

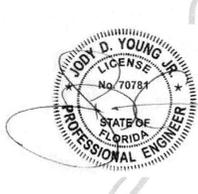
REYNOLDS RESIDENCE

620 EMERALD HARBOR DRIVE
LONGBOAT KEY, FL

YHE YOUNG & HEDRICK
STRUCTURAL ENGINEERING

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NPDES

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ABBREVIATIONS

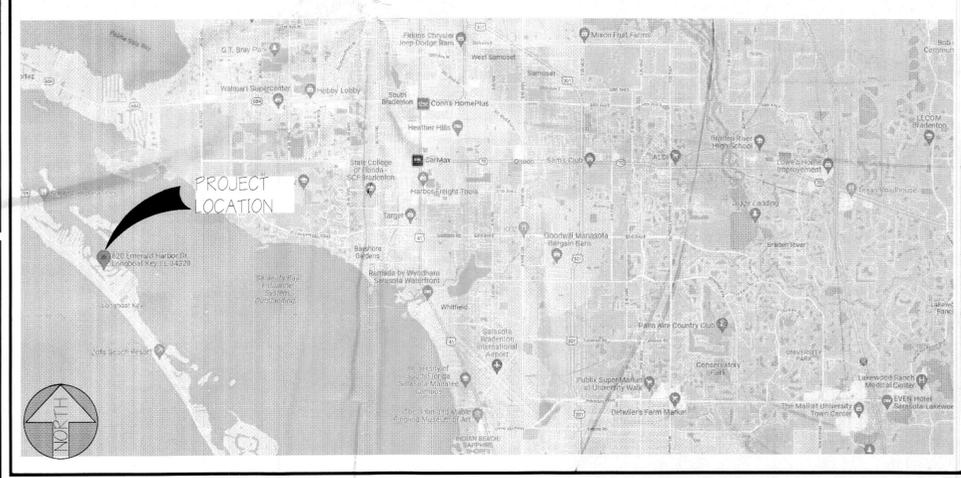
Periods only used on one word abbreviations, if the abbreviation is a different word by itself, e.g. ARCH., BIT., and LAM. Periods are usually used when abbreviating multiple words, unless they are very common without periods, e.g. AFF, HVAC, R/A, and W/M.

A	AB AND/OR BOLT ABV ABOVE ACC AIR CONDITIONING ACT. ACCESS ACT. ACUSTICAL TILE (CLG) AFF ABOVE FINISH FLOOR A.D. AREA DRAIN ADD ADDENDUM ADH ADHESIVE ADJ ADJUSTABLE AGG AGGREGATE A.H.U. AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM A.P. ACCESS PANEL APX APPROXIMATE ARCH. ARCHITECT (URAL) ASPH ASPHALT AT ASPHALT TILE AUTO. AUTOMATIC AVG AVERAGE AWMG AWNING	B	B36 3/8" WIDE BASE CAB. BD BOARD BF BIFOLD (DOOR) BIT. BITUMINOUS BLDG BUILDING BLK BLOCK (CUB) BLK BLOCK (CUB) BM BEAM B.M. BENCH MARK B.M. BENCH MARK (DOOR) BRG BEARING BRK BRICK B.S. BATH SIDES BSMT BASEMENT BTM OR BOT BOTTOM BTWN BETWEEN BVL BEVELED B.W. BOTHWAYS	C	CAB CABINET CB CANTON BASIN CEM CEMENT CEK CERAMIC CF CAST FOOT CHAM CHAMFER CL CAST IRON CL.P. CONC. CAST-IN-PLACE CONC. CK CIRCLE CRK CIRCUMFERENCE CL CONTROL JOINT OR CONSTRUCTION JOINT CAL (ON) CALKING CL CLOSET OR CENTER LINE CLS CLEARANCE CLS CLOSURE OR CLOSER (DOOR) CM CENTIMETERS CMU CONCRETE MASONRY UNIT CO. CAGED OPENING COL COLUMN COMB COMBINATION CONC CONCRETE CONC CONCRETE CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRAST CORR CORRUGATED COP COPPER COP COPPER CRS COURSE(S) CSMT CASSEMENT CST CAST STONE CT. CERAMIC TILE CTR CENTER OR COUNTER CONN CONNECTION CY CUBIC YARD	D	D 12" DEEP D DRYER, OR DRAIN DBL DOUBLE DECO DECOMPOSITIVE DEM DEMOLISH, DEMOLITION DEP DEPRESSION DET DETAIL DF. DRINKING FOUNTAIN DH DOUBLE HUNG DIAM DIAMETER DIM DIMENSION D. DEAD LOAD DN DOWN (STAIRS) D.P. DAMP-PROOFING DR DOOR DRY DRYER MACHINE DS DOWNSPOUT D/S DRAWER STACK (CABINET) DT. DRAB TILE DTL DETAIL DW DISH WASHER DWS DRAWING DWR DRAWER	E	EA EACH EB EYEBROW (FLAT ARCH) EF ECH FACE EJ. EXPANSION JOINT EL ELEVATION ELP ELECTRICAL PANEL EQ EQUAL EST ESTIMATE EWG. ELECTRIC WATER COOLER EXG EXISTING EXH EXHAUST EXT. EXTERIOR	F	FAS FASTENER F.B. FACE BRICK F.B.D. FURNISHED BY OTHERS F.D. FLOOR DRAIN F.F. FIRE EXTINGUISHER F.F. FINISH FLOOR (LINE) F.G. FIBER GLASS FGL FIBERGLASS FIN FINISH FLG FLASHING FLR FLOORING FLUR FLOORING (LIGHT) FN FENCE FND FOUNDATION FNF FIRE PROOF FP-FB FIRE PROOF HOSE BIBB FPL FIREPLAGE FR FRAMING (ANG) FS FULL SIZE FTG FOOTING FUR FURFEDING)	G	GA GAUGE G.G. GYPSUM (WALL) BOARD GC. GENERAL CONTRACTOR G.O.D. GARAGE DOOR OPENER GFI GROUND FAULT INTERRUPTER GLASS GLASS GLAZING GLK GALVANIZED IRON GT GROUT	H	H24 42" HIGH (WALL) HB HOSE BIBB HC HOLLOW CORE HD HEAD OR HARD HD HEAT DETECTOR OR HEAVY DUTY HDR HEADER HW HARDWARE HGT HEIGHT H.M. HOLLOW METAL HRZ HORIZONTAL HR HOUR H.R. HALF ROUND (WINDOW) HS HORIZONTAL SLIDER HT HEATING H/VAC HEATING/VENTILATING/AIR COND. HWD HARDWOOD (FLOORS)	I	IB IRONING BOARD ID INSIDE DIAMETER ILD IN LIE OF IM INSULATED METAL INS OR INSUL INSULATED (TON) INT INTERIOR	J	JST JOIST (FLOOR OR ROOF) JT JOINT	K	KD KNOCKDOWN (CEILING) KIT KITCHEN KO KNOCKOUT KPL KICK PLATE (ON DOOR) K/S KNEE SPACE STG OR STO STORAGE STR STRUCTURAL SQ SQUARE S/S SCHEDULED S.W. SHEAR WALL	L	LAM. LAMINATE(D) LAV LAVATORY (SINK) L.B.O. LOCATION BY OTHERS LV LIVING LL LIVE LOAD L.P. LAMINATED PLASTIC LT LIGHT L.T. LAUNDRY TUB LTL LINE LVL LAM VENEER LUMBER (BEAMS) LVR LOUVER	M	M METER(S) MAX MAXIMUM MAS MASONRY MATL. MATERIAL MC MEDICINE CABINET MECH MECHANICAL MFR. MANUFACTURER M.H. MANHOLE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MLD MOULDING MM MILLIMETER MWB MEMBRANE M.O. MASONRY OPENING MOD MODULAR MRB MARBLE MTL METAL MT MOUNTED(ING) MUL MULLION OR MULLED MULL MULLION OR MULLED N/A NOT APPLICABLE NIC NOT IN CONTRACT N/A NOT APPLICABLE N/S NOT TO SCALE N.G.V.D. NAT. GEODETIC VERTICAL DATUM	N	NA NOT APPLICABLE NIC NOT IN CONTRACT N/A NOT APPLICABLE N/S NOT TO SCALE N.G.V.D. NAT. GEODETIC VERTICAL DATUM	O	OA OVERALL OB. OBS. (GLASS) OC ON CENTER OCAB OVERHEAD CABINET OD. OUTSIDE DIAMETER O.G.D. OVERHEAD GARAGE DOOR OH OVERHEAD OPG OPENING OPT OPTIONAL OSB ORIENTED STRAND BOARD	P	PAR PARALLEL P.B.D. PARTICLE BOARD PC CONC PRECAST CONCRETE P.E. PORCELAIN ENAMEL PEP PEDESTAL (SINK) PER PERIMETER PKG PARKING PL PLATE (HEIGHT) PLAS PLASTIC LAMINATE PNT PAINTED PR PARK (LOT) PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTN PARTITION PTT PRESURE TREATED (WOOD) PV PAVED OR PAVING PVC POLYVINYL CHLORIDE (PIPE) P.V.M. PAVENTMENT P.WD FLYWOOD Q.T. QUARRY TILE R RISER (ON STAIRS) R/S RUBBER BASE RAD RADIUS RD ROOF DRAIN REFS REFRIGERATOR RES RESILIENT REV REVISED RFR REFRIGERATING RFO ROOFING R.J.B. REINFORCED JOINT BOX R/S RIBBING R.M. RANGE W/ MICROWAVE RM ROOM R.O. ROOM OPENING R.O.W. RIGHT OF WAY R/S ROD AND SHELF(S) SC SOLID CORE (DOOR) SCH SCHEDULE SD SMOKE DETECTOR SEC SECTION SF SQUARE FEET SFG SAFETY GLASS S.G.D. SLIDING GLASS DOOR SH SINGLE HUNG OR SHELFVING) SHT (DRAWING) SHEET SHING SHEATHING SIM SIMILAR SK SKIRT SL SLEIGHT OR SLEEVE SNT SEALANT SNT SCHEDULED SPEC SPECIFICATIONS SPK (AUDIO) SPEAKER(S) STD STANDARD STG STORAGE STR STRUCTURAL SQ SQUARE S/S SCHEDULED S.W. SHEAR WALL	Q	Q.T. QUARRY TILE	R	R RISER (ON STAIRS) R/S RUBBER BASE RAD RADIUS RD ROOF DRAIN REFS REFRIGERATOR RES RESILIENT REV REVISED RFR REFRIGERATING RFO ROOFING R.J.B. REINFORCED JOINT BOX R/S RIBBING R.M. RANGE W/ MICROWAVE RM ROOM R.O. ROOM OPENING R.O.W. RIGHT OF WAY R/S ROD AND SHELF(S) SC SOLID CORE (DOOR) SCH SCHEDULE SD SMOKE DETECTOR SEC SECTION SF SQUARE FEET SFG SAFETY GLASS S.G.D. SLIDING GLASS DOOR SH SINGLE HUNG OR SHELFVING) SHT (DRAWING) SHEET SHING SHEATHING SIM SIMILAR SK SKIRT SL SLEIGHT OR SLEEVE SNT SEALANT SNT SCHEDULED SPEC SPECIFICATIONS SPK (AUDIO) SPEAKER(S) STD STANDARD STG STORAGE STR STRUCTURAL SQ SQUARE S/S SCHEDULED S.W. SHEAR WALL	S	SC SOLID CORE (DOOR) SCH SCHEDULE SD SMOKE DETECTOR SEC SECTION SF SQUARE FEET SFG SAFETY GLASS S.G.D. SLIDING GLASS DOOR SH SINGLE HUNG OR SHELFVING) SHT (DRAWING) SHEET SHING SHEATHING SIM SIMILAR SK SKIRT SL SLEIGHT OR SLEEVE SNT SEALANT SNT SCHEDULED SPEC SPECIFICATIONS SPK (AUDIO) SPEAKER(S) STD STANDARD STG STORAGE STR STRUCTURAL SQ SQUARE S/S SCHEDULED S.W. SHEAR WALL	T	T TREAD (AT STAIRS) OR TILE T.B. TOWER BAR TO BE DETERMINED T.C. TERRA COTTA T.C.J. TROWELED CONTROL JOINT TEMP. TEMPERED (GLASS) T&G TONGUE & GROOVE TEL TELEPHONE THK THICK (NESS) THR THROUGH T.O.C. TOP OF CONCRETE T.O.F. TOP OF FOUNDATION T.O.M. TOP OF MASONRY T.O.W. TOP OF WINDOW TR OR TRN TRANSOM (WINDOW) TV TELEVISION OUTLET OR LOCATION TYP TYPICAL	U	UC UNDERCUT (DOOR) UNF UNFINISHED UNO. UNLESS NOTED OTHERWISE	V	VB VANITY BASE V.B. VAPOR BARRIER V.B.36 3/8" WIDE VANITY BASE VER VERTICAL VIN (SHEET) VINYL V.S. VEGETABLE SINK VT. VINYL TILE	W	W3630 36" W x 30" H WALL CAB W.W. WIDE OR WASHING MACHINE WC WATER CLOSET WD WOOD WF WIFE FLANGE (STEEL BEAM) WH WATER HEATER WH WROUGHT IRON WH WALL HUNG WH WROUGHT IRON WC WALK-IN CLOSET W/WO WITH OR WITHOUT WP WATERPROOFING WR WATER RESISTANT W.S. WATER STOPPER WSCOT WAINSCOT W.T.W. WALL TO WALL W/M WELDED WIRE MESH
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PROJECT RECORD

ISSUE DATE:	
REVISION DATE:	

LOCATION MAP



SYMBOLS

	ELEVATION KEY OR SECTION KEY SHEET NUMBER		EARTH		PLYWOOD
	DETAIL NUMBER OR SECTION KEY SHEET NUMBER		SAND OR GRAVEL FILL		INSULATING SHEATHING
	ANGLE		WOOD STUD PARTITION		BATT INSULATION
	CENTERLINE		3-2x4 WOOD POST OR 2-2x6 UNLESS OTHERWISE NOTED		RIGID INSULATION
	HOSE BIBB (FREEZE PROOF)		BRICK		WATER CLOSET
	GAS LINE STUB		CONCRETE BLOCK		LAVATORY
	PENNY		CONCRETE		
	PERPENDICULAR		STEEL		
	PLATE		DIMENSIONAL LUMBER		
	ROUND OR DIAMETER		BLOCKING		
			FINISH GRADE WOOD		

SHEET LIST

C1	GENERAL NOTES, SUMMARY, LOCATION MAP, SCOPE OF WORK
SITE1	OVERALL SITE PLAN
A1	SLAB PLAN
A2	FLOOR PLAN
A3	ROOF LAYOUT
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
E1	ELECTRICAL LAYOUT

SCOPE OF WORK

NEW CUSTOM RESIDENCE

Permit # **PB22-0529**

REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

MAY 26 2022

APPROVED

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TOWN OF LONGBOAT KEY
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Tomball, TX 77375
(281) 466-8888

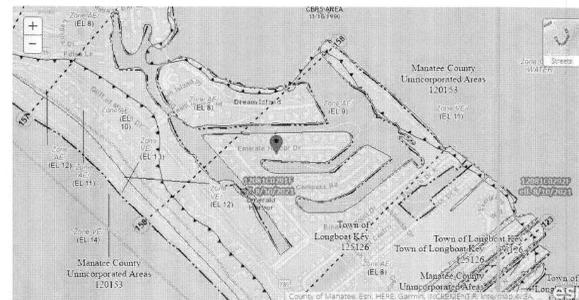
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DESIGN

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620 EMERALD HARBOR DR
LONGBOAT KEY, FL

ISSUE DATE
04/29/2022

COVER PAGE

SHEET NUMBER
CVR



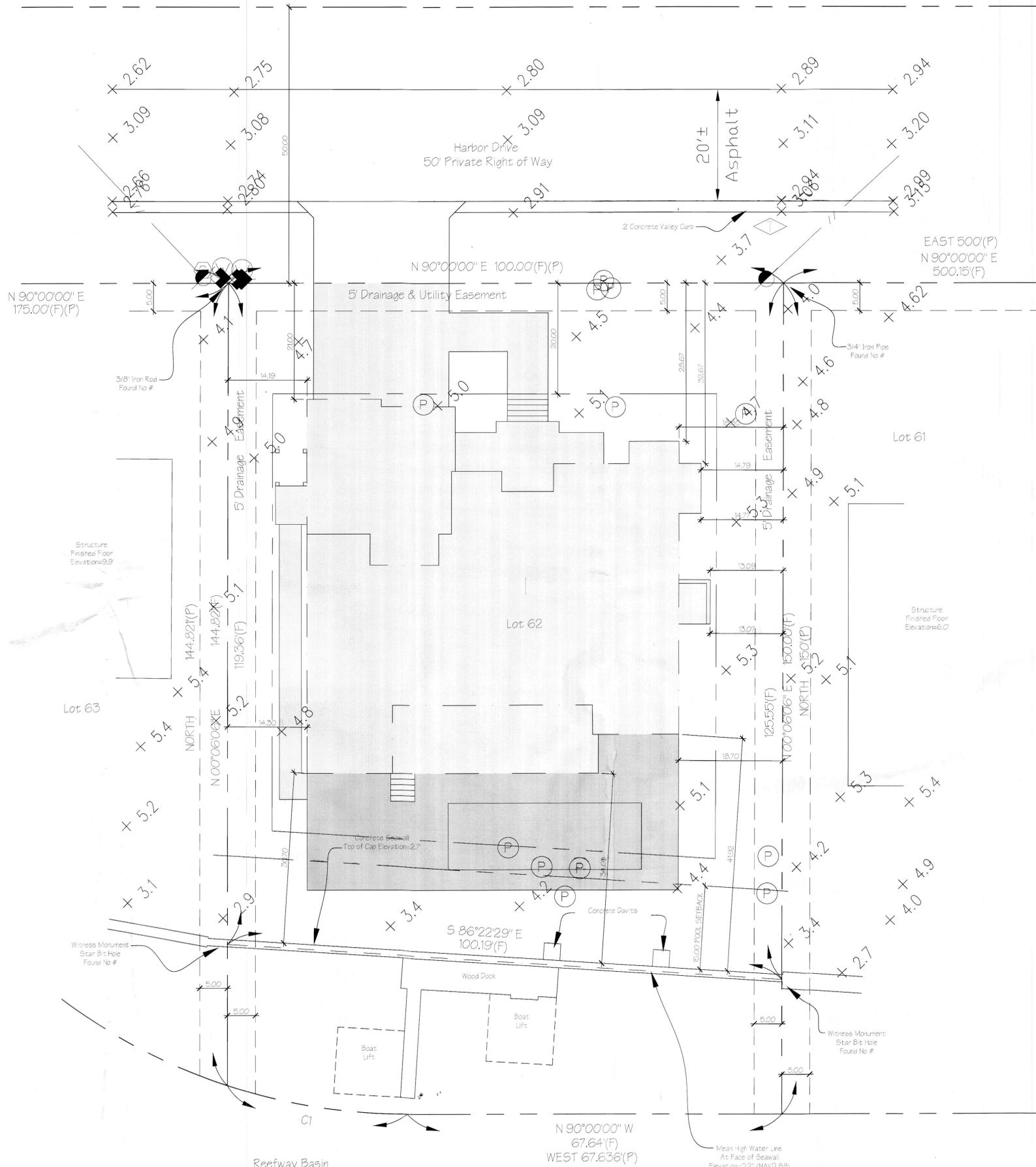
Symbol	Description
(P)	Denotes Plot Data
(F)	Denotes Field Measurement
X	Denotes Wood Utility Pole
---	Denotes Overhead Utility Line
⊕	Denotes Telephone Hand Hole
⊙	Denotes Cable Riser
⊗	Denotes Palm Tree
⊕	Denotes Spot Elevation
⬇	Denotes Water Backflow Preventer
⊕	Denotes Water Meter

Legend

- (P) -Denotes Plot Data
- (F) -Denotes Field Measurement
- X -Denotes Wood Utility Pole
-
- ⊕ -Denotes Telephone Hand Hole
- ⊙ -Denotes Cable Riser
- ⊗ -Denotes Palm Tree
- ⊕ -Denotes Spot Elevation
- ⬇ -Denotes Water Backflow Preventer
- ⊕ -Denotes Water Meter

Curve Table

CURVE	RADIUS	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	ARC LENGTH
C1(P)	103.72	18°10'52"	32.77	S 89°54'42" E	32.90
C1(F)	103.72				32.84



IMPERVIOUS CALCULATIONS

TOTAL LOT	14,345 S.F.
HOUSE FOOTPRINT	4,249 S.F.
CONCRETE	288 S.F.
DRIVEWAY AND WALK	708 S.F.
POOL AT GRADE	1,488 S.F.
TOTAL IMPERVIOUS	6,733 S.F.
TOTAL COVERAGE %	46.9%
MAX ALLOWABLE	50% (7,172.5 S.F.)
IMPERVIOUS COVERAGE	

BUILDING COVERAGE CALCULATIONS

TOTAL LOT	14,345 S.F.
HOUSE FOOTPRINT	4,249 S.F.
TOTAL COVERAGE %	29.63%
MAX ALLOWABLE	30% (4,303.5 S.F.)
BLDG COVERAGE	

LOT INFORMATION

ZONE:	4-R5F
SETBACKS:	
FRONT:	20'
REAR:	20'
SIDES:	20' COMBO (8' MIN)
MAX. BLDG HGT:	30'
30% MAX ALLOWABLE BLDG COVERAGE FLOOD ZONE AE E.L. & NAVD 1988 DATUM	

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.

SCHEMATIC SITE LAYOUT
SCALE: 1: 20

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Planning, Zoning & Building

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Sarasota, FL 34236
(941) 465-0086
Jking
DESIGNS

REYNOLDS RESIDENCE
620 EMERALD HARBOR DR
LONGBOAT KEY, FL

ISSUE DATE
04/29/2022

SITE LAYOUT

SHEET NUMBER
ST-1

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1305 5th Street
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ISSUE DATE
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SLAB PLAN

SHEET NUMBER
A1

WATER HEATER DRAIN PAN NOTES:

P29015 REQUIRED PAN.
WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A GALVANIZED STEEL PAN HAVING A MATERIAL THICKNESS OF NOT LESS THAN 0.0236 INCH (0.6070 MM) (NO. 24 GAUGE), OR OTHER PANS APPROVED FOR SUCH USE. LISTED PANS SHALL COMPLY WITH CSA LC3.

P29015.1 PAN SIZE AND DRAIN.
THE PAN SHALL BE NOT LESS THAN 1/2 INCHES (38 MM) DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE OF NOT LESS THAN 3/4 INCH (19 MM) DIAMETER. PIPING FOR SAFETY PAN DRAINS SHALL BE OF THOSE MATERIALS LISTED IN TABLE P2903.5.

P29015.2 PAN DRAIN TERMINATION.
THE PAN DRAIN SHALL EXTEND FULL SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES (152 MM) AND NOT MORE THAN 24 INCHES (610 MM) ABOVE THE ADJACENT GROUND SURFACE.

GENERAL NOTES:

PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL MATERIAL AND PIPING REQUIRED FROM ROUGH-IN LOCATION TO EQUIPMENT CONNECTION LOCATIONS. BOTH SUPPLY AND WASTE (DIRECT & INDIRECT), INCLUDING ASSOCIATED DEVICES, EQUIPMENT, CONTROLS AND CONNECTIONS TO EXISTING SERVICES, SUPPORTS AND HARDWARE REQUIRED FOR THE SATISFACTORY OPERATION OF THE SYSTEMS, WHETHER SPECIFICALLY SHOWN OR NOT. PLUMBING CONT. SHALL PROVIDE ROUTING AND OFFSETS NECESSARY TO AVOID CONFLICTS WITH STRUCTURE, FINISHES OF WORK OF OTHER TRADES. THE DRAWINGS INDICATE GENERAL ROUTING AND DO NOT SHOW ALL REQUIRED PIPING, FITTINGS, ETC.

PIPING ROUGH-INS SHALL BE CONCEALED, AND STUBBED IN WALLS AND COLUMN LOCATIONS WHEREVER POSSIBLE.

ALL HORIZONTAL PIPING LINES AS EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT HIGHEST POSSIBLE ELEVATION.

PLUMBING CONTRACTOR TO INSTALL FAUCETS, AND WASTES ON SINKS AND MAKE FINAL CONNECTIONS. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS.

THE BUILDING DOMESTIC WATER SUPPLY (ABOVE AND BELOW GROUND) IS TO BE MINIMUM SCHEDULE 40 C-PVC PIPING OR EQUAL (IE: PEX SYSTEMS). PLUMBING CONTRACTOR TO PROVIDE HAMMER ARRESTORS OR CHAMBERS WHERE APPLICABLE.

SANITARY DRAIN WASTE AND VENT PIPING IS TO BE MIN 50-40 PVC-DWV (ASTM D-2665) ABOVE AND BELOW GROUND.

VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF DRAINS, VENT AND DOMESTIC WATER PIPING CONNECTIONS PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED CONTRACTOR SHALL NOTIFY DESIGNER/ARCHITECT IMMEDIATELY.

COORDINATE ALL WORK WITH OTHER TRADES. CONFORM TO ALL STATE AND LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL VISIT THE SITE AND ALLOW FOR ALL EXISTING CONDITIONS IN HIS BID.

IF NO HOSE BIBBS ARE CURRENTLY INSTALLED AT THE EXTERIOR OF THE HOUSE, NOTIFY DESIGNER IMMEDIATELY FOR LOCATION.

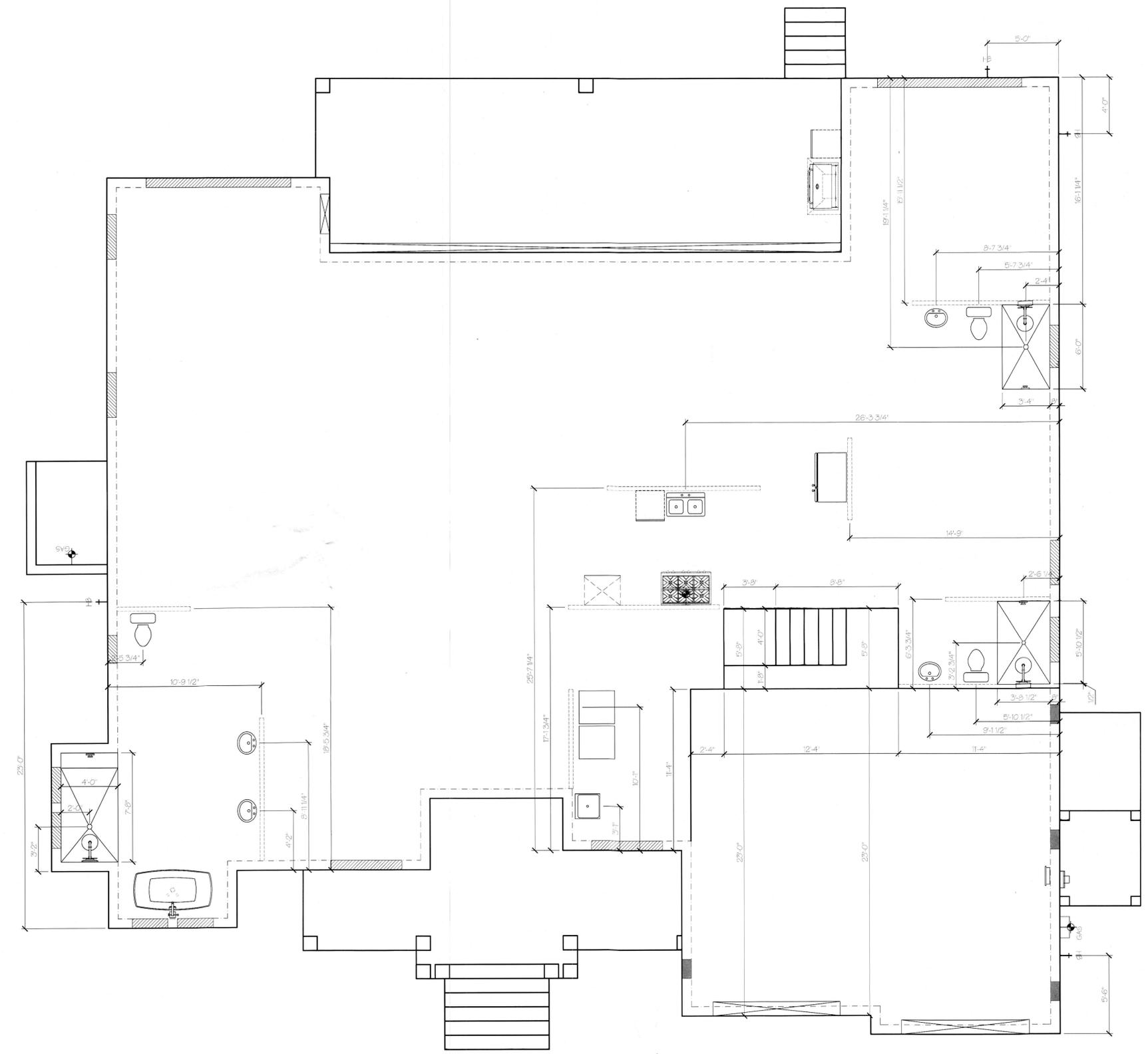
FLOW VENT CALCULATIONS

PROVIDE VENTILATION IN COMPLIANCE w/ FEMA TECHNICAL BULLETIN 1 OPENINGS IN FOUNDATION WALLS THE REQUIRED NET FREE FLOOD VENT AREA OF NOT LESS THAN 1 SQ. IN. OF THE VENT OPENING PER 1 SF. FT. OF FLOOR AREA. BOTTOM OF VENTS TO BE LOCATED NO MORE THAN 12" FROM ADJACENT FLOOR.

NOTE: FLOOD VENTS TO BE "SMART VENT" 1540-510 OR EQUAL ICC-ES CERTIFIED TO VENTILATE 200 SF. OF FLOOR AREA (ESR-2074 211)

FLOOD VENT AREA REQUIRED 693 SF. ENCLOSED GARAGE AREA = 693 SQ. IN. VENT AREA REQUIRED.

FLOOD VENTILATION PROVIDED: 4 WALL VENTS @ 200 SQ. IN. EA. = 800 SQ. IN. PROVIDED.



SLAB PLAN
SCALE: 1/4" = 1'-0"

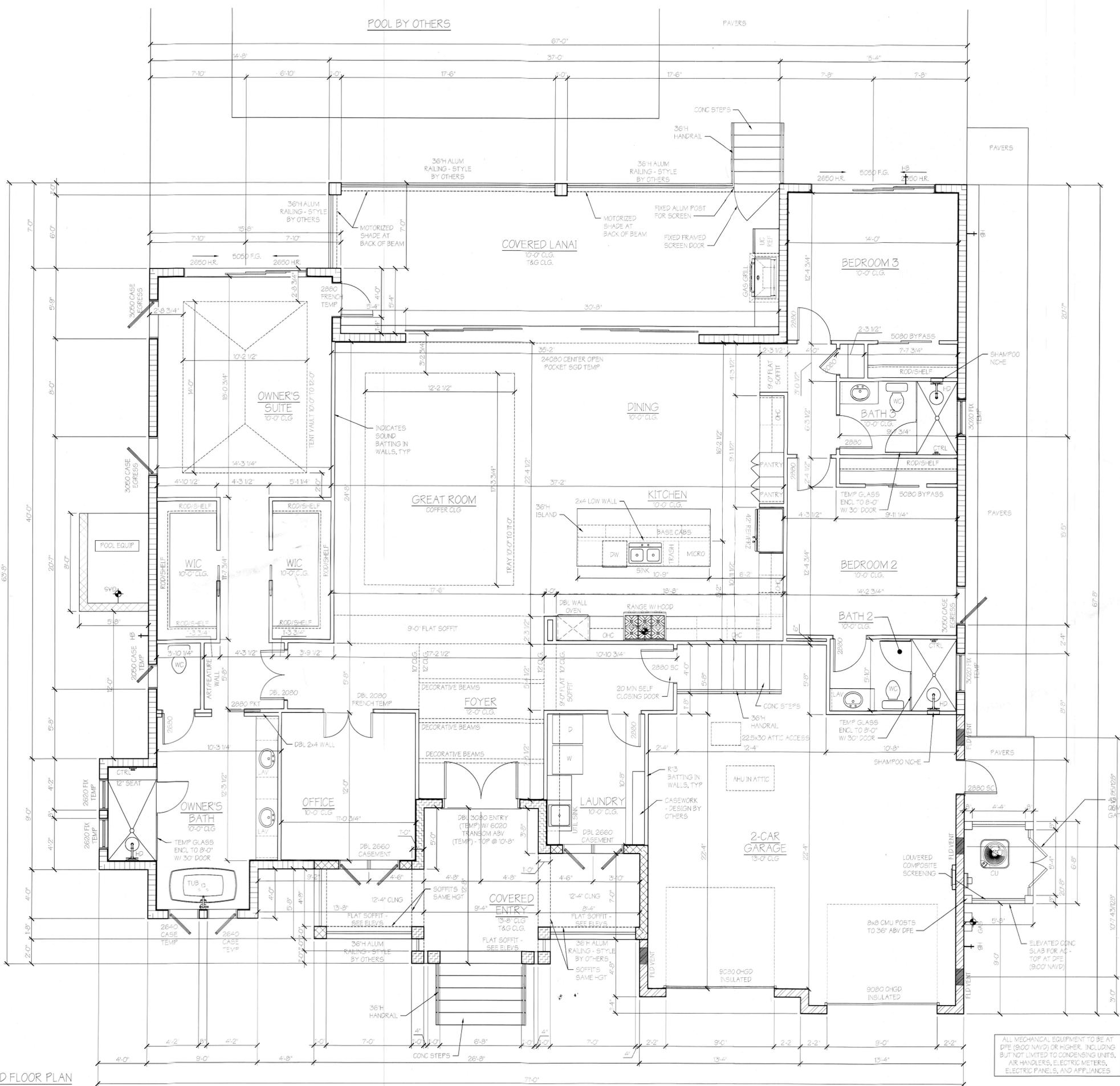
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620 EMERALD HARBOR DR
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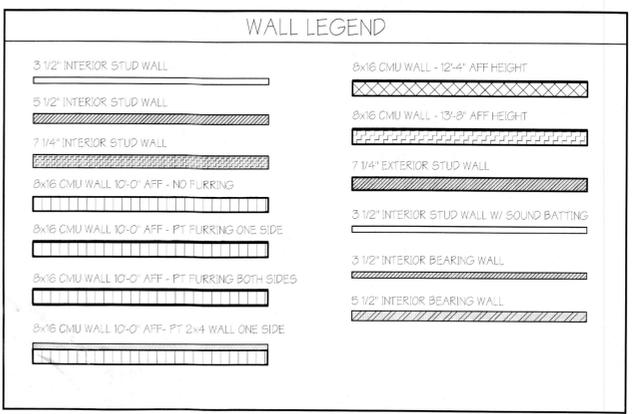


REQUIRED SAFETY GLAZING IN HAZ. LOCATIONS

2406.3 HAZARDOUS LOCATIONS

2406.3 THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:

- GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. (0.84 M SQ).
 - BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
- ALL GLAZING IN RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.
- GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE OF THE GLAZING IS 1) LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE ON THE POOL SIDE, AND 2) WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE WALKING SURFACE ON THE POOL SIDE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANE IN MULTIPLE GLAZING.



ROUGH OPENING NOTE:

- FIELD VERIFY MASONRY AND FRAME OPENINGS OF WINDOWS AND DOORS WITH MANUFACTURE SPECIFICATIONS.

FLOOR PLAN GENERAL NOTES:

- PER IRC 7TH EDITION RESIDENTIAL (2020) (R308.4.5), GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, SHALL BE CONSIDERED A HAZARDOUS LOCATION. GC TO VERIFY IF HOMEOWNER SELECTS ANY OF THESE ITEMS LISTED. IF ANY OF THESE ITEMS LISTED IS INSTALLED, SUCH GLAZING FACING THOSE ITEMS IS TO BE TEMPERED.
- ATTIC ACCESS TO BE JOB LOCATED. CONTRACTOR TO INSURE MINIMUM OF 30" CLEAR UNOBSTRUCTED HEIGHT ABOVE OPENING.
- CONDENSATE/ROOF DOWNSPOUTS WILL DISCHARGE A MINIMUM OF 12" FROM BLDG. IRRIGATION/SPRINKLER SYSTEMS - INCLUDING ALL RISERS AND SPRAY - SHALL NOT BE INSTALLED WITHIN 12" OF THE BLDG.
- CONTRACTOR TO ENSURE THAT PLUMBING AND TUB DECK DIMENSIONS PROPERLY COORDINATE WITH FINAL TUB CHOSEN. CONTRACTOR MUST VERIFY DECK DIMENSIONS AND PLUMBING WITH CHOSEN TUB PRIOR TO INSTALLING EITHER.
- ALL WINDOWS AND GLASS DOORS NOT IMPACT RATED MUST BE PROTECTED BY CORRUGATED METAL PANELS OR ANOTHER APPROVED METHOD. PLYWOOD COVERINGS ARE NOT ACCEPTABLE. INSTALL ALL PROTECTIONS PER MANUFACTURER'S DETAILS AND INSTRUCTIONS.
- ALL INTERIOR FLAT SOFFITS TO BE 2x8 WIDE.

AREA CALCULATIONS

MAIN FLOOR HABITABLE SPACE	2,812 SQ FT
TWO CAR GARAGE	693 SQ FT
COVERED ENTRY	232 SQ FT
COVERED LANAI	491 SQ FT
TOTAL UNDER ROOF:	4,198 SQ FT

ALL MECHANICAL EQUIPMENT TO BE AT DFE (9.00 NAVD) OR HIGHER, INCLUDING BUT NOT LIMITED TO CONDENSING UNITS, AIR HANDLERS, ELECTRIC METERS, ELECTRIC PANELS, AND APPLIANCES

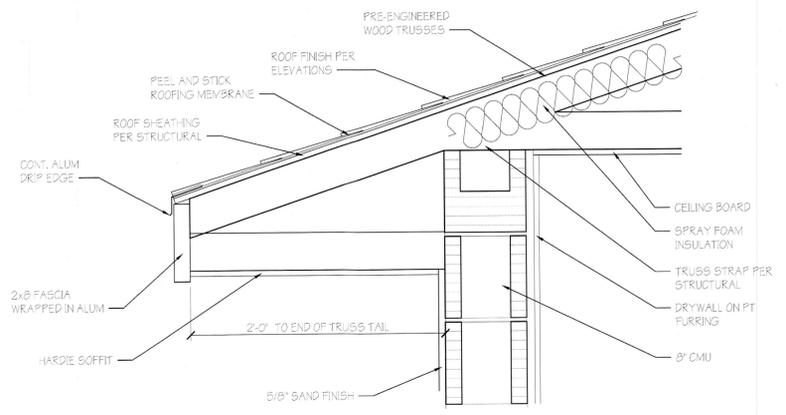
GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

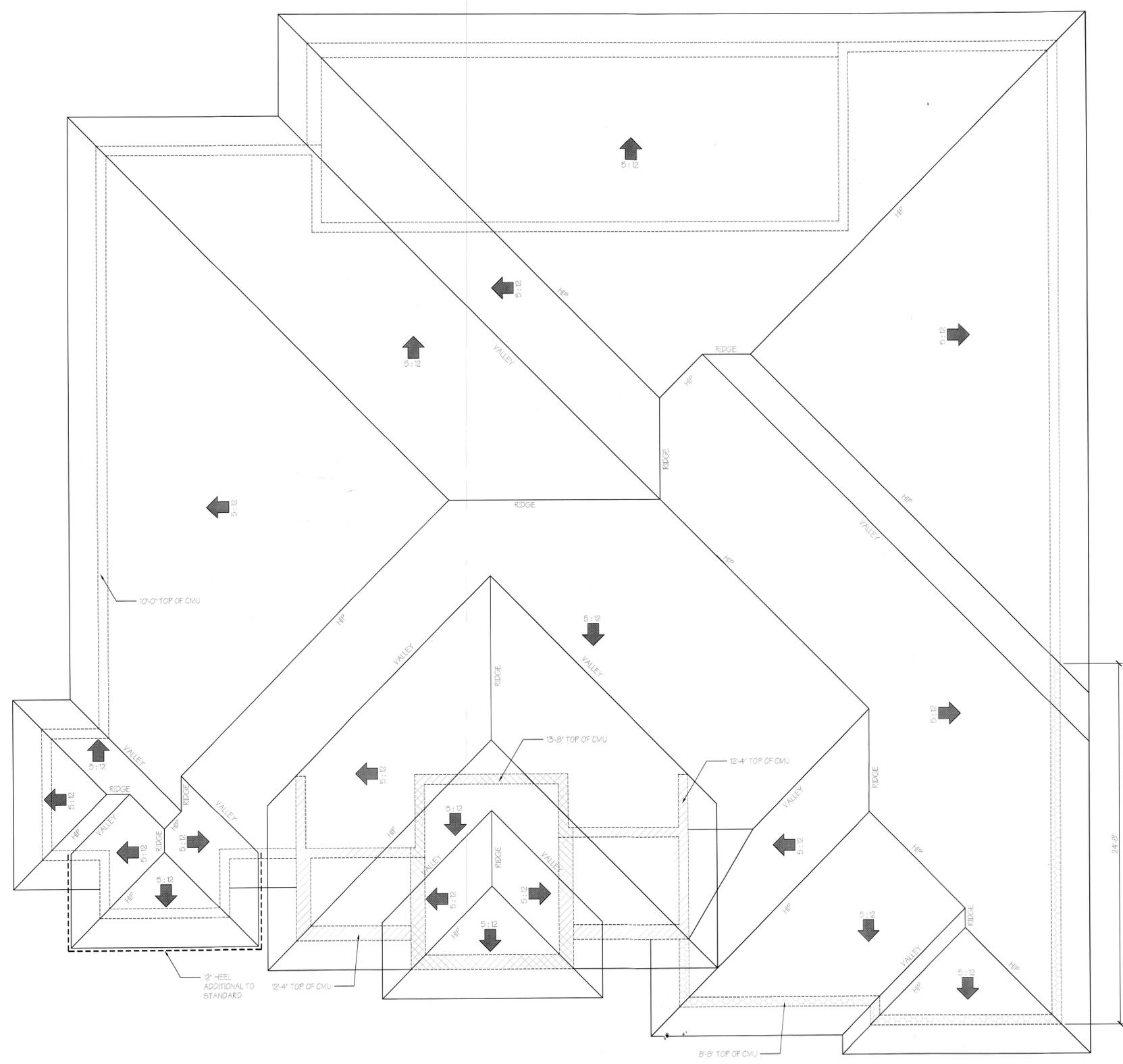
DO NOT SCALE DRAWINGS FOR DIMENSIONS NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION.

1385 5th Street
Sarasota, FL 34236
(941) 465-0086

Jking
DESIGNS



OVERHANG DETAIL
SCALE: NTS



ROOF LAYOUT
SCALE: 1/4" = 1'-0"

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Planning, Zoning & Building

REYNOLDS RESIDENCE
620 EMERALD HARBOR DR
LONGBOAT KEY, FL

ISSUE DATE
04/29/2022

ROOF LAYOUT

SHEET NUMBER
A3

DO NOT SCALE DRAWINGS FOR DIMENSIONS NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION

1385 5th Street
Sarasota, FL 34236
(941) 465-0006

Jking
DESIGNS



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR ELEVATION GENERAL NOTES:
1. CEMENT PLASTER FINISH OVER CONCRETE MASONRY SHALL BE 5/8" THICK SMOOTH FINISH PER ASTM 926.
 2. CEMENT PLASTER FINISH OVER WOOD FRAMED WALLS SHALL BE 7/8" (2-COAT) SMOOTH FINISH, OVER ASPHALT IMPREGNATED PAPER BACK WIRE LATH, OVER HOUSE WRAP OVER EXTERIOR SHEATHING PER STRUCTURAL DRAWINGS. LATH TO BE FURRED OUT FROM BACKING BY AN APPROVED METHOD, FBOR 7TH EDITION (2020) R703.6.
 3. ELEVATIONS: BANDING, MOLDING, COLUMNS & TRIM SHALL RECEIVE A SAND FINISH. SEE ELEVATION FOR DEPTH OF RAISED BANDING.
 4. WEEP SCREED SHALL BE IN ACCORDANCE WITH FBOR 7TH EDITION (2020) 703.6.2.1

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LONGBOAT KEY, FL

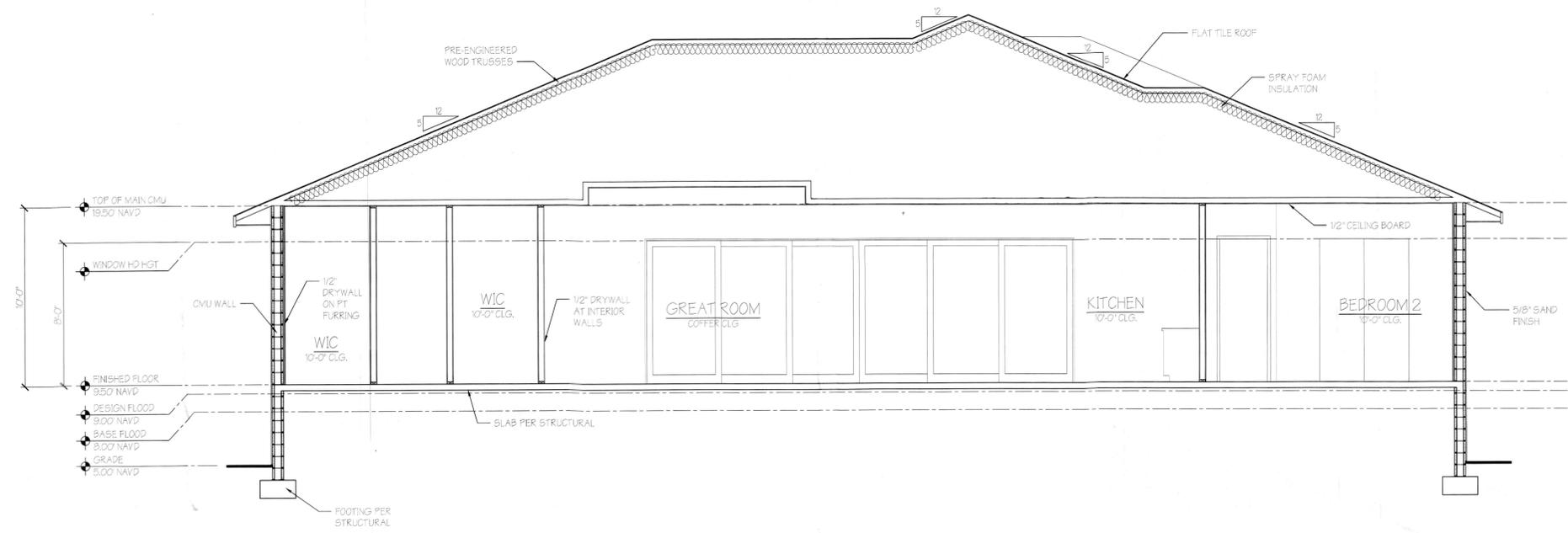
ISSUE DATE
04/29/2022

ELEVATIONS

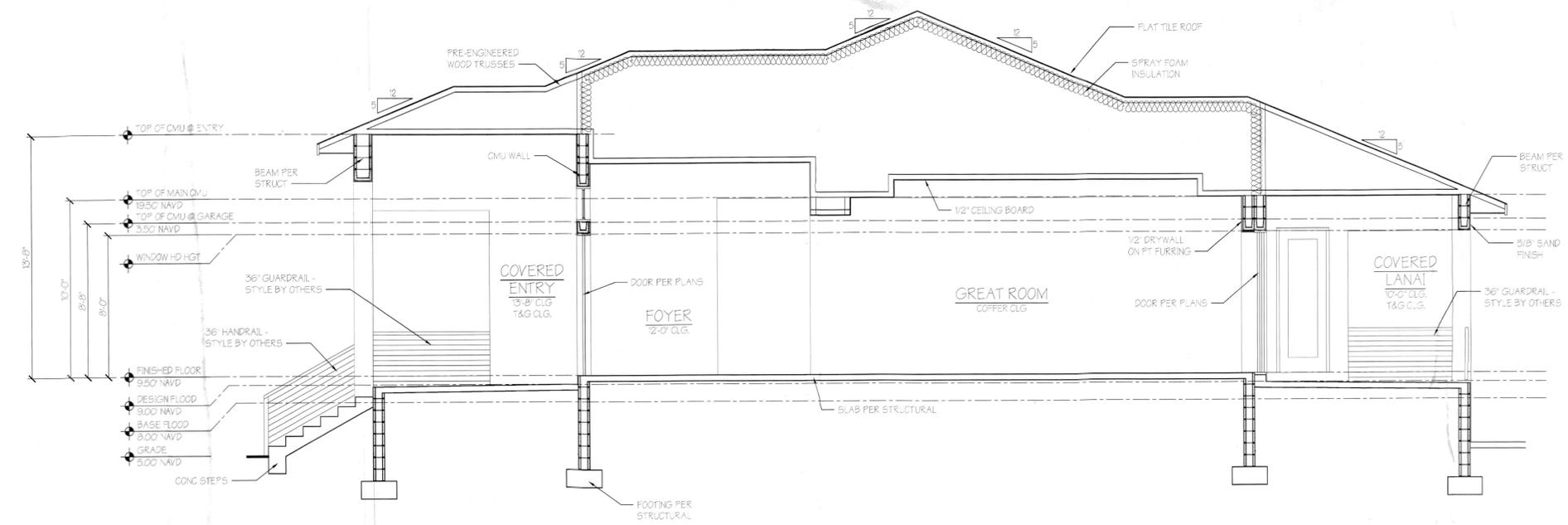
SHEET NUMBER
A4

DO NOT SCALE
DRAWINGS FOR
DIMENSIONS NOT
SHOWN CONTACT
PLAN COORDINATOR
FOR CLARIFICATION

1985 5th Street
Suite 206
(31) 941-465-0038



SECTION
SCALE: 1/4" = 1'-0"



SECTION
SCALE: 1/4" = 1'-0"

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

REYNOLDS RESIDENCE
620 EMERALD HARBOR DR
LONGBOAT KEY, FL

ISSUE DATE
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BUILDING
SECTIONS

SHEET NUMBER
A6

DO NOT SCALE DRAWINGS FOR DIMENSIONS NOT SHOWN CONTACT PLAN COORDINATOR FOR CLARIFICATION

1386 5th Street
 Longboat Key, FL 34958
 (941) 465-0036

Jking
 DESIGNERS

REYNOLDS RESIDENCE
 620 EMERALD HARBOR DR
 LONGBOAT KEY, FL

ISSUE DATE
 04/29/2022

ELECTRICAL LAYOUT

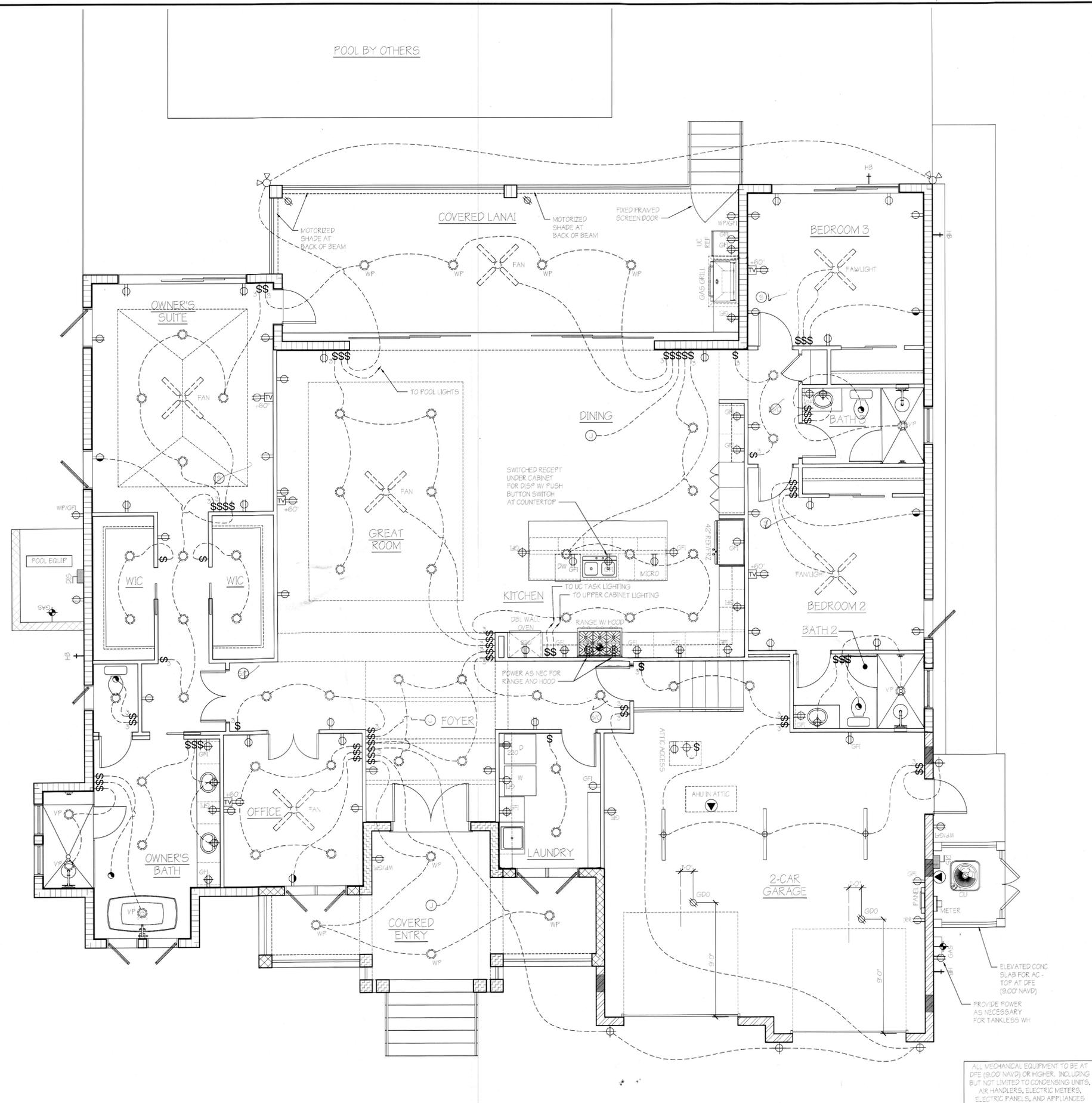
SHEET NUMBER
 E1

GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL DESIGN AND WORK SHALL BE IN STRICT COMPLIANCE WITH THE FBC 7TH EDITION (2020), RESIDENTIAL, PART 8-ELECTRICAL (2017 NATIONAL ELECTRIC CODE)
- PER NEC SECTION 210.12(A) ALL 120V SINGLE PHASE 15- AND 20 AMPERE BRANCH CIRCUITS IN ALL AREAS OF A DWELLING (EXCEPT FOR KITCHEN, BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS); SHALL BE AFCI PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE.
- CARBON MONOXIDE PROTECTION PER FLORIDA STATUTES 553.885 (2), TO BE INSTALLED WITHIN 10' OF EVERY SLEEPING ROOM.
- PER NEC SECTION 210.8(B)(4) ALL 15A & 20A, 125V RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI-PROTECTED.
- PER NEC SECTION 210.8(B)(5) ALL 15A & 20A, 125V RECEPTACLES INSTALLED WITHIN 6' OF A SINK (IN NON-DWELLING UNIT OCCUPANCIES-IE, OUTDOOR SUMMER KITCHENS RECEPTACLES) MUST BE GFCI-PROTECTED.
- PER NEC SECTION 406.8(B)(1) 15A & 20A RECEPTACLES IN A WET LOCATION MUST BE WITHIN AN ENCLOSURE THAT IS WEATHER-PROOF WHEN AN ATTACHMENT IS PLUGGED IN AND ALL NON-LOCKING RECEPTACLES SHALL BE LISTED AS WEATHER RESISTANT.
- PER NEC SECTION 406.11 IN DWELLING UNITS, ALL 15A & 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- PER NEC SECTION 800.136 NO LESS THAN ONE COMMUNICATIONS OUTLET SHALL BE INSTALLED WITHIN EACH DWELLING UNIT.
- PER NEC SECTIONS 83.4.3 AND 83.15.1 SMOKE DETECTORS TO BE INSTALLED INSIDE EA SLEEPING AREA.
- ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217, PER FBC 7TH EDITION (RESIDENTIAL) 941. GC TO INSTALL KIDDE MODEL # 14618A SMOKE ALARM, OR APPROVED EQUAL.
- VERIFY ALL LOW VOLTAGE LOCATIONS INCLUDING, BUT NOT LIMITED TO, TV, DATA, USB, SPEAKER, AND ALARM SYSTEMS PRIOR TO INSTALLATION.
- ALL RECESSED LIGHTING TO BE LED
- ALL TASK AND ACCENT LIGHTING AT CABINETS (ABOVE, BELOW, AND INSIDE) TO BE LED.
- ALL STRIP FIXTURE (SUCH AS IN GARAGE) SHALL BE LED TYPE LIGHTING.
- VERIFY LIGHTING COLOR OF LED FIXTURE (COOL, DAYLIGHT, ETC) WITH OWNER PRIOR TO INSTALLATION.
- VERIFY WIRELESS DATA REQUIREMENTS WITH OWNER AND LOCATION NUMBER OF WIRELESS ACCESS POINTS.
- WALL MOUNT TV PACKAGE TO HAVE HDMI CABLE, (1) DUPLEX RECEPT, (1) CAT 5, (1) RGG & PLYWOOD BACKING.
- VERIFY REQUIREMENT FOR EXTERIOR RECEPTACLES OR LIGHTING AT LANDSCAPING. VERIFY LOCATION OF SWITCHING (IF REQUIRED) WITH OWNER.
- ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO AC EQUIPMENT, WATER HEATERS, RECEPTACLES, SWITCHES, LIGHTING, PANELS, AND TIMERS TO BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION OF 13.00' NAVD.
- PER FEMA TECH BULLETIN #9 - UTILITIES, INCLUDING ELECTRICAL WIRING, BREAKER BOXES, POWER METERS, PLUMBING, CONDUITS, AND VENTILATION DUCTS, SHALL NOT BE PLACED IN OR ATTACHED TO BREAKAWAY WALL PANELS, BUILDING SUPPLY LINES AND OTHER UTILITY FIXTURES, SUCH AS LIGHT SWITCHES OR ELECTRICAL OUTLETS, MAY BE ATTACHED TO THE SHELTERED SIDE OF VERTICAL FOUNDATION MEMBERS AS ALLOWED BY APPLICABLE BUILDING CODES AND FLOODPLAIN MANAGEMENT REGULATIONS (WHICH GENERALLY REQUIRE THAT UTILITIES BE ELEVATED ABOVE THE BFE). IF UTILITY LINES MUST BE ROUTED INTO OR OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE CONSTRUCTED WITH A UTILITY BLOCKOUT (SEE FIGURES 13 AND 14). UTILITY LINES THAT PASS THROUGH THE BLOCKOUT SHALL BE INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF THE WALL PANELS BREAK AWAY.
- ELEVATOR TO HAVE CONTROL MECHANISM TO PREVENT CAB FROM DESCENDING INTO FLOOD WATERS BELOW.

ELECTRICAL SYMBOL KEY

LIGHT FIXTURES	
	CEILING SURFACE MOUNT LIGHT
	6\"/>
	6\"/>
	4\"/>
	CEILING (RECESSED) MTD EXHAUST FAN - 12X12 HOUSING
	WALL MNT JUNCTION BOX FOR SCONCE
	WALL MOUNT LIGHT
	4\"/>
	24\"/>
	FLOOD LIGHTS (SINGLE OR MULTIPLE)
	CEILING FAN ONLY
	CEILING FAN/LIGHT COMBINATION
	48\"/>
OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	WATERPROOF GFI OUTLET
	SWITCHED 1/2\"/>
	220V OUTLET
	USB OUTLET
	COUNTER HEIGHT GFI OUTLET
	QUADRUPLIX OUTLET
	TELEPHONE OUTLET
	DATA (NETWORK) OUTLET
	SPECIAL PURPOSE OR DEDICATED CIRCUIT
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
MISC FIXTURES	
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR
	SURFACE MOUNTED SMOKE DETECTOR
	SURFACE MOUNTED CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR COMBINATION
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON



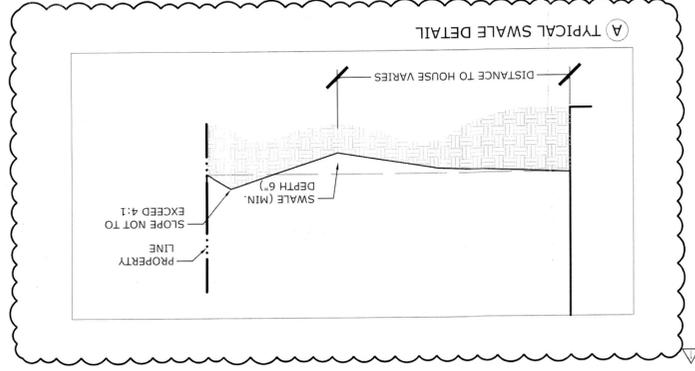
ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"

RECEIVED
 MAY 12 2022
 TOWN OF LONGBOAT KEY
 Building, Zoning & Building

Apparent Upward Curvature
Public Right of Way Width Varies

RECEIVED
JUN 20 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SITE PLAN
SCALE: 1/16" = 1'-0"



BEST MANAGEMENT PRACTICES FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.

LOT INFORMATION

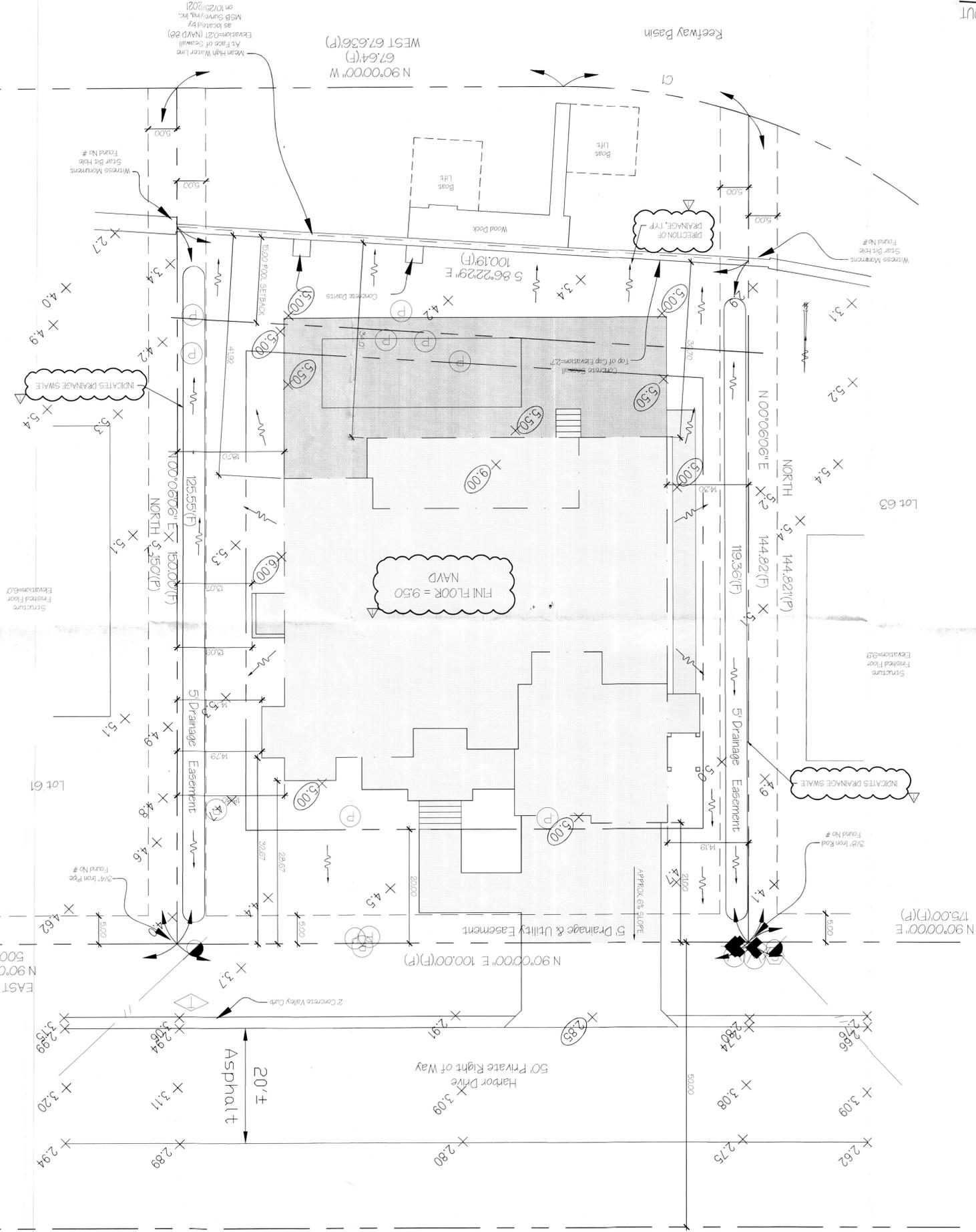
ZONE: 4-RSF
FRONT: 20'
REAR: 20' COMBO
SIDES: 20' (2 MIN.)
MAX. BLDG. HGT: 20'
30% MAX. ALLOWABLE BLDG. COVERAGE
FLOOD ZONE: AE EL. 8', NAVD 1988 DATUM

BUILDING COVERAGE CALCULATIONS

TOTAL LOT: 14,949 S.F.
HOUSE FOOTPRINT: 4,249 S.F.
TOTAL COVERAGE: 28.43%
MAX. ALLOWABLE: 30% (4,485 S.F.)
BLDG. COVERAGE:

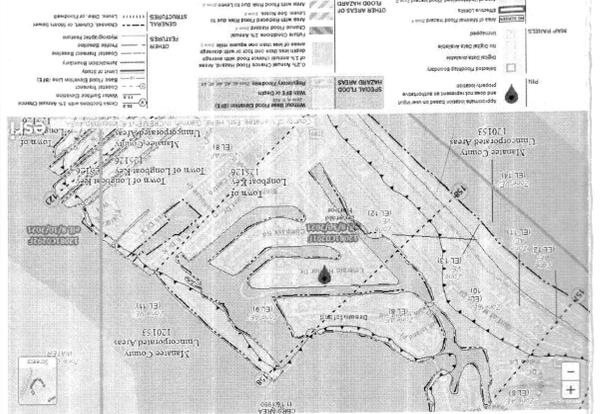
IMPROVEMENT CALCULATIONS

TOTAL LOT: 14,949 S.F.
HOUSE FOOTPRINT: 4,249 S.F.
CONCRETE: 288 S.F.
PAVEMENT AND WALK: 708 S.F.
POOL AT GRADE: 1,488 S.F.
TOTAL IMPROVEMENTS: 6,733 S.F.
TOTAL COVERAGE: 45.1%
MAX. ALLOWABLE: 50% (7,475 S.F.)
IMPROVEMENT COVERAGE:



Curve Table

STATION	CHORD BEARING	CHORD LENGTH	ARC BEARING	ARC LENGTH
103+72	S 82°54'42" E	92.77	82.94	82.94
103+72	S 82°54'42" E	92.77	82.94	82.94



Jkind
1488 SW Street
Suite 1036
(941) 465-0036

DO NOT SCALE DIMENSIONS TO DRAWINGS FOR CONSTRUCTION. SHOWN CONTAINING PLANNING COORDINATION FOR CLARIFICATION.

PERMIT REVIEWS: TENURE: 06/17/22

ISSUE DATE: 06/17/22

SITE LAYOUT: ST-1

REYNOLDS RESIDENCE
620 EMERALD HARBOR DR