

CAUTION!!!

DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DRAWINGS AND BSCI-B1 SUMMARY SHEETS.

ALL PERMANENT BRACING MUST BE IN PLACE PRIOR TO LOADING TRUSSES. (ie. SHEATHING, SHINGLES, ETC.)

ALL INTERIOR BEARING WALLS MUST BE IN PLACE PRIOR TO INSTALLING TRUSSES.

REFER TO FINAL ENGINEERING SHEETS FOR THE FOLLOWING.

- 1) NUMBER OF GIRDER PLIES AND NAILING SCHEDULE.
- 2) BEARING BLOCK REQUIREMENTS.
- 3) SCAB DETAILS (IF REQUIRED)
- 4) UPLIFT AND GRAVITY REACTIONS.

WARNING

Backcharges Will Not Be Accepted Regardless of Fault Without Prior Notification By Customer Within 48 Hours And Investigation By ProBuild.
NO EXECPTIONS.

The General Contractor Is Responsible For All Connections Other Than Truss to Truss, Gable Shear Wall, And Connections. Temporay and Permanent Bracing, And Ceiling And Roof Diaphragm Connections.

ROOF PITCH: 6/12
TOP CHORD: 2X4
OVERHANG: 12" - 12" CANTILEVER
SQ. OR PLB. CUT: PLUMB

HARDWARE

FLOOR NONE	ROOF NONE
---------------	--------------

BEARING HEIGHT SCHEDULE

Hatch Legend
8'-0"
10'-0"
18'-4"
14'-4"

BUILDER:

THE VISION GROUP LLC

ADDRESS: 737 NORTON ST

LOT: N/A

SUB: PFLUEGER RESIDENCE

COUNTY: MANATEE

PROJECT:

PFLUEGER RESIDENCE

MODEL:

PFLUEGER RESIDENCE

DRAWN BY: E.P.C

ENG BY: E.P.C

JOB#

3069814 - 3RD LVL

DATE: 6/27/2022

SCALE: 1/4" = 1'

REVISIONS:

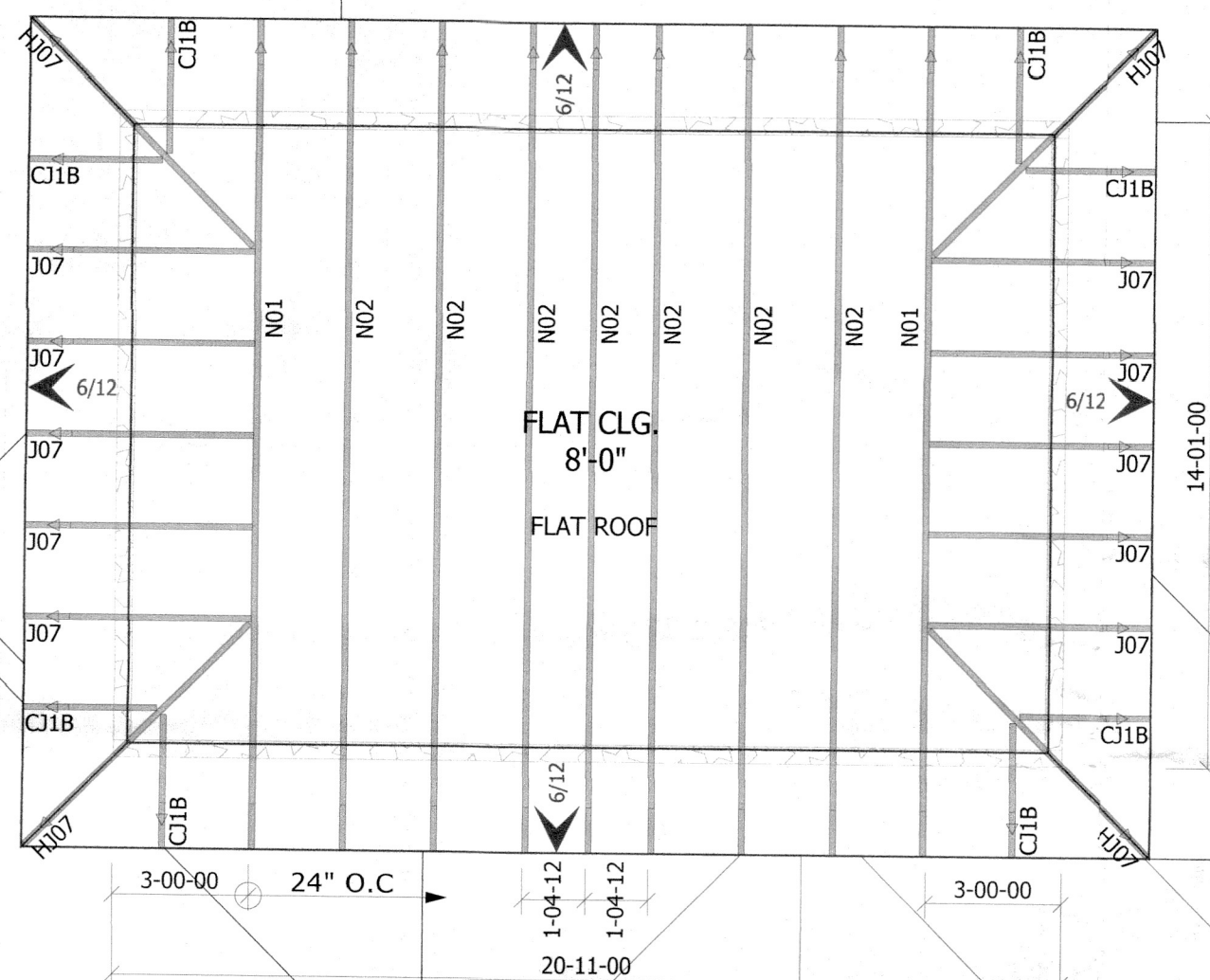
- 1.
- 2.
- 3.
- 4.
- 5.

JOB SITE



Combining to serve you better

516 6th Ave. East
Bradenton, FL 34208
Ph. (941) 746-2161
Fax (941) 306-4762



NOTES:

- 1) ALL DIMENSIONS ARE FEET-INCHES-SIXTEENTHS.
- 2) DO NOT CUT OR ALTER TRUSSES IN ANY WAY.
- 3) ALL REACTIONS ARE UNDER 5000 LBS. UNLESS NOTED OTHERWISE.
- 4) ALL UPLIFTS ARE UNDER 1000 LBS. UNLESS NOTED OTHERWISE.
- 5) FRAMING REQUIRED BELOW TRUSSES TO GET DESIRED CEILING CONDITIONS.
- 6) ONLY TRUSS TO TRUSS CONNECTIONS SUPPLIED W/ TRUSS PACKAGE.

VERIFY ALL DIMENSIONS AND CEILING CONDITIONS PRIOR TO APPROVAL
SOME CEILING FRAMING REQUIRED IN FIELD BY BUILDER

MWFRS(Directional)/C-C HYBRID WIND ASCE7-16 / CODE FBC2020
ENCLOSED
EXPOSURE CATEGORY D
OCCUPANCY CATEGORY II
WIND LOAD 150 MPH
WIND IMPORTANCE FACTOR 1.00
TRUSSES HAVE BEEN DESIGNED FOR A 10.0 PSF BOTTOM CHORD
LIVE LOAD NONCONCURRENT WITH ANY OTHER LIVE LOADS

ROOF LOADING			FLOOR LOADING		
TCLL:	30	PSF	TCLL:	NA	PSF
TCDL:	7	PSF	TCDL:	NA	PSF
BCDL:	10	PSF	BCDL:	NA	PSF
TOTAL:	47	PSF	TOTAL:	NA	PSF
DURATION:	1.25		DURATION:	1.00	
5 PSF TCDL + 5 PSF BCDL USED TO RESIST UPLIFT			DEPTH: -		

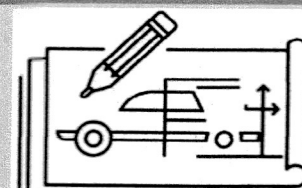
RECEIVED
JUL 12 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

IMPORTANT

This Drawing Must Be Approved And Returned Before Fabrication Will Begin. For Your Protection Check All Dimensions And Conditions Prior To Approval Of Plan.
SIGNATURE BELOW INDICATES ALL NOTES AND DIMENSIONS HAVE BEEN ACCEPTED.

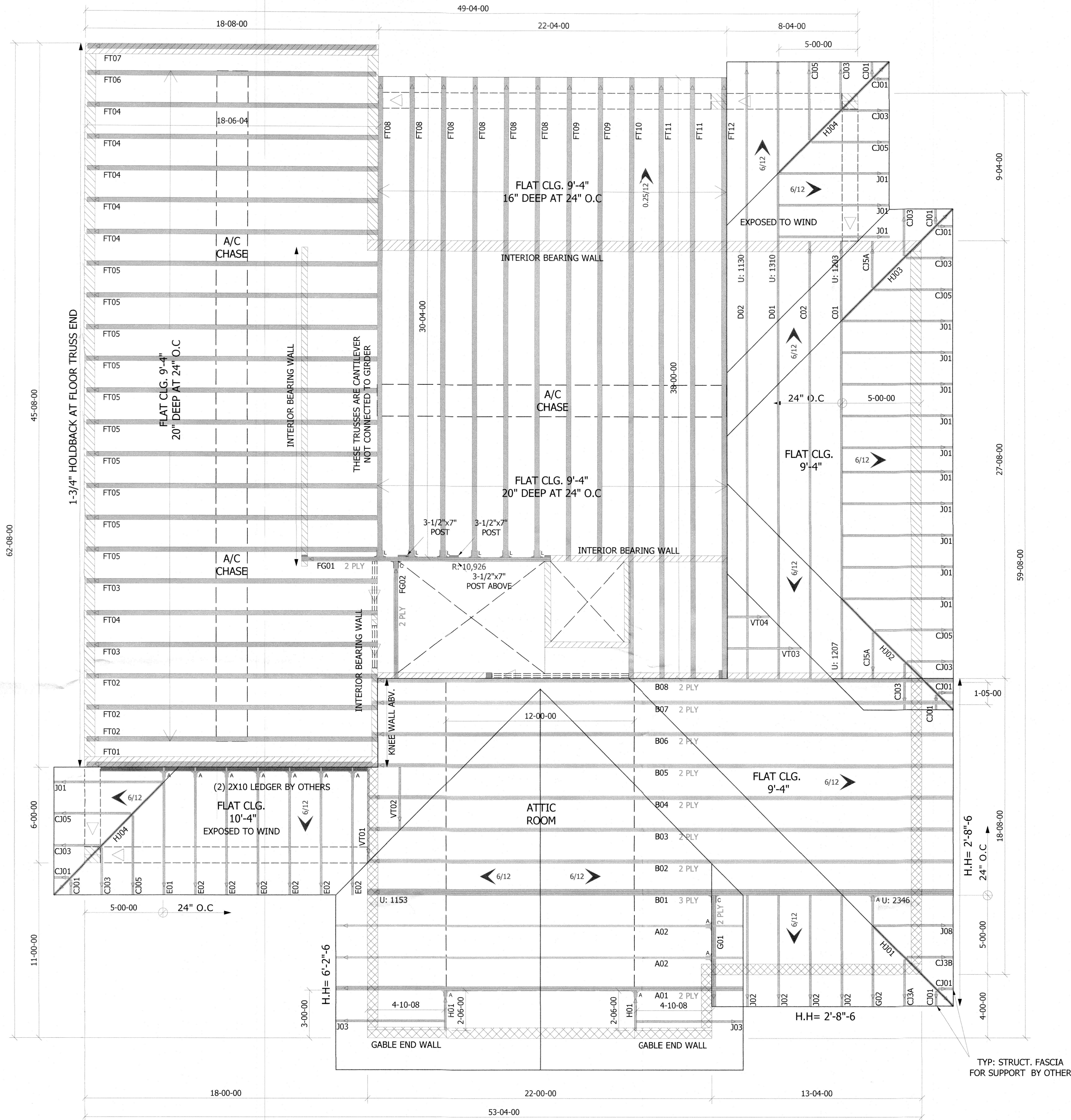
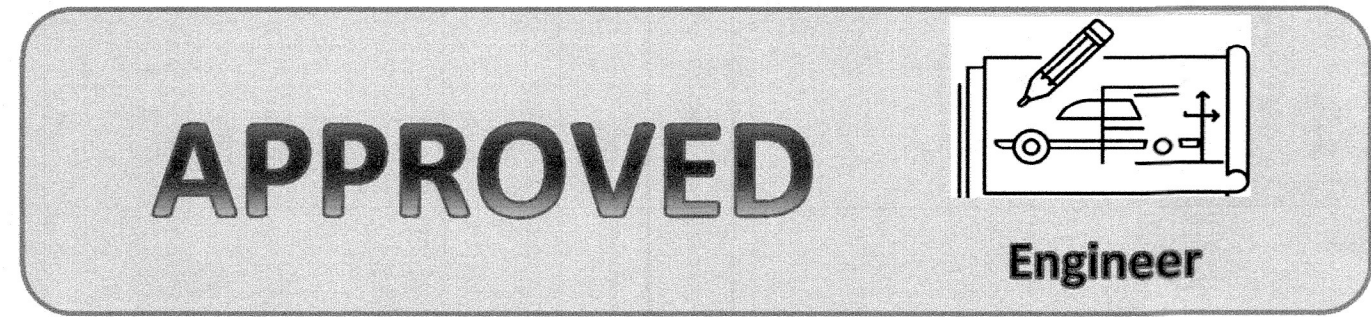
By _____ Date _____

APPROVED



Engineer

JOB SITE



VERIFY ALL DIMENSIONS AND CEILING CONDITIONS PRIOR TO APPROVAL
SOME CEILING FRAMING REQUIRED IN FIELD BY BUILDER

MWFRS(Directional)/C-C HYBRID WIND ASCE7-16 / CODE FBC2020
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LIVE LOAD NONCONCURRENT WITH ANY OTHER LIVE LOADS

ROOF LOADING		FLOOR LOADING	
TCLL:	30 PSF	TCLL:	40 PSF
TCDL:	7 PSF	TCDL:	10 PSF
BCDL:	10 PSF	BCDL:	5 PSF
TOTAL:	47 PSF	TOTAL:	55 PSF
DURATION:	1.25	DURATION:	1.00
5 PSF TC DL + 5 PSF BCDL USED TO RESIST UPLIFT		DEPTH: 20" & 16"	

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to Truss, Gable Shear Wall, And
Connections. Temporary and
Permanent Bracing, And Ceiling And
Roof Diaphragm Connections.

ROOF PITCH: 6/12
TOP CHORD: 2x6
OVERHANG: 24" CANTILEVER
SQ. OR PLB. CUT: PLUMB

HARDWARE	
FLOOR <L> HHUS46= 6 <C> HTU26-2= 1	ROOF <A> HTU26= 12 <C> HTU26-2= 1

BEARING HEIGHT SCHEDULE

Hatch Legend	
[Hatch]	8'-0"
[Hatch]	10'-0"
[Hatch]	18'-4"
[Hatch]	14'-4"

BUILDER:
THE VISION GROUP LLC

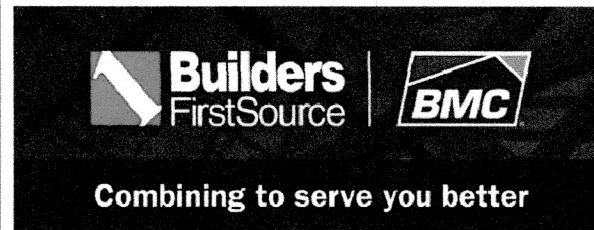
ADDRESS: 737 NORTON ST
LOT: N/A
SUB: PFLUEGER RESIDENCE
COUNTY: MANATEE
PROJECT:
PFLUEGER RESIDENCE

MODEL:
PFLUEGER RESIDENCE

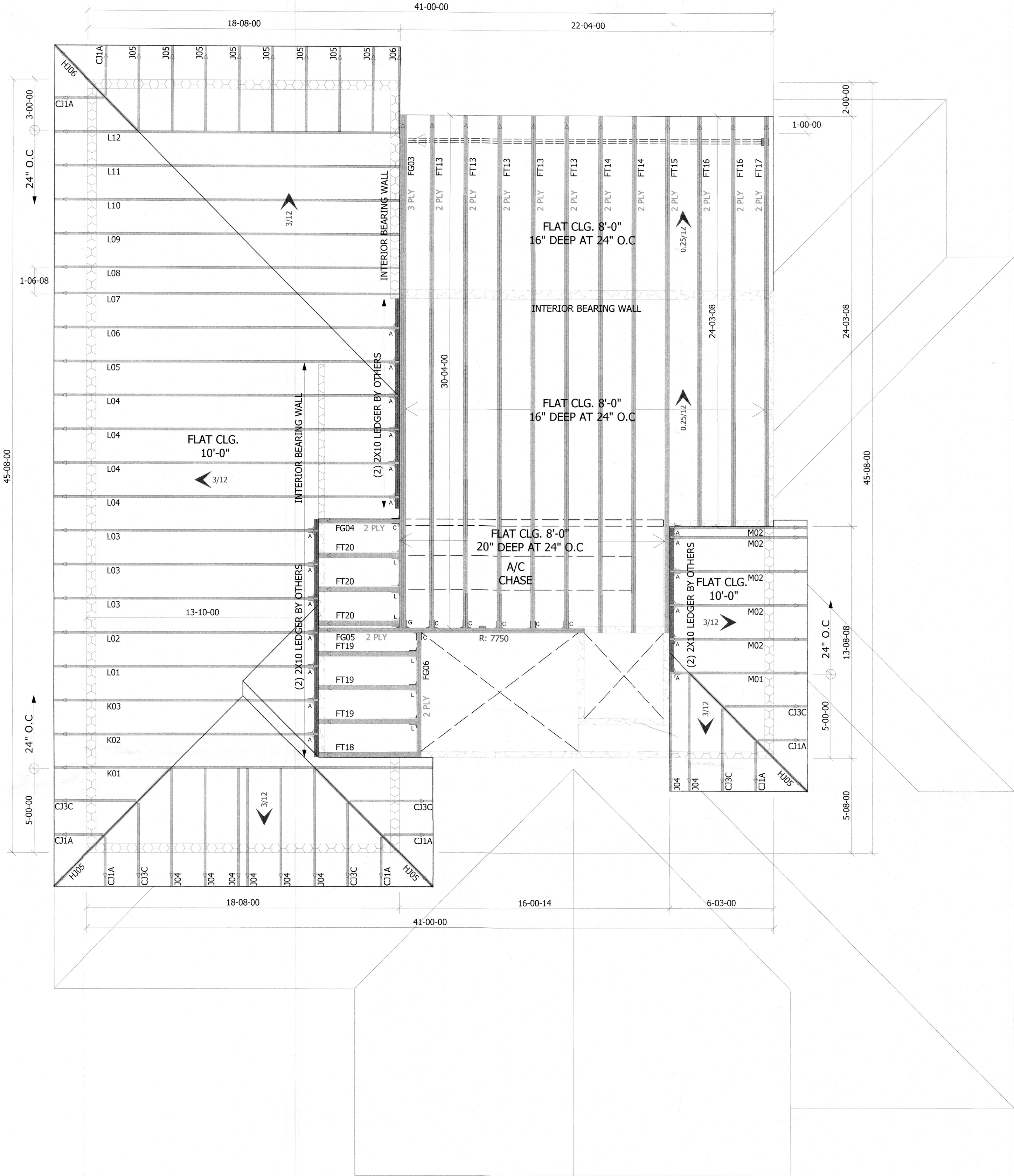
DRAWN BY: E.P.C
ENG BY: E.P.C
JOB#
3110323 - 1ST LVL
DATE: 6/27/2022 SCALE: 1/4" = 1'

REVISIONS:
1.
2.
3.
4.
5.

JOB SITE



516 6th Ave. East
Bradenton, FL 34208
Ph. (941) 746-2161
Fax (941) 306-4762



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By _____ Date _____

RECEIVED
JUL 12 2022
TOWN OF LONGBOAT
Planning, Zoning & Building

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Permanent Bracing, And Ceiling And
Roof Diaphragm Connections.

ROOF PITCH: 3/12 - 0.25/12
TOP CHORD: 2x6
OVERHANG: 24"
SQ. OR PLB. CUT: PLUMB

HARDWARE

FLOOR	ROOF
<C> HTU26-2= 6	<A> HTU26= 19
<G> HGUS26-3= 1	
<L> HHUS46= 6	

BEARING HEIGHT SCHEDULE

Hatch Legend	
	8'-0"
	10'-0"
	18'-4"
	14'-4"

BUILDER:

THE VISION GROUP LLC

ADDRESS: 737 NORTON ST

LOT: N/A

SUB: PFLUEGER RESIDENCE

COUNTY: MANATEE

PROJECT:

PFLUEGER RESIDENCE

MODEL:

PFLUEGER RESIDENCE

DRAWN BY: E.P.C

ENG BY: E.P.C

JOB#

3110324 - 2ND LVL

DATE: 6/27/2022

SCALE: 1/4" = 1'

REVISIONS:

- 1.
- 2.
- 3.
- 4.
- 5.

JOB SITE



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Bradenton, FL 34208
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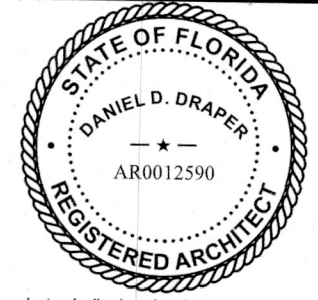
CONTRACTOR:
THE VISION GROUP, LLC
KEVIN IONTA
1900 MAIN STREET
SARASOTA, FLORIDA 34236
941-357-4040
LIC# CBC1261632

STATEMENT:
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE,
THE PLANS AND SPECIFICATIONS COMPLY WITH
THE APPLICABLE MINIMUM BUILDING CODES
AND THE APPLICABLE FIRE SAFETY STANDARDS
AS DETERMINED BY THE LOCAL AUTHORITY IN
ACCORDANCE WITH SECTION 105.13 (FBC) AND
633 FLORIDA STATUTES.

Dan Draper
Architect
LLC

5911 River Forest Circle
Bradenton, Florida 34203
941-321-9241 Cell
danarc2@verizon.net

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LAW.



This item has been electronically signed and sealed by Dan Draper using a Digital
Signature and date. Printed copies of this document are not considered signed
and sealed and the signature must be verified on any electronic copies.

Date:
2022.05.0
2 11:01:11
-04'00'

Dan Draper

GENERAL NOTES:

- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF.
- CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ANY CONSTRUCTION OR DEMOLITION TO VERIFY ALL CONDITIONS. CONTRACTOR SHALL REPORT IN WRITING TO THE OWNER OR HIS AGENT ANY DISCREPANCY PRIOR TO ANY WORK.
- CONTRACTOR IS RESPONSIBLE FOR A CLEAN SAFE WORK ENVIRONMENT.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ANY CONSTRUCTION MATERIAL AND DEBRIS. RECEIPTS OF DISPOSAL ARE TO BE KEPT FOR RECORD.
- SILT FENCE SHALL BE MAINTAINED THRU BEST MGMT PRACTICES FOR EROSION CONTROL THRU-OUT PROJECT.

CODE INFO:

FLORIDA BUILDING CODE: 2020 1TH EDITION
LIFE SAFETY CODE: 2011 6TH EDITION
NEC, NATIONAL ELECTRIC CODE, 2017 EDITION

LEGAL JURISDICTION: LONGBOAT KEY

TYPE OF CONSTRUCTION: TYPE V UNPROTECTED 3 STORY

OCCUPANCY: R3

ZONING: R45F

FLOOD: AE ELEV 8'-0" (NAVD 1988)
DESIGN FLOOD ELEV = 9'-0"

PARCEL NUMBER: 1861100005

DESIGN CRITERIA: 150 MPH, EXPOSURE D
RISK CATEGORY II

STRUCTURAL DESIGN: FLOOR LOAD 40 + 15 + 55 PSF TOTAL LOAD
ROOF LOAD + 30 + 11 + 41 PSF TOTAL LOAD

AREAS: 1720 SF A/C GROUND FLOOR
1675 SF A/C 2ND FLOOR
184 SF A/C 3RD FLOOR
3519 SF A/C TOTAL

540 SF GARAGE
320 SF 1ST FLOOR TERRACE
108 SF 1ST FLOOR ENTRY PORCH
230 SF 2ND FLOOR TERRACE
60 SF 2ND FLOOR BALCONY
534 SF 3RD FLOOR TERRACE

540 SF DRIVE AND WALKS
1280 SF POOL DECK
52 SF EQUIPMENT PADS
2,950 SF BUILDING FOOTPRINT

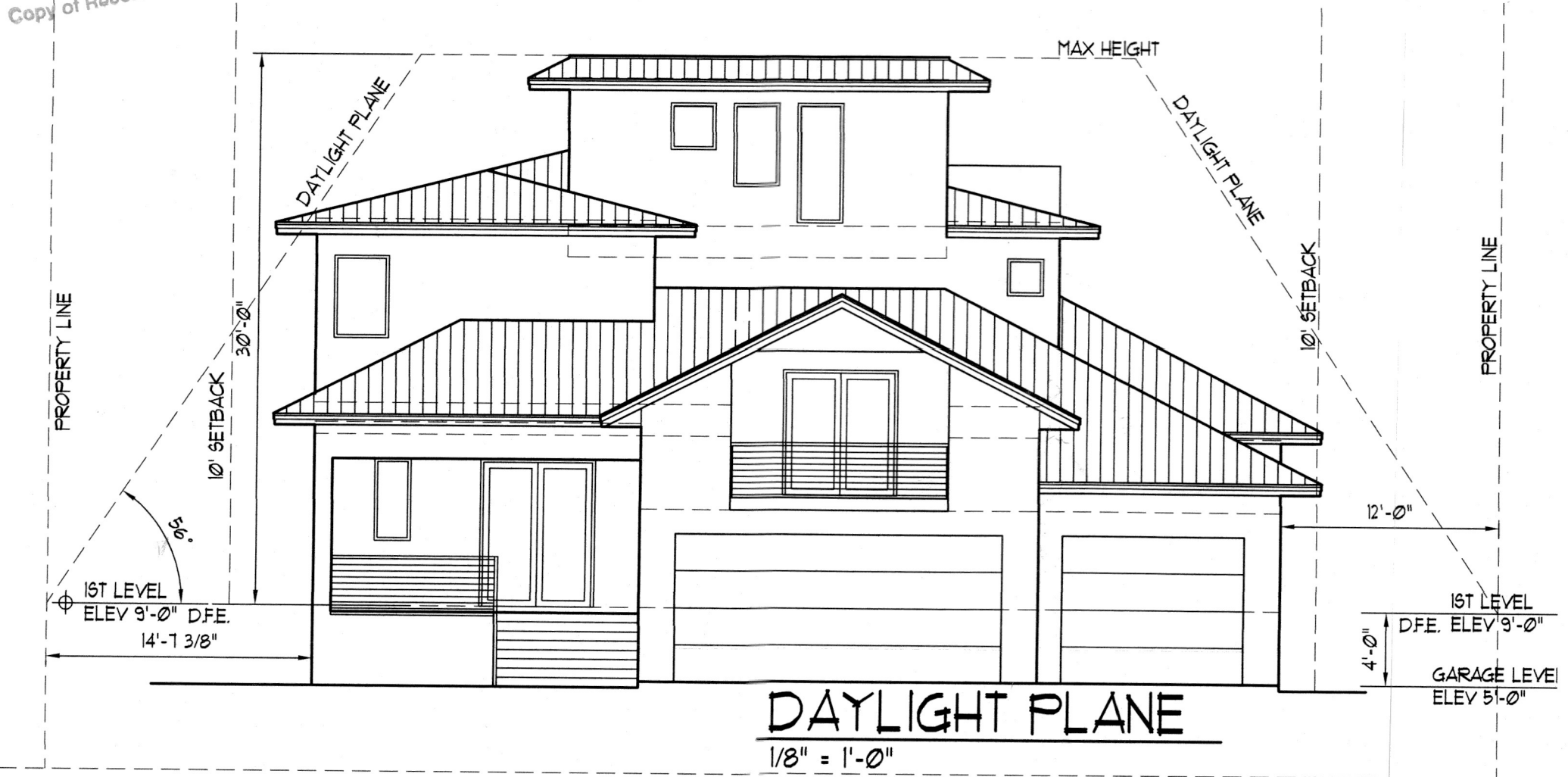
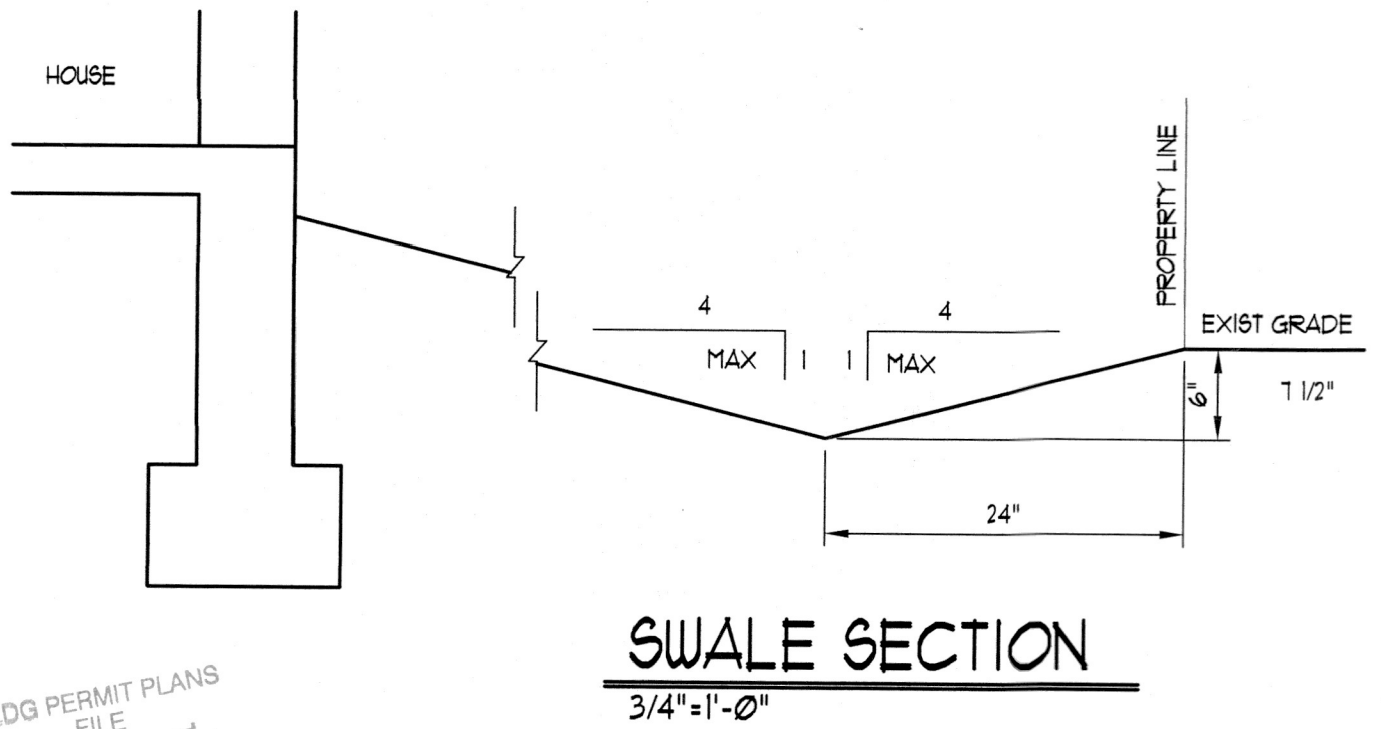
LOT SIZE: 9,840 SF AREA (23 ACRES)

SETBACKS: FRONT: 20'
SIDE: 20' COMBINED (8' MIN)
REAR: 20' (15' POOL)

MAX HEIGHT: 30' ABOVE D.F.E. = 9' + 30' = ELEV 39'

MAX IMPERVIOUS COVERAGE: 50% = 9,840 x 50 = 4,920 SF REQUIRED
4,830 SF PROVIDED

MAX BUILDING COVERAGE: 30% = 9,840 x 30 = 2,952 SF REQUIRED
2,950 SF PROVIDED



PFLUEGER RESIDENCE
737 NORTON STREET
LONGBOAT KEY, FL 34228

DATE: MAY 2, 2022
© Copyright 2022

SITE PLAN

SHEET NUMBER:

A1.1

GENERAL NOTES:

1. ALL EXTERIOR BEARING WALLS SHALL BE AS INDICATED ON SHEET A31 ABOVE FINISHED SLAB.
2. TOP OF ALL WINDOW HEADS SHALL BE 8'-0" A.F.S. UNLESS OTHERWISE SPECIFIED.
3. ALL HEADERS IN CMU WALLS SHALL BE PRE-CAST LINTELS FILLED W/ 1-# REBAR TYP UNLESS OTHERWISE SPECIFIED.
4. ALL HEADERS IN BEARING FRAME WALLS SHALL BE 2-2x10 #2 PINE WOOD BEAMS UNLESS OTHERWISE SPECIFIED.
5. ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
6. PROVIDE FOR WATER RESISTANT "GREEN" GYPSUM IN BATHROOMS.
7. FIBER CEMENT BACKER BRD SHALL BE USED IN ALL TILED AREAS AND SHOWERS.
8. DRYER VENT DAMPERED, NOT SCREENED.
9. ALL GARAGE DOORS, WINDOWS, DOORS, SLIDING GLASS DOORS, AND OTHER OPENINGS SHALL MEET WIND LOAD REQUIREMENTS FOR COMPONENTS AND CLADDING PER FBC 1606.
10. ALL DIMENSIONS ARE TO FACE OF DRYWALL OR CMU.
11. PROVIDE DEADWOOD IN BATHROOM WALLS FOR FUTURE GRAB BARS.
12. ALL BATHROOM COUNTERTOPS TO BE 36" HIGH.
13. CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO WORK TO BE DONE.
14. PROVIDE FULL SIZE MIRRORS IN ALL BATHS.
15. ALL MTL'S INSTALLED BELOW BFE MUST BE WATER RESISTANT.
16. PROVIDE HOT WATER RECIRCULATION SYSTEM.
17. ALL INTERIOR WALLS AND CEILINGS TO BE PRIMED & PAINTED.

LEGEND:

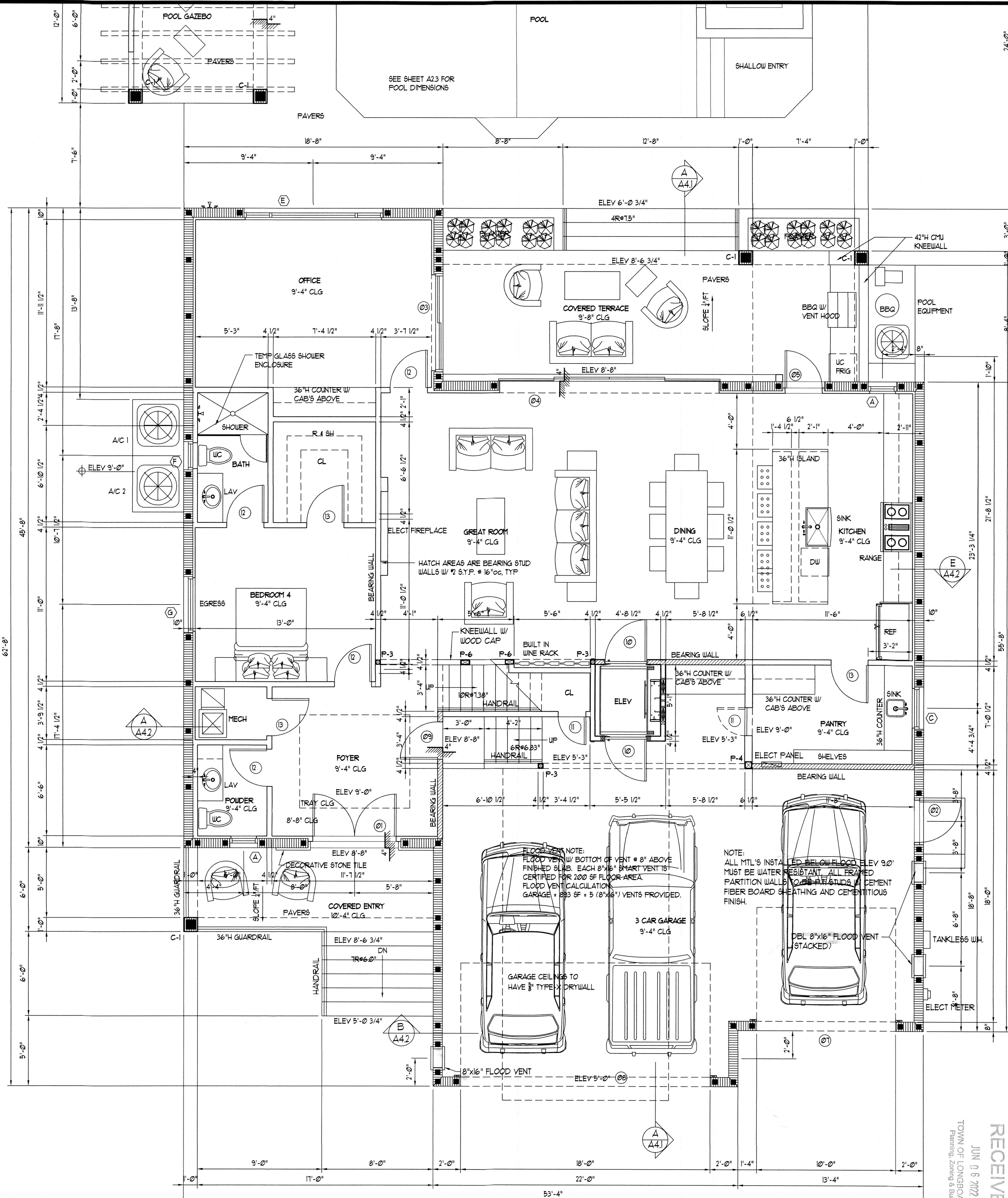
- ② DOOR TAG (SEE SCHED. - SHT. A51)
A WINDOW TAG (SEE SCHED. - SHT. A52)
T.O.S. ELEV. = 100'-0" = TOP OF SLAB ELEVATION
T.O.D. ELEV. = 111'-0" = TOP OF FLYWOOD DECK ELEVATION
8" CMU WALL
ALL DIMENSIONS ARE TO FACE OF DRYWALL

ABBREVIATIONS:

- | | |
|-------------------------|-----------------------------|
| UH = WATER HEATER | TP = TOILET PAPER HOLDER |
| AHU = AIR HANDLING UNIT | TR = TOWEL RACK |
| LAV = LAVATORY | R & SH = ROD & SHELF |
| WC = WATER CLOSET | CAB = CABINET |
| W = WASHER | DISP = DISPOSAL |
| D = DRYER | TEMP = TEMPERED |
| DW = DISHWASHER | 5 SH = 5 SHELVES |
| REF = REFRIGERATOR | F.C. = FILLED CELL W/ REBAR |
| P = PANTRY | |
| L = LINEN | |
| A = ACTIVE LEAF | |
| IA = INACTIVE LEAF | |

- = (1) #5 REBAR VERT HOOKED 8" INTO TIE BEAM & 8" INTO FTG IN FILLED CELL.
▲ = (2) #5 REBAR VERT HOOKED 8" INTO TIE BEAM & 8" INTO FTG IN FILLED CELL.

R32212 STRUCTURAL SYSTEMS:
STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO DESIGN FLOOD ELEVATION. FBC 2020 - 11TH EDITION - BUILDING - SECTIONS 1612 & 3103, FBC 2020 - 11TH EDITION - RESIDENTIAL - SECTION R32212, FEMA TB #3 AND ASCE 24.



GROUND FLOOR PLAN

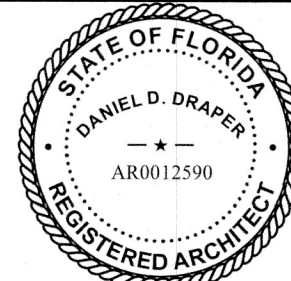
1/4" = 1'-0"

NOTE:
ALL DIMENSIONS ARE TO FACE OF DRYWALL OR CMU

Dan Draper
Architect
LLC

5911 River Forest Circle
Bradenton, Florida 34203
941-321-9241 Cell
danarc2@verizon.net

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Signature and date. Printed copies of this document are not considered signed
and sealed and the signature must be verified on any electronic copies.

PFLUEGER RESIDENCE
737 NORTON STREET
LONGBOAT KEY, FL 34228

DATE: MAY 2, 2022
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FIRST
FLOOR PLAN
LDG PERMIT PLANS
FILE
Copy of Record

SHEET NUMBER:

A2.1

GENERAL NOTES:

1. ALL EXTERIOR BEARING WALLS SHALL BE AS INDICATED ON SHEET A31 ABOVE FINISHED SLAB.
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△ WINDOW TAG (SEE SCHED. - SHT. A52)

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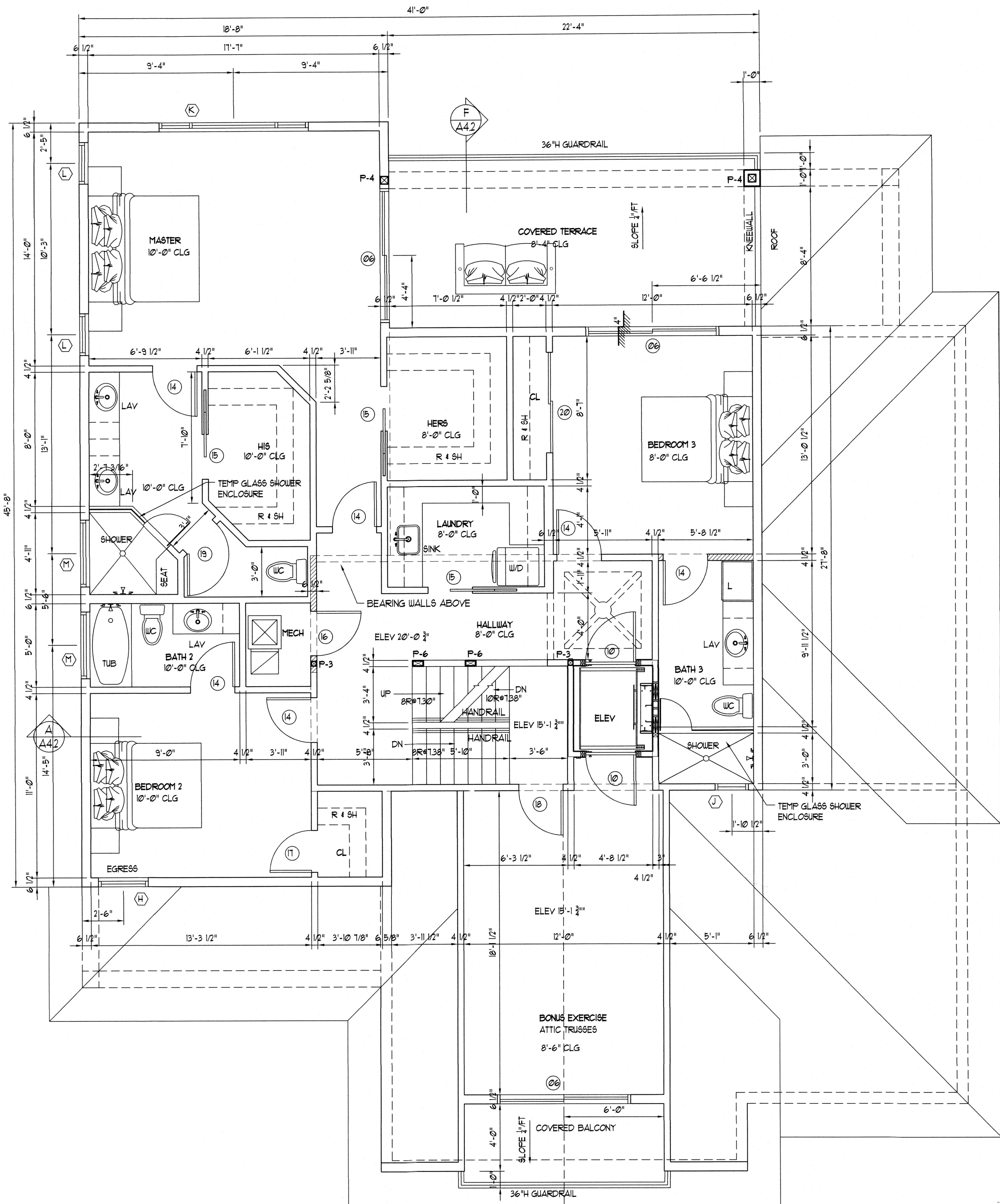
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2ND FLOOR PLAN

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RECEIVED
JUN 06 2022
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

BLDG PERM. FILED
Copy of Record

DATE: MAY 2, 2022
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SECOND
FLOOR PLAN

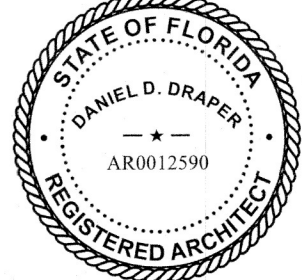
SHEET NUMBER:

A2.2

Dan Draper
Architect
LLC

5911 River Forest Circle
Bradenton, Florida 34203
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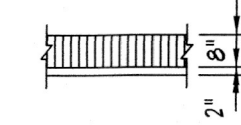
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PFLUEGER RESIDENCE
737 NORTON STREET
LONGBOAT KEY, FL 34228

1. ALL EXTERIOR BEARING WALLS SHALL BE AS INDICATED ON SHEET A31 ABOVE FINISHED SLAB.
2. TOP OF ALL WINDOW HEADS SHALL BE 8'-0" AFS, UNLESS OTHERWISE SPECIFIED.
3. ALL HEADERS IN CMU WALLS SHALL BE PRE-CAST LINTELS FILLED W/ 1-5 REBAR TYP UNLESS OTHERWISE SPECIFIED.
4. ALL HEADERS IN BRICK FRAME WALLS SHALL BE:
 - a. 2x10 FINE WOOD
 - b. 2x10 WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
5. PROVIDE FOR WATER RESISTANT "GREEN" GYPSUM IN BATHROOMS.
6. PROVIDE 1/2" BACK FLASHING ON ALL TILED AREAS AND SHOUERS.
7. DRYER VENT DAMPERS NOT SCREENED.
8. ALL GARAGE DOORS, WINDOW DOORS, SLIDING GLASS DOORS, AND OTHER OPENINGS SHALL MEET LOAD REQUIREMENTS FOR COMPONENTS AND FASTENERS PER GLAZING SPECIFICATIONS.
9. ALL DIMENSIONS ARE TO FACE OF DRYWALL OR CMU.
10. PROVIDE DEADUOD IN BATHROOM WALLS FOR FUTURE GRAB BARS.
11. ALL BATHROOM COUNTERTOPS TO BE 3/4" HIGH.
12. CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO WORK TO BE DONE.
13. PROVIDE FULL SILL FLASHING ON ALL WINDOWS.
14. ALL MTLs INSTALLED BELOW DECK MUST BE WATER RESISTANT.
15. PROVIDE HOT WATER REGULATION SYSTEM.
16. ALL INTERIOR WALLS AND CEILINGS TO BE PRIMED & PAINTED.

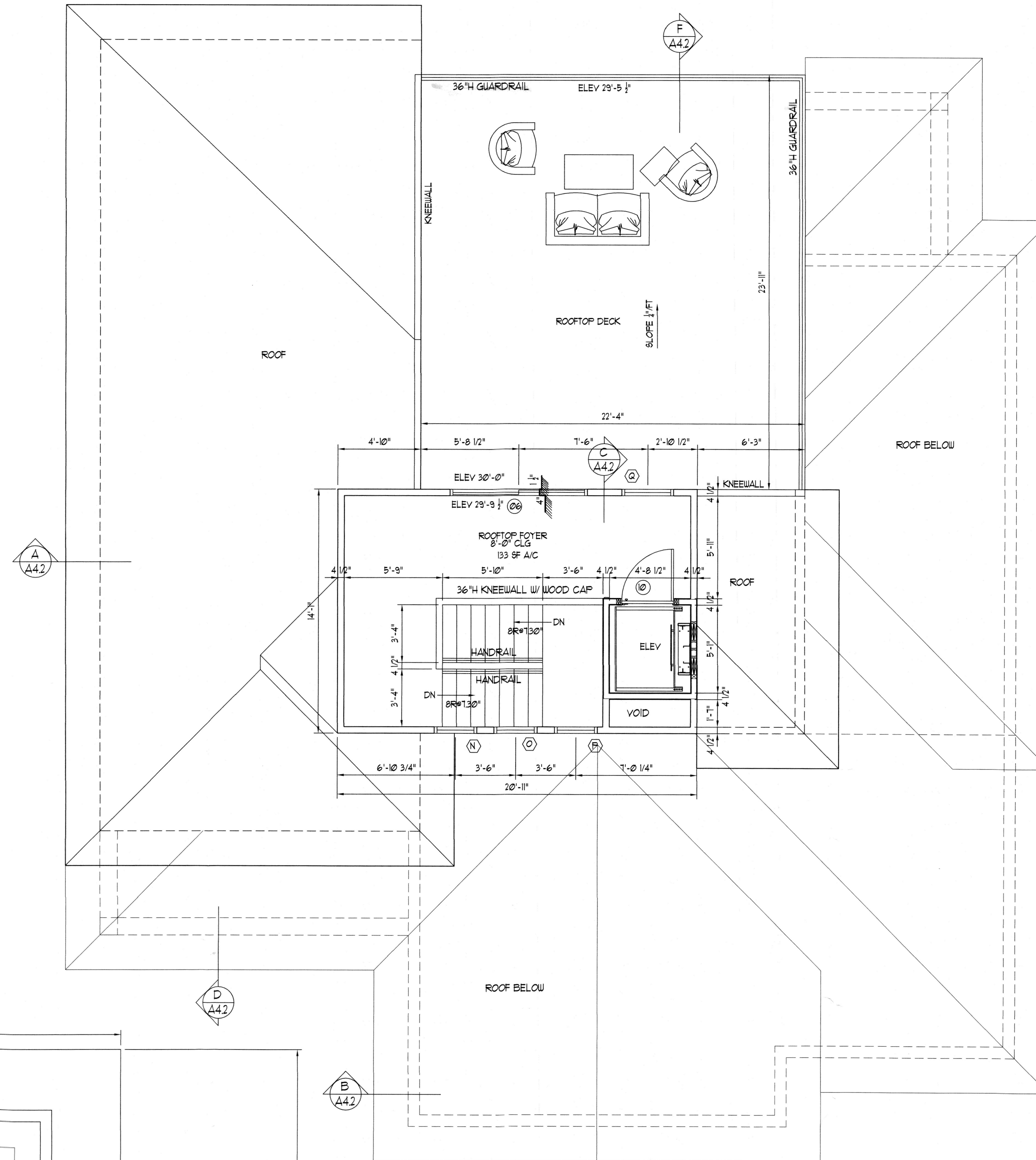
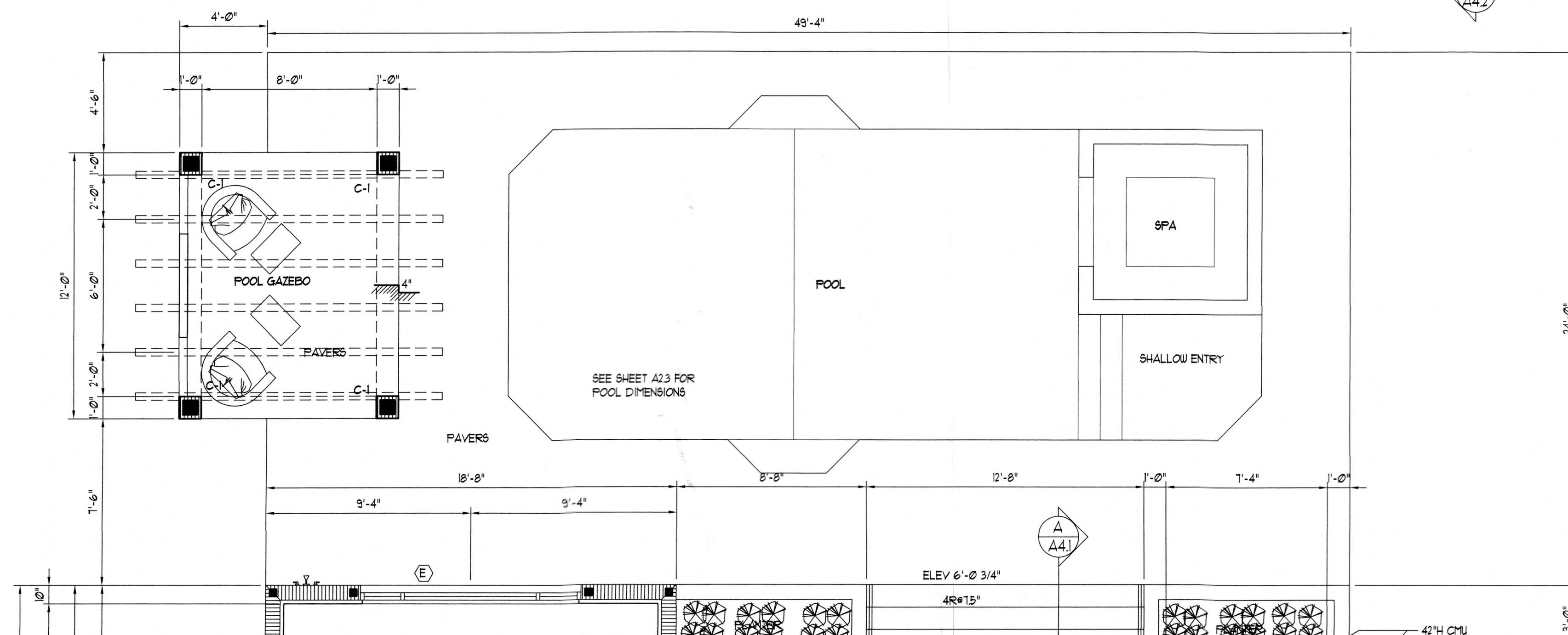
(2) DOOR TAG (SEE SCHED.- SHT. A5.1)
 (A) WINDOW TAG (SEE SCHED.- SHT. A5.2)

T.O.S. ELEV.=100'-0" \oplus = TOP OF SLAB ELEVATION
 T.O.D. ELEV.=111'-0" \oplus = TOP OF PLYWOOD DECK ELEVATION



WH	= WATER HEATER	TP	= TOILET PAPER HOLDER
AHJ	= AIR HANDLING UNIT	TR	= TOWEL RACK
LAV	= LAVATORY	R 4 SH	= ROD 4 SHELF
WC	= WATER CLOSET	CAB	= CABINET
W	= WASHER	DISP	= DISPOSAL
D	= DRYER	TEMP	= TEMPERED
DW	= DISHWASHER	5 SH	= 5 SHELVES
REF	= REFRIGERATOR	F.C.	= FILLED CELL W/ REBAR
P	= PANTRY		
L	= LINEN		
A	= ACTIVE LEAF		
IA	= INACTIVE LEAF		

- = (1) #5 REBAR VERT HOOKED 8" INTO TIE BEAM & 8" INTO FTG IN FILLED CELL.
- ▲ = (2) #5 REBAR VERT HOOKED 8" INTO TIE BEAM & 8" INTO FTG IN FILLED CELL.

~~1/4" = 1'-0"~~
$$1/4'' = 1'-0''$$

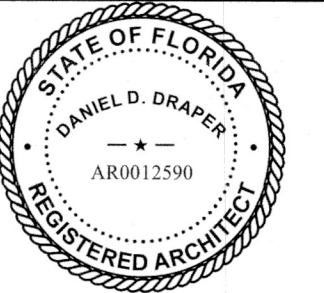
NOTE:
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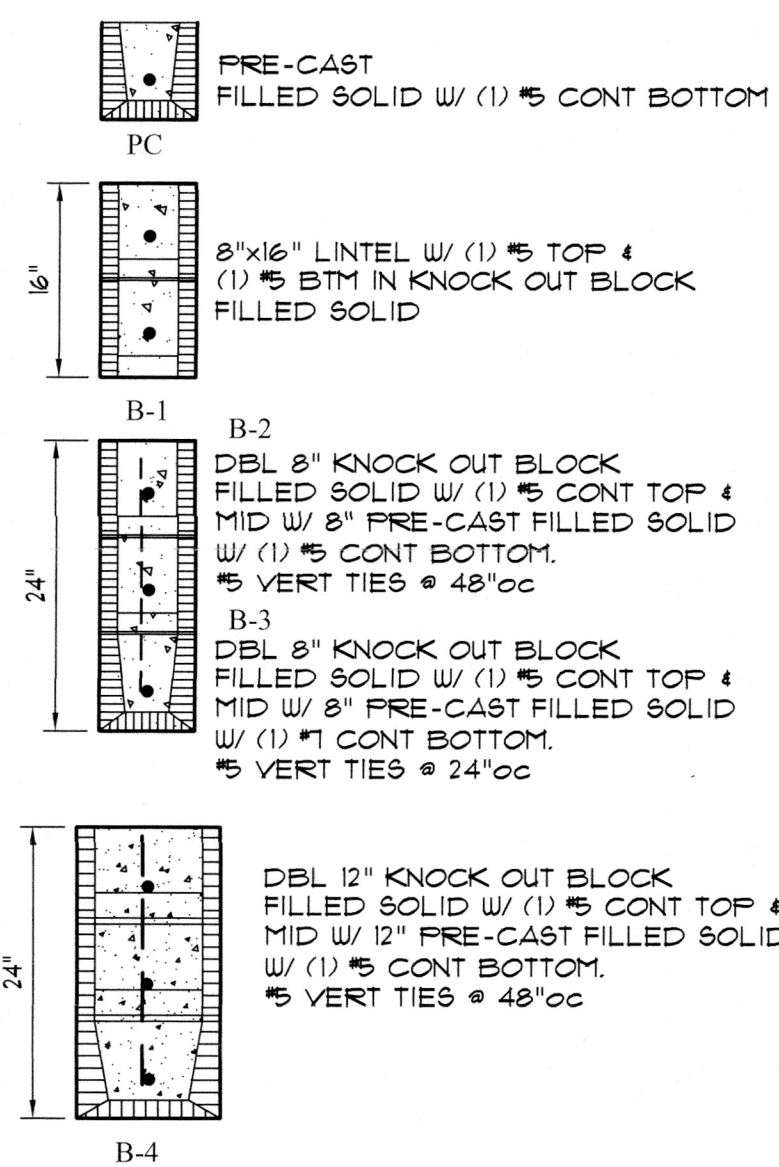
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THIRD FLOOR PLAN

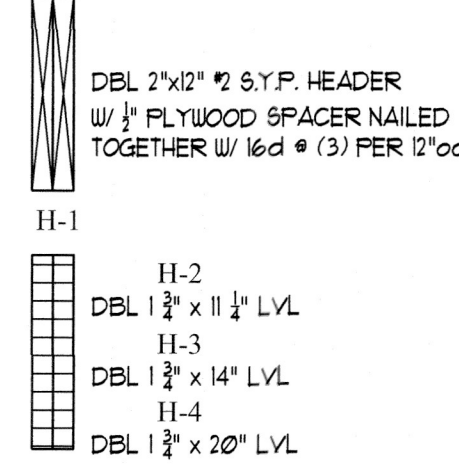
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A2.3

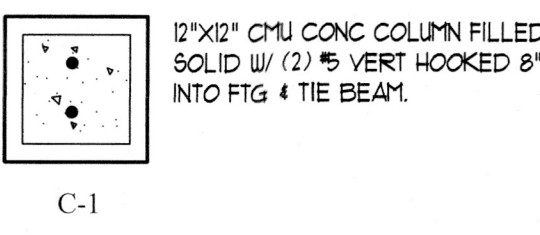
BEAM & HEADER SCHEDULE:



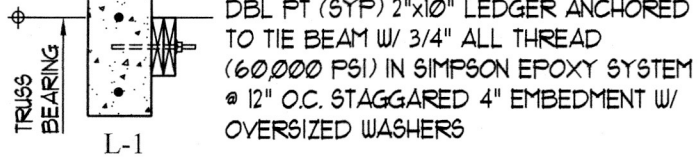
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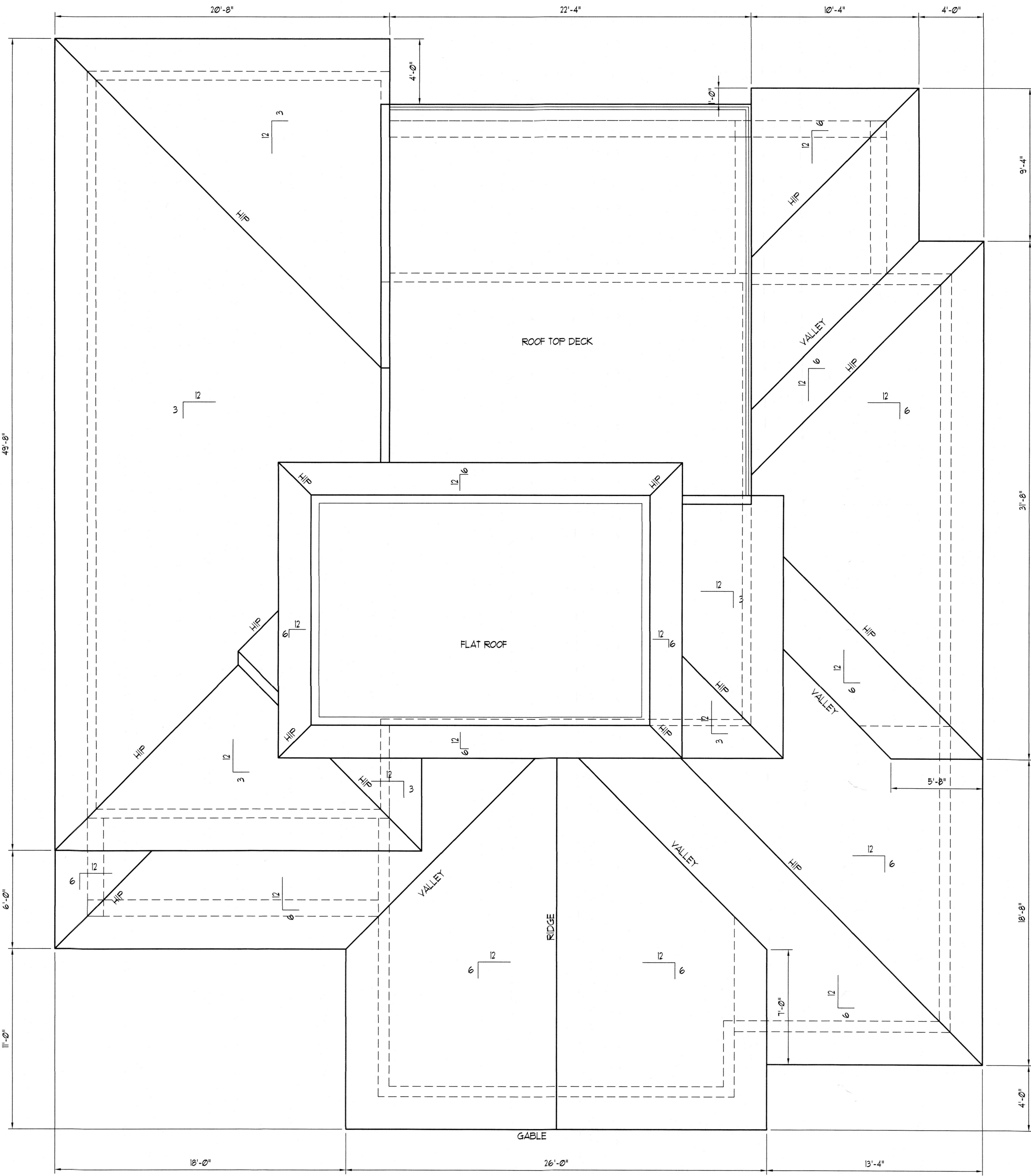
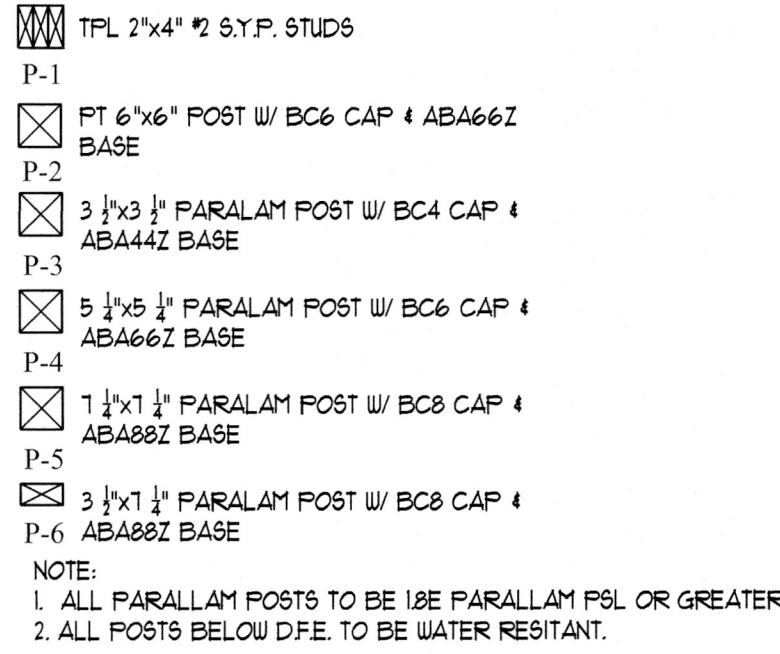
COLUMN SCHEDULE:



LEDGER SCHEDULE:



POST SCHEDULE:



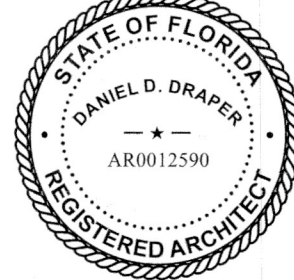
ROOF PLAN
1/4" = 1'-0"

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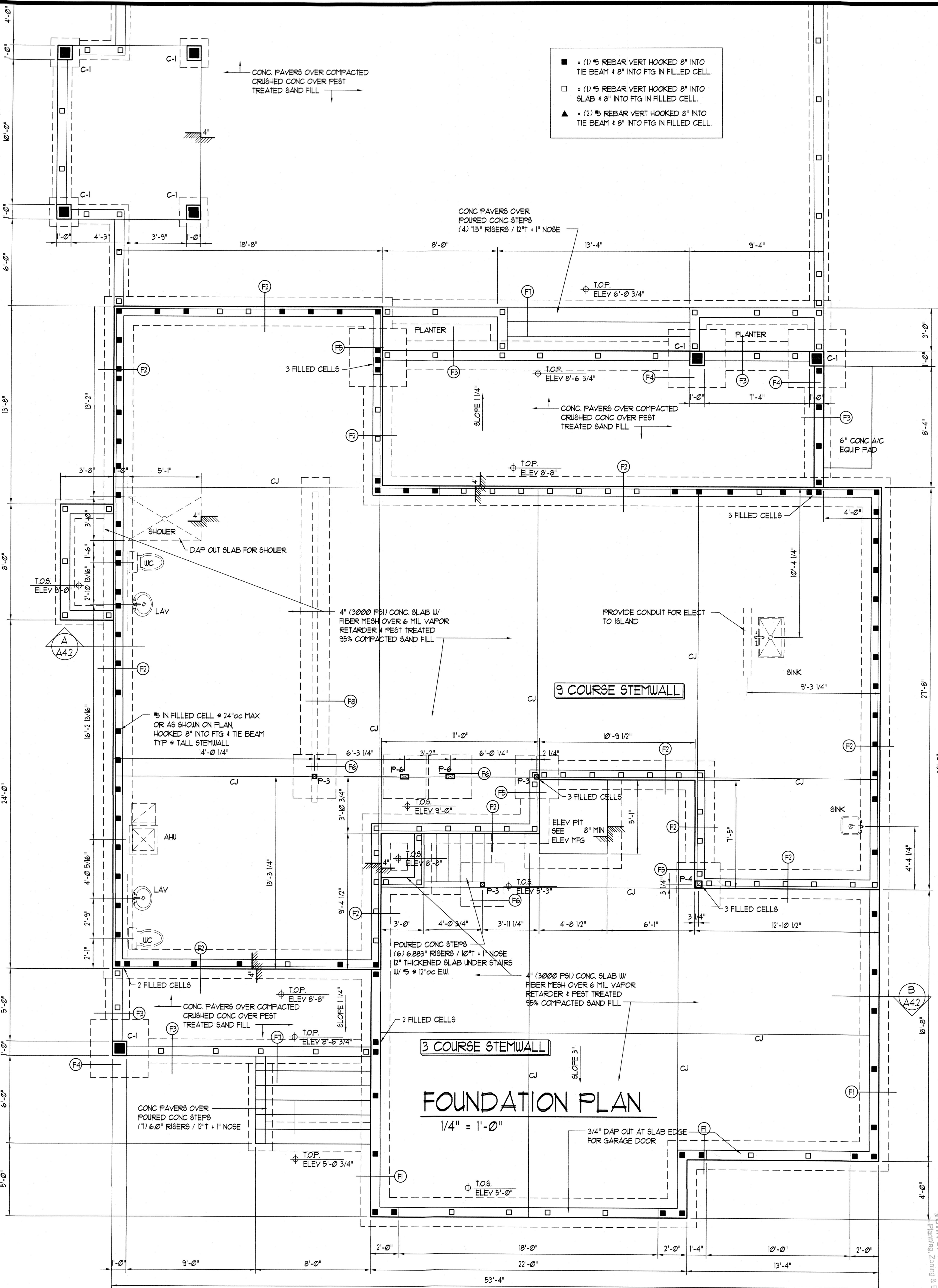
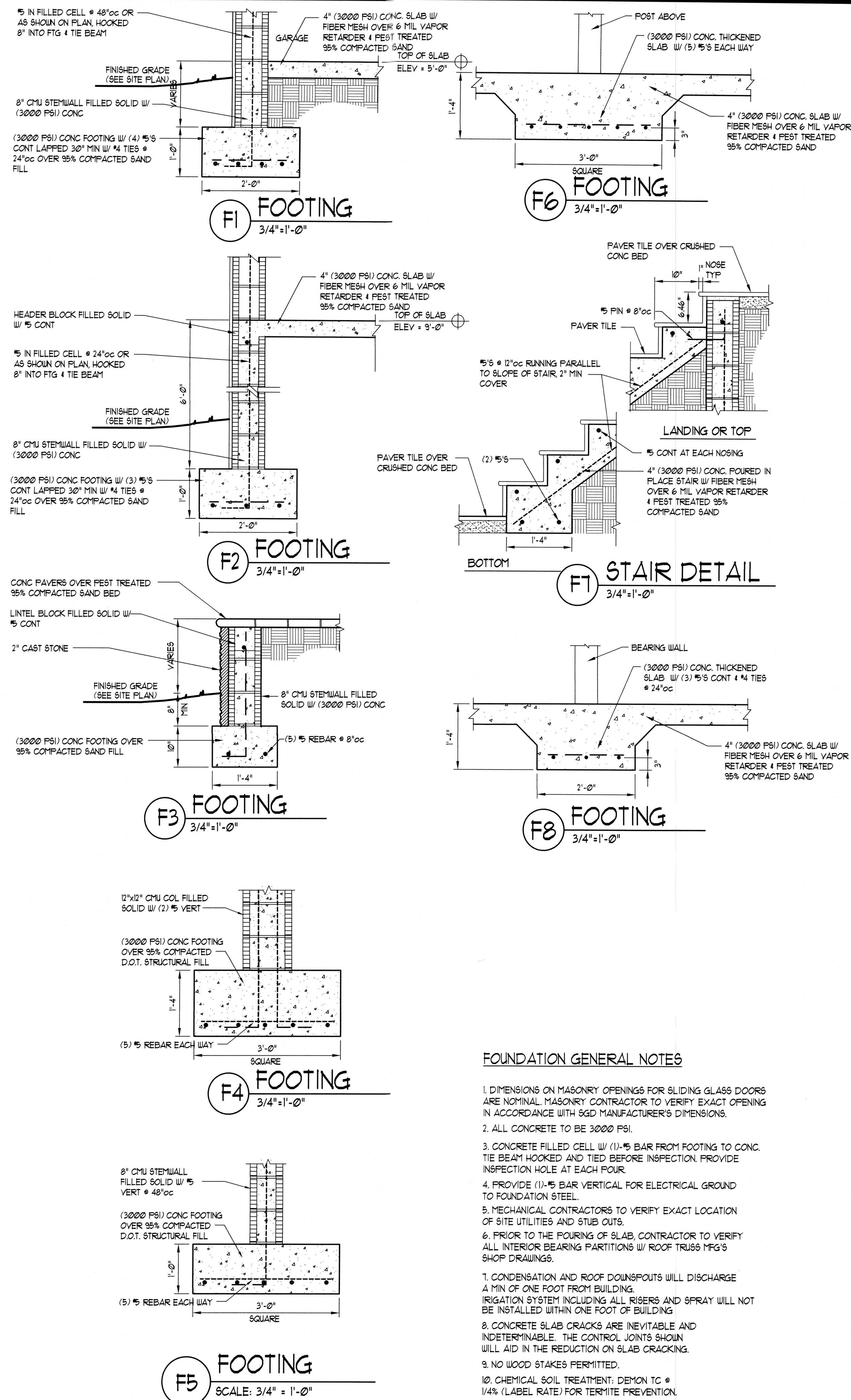
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2ND FLOOR PLAN

SHEET NUMBER:

A2.4

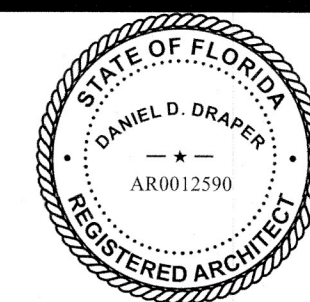
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FOUNDATION PLAN

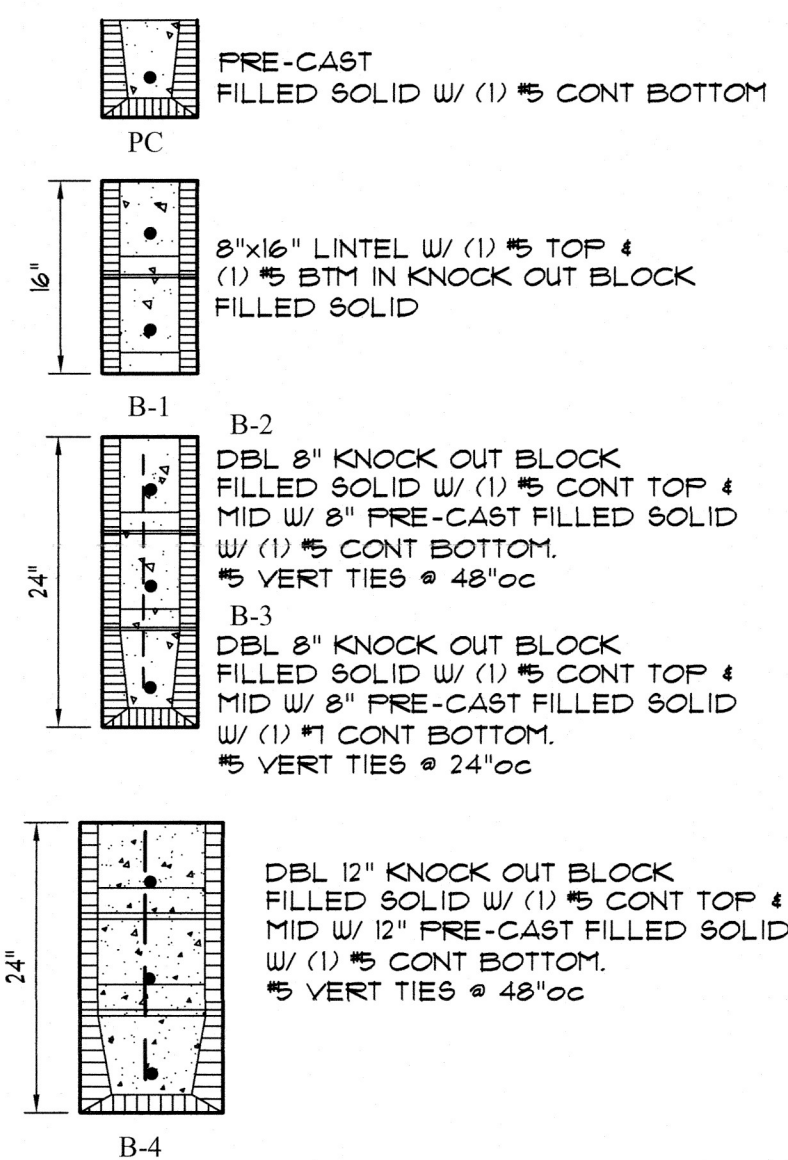
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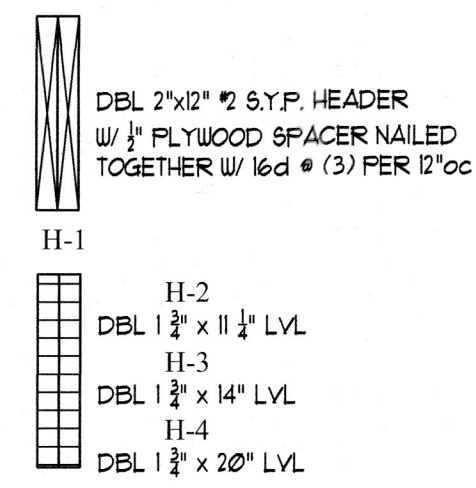
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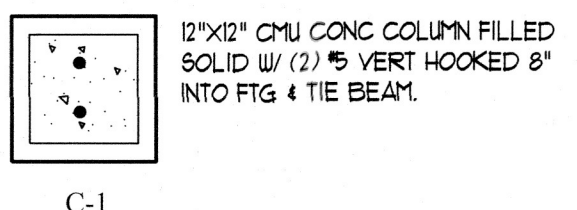
BEAM & HEADER SCHEDULE:



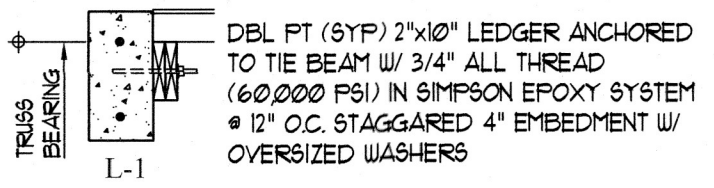
HEADER SCHEDULE:



COLUMN SCHEDULE:

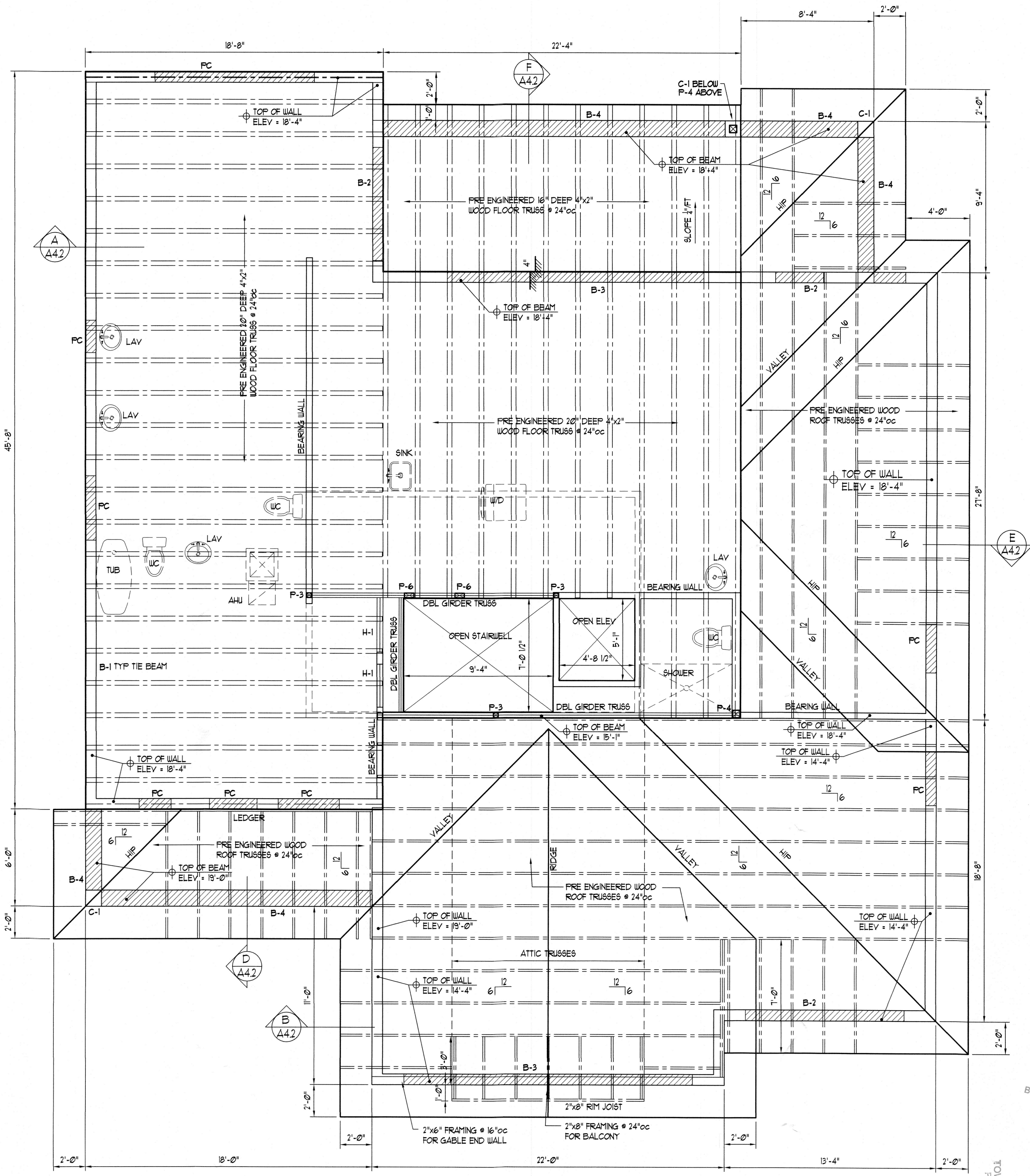


LEDGER SCHEDULE:



POST SCHEDULE:

- PTL 2"x4" #2 SYP STUDS
- P-1
- PT 6"x6" POST W/ BC6 CAP & ABA66Z BASE
- P-2
- 3 1/2"x3 1/2" PARALLAM POST W/ BC4 CAP & ABA44Z BASE
- P-3
- 5 1/2"x5 1/2" PARALLAM POST W/ BC6 CAP & ABA66Z BASE
- P-4
- 1 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP & ABA88Z BASE
- P-5
- 3 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP & ABA88Z BASE
- P-6
- 3 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP & ABA88Z BASE
- NOTE:
1. ALL PARALLAM POSTS TO BE 18E PARALLAM PSL OR GREATER
2. ALL POSTS BELOW D.F.E. TO BE WATER RESISTANT.



NOTE:
ALL DIMENSIONS ARE TO FACE OF DRYWALL OR CMU

2ND FLOOR FRAMING PLAN

1/4" = 1'-0"

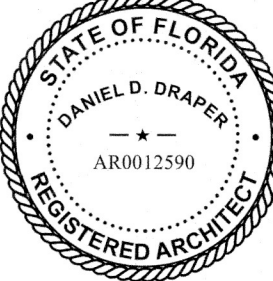
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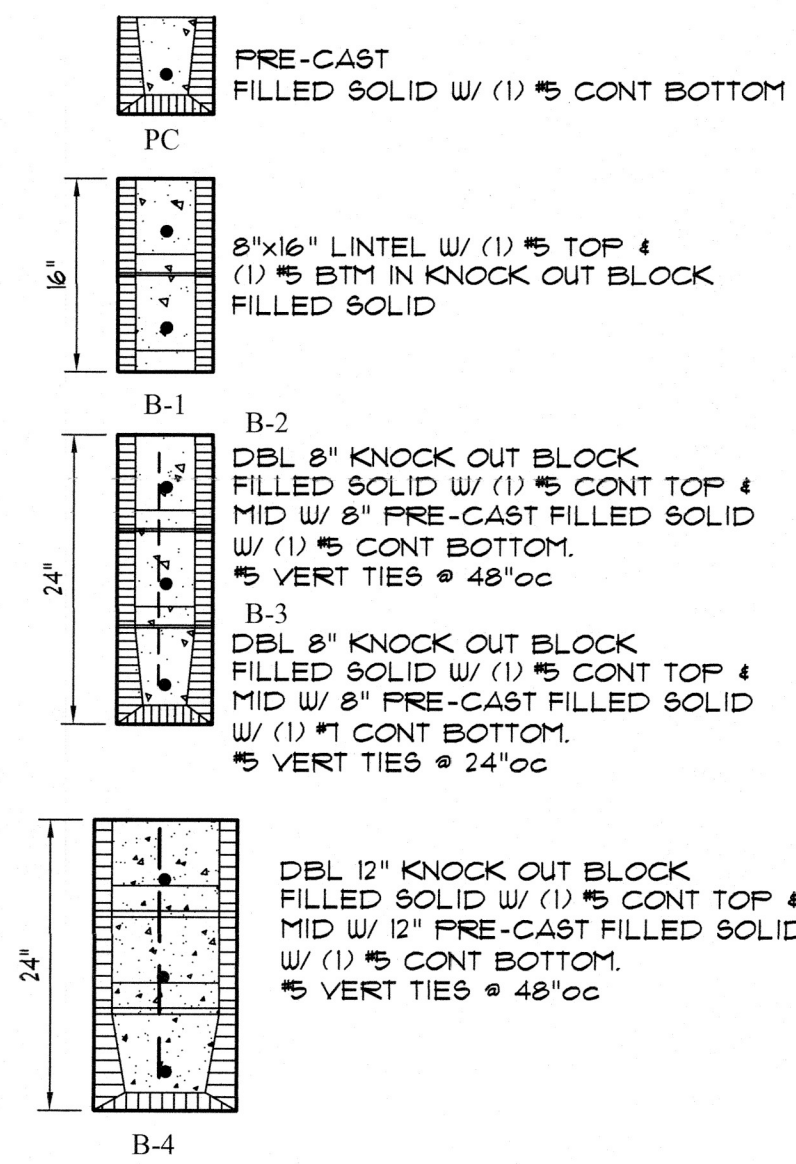
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SECOND FLOOR
FRAMING PLAN

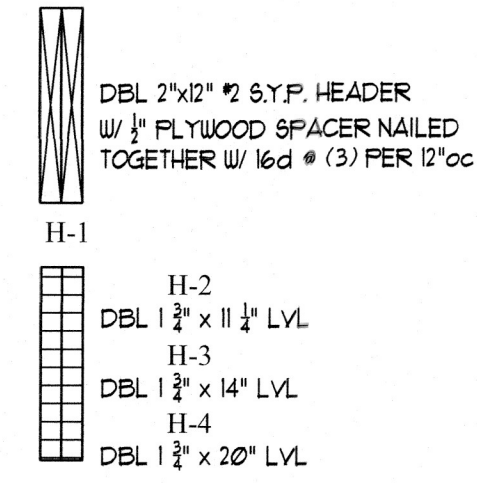
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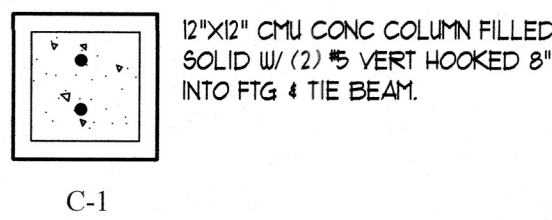
BEAM & HEADER SCHEDULE:



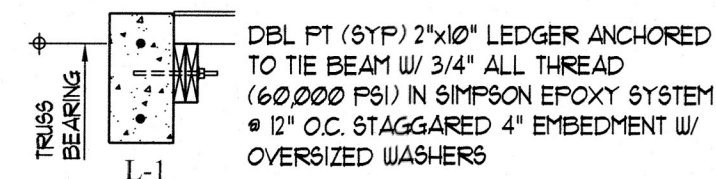
HEADER SCHEDULE:



COLUMN SCHEDULE:

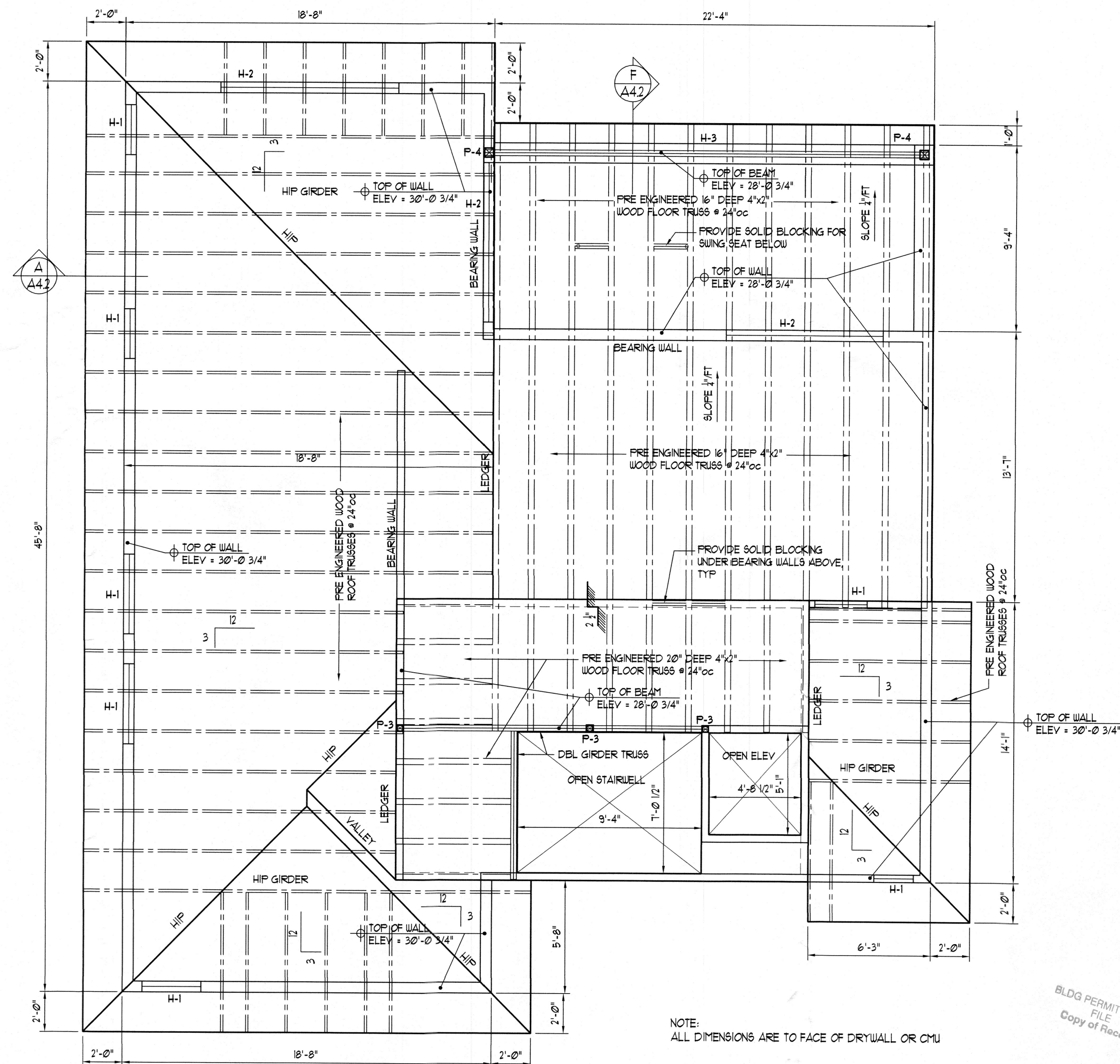
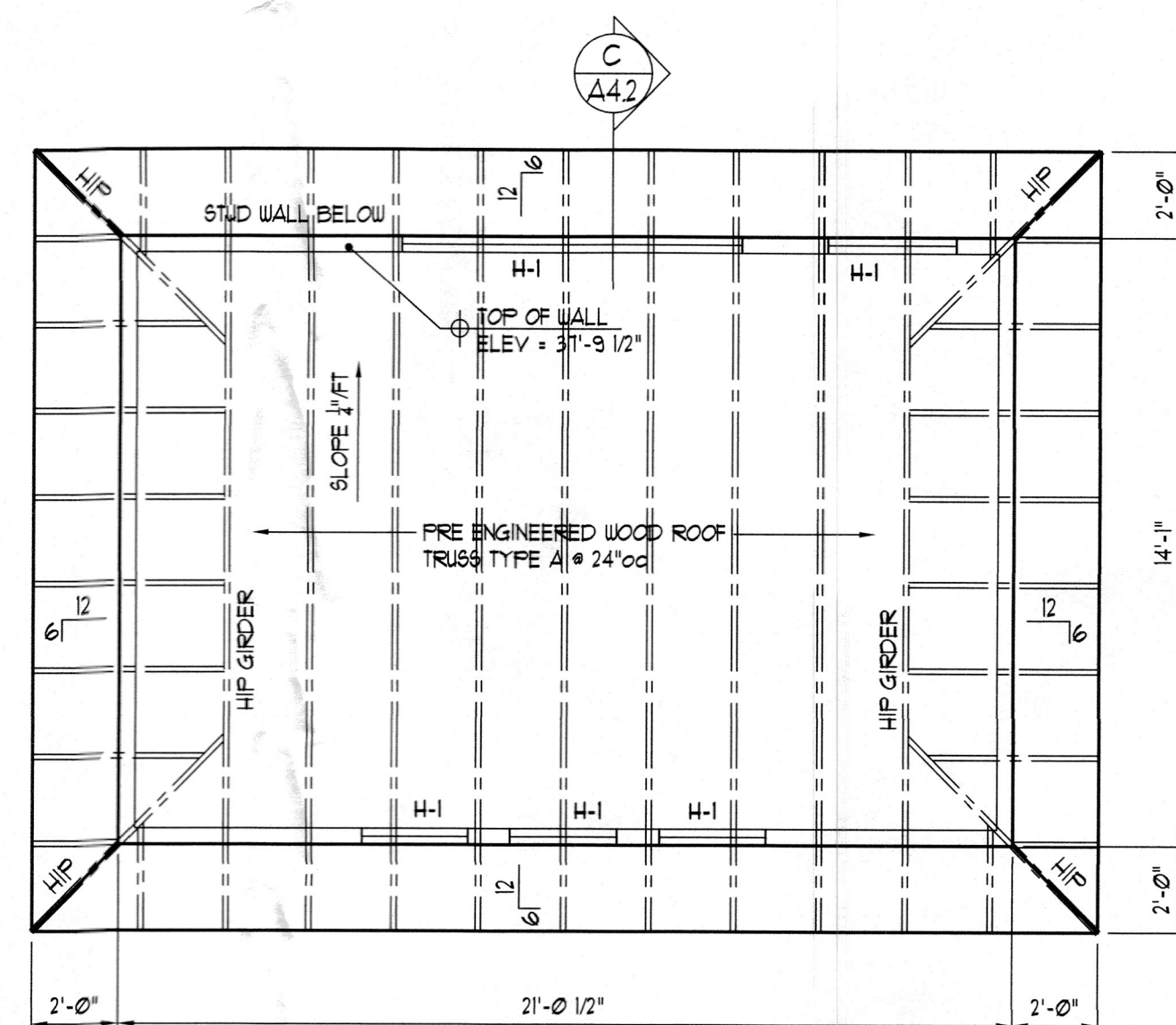


LEDGER SCHEDULE:



POST SCHEDULE:

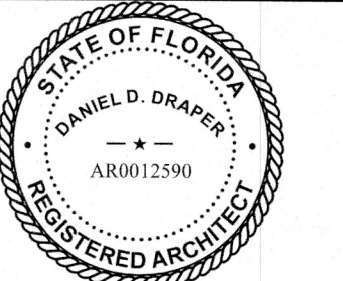
- TPF 2"x4" SYP STUDS
 - P-1
PT 6"x6" POST W/ BC6 CAP & ABA66Z
BASE
 - P-2
3 1/2"x3 1/2" PARALLAM POST W/ BC4 CAP &
ABA44Z BASE
 - P-3
5 1/2"x5 1/2" PARALLAM POST W/ BC6 CAP &
ABA66Z BASE
 - P-4
1 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP &
ABA88Z BASE
 - P-5
3 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP &
ABA88Z BASE
 - P-6
3 1/2"x1 1/2" PARALLAM POST W/ BC8 CAP &
ABA88Z BASE
- NOTE:
1. ALL PARALLAM POSTS TO BE 12E PARALLAM F&L OR GREATER.
2. ALL POSTS BELOW D.F.E. TO BE WATER RESISTANT.



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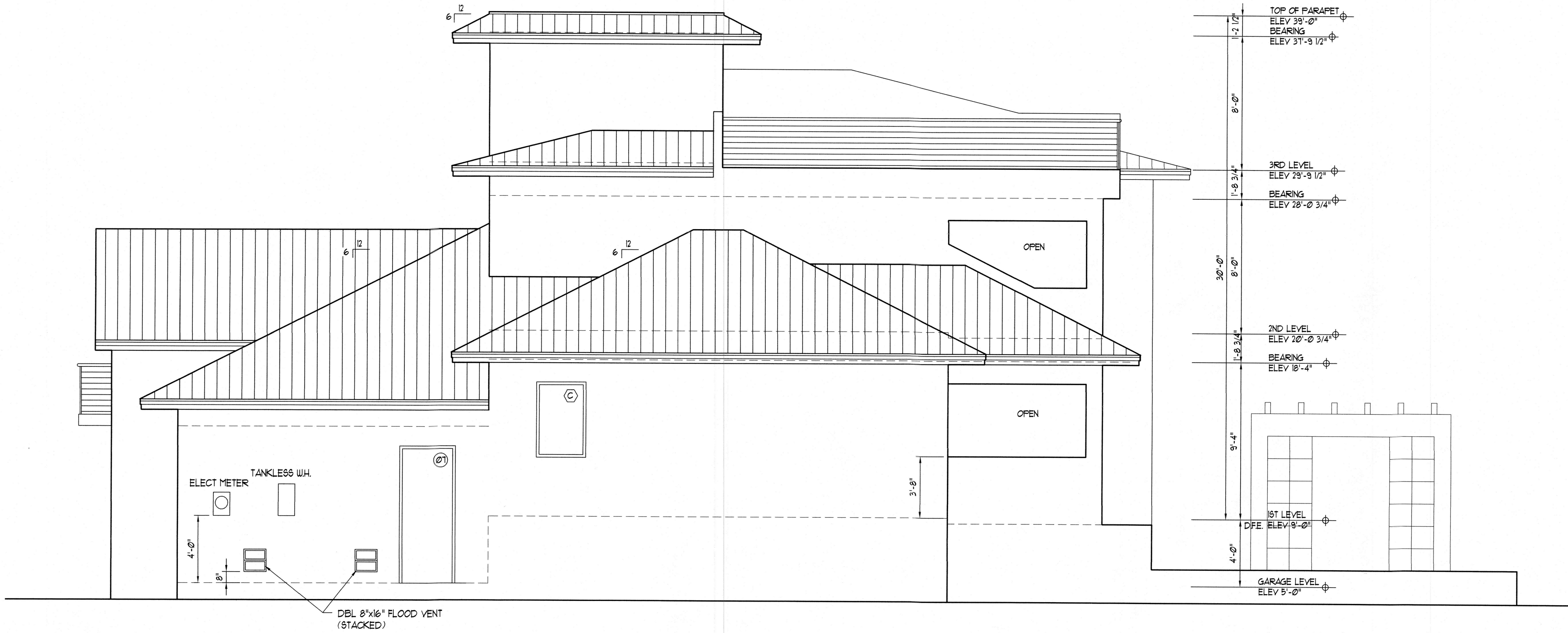
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THIRD FLOOR
FRAMING PLAN

SHEET NUMBER:

A2.7



RIGHT ELEVATION - NORTH

1/4" = 1'-0"



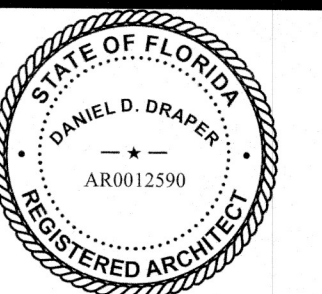
FRONT ELEVATION - EAST

1/4" = 1'-0"

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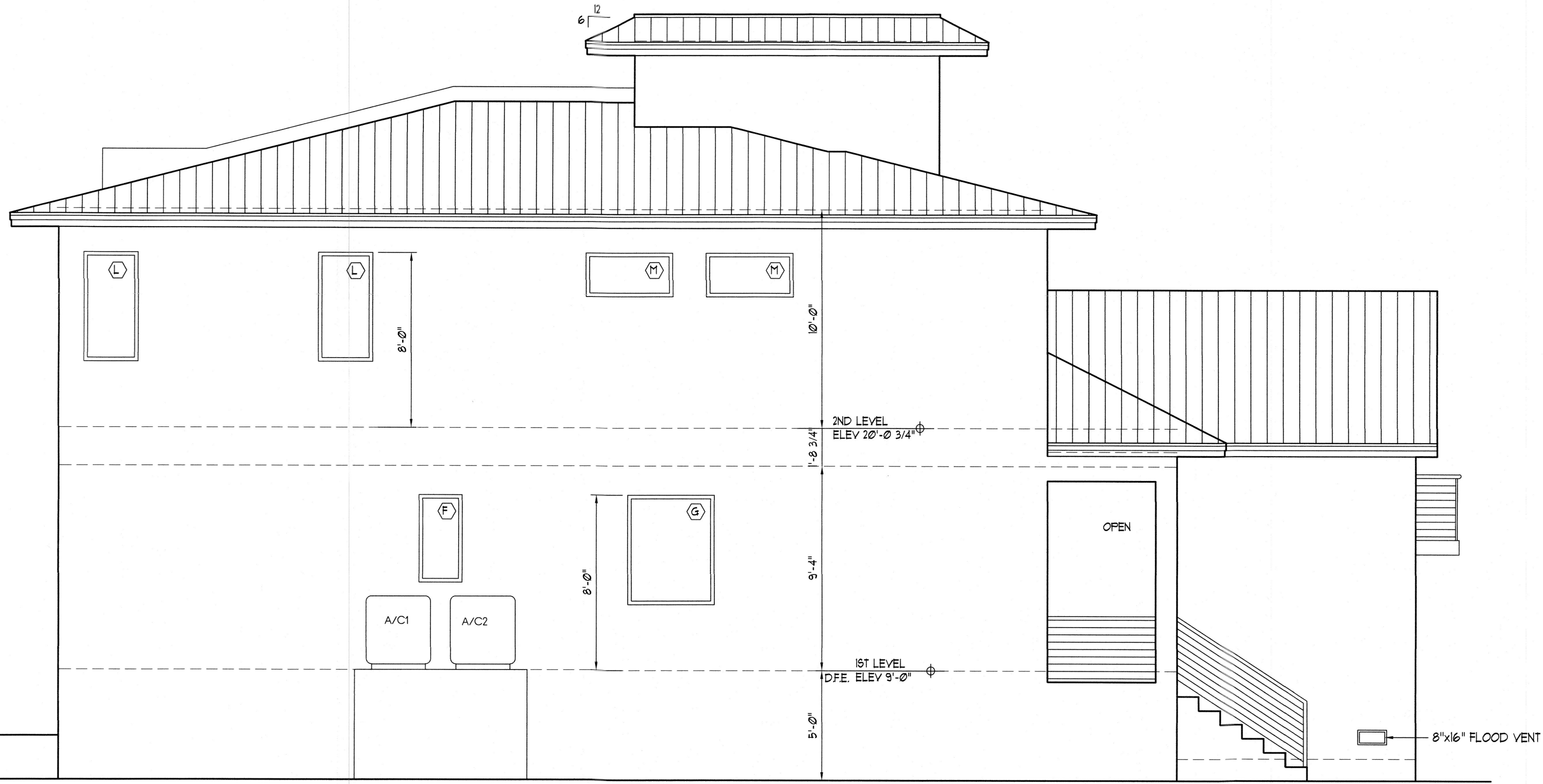
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ELEVATIONS

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LEFT ELEVATION - SOUTH

1/4" = 1'-0"



REAR ELEVATION - WEST

1/4" = 1'-0"

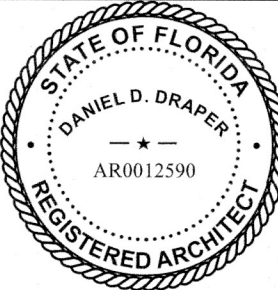
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ELEVATIONS

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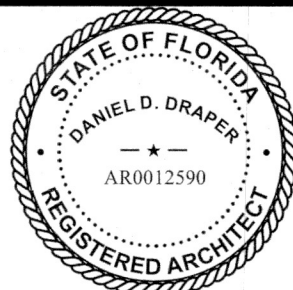
A3.2

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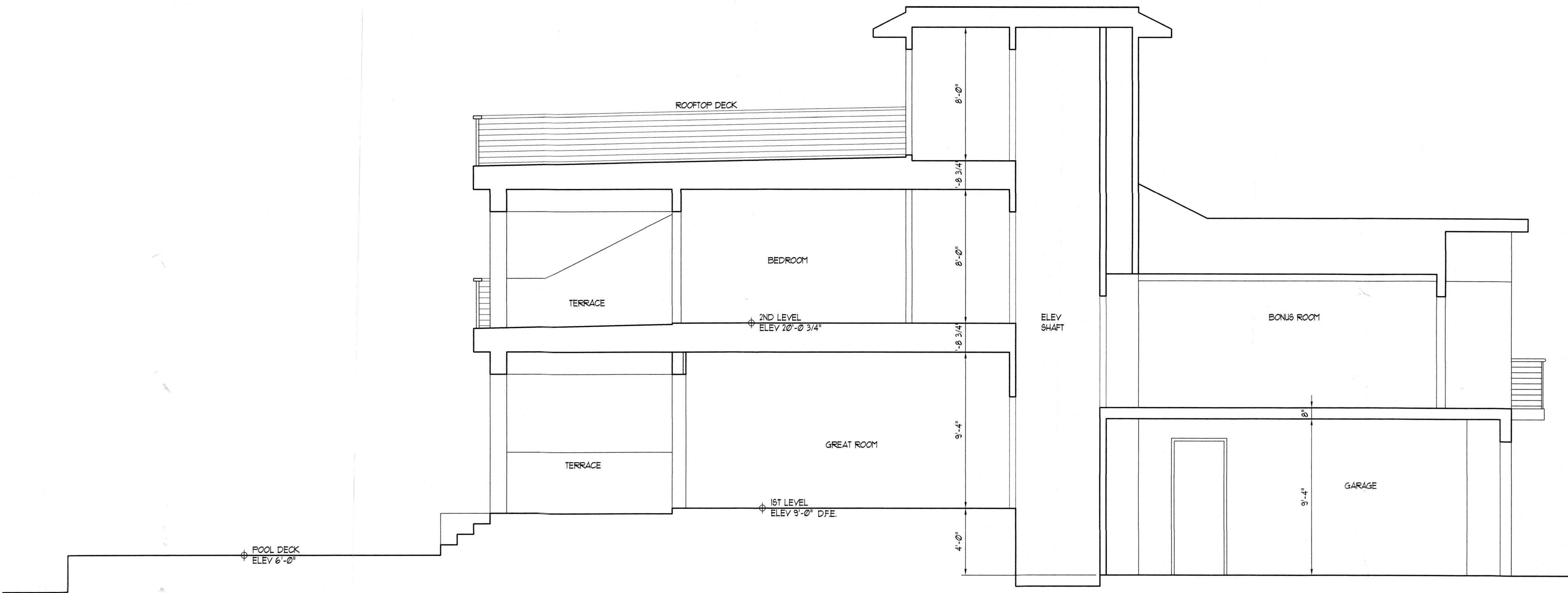
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BUILDING SECTION

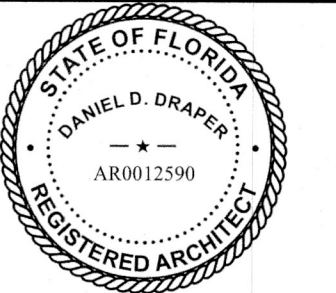
1/4" = 1'-0"

WALL SECTIONS

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A4.2



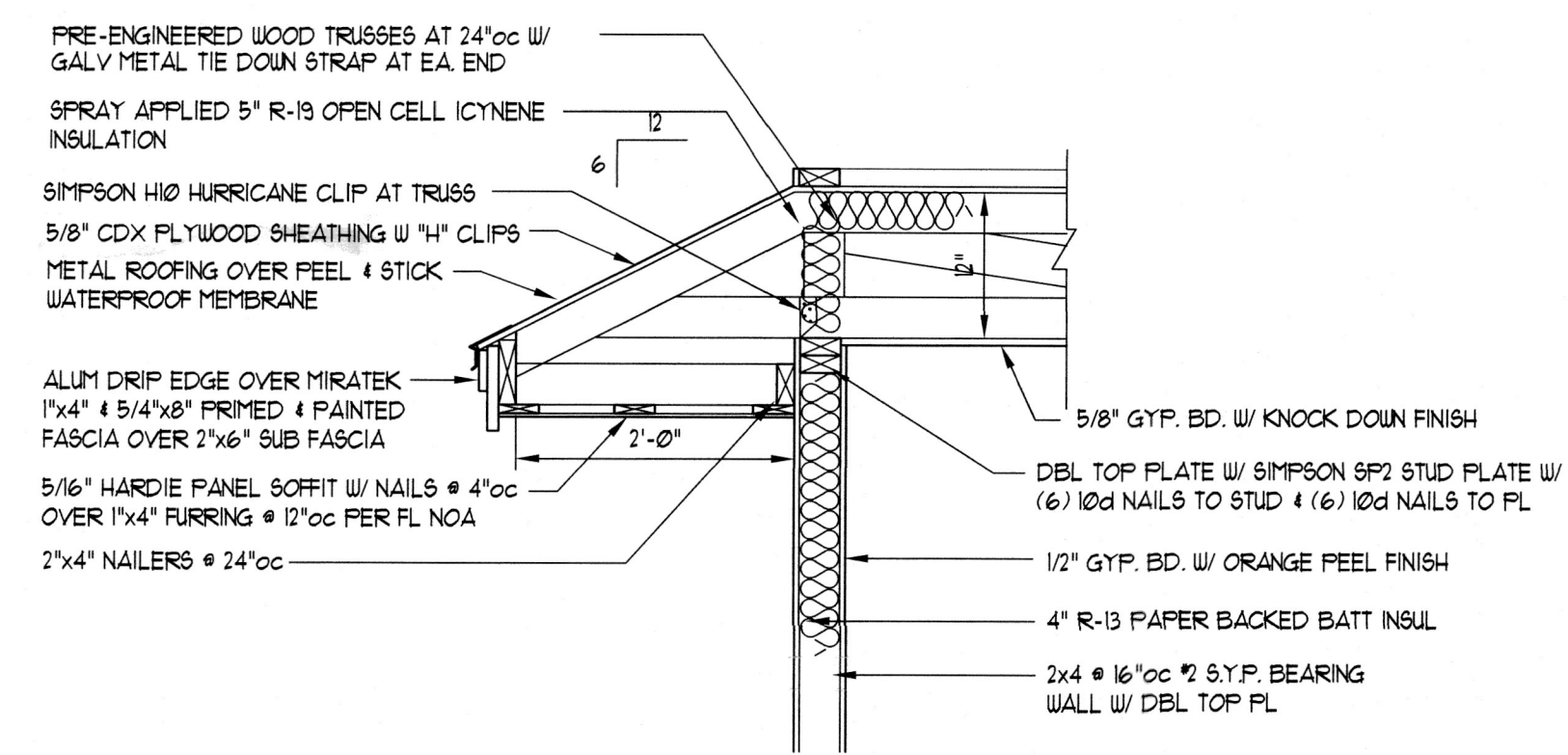
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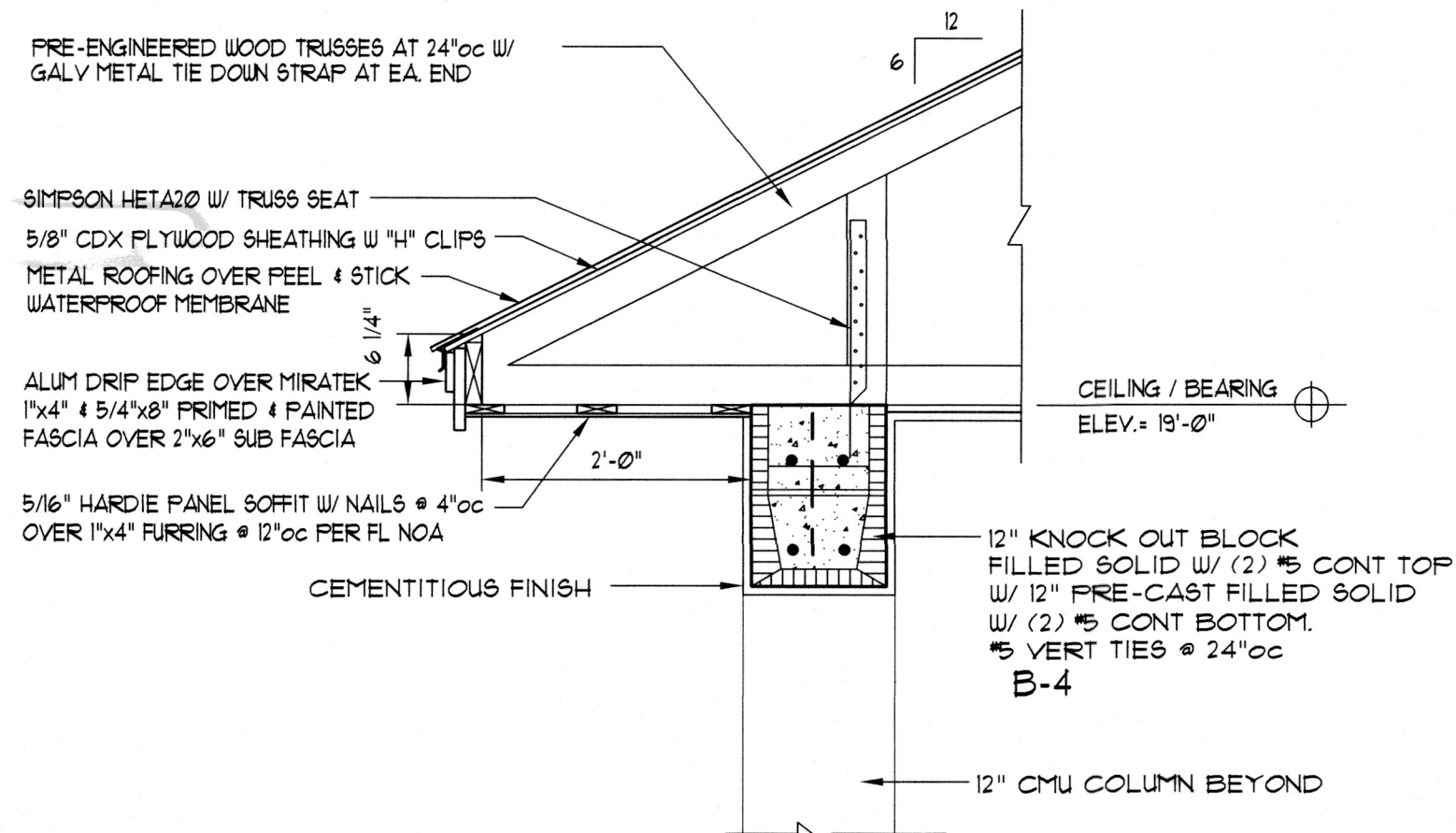
WALL SECTIONS

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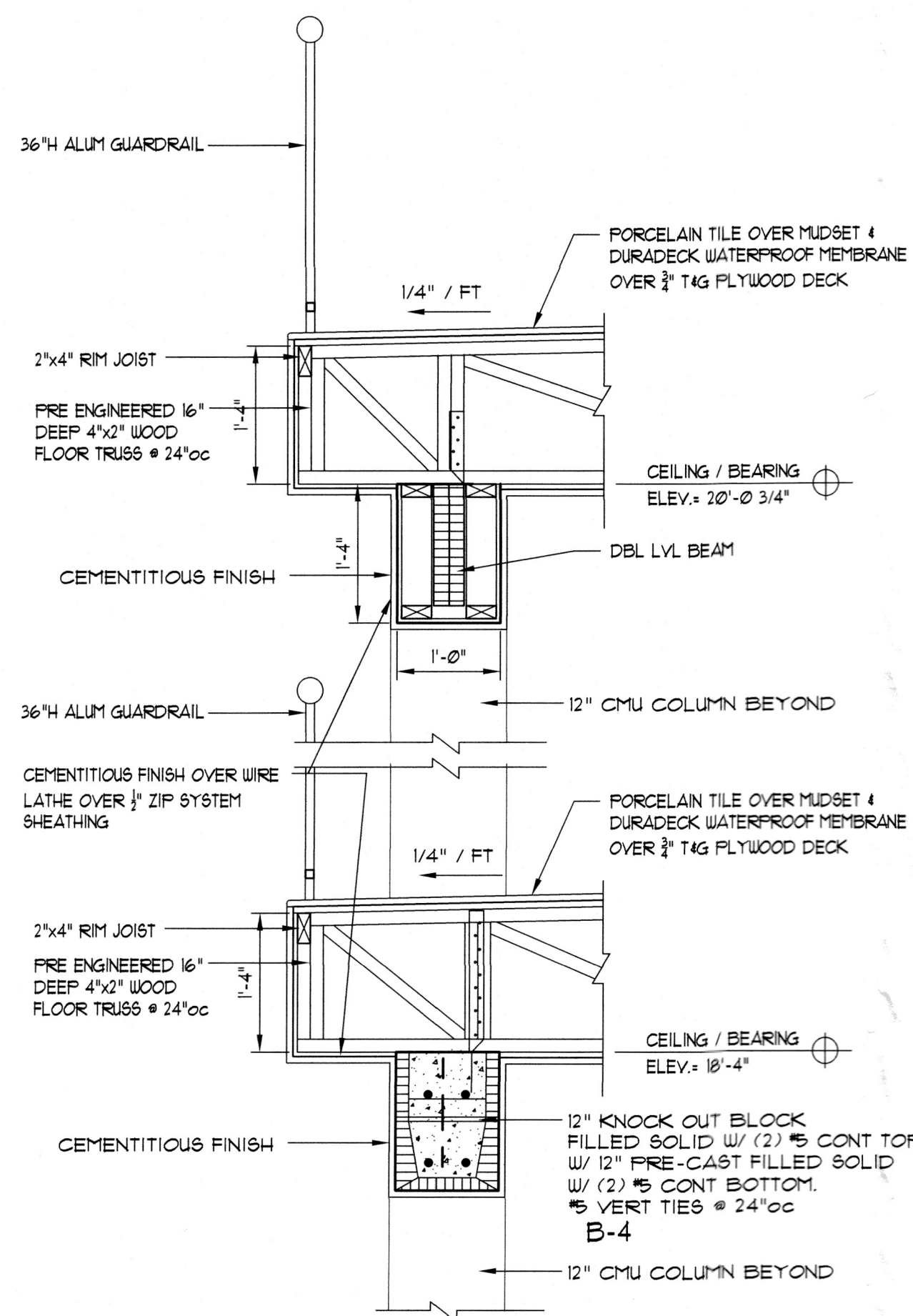
A4.2



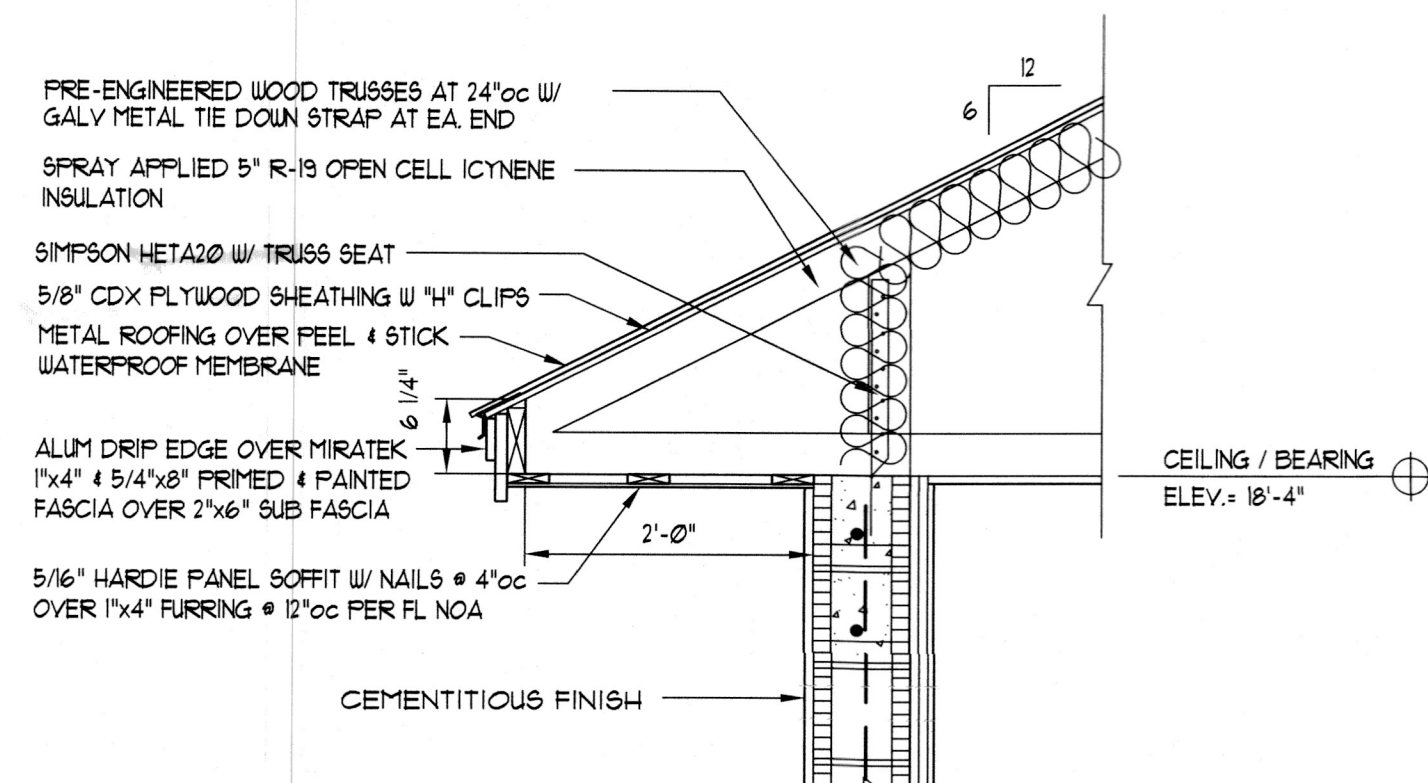
C GARAGE WALL SECTION
3/4"=1'-0"



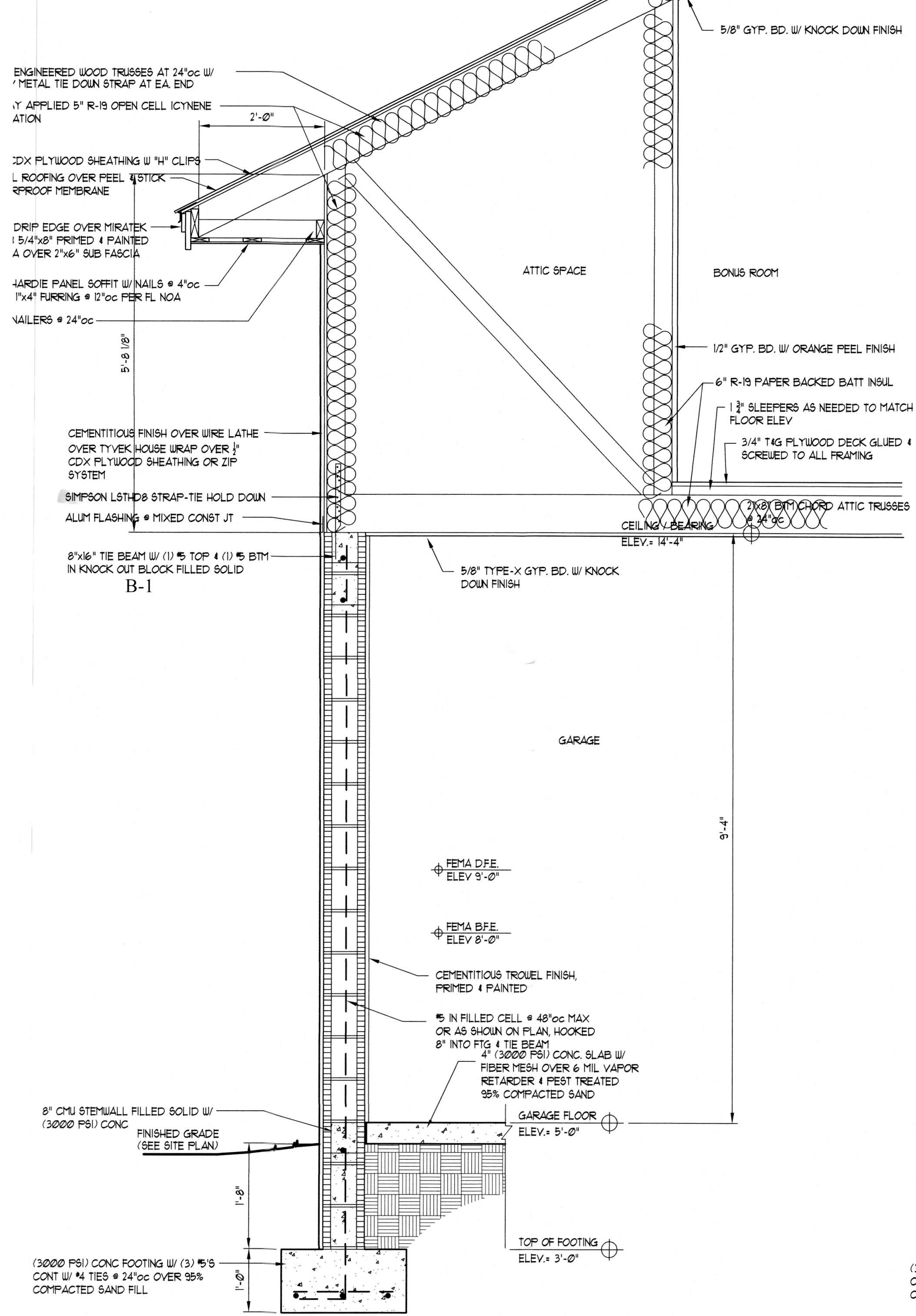
D ENTRY PORCH
3/4"=1'-0"



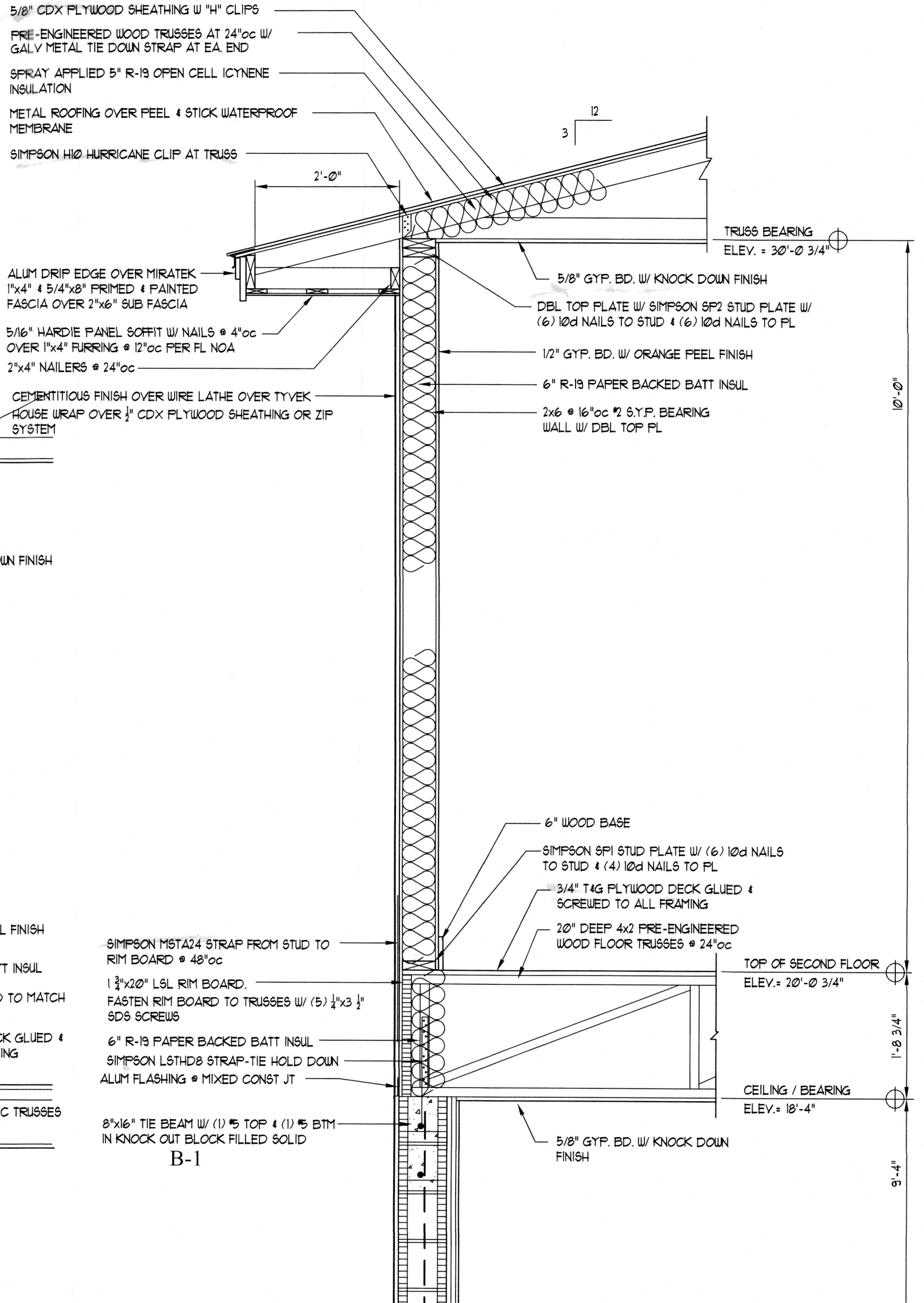
F ENTRY PORCH
3/4"=1'-0"



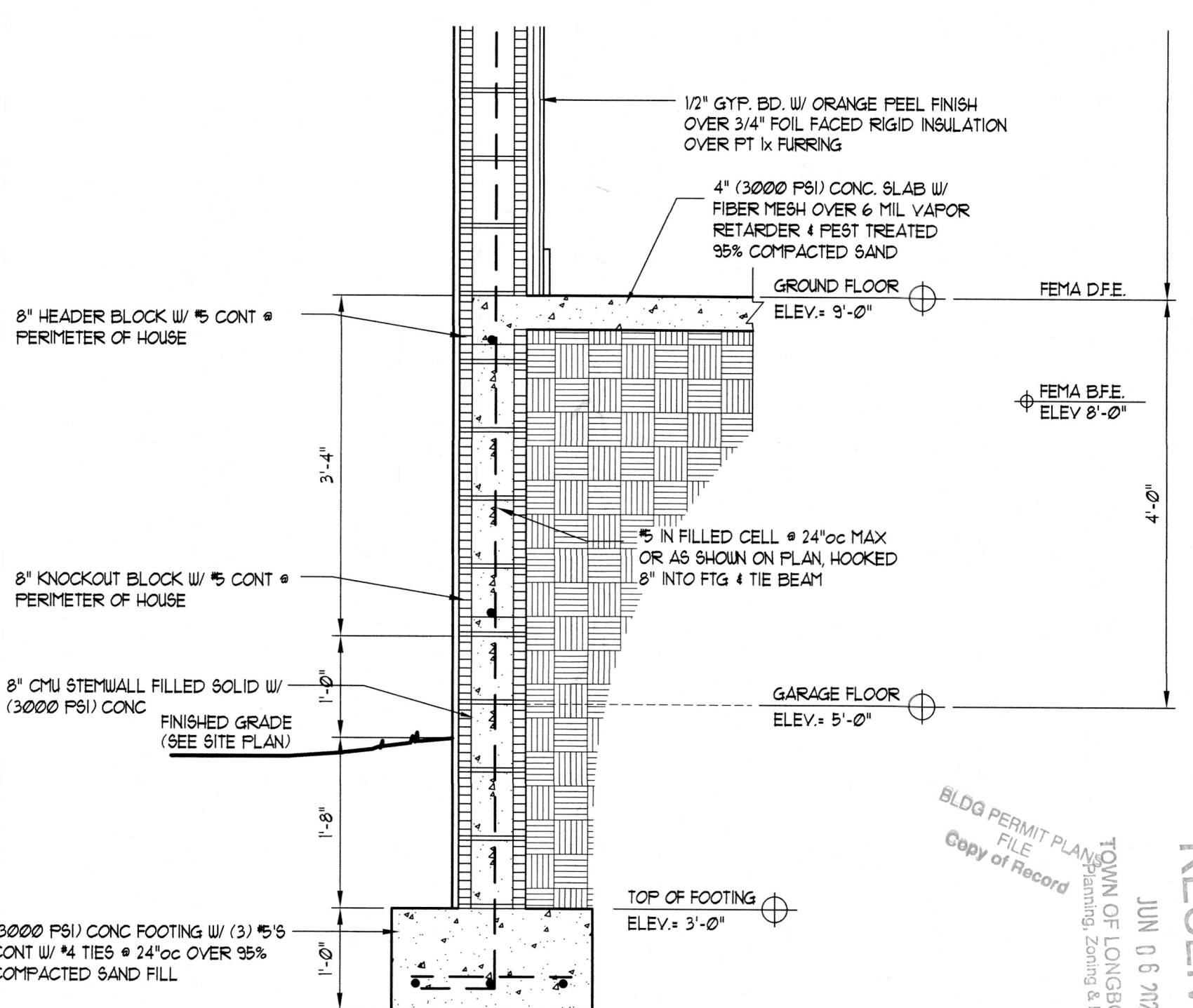
E WALL SECTION
3/4"=1'-0"



B GARAGE WALL SECTION
3/4"=1'-0"



A 2 STORY WALL SECTION
3/4"=1'-0"

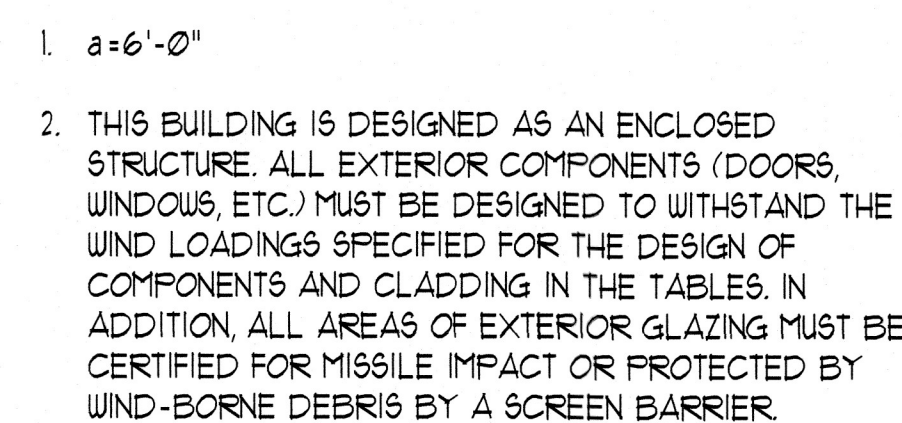


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WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS				
EFFECTIVE AREA (ft ²)	ZONE 4		ZONE 5	
	PRESSURE	SUCTION	PRESSURE	SUCTION
1 TO 20	42.6	-46.2	42.6	-57.1
21 TO 50	40.6	-44.2	40.6	-53.0
51 TO 100	38.1	-41.7	38.1	-48.1
101 TO 150	36.2	-39.8	36.2	-44.3
151 TO 250	35.1	-38.7	35.1	-42.0
251 TO 500	33.7	-37.3	33.7	-39.2
501 + ABOVE	31.8	-35.4	31.8	-35.4

NET WIND LOADS OVERHANDS AND CANOPIES JOISTS OR TRUSSES			
COMPONENTS AND CLADDING	ROOF ZONE		
	1	2	3
PRESSURE (psf)	24.5	24.5	24.5
SUCTION (psf)	-72.5	-72.5	-112.1



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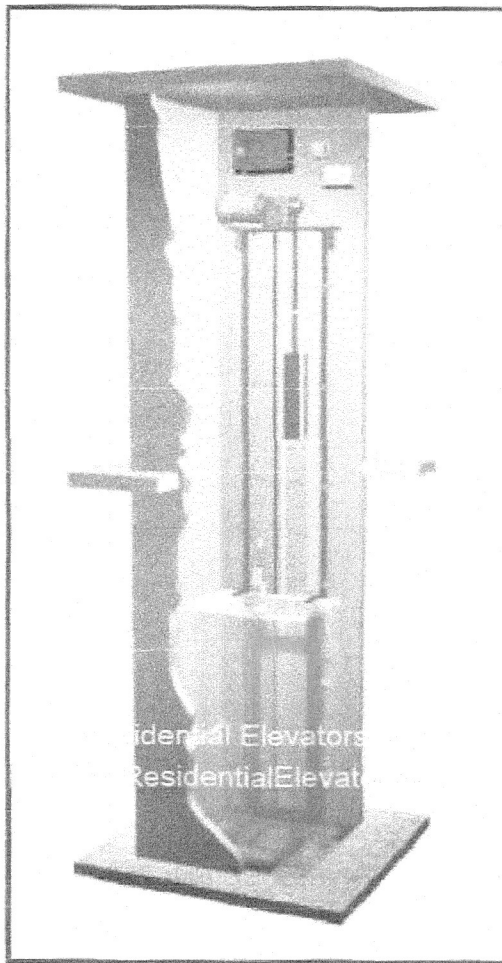
A4.3

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

Luxury Lift LLT 950 - Traction Home Elevator

QUALITY • SAFETY • DEPENDABILITY • BEAUTY • ENGINEERING EXCELLENCE



Residential Elevators, Inc. (REI) is pleased to offer the Luxury Lift LLT 950 - Variable Speed Traction Residential Elevator.

Benefits: REI's Luxury Lift LLT Traction Elevator uses the same technology as 10-50 story commercial buildings that have been in use for over 100 years. We have developed this technology for a Home Elevator application without the need for a machine room. That saves the square footage of your home and adds to its value.

Quiet, smooth and reliable operations are the hallmarks of this advanced system and will provide dependable vertical transportation for the life of your home. As quiet as any conventional hydraulic system and a ride similar in smoothness during starting and stopping to most conventional hydraulic systems on the market.

REI's exclusive Auto Lowering emergency exit feature allows the Luxury Lift LLT to lower automatically to the next landing, allowing passengers to exit safely in the event of a power outage. Standard on all REI Home Elevators.

REI's history of quality engineering means lower maintenance costs.

- **Environmentally Friendly and Energy Efficient**
- **Factory Direct Savings!**
- An excellent value in the ultimate home appliance
- Unmatched quality and customer service
- Many optional features to complement your individual taste and desires
- No Machine Room

- STANDARD FEATURES**
- Free job site survey by one of our trained representatives
 - One (1) Year Warranty
 - 950 lb. Capacity
 - Auto Lowering Emergency System
 - Travel standard up to 50 feet
 - Travel speed of 40 ft. per minute
 - (3) 3/8" Heavy Duty Aircraft Cables
 - PLC (Programmable Logic Controls) Controller
 - 3/4" sturdy cab walls (7 ply custom cabinet grade material)
 - Custom made cab and interior to your specifications
 - Aluminum anodized scissor gate or accordion style solid vinyl gate
 - Standard interior cab color choices: (Pre-finished Birch or Oak and Classic White)
 - Solid matching hardwood handrail
 - Recessed lighting
 - Single integrated car operating panel with built in phone and emergency light
 - "Car Here" and "In Use" indicators
 - Meets or exceeds all ASME/ANSI A17.1 National Safety Codes for Elevators - Section 5.3 Private Residence Elevators

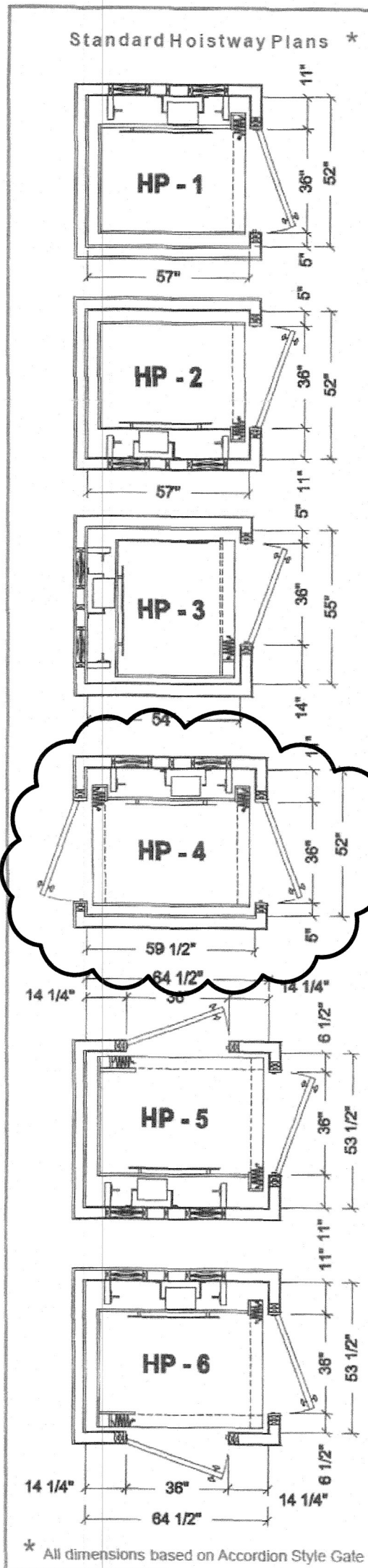
- OPTIONAL SELECTIONS**
- Woods other than standard
 - Additional gate(s)
 - Custom gate(s)
 - Oversize cab
 - Over height cab up to 8'-0"
 - Variety of custom cabs
 - Observation glass panel inserts
 - 750 lb. Capacity (As necessary by Code in certain areas)
 - Mirror with hardwood trim
 - Halogen downlights
 - Keyed hall station
 - Attic mount installation
 - Remote diagnostics and monitoring
 - Auto homing / auto light / auto run
 - And much more - Contact your local REI representative for all the details and options

RESIDENTIAL ELEVATORS, INC.
20 Residential Drive, Crawfordville, FL 32327
Ph (850) 926-6022 • Toll Free (800) 832-2004 • Fax (850) 926-5319
www.ResidentialElevators.com
e-mail: sales@ResidentialElevators.com

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March 2011

Luxury Lift LLT 950 - Traction Home Elevator



Luxury Lift LLT Traction Contract Specifications
To Specify: The manufacturer shall furnish traction residential elevator(s) (LLT-952, LLT-953, LLT-954, LLT-955) as manufactured by Residential Elevators, Inc. for hoistway plan HP-____.
Design Characteristics: Traction elevator(s) shall have:
Capacity: 950 lb. - Standard, 750 lb. - Optional
Speed: 40 fpm
Travel Distance: _____ ft. _____ in. (50'-0" max.)
Landing Served: _____ with openings at _____ front, _____ rear, _____ right, _____ left
Door Size: (____ x _____) h) Door Swing: Right _____ Left _____
Hoistway: (Size _____ x _____) Cab: (Size _____ x _____) h)
Minimum 8'-6" overhead clearance for standard height cab (8'-6" for 8'-0" cabs) **Hoistway Pit:** 8' Minimum
Controller Location: Overhead in shaft (Standard); Attic Mount (Optional)
Std. Cab Interiors: Pre-Finished Birch _____ Pre-Finished Oak _____ Classic White Laminate _____
Optional Species: Mahogany _____ Cherry _____ Walnut _____ Alder _____ Maple _____ Bamboo _____
[Note: All wood species available in stained and lacquered finish or unfinished.]
Cab & Hall Stations: Stainless Steel (#4) _____ Bronze (#4 or Antique) _____ Black _____
Cab: Standard Residential Elevator shall be suitably finished on the interior side with natural wood grain; constructed of 3/4" 7 ply custom cabinet grade materials. Ceiling to be same species as walls unless specified, and 1" plywood on platform unfinished and ready for floor covering (flooring by others.) Cab is standard equipped with one folding aluminum scissor gate (gold tone or silver tone finish) or accordion style solid vinyl gate (white). It is provided with a gate switch to prevent operation unless the gate is closed. A single recessed incandescent light shall be in the center of the car ceiling. Cab shall be equipped with a solid hardwood handrail.
Guide Rails: Shall be two (2) 8 lb. planed T Section with smooth splices located on one load bearing hoistway wall. Guide rails shall be fastened at 7'-0" intervals by steel brackets. Counterweight rails shall be furnished to guide the counterweight frame.
Machine: Motor to be 2 HP hoist motor with a VFD drive, with brake. Brake shall be spring applied and electrically released and shall release only when drive motor is engaged.
Operation: Controls shall be momentary pressure and completely automatic. Each entrance shall be furnished with a call station. The car shall be furnished with a pushbutton station with one button for each level served. The car push button station shall also contain an emergency stop switch, alarm bell, and light switch, and integrated phone. (required by ASME/ANSI A17.1 National Safety Codes for Elevators - Section 5.3 Private Residence Elevators.) Car and hall pushbutton stations to be brass or antique tone or stainless steel (#4) or Black.
Controller: The controller components shall be enclosed in a metal cabinet. It shall contain the following components: Power relays and overload device suitable for the size motor and power supply. A microprocessor unit for all logical control and safety circuits. All components to be protected by fuses. An emergency, battery UPS operated circuit, shall be incorporated in the control logic to automatically provide emergency lighting and lower the lift in the event of an electric power failure. Batteries to be maintained at full charge by a trickle charge circuit during normal operation.
Hoistway Door Interlocks: Electrical / mechanical door locks shall be furnished for all hall doors to prevent elevator operation unless all doors are closed and to prevent opening of door when cars not at that landing.
Car Frame / Suspension: The steel car frame shall be attached to and suspended by three (3) 3/8" dia. heavy duty aircraft cables. The cables shall be fastened to the pit structure on one end and pass over the U groove sheave to shackles attached to the car frame and safety device. Should one or more cables break or slacken, a broken rope safety mechanism shall apply two cams to wedge against the elevator guide rails and bring the car to a complete stop.

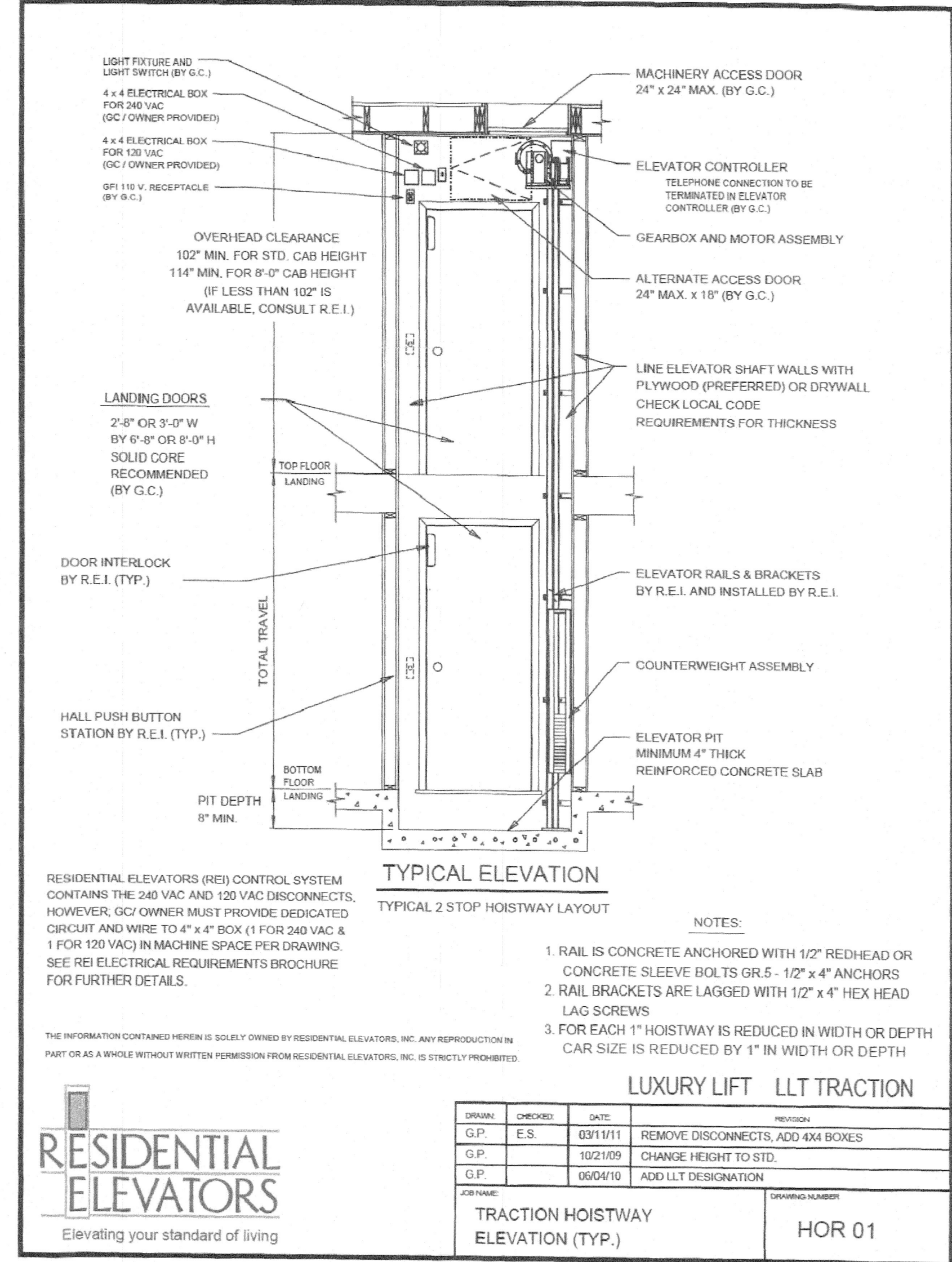
Installation: Installation to be performed by authorized elevator contractor. All work must be completed in accordance with installation and operating instructions provided by the manufacturer of the elevator and must be in compliance with requirements of the American Standard Safety Code, National Electrical Code, and state and local building codes.

- Work By Others:**
1. Construction of a suitable, clean, clear, square, plumb (including pit) and legal elevator hoistway consistent with State and Local building codes. (Refer to manufacturer's hoistway plans.)
 2. Electrician shall furnish 240 VAC, 30 AMP circuit with 10/3 wire with ground to elevator controller.
 3. Electrician shall furnish a 120 VAC, 20 AMP circuit to elevator controller for the car lighting system.
 4. Suitable, hinged, solid core hall doors. Door openings are 3'-0" standard unless otherwise specified.
 5. 8" deep recessed pit area.
 6. Connection of telephone traveling cable to outside central exchange as required by ASME/ANSI A17.1 code.
 7. Special engineered Drawings or plans and any State, County or Local Permits.
 8. Proper rail blocking support per REI specifications.
 9. An access door with a minimum clear dimension of 18" x 24" is required to access equipment location to be determined by REI.
 10. GFCI receptacle to be provided in controller area.
 11. A 120 VAC switched light to be located in machinery space.

Standard Hoistway Plans, as drawn, are recommended size requirements only. Contact REI for layout assistance if your needs are different.

RESIDENTIAL ELEVATORS, INC.
www.ResidentialElevators.com • Toll Free (800) 832 - 2004

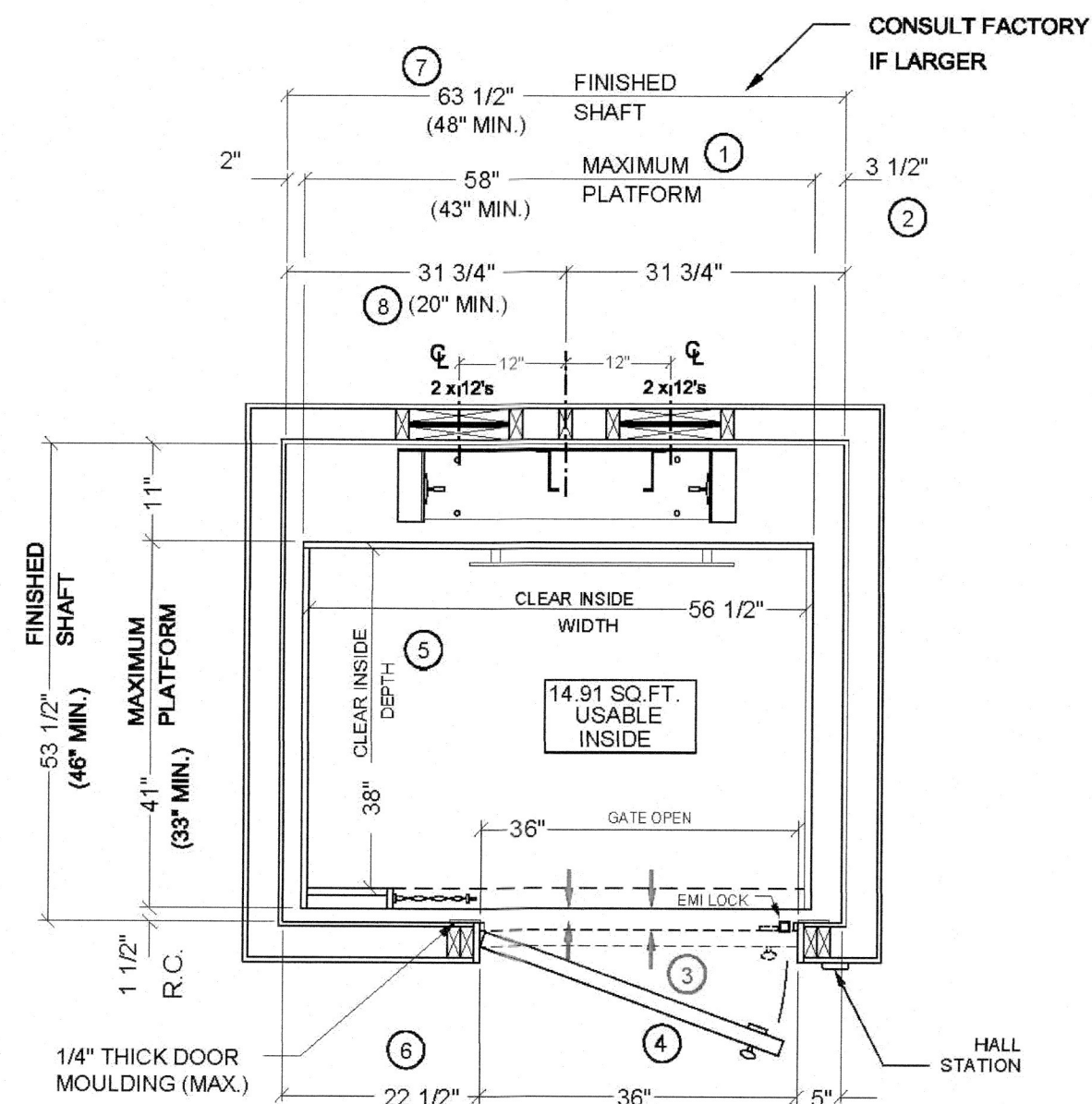
* All dimensions based on Accordion Style Gate



HOR HP3 S 15

950#, REAR RAIL, IN-LINE OPENING, SCISSOR GATE, 15 SQ. FT.

LUXURY LIFT LLT TRACTION



STANDARD HOISTWAY PLAN

NOTE: ALL DIMENSIONS ARE APPROXIMATE

NOTES:

1. IF PLATFORM SIZE IS REDUCED, THEN THE BLOCKING IS TO BE POSITIONED SUCH THAT IT IS CENTERED ON THE PLATFORM. (PLATFORM DEPTH / 2) + 2" = CENTERLINE OF RAIL BLOCKING OFF OF INSIDE FRONT WALL. (MIN. 28" DIMENSION)
2. CAR TO WALL (CTW) DIMENSION IS 3-1/2" MIN.
3. HOISTWAY DOORS & FRAMES MUST BE INSTALLED TO COMPLY WITH THE AUTHORITY HAVING JURISDICTION REQUIREMENTS. THESE DIMENSIONS VARY. CONSULT YOUR RESIDENTIAL ELEVATORS SALES REPRESENTATIVE FOR DETAILS PRIOR TO CONSTRUCTION.
4. HOISTWAY DOORS TO BE SOLID CORE (BY OTHERS.)
5. CLEAR CAB DIMENSIONS BASED ON A 3/4" FLAT WALL CAB DESIGN.
6. MINIMUM HINGE SIDE RETURN TO BE 8" TO ACCOMMODATE GATE STACK.
7. MINIMUM HOISTWAY DIMENSION BASED ON 36" HOISTWAY LANDING DOOR.
8. MIN. CLEARANCE TO ALLOW FOR MOTOR/ BRAKE/ GEARBOX

All Traction Elevators require an access panel for emergency lowering. Access panel size and location must be discussed with your Residential Elevators Sales Representative prior to construction.

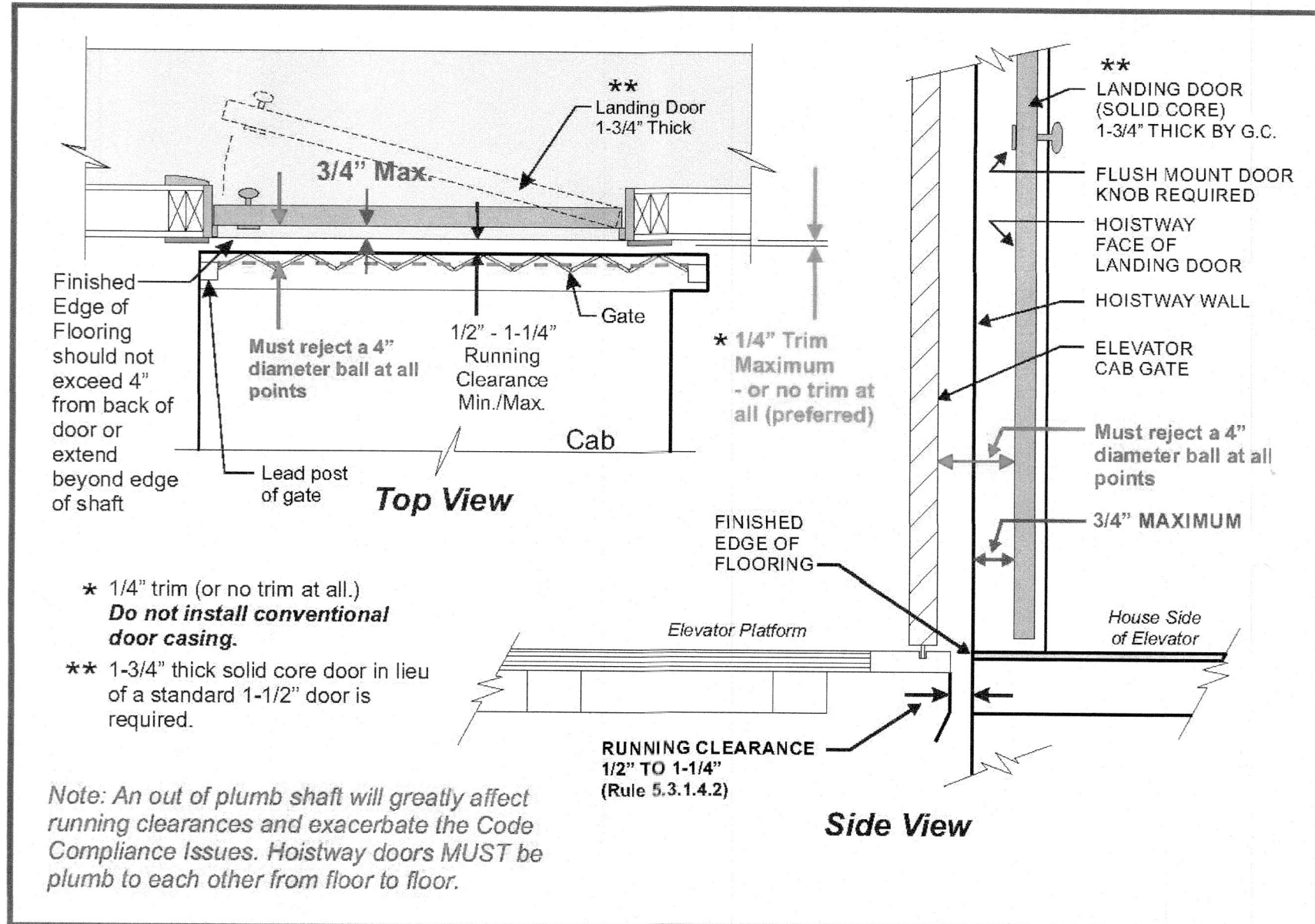
RESIDENTIAL ELEVATORS
Elevating Your Standard of Living

Home Elevator 3/4" x 4" Rule

Residential Elevators manufactures and installs a fully code compliant elevator per the 2016 ASME ANSI A17.1 National Safety Code for Elevators - Section 5.3 Private Residence Elevators.

ASME 5.3.1.7.2 of the above referenced code Clearance Between Hoistway Doors or Gates and Landing Sills and Car Doors or Gates. The clearance between the hoistway doors or gates and the hoistway edge of the landing sill shall not exceed 3/4 inches. The distance between the hoistway face of the landing door or gate must reject a 4" diameter ball at all points.

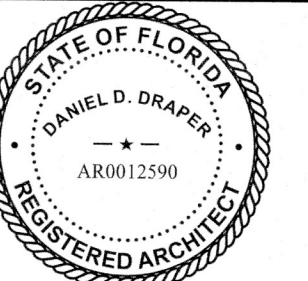
Note: Concrete block / masonry shafts and some commercial metal door frames can often create Rule violations.



Dan Draper Architect LLC

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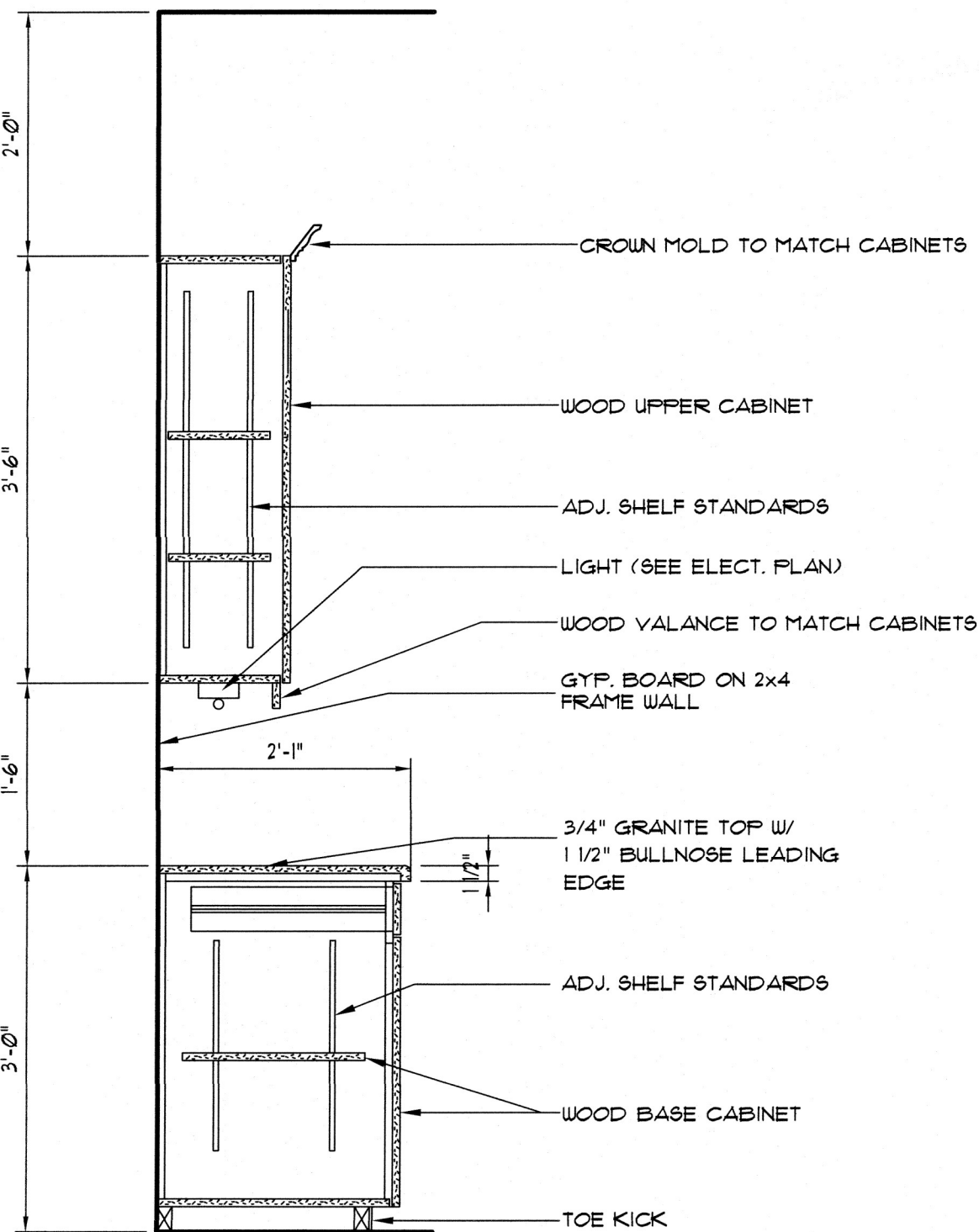
ELEVATOR DETAILS

SHEET NUMBER:

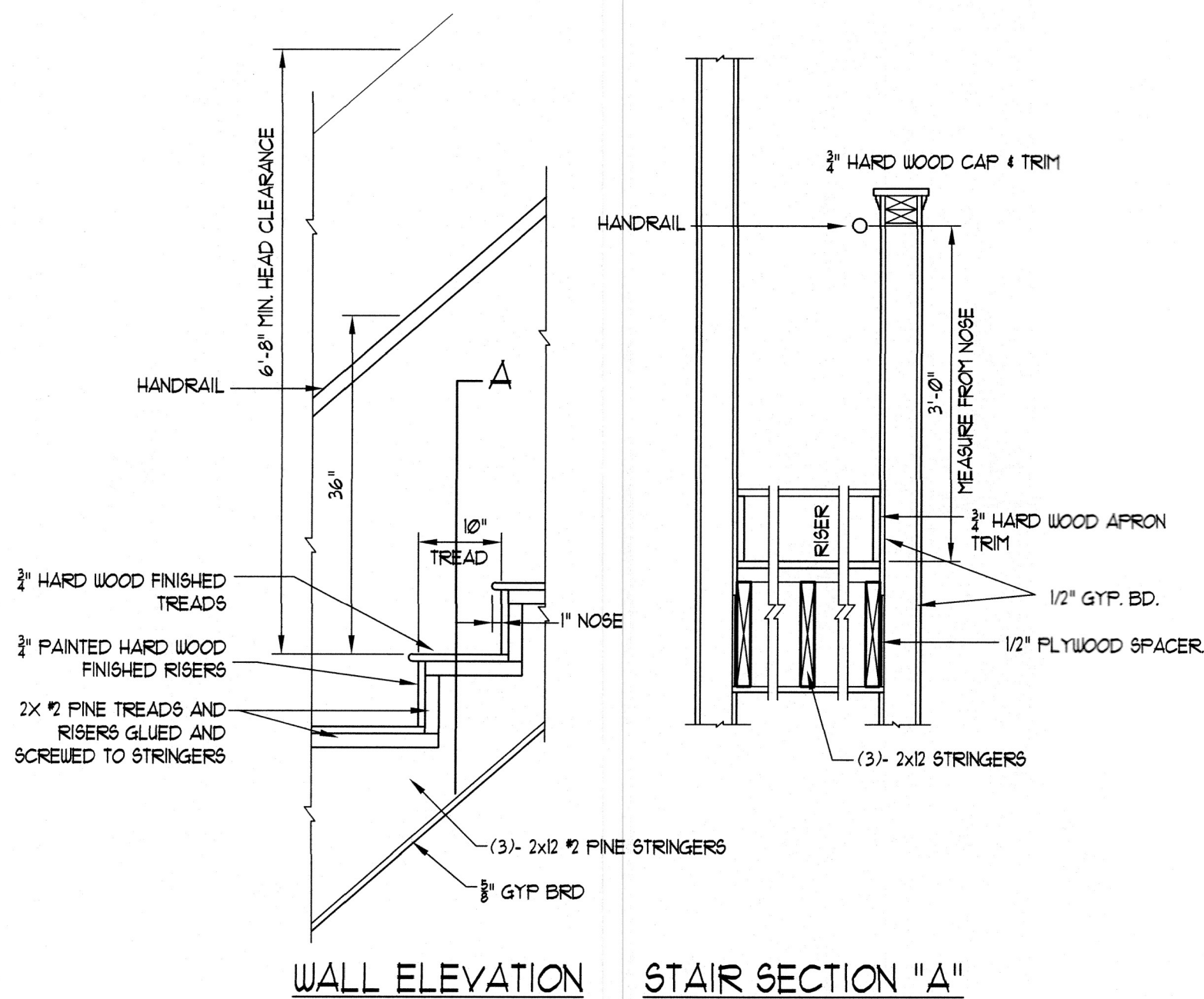
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FINISH SCHEDULE						
SPACE NAME	FLOOR	BASE	WALLS	CEILING	CLG. HGT.	REMARKS
GARAGE	CONC	-	PCB	C-GB	9'-4"	-
COVERED ENTRY	FVR	-	HD	CYP	10'-4"	-
FOYER	WD	WD	GB	C-GB	9'-4"/8'-8"	TRAY CEILING
GREAT ROOM	WD	WD	GB	CYP	9'-4"	-
DINING ROOM	WD	WD	GB	C-GB	9'-4"	-
KITCHEN	WD	WD	GB	C-GB	9'-4"	-
PANTRY	WD	WD	GB	C-GB	9'-4"	-
OFFICE	WD	WD	GB	C-GB	9'-4"	-
BEDROOM 4	CPT	WD	GB	C-GB	9'-4"	-
BATH 4	WD	WD	MR-GB	MR-C-GB	9'-4"	-
TERRACE	FVR	-	HD	CYP	9'-8"	-
POWDER BATH	WD	WD	MR-GB	MR-C-GB	9'-4"	-
M. BEDROOM	CPT	WD	GB	C-GB	10'-0"	-
M. BATHROOM	16" PT	WD	MR-GB	MR-C-GB	10'-0"	-
HER CLOSET	16" PT	WD	GB	C-GB	8'-0"	-
WIS CLOSET	16" PT	WD	GB	C-GB	10'-0"	-
TERRACE	TREX	-	HD	CYP	10'-4"	-
BEDROOM 2	CPT	WD	GB	C-GB	10'-0"	-
BATHROOM 2	16" PT	WD	MR-GB	MR-C-GB	10'-0"	-
BEDROOM 3	CPT	WD	GB	C-GB	8'-0"	-
BATHROOM 3	16" PT	WD	MR-GB	MR-C-GB	10'-0"	-
HALLWAY	16" PT	WD	GB	C-GB	8'-0"	-
LAUNDRY	WD	WD	GB	C-GB	8'-0"	-
COVERED TERRACE	PT	-	HD	CYP	8'-4"	-
ROOFTOP FOYER	WD	WD	GB	C-GB	8'-0"	-

PT = PORCELAIN TILE AS SELECTED
CPT = CARPET & PAD
WD = WOOD
MR-GB = MOISTURE RESISTANCE GYPSUM WALLBOARD W/ SMOOTH FINISH - PRIMED & PAINTED
MR-C-GB = MOISTURE RESISTANCE CEILING GYPSUM WALLBOARD W/ SMOOTH FINISH - PRIMED & PAINTED
GB = GYPSUM WALLBOARD W/ SMOOTH FINISH - PRIMED & PAINTED
C-GB = CEILING GYPSUM WALLBOARD W/ SMOOTH FINISH - PRIMED & PAINTED
CONC = SEALED STEEL TROWEL FINISH CONC.
FVR = CONCRETE PAVER
ST = STUCCO CEMENTITIOUS FINISH
PCB = PRIMED & PAINTED SCRATCH COAT CEMENTITIOUS FINISH OVER CONCRETE BLOCK
HD = HARDIE CEMENT FIBER SIDING OR EQUAL
CYP = 1"x6" CYPRSS T&G



A CABINET SECTION

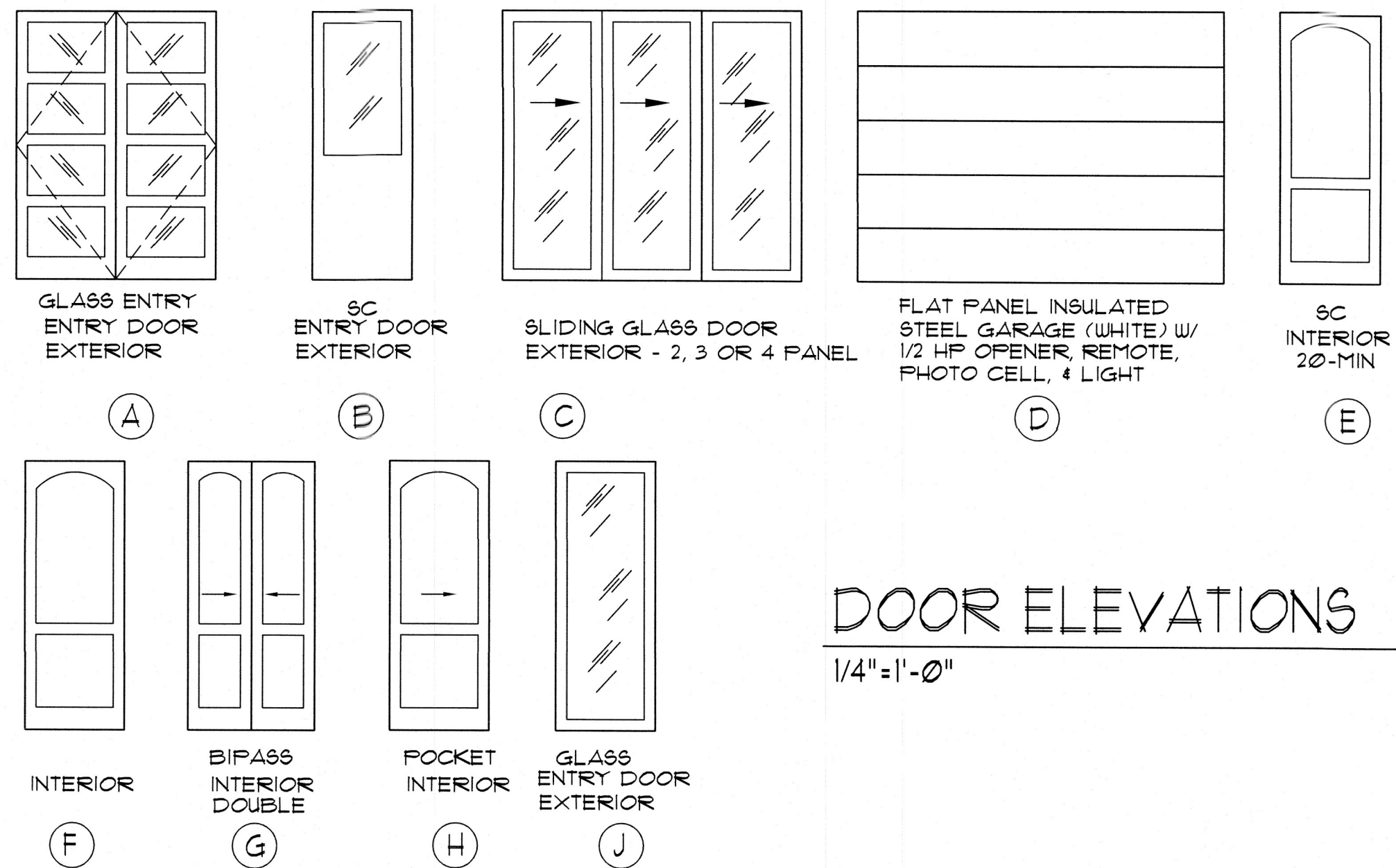


WALL ELEVATION

STAIR SECTION "A"

1 STAIR DETAIL
SCALE 3/4" = 1'-0"

DOOR & OPENING SCHEDULE							
OPENING NO.	DOOR				HARDWARE SET	DESIGN PRESSURE	LOCATION
	TYPE	WIDTH	HEIGHT	THICK.			
01	A	6'-0"	8'-0"	1 3/4"	LOCKSET LEVER, DEADBOLT, FLUSH BOLTS, THRESHOLD	40.6 / -53.0	FRONT ENTRY
02	B	3'-0"	8'-0"	1 3/4"	LOCKSET LEVER, DEADBOLT, THRESHOLD	40.6 / -53.0	GARAGE ENTRY
03	C	7'-0"	8'-0"	-	SLIDING GLASS DOOR - 2 PANEL	38.1 / -48.1	OFFICE
04	C	16'-0"	8'-0"	-	SLIDING GLASS DOOR - 4 PANEL POCKET	36.2 / -44.3	GREATROOM
05	J	2'-8"	8'-0"	1 3/4"	LOCKSET LEVER, DEADBOLT, THRESHOLD	40.6 / -53.0	KITCHEN
06	C	8'-0"	6'-8"	-	SLIDING GLASS DOOR - 2 PANEL	38.1 / -48.1	MASTER, BED 3, BONUS, ROOF
07	D	10'-0"	8'-0"	-	GARAGE O.H.	38.1 / -48.1	GARAGE
08	D	18'-0"	8'-0"	-	GARAGE O.H.	36.2 / -44.3	GARAGE
09	E	2'-8"	8'-0"	1 3/4"	LOCKSET LEVER, DEADBOLT, THRESHOLD		GARAGE INTERIOR
10	E	3'-0"	8'-0"	1 3/4"	SEE ELEV MFG		ELEVATOR
11	E	2'-0"	CUSTOM	1 3/4"	PRIVACY LEVER		GARAGE INTERIOR CUSTOM CUT
12	F	2'-8"	8'-0"	1 3/8"	PRIVACY LEVER		BED, BATH
13	F	2'-8"	8'-0"	1 3/8"	PASSAGE LEVER		CLOSET
14	F	2'-8"	6'-8"	1 3/8"	PRIVACY LEVER		BED, BATH
15	H	2'-8"	6'-8"	1 3/8"	POCKET W/ FINGER PULL (PRIVACY)		LAUNDRY, CLOSET
16	F	2'-8"	6'-8"	1 3/8"	PASSAGE LEVER		CLOSET
17	F	2'-6"	6'-8"	1 3/8"	PASSAGE LEVER		CLOSET
18	F	2'-8"	6'-8"	1 3/8"	PASSAGE LEVER		BONUS
19	F	2'-6"	6'-8"	1 3/8"	PRIVACY LEVER		TOILET
20	G	6'-0"	6'-8"	1 3/8"	BPASS		CLOSET
21							

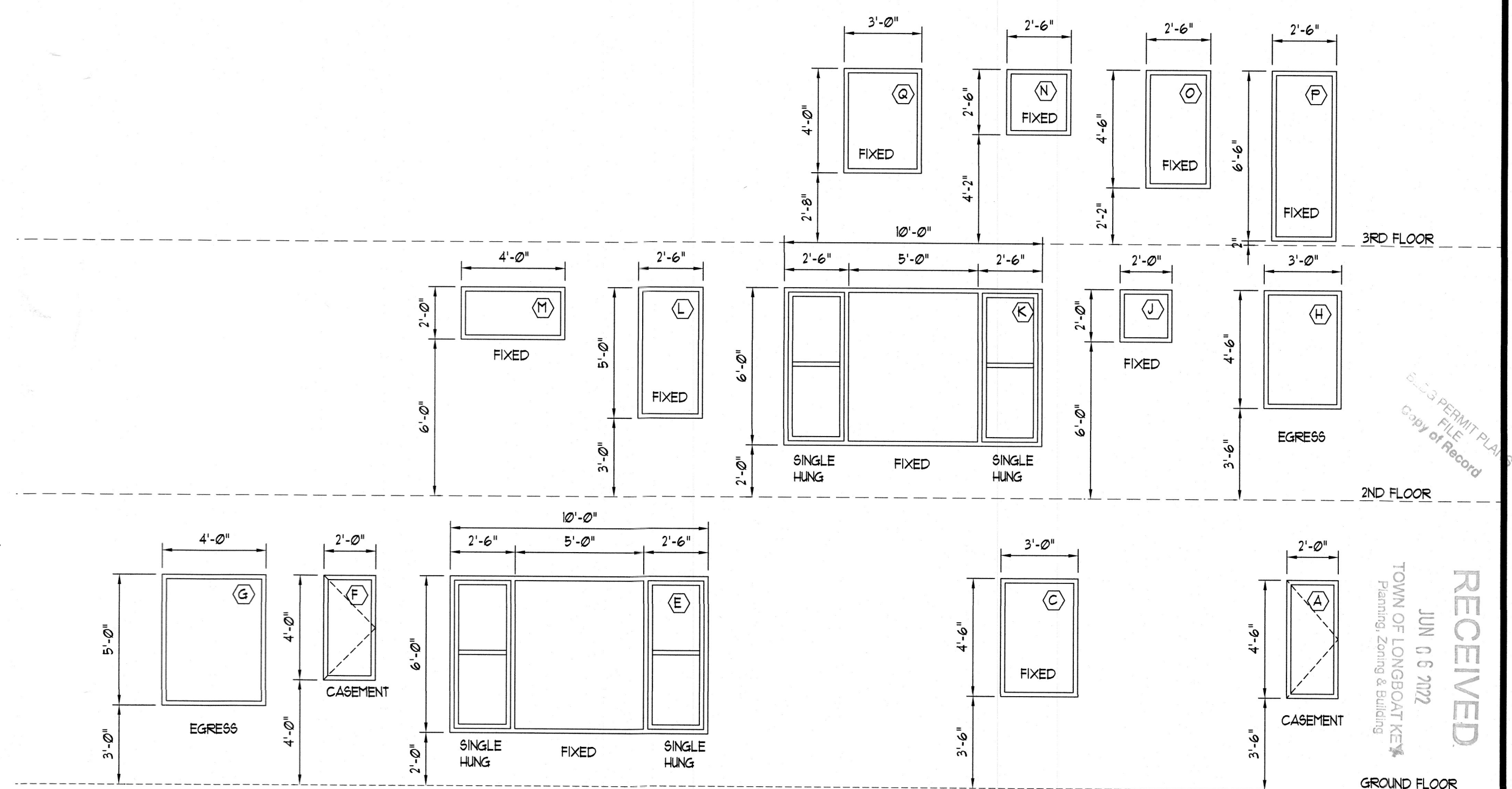


DOOR ELEVATIONS

1/4" = 1'-0"

WINDOW NOTES :

- ALL WDW'S. SHALL BE IMPACT RATED WHITE VINYL.
- ALL OPERABLE WINDOWS TO HAVE SCREENS.
- ALL WINDOWS TO HAVE LAMINATED IMPACT TINTED GLASS.
- TEMPERED GLASS SHALL BE USED AT ALL LOCATIONS REQUIRED BY CODE.
- BEDROOM WINDOWS SHALL MEET EGRESS AS REQUIRED BY CODE.
- ALL WINDOWS TO HAVE MOTORIZED SHADES.
- ALL WINDOW SIZES AND RO. SHALL BE VERIFIED BETWEEN WINDOW MFG. AND GENERAL CONTRACTOR.
- ALL WINDOWS AND EXT DOORS SHALL BE INSTALLED AS PER THE N.O.A.S



WINDOW ELEVATIONS

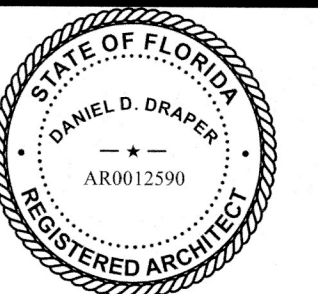
1/4" = 1'-0"

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WINDOW SCHEDULE

SHEET NUMBER:

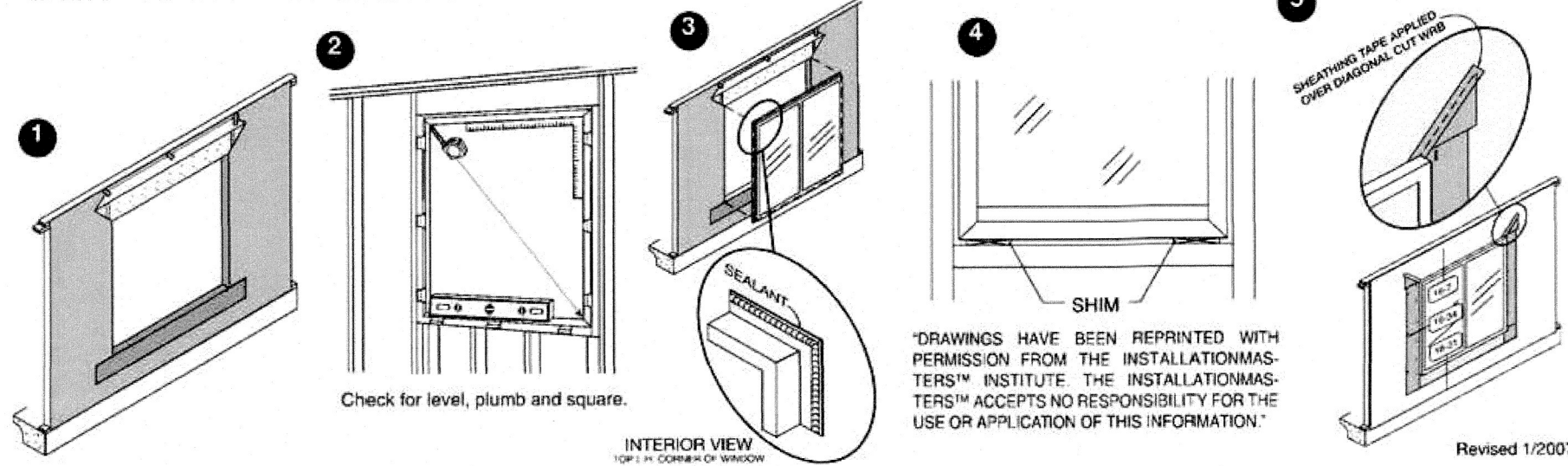
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INSTALLATION INSTRUCTIONS FOR ALUMINUM FIN AND FLANGE WINDOWS

FAILURE TO FOLLOW THESE INSTRUCTIONS, AND BUILDING CODES REQUIREMENTS, MAY EFFECT THE REMEDIES AVAILABLE UNDER YOUR WARRANTY.

READ THESE INSTRUCTIONS COMPLETELY BEFORE BEGINNING. Please inspect your MI Windows and Doors, Inc. product thoroughly before beginning installation. Inspect the opening and the product, and do not install if there is any observable damage or other irregularity. The product specification sheet and warranty include important information regarding your product and may include product-specific installation requirements (for example, types of fasteners to be used with impact resistant windows and limitations on the height at which the product may be installed); if you did not obtain copies please contact MI Windows and Doors, Inc. Local building codes may impose additional requirements, and those codes supersede these instructions.

- IF THE BUILDING HAS A WEATHER RESISTANT BARRIER (WRB) I.E. HOUSE WRAP, PREPARE THE OPENING ACCORDING TO WRB MANUFACTURER'S INSTRUCTIONS. AT EACH TOP CORNER MAKE A 45° CUT IN THE WRB FOLD UP THE WRB SO THAT THE TOP NAIL FIN OF THE UNIT CAN BE INSTALLED UNDERNEATH IT. (See Figure 1 below) FLASHING OF THE WINDOW OPENING IS RECOMMENDED AND MAY BE REQUIRED BY SOME BUILDING CODES.
- MAKE SURE THE ROUGH OPENING IS PLUMB, SQUARE AND THE SILL PLATE IS LEVEL. ROUGH OPENINGS SHOULD BE 1/2" LARGER THAN NET WINDOW SIZE IN WIDTH & HEIGHT (SEE FIGURE 2 BELOW)
- CLOSE & LOCK THE SASH THROUGH-OUT INSTALLATION. KEEP THE SIDE JAMBS PLUMB & SQUARE WITH HEAD AND SILL. BE CAREFUL NOT TO "CROWN UP" OR "BOW DOWN" THE HEAD OR SILL. CONSTANTLY CHECK WIDTH AT THE MEETING RAILS OF SINGLE AND DOUBLE HUNG TO AVOID A "BOWED OUT" INSTALLATION. WHEN USING FLASHING APPLY THE BOTTOM PIECE BEFORE INSTALLING THE WINDOWS. (SEE FIGURE #1) FLANGE TYPE WINDOWS REQUIRE FLASHING THE ENTIRE OPENING PRIOR TO WINDOW INSTALLATION. FLASHING MUST MEET ASTM D-799, 24 HOUR WATER RESISTANCE TEST.
- APPLY A CONTINUOUS 38" BEAD OF PREMIUM GRADE, COMPATIBLE EXTERIOR SEALANT TO THE INTERIOR (BACKSIDE) OF THE NAIL FIN OR FLANGE NEAR THE OUTSIDE EDGE ON ALL SIDES PRIOR TO SETTING THE WINDOW INTO THE ROUGH OPENING. (SEE FIGURE 3 BELOW)
- SET AND CENTER THE WINDOW INTO THE OPENING. INSERT 1/4" SHIMS UNDER THE BOTTOM CORNERS (DO NOT PLACE SHIMS OR BLOCKS UNDER THE SILL EXCEPT AT THE CORNERS). THESE SHIMS SHOULD BE REMOVED AFTER INSTALLATION IS COMPLETE. (SEE FIGURE 4 BELOW) MULLED WINDOWS, SLIDERS AND UNITS WITH INTERMEDIATE JAMBS REQUIRE A SHIM AT EACH MULLION. INTERMEDIATE JAMB OR MEETING RAIL TO INSURE A LEVEL SILL. CONDITION. IF ADDITIONAL SHIMS ARE REQUIRED TO MAINTAIN A LEVEL SILL. APPLY SHIMS AS NECESSARY. THESE SHIMS SHOULD REMAIN AFTER INSTALLATION IS COMPLETE



Trimming Windows, Doors & Openings (Fig. 15.2)

- When picking up NichiTrim™ off the pallet, you must turn it on its edge.

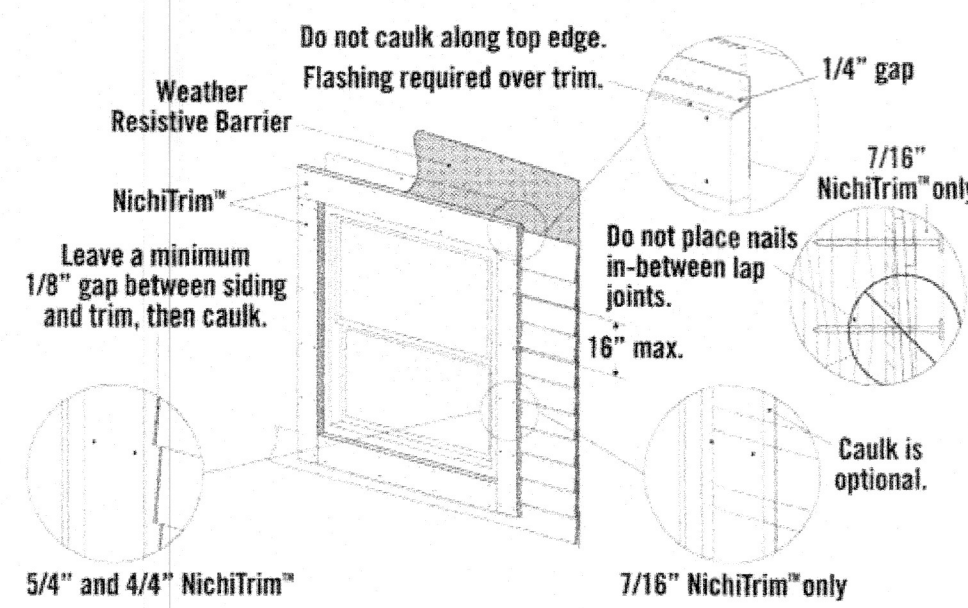
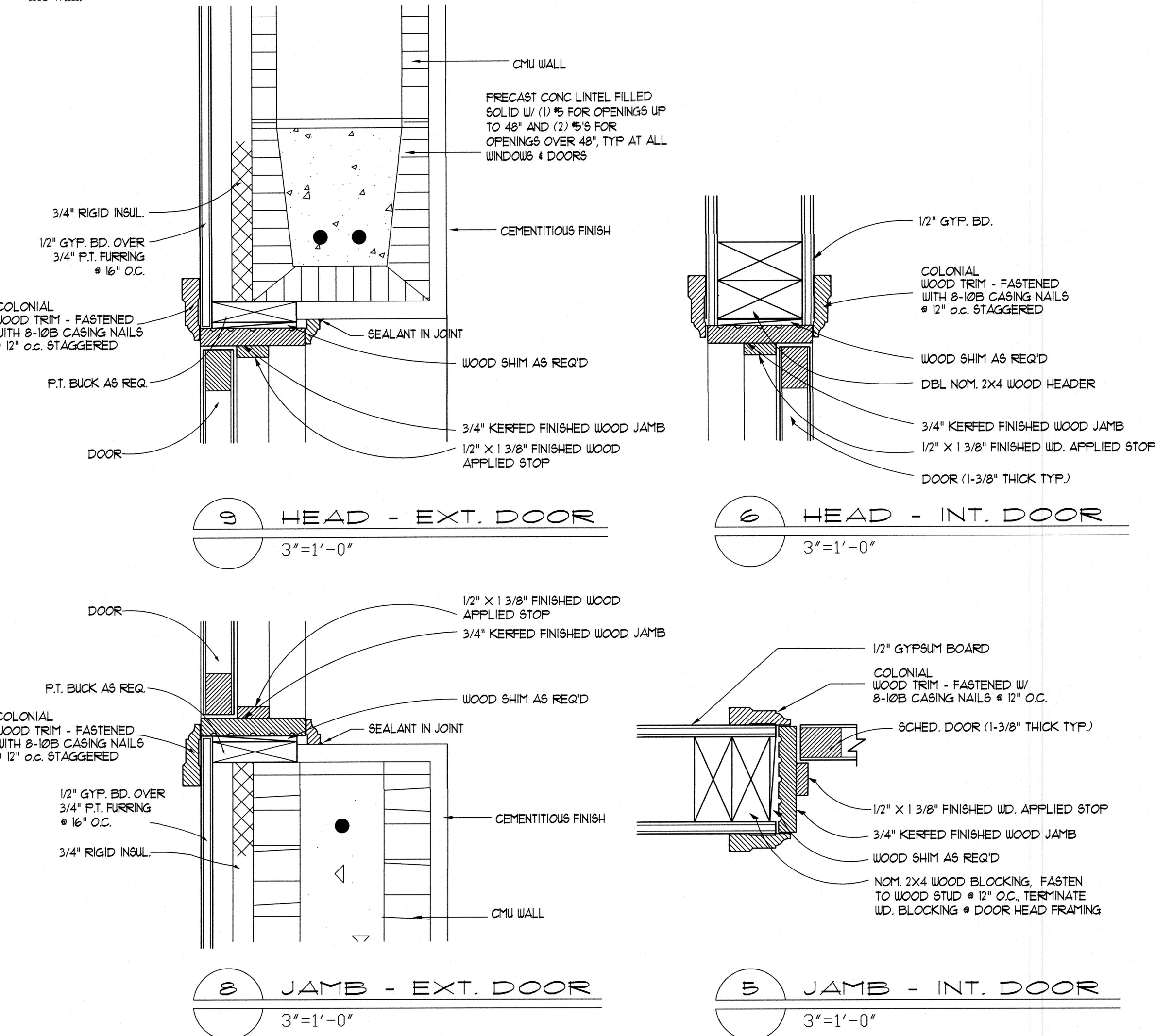
- When using NichiBoard™, NichiShake™, and Sierra Premium™ products, trim all openings prior to siding installation, and follow window, door, vent manufacturer's installation instructions.

- Leave a minimum 1/8" gap between trim and siding and apply sealant in accordance with manufacturer's recommendations.

- All horizontal trim must be flashed. Leave a 1/4" gap between the siding and flashing. Do not caulk this gap. Do not use raw aluminum flashings. Flashings must be galvanized, anodized, or PVC coated.

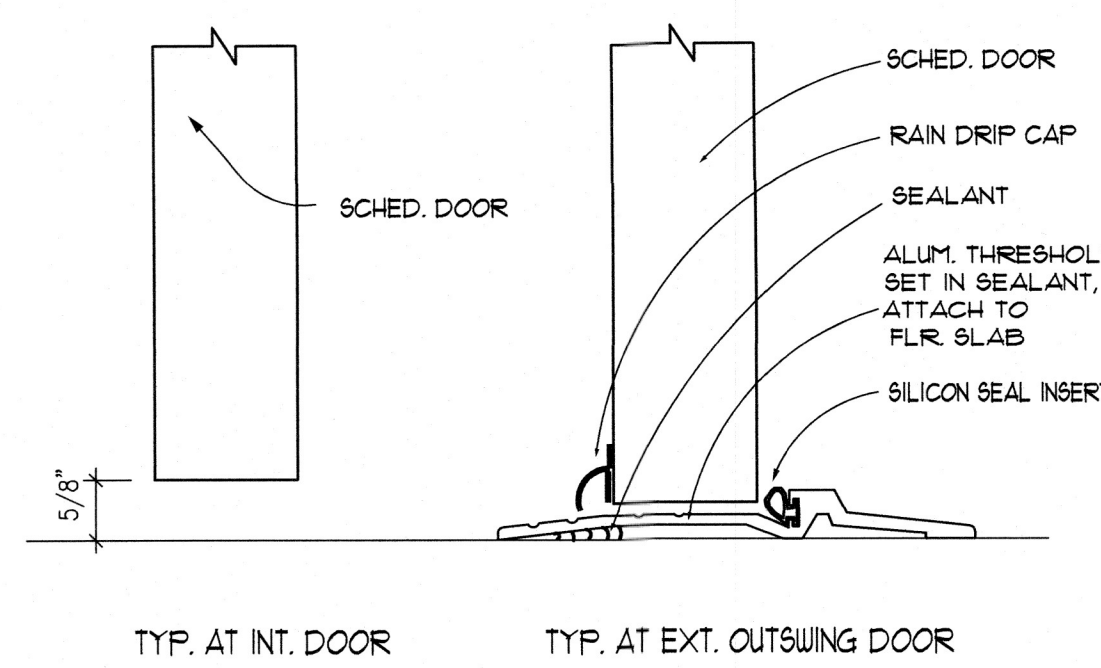
- Install door and window trim in the "cap-over" method. Ensure the top trim board spans over the top of the vertical or side trim pieces. (Fig. 15.2)

- When applying trim around windows with a nailing flange, it may be necessary to install a thin shim beside the flange to provide a flat, even surface level with the flange. This will allow the trim to remain "flat" on the wall.



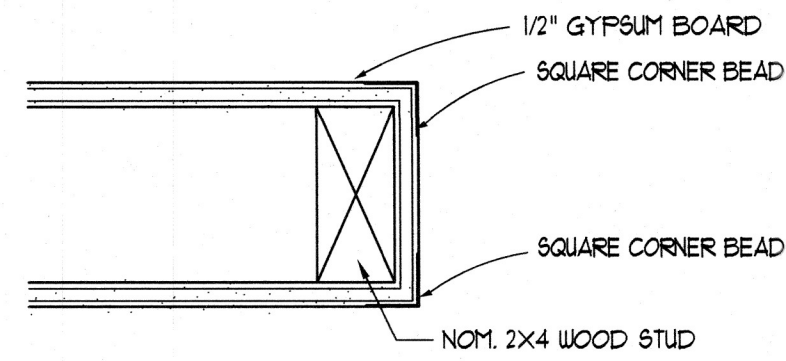
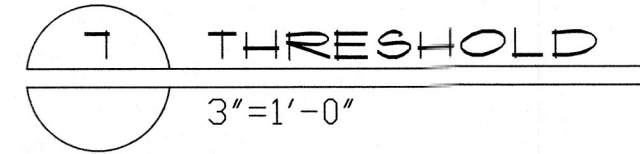
WINDOW/DOOR FLASHING DETAIL

N.T.S.

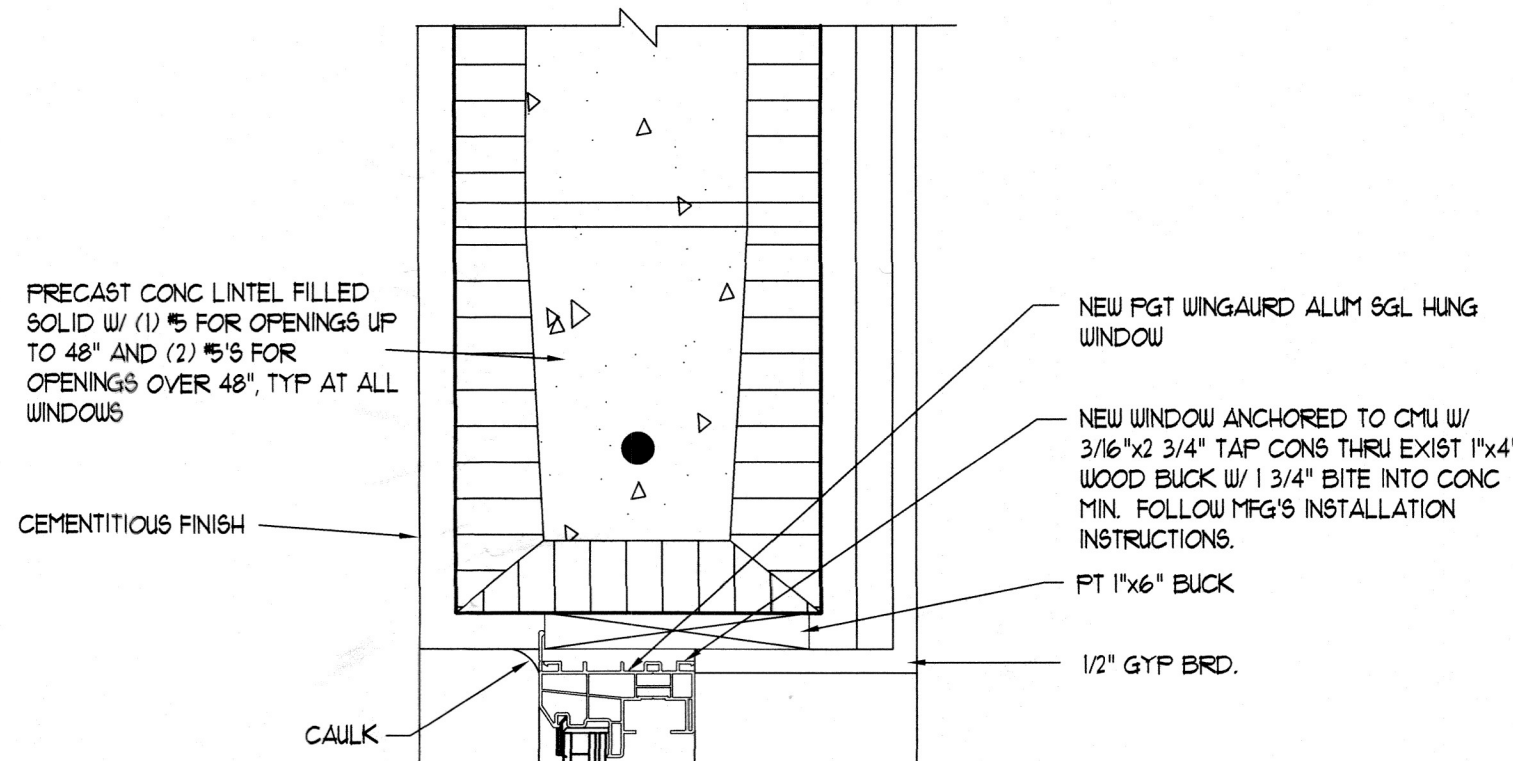


TYP. AT INT. DOOR

TYP. AT EXT. OUTSWING DOOR

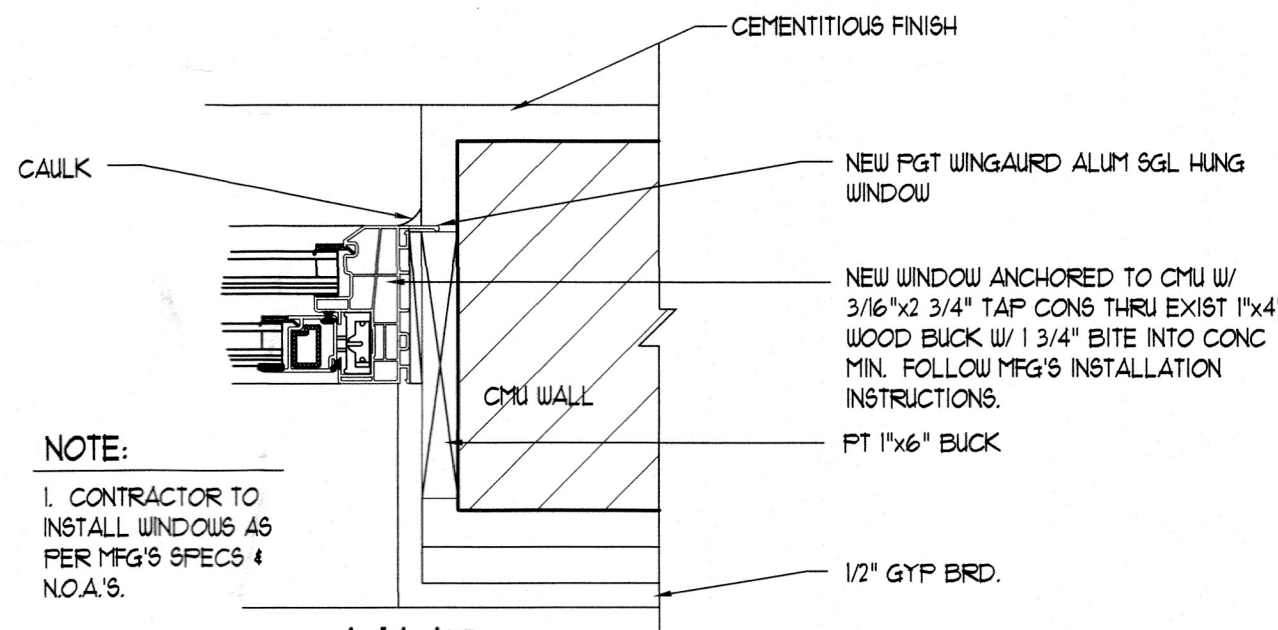


NOTE: COORDINATE LOCATION OF ROUNDED CORNER BEAD WITH OWNER



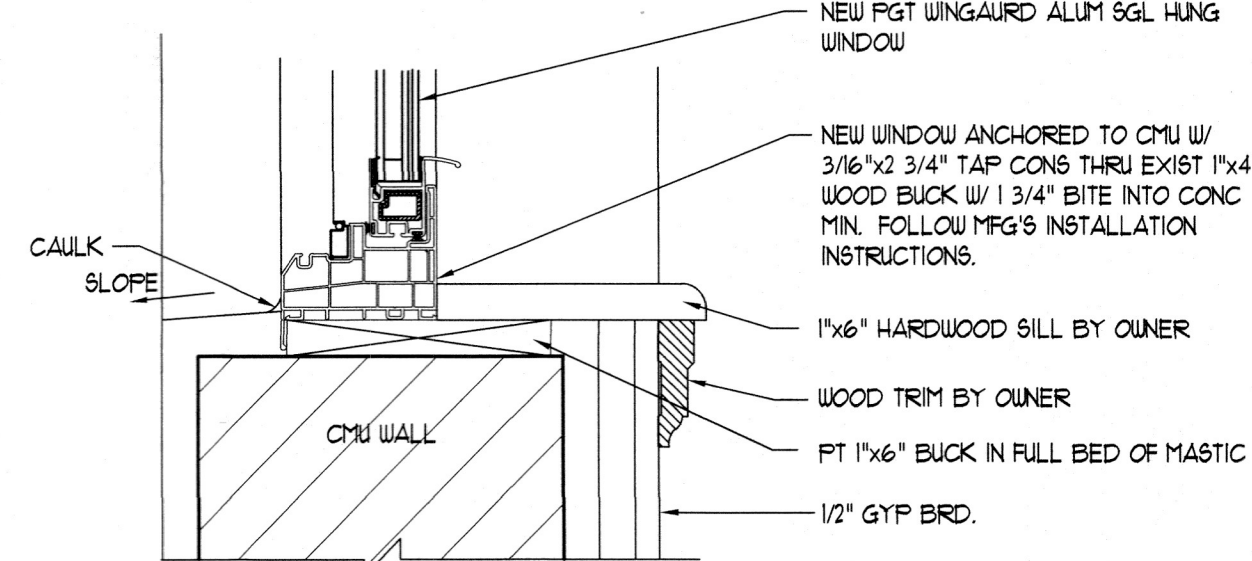
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JAMB

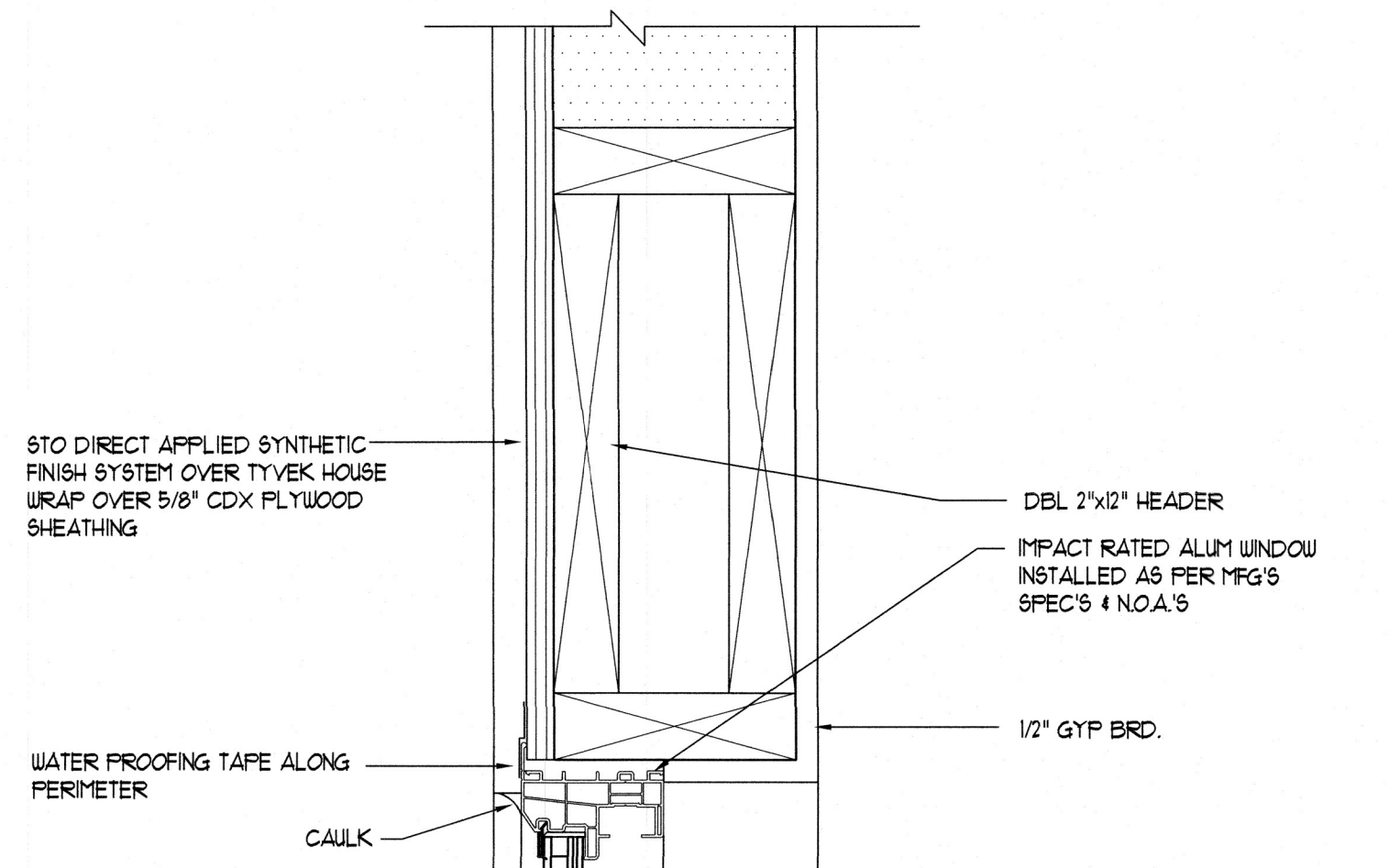
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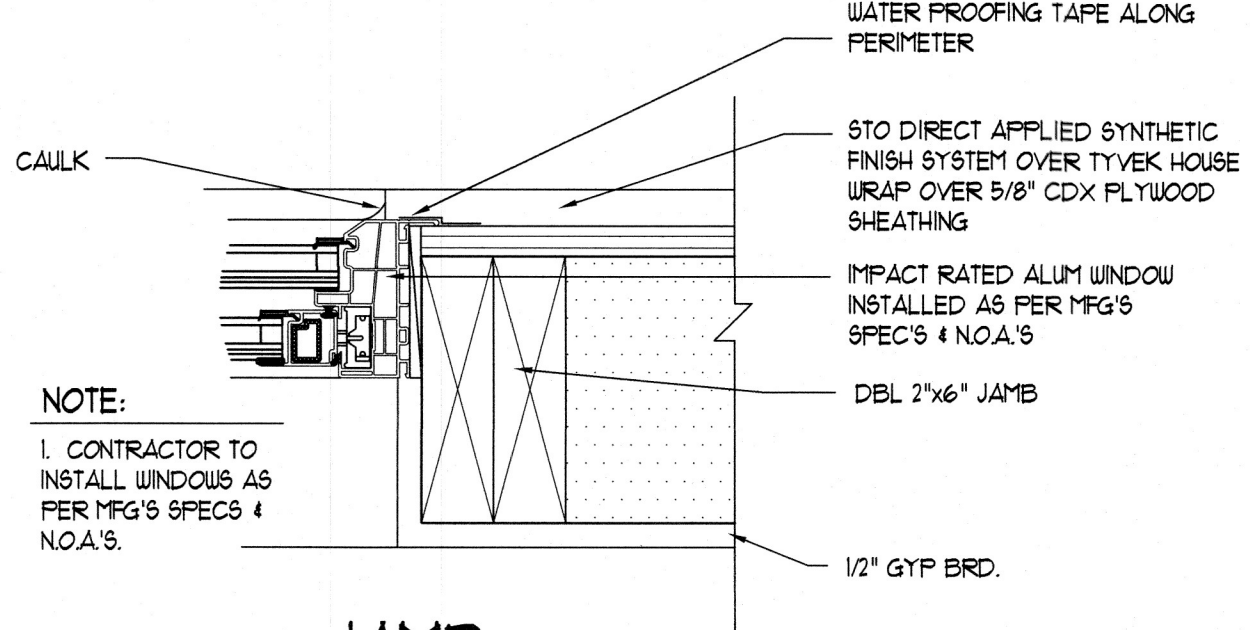
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WINDOW SECTION - CMU



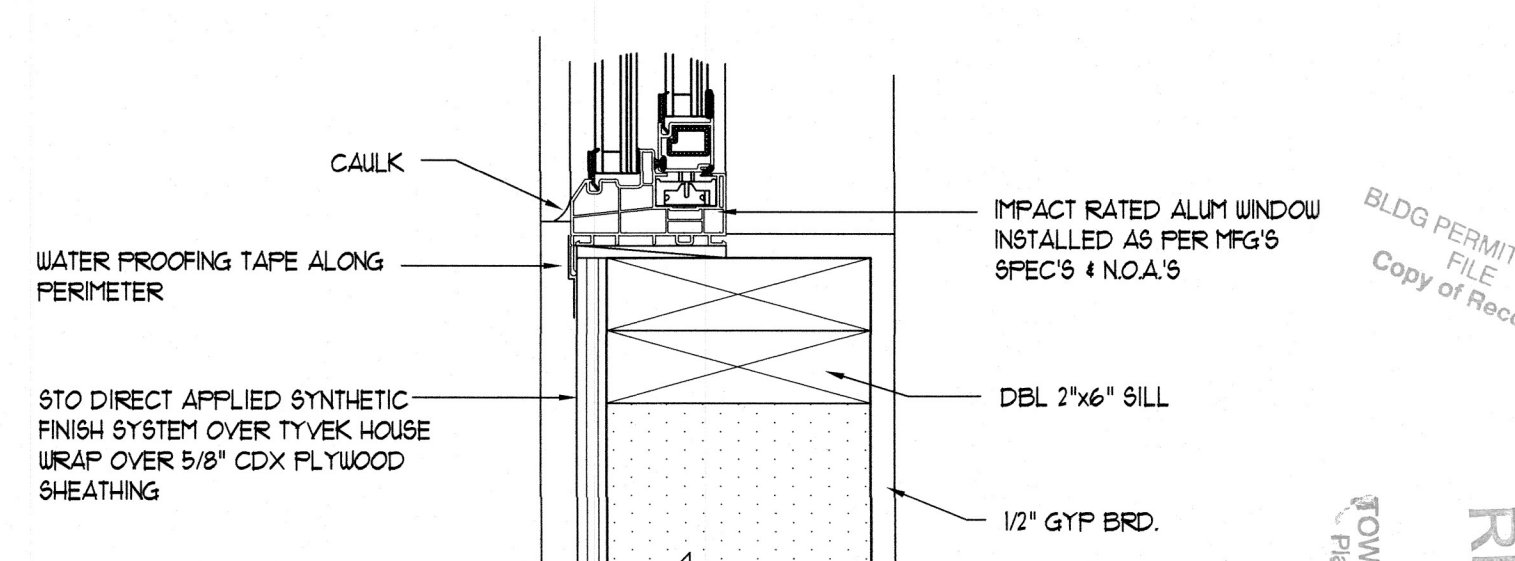
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JAMB

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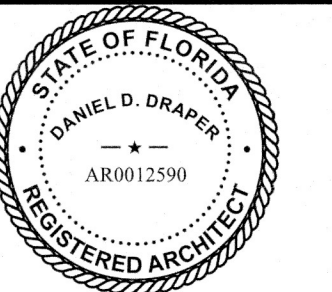
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WINDOW SECTION - FRAME

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DATE: MAY 2, 2022
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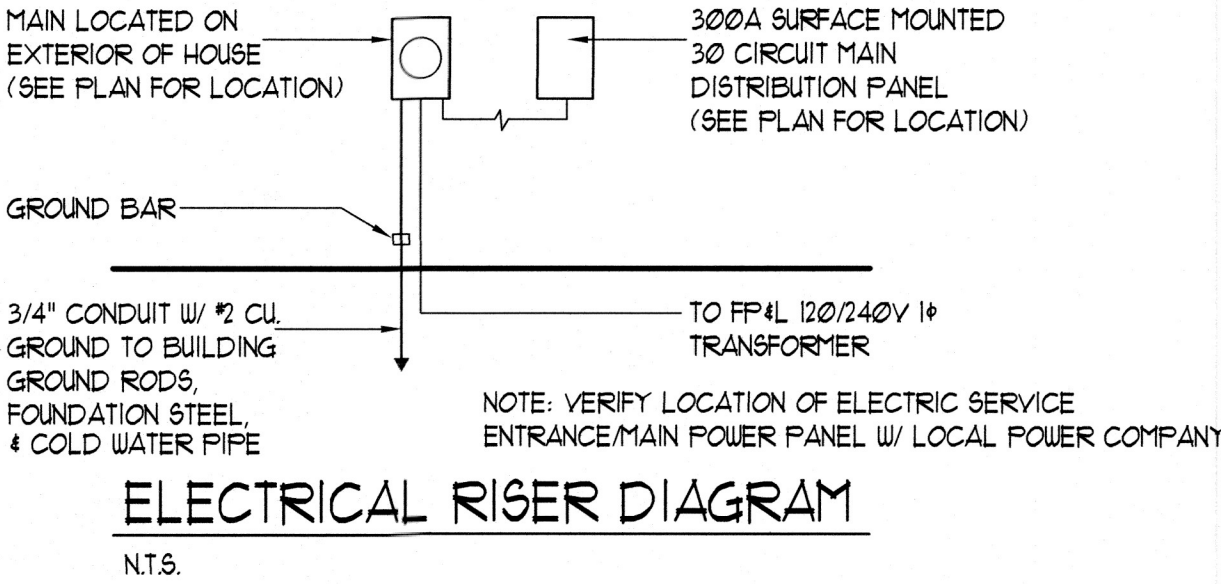
WINDOW & DOOR DETAILS

SHEET NUMBER:

A5.2

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

LEGEND	
	DUPLEX OUTLET
	SPECIALTY OUTLET - 220V
	WATER-PROOF OUTLET/GFI
	GFI OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	SWITCH @ 42" AFF. TO BOTTOM OF BOX
	THREE WAY SINGLE POLE SWITCH
	SURGE PROTECTED DUPLEX OUTLET
	THERMOSTAT
	TELEPHONE JACK - CAT5E
	TELEVISION HIGH SPEED- QUAD SHIELD RG6
	DOOR BELL
	COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
	WALL MOUNTED LED LIGHT
	RECESSED LED CAN LIGHT
	RECESSED LED EYEBALL CAN LIGHT
	REC. LED LIGHT W/ VAPOR PROOF LENS
	OVERHEAD GARAGE DOOR OPENER
	JUNCT. BOX FOR CEILING FAN
	JUNCTION BOX
	ELECTRICAL PANEL - 300 A.
	DOOR CHIME
	DISCONNECT
	EXHAUST FAN/VENT
	UNDER CABINET LOW PROFILE FLUOR.
	1x4 CEILING MTD. FLUOR.
	INCANDESCENT VANITY LIGHT FXT.
	FLOOD LIGHTS W/ MOTION SENSOR
	LANDSCAPE LIGHT



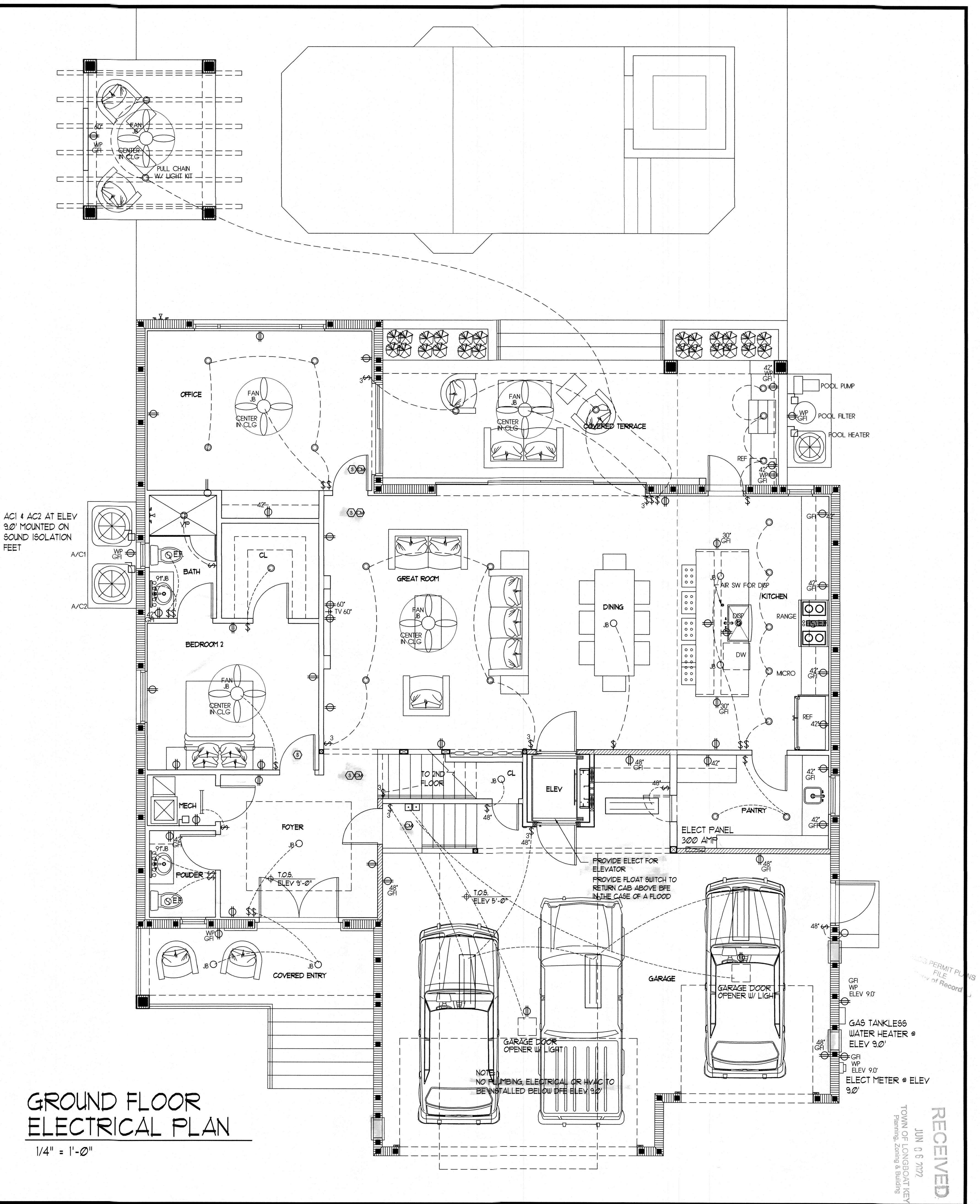
NOTES:

- ALL CEILING FANS, SURFACE MOUNTED & HANGING LIGHT FIXTURES TO BE PICKED BY OWNERS.
- ALL RECEPTACLES AND SWITCHES TO BE LEVITON IN DECORA WHITE OR EQUAL.
- ALL 120V WIRING TO BE 12-2 ROMEX W/ GROUND
- ALL 220V WIRING TO BE COPPER
- 200 AMP MAIN SERVICE TO BE RUN UNDERGROUND FROM TRANSFORMER TO HOUSE IN CONDUIT
- ALL GFI RECEPTACLES LOCATED IN BATHROOMS SHALL BE INDIVIDUAL RESET TYPE
- HOUSE TO BE PRE-WIRED FOR A CENTRAL SECURITY ALARM SYSTEM W/ PHONE JACK, MAIN PANEL STUBBED OUT IN MASTER CLOSET.
- WATER HEATER TO BE TANKLESS GAS
- A/C SYSTEM TO BE HEAT PUMP FORCED AIR
- HOUSE TO BE EQUIPPED W/ SMOKE DETECTORS & CO2 (WHERE SHOWN ON PLAN) HARDWIRED AND PRE-WIRED TO ALARM SYSTEM
- ALL FLUORESCENT LIGHT FIXTURES TO HAVE WARM WHITE OR DAYLIGHT LAMPS
- BASE FLOOD ELEVATION IS 12'-0" WITH DESIGN FLOOD ELEV = 13'-0"
- PROVIDE FOR (1) #5 VERTICAL REBAR ELECTRICAL GROUND TO FOUNDATION STEEL PER CODE.
- DO NOT INSTALL OUTLETS BACK TO BACK, OFFSET EACH SIDE OF STUD
- ALL WINDOW AND SLIDING GLASS DOORS TO HAVE MOTORIZED SHADES. PROVIDE 16/4 CONDUCTORS AND POWER AS SHOWN ON THE PLANS TO ALL WINDOW AND SLIDING GLASS DOORS. CONTROLS ARE TO BE WIRELESS.
- ALL CEILING FANS TO BE WIRED FOR LIGHT KIT.

AC1 & AC2 AT ELEV 9.0' MOUNTED ON SOUND ISOLATION FEET

GROUND FLOOR ELECTRICAL PLAN

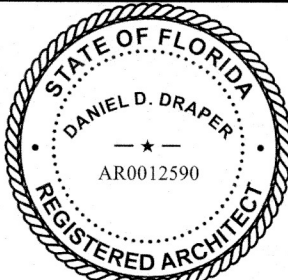
1/4" = 1'-0"



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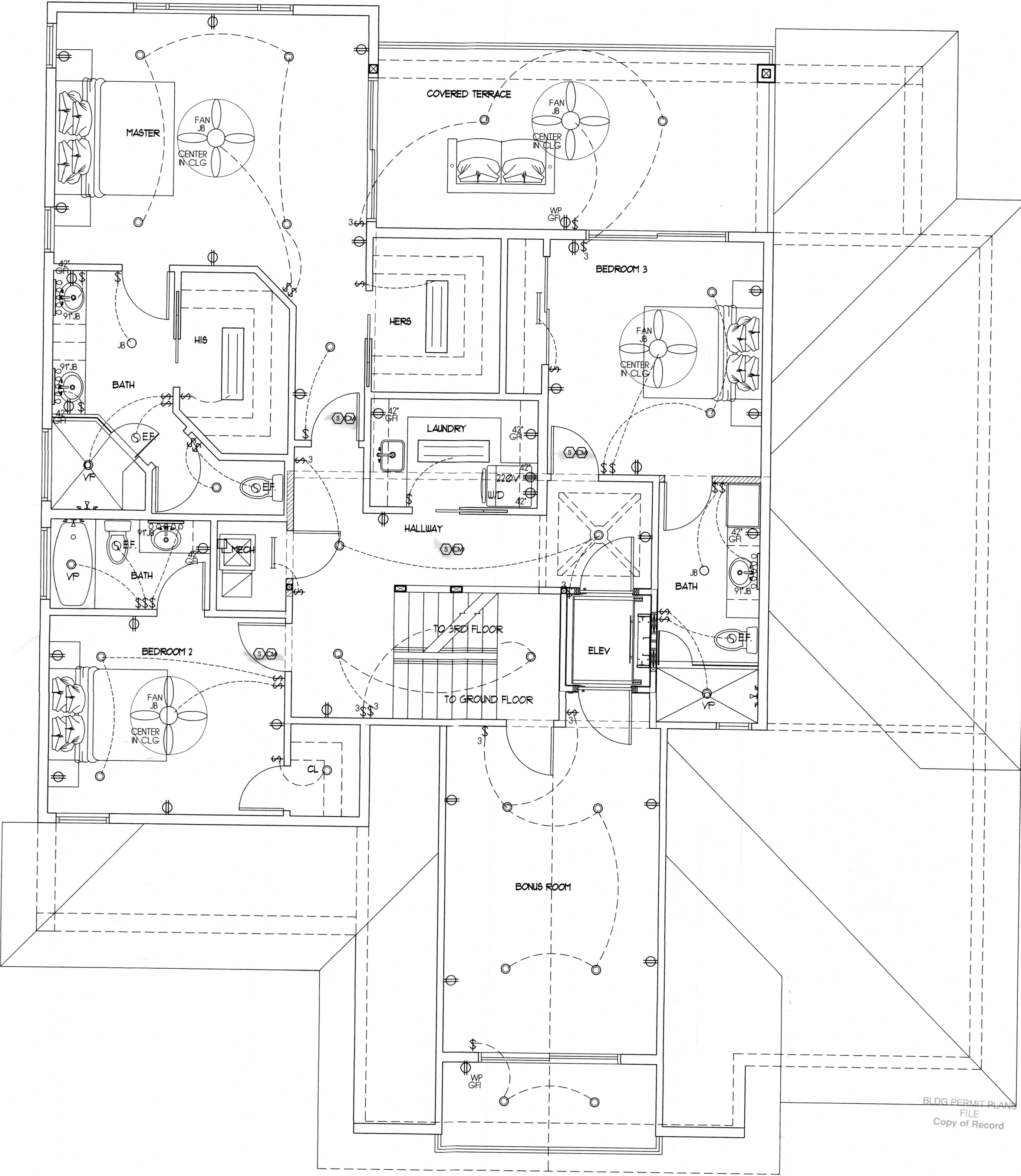
ELECTRICAL PLAN
GROUND FLOOR

SHEET NUMBER:

A6.1

LEGEND	
	DUPLEX OUTLET
	SPECIALTY OUTLET - 220V
	WATER-PROOF OUTLET/GFI
	GFI OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	SWITCH @ 42" A.F.F. TO BOTTOM OF BOX
	THREE WAY SINGLE POLE SWITCH
	SURGE PROTECTED DUPLEX OUTLET
	THERMOSTAT
	TELEPHONE JACK - CAT5E
	TELEVISION HIGH SPEED- QUAD SHIELD RG6
	DOOR BELL
	COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
	WALL MOUNTED LED LIGHT
	RECESSED LED CAN LIGHT
	RECESSED LED EYEBALL CAN LIGHT
	REC. LED LIGHT W/ VAPOR PROOF LENS
	OVERHEAD GARAGE DOOR OPENER
	JUNCT. BOX FOR CEILING FAN
	JUNCTION BOX
	ELECTRICAL PANEL- 300 A.
	DOOR CHIME
	DISCONNECT
	EXHAUST FAN/VENT
	UNDER CABINET LOW PROFILE FLUOR.
	1x4 CEILING MTD. FLUOR.
	INCANDESCENT VANITY LIGHT FIXT.
	FLOOD LIGHTS W/ MOTION SENSOR
	LANDSCAPE LIGHT

- NOTES:
- ALL CEILING FANS, SURFACE MOUNTED & HANGING LIGHT FIXTURES TO BE PICKED BY OWNERS.
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 - ALL CEILING FANS TO BE WIRED FOR LIGHT KIT.

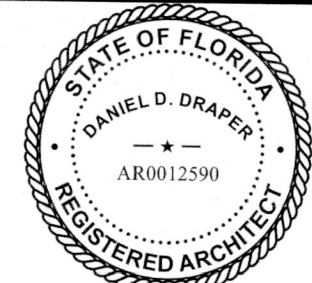


2ND FLOOR
ELECTRICAL PLAN
1/4" = 1'-0"

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Dan Draper
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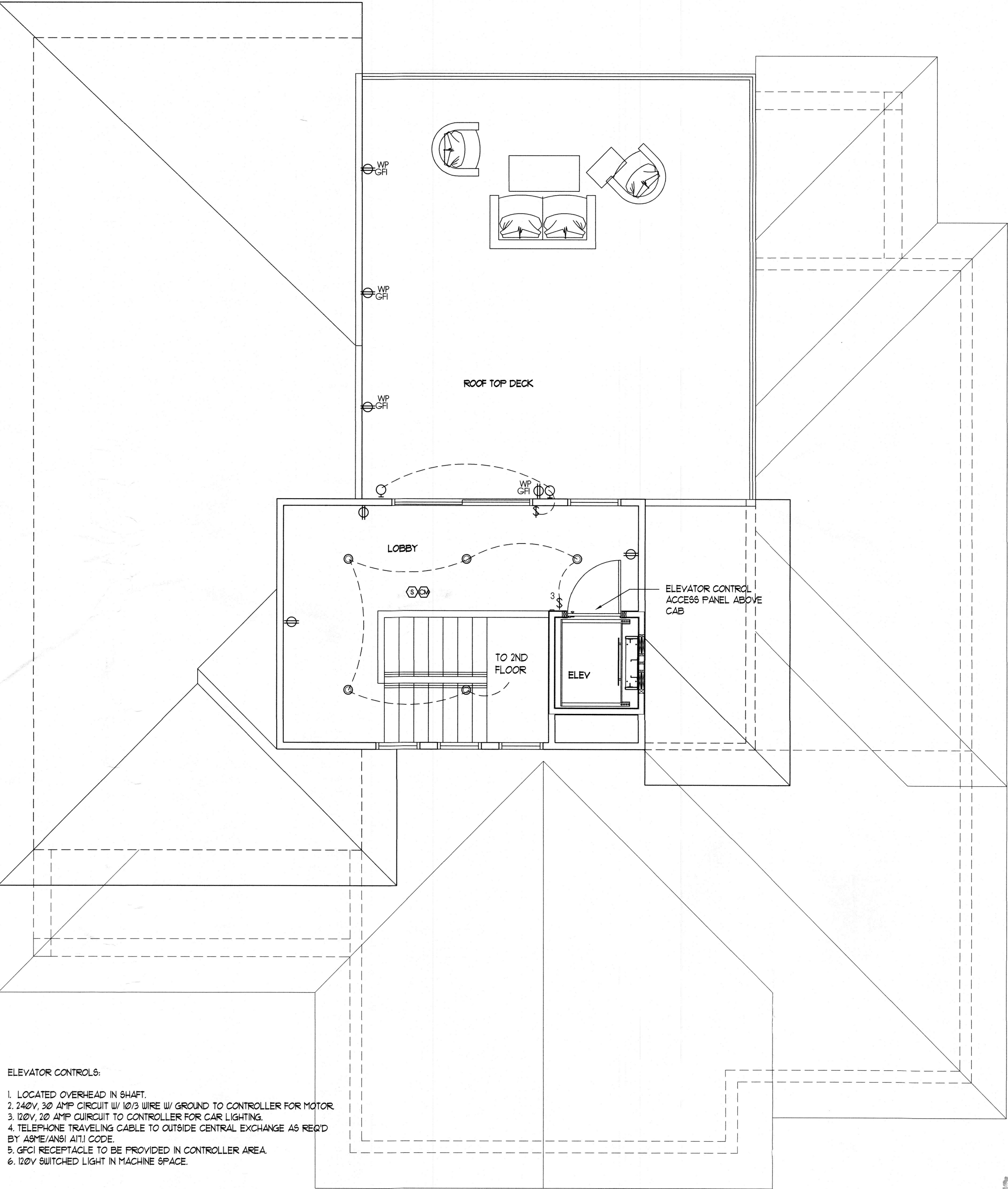
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LONGBOAT KEY, FL 34228

DATE: MAY 2, 2022
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ELECTRICAL PLAN
2ND FLOOR
SHEET NUMBER:
A6.2

LEGEND	
	DUPLEX OUTLET
	SPECIALTY OUTLET - 220V
	WATER-PROOF OUTLET/GFI
	GFI OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	SWITCH @ 42" A.F.F. TO BOTTOM OF BOX
	THREE WAY SINGLE POLE SWITCH
	SURGE PROTECTED DUPLEX OUTLET
	THERMOSTAT
	TELEPHONE JACK - CAT5E
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	DOOR CHIME
	DISCONNECT
	EXHAUST FAN/VENT
	UNDER CABINET LOW PROFILE FLUOR.
	1x4 CEILING MTD. FLUOR.
	INCANDESCENT VANITY LIGHT FIXT.
	FLOOD LIGHTS W/ MOTION SENSOR
	LANDSCAPE LIGHT

NOTES:

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16. ALL CEILING FANS TO BE WIRED FOR LIGHT KIT.



ELEVATOR CONTROLS:

1. LOCATED OVERHEAD IN SHAFT.
2. 240V, 30 AMP CIRCUIT W/ 10/3 WIRE W/ GROUND TO CONTROLLER FOR MOTOR.
3. 120V, 20 AMP CIRCUIT TO CONTROLLER FOR CAR LIGHTING.
4. TELEPHONE TRAVELING CABLE TO OUTSIDE CENTRAL EXCHANGE AS REQ'D BY ASME/ANSI A17.1 CODE.
5. GFCI RECEPTACLE TO BE PROVIDED IN CONTROLLER AREA.
6. 120V SWITCHED LIGHT IN MACHINE SPACE.

3RD FLOOR
ELECTRICAL PLAN

1/4" = 1'-0"

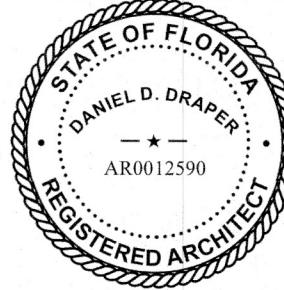
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ELECTRICAL PLAN
3RD FLOOR

SHEET NUMBER:

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