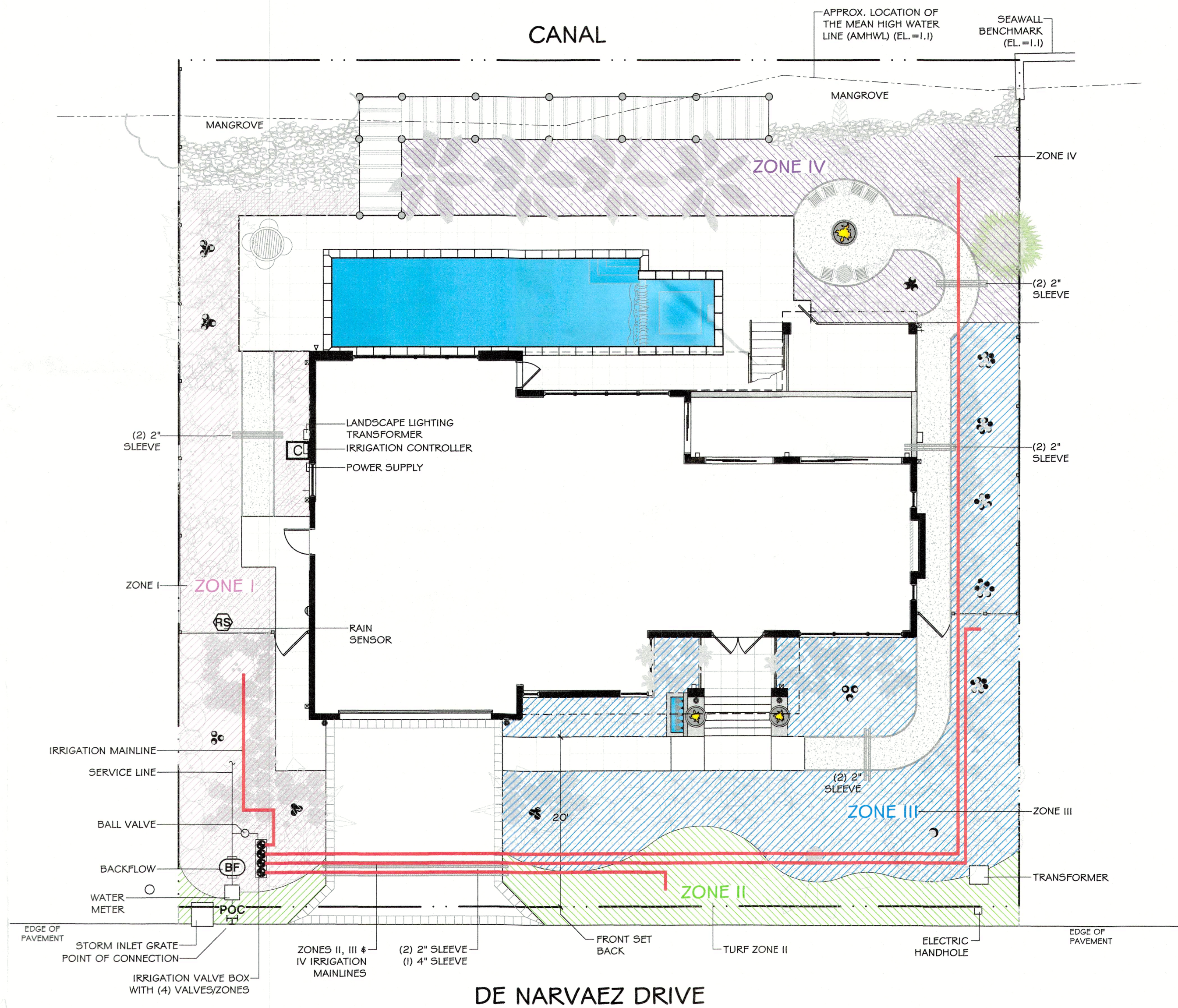
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TOWN OF LONGBOAT KEY  
Planning, Zoning & Building



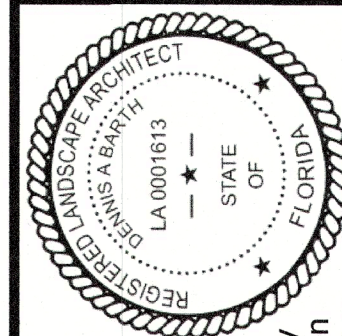
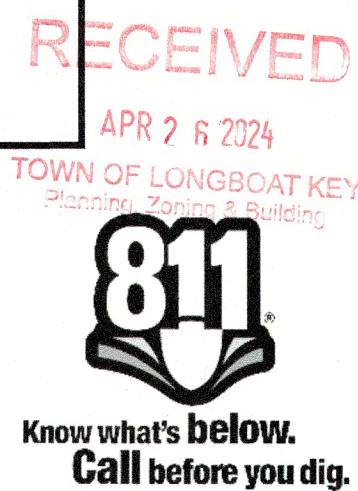
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**ZONE CHART**

PLANT BED AREAS-LOW VOLUME EMITTERS:
3 VALVES
TURF AREAS-POP-UP SPRAY / ROTOR
1 VALVE
<b>TOTAL</b>
4 VALVES

- IRRIGATION NOTES**
- ALL WORK IS TO BE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES
  - ALL UNDERGROUND ELECTRICAL CONNECTIONS ARE TO BE MADE WITH 3-M WIRE CONNECTORS, DBY (DIRECT BURIAL SPLICE KIT)
  - ALL REMOTE CONTROL VALVES ARE TO BE INSTALLED IN VALVE BOXES OF APPROPRIATE SIZE
  - ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED FOR DIRECT BURY
  - ALL ROTORS AND SPRAY POP-UPS SHALL BE INSTALLED ON SWING PIPE
  - ALL QUICK COUPLING VALVES SHALL BE INSTALLED ON 3-ELBOW PVC SWING JOINTS
  - SYSTEM DESIGN BASED UPON 16 GALLONS PER MINUTE @ 50 POUNDS PER SQUARE INCH
  - ANY CHANGES IN AVAILABILITY OF SUPPLY SHALL BE NOTED AND MODIFICATIONS TO THE DESIGN SHALL BE MADE
  - CONTRACTOR TO VERIFY WATER PRESSURE AND AVAILABILITY PRIOR TO INSTALLATION
  - THE LOCATION OF ALL IRRIGATION IS DIAGRAMMATIC AND SUBJECT TO FIELD VERIFICATION
  - ANY IRRIGATION PIPING SHOWN OUTSIDE OF CURBS FOR CLARITY ONLY
  - 120V. TO CONTROLLER AND COPPER STUB BY OTHERS
  - A BOOSTER PUMP IS REQUIRED IF SYSTEM WILL NOT MEET THE DESIGN PRESSURE
  - THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN MATERIAL TAKE OFF AND SHALL PROVIDE AN AS-BUILT OF THE INSTALLATION UPON COMPLETION



An As-Built Landscape Irrigation Plan for:

**THE MARTERIE RESIDENCE**

590 De Narvaez Drive  
Longboat Key, Florida 34228

site information taken from boundary and location survey provided by:  
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**IRR-AB**