A NEW CUSTOM RESIDENCE FOR

ANTHONY & VICKI SKIDMORE

608 Bayview Drive | Longboat Key, Florida | 34228

Manatee County

BLDG PERMIT PLANS FILE Copy of Record

NPDES

NPDES

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NPDES

Permit # PB21-0839
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.

AUG 2 0 2021

APPROVED
Reviewer: PATTI FIGE

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GENERAL NOTES

1. DRAWINGS: DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS AND NOTES SHALL CONTROL. CONTACT THE SUPERINTENDENT WITH ANY CONFLICTS IN THE PLANS BEFORE BEGINNING WORK. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO STRUCTURAL ITEMS AND DO NOT INCLUDE FINISHES. DIMENSIONS, SIZES, MEASUREMENTS AND LOCATION INSTRUCTIONS ARE NOMINAL AND APPROXIMATE AND MAY VARY FROM WHAT IS SPECIFIED OR REQUIRED.
2. ON-SITE VERIFICATION: OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTORS. EACH SUB-CONTRACTOR SHALL REPORT ANY DISCREPANCY OR OTHER QUESTIONS PERTAINING TO THE DRAWINGS TO THE JOHN CANNON HOMES, INC. SUPERINTENDENT, OTHERWISE ACCEPTING FULL RESPONSIBILITY FOR ANY ERRORS, OMISSIONS & DISCREPANCIES TO PLANS AS NOTED.
3. APPLICABLE CODES: IT IS THE INTENT THAT THESE DRAWINGS BE IN CONFORMANCE WITH THE 2020 FBC, 2017 NEC AND ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND RESTRICTIVE COVENANTS GOVERNING THE SITE.
4. SCOPE OF WORK: ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS, AND SHALL PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE WITHIN THE RELEVANT JURISDICTION(S) GOVERNING THE SITE TO COMPLETE THEIR SCOPE OF WORK.
5. MATERIALS: ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
6. CEILING HEIGHTS: MAY BE ADJUSTED AS REQUIRED FOR STRUCTURAL ENGINEERING OR MECHANICAL EQUIPMENT.
7. CABINET DRAWINGS: CONTAINED HEREIN ARE FOR SCHEMATIC LAYOUT ONLY. AS SUCH ALL DIMENSIONS AND LOCATIONS ARE APPROXIMATE. CABINETS ARE TO BE BUILT AND INSTALLED PER APPROVED CABINET DRAWINGS AS SUPPORTED BY CONTRACT DOCUMENTATION.

DESIGN DISCLOSURE

THE PURPOSE OF THIS DISCLOSURE IS TO ACKNOWLEDGE THAT JOHN CANNON HOMES, INC. DESIGNS BUILDING PLANS FOR ITS CUSTOMERS FOR THE PURPOSE OF CONSTRUCTING THEIR HOME, AND MAKES NO CLAIMS AS TO REPRESENTING ITSELF AS AN ARCHITECT OR EXPERT IN THE FUNCTIONAL UTILITY OF HOUSE DESIGN. IN AS SUCH, NO REPRESENTATIONS ARE MADE AS TO THE AESTHETICS OR FUNCTIONALITY OF THE HOUSE'S OVERALL DESIGN AND LAYOUT. **YOUR CONTRACT AND THESE PLANS ARE CUSTOM, ALTHOUGH THEY MAY BE BASED UPON A JOHN CANNON HOMES MODEL. THESE PLANS WILL BE USED AS DRAWN FOR CONSTRUCTION PURPOSES; PLEASE REVIEW THEM CAREFULLY. THERE MAY BE DESIGN CHANGES, ADDITIONS, DELETIONS, SUBSTITUTIONS, DEVIATIONS AND / OR ALTERATIONS FROM WHAT IS SHOWN IN OUR MODELS OR YOUR PLANS SIGNED AT CONTRACT.** JOHN CANNON HOMES, INC. FULLY REPRESENTS THE DESIGN OF THE HOUSE'S STRUCTURAL INTEGRITY TO BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND GOVERNMENTAL REQUIREMENTS. THESE COPYRIGHTED PLANS ARE THE PROPERTY OF JOHN CANNON HOMES, INC. IN SO MUCH ANY UNAUTHORIZED USE, DUPLICATION, OR DISTRIBUTION IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION FROM JOHN CANNON HOMES, INC. IT IS SUGGESTED THAT ANY CUSTOMER HAVING QUESTIONS OR CONCERNS REGARDING THE FUNCTIONAL UTILITY OF THE HOUSE'S DESIGN AND / OR LAYOUT (I.E. ROOM LAYOUT, SIZE AND / OR CONFIGURATION, DOOR AND WINDOW LOCATIONS, ETC.) TO CONTACT AN ARCHITECT OR SIMILAR EXPERT IN THE FIELD OF HOUSE DESIGN AND LAYOUT TO ASSIST THEM IN RESOLVING THOSE QUESTIONS OR CONCERNS. ANY COSTS INCURRED IN OBTAINING THIS ASSISTANCE ARE THE SOLE RESPONSIBILITY OF THE CUSTOMER, AND ADDITIONAL COSTS COULD BE INCURRED SHOULD CHANGES TO THE BUILDING PLANS BE REQUESTED. FURTHERMORE, THESE PLANS ARE A GRAPHIC REPRESENTATION OF THE PRELIMINARY DESIGN OF A HOUSE. ACTUAL PLACEMENT OF THE HOUSE ON THE LOT, ROOM SIZES, WINDOW SIZES AND PLACEMENT, DOOR SIZES AND PLACEMENT, EQUIPMENT LOCATIONS AND OTHER ITEMS MAY CHANGE AS REQUIRED BY BUILDING CODES, LOCAL ORDINANCES, AND STRUCTURAL REQUIREMENTS AFTER ENGINEERING.

EROSION & SEDIMENT CONTROL NOTES

1. WHEN RAINFALL AND RUNOFF OCCURS, DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOMEONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.
2. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
3. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
4. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
5. SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS.
6. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
7. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF ONE-THIRD OF THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
8. CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AGAIN AT COMPLETION OF PROJECT.
9. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
10. THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
11. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
12. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS, STATE, AND FEDERAL REGULATIONS.
13. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT. NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPS THAT MUST BE INSTALLED INCLUDE: GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPS MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
15. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
16. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
17. THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
18. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
19. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPS MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING.

TYPICAL ABBREVIATIONS

THIS LIST CONTAINS GENERAL ABBREVIATIONS WHICH MAY BE USED THROUGHOUT THIS PROJECT. ADDITIONAL ABBREVIATIONS AND SYMBOLS CAN BE FOUND WITHIN THE RELEVANT SHEET'S LEGEND AND/OR NOTES.

ABV	ABOVE	CP	CROWN PERIMETER	HB	HOSE BIBB	REF	REFRIGERATOR
AFF	ABOVE FINISHED FLOOR	DFE	DESIGN FLOOD ELEVATION	LAV	LAVATORY	SGD	SLIDING GLASS DOOR
AHU	AIR HANDLER UNIT	DC	DISAPPEARING CORNER	MFG	MANUFACTURER	SF	SQUARE FEET (FOOT)
ALUM	ALUMINUM	DISP	DISPOSAL	MAX	MAXIMUM	SI	SQUARE INCH(ES)
ARCH	ARCHITECTURAL	DIST	DISTANCE	MECH	MECHANICAL	SHWR	SHOWER
BFE	BASE FLOOD ELEVATION	ELEC	ELECTRICAL	MIN	MINIMUM	SH	SINGLE HUNG WINDOW
BLDG	BUILDING	ELEV	ELEVATION	MIR	MIRROR	SPECS	SPECIFICATIONS
CAB	CABINET	ENG	ENGINEER	NAVD	NORTH AMERICAN VERTICAL DATUM	STRUCT	STRUCTURAL
CALC	CALCULATION(S)	EQUIP	EQUIPMENT			T&G	TONGUE AND GROOVE
CA	CASEMENT WINDOW	FF	FINISHED FLOOR	NGVD	NATIONAL GEODETIC VERTICAL DATUM	TYP	TYPICAL
CI-##	CONTRACT ITEMIZATION	FG	FIXED GLASS			UC	UNDER COUNTER
CA-##	CUSTOMER ACCOMMODATION	FLR	FLOOR	OC	ON CENTER	VEST	VESTIBULE
CLG	CEILING	FR DR	FRENCH DOOR	OHD	OVERHEAD DOOR	WC	WATER CLOSET
CMU	CONCRETE MASONRY UNIT	HDR	HEADER	PKT	POCKET DOOR	WH	WATER HEATER
CONC	CONCRETE	HVAC	HEAT & AIR CONDITIONING	RA	ROOM AREA	WIC	WALK IN CLOSET

DESIGN CRITERIA

AREA CALCULATIONS

BUILDING AREAS

GROUND LEVEL FOYER	288	SQ FT	
MAIN LIVING LEVEL	1,757	SQ FT	
SECOND LIVING LEVEL	1,371	SQ FT	
TOTAL LIVING(UNDER A/C)	3,416	SQ FT	
ENTRY	59	SQ FT	
LOWER LANAI	959	SQ FT	CI-344
GARAGE / STORAGE	1,373	SQ FT	CI-343
MAIN LIVING BALCONY	47	SQ FT	
MAIN LANAI	708	SQ FT	CI-346
UPPER BALCONY	47	SQ FT	
UPPER LANAI	159	SQ FT	CI-347
MECHANICAL EQUIP. ELEVATED SLABS	162	SQ FT	
TOTAL UNDER ROOF	3,514	SQ FT	
POOL DECK	703	SQ FT	CI-345
DRIVEWAY	1,275	SQ FT	

BUILDING CODE

2020 Florida Building Code, 7th Edition
2017 National Electric Code

PROJECT SPECIFIC INFORMATION

PARCEL ID: 7860800007

JURISDICTION: LONGBOAT KEY (MANATEE COUNTY)

ZONING: R-4SF

FEMA FLOOD ZONE: AE

BASE FLOOD ELEVATION: 9'-0" NAVD

DESIGN FLOOD ELEVATION: 10'-0" NAVD

LOT SIZE: 10,000 +/- SF

ALLOWABLE LOT COVERAGE: 30% (3,000 SF)

ACTUAL LOT COVERAGE: 28% (2,840 SF)

ALLOWABLE IMPERVIOUS LOT COVERAGE: 50% (5,000 SF)

ACTUAL IMPERVIOUS LOT COVERAGE: 48% (4,818 SF)

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DRAWING SHEET INDEX

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A2.0	GROUND LEVEL FLOOR PLAN
A2.0d	GROUND LEVEL DIMENSION PLAN
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A2.1d	MAIN LEVEL DIMENSION PLAN
A2.2	UPPER LEVEL FLOOR PLAN
A2.2d	UPPER LEVEL DIMENSION PLAN
A3.0	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS (FRONT & REAR)
A4.1	EXTERIOR ELEVATIONS (SIDES)
A5.0	INTERIOR ELEVATIONS
A6.0	GROUND LEVEL ELECTRICAL PLAN
A6.1	MAIN LEVEL ELECTRICAL PLAN
A6.2	UPPER LEVEL ELECTRICAL PLAN
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D1.0	INTERIOR DETAILS
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S3	MAIN LEVEL FRAMING PLAN
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S3.2	ROOF FRAMING PLAN
S4	STRUCTURAL NOTES/SPECS
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
S7	STRUCTURAL DETAILS
S8	STRUCTURAL DETAILS

RECEIVED
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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

BLDG PERMIT PLANS FILE Copy of Record

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A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
-	12.18.2020	PRE-CONTRACT DESIGN	BD	BD	BD
-	03.24.2021	DESIGN DEVELOPMENT CHECK SET	DB	TRP	BD
-	04.02.2021	DESIGN DEVELOPMENT	DB	BD	BD
-	04.26.2021	CONSTRUCTION DOCS CHECK SET	BD	TRP	BD
-	04.30.2021	CONSTRUCTION DOCUMENTS	BD	BD	BD
-	06.25.2021	PERMIT DOCUMENTS CHECK SET	DB	TRP	BD
-	07.06.2021	PERMIT DOCUMENTS	DB	BD	BD
1	08.02.2021	POST PERMIT SET REVISIONS	DB		

DRAWING TITLE

COVER SHEET

SHEET NUMBER

A0.0

SITE & DRAINAGE PLAN NOTES

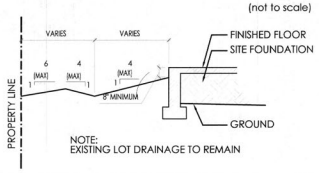
1. SURFACE SLOPES SHALL NOT EXCEED ONE FOOT VERTICAL RISE IN SIX FEET HORIZONTAL DISTANCE WITHIN FIVE FEET OF ANY PROPERTY LINE.
2. ALL ON-SITE DRAINAGE SHALL BE DIRECTED BY SWALES OR OTHER SYSTEMS TO AN OFF SITE DRAINAGE FACILITY.
3. SITE DRAINAGE TO BE CONSISTENT WITH ANY EXISTING SUBDIVISION STORM WATER MANAGEMENT PLAN.
4. SWALE SLOPES SHALL BE A MINIMUM OF 0.23% LONGITUDINAL SLOPE.
5. SITE RUNOFF MAY BE DIRECTED TO REAR OF LOT IF AN APPROVED DRAINAGE GREENBELT OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY IS AVAILABLE.
6. ALL REQUIRED SWALES OR OTHER SYSTEMS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. SITE DRAINAGE TO BE SWALED AS TO NOT ALLOW DRAINAGE ON TO ADJACENT PROPERTIES.
8. A REGISTERED FLORIDA SURVEYOR SHALL LOCATE BUILDING ON SITE FOR CONFORMANCE PRIOR TO FOOTING PLACEMENT.
9. IF APPLICABLE, ALL PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT, INCLUDING DUCTWORK WILL BE LOCATED ABOVE THE DESIGN FLOOD ELEVATION (DFE). DFE = BASE FLOOD ELEVATION (BFE) + 1'-0" FREEBOARD.
10. IF APPLICABLE, ALL MATERIALS BELOW THE DFE WILL BE MADE OF FLOOD RESISTANT MATERIAL.
11. IF APPLICABLE, NO PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT, WILL BE INSTALLED IN THE ELEVATOR SHAFT UNLESS IT IS REQUIRED FOR THE ELEVATOR OPERATION.
12. ALL TOPOGRAPHIC INFORMATION IS SHOWN IN NAVD.
13. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO STRUCTURAL ITEMS AND DO NOT INCLUDE FINISHES. DIMENSIONS, SIZES, MEASUREMENTS AND LOCATION INSTRUCTIONS ARE NOMINAL AND APPROXIMATE AND MAY VARY FROM WHAT IS SPECIFIED

TREE DISCLOSURE

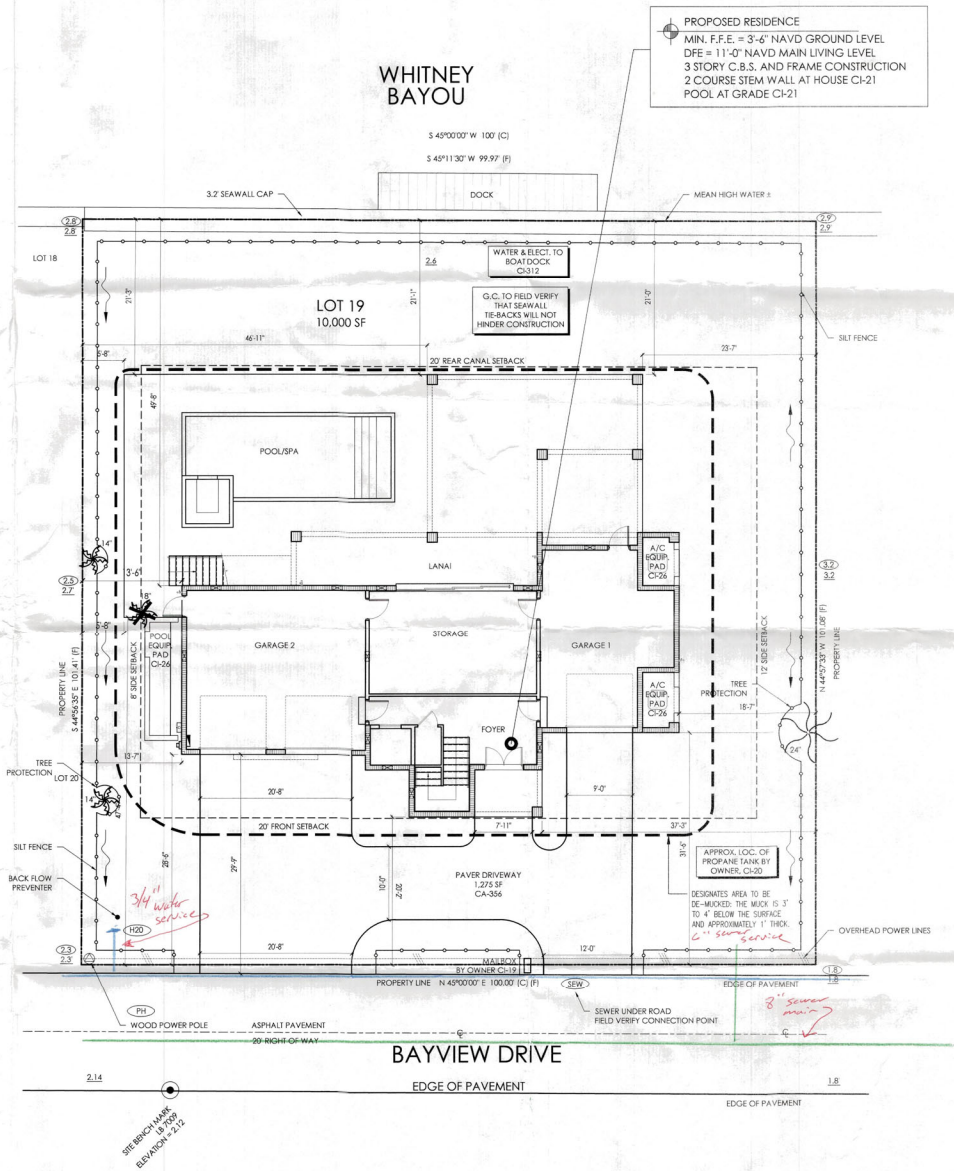
THE PURPOSE OF THIS DISCLOSURE IS TO ACKNOWLEDGE THAT JOHN CANNON HOMES, INC. MIGHT NEED TO TRIM EXISTING TREES IN ORDER TO BUILD THIS HOUSE, BUT JOHN CANNON HOMES, INC DOESNT WARRANTY OR GUARANTEE SURVIVAL.

SWALE DETAIL

(not to scale)



NOTE:
EXISTING LOT DRAINAGE TO REMAIN



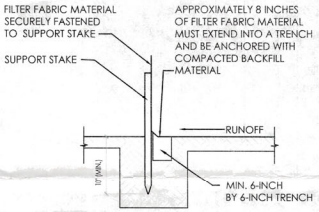
LEGEND

= PROPERTY LINE	= PHONE
= SETBACKS	= TV
= EASEMENT	= BACKFLOW
= CENTERLINE	= WATER
= SILT FENCE	= GAS
= FENCING AS NOTED	= SEWER
= EXISTING ELEVATION	= FIRE HYDRANT
= PROPOSED ELEVATION	= RECLAIMED WATER
= HIGH POINT	= TREE TO REMAIN
= FLOW	= TREE TO BE REMOVED
= POWER	

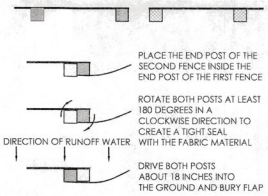
SILT FENCE DETAILS & NOTES

1. STAKES SPACED @ 8" MAXIMUM. USE 2" X 2" WOOD OR EQUIVALENT STEEL STAKES.
2. SILT FENCE TO BE INSTALLED AT PERIMETER OF CONSTRUCTION AREA ALONG PROPERTY LINE AS PER SURVEY/PLAN AND WILL REMAIN IN PLACE DURING CONSTRUCTION. MAY BE ADJUSTED AS NEEDED TO ACCOMMODATE INSTALLATION OF FENCING, WALLS, LANDSCAPING, AND TREE RELOCATIONS. A DOUBLE SILT SCREEN SHALL BE MAINTAINED ALONG THE SHORELINE AND UPSTREAM OF MANGROVES.
3. PERMANENT LANDSCAPING MUST BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PROCESS. THIS INCLUDES BOXING THE TREE TRUNKS BEHIND A 2 X 4 "FENCE" WHICH ALSO SURROUNDS THE ROOTS.
4. FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.
5. SILT FENCE TO BE INSPECTED AFTER EACH STORM EVENT AND TO BE MAINTAINED AS REQUIRED.
6. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
7. EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED TO MATCH SWALE DETAIL.
8. ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

STANDARD FILTER FABRIC FENCE (not to scale)



JOINING SILT FENCES (not to scale)



SITE AND DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

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Planning, Zoning & Building

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LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
	2.8.2021	PRELIMINARY PLAN	RS	RF	RF
	2.9.2021	CONSTRUCTION PLAN SET	RS	RF	RF
	2.23.2021	CONSTRUCTION PLAN SET	RS	RF	RF
	3.2.2021	CONSTRUCTION PLAN SET	RS	RF	RF
	3.9.2021	CONSTRUCTION PLAN SET	RS	RF	RF
	3.23.2021	PERMIT PLAN SET	RS	RF	RF
	4.9.2021	PERMIT PLAN SET	RS	RF	RF
	7.19.2021	PERMIT PLAN SET	RS	RF	RF

DRAWING TITLE

SITE AND DRAINAGE PLAN

SHEET NUMBER

A1.0

SITE & DRAINAGE PLAN NOTES

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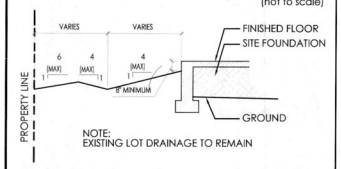
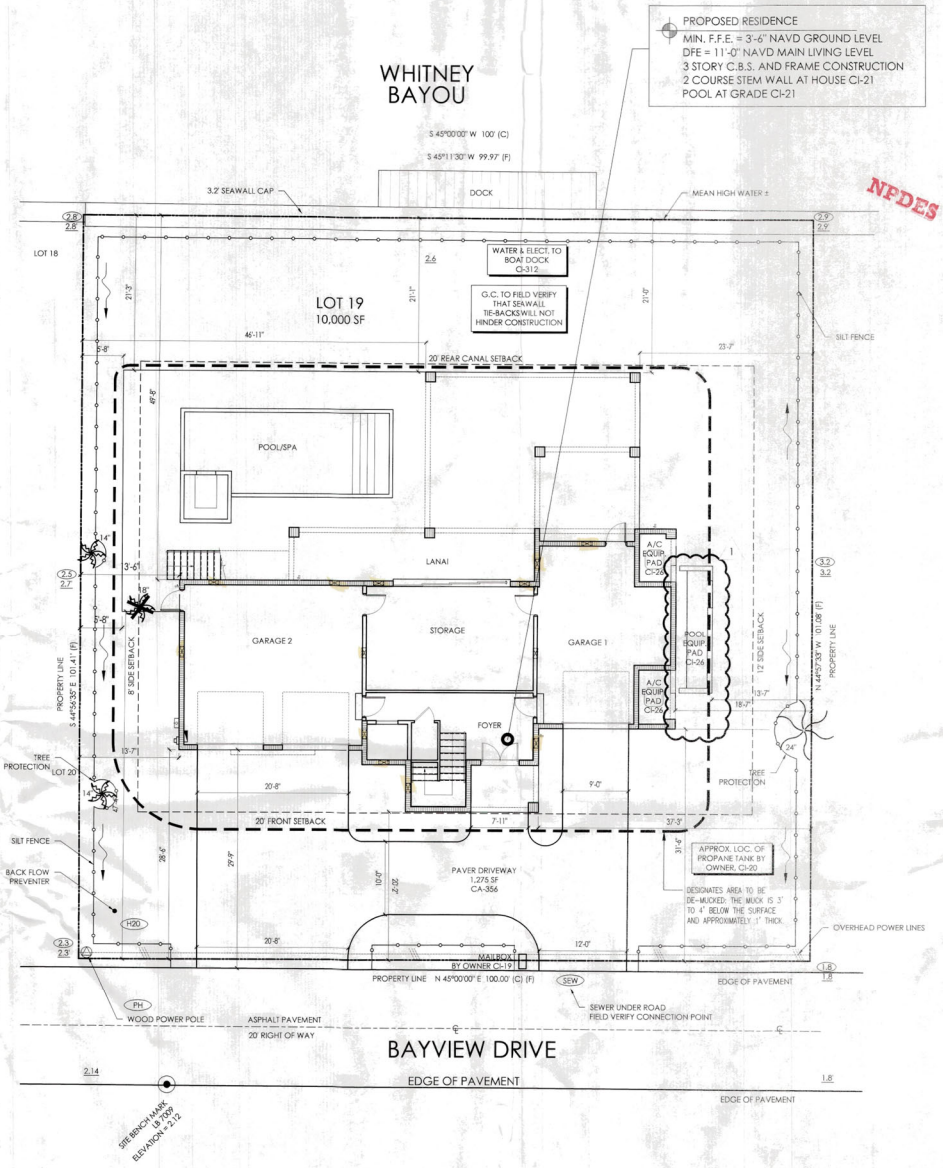


NOTE:
EXISTING LOT DRAINAGE TO REMAIN



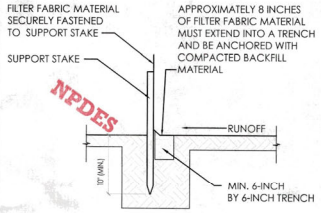
LEGEND

= PROPERTY LINE	= PHONE
= SETBACKS	= TV
= EASEMENT	= BACKFLOW
= CENTERLINE	= WATER
= SILT FENCE	= GAS
= FENCING AS NOTED	= SEWER
= EXISTING ELEVATION	= FIRE HYDRANT
= PROPOSED ELEVATION	= RECLAIMED WATER
= HIGH POINT	= TREE TO REMAIN
= FLOW	= TREE TO BE REMOVED
= POWER	

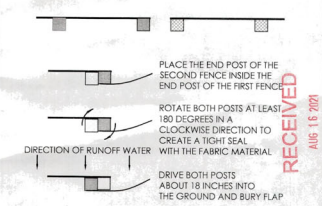
SILT FENCE DETAILS & NOTES

1. STAKES SPACED @ 8" MAXIMUM. USE 2" X 2" WOOD OR EQUIVALENT STEEL STAKES.
2. SILT FENCE TO BE INSTALLED AT PERIMETER OF CONSTRUCTION AREA ALONG PROPERTY LINE AS PER SURVEY/PLAN AND WILL REMAIN IN PLACE DURING CONSTRUCTION. MAY BE ADJUSTED AS NEEDED TO ACCOMMODATE INSTALLATION OF FENCING, WALLS, LANDSCAPING, AND TREE RELOCATIONS. A DOUBLE SILT SCREEN SHALL BE MAINTAINED ALONG THE SHORELINE AND UPSTREAM OF MANGROVES.
3. PERMANENT LANDSCAPING MUST BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PROCESS. THIS INCLUDES BOXING THE TREE TRUNKS BEHIND A 2 X 4 "FENCE" WHICH ALSO SURROUNDS THE ROOTS.
4. FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.
5. SILT FENCE TO BE INSPECTED AFTER EACH STORM EVENT AND TO BE MAINTAINED AS REQUIRED.
6. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
7. EXISTING DRAINAGE SHALL BE MAINTAINED OR IMPROVED TO MATCH SWALE DETAIL.
8. ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

STANDARD FILTER FABRIC FENCE (not to scale)



JOINING SILT FENCES (not to scale)



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TOWN OF LONGBOAT KEY

SITE INFO

FLOOD ZONE: AE (EL 11)
PROPERTY IS LOCATED IN:
SARASOTA COUNTY - INCORPORATED BY THE TOWN OF LONGBOAT KEY
ZONING: R-4SF

LOT COVERAGE

TOTAL LOT AREA (TO BE VERIFIED WITH SURVEYOR)	10,123 +/- SQ FT
BUILDING	
30% ALLOWABLE BUILDING COVERAGE (ANYTHING HIGHER THAN 6" ABOVE GRADE)	3,000 SQ FT
TOTAL PROPOSED BUILDING COVERAGE (28%)	2,840 SQ FT
NON-OPEN SPACE COVERAGE	
POOL DECK COVERAGE	703 SQ FT
DRIVEWAY	1,275 SQ FT
IMPERVIOUS	
50% ALLOWABLE IMPERVIOUS COVERAGE (TOTAL OF BLDG. / POOL DECK / DRIVE ETC.)	5,062 SQ FT
TOTAL PROPOSED IMPERVIOUS COVERAGE(48%)	4,818 SQ FT

BLDG PERMIT PLANS FILE
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SITE AND DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

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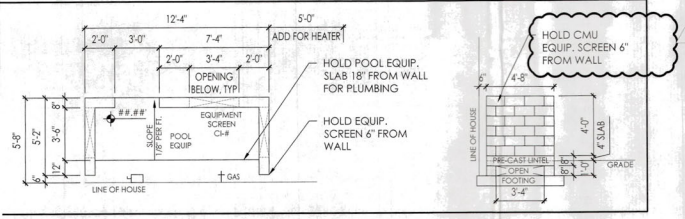
A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
1	08.16.21	PER TOWN COMMENTS	JS	JS	JS
2	09.13.21	PER TOWN COMMENTS	JS	JS	JS
3	09.14.21	PER TOWN COMMENTS	JS	JS	JS
4	09.15.21	PER TOWN COMMENTS	JS	JS	JS
5	09.16.21	PER TOWN COMMENTS	JS	JS	JS
6	09.17.21	PER TOWN COMMENTS	JS	JS	JS
7	09.20.21	PER TOWN COMMENTS	JS	JS	JS
8	10.05.21	PER TOWN COMMENTS	JS	JS	JS
9	10.08.21	PER TOWN COMMENTS	JS	JS	JS

DRAWING TITLE
SITE AND DRAINAGE PLAN

SHEET NUMBER
A1.0

POOL EQUIPMENT SCREEN ENCLOSURE DETAILS



FLO-THRU VENT SCHEDULE

AREA	SQUARE FOOTAGE	NO. OF VENTS PROVIDED	SIZE OF VENT PROVIDED	DRAIN CAPACITY PROVIDED	DRAIN CAPACITY REQUIRED
GARAGE 1	321	2	8 x 16	440	321
GARAGE 2	532	3	8 x 16	660	532
STORAGE	325	2	8 x 16	440	325
FOYER	288	1	8 x 16	220	288
ELEVATOR SHAFT	27	2	8 x 16	440	27

CA-348

EACH FLO-THRU VENT IS CERTIFIED AS AN ENGINEERED OPENING TO COVER 220 " OF ENCLOSED AREA BELOW FLOOD LEVEL

10

GENERAL NOTES

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5. CRACK SUPPRESSION APPLIED AT ALL EXISTING SLAB
6. CRACKS/JOINTS AT ALL TILED AREA.
7. SOLID CORE INTERIOR DOORS WITH 3 1/4" FINGER JOINT CASING.
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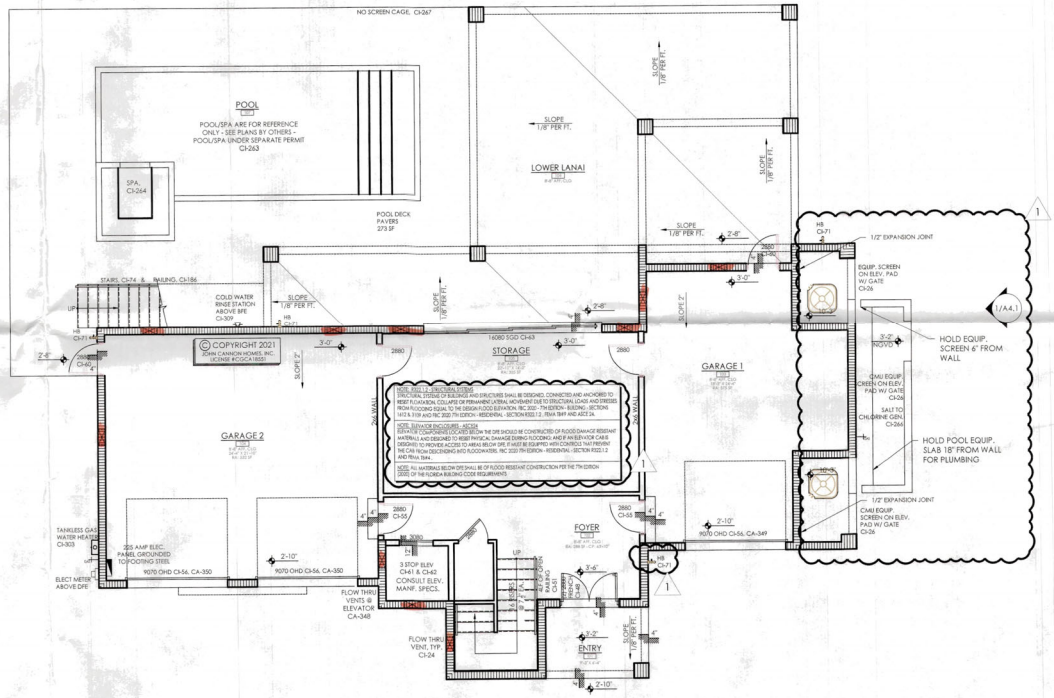
LEGEND

- AT 22"X36" ATTIC ACCESS
- AH AHU IN ATTIC
- LS 10' STEP LADDER W/STORAGE HOOK @ATTIC ACCESS
- AO ARCHED OPENING—SEE INTERIOR DETAILS
- SO SQUARE CASED OPENING
- AQ AQUARIUM WINDOW TEMPERED GLASS.
- BT BAR TOP ON 30" HIGH KNEE WALL (2X6)
- CP CONCRETE PAD AND STAIR
- CS CORNER SHELF
- DV DRYER VENT TO EXTERIOR DAMPERED AND NON-SCREENED
- FH FLAT HEADER - HEIGHT NOTED
- GB GLASS BLOCK
- HV HOOD VENT TO BE INSTALLED PER MFG SPECS
- LC LINEN OR PANTRY CLOSET WITH 5 (16" DEEP) WOOD SHELVES
- MC MEDICINE CABINET – 14" X 24" TOP AT 70"
- R 1 1/2" DIA. GRABRAIL 36" ABOVE STAIR TREAD NOSING
- R HANDRAIL 36" ABOVE STAIR TREAD NOSING OR ADJACENT FLOOR W/BALLUSTERS W/ NO SPACE 4" OR GREATER
- R 36" HIGH RAILING W/ BALUSTERS W/ NO SPACE 4" OR GREATER
- RS RAIN SHOWER HEAD
- RS ROD AND SHELF
- SE SHOWER ENCLOSURE TEMPERED GLASS
- SG SHOWER GLASS - TEMPERED GLASS IN ALUM FRAME 2' TO 8' AFF
- SP SHAMPOO NICHE 12" X 13" TOP AT – VARIES
- SS SHOWER SEAT
- SH SHOWER HEAD
- WS WOOD SHELVING
- KW 4'-0' KNEE WALL WITH STANDARD CAP
- PD PULL DOWN LADDER ACCESS



2/A4.0

BUILDING AREAS		
GROUND LEVEL FOYER	288	SQ FT
MAIN LIVING LEVEL	1,757	SQ FT
SECOND LIVING LEVEL	1,371	SQ FT
TOTAL LIVING(UNDER A/C)	3,416	SQ FT
ENTRY	59	SQ FT
LOWER LANAI	959	SQ FT
GARAGE / STORAGE	1,373	SQ FT
MAIN LIVING BALCONY	47	SQ FT
MAIN LANAI	708	SQ FT
UPPER BALCONY	47	SQ FT
UPPER LANAI	159	SQ FT
MECHANICAL EQUIP. ELEVATED SLABS	162	SQ FT
TOTAL UNDER ROOF	3,514	SQ FT
POOL DECK	703	SQ FT
DRIVEWAY	1,275	SQ FT

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Planning, Zoning & Building

GROUND LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

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ESTABLISHED 2000
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www.YHDesignstudio.com ☎ 941.951.5221

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A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
1	03.18.2021	PRE-CONSTRUCTION	ES	RP	ED
2	04.02.2021	ENGINEERING CHANGES	ES	RP	ED
3	04.02.2021	ENGINEERING CHANGES	ES	RP	ED
4	04.16.2021	ENGINEERING CHANGES	ES	RP	ED
5	06.30.2021	CONSTRUCTION DOCUMENTS	ES	TBP	ED
6	07.06.2021	CONSTRUCTION DOCUMENTS	ES	TBP	ED
7	07.06.2021	PERMIT DOCUMENTS	ES	RB	ED
8	08.13.2021	PERMIT DOCUMENTS	ES	RB	ED
9	08.13.2021	POOL/SPA DOCUMENTS	ES	RB	ED
10	08.13.2021	POOL/SPA DOCUMENTS	ES	RB	ED
11					
12					

DRAWING TITLE

Ground Level Floor Plan

SHEET NUMBER

A2.0

DIMENSION NOTES

1. DRAWINGS ARE NOT TO BE SCALED. CONTACT BUILDER FOR ANY DIMENSION NOT SHOWN.
2. EXTERIOR DIMENSIONS ARE TO APPROXIMATE FACE OF BLOCK.
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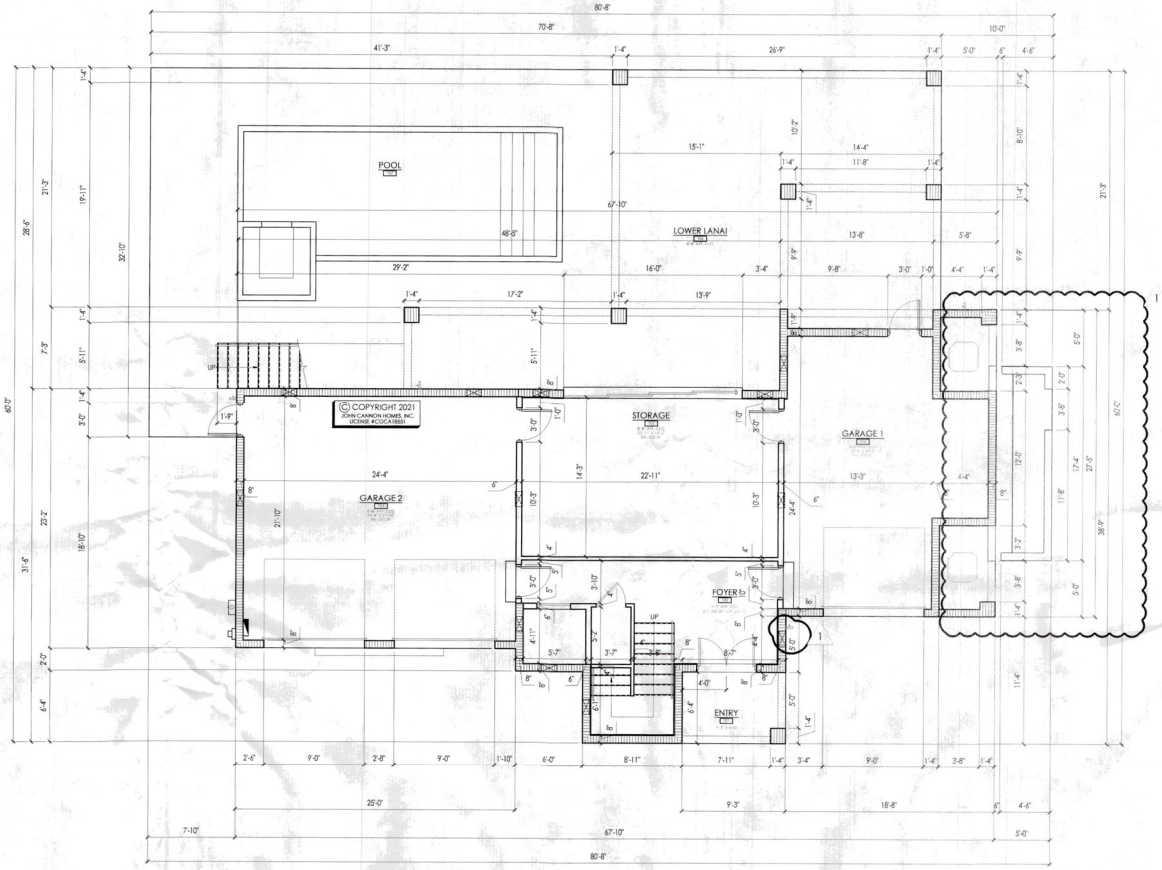

GROUND LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

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A NEW CUSTOM RESIDENCE FOR

ANTHONY & VICKI SKIDMORE

608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

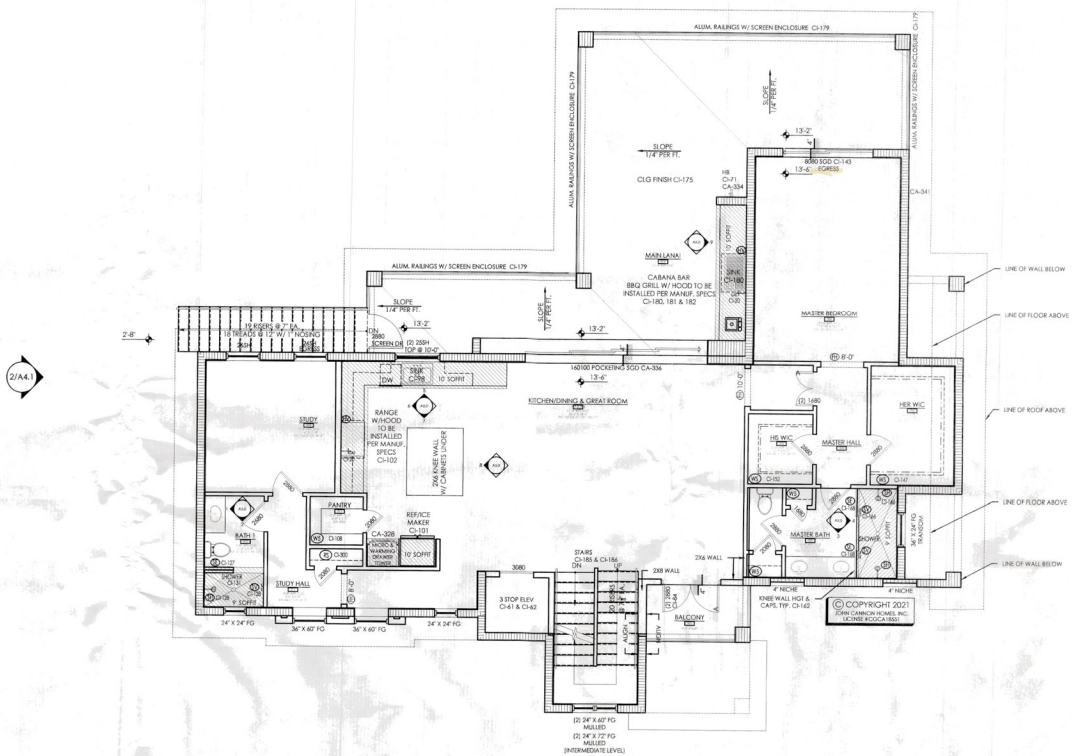
REV #	DATE	DESCRIPTION	BY	CK	APP
1	11.04.20	PRELIMINARY	SD	SD	SD
2	12.04.20	CONFIDENTIAL/PRICING SET	SD	SD	SD
3	1.15.21	CONFIDENTIAL/PRICING SET	SD	SD	SD
4	2.26.21	CONFIDENTIAL/PRICING SET	SD	SD	SD
5	4.26.21	CONFIDENTIAL/PRICING SET	SD	SD	SD
6	5.25.21	PRICING SET	SD	SD	SD
7	6.25.21	PRICING SET	SD	SD	SD
8	8.09.21	PERMIT SET	SD	SD	SD

DRAWING TITLE

GROUND LEVEL DIMENSION PLAN

SHEET NUMBER

A2.0d



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MAIN LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

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REV #	DATE	DESCRIPTION	BY	CK	APP
1	03.24.2021	PRELIMINARY PLAN REVIEW	SD	BD	DC
2	04.14.2021	PRELIMINARY PLAN REVIEW	SD	BD	DC
3	05.28.2021	PERMIT PLAN CHANGES	KB	BD	DC
4	06.11.2021	PERMIT PLAN CHANGES	KB	BD	DC
5	06.18.2021	PERMIT PLAN CHANGES	KB	BD	DC
6	07.19.2021	PERMIT PLAN CHANGES	KB	BD	DC
7	07.29.2021	PERMIT PLAN CHANGES	KB	BD	DC
8	07.29.2021	PERMIT PLAN CHANGES	KB	BD	DC

DRAWING TITLE

MAIN LEVEL FLOOR PLAN

SHEET NUMBER

A2.1

DIMENSION NOTES

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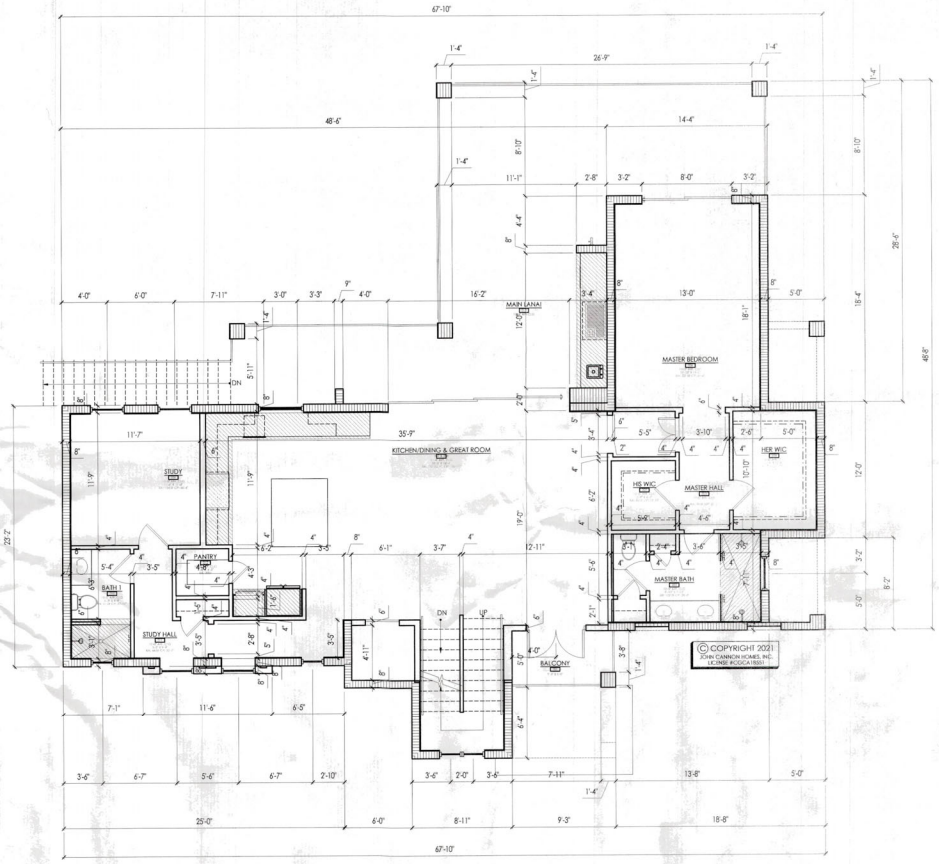

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MAIN LEVEL DIMENSION PLAN

SCALE: 3/16" = 1'-0"

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REV #	DATE	DESCRIPTION:	BY	CK	APP
	11.9.2020	PRE-CONSTRUCTION	CS	BD	BD
	12.18.2020	PERMIT SET	CS	BD	BD
	3.26.2021	PERMIT RESTORATION	CS	BD	BD
	4.14.2021	PERMIT RESTORATION 2	CS	BD	BD
	4.30.2021	CONTRACTOR PLANS	CS	BD	BD
	5.24.2021	PERMIT RESTORATION 3	CS	BD	BD
	6.7.2021	PERMIT SUBMITTAL	CS	BD	BD

DRAWING TITLE

A2.1d - MAIN LEVEL DIMENSION PLAN

SHEET NUMBER

A2.1d

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- (AL) GLASS BLOCK
- (AM) HOOD VENT TO BE INSTALLED PER MFG SPECS
- (AN) LINEN OR PANTRY CLOSET WITH 5 (16" DEEP) WOOD SHELVES
- (AO) MEDICINE CABINET – 14" X 24" TOP AT 70"
- (AP) 1 1/2" DIA. GRABRAIL 36" ABOVE STAIR TREAD NOSING
- (AQ) HANDRAIL 36" ABOVE STAIR TREAD NOSING OR ADJACENT FLOOR W/BALLUSTERS W/ NO SPACE 4" OR GREATER
- (AR) 36" HIGH RAILING W/ BALUSTERS W/ NO SPACE 4" OR GREATER
- (AS) RAIN SHOWER HEAD
- (AT) ROD AND SHELF
- (AU) SHOWER ENCLOSURE TEMPERED GLASS
- (AV) SHOWER GLASS - TEMPERED GLASS IN ALUM FRAME 2' TO 8' AFF
- (AW) SHAMPOO NICHE 12" X 13" TOP AT – VARIES
- (AX) SHOWER SEAT
- (AY) SHOWER HEAD
- (AZ) WOOD SHELVING
- (BA) 4'-0" KNEE WALL WITH STANDARD CAP
- (BB) PULL DOWN LADDER ACCESS

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Planning, Zoning & Building

UPPER LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

JOHN CANNON HOMES
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A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
	10.13.20	PRELIMINARY PERMIT	BD	BD	BD
	11.13.20	PRELIMINARY PERMIT	BD	BD	BD
	4.5.21	PRELIMINARY PERMIT	KB	BD	BD
	4.28.21	CONSTRUCTION DOCUMENTS	KB	BD	BD
	5.26.21	CONSTRUCTION DOCUMENTS	KB	BD	BD
	6.28.21	CONSTRUCTION DOCUMENTS	KB	BD	BD
	7.19.21	PERMIT DOCUMENTS	KB	BD	BD
	07.20.21	PERMIT DOCUMENTS	KB	BD	BD

DRAWING TITLE

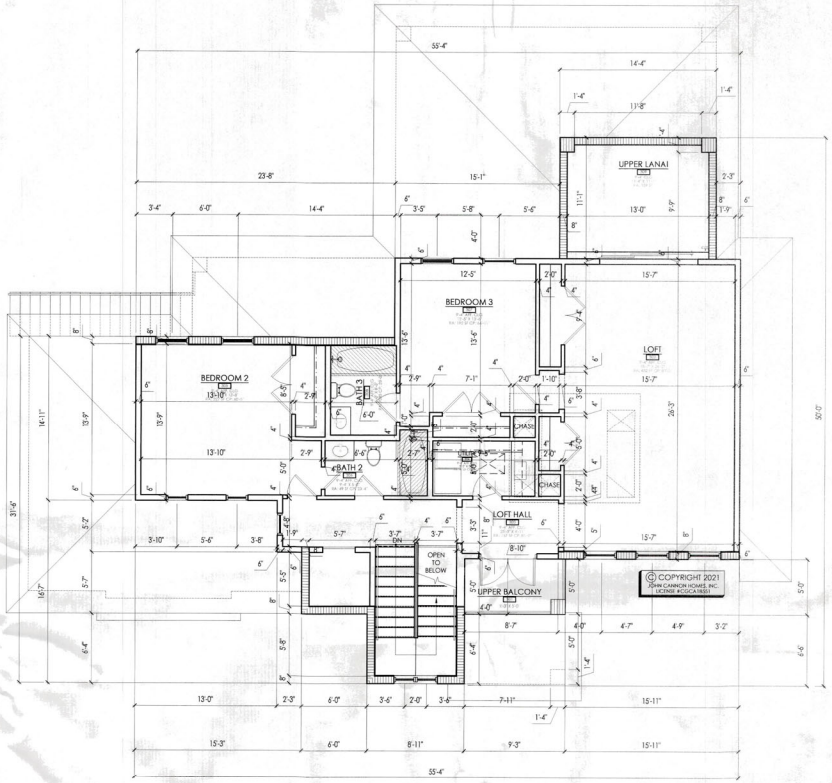
UPPER LEVEL FLOOR PLAN

SHEET NUMBER

A2.2

DIMENSION NOTES

1. DRAWINGS ARE NOT TO BE SCALED. CONTACT BUILDER FOR ANY DIMENSION NOT SHOWN.
2. EXTERIOR DIMENSIONS ARE TO APPROXIMATE FACE OF BLOCK.
3. INTERIOR DIMENSIONS ARE TO APPROXIMATE FINISH FACE OF WALL.
4. INTERIOR DOOR OFFSETS TO BE 5" MIN. UNLESS OTHERWISE NOTED.
5. WINDOW OPENINGS ARE DIMENSIONED TO THE CENTER OF THE OPENING. WINDOW SIZES PROVIDED ARE APPROXIMATE AND SHOULD BE VERIFIED WITH WINDOW MANUFACTURER.



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UPPER LEVEL DIMENSION PLAN
SCALE: 3/16" = 1'-0"

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608 Bayview Drive | Longboat Key, Florida | 34228
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REV #	DATE	DESCRIPTION	BY	CK	APP
1	5.14.20	PRE-CONSTRUCTION	BG	SF	BG
2	6.24.20	PRELIM. SITE/FLOOR PLANS	BG	BF	BG
3	7.29.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
4	8.14.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
5	9.4.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
6	9.25.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
7	10.9.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
8	10.23.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
9	11.13.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
10	12.4.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
11	12.18.20	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
12	1.8.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
13	1.22.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
14	2.5.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
15	2.19.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
16	3.5.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
17	3.19.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
18	4.9.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
19	4.23.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
20	5.7.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
21	5.21.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
22	6.4.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
23	6.18.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
24	7.2.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG
25	7.16.21	PRELIM. ELEVATIONS/CONC.	BG	BF	BG

DRAWING TITLE

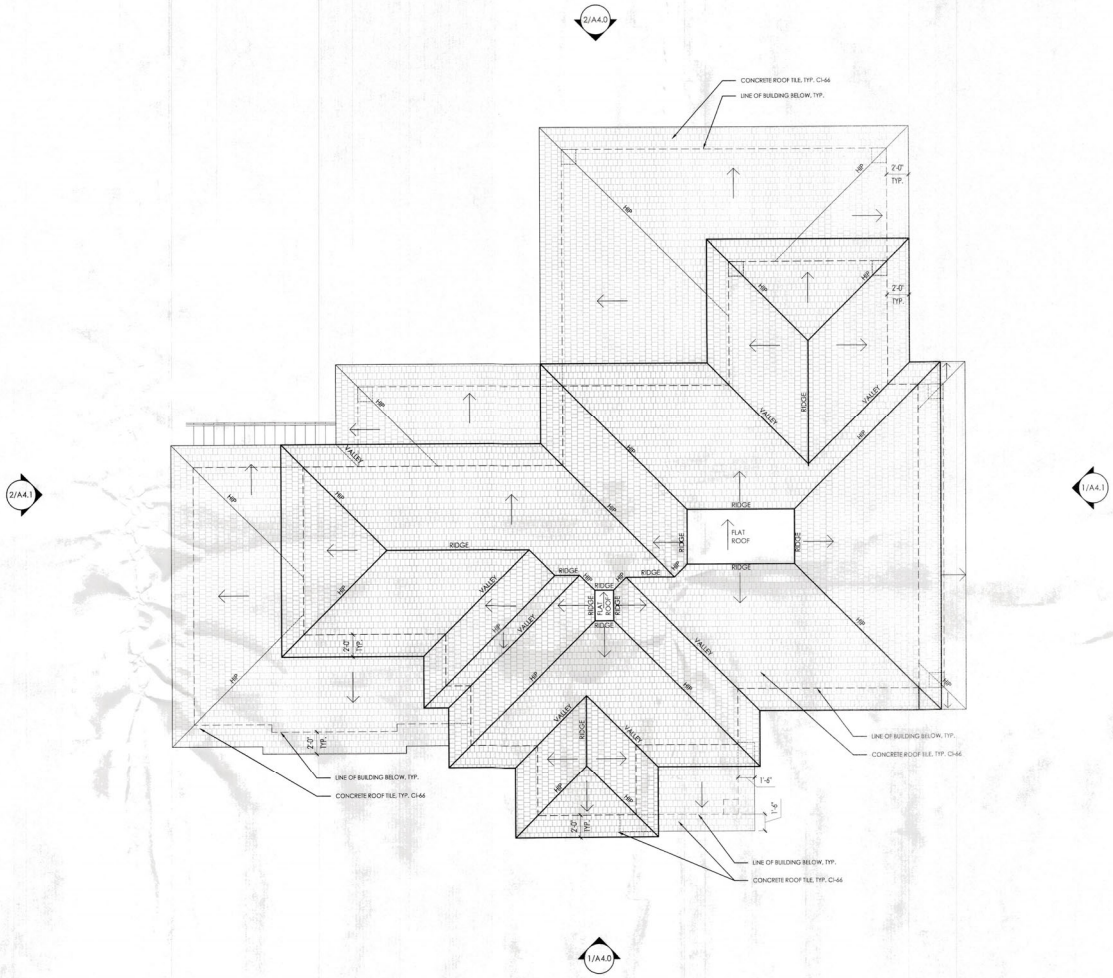
UPPER LEVEL DIMENSION PLAN

SHEET NUMBER

A2.2d

ROOF VENTS

GARAGE : 1,313 SF ROOF VENT: 315 SI EVE VENT: 315 SI VENTS REQUIRED: 5	ENTRY: 59 SF ROOF VENT: 14 SI EVE VENT: 14 SI VENTS REQUIRED: 1	UPPER LANAI: 159 SF ROOF VENT: 38 SI EVE VENT: 38 SI VENTS REQUIRED: 1



ROOF PLAN
SCALE: 3/16" = 1'-0"

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LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
	11.13.20	PRELIMINARY DESIGN	EG	EG	EG
	12.04.20	DESIGN DEVELOPMENT	EG	EG	EG
	01.05.21	DESIGN DEVELOPMENT	EG	EG	EG
	02.05.21	DESIGN DEVELOPMENT	EG	EG	EG
	04.30.21	PRELIMINARY DOCUMENTS	EG	EG	EG
	06.30.21	PRELIMINARY DOCUMENTS	EG	EG	EG
	07.19.21	PERMIT DOCUMENTS	EG	EG	EG

DRAWING TITLE

ROOF PLAN

SHEET NUMBER

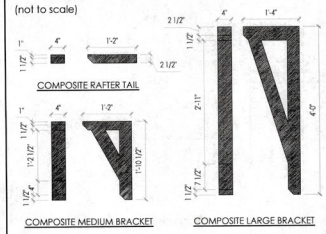
A3.0

1 A4 FRONT (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"

2 A4 REAR (SOUTH) ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL COMPOSITE BRACKET DETAILS

(not to scale)



ELEVATION NOTES

1. 5/8" SAND FINISH CEMENTITIOUS PARGE COAT OVER CONCRETE MASONRY UNITS OR 7/8" SAND FINISH CEMENTITIOUS PARGE COAT OVER PAPERBACK WIRE LATH OVER HOUSE WRAP AND 1/2" SHEATHING, U.N.O.
2. PARGE COAT TO FINISH 4" BELOW FINISH GRADE.
3. ENTRY CEILINGS TO BE PARGE COAT OVER EXPANDED RIB METAL LATH.
4. SAND FINISH ON ALL BANDS, TRIM DETAILS, AND WINDOW RETURNS FROM BANDS, U.N.O.
5. ADD NAILERS AS REQUIRED FOR FIBER CEMENT SOFFITS.
6. NO EXPOSED CONDUIT IN GARAGE OR ON EXTERIOR OF HOME.
7. NO MECHANICAL/ ELECTRICAL EQUIPMENT ON FRONT ELEVATION.
8. IF APPLICABLE, ALL MATERIALS BELOW THE DFE WILL BE MADE OF FLOOD RESISTANT MATERIAL.
9. IF APPLICABLE, NO PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT, WILL BE INSTALLED IN THE ELEVATOR SHAFT UNLESS IT IS REQUIRED FOR THE ELEVATOR OPERATION.
10. ALL ELECT. EQUIPMENT TO BE MOUNTED ABOVE BFE.

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REV #	DATE	DESCRIPTION	BY	CK	APP
1	1.8.2021	PERMIT SUBMITTAL	BD	BD	BD
2	1.13.2021	PERMIT SUBMITTAL CORRECTIONS	BD	BD	BD
3	2.12.2021	PERMIT SUBMITTAL CORRECTIONS	BD	BD	BD
4	4.16.2021	CHANGE FROM FLOOD TO FIRE SLAB	BD	BD	BD
5	5.14.2021	CHANGE FROM FLOOD TO FIRE SLAB	BD	BD	BD
6	6.8.2021	REVISE PLAN AND ELEVATIONS	BD	BD	BD
7	6.28.2021	REVISE PLAN AND ELEVATIONS	BD	BD	BD
8	8.5.2021	REVISE PLAN AND ELEVATIONS	BD	BD	BD
9	8.27.2021	PERMIT SUBMITTAL	BD	BD	BD

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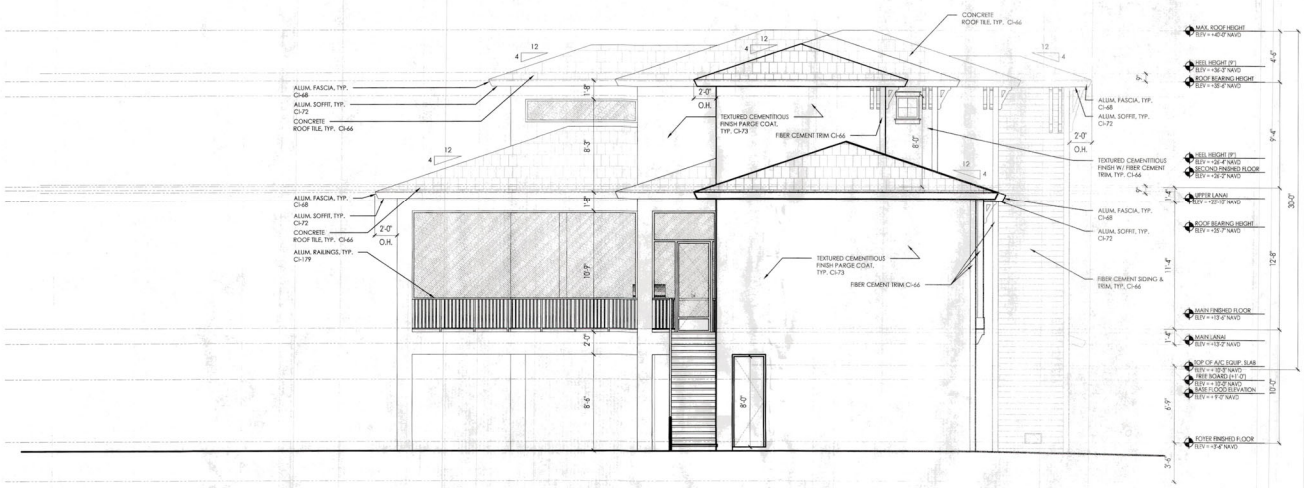
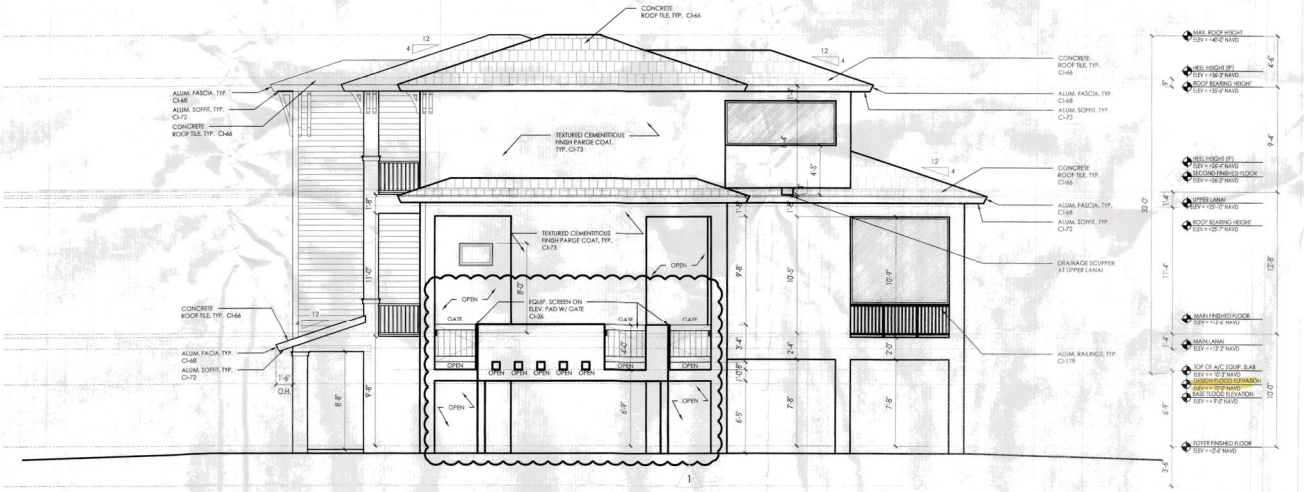
EXTERIOR ELEVATIONS

SHEET NUMBER
A4.0



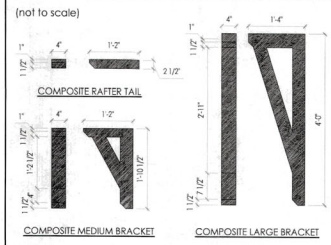
1 A4.1 LEFT SIDE (EAST) ELEVATION
SCALE: 3/16" = 1'-0"



2 A4.1 RIGHT SIDE (WEST) ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL COMPOSITE BRACKET DETAILS

(not to scale)



ELEVATION NOTES

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9. IF APPLICABLE, NO PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT, WILL BE INSTALLED IN THE ELEVATOR SHAFT UNLESS IT IS REQUIRED FOR THE ELEVATOR OPERATION.

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LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
1	06.24.20	PRELIMINARY REVIEW	JS	JB	JB
2	09.24.20	PRELIMINARY REVIEW	JS	JB	JB
3	12.14.20	CONSTRUCTION DOCS	JS	JB	JB
4	04.16.21	CONSTRUCTION DOCS V2	JS	JB	JB
5	05.14.21	CONSTRUCTION DOCS V3	JS	JB	JB
6	06.25.21	SDP1 SUBMITTAL	JS	JB	JB
7	08.16.21	SDP1 SUBMITTAL V2	JS	JB	JB
8	10.05.21	SDP1 SUBMITTAL V3	JS	JB	JB

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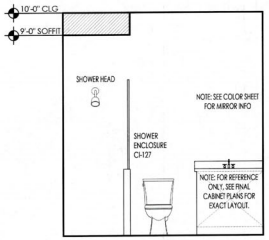
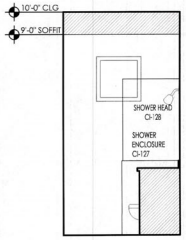
EXTERIOR ELEVATIONS

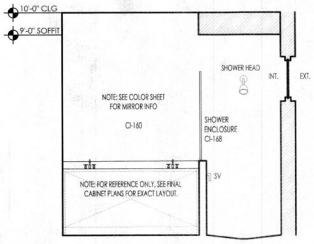
SHEET NUMBER
A4.1



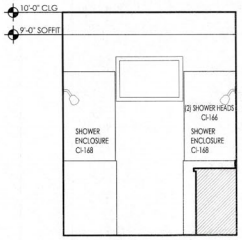
1 A5.0 BATH 1 ELEV
SCALE: 3/8" = 1'-0"



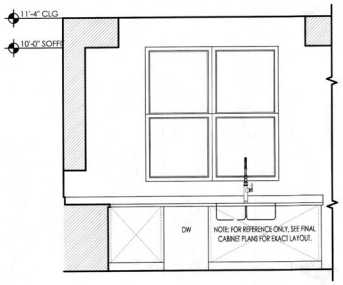
2 A5.0 BATH 1 ELEV
SCALE: 3/8" = 1'-0"



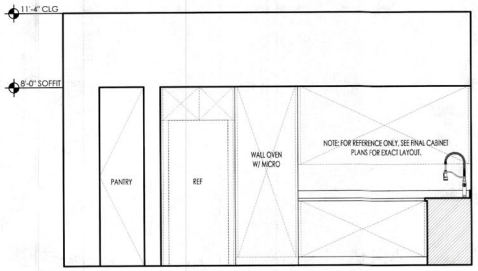
3 A5.0 MASTER BATH ELEV
SCALE: 3/8" = 1'-0"



4 A5.0 MASTER BATH ELEV
SCALE: 3/8" = 1'-0"

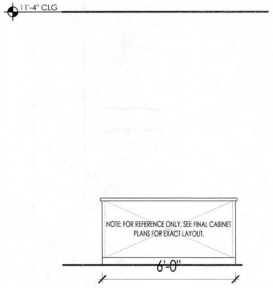


5 A5.0 KITCHEN ELEV
SCALE: 3/8" = 1'-0"

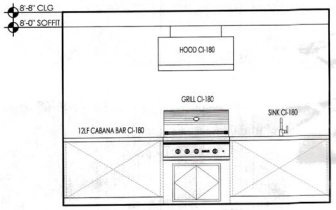


6 A5.0 KITCHEN ELEV
SCALE: 3/8" = 1'-0"

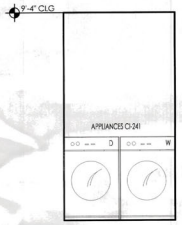
7 A5.0 KITCHEN ISLAND ELEV
SCALE: 3/8" = 1'-0"



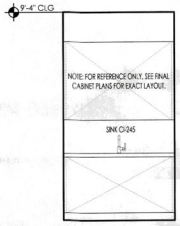
8 A5.0 KITCHEN ISLAND ELEV
SCALE: 3/8" = 1'-0"



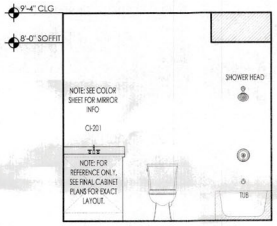
9 A5.0 CABANA BAR ELEV
SCALE: 3/8" = 1'-0"



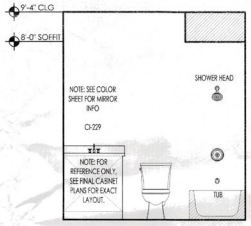
10 A5.0 UTILITY ROOM ELEV
SCALE: 3/8" = 1'-0"



11 A5.0 UTILITY ROOM ELEV
SCALE: 3/8" = 1'-0"



12 A5.0 BATH 2 ELEV
SCALE: 3/8" = 1'-0"



13 A5.0 BATH 3 ELEV
SCALE: 3/8" = 1'-0"

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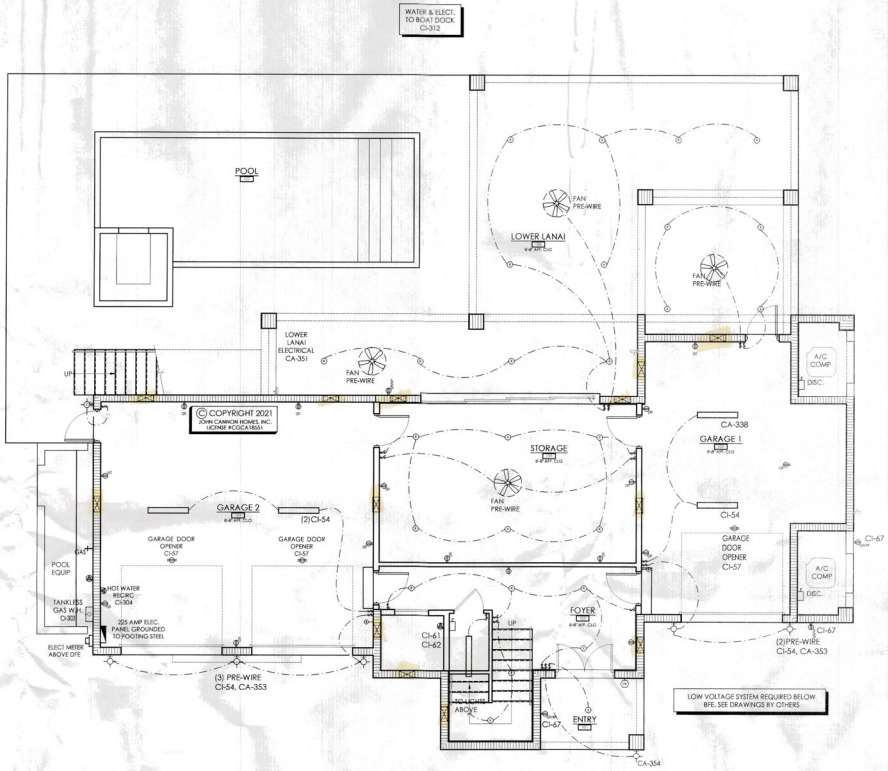
REV #	DATE	DESCRIPTION:	BY	CK	APP
1	03.18.2021	PRE-PERMIT PLANS	BD	BD	BD
2	03.19.2021	PRE-PERMIT PLANS - SET	BD	BD	BD
3	04.09.2021	PERMIT WORK PACKAGE	BD	BD	BD
4	05.28.2021	PERMIT WORK PACKAGE - V.1	BD	BD	BD
5	06.18.2021	PERMIT WORK PACKAGE - V.2	BD	BD	BD
6	07.08.2021	PERMIT WORK PACKAGE - V.3	BD	BD	BD
7	07.09.2021	PERMIT SUBMITTAL	BD	BD	BD

DRAWING TITLE
INTERIOR ELEVATIONS

SHEET NUMBER
A5.0



ELECTRICAL SYMBOL LEGEND

LIGHTING	
	LED RECESSED CEILING LIGHT - 6"
	LED RECESSED CEILING LIGHT - 4"
	SEALED LED RECESSED CEILING LIGHT
	PRE-WIRE FOR PENDANT LIGHT FIXTURE
	PRE-WIRE FOR CEILING MOUNTED FIXTURE/CHANDELIER
	DIRECTIONAL CEILING LIGHT
	PRE-WIRE FOR WALL SCONCE
	FLOOD LIGHT - SOFFIT MOUNTED
	WALL MOUNTED EXTERIOR LIGHT
	LINEAR LED SURFACE MOUNTED LIGHT
	LED LIGHTING UNDER CABINETS
SWITCHES	
$	SINGLE POLE SWITCH
$3	3-WAY SWITCH
$4	4-WAY SWITCH
$DM	DIMMER SWITCH
	PUSHBUTTON SWITCH
	AIR SWITCH
	GARBAGE DISPOSAL
OUTLETS	
	DUPLEX OUTLET
WP	WEATHERPROOF OUTDOOR DUPLEX OUTLET
GFI	GROUND FAULT INDICATOR DUPLEX OUTLET
	SPECIAL CONNECTION
220	220v OUTLET
	SPLIT DUPLEX OUTLET, ONE SIDE SWITCHED
	QUADRUPLEX OUTLET
	DUPLEX FLOOR OUTLET
	PLUGMOLD/OULET STRIP
	DISCONNECT - EQUIPMENT OUTLET AS REQUIRED
USB	USB OUTLET
OTHER	
AS	ATTIC ACCESS LIGHT/SWITCH
EF	EXHAUST FAN
DB	DOORBELL
CH	DOORBELL CHIME
	GARAGE DOOR OPENER
SD	SMOKE/CARBON MONOXIDE DETECTOR
TV	CABLE TELEVISION
GAS	GAS CONNECTION
	PRE-WIRE FOR CEILING FAN

ELECTRICAL NOTES

1. STRUCTURED WIRING SYSTEM: (6) ACTIVE DUAL PORT JACKS (6 TV/6 DATA) WITH STRUCTURED WIRE ENCLOSURE AND 110 OUTLET, ONE MINI HOUSE CONTROLLER.
2. ALL ELECTRICAL TO BE INSTALLED ABOVE BFE, UNLESS OTHERWISE INDICATED.
3. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS INDICATED ON PLANS, TO INCLUDE GARAGES, UTILITY ROOMS, KITCHEN, BATHS, DOCK, AND ALL EXTERIOR OUTLETS.
4. ALL OUTLETS NOT REQUIRED TO BE GFCI OUTLETS MUST BE ARC-FAULT WITH TAMPER PROOF SWITCHES.
5. PROVIDE A SWITCH FOR POOL LIGHT, IF UPGRADE CONTROL SYSTEM IS PROVIDED NO SWITCH REQUIRED.
6. FOR LOW VOLTAGE AND SUPPORTING ELECTRICAL INFORMATION, PLEASE SEE LOW VOLTAGE DRAWINGS PROVIDED BY OTHERS.
7. NO EXPOSED CONDUIT IN GARAGE OR ON EXTERIOR OF HOME.
8. 18" CLEAR (MIN.) ON ALL WIC LIGHTS.
9. VERIFY ALL APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS WITH MANUFACTURERS AND MODELS SELECTED BY OWNER.
10. PLANS ARE INTENDED TO CONFORM WITH 2017 NEC ELECTRICAL CODE. ELECTRICAL LOCATIONS SHOWN ON DRAWINGS MAY BE CHANGED TO COMPLY W/ NATIONAL AND MUNICIPAL BUILDING AND ELECTRICAL CODES. BUILDER WILL NOT GUARANTEE LOCATION OR QUANTITY OF OUTLETS AND / OR SWITCHES SHOWN.

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RECEIVED JUL 19 2021 TOWN OF LONGBOAT KEY Planning, Zoning & Building

GROUND LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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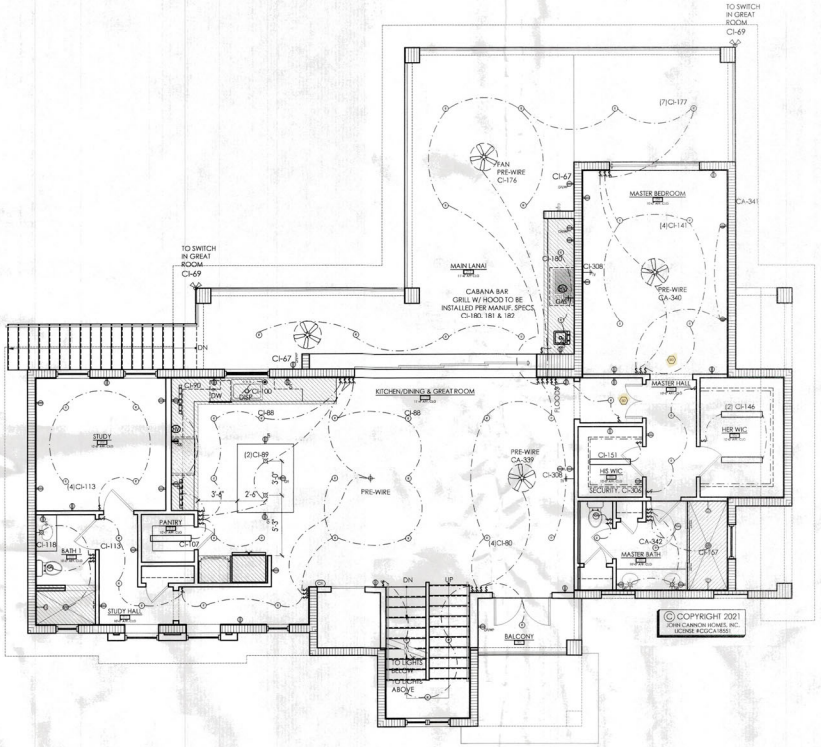
A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
	11.9.2020	PRE-CONSTRUCTION	SD	SD	SD
	02.22.21	PRE-CONSTRUCTION - PER ARB	DS	SD	SD
	03.29.21	PRE-CONSTRUCTION - PER ARB	SD	SD	SD
	04.26.21	CONSTRUCTION - PER ARB	SD	SD	SD
	05.28.21	CONSTRUCTION - PER ARB	SD	SD	SD
	06.28.21	CONSTRUCTION - PER ARB	SD	SD	SD
	07.19.21	PERMIT SUBMITTAL - PER TOWN	SD		

DRAWING TITLE
GROUND LEVEL ELECTRICAL PLAN

SHEET NUMBER
A6.0



ELECTRICAL SYMBOL LEGEND

LIGHTING	
	LED RECESSED CEILING LIGHT - 6"
	LED RECESSED CEILING LIGHT - 4"
	SEALED LED RECESSED CEILING LIGHT
	PRE-WIRE FOR PENDANT LIGHT FIXTURE
	PRE-WIRE FOR CEILING MOUNTED FIXTURE/CHANDELIER
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	PRE-WIRE FOR WALL SCONCE
	FLOOD LIGHT - SOFFIT MOUNTED
	WALL MOUNTED EXTERIOR LIGHT
	LINEAR LED SURFACE MOUNTED LIGHT
	LED LIGHTING UNDER CABINETS
SWITCHES	
$	SINGLE POLE SWITCH
$3	3-WAY SWITCH
$4	4-WAY SWITCH
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	PUSHBUTTON SWITCH
	AIR SWITCH
	GARBAGE DISPOSAL
OUTLETS	
	DUPLEX OUTLET
SWP	WEATHERPROOF OUTDOOR DUPLEX OUTLET
GFI	GROUND FAULT INDICATOR DUPLEX OUTLET
	SPECIAL CONNECTION
220	220v OUTLET
	SPLIT DUPLEX OUTLET, ONE SIDE SWITCHED
	QUADRUPLEX OUTLET
FLOOR	DUPLEX FLOOR OUTLET
	PLUGMOLD/OULET STRIP
	DISCONNECT - EQUIPMENT OUTLET AS REQUIRED
USB	USB OUTLET
OTHER	
	ATTIC ACCESS LIGHT/SWITCH
EF	EXHAUST FAN
DB	DOORBELL
CH	DOORBELL CHIME
	GARAGE DOOR OPENER
SD	SMOKE/CARBON MONOXIDE DETECTOR
TV	CABLE TELEVISION
GAS	GAS CONNECTION
	PRE-WIRE FOR CEILING FAN

ELECTRICAL NOTES

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MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

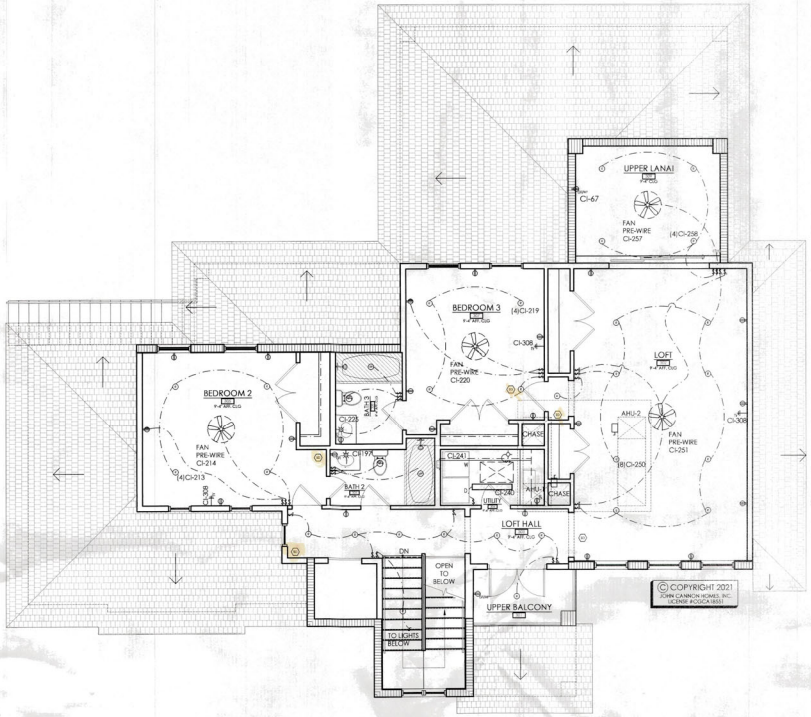
REV #	DATE	DESCRIPTION	BY	CK	APP
1	11.13.20	PRE-CONSTRUCTION	BG	DS	BG
2	03.24.2021	CONFIRM SCHEMATIC DESIGN	BG	DS	BG
3	04.14.2021	CONFIRM PRE-CONSTRUCTION	BG	DS	BG
4	05.04.2021	CONFIRM PRE-CONSTRUCTION	BG	DS	BG
5	05.14.2021	CONFIRM PRE-CONSTRUCTION	BG	DS	BG
6	05.26.2021	PERMIT PRE-CONSTRUCTION	BG	DS	BG
7	07.08.2021	PERMIT CORRECTIONS	BG	DS	BG

DRAWING TITLE

MAIN LEVEL ELECTRICAL PLAN

SHEET NUMBER

A6.1



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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

UPPER LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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A NEW CUSTOM RESIDENCE FOR
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608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
1	11.13.20	PRELIMINARY PLANS	DS	BS	BS
2	12.14.20	50% CONSTRUCTION PLANS	DS	BS	BS
3	1.15.21	PERMIT PLANS	DS	BS	BS
4	3.26.21	PERMIT PLANS REVISIONS	DS	BS	BS
5	4.26.21	PERMIT PLANS REVISIONS	DS	BS	BS
6	5.28.21	PERMIT PLANS REVISIONS	DS	BS	BS
7	6.28.21	PERMIT PLANS REVISIONS	DS	BS	BS
8	7.19.21	ISSUE FOR CLARITY	DS	BS	BS

DRAWING TITLE

UPPER LEVEL ELECTRICAL PLAN

SHEET NUMBER

A6.2

WINDOWS

	LOCATION	QTY.	UNIT CALLOUT	SQ. FT.	WIND ZONE C/5 SIGN PSI POSIT.	SIGN PSI NEGAT.	MFR. PSI POSIT.	MFR. PSI NEGAT.	MFG.	NOTES	STATE OF FL. APPROVAL # OR NOA #	EXPIRAT. DATE
MAIN FLOOR	STAIR CASE	2	24"X60" FG MULLED	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
MAIN FLOOR	STAIR CASE(INTERMEDIATE LVL)	2	24"X72" FG MULLED	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
MAIN FLOOR	MASTER BATH	1	36"X24" FG TRANSOM	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
MAIN FLOOR	MASTER BEDROOM	1	26 SH EGRESS	18	33.0	42.9	50.0	50.0	PGT	IMPACT	20-0401.03	07-30-25
MAIN FLOOR	KITCHEN	1	36 SH	-	-	-	-	-	PGT	IMPACT	20-0401.03	07-30-25
MAIN FLOOR	STUDY	2	26 SH EGRESS	18	33.0	42.9	50.0	50.0	PGT	IMPACT	20-0401.03	07-30-25
MAIN FLOOR	BATH 1	1	24" x 24" FG TRANSOM	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
MAIN FLOOR	STUDT HALL	2	36 x 60" FG	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
MAIN FLOOR	DINING	1	24" x 24" FG TRANSOM	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
UPPER FLOOR	STAIR CASE	2	24"X60" FG MULLED	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
UPPER FLOOR	LOFT	2	36" x 60" FG	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
UPPER FLOOR	LOFT	1	36" x 60" CA	-	-	-	-	-	PGT	IMPACT	20-0402.03	09-17-25
UPPER FLOOR	BEDROOM 3	1	36" x 36" FG	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
UPPER FLOOR	BEDROOM 3	1	25 SH EGRESS	-	-	-	-	-	PGT	IMPACT	20-0401.03	07-30-25
UPPER FLOOR	BEDROOM 2	2	25 SH	-	-	-	-	-	PGT	IMPACT	20-0401.03	07-30-25
UPPER FLOOR	BEDROOM 2	2	24" x 24" FG TRANSOM	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25
UPPER FLOOR	LOFT HALL	1	24" x 24" FG TRANSOM	-	-	-	-	-	PGT	IMPACT	19-1126.10	04-30-25

DOORS

	LOCATION	QTY.	UNIT CALLOUT	SQ. FT.	WIND ZONE C/5 SIGN PSI POSIT.	SIGN PSI NEGAT.	MFR. PSI POSIT.	MFR. PSI NEGAT.	MFG.	NOTES	STATE OF FL. APPROVAL # OR NOA #	EXPIRAT. DATE
GOUND FLOOR	FOYER	1	(2)3'-0" x 8'-0" O/S IMPACT GLAZED	-	-	-	-	-	THERMATRU	IMPACT	FL-21142.10	12.31.21
GOUND FLOOR	GARAGE 1	1	9070 OVERHEAD GARAGE DOOR	-	-	-	-	-	CLOPLAY	IMPACT	17-0206.11	03.30.22
GOUND FLOOR	GARAGE 1	1	2680 OS - Solid Core/1Hr Rated 1	-	-	-	-	-	THERMATRU	IMPACT	FL-21142.4	12.31.21
GOUND FLOOR	STORAGE	1	6080 SGD	-	-	-	-	-	PGT	IMPACT	19-1126.04	03-24-25
GOUND FLOOR	GARAGE 2	1	2680 OS - Solid Core/1Hr Rated 1	-	-	-	-	-	THERMATRU	IMPACT	FL-21142.4	12.31.21
GOUND FLOOR	GARAGE 2	2	9070 OVERHEAD GARAGE DOOR	-	-	-	-	-	CLOPLAY	IMPACT	17-0206.11	03.30.22
MAIN FLOOR	BALCONY	1	(2)3'-0" x 8'-0" O/S IMPACT GLAZED	-	-	-	-	-	THERMATRU	IMPACT	FL-21142.10	12.31.21
MAIN FLOOR	MASTER BEDROOM	1	8080 SGD EGRESS	-	-	-	-	-	PGT	IMPACT	19-1126.04	03-24-25
MAIN FLOOR	GREAT ROOM	1	160100 PKT SGD	-	-	-	-	-	PGT	IMPACT	19-1126.04	03-24-25
UPPER FLOOR	UPPER BALCONY	1	(2)3'-0" x 8'-0" O/S IMPACT GLAZED	-	-	-	-	-	THERMATRU	IMPACT	FL-21142.10	12.31.21
UPPER FLOOR	LOFT	1	9080 PKT SGD	-	-	-	-	-	PGT	IMPACT	19-1126.04	03-24-25

PRODUCT APPROVAL

CATEGORY	SUB CATEGORY	PRODUCT DESCRIPTION	MANUFACTURER	STATE OF FL. APPROVAL # OR NOA #	EXPIRAT. DATE
WINDOWS					
	FIXED	SERIES PW-5520 VINYL FIXED WINDOWS	PGT	19-1126.10	04-30-25
	CASEMENT	SERIES CA-5540 VINYL CASEMENT WINDOW	PGT	20-0402.03	09-17-25
	SINGLE HUNG	SERIES SH-5500 VINYL SINGLE HUNG WINDOW	PGT	20-0401.03	07-30-25
EXT. DOORS					
	SERVICE	THERMATRU I/S O/S IMPACT SINGLE SERVICE DOOR	THERMATRU	FL-21142.4	12-31-21
	SINGLE	THERMATRU I/S O/S IMPACT SINGLE GLAZED	THERMATRU	FL-21142.10	12-31-21
	DOUBLE	THERMATRU I/S O/S IMPACT DOUBLE GLAZED	THERMATRU	FL-20470.12	12-31-21
	SGD	SERIES 770HP ALUMINIUM SLIDING GLASS DOORS	PGT	19-1126.04	03-24-25
	GARAGE OHD	W6 DP38T STEEL SECTIONAL GARAGE DOOR UP TO 18'	CLOPAY	17-0206.11	03-30-22
MISC.					
	ROOFING TILE	CONCRETE ROOF TILE	EAGLE ROOFING	21-0312.03	10-05-26 1
	UNDERLAYMENT	BORAL TILESEAL	BORAL	18-0502.03	08-02-23
	ROOF VENTS	O'HAGINS CLOAKED VENT TILE	O'HAGINS	19-0109.02	04-04-24
	SIDING/SOFFIT	FIBER CEMENT SIDING/SOFFIT	JAMIES HARDIE	17-0406.06	05-01-22

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9279 Pelican Landing Blvd. | Bonita Springs, FL 34135
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LOT 191 TOWN OF LONGBOAT KEY | MANATEE COUNTY

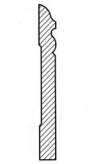
REV #	DATE	DESCRIPTION	BY	CK	APP
1	03.15.22	PERMIT SET	SB	BD	BD
2	03.29.22	CONSTRUCTION PLANS	SB	BD	BD
3	04.08.22	CONSTRUCTION PLANS	SB	BD	BD
4	04.29.22	CONSTRUCTION PLANS	SB	BD	BD
5	05.20.22	CONSTRUCTION PLANS	SB	BD	BD
6	06.29.22	PERMIT SUBMITTAL	SB	BD	BD
7	07.05.22	PERMIT SUBMITTAL	SB	BD	
8	07.08.22	PERMIT SUBMITTAL	SB	BD	
9	07.25.22	PERMIT SUBMITTAL	SB	BD	
10	08.16.21	PERMIT SUBMITTAL	SB	BD	

DRAWING TITLE

SCHEDULES AND NOTES

SHEET NUMBER

A7.0



BASE – STANDARD

BASE 5180
9/16" x 5 1/4"
FINGER JOINT
PAINT GRADE

CROWN – STANDARD

CROWN 5 1/4"
PROJ. OUT 4 1/4"
PROJ. DOWN 4 3/4"
LMM45
FINGER JOINT
PAINT GRADE

CASING – STANDARD

COLONIAL CASING
WM445
3 1/4" x 3/4"
FINGER JOINT
PAINT GRADE

CHAIR RAIL – STANDARD

CHAIR RAIL
2 3/8" x 1 1/16"
LMM590
FINGER JOINT
PAINT GRADE

STOP – STANDARD

STOP
ALL PREHUNGS AND POCKETS
3/8" x 1 1/4"
FINGER JOINT
PAINT GRADE

MOLDING – STANDARD

A-9 MOLDING
1" x 5/8"
FINGER JOINT
PAINT GRADE

BRICK MOLD – STANDARD

BRICK MOLD
LMM178
11/16" x 1 5/8"
FINGER JOINT
PAINT GRADE

BED MOLD – STANDARD

BED MOLD
WM75
9/16" x 1 5/8"
FINGER JOINT
PAINT GRADE

BRICK MOLD – VINYL

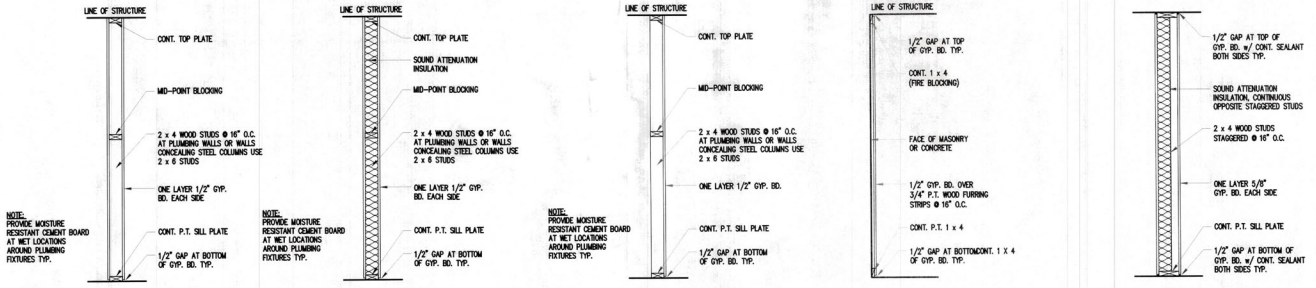
BRICK MOLD
VINYL MATERIAL
WM180
1 1/4" x 2"

DETAIL MOLD– STANDARD

W4 MOLD
1/2" x 7/16"
FINGER JOINT
PAINT GRADE

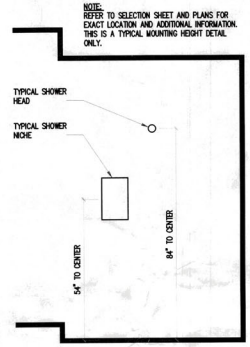
STANDARD TRIM PROFILES

SCALE: 6" = 1'-0"



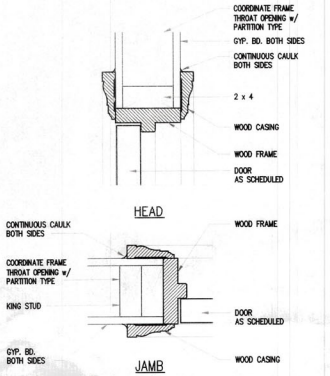
1 TYPICAL PARTITION DETAILS

SCALE: 3/4" = 1'-0"



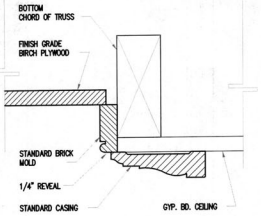
2 TYP. MOUNTING HEIGHTS

SCALE: N.T.S.



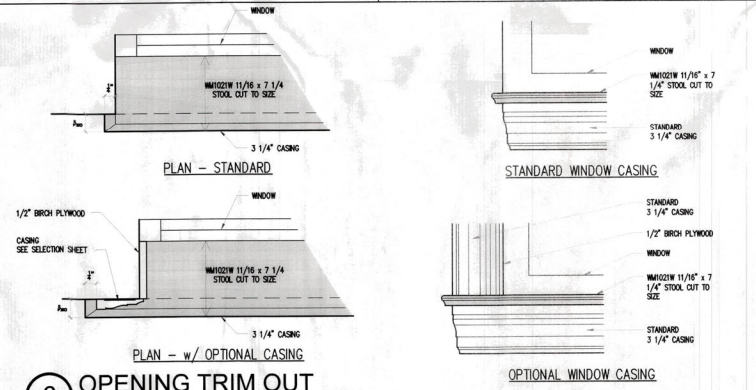
3 INTERIOR DOOR TRIM

SCALE: 3" = 1'-0"



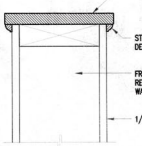
4 ATTIC ACCESS DETAIL

SCALE: 6"=1'-0"



6 OPENING TRIM OUT

SCALE: 3" = 1'-0"



7 KNEE WALL CAP

SCALE: 3" = 1'-0"

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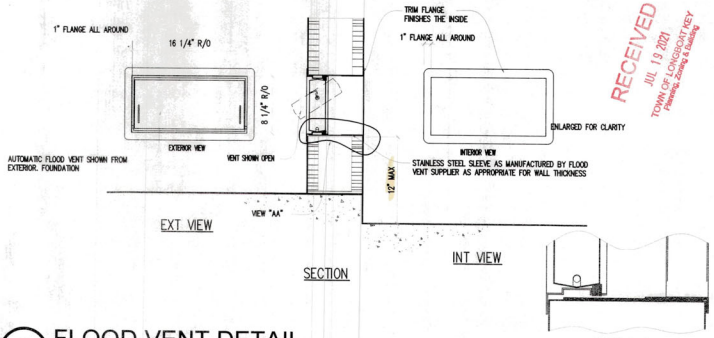
A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
	01.29.20	PRELIMINARY DESIGN	RB	SD	SD
	02.28.20	CONSULTANT CHECK	RB	SD	SD
	03.26.20	CONSULTANT CHECK	RB	SD	SD
	04.30.20	CONSULTANT CHECK	RB	SD	SD
	05.29.20	CONSULTANT CHECK	RB	SD	SD
	06.26.20	CONSULTANT CHECK	RB	SD	SD
	07.31.20	CONSULTANT CHECK	RB	SD	SD
	08.28.20	CONSULTANT CHECK	RB	SD	SD
	09.25.20	PERMIT SUBMITTAL	RB	SD	SD

DRAWING TITLE
INTERIOR & TRIM DETAILS

SHEET NUMBER
D1



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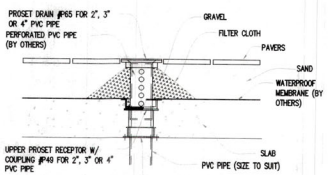
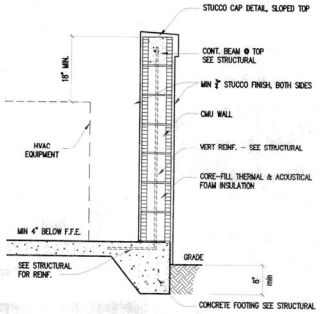
1 FLOOD VENT DETAIL

SCALE: 1-1/2" = 1'-0"



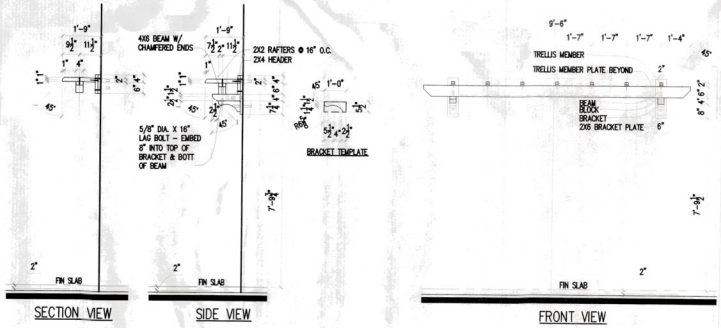
2 PATIO DRAIN DETAIL

SCALE: 1/2" = 1'-0"



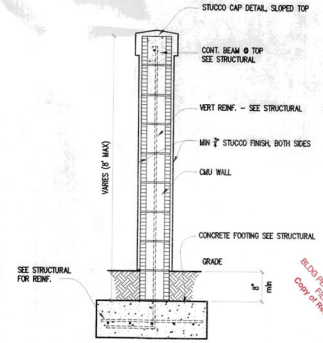
3 SOUND SCREEN WALL

SCALE: 3/4" = 1'-0"



4 CANTILEVER TRELLIS DETAILS

SCALE: 3/8" = 1'-0"



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5 SITE SCREEN WALL

SCALE: 3/4" = 1'-0"

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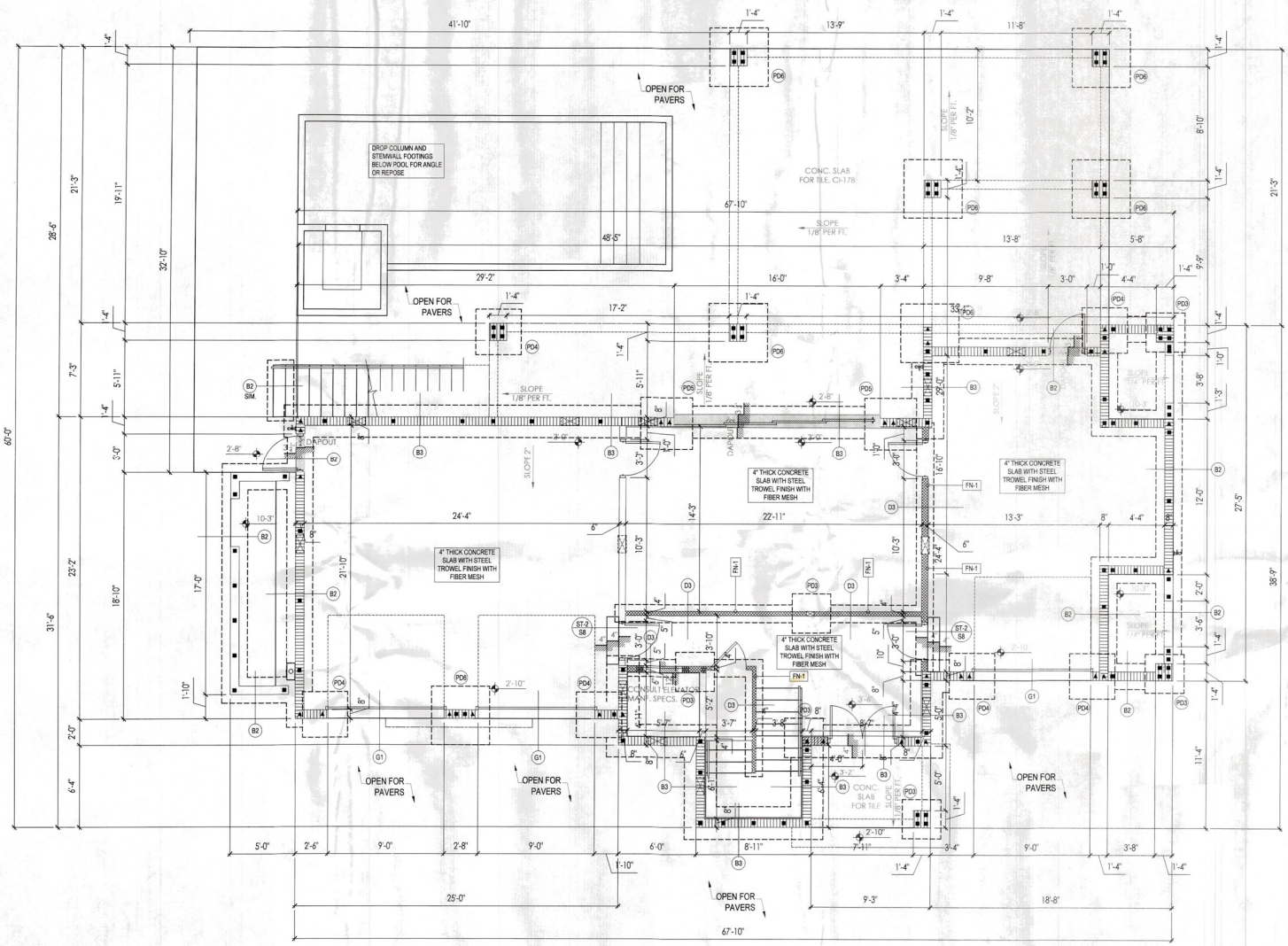
A NEW CUSTOM RESIDENCE FOR
ANTHONY & VICKI SKIDMORE
608 Bayview Drive | Longboat Key, Florida | 34228
LOT 19 | TOWN OF LONGBOAT KEY | MANATEE COUNTY

REV #	DATE	DESCRIPTION	BY	CK	APP
1	11.12.20	PRELIMINARY	JS	DS	DS
2	12.18.20	CONSTRUCTION DOCUMENTS	JS	DS	DS
3	1.15.21	CONSTRUCTION DOCUMENTS	JS	DS	DS
4	2.26.21	CONSTRUCTION DOCUMENTS	JS	DS	DS
5	3.26.21	CONSTRUCTION DOCUMENTS	JS	DS	DS
6	4.26.21	PERMIT COMMENTS	JS	DS	DS
7	5.26.21	PERMIT COMMENTS	JS	DS	DS
8	6.26.21	PERMIT COMMENTS	JS	DS	DS

DRAWING TITLE
MISC EXTERIOR DETAILS

SHEET NUMBER
D2.0



FOUNDATION GENERAL NOTES

1. FOOTING DEPTH IS IN ADDITION TO 4" CONCRETE SLAB
2. DO NOT SCALE FOOTING SIZE FROM PLAN - SEE FOUNDATION/STEMWALL SECTIONS ON S1.1 FOR SIZES
3. ISOLATED PAD FOOTINGS AND MONOLITHIC FOOTINGS CAN BE POURED INTEGRALLY, BOTTOMS AT SAME ELEVATION
4. SEE DETAIL ON S1.1 FOR SHOWER RECESS REQ'S.
5. USE BORA-CARE FOR TERMITE PROTECTION IN ACCORDANCE WITH FBC SECTION R218
6. SEE SHEET S1.1 FOR FOOTING/STEMWALL SECTIONS
7. MOISTURE PROTECTION BY OTHERS

STRUCTURAL SCHEDULE

FL-1

MARK	DESCRIPTION
FN-1	LOAD BEARING WALL ANCHORAGE - ATTACH PT BOTTOM PLATE TO FOOTING WITH ½" X 6" TITEN HDs AT 16" O.C.

FILLED CELLS

INDICATES FILLED CELL W/ 1-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES FILLED CELL W/ 2-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

SLAB GENERAL NOTES

1. 4" THICK 3000 PSI CONCRETE SLAB WITH STEEL TROWEL FINISH WITH FIBER ADDITIEVE ON 6 MIL PLASTIC VAPOR BARRIER LAPPED 6" AND TAPED ON CLEAN COMPACTED FILL
2. SEE SHEET S4 'GENERAL NOTES' FOR COMPACTION REQ'S.

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JODY D. YOUNG JR. PE
FLPE# 70781

A Custom Home for:
ANTHONY & VICKI SKIDMORE
608 BAYVIEW DRIVE, LONGBOAT KEY, FL 34228

FOUNDATION PLAN
1/4" = 1' - 0"

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S1

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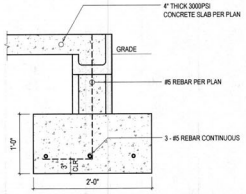

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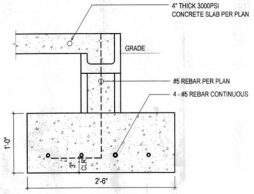

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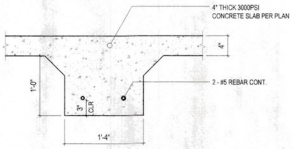

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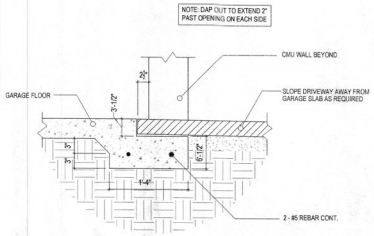

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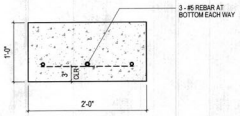

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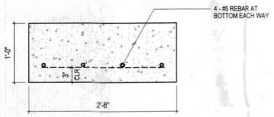

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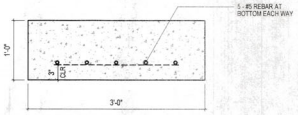

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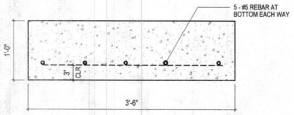

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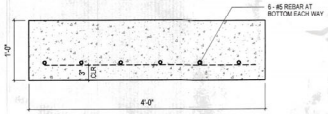

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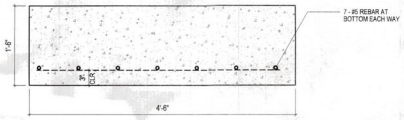

PD6

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JODY D. YOUNG JR. PE
FLPE# 70781

A Custom Home for:
ANTHONY & VICKI SKIDMORE
608 BAYVIEW DRIVE, LONGBOAT KEY, FL 34228

FOUNDATION DETAILS
1/4" = 1' - 0"

REVISIONS	
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JDY	06.09.2021

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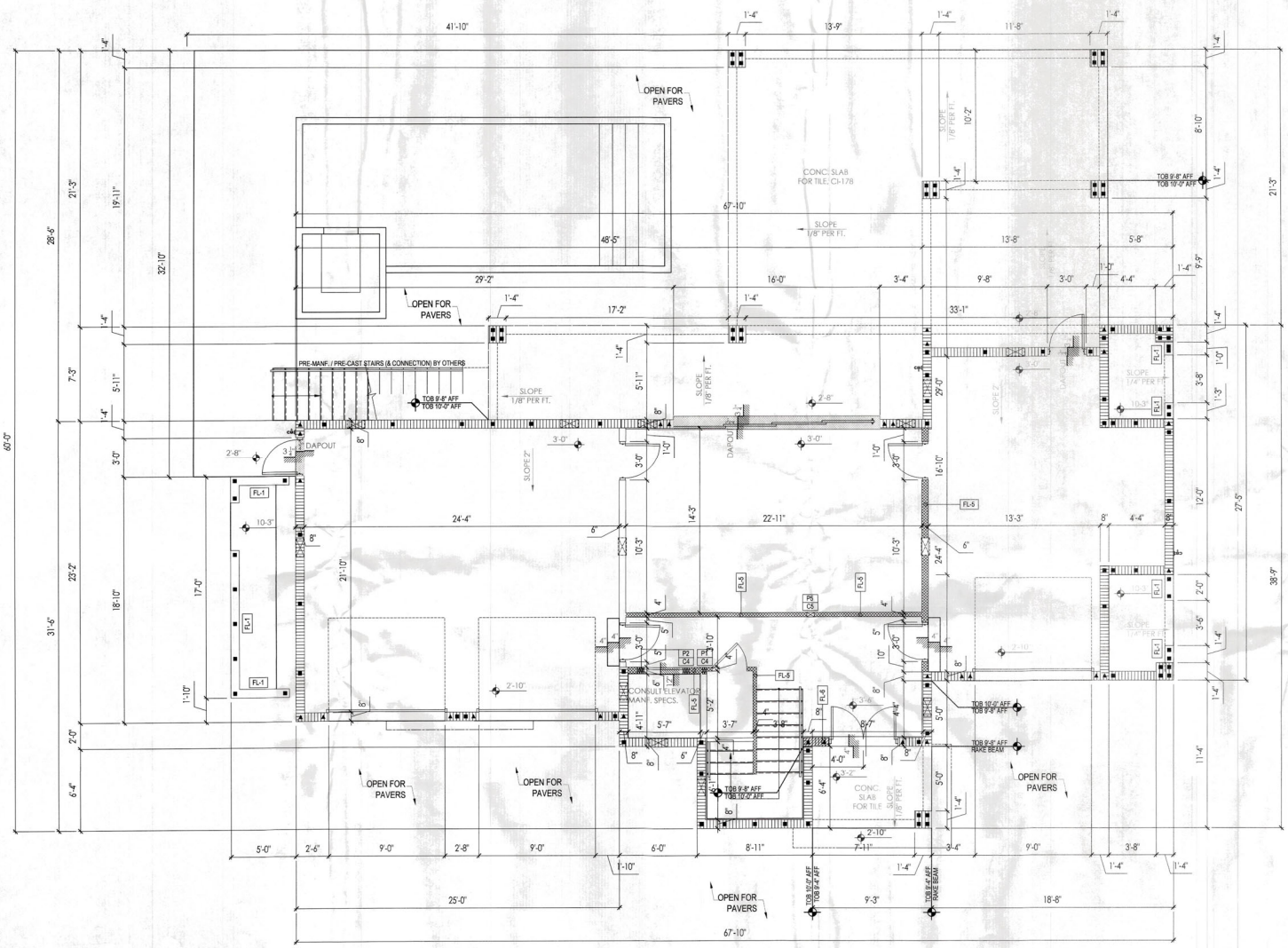

POST SCHEDULE (P1)

MARK	DESCRIPTION
P1	2-2X SPF NO. 2 MATCH WALL THICKNESS
P2	2-2X SPF NO. 2 POST WITH ADDITIONAL JACK STUDS (AT HEADER) MATCH WALL THICKNESS
P3	3½" X 3½" VERSALAM 1.8 2750 COLUMN
P4	3½" X 5½" VERSALAM 1.8 2750 COLUMN
P5	3½" X 7" VERSALAM 1.8 2750 COLUMN
P6	5½" X 5½" VERSALAM 1.8 2750 COLUMN

CONNECTOR SCHEDULE (C1)

MARK	DESCRIPTION
C1	1-SIMPSON CS16 TO BEAM/WALL BELOW
C2	2-SIMPSON CS16 TO BEAM/WALL BELOW
C3	3-SIMPSON CS16 TO BEAM/WALL BELOW
C4	1-SIMPSON LTT19 W/ ⅝" DIA. ALL-THREAD DRILLED & EPOXIED 4" INTO FOOTING WITH SIMPSON SET EPOXY (T=1310#)
C5	1-SIMPSON HTT4 W/ ⅝" DIA. ALL-THREAD DRILLED & EPOXIED 4" INTO FOOTING WITH SIMPSON SET EPOXY (T=3610#)
C6	1-SIMPSON HTT5KT W/ ⅝" DIA. ALL-THREAD DRILLED & EPOXIED 5" INTO FOOTING WITH SIMPSON SET EPOXY (T=5445#)

STRUCTURAL SCHEDULE (FL-1)

MARK	DESCRIPTION
FL-1	CMU LOW WALL - 1-NO.5 REBAR CONT. IN FILLED COURSE AT TOP OF WALL
FL-2	NICHE PER ARCHITECTURAL FRONT ELEVATION - USE 4" MASONRY FOR WALLS WITH FILLED CELLS & REBAR PER PLAN
FL-3	2-2X8 PT NAILED TOGETHER WITH 12d NAILS 6" O.C. STAGGERED - ATTACH TO CMU WALL WITH SIMPSON HGAM10KT AT 24" O.C. VERTICALLY. ¾" PLYWOOD ON EXTERIOR WITH 8d NAILS 4" O.C. EDGE/6" O.C. FIELD
FL-4	FRAME-OUT INTERIOR CORNER OF COLUMN (NON-STRUCTURAL)
FL-5	LOAD BEARING WALL - 2X SPF STUDS 16" O.C. TOP AT 8'-8" AFF (LOWER AT STAIRS)
FL-6	FILL ALL CELLS

FILLED CELLS

INDICATES FILLED CELL W/ 1-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

INDICATES FILLED CELL W/ 2-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

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STRUCTURAL FLOOR PLAN
1/4" = 1' - 0"

REVISIONS	
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JDY	06.09.2021

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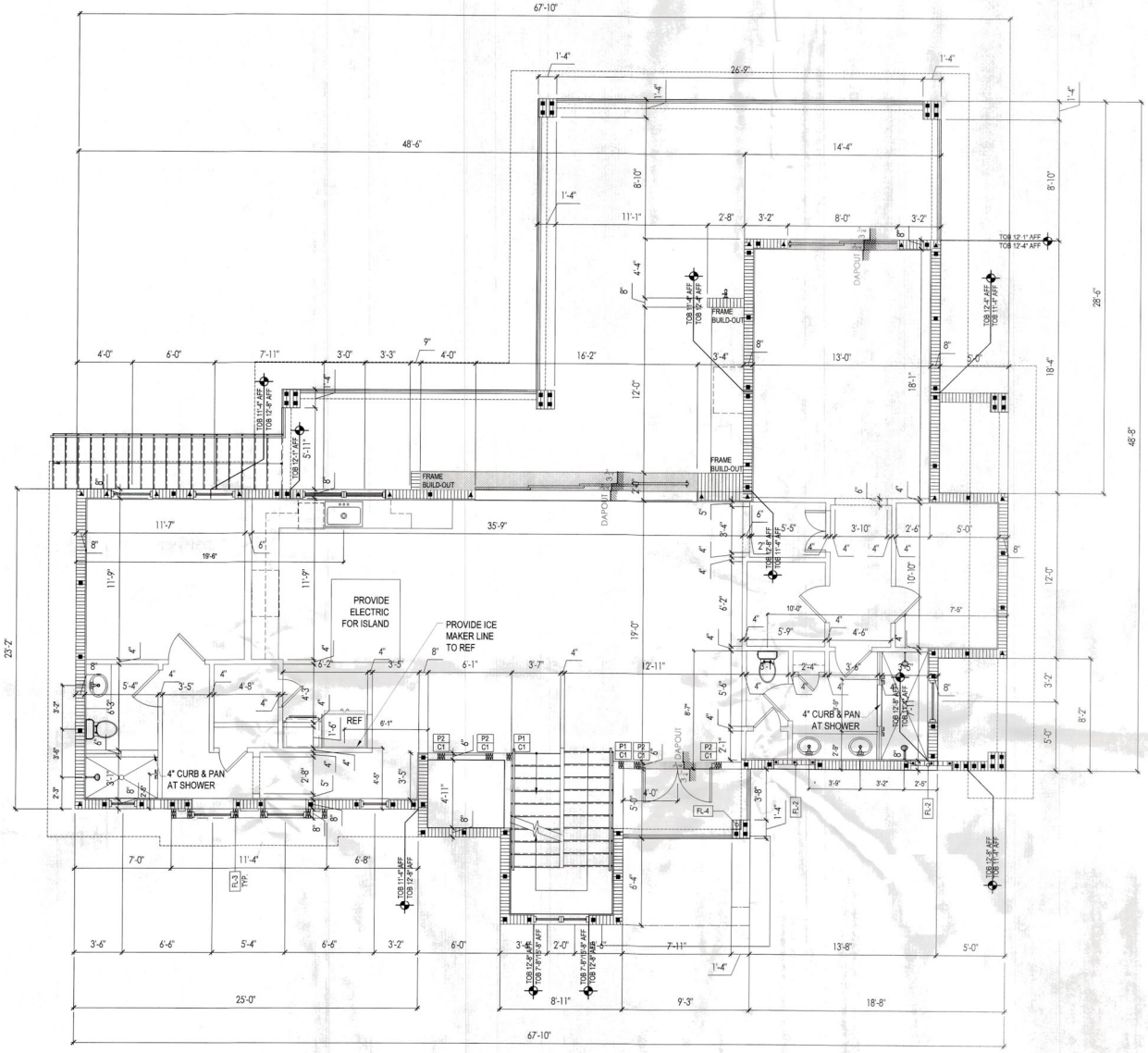

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STRUCTURAL SCHEDULE (FL-1)

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FL-2	NICHE PER ARCHITECTURAL FRONT ELEVATION - USE 4" MASONRY FOR WALLS WITH FILLED CELLS & REBAR PER PLAN
FL-3	2-2X8 PT NAILED TOGETHER WITH 12d NAILS 6" O.C. STAGGERED - ATTACH TO CMU WALL WITH SIMPSON HGAM10KT AT 24" O.C. VERTICALLY, ⅜" PLYWOOD ON EXTERIOR WITH 8d NAILS 4" O.C. EDGE/8" O.C. FIELD
FL-4	FRAME-OUT INTERIOR CORNER OF COLUMN (NON-STRUCTURAL)
FL-5	LOAD BEARING WALL - 2X SPF STUDS 16" O.C. TOP AT 8'-8" AFF (LOWER AT STAIRS)
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FILLED CELLS

- INDICATES FILLED CELL W/ 1-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL W/ 2-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

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STRUCTURAL FLOOR PLAN

1/4" = 1' - 0"

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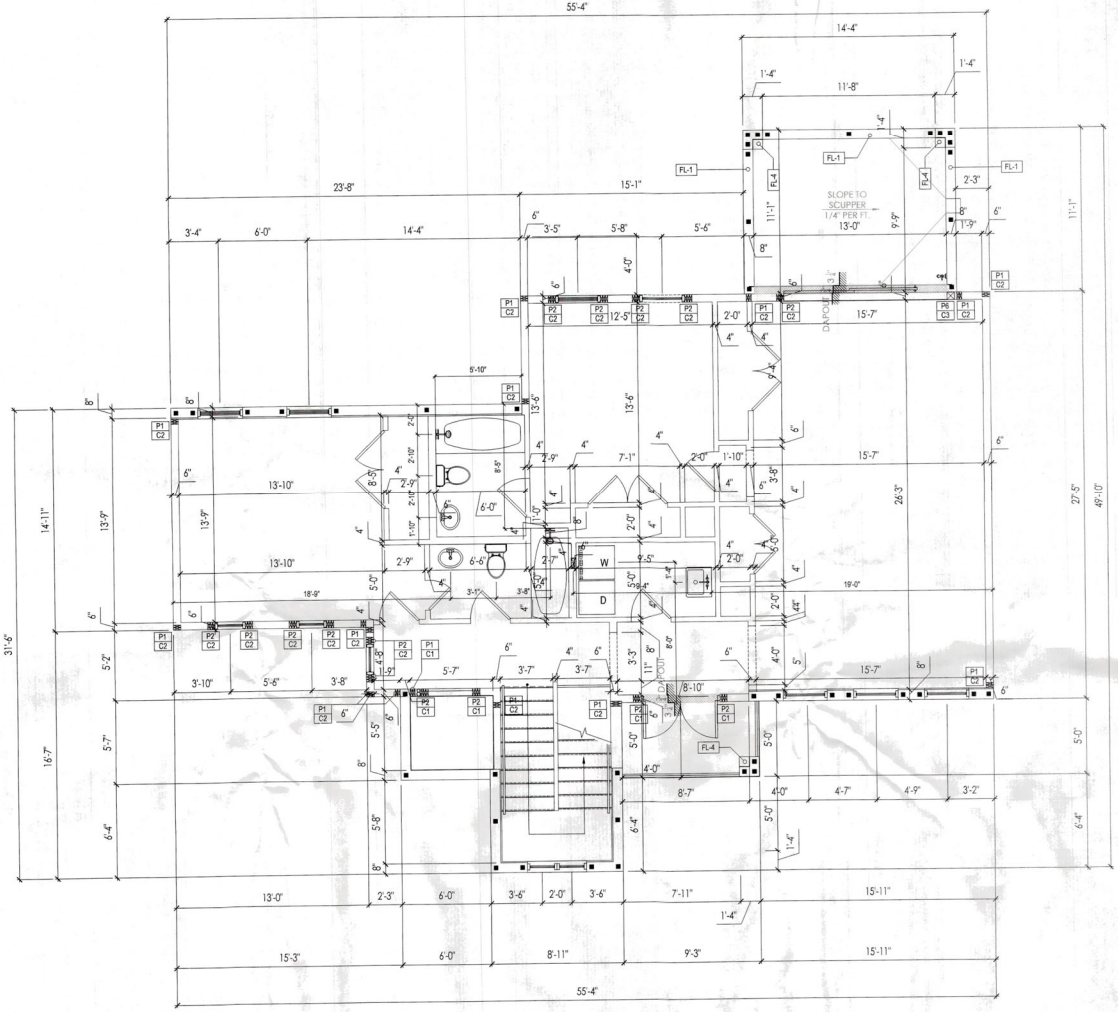
JDY	06.09.2021

S2.1



POST SCHEDULE (P1)

MARK	DESCRIPTION
P1	2-2X SPF NO. 2 MATCH WALL THICKNESS
P2	2-2X SPF NO. 2 POST WITH ADDITIONAL JACK STUDS (AT HEADER) MATCH WALL THICKNESS
P3	3 1/2" X 3 1/2" VERSALAM 1.8 2750 COLUMN
P4	3 1/2" X 5 1/2" VERSALAM 1.8 2750 COLUMN
P5	3 1/2" X 7" VERSALAM 1.8 2750 COLUMN
P6	5 1/2" X 5 1/2" VERSALAM 1.8 2750 COLUMN

CONNECTOR SCHEDULE (C1)

MARK	DESCRIPTION
C1	1-SIMPSON CS16 TO BEAM/WALL BELOW
C2	2-SIMPSON CS16 TO BEAM/WALL BELOW
C3	3-SIMPSON CS16 TO BEAM/WALL BELOW
C4	1-SIMPSON LTT19 W/ 5/8" DIA. ALL-THREAD DRILLED & EPOXIED 4" INTO FOOTING WITH SIMPSON SET EPOXY (T=1310#)
C5	1-SIMPSON HTT4 W/ 5/8" DIA. ALL-THREAD DRILLED & EPOXIED 4" INTO FOOTING WITH SIMPSON SET EPOXY (T=3615#)
C6	1-SIMPSON HTT5KT W/ 5/8" DIA. ALL-THREAD DRILLED & EPOXIED 5" INTO FOOTING WITH SIMPSON SET EPOXY (T=5445#)

STRUCTURAL SCHEDULE (FL-1)

MARK	DESCRIPTION
FL-1	CMU LOW WALL - 1-NO.5 REBAR CONT. IN FILLED COURSE AT TOP OF WALL
FL-2	NICHE PER ARCHITECTURAL FRONT ELEVATION - USE 4" MASONRY FOR WALLS WITH FILLED CELLS & REBAR PER PLAN
FL-3	2-2X8 PT NAILED TOGETHER WITH 12d NAILS 6" O.C. STAGGERED - ATTACH TO CMU WALL WITH SIMPSON HGAM10KT AT 24" O.C. VERTICALLY. 3/8" PLYWOOD ON EXTERIOR WITH 8d NAILS 4" O.C. EDGE/8" O.C. FIELD
FL-4	FRAME-OUT INTERIOR CORNER OF COLUMN (NON-STRUCTURAL)
FL-5	LOAD BEARING WALL - 2X SPF STUDS 16" O.C. TOP AT 8'-8" AFF (LOWER AT STAIRS)
FL-6	FILL ALL CELLS

FILLED CELLS

- INDICATES FILLED CELL W/ 1-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS
- INDICATES FILLED CELL W/ 2-NO.5 REBAR CONTINUOUS FROM TIE-BEAM (OR FOOTING) AT LEVEL BELOW TO TIE-BEAM ABOVE, PROVIDE 8" HOOKS

JUL 13 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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FL REG 70791

A Custom Home for:
ANTHONY & VICKI SKIDMORE
608 BAYVIEW DRIVE, LONGBOAT KEY, FL 34228

STRUCTURAL FLOOR PLAN

1/4" = 1' - 0"

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JDY	06.09.2021

S2.2

WOOD BEAM SCHEDULE

WB-X
TOB AFF

MARK	DESCRIPTION
WB-A	3 - 2X10 SYP NO.2 WOOD BEAM WITH 2-1/2" CDX PLYWOOD FLITCH PLATES
WB-B	3 - 1 3/4" X 11 7/8" 1.9E MICROLLAM LVL BEAM
WB-C	2 - 1 3/4" X 16" 1.9E MICROLLAM LVL BEAM
WB-D	16" HIGH PRE-ENGINEERED FLOOR GIRDER TRUSS BY TRUSS MANF.
WB-E	PRE-ENGINEERED FLOOR/ROOF COMBINATION GIRDER TRUSS BY TRUSS MANF.
WB-F	2 - 2X10 SYP NO.2 WOOD BEAM WITH 1-1/2" CDX PLYWOOD FLITCH PLATE
WB-G	2 - 1 3/4" X 11 7/8" 1.9E MICROLLAM LVL BEAM

NOTES:
1. NAIL 2-PLY SYP/P.T. BEAMS TOGETHER WITH 2-ROWS OF 12d NAILS AT 12" O.C.
2. ADD ADD'L. SYP PLIES AND FLITCH PLATES AS REQ'D. TO MATCH WALL THICKNESS
3. SEE SHEET S4 FOR LVL NAILING/BOLTING PATTERNS

STRUCTURAL SCHEDULE

S-1

MARK	DESCRIPTION
S-1	BLOCK ROOF/FLOOR DIAPHRAGM SEAMS WITH 2X4 SYP WITH 8D RING-SHANK (ROOF), 10D (FLOOR) AT 4" O.C.
S-2	SIMPSON HUC410 (MAX) WITH 18-1/4"X1 1/2" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1 1/2" FASTENER EDGE DISTANCE
S-3	ATTACH LVL BEAM TO ADJACENT BEAM WITH SIMPSON HUC410 - RUN SLIDING GLASS DOOR HEADER LONG FOR ATTACHMENT
S-4	2X12 PT AT 12" O.C. - RIP/SLOPE TOP 1/4"FT SIMPSON HUS26 AT EACH END TO LEDGER
S-5	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 12'-8" AFF
S-6	SEE TIE-BEAM STEP DETAIL ON SHEET S6
S-7	TOP/HEIGHT OF BEAM MAY BE LOWERED TO ACCOMMODATE DECK SLOPE - MAX 1 1/2" (1 1/2" AT MAIN LANAI LVL BEAM)
S-8	2X12 PT JOISTS AT 16" O.C. - RIP/SLOPE TOP 1/4"FT SIMPSON HUS26 AT EACH END TO LEDGER/RIMBOARD/BEAM
S-9	SIMPSON HETA16 AT EACH FLOOR TRUSS
S-10	SIMPSON HGUM5.25-SDS (H=11") WITH LEFT FLANGE CONCEALED PAD OUT GIRDER TRUSS IF NECESSARY
S-11	SIMPSON HGUM5.25-SDS (H=11") - PAD OUT GIRDER TRUSS IF NECESSARY
S-12	SIMPSON HUC66 (MIN) WITH 8-1/4"X1 1/2" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1 1/2" FASTENER EDGE DISTANCE
S-13	SLOPE/RIP TOP OF BEAM 1/4"FT TO ACCOMMODATE DECK SLOPE - MAX 2 1/2"
S-14	8" THICK 3000PSI CONCRETE SLAB WITH NO. 5 REBAR 12" O.C. EACH WAY AT MIDHEIGHT - SLOPE TOP 1/4"FT FOR DRAINAGE
S-15	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 10'-0" AFF

STRUCTURAL NOTES

1. FILL ALL CELLS ABOVE PRECAST LINTELS.
2. STUB RAISED HEEL ROOF TRUSSES BACK 1 1/2" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
3. STUB FLOOR TRUSSES BACK 2 1/2" FOR RIMBOARD, PLYWOOD AND STUCCO.
3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
4. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

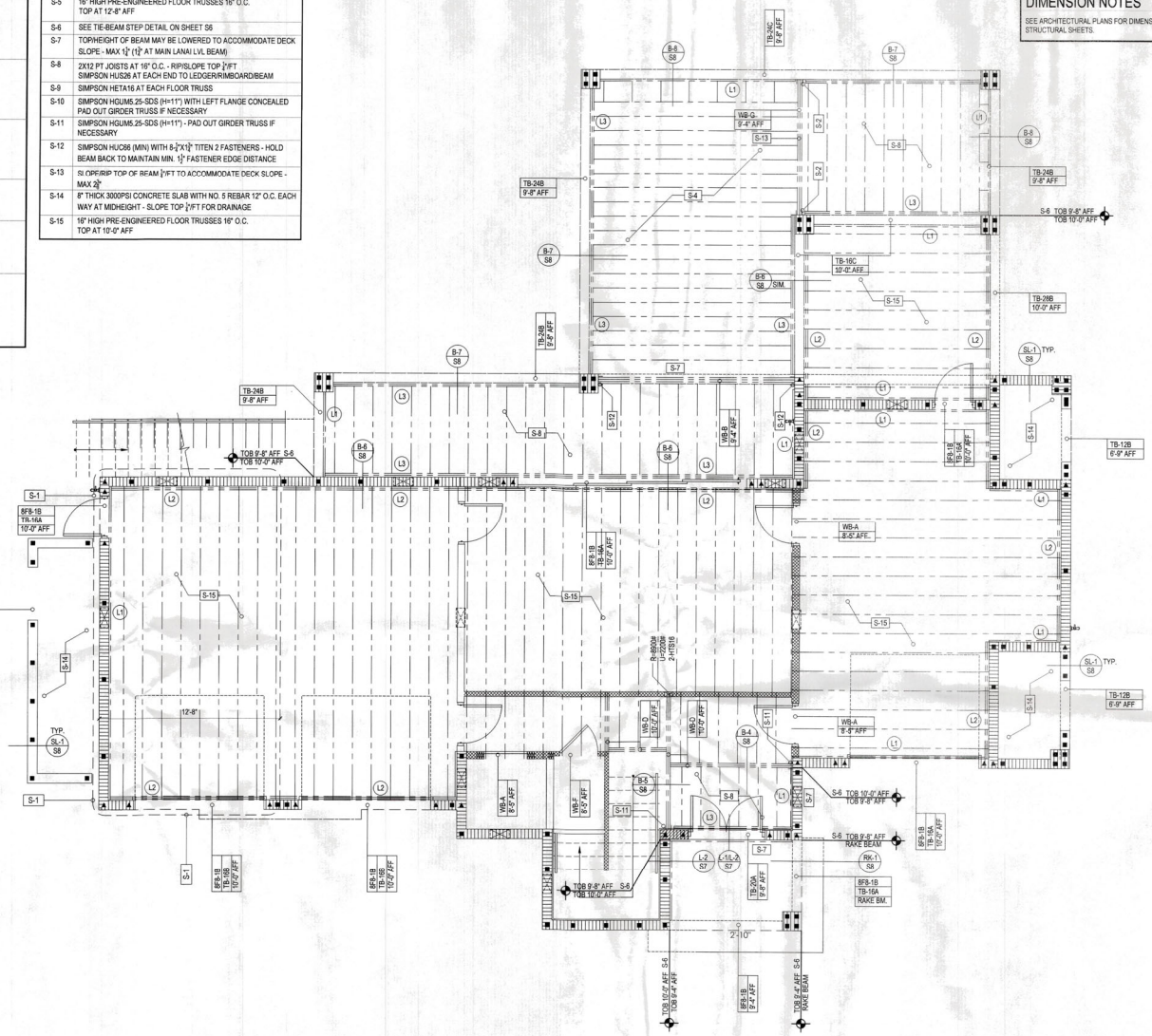
LEDGER/RIMBOARD SCHEDULE

L1

MARK	DESCRIPTION
L1	1 - 2X8 PT LEDGER SEE TRUSS PARALLEL TO LEDGER DETAIL ON S5
L2	2 - 2X8 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL ON S5
L3	2 - 2X12 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL ON S5 (SIM.)
R1	16" HIGH 1.9E MICROLLAM LVL RIMBOARD

DIMENSION NOTES

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.



CONCRETE/PRECAST BEAM SCHEDULE

TB-XX
TOC AFF

MARK	DESCRIPTION
8F8-1B	8"X8" PRECAST LINTEL BY CAST-CRETE 1-NO.5 REBAR
TB-12B	8"X12" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 4" O.C.
TB-16A	8"X16" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO.5 REBAR BOTTOM
TB-16B	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 8" O.C.
TB-16C	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 6" O.C.
TB-20A	8"X20" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO.5 REBAR BOTTOM
TB-20B	8"X20" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 8" O.C.
TB-20C	8"X20" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 8" O.C.
TB-24A	8"X24" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO. 5 REBAR MIDDLE 1-NO.5 REBAR BOTTOM
TB-24B	8"X24" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 10" O.C.
TB-24C	8"X24" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 10" O.C.
TB-28B	8"X28" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 10" O.C.
TB-32A	8"X32" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO. 5 REBAR 2nd LAYER 2-NO. 5 REBAR 3rd LAYER 2-NO.5 REBAR BOTTOM NO. 3 TIES 12" O.C.

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MAIN LEVEL FRAMING PLAN
1/4" = 1' - 0"

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WOOD BEAM SCHEDULE

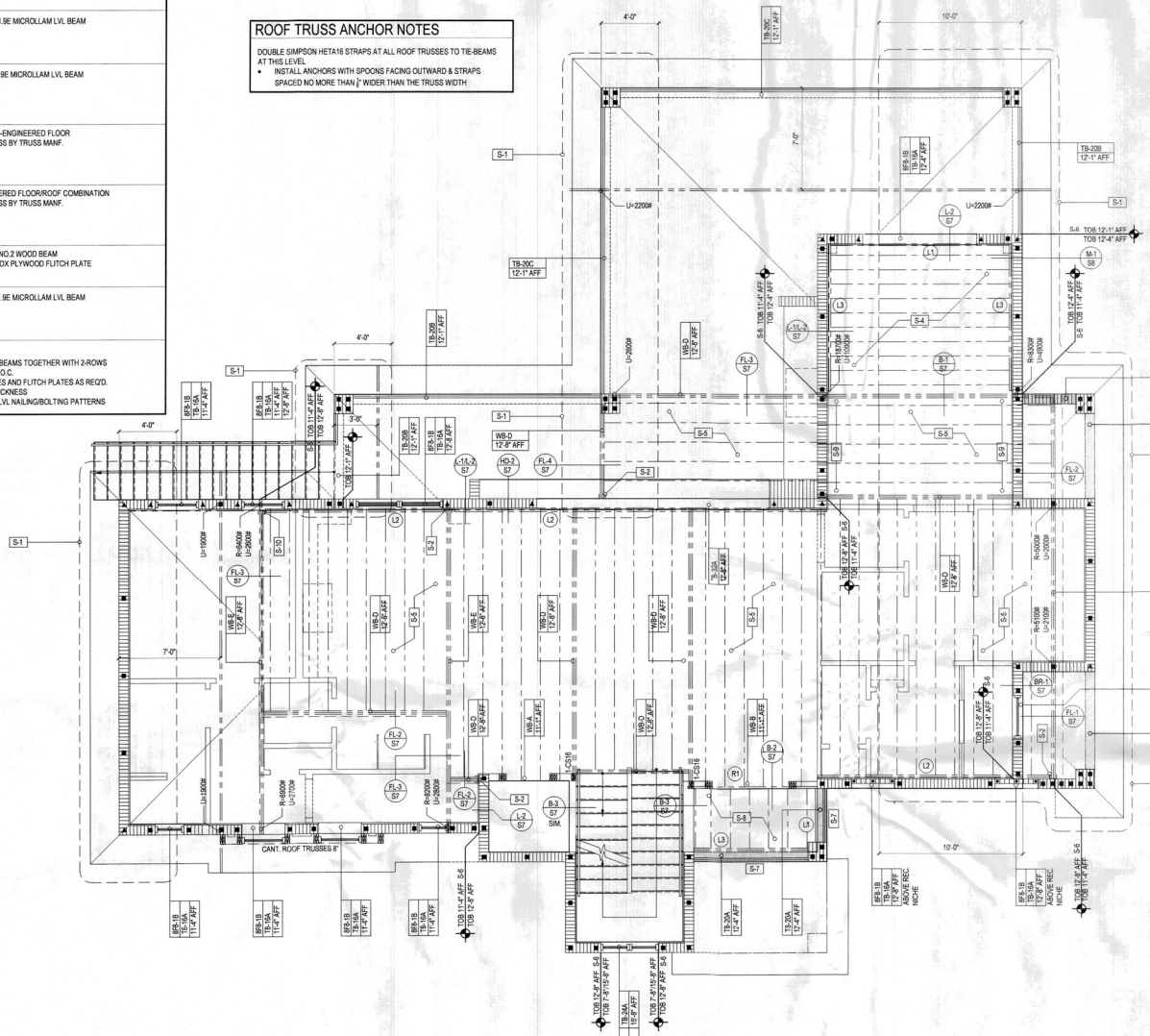
WB-X
TOB AFF

MARK	DESCRIPTION
WB-A	3 - 2X10 SYP NO.2 WOOD BEAM WITH 2-1/2" CDX PLYWOOD FLITCH PLATES
WB-B	3 - 1¾" X 11⅞" 1.9E MICROLLAM LVL BEAM
WB-C	2 - 1¾" X 16" 1.9E MICROLLAM LVL BEAM
WB-D	16" HIGH PRE-ENGINEERED FLOOR GIRDER TRUSS BY TRUSS MANF.
WB-E	PRE-ENGINEERED FLOOR/ROOF COMBINATION GIRDER TRUSS BY TRUSS MANF.
WB-F	2 - 2X10 SYP NO.2 WOOD BEAM WITH 1-1/2" CDX PLYWOOD FLITCH PLATE
WB-G	2 - 1¾" X 11⅞" 1.9E MICROLLAM LVL BEAM

NOTES:
1. NAIL 2-PLY SYP/P.T. BEAMS TOGETHER WITH 2-ROWS OF 12d NAILS AT 12" O.C.
2. ADD ADD'L. SYP PLIES AND FLITCH PLATES AS REQ'D. TO MATCH WALL THICKNESS
3. SEE SHEET S4 FOR LVL NAILING/BOLTING PATTERNS

ROOF TRUSS ANCHOR NOTES

DOUBLE SIMPSON HETA16 STRAPS AT ALL ROOF TRUSSES TO TIE-BEAMS AT THIS LEVEL
- INSTALL ANCHORS WITH SPOONS FACING OUTWARD & STRAPS SPACED NO MORE THAN ¼" WIDER THAN THE TRUSS WIDTH



STRUCTURAL NOTES

1. FILL ALL CELLS ABOVE PRECAST LINTELS.
2. STUB RAISED HEEL ROOF TRUSSES BACK ¼" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
3. STUB FLOOR TRUSSES BACK 2½" FOR RIMBOARD, PLYWOOD AND STUCCO.
3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
4. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

LEDGER/RIMBOARD SCHEDULE

L1

MARK	DESCRIPTION
L1	1 - 2X8 PT LEDGER SEE TRUSS PARALLEL TO LEDGER DETAIL ON S5
L2	2 - 2X8 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL ON S5
L3	2 - 2X12 PT LEDGER SEE TRUSS PERPENDICULAR TO LEDGER DETAIL ON S5 (SIM.)
R1	16" HIGH 1.9E MICROLLAM LVL RIMBOARD

DIMENSION NOTES

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

STRUCTURAL SCHEDULE

S-1

MARK	DESCRIPTION
S-1	BLOCK ROOF/FLOOR DIAPHRAGM SEAMS WITH 2X4 SYP WITH 8D RING-SHANK (ROOF), 10D (FLOOR) AT 4" O.C.
S-2	SIMPSON HUC410 (MAX) WITH 18-¼"X1½" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1½" FASTENER EDGE DISTANCE
S-3	ATTACH LVL BEAM TO ADJACENT BEAM WITH SIMPSON HUC410 - RUN SLIDING GLASS DOOR HEADER LONG FOR ATTACHMENT
S-4	2X12 PT AT 12" O.C. - RIP/SLOPE TOP ¼"/FT SIMPSON HUS26 AT EACH END TO LEDGER
S-5	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 12'-8" AFF
S-6	SEE TIE-BEAM STEP DETAIL ON SHEET S6
S-7	TOP/HEIGHT OF BEAM MAY BE LOWERED TO ACCOMMODATE DECK SLOPE - MAX 1½" (1¾" AT MAIN LANAI LVL BEAM)
S-8	2X12 PT JOISTS AT 16" O.C. - RIP/SLOPE TOP ¼"/FT SIMPSON HUS26 AT EACH END TO LEDGER/RIMBOARD/BEAM
S-9	SIMPSON HETA16 AT EACH FLOOR TRUSS
S-10	SIMPSON HGUM5.25-SDS (H=11") WITH LEFT FLANGE CONCEALED PAD OUT GIRDER TRUSS IF NECESSARY
S-11	SIMPSON HGUM5.25-SDS (H=11") - PAD OUT GIRDER TRUSS IF NECESSARY
S-12	SIMPSON HUC66 (MIN) WITH 8-¼"X1½" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1½" FASTENER EDGE DISTANCE
S-13	SLOPE/RIP TOP OF BEAM ¼"/FT TO ACCOMMODATE DECK SLOPE - MAX 2½"
S-14	8" THICK 3000PSI CONCRETE SLAB WITH NO. 5 REBAR 12" O.C. EACH WAY AT MIDHEIGHT - SLOPE TOP ¼"/FT FOR DRAINAGE
S-15	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 10'-0" AFF

CONCRETE/PRECAST BEAM SCHEDULE

TB-XX
TOC AFF

MARK	DESCRIPTION
8F8-1B	8"X8" PRECAST LINTEL BY CAST-CRETE 1-NO.5 REBAR
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TB-16A	8"X16" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO.5 REBAR BOTTOM
TB-16B	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 6" O.C.
TB-16C	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 8" O.C.
TB-20A	8"X20" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO.5 REBAR BOTTOM
TB-20B	8"X20" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 8" O.C.
TB-20C	8"X20" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 8" O.C.
TB-24A	8"X24" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO. 5 REBAR MIDDLE 1-NO.5 REBAR BOTTOM
TB-24B	8"X24" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 10" O.C.
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TB-32A	8"X32" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO. 5 REBAR 2nd LAYER 2-NO. 5 REBAR 3rd LAYER 2-NO.5 REBAR BOTTOM NO. 3 TIES 12" O.C.

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UPPER LEVEL FRAMING PLAN
1/4" = 1' - 0"

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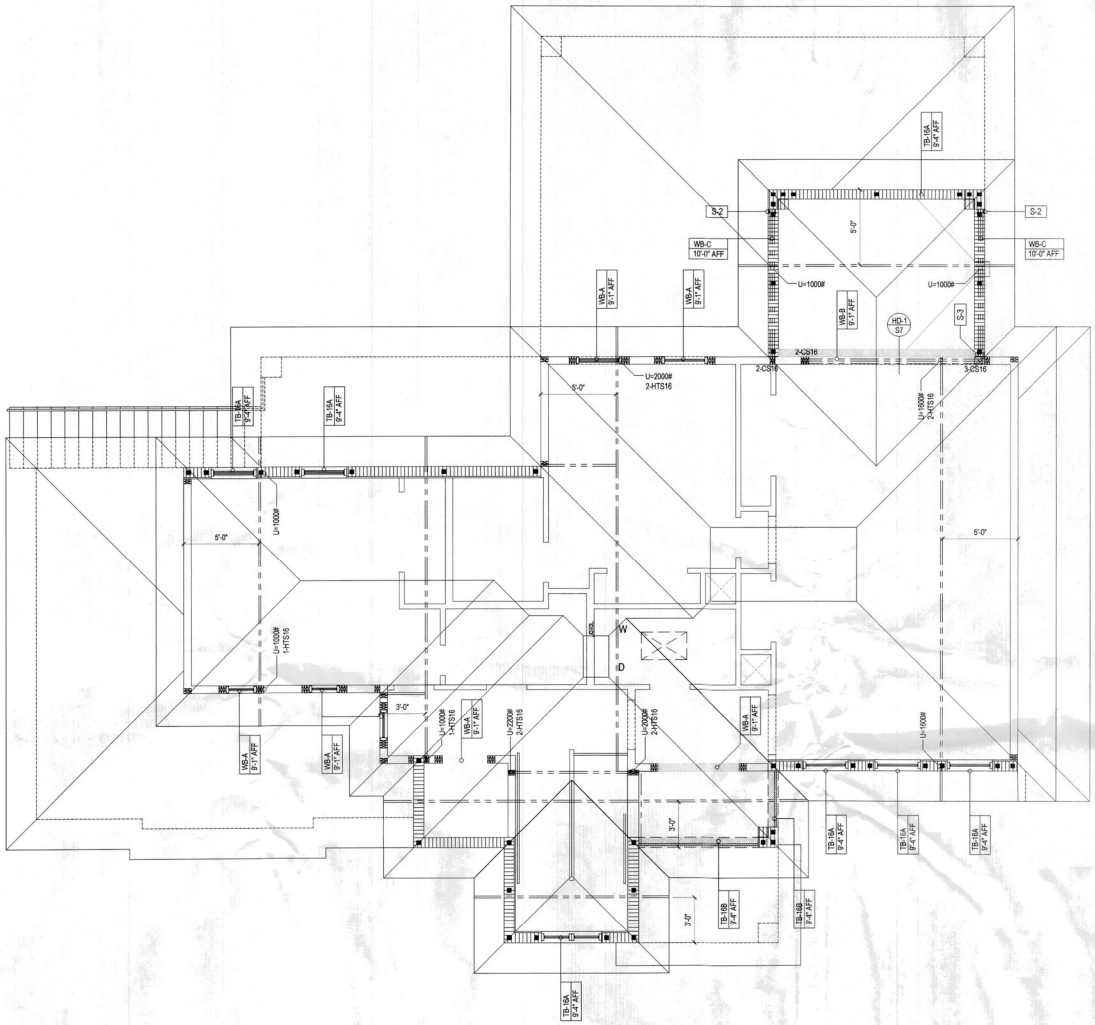

STRUCTURAL SCHEDULE

S-1

MARK	DESCRIPTION
S-1	BLOCK ROOF/FLOOR DIAPHRAGM SEAMS WITH 2X4 SYP WITH 8D RING-SHANK (ROOF), 10D (FLOOR) AT 4" O.C.
S-2	SIMPSON HUC410 (MAX) WITH 18-$\frac{1}{4}$"X1$\frac{1}{2}$" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1$\frac{1}{2}$" FASTENER EDGE DISTANCE
S-3	ATTACH LVL BEAM TO ADJACENT BEAM WITH SIMPSON HUC410 - RUN SLIDING GLASS DOOR HEADER LONG FOR ATTACHMENT
S-4	2X12 PT AT 12" O.C. - RIP/SLOPE TOP $\frac{1}{4}$"/FT SIMPSON HUS26 AT EACH END TO LEDGER
S-5	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 12'-8" AFF
S-6	SEE TIE-BEAM STEP DETAIL ON SHEET S6
S-7	TOP/HEIGHT OF BEAM MAY BE LOWERED TO ACCOMMODATE DECK SLOPE - MAX 1$\frac{1}{2}$" (1$\frac{1}{2}$" AT MAIN LANAI LVL BEAM)
S-8	2X12 PT JOISTS AT 16" O.C. - RIP/SLOPE TOP $\frac{1}{4}$"/FT SIMPSON HUS26 AT EACH END TO LEDGER/RIMBOARD/BEAM
S-9	SIMPSON HETA16 AT EACH FLOOR TRUSS
S-10	SIMPSON HGUM5.25-SDS (H=11") WITH LEFT FLANGE CONCEALED PAD OUT GIRDER TRUSS IF NECESSARY
S-11	SIMPSON HGUM5.25-SDS (H=11") - PAD OUT GIRDER TRUSS IF NECESSARY
S-12	SIMPSON HUC66 (MIN) WITH 8-$\frac{1}{4}$"X1$\frac{1}{2}$" TITEN 2 FASTENERS - HOLD BEAM BACK TO MAINTAIN MIN. 1$\frac{1}{2}$" FASTENER EDGE DISTANCE
S-13	SLOPE/RIP TOP OF BEAM $\frac{1}{4}$"/FT TO ACCOMMODATE DECK SLOPE - MAX 2$\frac{1}{2}$"
S-14	8" THICK 3000PSI CONCRETE SLAB WITH NO. 5 REBAR 12" O.C. EACH WAY AT MIDHEIGHT - SLOPE TOP $\frac{1}{4}$"/FT FOR DRAINAGE
S-15	16" HIGH PRE-ENGINEERED FLOOR TRUSSES 16" O.C. TOP AT 10'-0" AFF

STRUCTURAL NOTES

1. FILL ALL CELLS ABOVE PRECAST LINTELS.
2. STUB RAISED HEEL ROOF TRUSSES BACK 2$\frac{1}{2}$" FROM FACE OF MASONRY FOR PLYWOOD AND STUCCO.
3. STUB FLOOR TRUSSES BACK 2$\frac{1}{2}$" FOR RIMBOARD, PLYWOOD AND STUCCO.
3. ALL WOOD OR WOOD PRODUCTS IN CONTACT WITH CONCRETE OR MASONRY TO BE EITHER MOISTURE PROTECTED OR PRESSURE TREATED.
4. SHORING: ALL MASONRY OR CONCRETE BEAMS 10-FT AND LONGER SHALL BE SHORED FOR A MINIMUM OF 28 DAYS AFTER POUR.

DIMENSION NOTES

SEE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN ON STRUCTURAL SHEETS.

WOOD BEAM SCHEDULE

WB-X
TOB AFF

MARK	DESCRIPTION
WB-A	3 - 2X10 SYP NO.2 WOOD BEAM WITH 3-1/2" CDX PLYWOOD FLITCH PLATES
WB-B	3 - 1$\frac{3}{4}$" X 11$\frac{7}{8}$" 1.9E MICROLLAM LVL BEAM
WB-C	2 - 1$\frac{3}{4}$" X 16" 1.9E MICROLLAM LVL BEAM
WB-D	16" HIGH PRE-ENGINEERED FLOOR GIRDER TRUSS BY TRUSS MANF.
WB-E	PRE-ENGINEERED FLOOR/ROOF COMBINATION GIRDER TRUSS BY TRUSS MANF.
WB-F	2 - 2X10 SYP NO.2 WOOD BEAM WITH 1-1/2" CDX PLYWOOD FLITCH PLATE
WB-G	2 - 1$\frac{3}{4}$" X 11$\frac{7}{8}$" 1.9E MICROLLAM LVL BEAM

NOTES:
1. NAIL 2-PLY SYP/P.T. BEAMS TOGETHER WITH 2-ROWS OF 12d NAILS AT 12" O.C.
2. ADD ADD'L. SYP PLIES AND FLITCH PLATES AS REQ'D. TO MATCH WALL THICKNESS
3. SEE SHEET S4 FOR LVL NAILING/BOLTING PATTERNS

CONCRETE/PRECAST BEAM SCHEDULE

TB-XX
TOC AFF

MARK	DESCRIPTION
8F8-1B	8"X8" PRECAST LINTEL BY CAST-CRETE 1-NO.5 REBAR
TB-12B	8"X12" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 4" O.C.
TB-16A	8"X16" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO.5 REBAR BOTTOM
TB-16B	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 8" O.C.
TB-16C	8"X16" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 8" O.C.
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TB-20C	8"X20" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 8" O.C.
TD-24A	8"X24" FORM & POUR CONCRETE BEAM 1-NO. 5 REBAR TOP 1-NO. 5 REBAR MIDDLE 1-NO.5 REBAR BOTTOM
TB-24B	8"X24" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 10" O.C.
TB-24C	8"X24" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 4-NO.5 REBAR BOTTOM BUNDLED NO. 3 TIES 10" O.C.
TB-28B	8"X28" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO.5 REBAR BOTTOM NO. 3 TIES 10" O.C.
TB-32A	8"X32" FORM & POUR CONCRETE BEAM 2-NO. 5 REBAR TOP 2-NO. 5 REBAR 2nd LAYER 2-NO. 5 REBAR 3rd LAYER 2-NO.5 REBAR BOTTOM NO. 3 TIES 12" O.C.

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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JODY D. YOUNG JR, PE
FLPE# 10191

A Custom Home for:
ANTHONY & VICKI SKIDMORE
608 BAYVIEW DRIVE, LONGBOAT KEY, FL 34228

ROOF FRAMING PLAN
1/4" = 1' - 0"

REVISIONS	
BY	DATE
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JDY	06.09.2021

S3.2

1. GENERAL NOTES

1.1 FBC REFERS TO 2020 FLORIDA BUILDING CODE, 7TH EDITION.
1.2 FBC-R REFERS TO 2020 FLORIDA BUILDING CODE, 7TH EDITION, RESIDENTIAL.
1.3 COMPACT BACK FILL 5'-0" FROM STRUCTURE. THE BUILDING AREA PLUS A MARGIN OF 5'-0" AFF OUTSIDE PERIMETER LINES SHALL BE COMPACTED TO A MINIMUM 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.
1.4 CONTACT SOILS FOR FOUNDATIONS SHALL BE COMPACTED TO A MINIMUM 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.
1.5 CONTACT SOILS FOR FOUNDATIONS SHALL BE TESTED AFTER COMPACTION.
1.6 FILL WITHIN STEMWALLS SHALL BE PLACED AND COMPACTED PER THE RECOMMENDATIONS OF GEOTECHNICAL REPORT.
1.7 FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 2000 PSF.
1.8 CONTRACTOR TO VERIFY MANUFACTURED TRUSS PLAN PRIOR TO PLACEMENT OF STEMWALL OR MONOLITHIC FOOTING.
1.5 PLUMBER IS TO INFORM SUPERINTENDENT OF ANY VENTING WHICH UTILIZES A MASONRY WALL TO RESOLVE ANY POSSIBLE STRUCTURAL INTEGRITY ISSUES.

2. CONCRETE/MASONRY NOTES

2.1 ALL CONCRETE SHALL BE F'c=3000PSI.
2.2 MASONRY SHALL USE TYPE S MORTAR. F'm=1900PSI.
2.3 REINFORCING STEEL SHALL SATISFY ASTM A615, GD 60. FOOTING MAY USE GD 40 STEEL.
2.4 WHERE INDICATED ON FLOOR PLANS, PROVIDE CONCRETE FILLED CELL WITH REINFORCING STEEL FROM FOOTING TO TIE BEAM HOOKED & TIED BEFORE INSPECTION. IF GROUT LIFT EXCEEDS 4'-0", AN INSPECTION HOLE TO VERIFY GROUTING SHALL BE PROVIDED AT THE BOTTOM CELL.
2.5 PROVIDE (1) #5 VERTICAL REINFORCING STEEL ELECTRICAL GROUND TO FOUNDATION STEEL.
2.6 FOUNDATION DOWELS AND VERTICAL REINFORCING SPACES AS SHOWN ON FLOOR PLANS. IN THE EVENT OF CONFLICTS, THE FLOOR PLANS SHALL TAKE PRECEDENCE OVER THE FOUNDATION PLAN.
2.7 ALL FOOTINGS TO BE SMOOTH AND LEVEL.
2.8 REINFORCING STEEL LAP LENGTH IN CONCRETE AND/OR MASONRY SHALL BE:
#5 REBAR -30"
#6 REBAR -36"
#7 REBAR -45"
2.9 LAP LENGTH OF INDIVIDUAL BARS WITHIN A BUNDLE SHALL BE THAT FOR THE INDIVIDUAL BAR, INCREASED 20% FOR THREE-BAR BUNDLE, AND 33% FOR FOUR-BAR BUNDLE.
2.10 INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF THE BEAM SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40Db STAGGER.
2.11 A FILLED CELL WITH (1) #5 VERTICAL SHALL BE LOCATED AT GIRDER TRUSSES WITH UPLIFT EXCEEDING 2000LBS U.N.O.
2.12 MINIMUM CONCRETE COVER 3" CAST AGAINST SOIL AND 1½" ELSE U.N.O. MAXIMUM CONCRETE COVER 6" U.N.O.
2.13 EMBEDDED TRUSS ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
2.14 EMBEDDED ANCHORS/TIEDOWNS SHALL HAVE MIN 2" COVER.
2.15 MASONRY WALLS SHALL BE BRACED IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" MASON CONTRACTORS ASSOCIATION OF AMERICA, JULY 2001.
2.16 THE CONCRETE TIE BEAM AT TOP OF ALL WALLS SHALL BE AN 8"X16" WITH (1) NO. 5 CONTINUOUS TOP AND BOTTOM U.N.O.
2.17 BEAM SIZES SHOWN ON DRAWINGS ARE MINIMUM NOMINAL DIMENSIONS. BEAM SIZES MAY BE INCREASED BY UP TO 12" TO ACCOMMODATE ON-SITE BEAM REQUIREMENTS PROVIDED THAT THE DISTANCE BETWEEN TOP AND BOTTOM REINFORCING STEEL REMAINS THE SAME OR IS INCREASED.

3. FRAMING NOTES

3.1 ALL DOOR HEADERS AT BEARING WALLS TO BE (2) 2X10 SYP OR BETTER, U.N.O.
3.2 EXTERIOR FRAME WALLS, BEARING OR NON BEARING, SHALL BE SHEATHED WITH 15/32" PLYWOOD OR EQUAL, BLOCKED AND NAILED WITH 8d AT 4" O.C. EDGES, 8" O.C. FIELD.
3.3 SHEAR WALL AND EXTERIOR WALL PLYWOOD SHEATHING SHALL BE BLOCKED.
3.4 TRUSSES AND BEAMS SHALL BEAR DIRECTLY ON PSL OR SYP POSTS U.N.O. WHERE REQUIRED, SHIMS TO BE A36 STEEL U.N.O.
3.5 PSL OR SYP POSTS SHALL BEAR DIRECTLY ON CONCRETE SLAB OR ON SYP OR PT PLATE U.N.O.
3.6 UPLIFTS AND REACTIONS SHOWN ON MANUFACTURED TRUSS PLANS SHALL BE USED U.N.O. ON ENGINEER'S SEALED ROOF/FLOOR LAYOUT PLAN.
3.7 BUILD-OUTS SHALL BE ATTACHED TO THE MASONRY/CONCRETE WITH 3/16" TAPCONS AT 16" O.C. WITH MINIMUM EMBEDMENT OF 1¾"
3.8 FLOOR SHEATHING SHALL BE ¾" T&G PLYWOOD OR EQUAL. FASTENED WITH 10d NAILS AT 4" O.C. EDGES AND 8" O.C. FIELD U.N.O.

4. WOOD NOTES

4.1 PSL: 1.8E PARALLEL STRAND LUMBER, Fb=2400psi
4.2 LVL: 1.9E LAMINATED VENEER LUMBER, Fb=2600psi
4.3 PT: PRESSURE TREATED SOUTHERN PINE #2 GRADE OR BETTER
4.4 SPF: SPRUCE PINE FIR #2 GRADE OR BETTER

5. ROOF FRAMING NOTES

5.1 THE DESIGN OF ROOF FRAMING SHALL BE BASED ON THE REQUIREMENTS OF THE FBC-R.
5.2 DESIGN WIND LOADS SHALL BE APPLIED IN ACCORDANCE WITH FBC SECTION 1609. SEE WIND NOTES FOR WIND DESIGN REQUIREMENTS.
5.3 ROOF TRUSS MANUFACTURER SHALL SUBMIT AND PROVIDE COMPLETE LAYOUT AND FURNISH THE FOLLOWING INFORMATION: ROOF PITCH, LUMBER SIZE, SPACING, SPECIES AND GRADING, LOCATION AND MAGNITUDE OF UPLIFT LOADS.
5.4 PRE-ENGINEERED TRUSS DESIGN SHALL BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.
5.5 ROOF SHEATHING SHALL BE 19/32" CD PLYWOOD OR EQUAL. FASTENED WITH 8d RING-SHANK NAILS AT 4" O.C. EDGES AND 6" O.C. FIELD U.N.O. NAILING SHALL BE AT 4" O.C. EDGES AND FIELD WITHIN 4'-0" OF RIDGES AND EDGES OF ROOF AND 3" O.C. WITHIN 4'-0" OF EXTERIOR ROOF CORNERS.
5.6 CONTRACTORS SHALL VERIFY WITH ROOF TRUSS PLAN PRIOR TO PLACEMENT OF FOOTINGS.

6. DESIGN LOADS AND NOTES

6.1 ROOF TRUSSES - D+L
55PSF W/ 1.33 STRESS INCREASE FACTOR, OR
45PSF W/ 1.25 STRESS INCREASE FACTOR, OR
41PSF W/ 1.00 STRESS INCREASE FACTOR.
6.2 FLOOR - D+L
65PSF W/ 1.00 STRESS INCREASE FACTOR.
6.3 DL = 10PSF IN COMBINATION WITH WIND LOADS.
6.4 MEAN ROOF HEIGHT SHALL BE DETERMINED BY CONTRACTOR.
6.5 LATERAL LOADS AT TOP OF EXTERIOR WALLS SHALL BE BASED ON 36.4 PSF ON WALL.
6.6 LATERAL LOADS IN TRUSSES ARE RESISTED BY ROOF DIAPHRAGM AT POINT OF WIND LOAD INPUT U.N.O.
6.7 TRUSS MANUFACTURER'S TRUSS LAYOUT SHALL SHOW ALL CONNECTIONS BETWEEN TRUSSES AND OTHER TRUSSES AND BETWEEN TRUSSES AND WOOD BEAMS.
6.8 TRUSSES MUST BE DESIGNED TO SUPPORT WALLS AGAINST OUT-OF-PLANE LOADS IN ACCORDANCE WITH ITEM 6.5. THIS APPLIES TO ALL TRUSSES WITH A RAISED HEEL CONDITION THAT BEAR ON AN EXTERIOR WALLS.
6.9 NO PROVISION HAS BEEN MADE IN THE STRUCTURAL DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO RESIST STRESSES OR INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR SUCH MEASURES.

7. WIND NOTES

7.1 WIND LOADS ARE BASED ON A WIND VELOCITY OF 150 MPH APPLIED FOR A FULLY ENCLOSED STRUCTURE.
7.2 THIS BUILDING IS DESIGNED AS A FULLY ENCLOSED BUILDING BASED ON ALL OPENINGS BEING PROTECTED OR HAVING MISSILE IMPACT GLASS.
7.3 WIND DESIGN LOADS WERE DETERMINED BASED ON THE FOLLOWING:
BASIC WIND SPEED = 150 MPH,
BUILDING CATEGORY II, IMPORTANCE FACTOR = 1.0
WIND EXPOSURE = D,
INTERNAL PRESSURE COEFFICIENT = 0.18.
FULLY ENCLOSED BUILDING

DESIGN WIND PRESSURES (ASD) FOR COMPONENTS AND CLADDING

POSITIVE PRESSURES = INWARD
NEGATIVE PRESSURES = OUTWARD (SUCTION)
ALL PRESSURE VALUES ARE IN PSF.

COMPONENT AREA (SQ. FT.)	ZONE 4	ZONE 5
10	+46.4/-50.4	+46.4/-62.2
20	+44.5/-48.4	+44.5/-57.9
30	+43.3/-47.2	+43.3/-55.5
40	+42.1/-46.1	+42.1/-54.0
50	+41.7/-45.7	+41.7/-52.3
75	+40.6/-44.5	+40.6/-50.0
100	+39.4/-43.3	+39.4/-48.4
150	+38.2/-42.1	+38.2/-45.7

8. PEST/DECAY PROTECTION NOTES

8.1 ALL PLANTINGS AND IRRIGATION/SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL BE AT LEAST 1'-0" FROM BUILDING SIDEWALLS.
8.2 IN WALL PEST TUBING AND BORA CARE TREATMENT ON ALL INTERIOR WOOD PROVIDES SUBTERRANEAN TERMITE ABATEMENT AS WELL AS PROTECTION AGAINST WOOD DESTROYING ORGANISMS.
8.3 WOOD GRADE STAKES SHALL NOT BE USED.
8.4 PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH FBC SECTIONS R317 AND R318.
8.5 ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF FBC SECTIONS R703.7.5, R703.8, R903.2 AND R905.

9. GARAGE NOTES

9.1 OPENINGS FROM GARAGE INTO LIVING SPACE OF RESIDENCE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.1.
9.2 DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.2.
9.3 GARAGE AND LIVING SPACE SEPARATION SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.6.
9.4 GARAGE DOORS SHALL SATISFY THE REQUIREMENTS OF FBC FOR WIND LOADS AS DEFINED IN ROOF FRAMING AND WIND NOTES.

10. GENERAL CONNECTIONS NOTES

10.1 CONNECTIONS SHOWN ARE RECOMMENDED, BUT OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.
10.2 FOR ADDITIONAL TIE DOWN INFORMATION, SEE SIMPSON OR USP CATALOGS.
10.3 FOR POST-INSTALLED ANCHORS: HOLE PREPARATION, CARTRIDGE PREPARATION, AND EPOXY FILLING SHALL BE PERFORMED PER MANUFACTURER'S ADHESIVE ANCHOR INSTALLATION INSTRUCTIONS.
10.4 AN EPOXY INSPECTION MAY BE REQUIRED DEPENDING ON JURISDICATION. CONTRACTOR MUST VERIFY.

11. TRUSS TO FRAME CONNECTION NOTES

11.1 ROOF TRUSSES: USE SIMPSON H10 OR H10-2 AT EACH TRUSS WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS FOR UPLIFTS IN EXCESS OF GIVEN ALLOWABLE VALUES. WHERE H10 OR H10-2 CANNOT BE USED (E.G. 3-PLY GIRDERS, CORNERS, ETC.) USE SIMPSON H2.5 PLUS ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT LOADS.
11.2 FLOOR TRUSSES: USE SIMPSON H2.5 AT EACH TRUSS (WITH OR WITHOUT UPLIFT) WHERE POSSIBLE. PROVIDE ADDITIONAL TIE-DOWNS AS REQUIRED TO MEET UPLIFT LOADS.

12. EXTERIOR CEILING NOTES

12.1 ENTRY/LANAI/CABANA CEILINGS (AREAS EXPOSED TO WIND): PROVIDE 2X4 BLOCKING AT 48" O.C AT THE BOTTOM CHORD OF ALL TRUSSES. PROVIDE ⅝" EXTERIOR GRADE DRYWALL OR ½" EXTERIOR GRADE PLYWOOD WITH 8d NAILS 8" O.C. FIELD/4" O.C. EDGES.

TRUSS UPLIFT ANCHORS - MASONRY/CONCRETE

TRUSS ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS
(REFER TO SIMPSON 2020 CATALOG #C-2020)
OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

TYPE MEMBER	NOMINAL UPLIFT CAPACITY	CONNECTOR TYPE	NAILS TO TRUSS FOR NOMINAL UPLIFT	NOTES AND COMMENTS
SINGLE PLY, CMU	595#	SIMPSON HM9KT	(4) SDS ¼"x1½" LONG TO TRUSS AND (5) ¼"x2¼" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
SINGLE PLY, CONCRETE	595#	SIMPSON HM9KT	(4) SDS ¼"x1½" LONG TO TRUSS AND (5) ¼"x1¾" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
SINGLE PLY	1065#	SIMPSON H10S	(8) 8dx1½" LONG TO TRUSS AND (2) ⅜"x4" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED
	1450#	SIMPSON META12	(7) 10dx1½" LONG	-
	1520#	SIMPSON HETA12	(7) 10dx1½" LONG	-
	1810#	SIMPSON HETA16	(9) 10dx1½" LONG	-
	1985#	(2) SIMPSON META12	(10) 10dx1½" LONG	NOTE 1
	2035#	(2) SIMPSON HETA12	(10) 10dx1½" LONG	NOTE 1
SINGLE OR MULTI PLY, CMU	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) ¼"x2¼" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) ¼"x2¼" SIMPSON TITEN SCREW TO CMU	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY, CONCRETE	860#	SIMPSON MTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(7) 10d TO TRUSS AND (4) ¼"x1¾" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
	1175#	SIMPSON HTSM16 EA TRUSS + SIMPSON HGAM AT 48"O.C.	(8) 10d TO TRUSS AND (4) ¼"x1¾" SIMPSON TITEN SCREW TO CONCRETE	POST-INSTALLED, MISSING EMBEDS.
SINGLE OR MULTI PLY	3330#	SIMPSON MGT	(22) 10dx1½" LONG	NOTE 2
DBL PLY	2150#	SIMPSON LGT2	(16) 1Gd SINKERS	POST-INSTALLED, NOTE 4
	10980#	SIMPSON HGT-2	(16) 10d	NOTE 3
DBL OR TPL PLY, CMU	1900#	(2) SIMPSON META12	(14) 16d	NOTE 1
	2500#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
DBL OR TPL PLY, CONCRETE	2565#	(2) SIMPSON META12	(14) 16d	NOTE 1
	2700#	(2) SIMPSON HETA12	(12) 16d	NOTE 1
	3350#	(2) SIMPSON HHETA12	(14) 16d	NOTE 1
TPL PLY	3285#	SIMPSON LGT3-SDS2.5	(12) SDS ¼"x2½" LONG	POST-INSTALLED, NOTE 5
	10530#	SIMPSON HGT-3	(16) 10d	NOTE 3
QUAD PLY	9250#	SIMPSON HGT-4	(16) 10d	NOTE 3
MULTI PLY	1450#	SIMPSON META12	(6) 16d	-
	1520#	SIMPSON HETA12	(7) 16d	-
	1810#	SIMPSON HETA16	(8) 16d	-

NOTES:
1. FOR (2) CONNECTORS: (A) THE NAILS SHALL NOT BE DRIVEN IN CONFLICT WITH EACH OTHER OR THE SECOND CONNECTOR, AND (B) STRAPS SHALL NOT OVERLAP THE 2ND CONNECTOR.
2. FASTENER TO CMU/CONCRETE: (1) ⅝" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH
3. FASTENER TO CMU/CONCRETE: (2) ⅝" ALL-THREAD BOLT W/ SIMPSON SET EPOXY-TIE ADHESIVE W/ 12" MIN. EMBED DEPTH
4. FASTENER TO CMU WALL: (7) ¼"x2¼" LONG SIMPSON TITEN SCREW
FASTENER TO CONCRETE WALL: (7) ¼"x1¾" SIMPSON TITEN SCREW
5. FASTENER TO WALL: (4) ⅜"x5" LONG SIMPSON TITEN HD

13. WALL SECTION NOTES

13.1 INSTALLATION OF LATH SHALL MEET THE REQUIREMENTS OF SECTION R703.7.1 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.
13.2 PLASTERING WITH PORTLAND CEMENT PLASTER MEET SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.
13.3 INSTALLATION OF WEEP SCREEDS SHALL MEET THE REQUIREMENTS OF SECTION R703.7.2.1 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.
13.4 INSTALLATION OF WATER RESISTIVE BARRIER SHALL MEET THE REQUIREMENTS OF SECTION R703.7.3 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.
13.5 INSTALLATION OF FLASHING SHALL MEET THE REQUIREMENTS OF SECTION R703.4 OF THE FBC 7TH EDITION (2020) RESIDENTIAL.

14. WATER PROOFING NOTES

14.1 ALL WATER-PROOFING AND MOISTURE PROTECTION IS THE RESPONSIBILITY OF THE BUILDER.

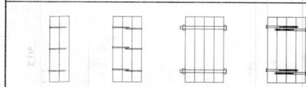
POST UPLIFT ANCHORS - MASONRY/CONCRETE

POST ANCHORS TO MASONRY OR CONCRETE SHALL BE AS FOLLOWS
(REFER TO SIMPSON 2020 CATALOG #C-2020)
OTHER BRANDS OF CONNECTORS MAY BE SUBSTITUTED IF BOTH UPLIFT AND LATERAL LOAD CAPACITIES ARE EQUAL OR GREATER THAN CONNECTORS SPECIFIED

MINIMUM POST THICKNESS	NOMINAL UPLIFT CAPACITY FOR SYP OR BTR	CONNECTOR TYPE	FASTENER TO POST FOR NOMINAL UPLIFT	ANCHOR BOLT DIAMETER
1½"	1310#	SIMPSON LTT19	(8) 10dx1½" LONG NAILS	½", ⅝" OR ¾"
	1350#	SIMPSON LTTI31	(18) 10dx1½" LONG NAILS	⅝"
	3610#	SIMPSON HTT4	(18) 10dx1½" LONG NAILS	⅝"
	4350#	SIMPSON HTT5	(26) 10dx1½" LONG NAILS	⅝"
2½"	2405#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	⅝" OR ¾"
	3955#	SIMPSON HTT16	(18) 16dx2½" LONG NAILS	⅝"
	4235#	SIMPSON HTT4	(18) 16dx2½" LONG NAILS	⅝"
	5090#	SIMPSON HTT5	(26) 16dx2½" LONG NAILS	⅝"
3"	3835#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	⅝" OR ¾"
	4165#	SIMPSON HTT22	(32) 10d NAILS	⅝"
	4670#	SIMPSON HTT5	(26) 10d NAILS	⅝"
	6480#	SIMPSON HD5	(3) ⅞" DIAM STUD BOLTS	⅞" OR 1"
3½"	5010#	SIMPSON HD5	(2) ¾" DIAM STUD BOLTS	¾"
	6480#	SIMPSON HD7	(3) ⅞" DIAM STUD BOLTS	⅞" OR 1"
	10330#	SIMPSON HD9	(3) 1" DIAM STUD BOLTS	⅞" OR 1"
	11350#	SIMPSON HD12	(4) 1" DIAM STUD BOLTS	1"

NOTES
- ½" DIAMETER A307 ALL THREAD SET IN 9/16" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 5"
- ⅝ DIAMETER A307 ALL THREAD SET IN ¾" DIAMETER HOLE W/ SIMPSON SET EPOXY, MIN EMBED 8"
- ¾" DIAMETER A307 ALL THREAD SET IN ⅞" DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 6".
- 1" DIAMETER A307 ALL THREAD SET IN 1⅛" DIAMETER HOLE W/ SIMPSON SET OR EQUAL, MIN EMBED 9".

MULTIPLE MEMBER CONNECTIONS FOR 1.9E MICROLLAM LVL BEAMS



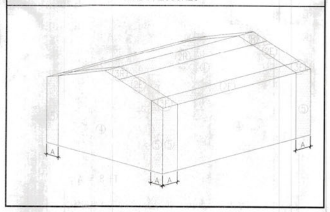
2 PIECES - 1¾" WIDE:
- MINIMUM (2) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS LESS THAN 14" DEEP
- MINIMUM (3) ROWS OF 12d NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 14" DEEP

3 PIECES - 1¾" WIDE:
- (3) ROWS OF 12d NAILS AT 12" O.C.; OR
- (2) ROWS OF ½" BOLTS AT 12" O.C.; OR
- (2) ROWS OF ½" X 3½" LAG SCREWS AT 12" O.C.

4 PIECES - 1¾" WIDE:
- (2) ROWS OF ½" BOLTS AT 12" O.C.; OR
- (2) ROWS OF ½" X 3½" LAG SCREWS AT 12" O.C.

GENERAL NOTES:
- A307 BOLTS WITH WASHERS REQUIRED. BOLT HOLES TO BE 9/16" MAXIMUM.
- SCREWS MUST HAVE SELF-DRILLING TIP AND MINIMUM BENDING YIELD STRENGTH OF 217,000PSI.
- 6" LONG SCREWS REQUIRED.
- CONNECTION INSTRUCTIONS ON PLAN SUPERSEDE PRECEDING.

ROOF AND WALL ZONES FOR COMPONENTS AND CLADDING WIND PRESSURES



DESIGN WIND PRESSURES FOR COMPONENTS AND CLADDING

POSITIVE PRESSURES = INWARD
NEGATIVE PRESSURES = OUTWARD (SUCTION)
ALL PRESSURE VALUES ARE IN PSF. ASD.

COMPONENT AREA (SQ. FT.)	
	ZONE 1
10	+24.0/-43.2
	ZONE 2E
	+24.0/-59.5
	ZONE 2R
	+24.0/-59.5
	ZONE 3E & 3R
	+24.0/-59.5
SOFFIT PRESSURE	ZONE 2E
	+24.0/-68.3
	ZONE 3E & 3R
	+24.0/-84.6

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS FOR THIS RESIDENCE COMPLY WITH THE APPLICABLE STRUCTURAL PROVISIONS OF THE 2020 EDITION OF THE FLORIDA BUILDING CODE, RESIDENTIAL (FBC-R), 7TH EDITION.

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

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JODY D. YOUNG JR., PE
FLPE# 70781

A Custom Home for:
ANTHONY & VICKI SKIDMORE
608 BAYVIEW DRIVE, LONGBOAT KEY, FL 34228

STRUCTURAL NOTES/SPECS
1/4" = 1' - 0"

REVISIONS	
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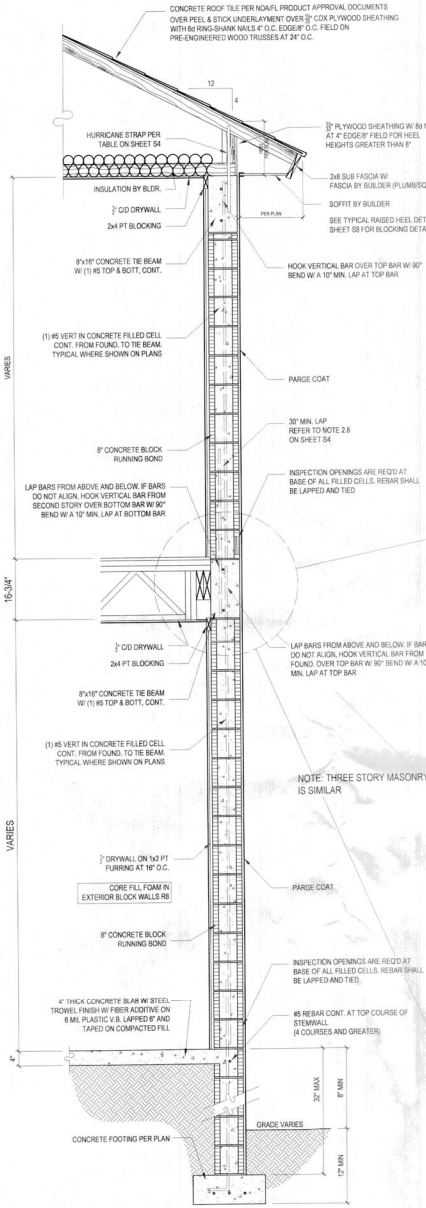
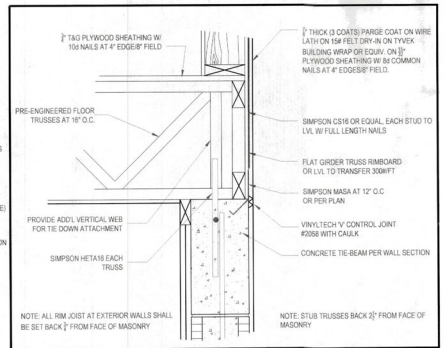
JDY	06.09.2021

S4

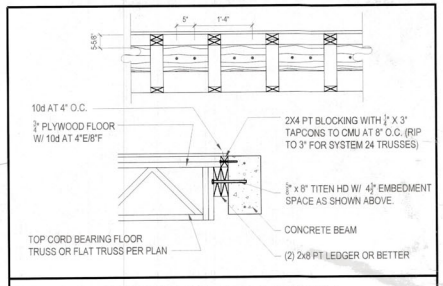


TYPICAL MULTI STORY MASONRY WALL SECTION

SCALE: 3/4" = 1'-0"



TRUSSES PERPENDICULAR TO WALL



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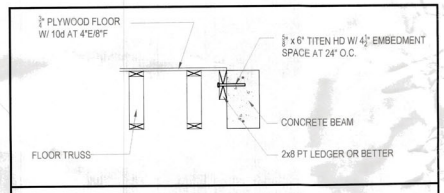
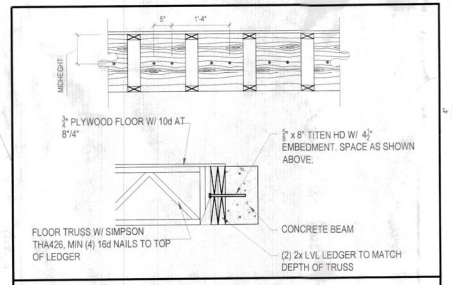
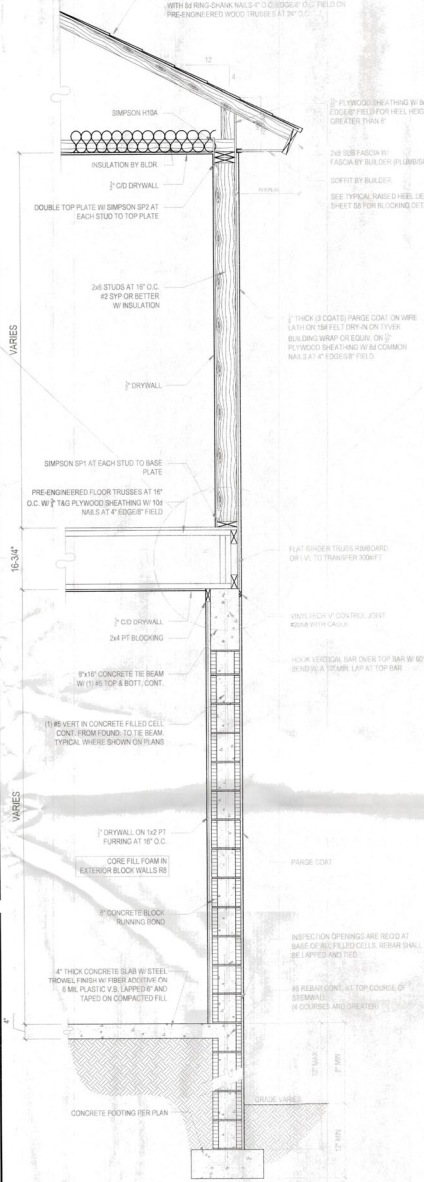


TRUSSES PARALLEL TO LEDGER

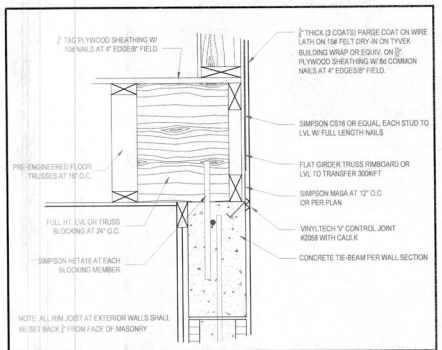


TRUSSES DIAGONAL TO LEDGER

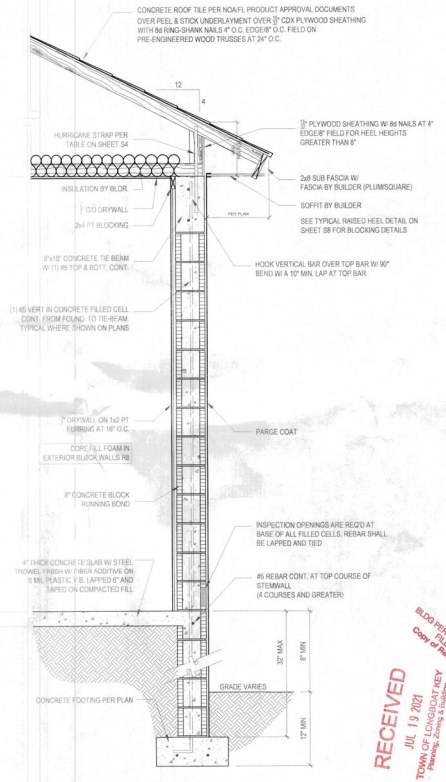


TYPICAL TWO STORY WALL SECTION

SCALE: 3/4" = 1'-0"



TRUSSES PARALLEL TO WALL



TYPICAL ONE STORY WALL SECTION

SCALE: 3/4" = 1'-0"

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FBPE# 31037

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FL Reg 70781

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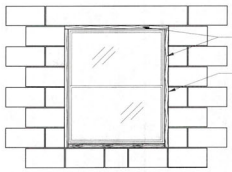
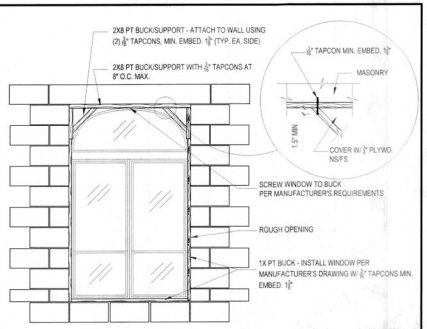
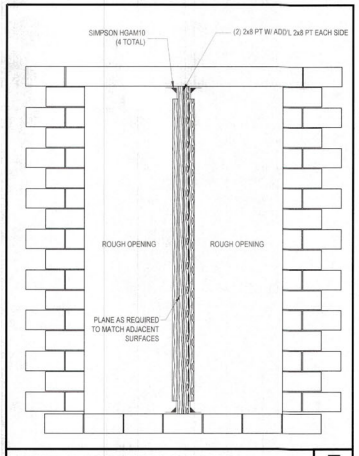


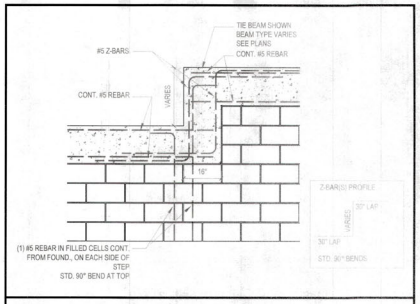
TYPICAL WINDOW DETAIL **A**



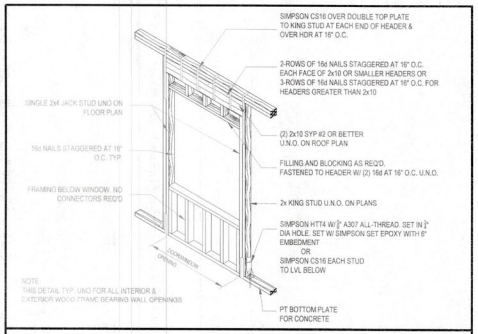
ELLIPTICAL WINDOW DETAIL **B**



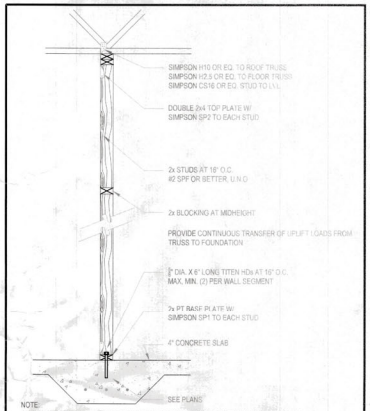
VERT. WINDOW MULLION **F**



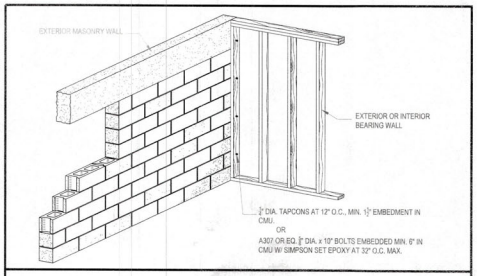
TIE BEAM STEP



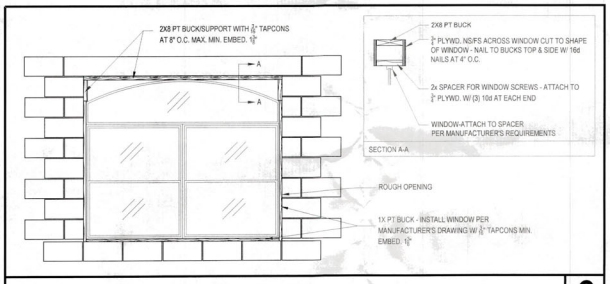
BEARING WALL HEADER DETAIL



INTERIOR BEARING WALL DETAIL



MIXED CONSTRUCTION DETAIL



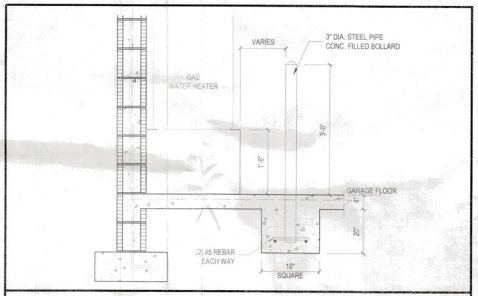
EYEBROW WINDOW DETAIL **C**

1. WINDOW/DOOR INSTALLATION

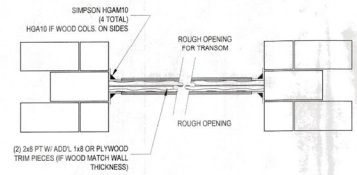
1.1 SEE MANUFACTURER'S DRAWINGS FOR DETAILS AND SPACING OF TAPCONS/BOLTS.
1.2 DETAILS B OR C MAY BE USED FOR FAN/HALF CIRCLE WINDOWS U.N.O.
1.3 PRECAST WINDOW SILLS SHALL BE WIND RESISTANT PRECAST WINDOW SILLS AS MANUFACTURED BY CAST'CRETE OR EQ.
1.4 WINDOW DETAILS B AND C MAY BE USED INTERCHANGEABLY AND AT SILL FOR ROUND OR OVAL WINDOWS.
1.5 WOOD FILLER MAY BE USED AS REQUIRED TO MAINTAIN 1/4" GAP OR LESS AT CORNER OF ROUND AND SQUARE WINDOWS.

2. GENERAL CONNECTIONS NOTES

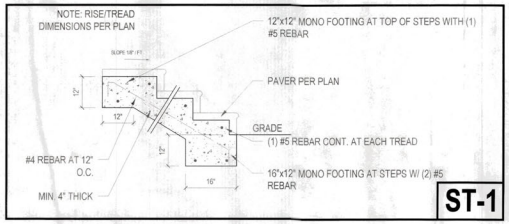
2.1 CONNECTIONS SHOWN ON SHEET S2 ARE RECOMMENDED.
2.2 OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.



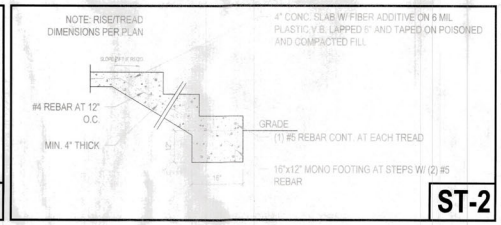
BOLLARD DETAIL



WOOD HEADER BEAM DETAIL **D**



ST-1



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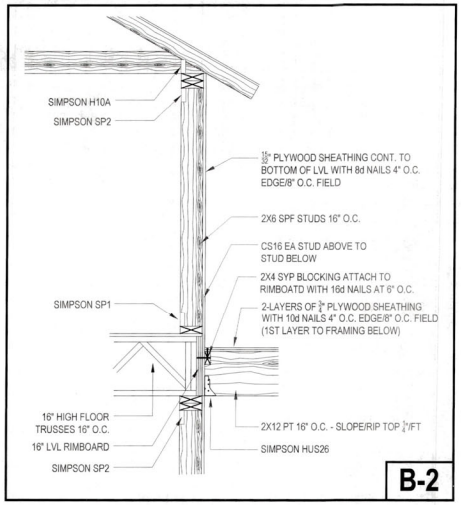

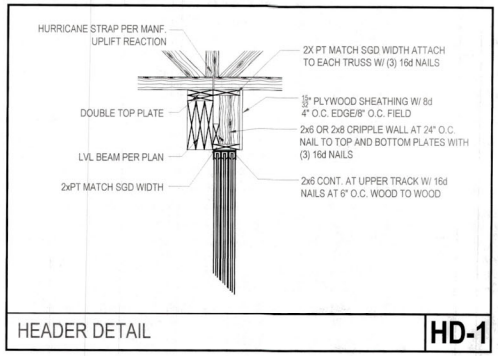

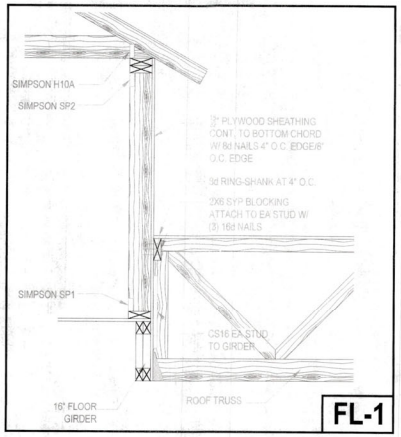

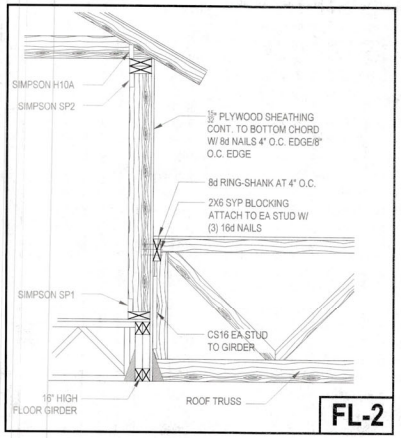

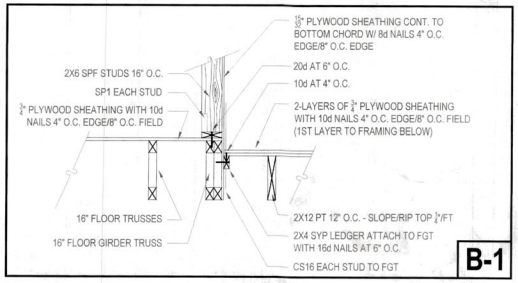

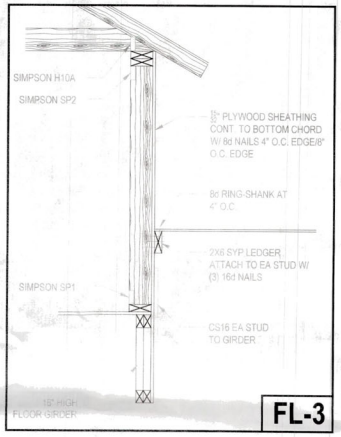

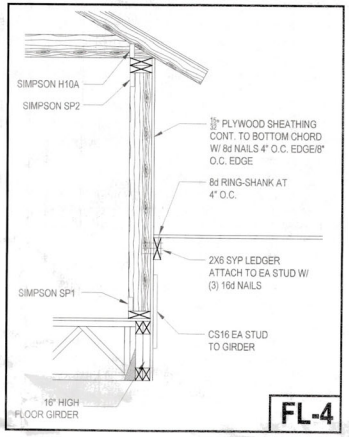

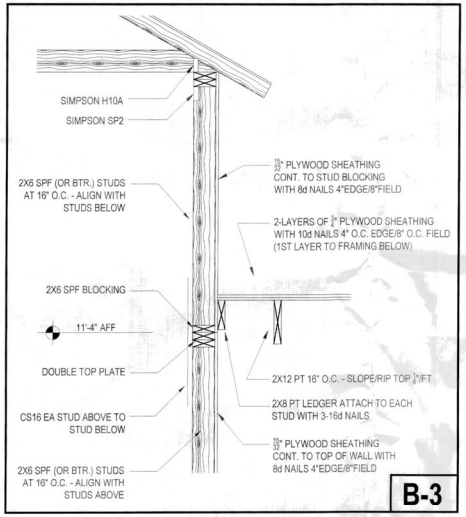

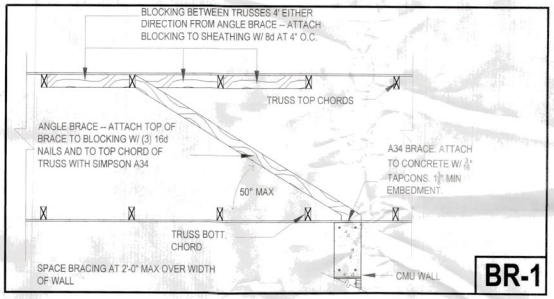

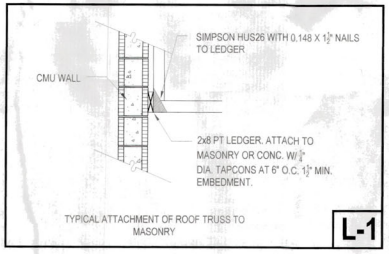

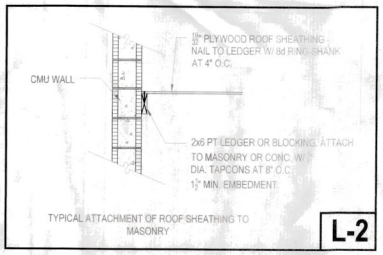

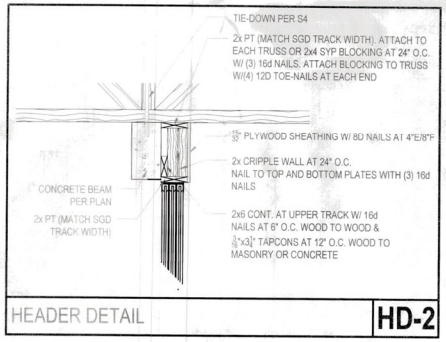

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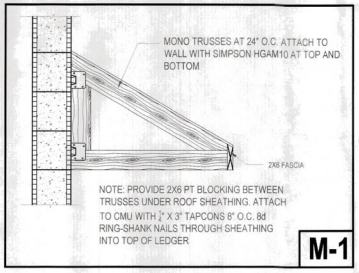

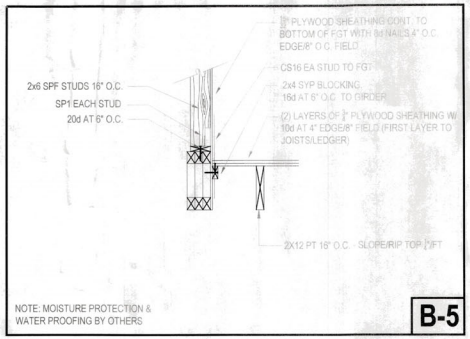

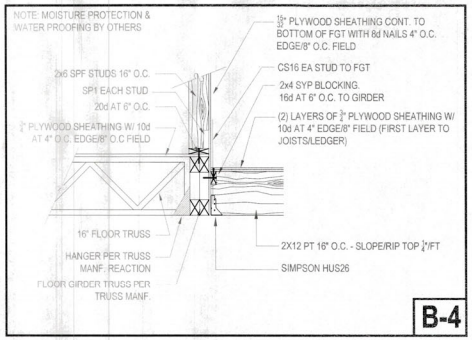

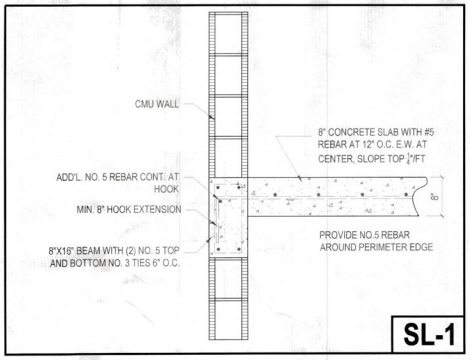

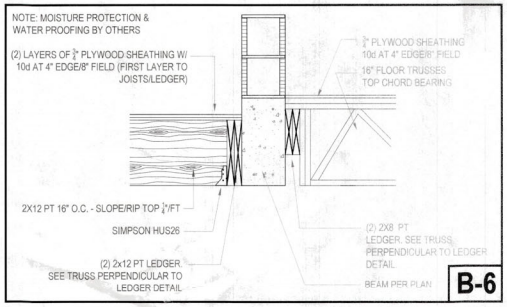

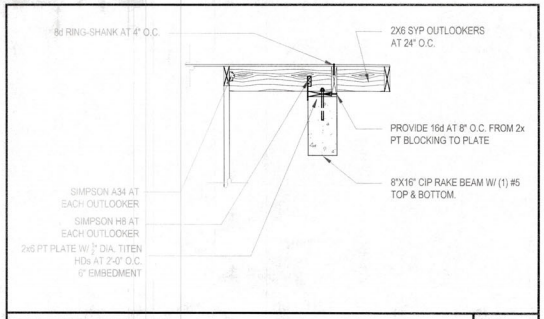

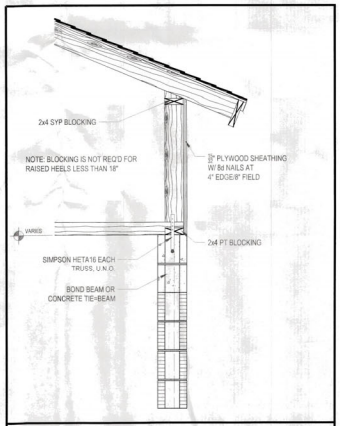

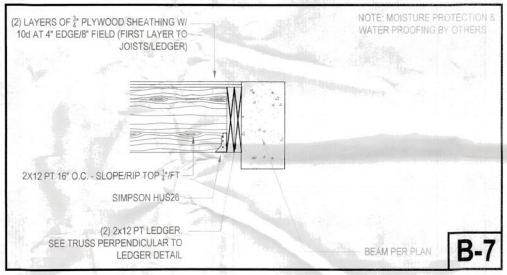

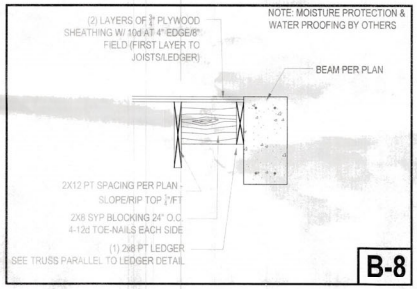

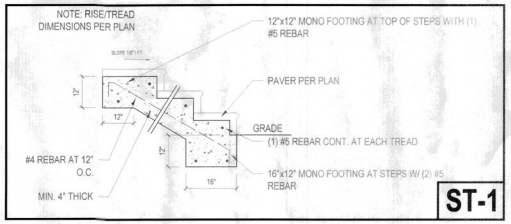

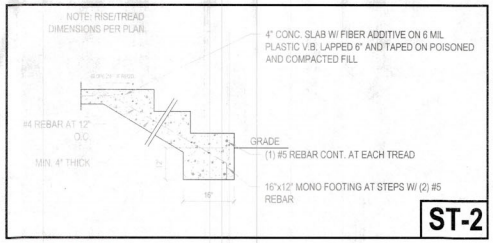

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