



THE PRESERVE – LOT 109

PROPOSED SINGLE FAMILY RESIDENCE
Permit Drawings

6820 Longboat Drive South
Longboat Key FL, 34228

BLDG PERMIT PLANS
FILE
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NOTES

Permit # 1621-0350
REVIEWED FOR CODE COMPLIANCE
LONGBOAT KEY BUILDING DEPT.
JUN 11 2021
APPROVED
Reviewer: PAUL F. B...

THE PRESERVE
LOT 109
6820 Longboat Drive South
Longboat Key FL, 34228

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RECEIVED
MAR 28 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building



2019 19
A.O.O.
12 MARCH 2020

DIVISION 1: GENERAL REQUIREMENTS

1.1. BY REFERENCE: THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AS A DOCUMENT (001), LATEST EDITION, IS HEREBY MADE PART OF THESE SPECIFICATIONS EXCEPT AS HEREIN MODIFIED.

1.2. THESE PLANS ARE THE PROPERTY OF C. ALAN ANDERSON ARCHITECTS, INC. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE, WITHOUT WRITTEN PERMISSION OF C. ALAN ANDERSON ARCHITECTS, INC. OR ANY CONTRACTOR EXECUTED FROM THESE PLANS WITHOUT THE EXPRESSED APPROVAL OF C. ALAN ANDERSON ARCHITECTS, INC. OR ANY CHANGE IN SCOPE, DESIGN, OR INTENT FOR ANY REASON, BY ANY PERSON OTHER THAN C. ALAN ANDERSON ARCHITECTS, INC. SHALL BE HEREBY ASSIGNED TO C. ALAN ANDERSON ARCHITECTS, INC. FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

1.3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS SO INDICATED AS REQUIRED BY ANOTHER. PERFORMANCE OF THE WORK SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS. AMENDMENTS SHALL BE TOLERATED RATHER THAN RULE. IN THE EVENT OF A CONFLICT OR INCONSISTENCY AMONG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE CODES, THE CONTRACTOR SHALL PROVIDE THE GREATEST QUANTITY, LARGEST DEGREE OF SAFETY, HIGHEST QUALITY OR MOST STRINGENT MATERIAL, OR WORK.

1.4. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY ACQUAINT HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS CONCERNING OTHER TRADES AND SUBCONTRACTORS AND SHALL COORDINATE ALL SUBCONTRACTORS TO INSURE PROPER SEQUENCING OF WORK AND SCHEDULING OF TRADES TO AVOID CONFLICT WITH HIS WORK.

1.5. SUBMIT SHOP DRAWINGS ON ALL PRODUCTS TO BE INSTALLED ON THE PROJECT FOR REVIEW BY THE ARCHITECT. CONTRACTOR SHALL MAINTAIN ONE SET OF SHOP DRAWINGS TO BE TURNED OVER TO THE OWNER AT THE END OF THE PROJECT ALONG WITH THE CONTRACTORS WARRANTY SCHEDULE, PRODUCT DATA AND AS-BUILT DRAWINGS.

1.6. THE DRAWINGS ARE SCHEMATIC IN NATURE AND REPRESENT BASIC REQUIREMENTS NECESSARY TO PROPERLY CONSTRUCT THE PROJECT. CONTRACTOR SHALL INSPECT AND VERIFY THE SCOPE OF WORK. ANY ADDITIONAL WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS BUT NECESSARY TO FULLY COMPLY WITH THE SPECIFICATIONS TO SATISFY APPLICABLE CODES IN ORDER TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE CONSIDERED AS PART OF THIS CONTRACT. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS.

1.7. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

1.8. NO INSTRUCTIONS, REVISIONS, ADDITIONS, DELETIONS, SPECIFICATIONS OR DETAILS OTHER THAN THE INFORMATION CONTAINED HEREIN SHALL COVER THE PROJECT UNLESS THEY ARE IN WRITING AND APPROVED BY THE ARCHITECT, OWNER AND CONTRACTOR IN THE FORM OF A CHANGE ORDER, OR OTHER APPROVED METHOD.

1.9. SUBSTITUTION OF MATERIALS AND METHODS MUST BE SUBMITTED TO THE ARCHITECT AND APPROVED IN WRITING. THE FINAL DECISION AS TO THE EQUALITY OF ANY ITEM SPECIFIED SHALL REST WITH THE ARCHITECT. THE CONTRACTOR SHALL PROVIDE PRODUCT DATA, SHOP DRAWINGS AND RELATIVE COSTS OF SUBSTITUTE ITEMS TO ARCHITECT FOR HIS REVIEW.

1.10. THE ARCHITECT AND HIS SUBCONTRACTORS SHALL WARRANT ALL WORK FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR. CONTRACTOR SHALL COMPLY WITH ALL PRODUCT INFORMATION AND MANUFACTURERS WARRANTIES. ONE SINGLE COPY OF ALL PRODUCT INFORMATION AND MANUFACTURERS WARRANTIES WILL BE TURNED OVER TO THE OWNER AT THE END OF THE PROJECT. CONTRACTOR SHALL INCLUDE LIST OF ALL SUBCONTRACTORS, CONTACTS AND PHONE NUMBERS.

1.11. ALL PRODUCTS AND MATERIALS TO BE INSTALLED SHALL MEET OR EXCEED MANUFACTURERS RECOMMENDED STANDARDS AND SHALL BE EFFECTUALLY WARRANTED TO OWNER.

1.12. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE LABOR LAWS OF THE STATE OF THE PROJECTS LOCATION AND WITH ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS BY STATE OR LOCAL AUTHORITIES AS THEY MAY APPLY TO THE PROJECT.

1.13. IN CASE OF DISCREPANCY CONCERNING DIMENSION, QUANTITY, LOCATION, GRAPHIC DRAWINGS WILL TAKE PRECEDENCE OVER THE SPECIFICATIONS. SUPPLEMENTARY NOTES ON THE DRAWINGS WILL TAKE PRECEDENCE OVER CONFLICTING DRAWING INDICATIONS. LARGE SCALE DETAILS WILL TAKE PRECEDENCE OVER SMALL SCALE DETAILS. DIMENSIONS AND MEASUREMENTS WILL IN ALL CASES BE VERIFIED BY THE ACTUAL CONDITIONS OF WORK. AMOUNT OF MATERIALS TO BE INSTALLED SHALL BE DETERMINED BY THE ACTUAL CONDITIONS OF WORK. CONCERNING QUANTITY, QUANTITY WHEN THE DOCUMENTS, THE CONTRACTOR SHALL INCLUDE THE BETTER QUALITY AND/OR THE GREATER QUANTITY UNLESS OTHERWISE DETERMINED IN WRITING BY THE ARCHITECT.

1.14. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A COMPETENT SUPERVISOR ON THE PROJECT WHENEVER WORK IS BEING PERFORMED.

1.15. THE CONTRACTOR SHALL GIVE 24 HOUR NOTICE TO THE ARCHITECT WHEN HIS PRESENCE IS REQUESTED FOR SPECIAL CONSULTATIONS, MEETINGS OR OTHER REASONS.

1.16. CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE WORK INSTALLED BY OTHERS INsofar AS IT APPLIES TO HIS WORK, AND SHALL PROMPTLY NOTIFY THE CONTRACTOR AND ARCHITECT IF ANY CONDITION EXISTS THAT WILL PREVENT HIM FROM PRODUING SATISFACTORY AND ACCEPTABLE RESULTS IN HIS WORK. NO WORK SHALL BE STARTED WITHOUT SUCH NOTIFICATION. IT SHALL PLACE UPON HIM THE RESPONSIBILITY FOR REPLACING ANY OF HIS WORK AND THE WORK OF OTHERS THAT MAY BE NECESSARY TO BE REMOVED IN ORDER TO PRODUCE SATISFACTORY AND ACCEPTABLE CONDITIONS.

1.17. ITEMS, MATERIALS OR EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS AS FURNISHED BY THE OWNER AND INSTALLED BY CONTRACTOR SHALL BE UNLESS OTHERWISE ASSEMBLED, INSTALLED AND CONNECTED BY THE CONTRACTOR AND SHALL BE COMPLETE AND PLACED IN OPERATING ORDER. THE OWNER SHALL FURNISH THE CONTRACTOR ALL INFORMATION THE CONTRACTOR MAY REQUIRE TO PROPERLY COMPLETE THE ABOVE-MENTIONED OBLIGATIONS.

1.18. THE CONTRACTOR SHALL SLOOT NOT LESS THAN THREE (3) BIDS FOR ANY ITEM (S) WHOSE COST IS PROVIDED FOR BY A SPECIFIED ALLOWANCE. SO IF SO DICTATED BY THE ARCHITECT, AND SHALL THEN PURCHASE THE ITEM(S) FROM ONE OF THE THREE BIDDERS AS HIS FASTEST BY MAIL.

1.19. TESTING AND INSPECTIONS REQUIRED TO ESTABLISH COMPLIANCE WITH THE CONTRACT DOCUMENTS SHALL BE MADE BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE ARCHITECT AND PAID FOR BY THE CONTRACTOR AS PART OF BASE BID. WHEN THE INITIAL TESTS INDICATE NONCOMPLIANCE WITH THE CONTRACT DOCUMENTS, ANY SUBSEQUENT TESTING/RETESTING OCCASIONED THEREBY SHALL BE PERFORMED BY THE SAME AGENCY AND THE COST THEREOF PAID BY THE CONTRACTOR.

1.20. BEFORE ORDERING MATERIALS OR STARTING ANY WORK, THE CONTRACTOR SHALL IN ALL CASES VERIFY MEASUREMENTS AT THE SITE OR FINISHES AND ADJUST AGAINST DIMENSIONS.

DIVISION 2: SITE WORK
2.1. CONTRACTOR SHALL UTILIZE A PROFESSIONAL LAND SURVEYOR FOR BUILDING LAYOUT AND FLOOR ELEVATION/GRADE BEAM CERTIFICATION FOR FLOOD INSURANCE COMPLIANCE IF APPLICABLE OR AS REQUIRED BY LOCAL MUNICIPALITY AND STATE CERTIFICATION REQUIREMENTS.

2.2. CONTRACTOR SHALL COORDINATE AND VERIFY SIZES AND LOCATIONS OF ALL UTILITY CONNECTIONS WITH RESPECTIVE AGENCIES.

2.3. PLACE AND COMPACT FILL IN LAYERS NOT TO EXCEED 6". BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL, UNLESS OTHERWISE NOTED. ALL CONSTRUCTION SHALL BE TO 98% MODIFIED PROCTOR DENSITY.

2.4. REMOVE AND DISPOSE OF EXCESS EXCAVATED MATERIAL, TRASH AND DEBRIS IN A LEGAL MANNER.

2.5. POISON SOIL AGAINST TERMITES BENEATH ALL CONCRETE SLABS PRIOR TO PLACING VAPOR BARRIER. PROVIDE FIVE (5) YEAR TERMITE IRRADIATION SYSTEM.

2.6. PROVIDE AND INSTALL A COMPLETE AUTOMATIC IRRIGATION SYSTEM ON ALL SODDEN AND LANDSCAPED AREAS. IRRIGATION CONTRACTOR SHALL SUBMIT A LAYOUT COVERAGE PLAN TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE THIS COST TO THE OWNER AS AN ALTERNATE OPTION UNLESS REQUIRED BY LOCAL ORDINANCE.

2.7. SUBGRADE PREPARATION SHALL INCLUDE STRIPPING AND GRUBBING OF SUPERFICIAL VEGETATION, FOLLOWED BY COMPACTION OF THE BUILDING FOOTING A MINIMUM OF 6" WITH A VIBRATORY ROLLER WITH A MINIMUM OF 2 OVERLAPPING PASSES IN EACH DIRECTION. THE OPERATION OF VIBRATORY ROLLERS SHALL BE LIMITED TO AVOID EXCESSIVE VIBRATIONS TO ANY EXISTING NEARBY BUILDINGS THAT COULD CAUSE SETTLEMENT DAMAGE.

2.8. GRADE GROUND SURFACE TO CONFORM TO ADJACENT CONTOURS AND TO PROVIDE FOR ADEQUATE CONTROL AND DRAINAGE OF WATER RUNOFF. SLOPE ALL EXTERIOR GRASSES AWAY FROM BUILDING.

DIVISION 3: CONCRETE

3.1. COMPLY WITH ALL APPLICABLE ACI STANDARDS AND SPECIFICATIONS.

3.2. ALL SLABS ON GRADE SHALL BE 4" CONCRETE WITH SMOOTH TROWEL FINISH UNLESS NOTED OTHERWISE.

3.3. CONCRETE SLAB AREAS TO RECEIVE CABINET OR FLOORING SHALL BE CLEAN AND FREE OF DUST AND SEALED WITH LOW LEAKING SEALER PRIOR TO INSTALLATION OF FINISH.

3.4. ALL STRUCTURAL CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS WITH MAXIMUM SLUMP OF 4". CEMENT TO MEET ASTM C-150, TYPE 1 AGGREGATE TO MEET ASTM C-33 UNLESS NOTED OTHERWISE.

3.5. VAPOR BARRIER SHALL BE 6 MIL POLYETHYLENE, ALL JOINTS 6" LAPPED AND TAPED.

3.6. WELDED WIRE FABRIC SHALL BE 6 X 6 - 10/10 W/ SAW/UNT CONTROL JOINTS WITHIN 12 HOURS OF POUR.

3.7. STEEL REINFORCEMENT SHALL BE GRADE 60 AND CONFORM WITH ASTM A-615.

3.8. FORMWORK DESIGN AND FABRICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ACI 347.

3.9. ALL CONCRETE SLAB PENETRATIONS SHALL BE SEALED WITH EXPANSIVE SETTING COMPOUND. PROVIDE FRESH STOPPING AT ALL FLOOR FLOOR PENETRATION WHERE FRESH RESISTANT GRATES ARE INDICATED.

3.10. ALL SAWN CONTROL JOINTS SHALL BE SAWS WITHIN 12 HOURS OF CONCRETE PLACEMENT.

3.11. EXPANSION JOINT FILLER TO MEET ASTM D-1751, 1/2" ASPHALT IMPREGATED FIBERBOARD W/ SEALANT CAP, OR POLYURETHANE FOAM W/ SEALANT CAP.

3.12. FLOOR SLAB TOLERANCES TO BE 1/8" IN 10'-0" MAXIMUM.

DIVISION 4: MASONRY

4.1. COMPLY WITH RECOMMENDATIONS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCA).

4.2. CONCRETE MASONRY UNITS SHALL BE 8" CELL BLOCKS MADE OF PORTLAND CEMENT, WATER AND APPROVED AGGREGATES AND SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HELIX-LUMBER MASONRY UNITS ASTM DESIGNATION C90-70 GRADE A WITH A MINIMUM COMPRESSIVE STRENGTH OF 1000 PSI.

4.3. MORTAR SHALL BE TYPE "S" UNLESS OTHERWISE NOTED AND CONFORM TO ASTM C-270 WITH GALVANIZED "LADDER TYPE" HORIZONTAL WALL REINFORCING (#3 WIRE) AT EVERY SECOND COURSE, AND PREFABRICATED CORNER AND TE SECTIONS, PER ASTM A-441.

4.4. EXTERIOR HOLLOW MASONRY UNIT CONSTRUCTION: PROVIDE VERTICAL REINFORCEMENT (1 #5 MIN) AT ALL CORNERS, ADJACENT OF OPENINGS, AND AT 4'-0" ON CENTER MAXIMUM OR AS NOTED ON STRUCTURAL DRAWINGS. REINFORCED CELLS SHALL BE POURED SOLID.

4.5. POURED SOLID CELLS SHALL BE FILLED WITH CONCRETE (SLUMP "7 +/-1") WITH A MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI. THE CELLS SHALL HAVE VERTICAL ADJACENT TO A MINIMUM A CLEAN, UNDISTURBED, CONTINUOUS CELL. GROUT SHALL BE POURED IN LIFTS NOT TO EXCEED 8'-0". CONTRACTOR SHALL PROVIDE CLEAN-OUTS AT ALL GROUTED CELLS FOR INSPECTION.

4.6. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, THE GROUTING SHALL BE STOPPED 1/2" BELOW THE TOP OF THE UPPERMOST UNIT.

4.7. CONCRETE FILLED CELLS SHALL BE 1/4" Ø DIAMETER BAR VERTICAL (FOUNDATION TO BE BEAM).

4.8. MASONRY UNITS SHALL BE DRY BRUSHED AT END OF EACH DAY'S WORK.

DIVISION 5: METALS

5.1. ALL DRESSLAP METALS SHALL BE ISOLATED BY INERT MATERIALS IN ORDER TO PREVENT CORROSION.

5.2. ALL STRUCTURAL METAL COMPONENTS, INCLUDING EXPOSED OR EMBEDDED TIES, CLIPS AND BELTS, SHALL BE HOT-DIPPED GALVANIZED.

5.3. SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

5.4. STEEL PLATES, SHAPES AND BARS TO BE ASTM A-36.

5.5. HIGH STRENGTH BOLTS AND NUTS, ASTM A-325 UNFINISHED BOLTS AND NUTS, ASTM A-302 GRADE A.

5.6. SHOP PAINT ALL ITEMS, NOT SPECIFIED TO BE GALVANIZED, T-P-86, TYPE II, OR SSPC-PAIN 14.

5.7. CONTRACTOR TO FURNISH CUSTOM FABRICATED PLATES, ANCHORS, HANGERS, ANGLES AND OTHER MISCELLANEOUS STEEL AND IRON SHAPES FOR FRAMING, SUPPORTING, AND ANCHORING WOODWORK.

5.8. AFTER INSTALLATION, CLEAN ALL FELD WELDS, BOLT CONNECTIONS AND ABRADED AREAS AND APPLY SHOP PRIMER. USE GALVANIZING REPAIR PAINT ON GALVANIZED SURFACES.

5.9. FINISH PAINT ALL ITEMS EXPOSED TO VIEW AFTER COMPLETION.

DIVISION 6: CARPENTRY

6.1. COMPLY WITH SOFTWOOD LUMBER STANDARD SP50 (U.S. DEPT. OF COMMERCE) AND NATIONAL DESIGN SPECIFICATIONS FOR STESS GRADE LUMBER AND ITS FASTENERS BY NMA.

6.2. FRAMING METHODS, NUMBER OF MEMBERS AND FASTENERS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

6.3. WARPAGE, DISCOLORATION, WATER STAINS OR OTHER DAMAGE DUE TO IMPROPER STACKING OR LACK OF COVERAGE OF MATERIALS INCLUDED IN 6.9 ABOVE SHALL BE CONSIDERED SUFFICIENT CAUSE FOR REJECTION OF THEIR USE BY THE CONTRACTOR.

6.4. WOOD BASE AND STAIN SHALL BE 5-1/2" HIGH BY 5/8" KILN-DRIED WHITE PINE UNLESS SHOWN OTHERWISE ON THE DRAWINGS (STYLE TO BE SELECTED BY ARCHITECT).

6.5. ALL WOOD IN CONTACT WITH EARTH OR CONCRETE SHALL BE PRESURE TREATED FOR APPROPRIATE USE IN ACCORDANCE WITH A N.F.P.A. STANDARDS.

6.6. FURRING ON MASONRY WALLS TO BE 2x4 PT 6 24" O.C. UNLESS NOTED OTHERWISE W/ 1 1/2" WALL BATT INSULATION.

DIVISION 7: THERMAL & MOISTURE PROTECTION
7.1. COMPLY WITH MANUFACTURERS RECOMMENDATIONS ON ALL WORK.

7.2. FURNISH FIFTEEN (15) YEAR WARRANTY ON ROOFING MATERIALS ASSOCIATED WITH ROOFING SYSTEM. REPAIR OR REPLACE WORK WHICH LEAKS, WATER, DETERIORATES EXCESSIVELY, OR OTHERWISE FAILS TO PERFORM AS REQUIRED DUE TO MATERIALS AND WORKMANSHIP. GUARANTEE SHALL BE SIGNED AND NOTARIZED BY GENERAL CONTRACTOR.

7.3. INSTALL ROOFING SYSTEMS, FLASHING, AND OTHER ACCESSORIES IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICES AND RECOMMENDATIONS.

7.4. METAL FLASHING AND CONTOUR FLASHINGS TO BE PRE-FINISHED ALUMINUM. COLOR SELECTION BY ARCHITECT, UNLESS NOTED OTHERWISE.

DIVISION 8: DOORS & WINDOWS

8.1. COMPLY WITH "RECOMMENDED SPECIFICATIONS FOR STANDARD STEEL DOORS AND FRAMES" (301-100) AND ANS/ANM/A1.1 AND SECTION 13.00 OF "ARCHITECTURAL WOODWORK QUALITY STANDARDS" ON ALL WOOD DOORS AS APPLICABLE. PROVIDE IMPACT RESISTANT DOORS WHERE NOTED.

8.2. GLAZING SHALL BE AS NOTED ON THE WINDOW SCHEDULE.

8.3. ALL MIRRORS SHALL BE 1/4" ROUGHED PLATE GLASS COUNTER TOP TO CEILING AND FULL WIDTH OF CABINET.

8.4. ALL WOOD DOORS SHALL BE STAIN GRADE EACH FACE WITH PYPE (SOLID CORE OR HOLLOW CORE) AND SIZES AS SPECIFIED ON DRAWINGS.

8.5. FRONT DOOR HINGES SHALL BE SOLID BRASS BALL BEARING WITH THREE PINES PER DOOR, UNLESS OTHERWISE NOTED OR SELECTED.

8.6. ALL THRESHOLDS SHALL BE ADA APPROVED PRE-FINISHED ALUMINUM, UNLESS OTHERWISE NOTED.

8.7. ALL BI-FOLD DOOR TRACKS SHALL BE HEAVY DUTY DOUBLE ROLLER TYPE.

8.8. ALL BATHROOM DOORS SHALL HAVE PRIVATE LOCKS.

8.9. CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE, FITTINGS, ANCHORAGES, ETC. FOR PROPER INSTALLATION OF ALL DOORS, WINDOWS, ETC. COORDINATE FINAL HARDWARE SELECTIONS WITH OWNER AND ARCHITECT.

DIVISION 9: FINISHES

9.1. 1/2" OR 5/8" GYPSUM WALLBOARD SHALL BE INSTALLED WITH STANDARD GYPSUM WALLBOARD JOINTS ON ALL SURFACES. ON CEILING USE 5/8" GYPSUM WALLBOARD AND LIGHT-GRADE PEEL TEXTURED FINISH WHICH SHALL BE INSTALLED OVER "STAIN-RESISTANT" CORE. COMPLY WITH ALL ANSI SANS 8.00 MANUFACTURERS RECOMMENDATIONS FOR MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS AND NET AREAS.

9.2. ALL INTERIOR AND EXTERIOR CORNER BEADS SHALL BE RALLED PLUMB, LEVEL AND STRAIGHT. FRAMING IRREGULARITIES THAT PROHIBIT THE STANDINGS CALLED FOR SHALL BE CORRECTED BY THE FRAMING CONTRACTOR AT THE REQUEST OF THE ARCHITECT. CONTRACTOR PRIOR TO HARDWARE INSTALLATION, WORKMANSHIP INSUROR TO THESE STANDARDS SHALL NOT BE ACCEPTED.

9.3. PROVIDE CASING BEADS AT ALL EXPOSED EDGES AND WHEREVER DRYWALL MEETS OTHER CEILING OR FINISHES. PROVIDE FLUSH JOINT TREATMENT AND PREPARE SURFACES FOR FINISHING.

9.4. ALL INTERIOR GYPSUM WALLBOARD SHALL HAVE LIGHT ORANGE PEEL TEXTURED SURFACES UNLESS OTHERWISE INDICATED. PROVIDE WOOD BOARD OR DOME-SHIELD THE BACKER W/ FELT UNDERLAYER AT ALL SHOWER AND TUB AREAS. INSTALLED IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.

9.5. EXTERIOR CEILING PLASTER SHALL BE: 1" THICK ON K-LATH (2 COAT); 5/8" THICK ON CONCRETE MASONRY UNITS (2 COATS). PLASTER FOR INTERIOR SHALL BE MARBLE. ALL CEMENT PLASTER INSTALLATIONS AND MATERIALS TO CONFORM WITH LATEST APPLICABLE ASTM STANDARDS. PLASTER FINISH TO BE SELECTED BY ARCHITECT.

9.6. THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE WORK OF OTHERS PRIOR TO THE APPLICATION OF PAINT. IF SURFACE TO BE FINISHED CANNOT BE PUT IN SATISFACTORY CONDITION FOR PAINTING BY CUSTOMER, PREPARATION METHODS, THE PAINTING CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OR ASSIGNED SUPERVISOR FOR AND RECTIFY. ANY UNSATISFACTORY FINISHES THAT MAY RESULT.

9.7. ALL WORK SHALL BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER. ALL PAINT AND OTHER FINISHES MUST BE EVENLY SPREAD AND FLOEED ON AND SHALL BE FREE FROM RUNS, SAGS AND OTHER DEFECTS. ALL COATS SHALL BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS.

9.8. EXTERIOR FINISHES ARE NOT TO BE APPLIED IN RAINY OR DAMP WEATHER. ALL SURFACES SHALL BE THOROUGHLY DRY. INTERIOR PAINTING SHALL NOT BE PERMITTED UNTIL THE BUILDING IS COMPLETELY DRYED-IN.

9.9. PREPARE SURFACES IN CONFORMANCE TO PAINT MANUFACTURERS' RECOMMENDATIONS. REMOVE HARDWARES, LIGHT FIXTURES AND OTHER ITEMS NOT TO BE PAINTED OR PROVIDE SURFACE APPLIED PROTECTION. REINSTALL REMOVED ITEMS. PROTECT WORK OF OTHER TRADES.

9.10. APPLY PAINT IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. APPLY ADDITIONAL COATS AS REQUIRED TO PROVIDE PROPER COVERAGE. 100% SPACITY IS REQUIRED EXCEPT FOR TRANSPARENT OR SEMI-TRANSPARENT FINISHES. PAINT INSIDE OF DUCTS, WHERE VISIBLE THROUGH REGISTERS OR GRILLS, FLAT BLACK. FINISH EXTERIOR DOORS ON TOPS, BOTTOMS AND EDGES.

9.11. COLOR SELECTION SHALL BE PROVIDED BY ARCHITECT PRIOR TO COMMENCEMENT OF PAINTING. IF 100% SPACITY CANNOT BE ACHIEVED WITH NUMBER OF COATS SPECIFIED BECAUSE OF COLOR SELECTED, ADDITIONAL COATS SHALL BE ADDED. PREPARE SAMPLE AREA OF EACH COLOR FINISH SELECTED FOR ARCHITECT AND OWNER.

9.12. ALL ADJACENT WORK AND MATERIALS MUST BE PROTECTED WITH SUITABLE COVERS DURING THE PROGRESS OF WORK.

9.13. THE FINISH FLOOR AND UNDERLAYER MATERIAL SHALL BE COVERED AND PAINT OR STAIN SPILLED SHALL BE REMOVED.

9.14. THE PAINTING SUBCONTRACTOR SHALL CALLK AROUND ALL WINDOWS AND TRIM, SLUING GLASS DOORS AND TRIM AND AROUND ALL EXTERIOR TRIM AND SOUND WITH APPROVED SEALANT AND CAULK FOR INTENDED USE.

9.15. ALL EXTERIOR VENTS, STACKS, ETC. SHALL BE ETCHED AND PAINTED TO MATCH ADJACENT ROOF COLOR.

9.16. A FINAL TOUCH UP OF ALL AREAS WHERE DRYWALL HAS BEEN PATCHED AFTER THE FINAL COAT OF PAINT HAS BEEN APPLIED SHALL BE COMPLETED BEFORE OTHER MOVES IN.

9.17. ALL STAIN SHALL BE BRUSHED APPLIED.

9.18. ON COMPLETION OF ALL PAINTING, THE PAINTING SUBCONTRACTOR SHALL REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS RESULTING FROM THE WORK AND LEAVE THE BUILDING IN A BROOM CLEAN CONDITION. ALSO HE SHALL REMOVE ALL STAINS AND MISPLACED PAINT, ETC. FROM ALL SURFACES INCLUDING FIXTURES, GLASS, HARDWARE, FITTINGS, ETC. THE COST OF DAMAGE TO ANY WORK DUE TO NEGLIGENCE ON THE PART OF PAINTING SUBCONTRACTOR SHALL BE BORNE BY THE PAINTING SUBCONTRACTOR.

9.19. ALL PAINT AND STAIN SHALL BE HIGH QUALITY 100% ACRYLIC LATEX OR OIL BASE BY SCOTT, TO OR BENJAMIN MOORE OR EQUAL AS APPROVED BY ARCHITECT. ALL PAINTING METHODS AND TECHNIQUES TO BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

9.20. EXTERIOR TRIM AND DOORS SHALL RECEIVE THREE (3) COATS OF PAINT IN COLOR DESIGNATED BY ARCHITECT.

9.21. INTERIOR WALL AND CEILING SURFACES SHALL RECEIVE TWO (2) COATS OF INTERIOR WASHABLE WALL PAINT. BATHROOM WALLS AND CEILING SHALL RECEIVE TWO (2) COATS OF SEMI-GLOSS ENAMEL, UNLESS OTHERWISE NOTED.

9.22. INTERIOR TRIM, DOORS AND SHELVES SHALL RECEIVE PRIMER-SEALER PLUS TWO (2) COATS OF INTERIOR OR BASE SEMI-GLOSS ENAMEL, WITH INTERMEDIATE SANDING, UNLESS OTHERWISE NOTED.

9.23. CEILING GRID SYSTEM SHALL BE PRELUDE 5/16" EXPOSED TEE SYSTEM. ADDITIONAL CEILING TIE SYSTEM SHALL BE 2x2x5/8 CORREGA TIE SYSTEM WITH ANGLED TIEBAR BY ANCHORS OR EQUAL.

9.24. ALL CLOSET SHELVING SHALL BE WHITE MELAMINE FINISH, UNLESS OTHERWISE NOTED.

9.25. ALL INTERIOR WINDOWSHILLS SHALL BE MARBLE (1/2" DOMESTIC), UNLESS OTHERWISE NOTED.

DIVISION 10: SPECIALTIES

10.1. ALL TOILET AND BATH ACCESSORIES SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTIONS WITH ARCHITECT.

10.2. ALL KITCHEN EQUIPMENT SHALL BE SELECTED BY OWNER FROM PRODUCT INFORMATION FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED ON DRAWINGS. COORDINATE SELECTION WITH ARCHITECT.

10.3. SOUNAGE - CONTRACTOR SHALL PROVIDE SOUNAGE FOR ALL RESTROOM LOCATIONS AND IT SHALL BE IN COMPLIANCE WITH ALL ADA MINIMUM REQUIREMENTS. CONTRACTOR TO FURNISH SELECTION OF SOUNAGE WITH ARCHITECT.

DIVISION 15: MECHANICAL AND PLUMBING

15.1. CONTRACTOR IS RESPONSIBLE TO INSURE THAT MECHANICAL AND PLUMBING SYSTEM SHOP DRAWINGS, INSTALLATION AND TESTING ARE IN STRICT ACCORDANCE WITH LATEST EDITION OF ALL APPLICABLE CODES AND REGULATIONS. TESTING SHALL BE PER AIAA SPECIFICATIONS. ALL NEW AND REPLACEMENT UNITS ARE TO BE DESIGNED TO PROVIDE POSITIVE PRESSURE.

15.2. CONTRACTOR IS RESPONSIBLE TO SECURE NECESSARY APPROVALS AND PERMITS FROM DEPARTMENTS HAVING JURISDICTION TO INSURE PROPER INSTALLATION OF MECHANICAL AND PLUMBING SYSTEM.

15.3. COMPLY WITH RECOMMENDATIONS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION (SMACNA), AND THE AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS.

15.4. PROVIDE A ONE (1) YEAR WRITTEN WARRANTY FOR FURNISHING PARTS AND LABOR TO REPLACE ANY PART OF THE HVAC SYSTEM WHICH BECOMES DEFECTIVE IN NORMAL OPERATIONS WITH AN ADDITIONAL FOUR (4) YEAR WARRANTY FOR THE CONDITIONING UNIT UNLESS MANUFACTURERS STANDARD WARRANTY IS GREATER.

15.5. TEST AND BALANCE SYSTEM AFTER INSTALLATION IS COMPLETED. CLEAN OUT ALL DUCTWORK. TEST REFRESHMENT SYSTEM FOR LEAKS. TEST COMPLETE SYSTEM FOR PROPER OPERATION. SHOP DRAWINGS TO MEET ACCEPTABLE PERFORMANCE CRITERIA.

15.6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS PRIOR TO FABRICATION OR INSTALLATION OF MECHANICAL AND PLUMBING SYSTEM.

15.7. PROVIDED 1" P.V.C. CONDENSATE DRAIN LINE WITH POSITIVE SLOPE FROM AIR HANDLER TO EXTERIOR.

15.8. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED ACCORDING TO S.M.A.C.N.A. SPECIFICATIONS.

15.9. ALL REFRIGERANT LINES THROUGH MASONRY SHALL BE SLEEVED.

15.10. WATER AND SEWER SERVICE SHALL BE PROPERLY CONNECTED TO MAIN SYSTEMS.

15.11. PLUMBING CONTRACTOR SHALL COORDINATE LOCATION OF ALL UNDERGROUND LINES WITH OTHER APPLICABLE TRADES.

15.12. PLUMBING FLOOR PLAN IS SCHEMATIC AND SHALL NOT BE LIMITED TO ITEMS SHOWN. MATERIALS ARE REQUIRED TO PROVIDE COMPLETE WATER AND SEWER SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. SHALL BE SUPPLIED AND INSTALLED.

15.13. PROVIDE 1/2" COPPER ICE MAKER LINE FROM BELOW KITCHEN SINK COLD WATER LINE (WITH 1/2" THERMOSTAT) IF APPLICABLE.

DIVISION 16: ELECTRICAL

16.1. ALL WORK SHALL BE COORDINATED WITH FLORIDA POWER AND LIGHT, AND SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. VERIFY WITH HEI AND NCA RECOMMENDATIONS (LATEST EDITION).

16.2. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC PANEL AS NOTED ON THE DRAWINGS (FIELD VERIFY LOCATION).

16.3. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ULUL LABEL SMOKE ALARMS AND HEAT DETECTORS, ETC. IN ACCORDANCE WITH LOCAL CODES, AND ORDINANCES AS ARE NECESSARY TO OBTAIN A FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

16.4. ALL TELEVISION OUTLETS SHALL BE PROVIDED WITH COAXIAL CABLE.

16.5. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED COMPLETE WITH ALL COMPONENTS.

GENERAL SPECIFICATIONS:

DOORS - BASIS DESIGN SHALL BE PLY-SIM COMPOSITE EXTERIOR DOORS. PROVIDE EGRESS DOORS AS REQUIRED IN ALL BEDROOM LOCATIONS.

WINDOWS - BASIS OF DESIGN SHALL BE PAT INGUARD DSHSD DOUBLE HUNG VINY. WINDOWS. PROVIDE EGRESS WINDOW AS NOTED, REFER TO MANUFACTURERS SIZE CHART.

GARAGE DOORS - BASIS OF DESIGN SHALL BE WAYNE DALTON MODEL 9800 PREMIUM FIBERGLASS FAUX WOOD GARAGE DOORS.

METAL ROOF SYSTEM - BASIS OF DESIGN SHALL BE SENTRYROOF STANDING SEAM R5501 1/2" HAIL STRIP PANEL. CONT. PANEL .032 ALUMINUM W/ 30 YEAR KYNAR 500 FINISH W/ 4/0 APPROVAL UNDERLAYMENT TO BE GRADE HIGH TEMP. FELT AND STICK ICE AND WATER-SHELD UNDERLAYMENT AS REQUIRED TO WITHSTAND TEMPERATURES UP TO 200°.

ROOF INSULATION - BASIS OF DESIGN SHALL BE RIGID POLYISOCYANURATE THERMAL INSULATION BOARD (R-30 MIN) BY JOHNS MANVILLE.

SINGLE PLY MEMBRANE - BASIS OF DESIGN SHALL BE FIBRETEE 8540 SM BY SIKAMAS. 45 MIL MINIMUM THICKNESS. EXPOSED COLOR BEIGE OR WHITE. SUBMIT COMPLETE SHOP DRAWINGS ON ATTACHMENT AND TEST DATA, DETAILS, &

SOUNDPROOFING MEMBRANE - BASIS OF DESIGN SHALL BE DB-3 MEMBRANE SOUND PROOFING FOR ALL WALL LOCATIONS AND DB-4 MEMBRANE FOR ALL FLOOR LOCATIONS TO RECEIVE SOUNDPROOFING MEMBRANE.

SDING AND TRIM - BASIS OF DESIGN SHALL BE JAMES HARGRE BUILDING SUPPLIES TRIM AND SOUND PRODUCTS. ALL FASCO AND DRIP BOARD TO BE 1/4" RUSTIC GRAY TRIM BOARD (OR APPROVED EQUAL) ALL SOUNDING TO BE SLEEDED/MANHOLD OR APPROVED EQUAL. REFER TO ELEVATIONS FOR ORIENTATION OF SOUND BOARD. ALL FASCO BOARD ARE SIZED FOR A 2X8 TOP CHORD TRUSS, IF FIELD CONDITIONS VARY FROM THIS INQUIR ARCHITECT IMMEDIATELY.

ATTIC ACCESS LADDER -

GENERAL SITE PLAN NOTES

1. REFER TO CIVIL PLANS FOR REQUIRED SITE WORK AND OTHER RELATED ITEMS, SUCH AS BUT NOT LIMITED TO, PAVING, FILL, MARKINGS, SIGNAGE, STORM DRAINAGE, SEWER LINES, WATER AND FIRE LINES ETC.
2. FOR SITE PREP WORK AND RECOMMENDATIONS FOR SUB SOIL CONDITIONS AND RECOMMENDATIONS BASED UPON EXISTING CONDITIONS THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND FOLLOW THESE RECOMMENDATIONS AS PART OF HIS SCOPE OF WORK.
3. REFER TO ELECTRICAL PLAN FOR ALL REQUIRED ELECTRICAL SITE WORK REQUIREMENTS.
4. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING FOR ANY REQUIRED TIE-INS FOR FINAL COORDINATION, MINOR FIELD ADJUSTMENTS BE REQUIRED.
5. RE-WORK EXISTING/PROVIDE NEW CANOPY TREES AS REQUIRED BY CITY OF SARASOTA ZONING CODE SEC. V-102.U.S.B.1.1 (MINIMUM OF 1)

THE PRESERVE LOT 109

6800 Longboat Drive South
Longboat Key, FL 34229
PARCEL D # 782201459

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Structural Engineer
SNELL ENGINEERING CONSULTANTS
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Phone (941) 554-0581 Fax (941) 554-0581

RECEIVED
JUN 07 2021
FOR THE LONGBOAT KEY
PLANNING & ZONING DEPARTMENT

PERMIT DRAWINGS
21 JANUARY 2020

Sealed By C. ALAN ANDERSON, FL#00004501

To the best of the architect's or engineer's knowledge, skill and good faith, the design and construction of the project complies with the applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapter 553 and 553.1, Florida Statutes.

REVISION	DATE	DESCRIPTION
01	08-07-2021	BUILDING REVIEW COMMENTS
02	08-27-2021	BUILDING REVIEW COMMENTS

SITE PLAN
FBC 7th ED. (2020) ANALYSIS
PROJECT INFORMATION

0 10'
SCALE: 1/8" = 1'-0"

201919
A1.0
12 MARCH 2020

NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO FULLY ACQUAINT HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS CONCERNING AND SUB CONTRACTORS AND SHALL COORDINATE ALL SUBCONTRACTORS TO ENSURE PROPER SEQUENCING OF WORK OF TRADES TO AVOID CONFLICT WITH HIS WORK.
- ALL MATERIALS OR EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS AS FURNISHED BY OWNER AND INSTALLED IN THE WORK SHALL BE UNLOADED, UNCRATED, ASSEMBLED, INSTALLED AND CONNECTED BY THE CONTRACTOR AND SHALL BE PLACED IN OPERATING ORDER.
- BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL IN ALL CASES VERIFY MEASUREMENTS AT THE FIELD AND CHECK SAME AGAINST DRAWINGS. ANY DIFFERENCE FOUND SHALL BE SUBMITTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE DESCRIBED IN NATURE AND REPRESENT BASIC REQUIREMENTS NECESSARY TO PROPERLY CONSTRUCT THE PROJECT. CONTRACTOR SHALL INSPECT AND VERIFY THE SCOPE OF WORK. ANY ADDITIONAL WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS BUT YET APPARENT TO FIELD INSPECTION OR NECESSARY TO SATISFY APPLICABLE CODES IN ORDER TO OBTAIN A PERMIT SHALL BE CONSIDERED AS PART OF THIS CONTRACT. CONTRACTORS SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL MATERIAL INSTALLATIONS SHALL MEET OR EXCEED MANUFACTURER'S RECOMMENDED STANDARDS AND SHALL BE WARRANTED TO OWNER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE LABOR LAWS OF FLORIDA AND WITH ALL OTHER ORDINANCES, CODES, AND LEGAL REQUIREMENTS BY STATE OR LOCAL AUTHORITIES AS THEY MAY APPLY TO THE PROJECT.
- CONTRACTOR SHALL DISCREPANCY CONCERNING QUALITY AND OR QUANTITY WITHIN THE DOCUMENTS, THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND/OR THE GREATER QUANTITY UNLESS OTHERWISE DETERMINED IN WRITING BY THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL PROPOSED MATERIALS AND PRODUCTS TO BE USED ON THE PROJECT AND APPROVED BY THE ARCHITECT.
- CONTRACTOR SHALL NOT ABANDON BY OMISSION SHALL BE PAINTED.
- CONTRACTOR SHALL FURNISH SHOP DRAWINGS BY LOCAL MUNICIPALITIES - AS-BUILT OR RECORD DRAWINGS REQUIRED BY THE AUTHORITY ARE NOT THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEERS TO DOCUMENT OR KEEP TRACK OF THE END OF THE PROJECT. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB CONTRACTORS TO FURNISH ACCEPTABLE RECORD DRAWINGS TO THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS REQUIRED TO FURNISH DRAWINGS TO THE OWNER FOR HIS RECORDS AS PART OF HIS CLOSURE REQUIREMENTS ON THE PROJECT. CONTRACTOR WISH TO RETAIN THE ARCHITECT OR HIS ENGINEERS HE MAY DO SO.

MAP



LONGBOAT DRIVE SOUTH
MIDLAND ROAD
KEY, FL 34228

VICINITY MAP
N.T.S.

PERMITS DATA & AREA CALCULATIONS

ZONING DATA	REQUIRED	PROPOSED
CLASSIFICATION	R-6SF	R-6SF
LOT AREA	7,000 SQ.FT.	7,004 SQ.FT.
FRONT SETBACK	20 FT.	21'-1" (PROPOSED)
DECK YARD SETBACK	20 FT. COMB./8 FT. MIN.	12'-0" (NORTH) / 8'-1" (SOUTH) (PROJ.)
REAR SETBACK	15 FT.	15'-4" (PROPOSED)
WATERFRONT YARD (CANAL)	N/A	N/A
HEIGHT	30 FT.	28'-1 1/2" (PROPOSED)

AREA CALCULATIONS

	ALLOTTED	ACTUAL SHOWN
BUILDING AREA (BUILDING COVERAGE)	2,092 TOTAL S.F. (PROPOSED)	2,092 TOTAL S.F. (PROPOSED)
CONDITONED AREA	328 TOTAL S.F. (PROPOSED)	328 TOTAL S.F. (PROPOSED)
CONDITONED AREA	1,701 TOTAL S.F. (PROPOSED)	1,701 TOTAL S.F. (PROPOSED)
CONDITONED AREA	829 TOTAL S.F. (PROPOSED)	829 TOTAL S.F. (PROPOSED)
BUILDING CONDITONED AREA	2,858 TOTAL S.F. (PROPOSED)	2,858 TOTAL S.F. (PROPOSED)
BUILDING COVERAGE	30% (2101 SQ.FT.)	2,092 S.F. (29.87%) (PROPOSED)
BUILDING AREA	2,092 TOTAL S.F. (PROPOSED)	2,092 TOTAL S.F. (PROPOSED)
POOL PATIO AREA	552 TOTAL S.F. (PROPOSED)	552 TOTAL S.F. (PROPOSED)
DRIVEWAY AREA	845 TOTAL S.F. (PROPOSED)	845 TOTAL S.F. (PROPOSED)
IMPERVIOUS LOT COVERAGE	3,489 TOTAL S.F. (PROPOSED)	3,489 TOTAL S.F. (PROPOSED)
	(DEDUCTED FROM) 7,004 TOTAL S.F. (LOT SIZE)	(DEDUCTED FROM) 7,004 TOTAL S.F. (LOT SIZE)
OPEN SPACE	3,515 TOTAL S.F. (PROPOSED)	3,515 TOTAL S.F. (PROPOSED)
OPEN SPACE CALCULATION	50% (3,502 SQ.FT.)	50.18% (3,515 S.F.) (PROPOSED)

LEGEND

DESCRIPTION ROOM NAME

EXISTING WALL CONSTRUCTION, REPAIR EXISTING TO MATCH NEW AS REQUIRED

NEW REINFORCED CMU WALLS

NEW 2x4 FRAMED WALLS @ 16" O.C. WITH 5/8" DRYWALL EACH SIDE, OR AS NOTED

NEW 2x4 FRAMED WALLS @ 16" O.C. WITH 5/8" DRYWALL EACH SIDE, OR AS NOTED

NEW 2x4 FRAMED WALLS @ 16" O.C. WITH BATT INSULATION AND 5/8" DRYWALL EACH SIDE, OR AS NOTED

ROOM DESCRIPTION LEGEND

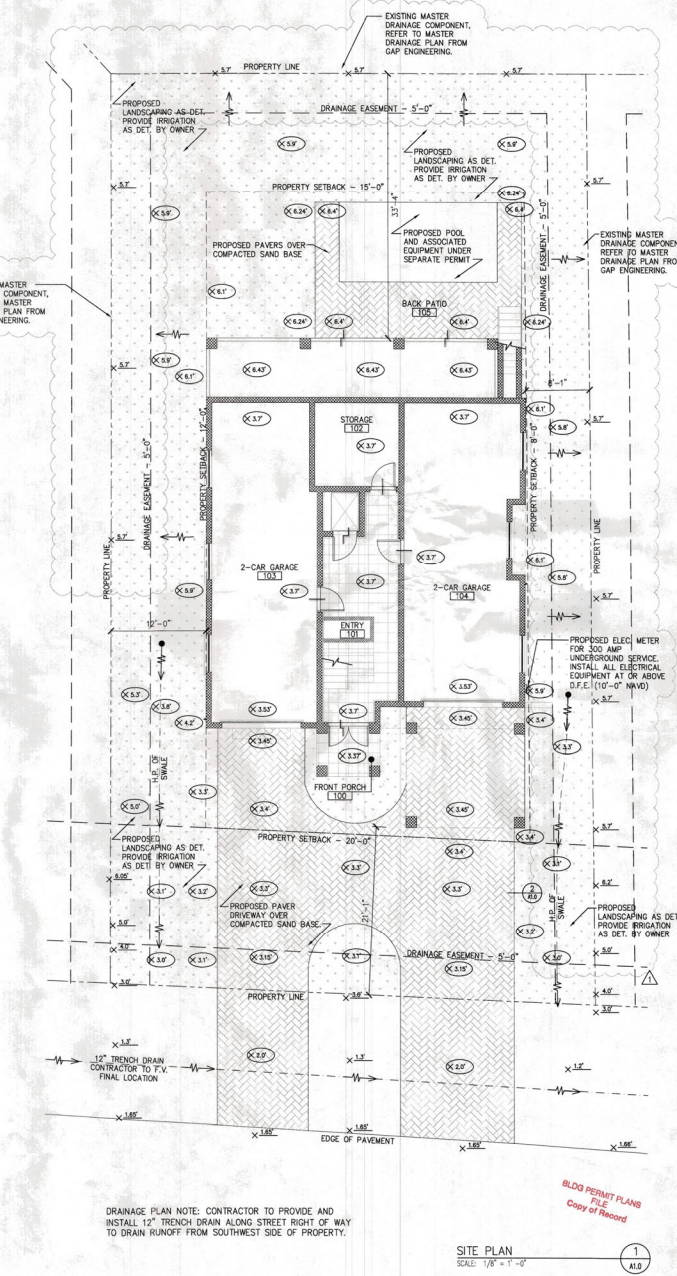
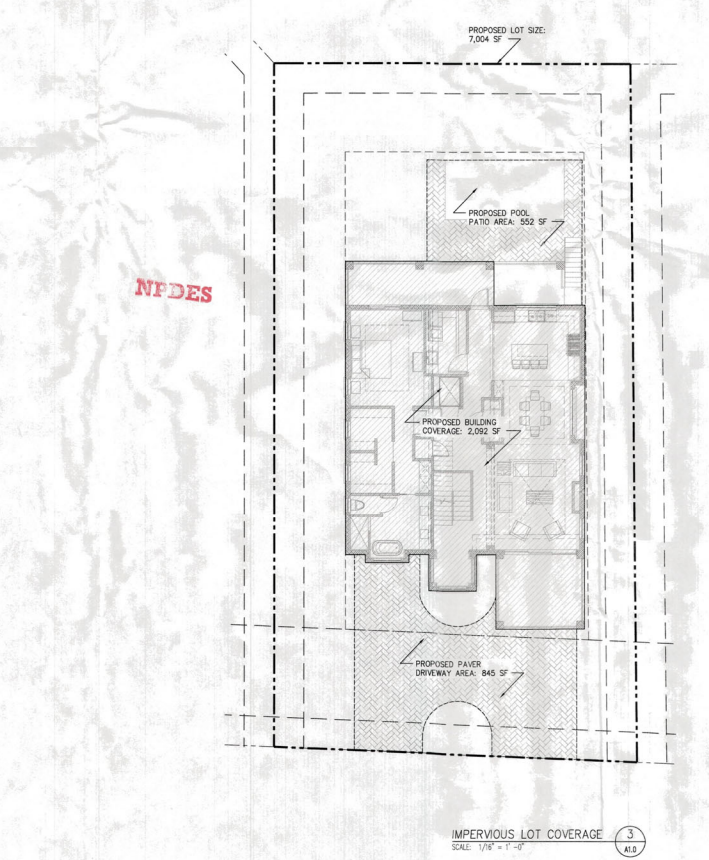
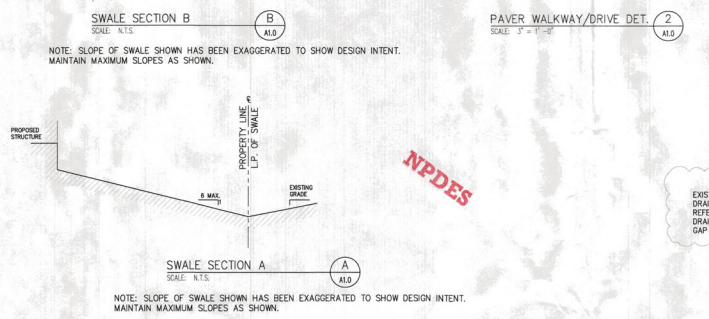
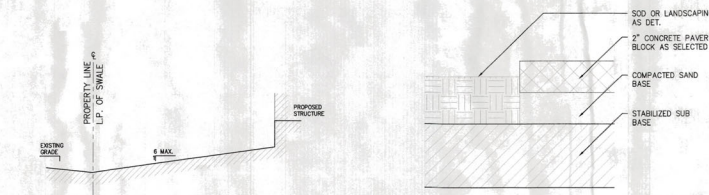
STUDY

ROOM NUMBER: 115, 2

FLOOR FINISH: FT, BT, WT, CH

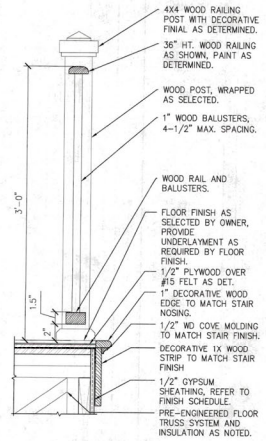
BASE FINISH: WT, CH

NOTES: CEILING FINISH, WALL FINISH

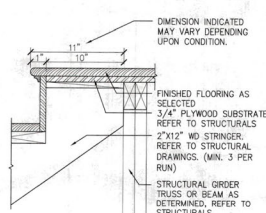


DRAINAGE PLAN NOTE: CONTRACTOR TO PROVIDE AND INSTALL 12" TRENCH DRAIN ALONG STREET RIGHT OF WAY TO DRAIN RUNOFF FROM SOUTHWEST SIDE OF PROPERTY.

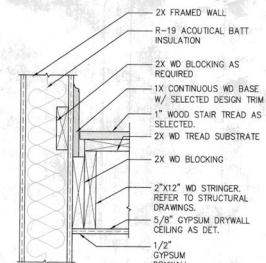
SITE PLAN
SCALE: 1/8" = 1'-0"



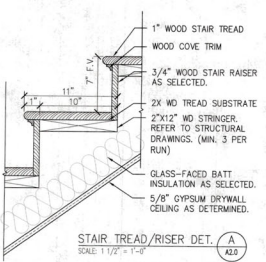
STAIR RAILING/POST DET. (D)
SCALE: 1 1/2" = 1'-0"



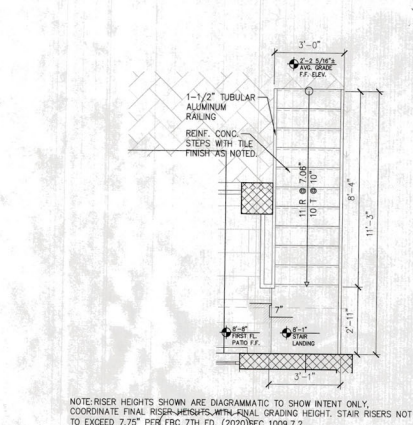
STAIR STRINGER CONNECTION DETAIL (C)
SCALE: 1 1/2" = 1'-0"



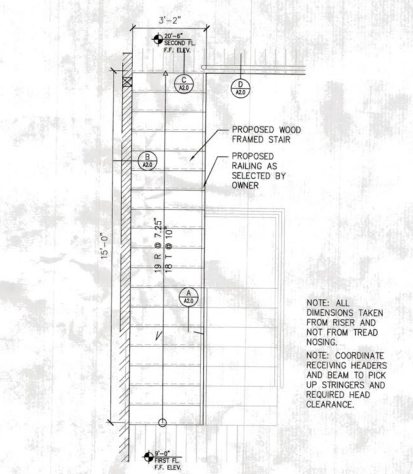
STAIR TRIM DET. (B)
SCALE: 1 1/2" = 1'-0"



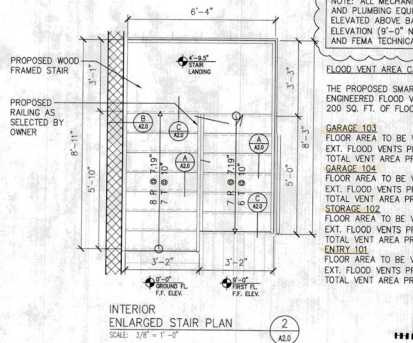
STAIR TREAD/RISER DET. (A)
SCALE: 1 1/2" = 1'-0"



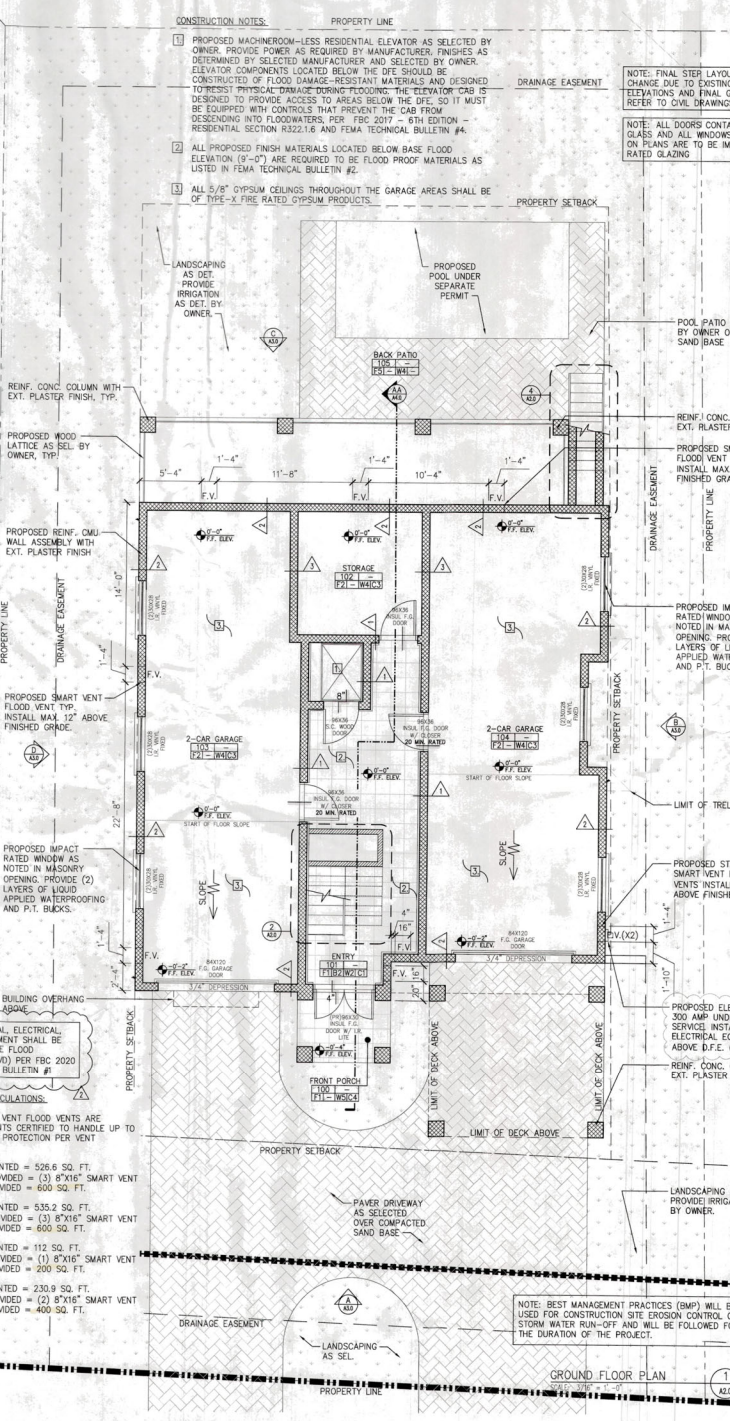
EXTERIOR ENLARGED STAIR PLAN (4)
SCALE: 3/8" = 1'-0"



INTERIOR ENLARGED STAIR PLAN (3)
SCALE: 3/8" = 1'-0"



INTERIOR ENLARGED STAIR PLAN (2)
SCALE: 3/8" = 1'-0"



PROPOSED GROUND FLOOR PLAN (1)
SCALE: 3/8" = 1'-0"

CONSTRUCTION NOTES:

- PROPOSED MACHINEROOM-LESS RESIDENTIAL ELEVATOR AS SELECTED BY OWNER. PROVIDE POWER AS REQUIRED BY MANUFACTURER. FINISHES AS DETERMINED BY SELECTED MANUFACTURER AND SELECTED BY OWNER. ELEVATOR COMPONENTS LOCATED BELOW THE DFE SHOULD BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS AND DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING. THE ELEVATOR CAB IS DESIGNED TO PROVIDE ACCESS TO AREAS BELOW THE DFE. SO IT MUST BE EQUIPPED WITH CONTROLS THAT PREVENT THE CAB FROM DESCENDING INTO FLOODWATERS. PER FBC 2017 - 8TH EDITION - RESIDENTIAL SECTION R332.1.6 AND FEMA TECHNICAL BULLETIN #4.
- ALL PROPOSED FINISH MATERIALS LOCATED BELOW BASE FLOOD ELEVATION (9'-0") ARE REQUIRED TO BE FLOOD PROOF MATERIALS AS LISTED IN FEMA TECHNICAL BULLETIN #2.
- ALL 5/8" GYPSUM CEILINGS THROUGHOUT THE GARAGE AREAS SHALL BE OF TYPE-X FIRE RATED GYPSUM PRODUCTS.

NOTE: ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE ELEVATED ABOVE BASE FLOOD ELEVATION (9'-0" NAVD) PER FBC 2020 AND FEMA TECHNICAL BULLETIN #4.

FLOOD VENT AREA CALCULATIONS:

THE PROPOSED SMART VENT FLOOD VENTS ARE ENGINEERED FLOOD VENTS CERTIFIED TO HANDLE UP TO 200 SQ. FT. OF FLOOD PROTECTION PER VENT.

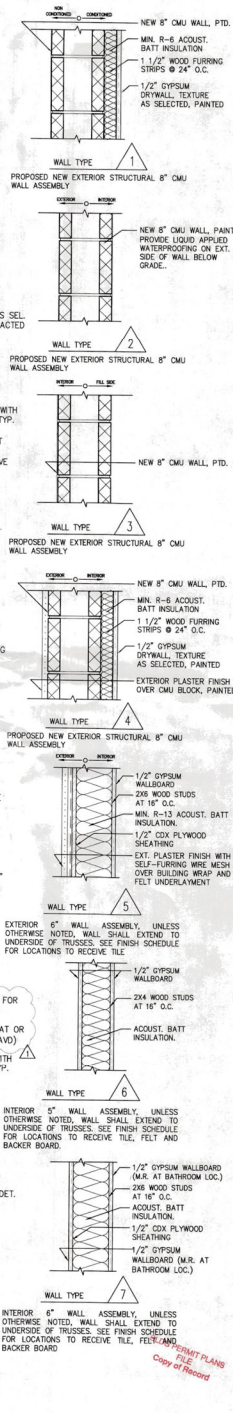
GARAGE 103
FLOOR AREA TO BE VENTED = 528.6 SQ. FT.
EXT. FLOOD VENTS PROVIDED = (3) 8"X16" SMART VENT
TOTAL VENT AREA PROVIDED = 600 SQ. FT.

GARAGE 104
FLOOR AREA TO BE VENTED = 535.2 SQ. FT.
EXT. FLOOD VENTS PROVIDED = (3) 8"X16" SMART VENT
TOTAL VENT AREA PROVIDED = 600 SQ. FT.

STORAGE 102
FLOOR AREA TO BE VENTED = 112 SQ. FT.
EXT. FLOOD VENTS PROVIDED = (1) 8"X16" SMART VENT
TOTAL VENT AREA PROVIDED = 200 SQ. FT.

ENTRY 101
FLOOR AREA TO BE VENTED = 230.9 SQ. FT.
EXT. FLOOD VENTS PROVIDED = (2) 8"X16" SMART VENT
TOTAL VENT AREA PROVIDED = 400 SQ. FT.

NOTE: BEST MANAGEMENT PRACTICES (BMP) WILL BE USED FOR CONSTRUCTION SITE EROSION CONTROL OF STORM WATER RUN-OFF AND WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.



FINISH SCHEDULE

SYMBOL: FLOOR FINISH:

- F1 TILE AS SELECTED BY OWNER
- F2 EPOXY FLOOR OVER SEALED CONCRETE
- F3 WOOD FLOORING AS SELECTED BY OWNER
- F4 CARPET AS SELECTED BY OWNER
- F5 EXT. PAVIC AS SELECTED BY OWNER

SYMBOL: BASE FINISH:

- B1 TILE COVE BASE AS SELECTED BY OWNER
- B2 WOOD BASE AS SELECTED BY OWNER
- B3 CLAMHELL BASE AS SELECTED BY OWNER

SYMBOL: WALL FINISH:

- W1 1/2" GYP. BD. SPRAY TEXTURE-PTD.
- W2 1/2" MR GYP. BD. SPRAY TEXTURE-PTD.
- W3 TILE AS SELECTED BY OWNER
- W4 PLASTER SKIN COAT, PTD.
- W5 EXT. PLASTER FINISH

SYMBOL: CEILING FINISH:

- C1 5/8" GYP. BD. SPRAY TEXTURE-PTD.
- C2 5/8" MR GYP. BD. SPRAY TEXTURE-PTD.
- C3 5/8" TYP. X FR GYP. BD. SPRAY TEXTURE-PTD.
- C4 TONGUE AND GROOVE CEILING-PTD.

NOTE:

- PROVIDE SUB FRAMING @ 12" O.C. MIN. AS REQ. BY MANUF. FOR ALL FINISH WALL FINISH.
- PROVIDE MINOR BOARD OR OSB BOARD BACKING AT ALL MET AREAS W/ FELT BACKING. INSTALL IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- PROVIDE 2B-4 SOUND MEMBRANE AS DETERMINED. INSTALL OVER FINISH FLOOR AS SELECTED. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS.

THE PRESERVE LOT 109
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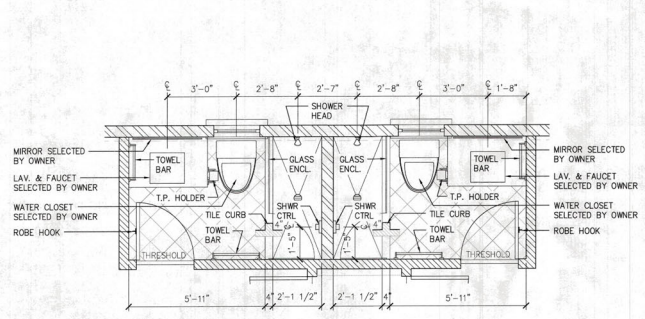
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JUN 07 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Inspections

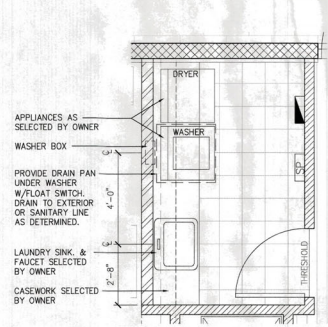
Permit Drawings
21 JANUARY 2020

Scale: 3/8" = 1'-0"

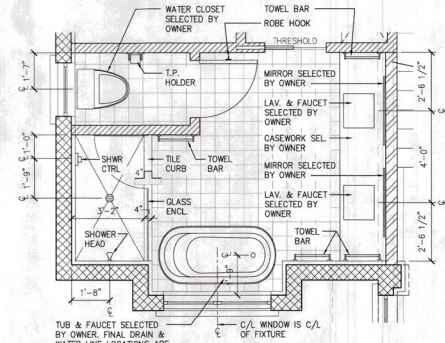
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12 MARCH 2020



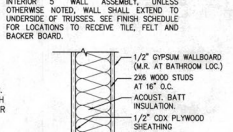
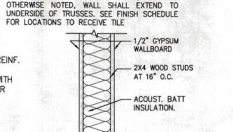
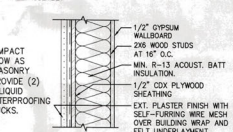
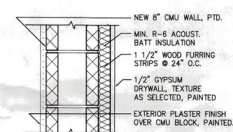
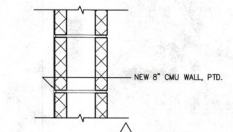
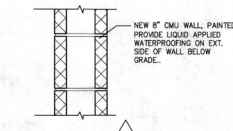
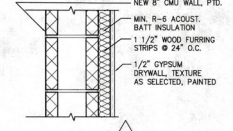
ENLARGED PLAN
BATHROOM 2 & 3
SCALE: 3/16" = 1'-0"
THIS ENLARGED PLAN HAS BEEN
ROTATED 90 DEGREES



ENLARGED PLAN
LAUNDRY
SCALE: 3/16" = 1'-0"



ENLARGED PLAN
MASTER BATHROOM
SCALE: 3/16" = 1'-0"



FINISH SCHEDULE

SYMBOL: FLOOR FINISH:

- F1 TILE AS SELECTED BY OWNER
- F2 EPOXY FLOOR OVER SEALED CONCRETE
- F3 WOOD FLOORING AS SELECTED BY OWNER
- F4 CARPET AS SELECTED BY OWNER
- F5 EXT. PAVR AS SELECTED BY OWNER

SYMBOL: BASE FINISH:

- B1 TILE COVE BASE AS SELECTED BY OWNER
- B2 WOOD BASE AS SELECTED BY OWNER
- B3 CHAIRSELL BASE AS SELECTED BY OWNER

SYMBOL: WALL FINISH:

- W1 1/2\"/>
- W2 WOOD BASE AS SELECTED BY OWNER
- W3 TILE AS SELECTED BY OWNER
- W4 PLASTER SKM COAT, PTD.
- W5 EXTERIOR PLASTER FINISH

SYMBOL: CEILING FINISH:

- C1 5/8\"/>
- C2 5/8\"/>
- C3 1/2\"/>
- C4 TONGUE AND GROOVE CEILING-PTD.

NOTE:

1. PROVIDE SUB FRAMING @ 12\"/>
- 2. PROVIDE WOODEN BOARD ON OUTDOOR BACKING AT ALL WET AREAS. W/ FELT BACKING, METAL W/ RODDERS WITH 1\"/>
- 3. PROVIDE 2\"/>

**THE PRESERVE
LOT 109**

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Structural Engineer
SNELL ENGINEERING CONSULTANTS
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Naples, FL 34109
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RECEIVED
JUN 07 2021
APPROVED FOR PERMIT BY
CITY OF NAPLES

PERMIT DRAWINGS
3 JULIAN 2021

Exterior 6" wall assembly unless otherwise noted, wall shall extend to underside of trusses. See finish schedule for locations to receive tile, felt and backer board.

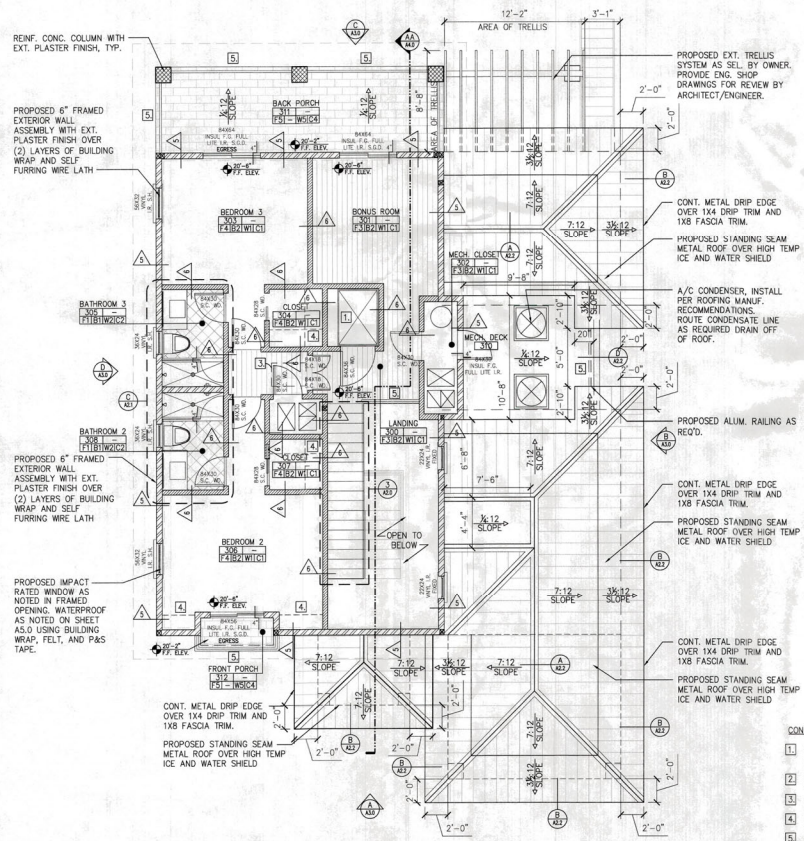
Interior 6" wall assembly, unless otherwise noted, wall shall extend to underside of trusses. See finish schedule for locations to receive tile, felt and backer board.

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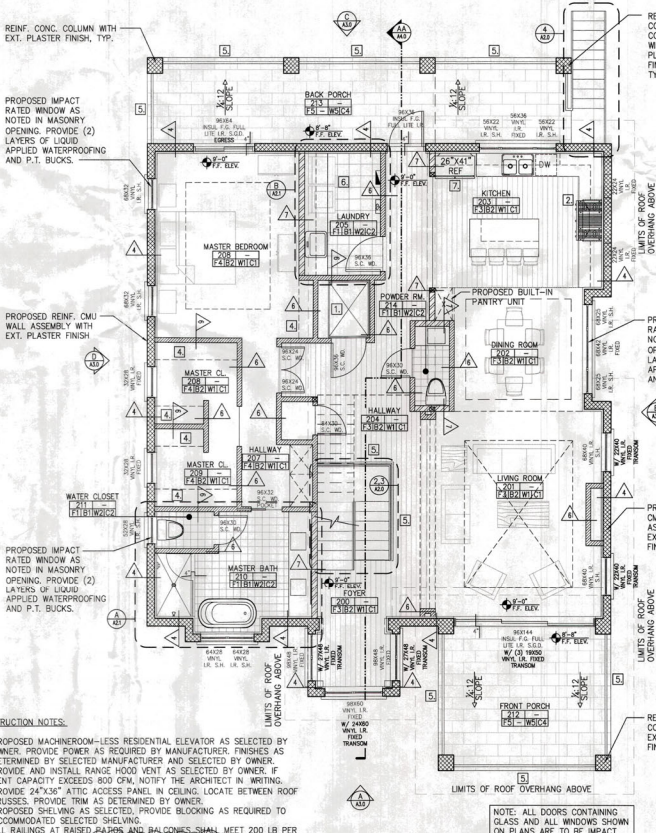
Interior 6" wall assembly, unless otherwise noted, wall shall extend to underside of trusses. See finish schedule for locations to receive tile, felt and backer board.

PROPOSED FIRST FLOOR & SECOND FLOOR PLANS

SCALE: 3/16" = 1'-0"
2019
A2.1
12 MARCH 2020
CA^A



SECOND FLOOR PLAN
LOW ROOF PLAN
SCALE: 3/16" = 1'-0"



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

- CONSTRUCTION NOTES:**
1. PROPOSED MACHINEROOM-LESS RESIDENTIAL ELEVATOR AS SELECTED BY OWNER. PROVIDE POWER AS REQUIRED BY MANUFACTURER. FINISHES AS DETERMINED BY SELECTED MANUFACTURER AND SELECTED BY OWNER. PROVIDE AND INSTALL RANGE HOOD VENT AS SELECTED BY OWNER. IF VENT CAPACITY EXCEEDS 800 CFM, NOTIFY THE ARCHITECT IN WRITING. PROVIDE 24"x36" ATTIC ACCESS PANEL IN CEILING. LOCATE BETWEEN ROOF TRUSSES. PROVIDE TRIM AS DETERMINED BY OWNER.
 2. PROPOSED SHELVING AS SELECTED. PROVIDE BLOCKING AS REQUIRED TO ACCOMMODATE SELECTED SHELVING.
 3. ALL RAILINGS AT RAISED PORCHES AND BALCONIES SHALL MEET 200 LB PER SQ. FT. LOAD REQUIREMENT (IBC 7TH ED. 2020 3030.5) AND ALL DESIGN CRITERIA OUTLINES IN IBC 7TH ED. SECTION 1043 FOR GUARDS.
 4. PROVIDE DRAIN PAN UNDER WASHERS AND DRYER WITH FLAT SWITCH. DRAIN TO EXTERIOR OR SANITARY LINE AS DETERMINED BY OWNER.
 5. PROPOSED COUNTERTOPS AND WALL HAVE BEEN DESIGNED TO ACCOMMODATE A 26"x41" REFRIGERATOR UNIT. IS SELECTED UNIT DIFFERS FROM THESE DIMENSIONS, ADVISE OWNER OF POTENTIAL CONFLICTS.

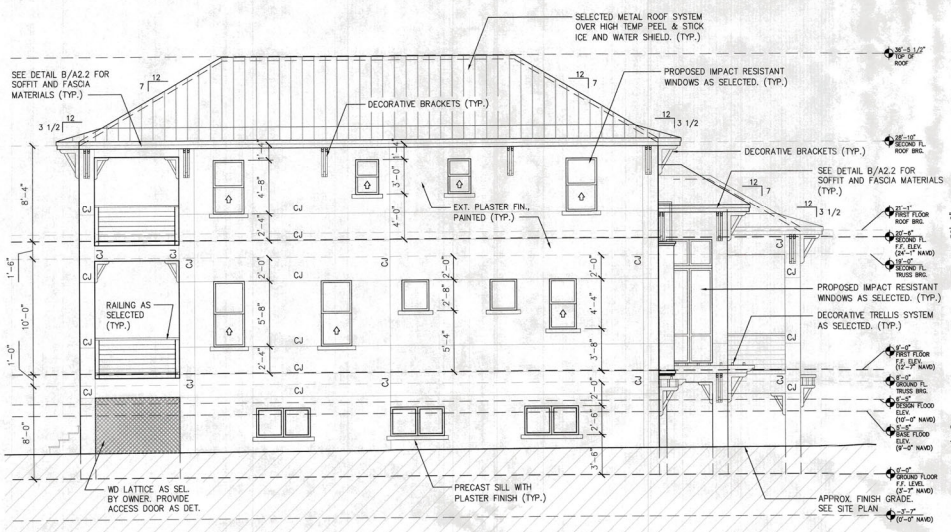
NOTES: ALL DOORS CONTAINING GLASS AND ALL WINDOWS SHOWN ON PLANS ARE TO BE IMPACT RATED GLAZING.

REVISION DATE DESCRIPTION
02 05-07-2021 BUILDING REVIEW COMMENTS

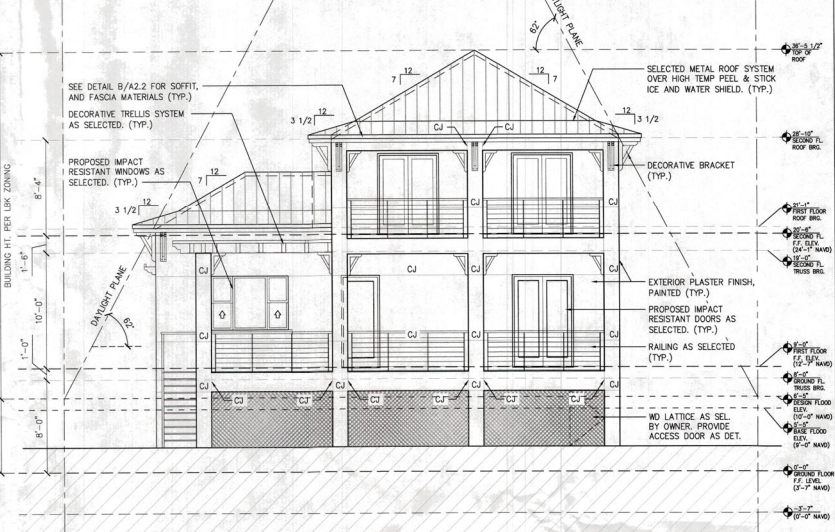
SCALE: 3/16" = 1'-0"
2019
A2.1
12 MARCH 2020
CA^A

NOTE: ALL RAILINGS AT RAISED PATIOS AND BALCONIES SHALL MEET MINIMUM FLOOR LOAD REQUIREMENT (IBC 701.5, 2020 IBC R301.5) AND ALL DESIGN MEMBER OUTLINES IN IBC 6TH ED. SECTION 1013 FOR GUARDS

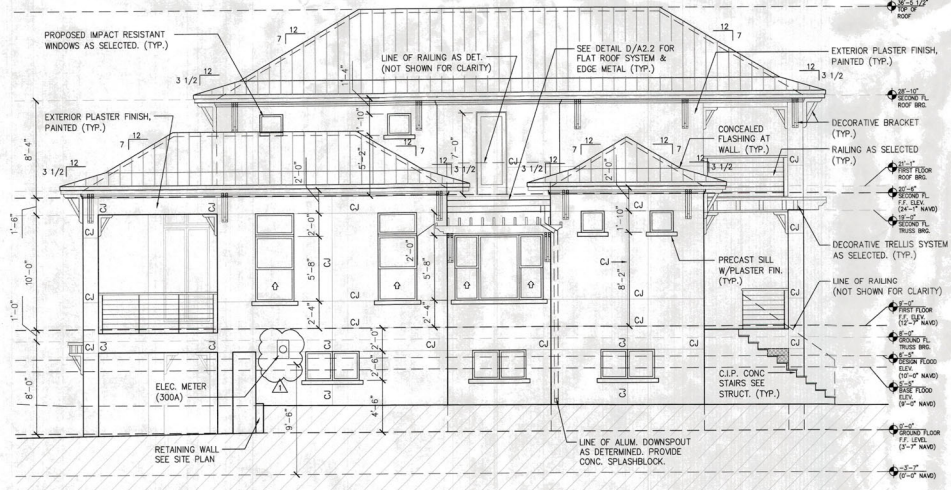
NOTE: FINAL GRADING VARIES FOR EACH ELEVATION SHOWN. PLEASE REFER TO PROPOSED SITE AND DRAINAGE PLAN (SHEET A1.0) FOR ALL PROPOSED GRADING ELEVATIONS. FINAL EXTERIOR STAIR RISE/RUN DEPENDENT UPON FINAL GRADING.



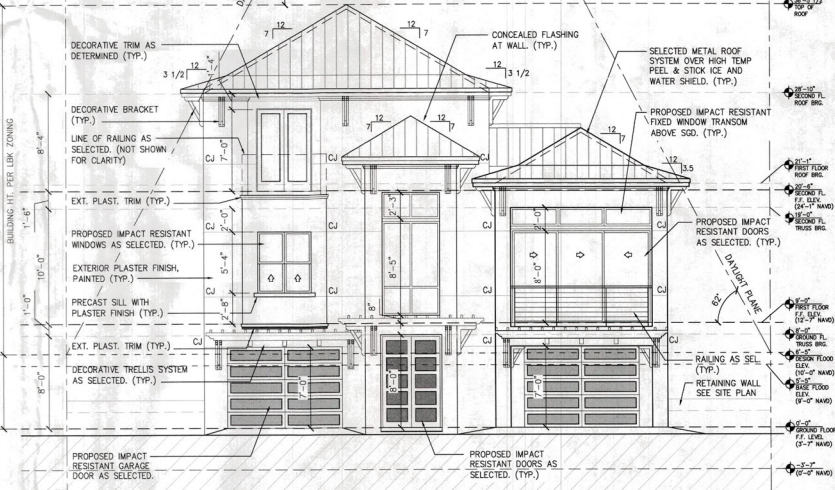
SIDE ELEVATION
SCALE: 3/16" = 1'-0"
A30



REAR ELEVATION
SCALE: 3/16" = 1'-0"
A30



SIDE ELEVATION
SCALE: 3/16" = 1'-0"
A30



FRONT ELEVATION
SCALE: 3/16" = 1'-0"
A30

THE PRESERVE
LOT 109
6520 Longboat Drive South
Longboat Key, FL 34228
PARCEL ID: #78220459

C. ALAN ANDERSON ARCHITECT, P.A.
3908 Midland Road Sarasota, FL 34231
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RECEIVED
JUN 07 2020
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

PERMIT DRAWINGS
21 JANUARY 2020

Issued by C. ALAN ANDERSON, FL#A0004701

To the best of the architect's or engineer's knowledge, said plans and specifications comply with the applicable building codes and the applicable minimum health standards as administered in accordance with Chapters 553 and 633, Florida Statutes.

REVISION	DATE	DESCRIPTION
01	06-07-2020	BUILDING REVIEW COMMENTS
02	05-27-2020	BUILDING REVIEW COMMENTS

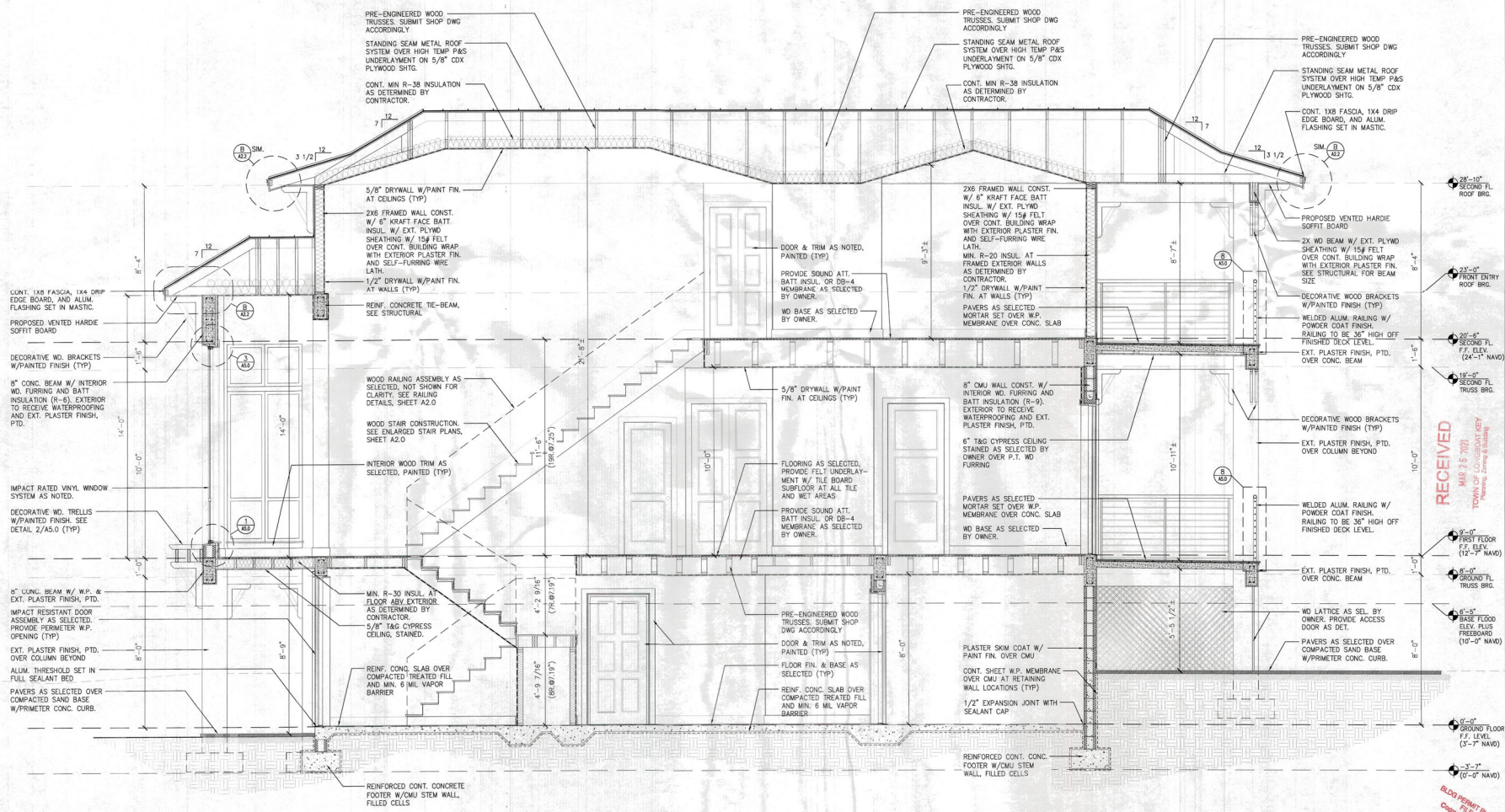
DRAWN BY: DMS

BUILDING ELEVATIONS

SCALE: 3/16" = 1'-0"

2019 #9
A30
12 MARCH 2020

CA*



THE PRESERVE LOT 109
 4822 Longboat Drive South
 Longboat Key FL, 34228
 PARCEL ID: #78203469

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 Sarasota, FL 34236
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RECEIVED
 APR 28 2021
 TOWN OF LONGBOAT KEY
 Planning & Zoning

3-18-21

Sealed By C. ALAN ANDERSON, FLA00040471
 To the best of the architect's or engineer's knowledge, said plans and specifications conform with the applicable building codes and the local ordinances. The user is cautioned to determine in accordance with Chapters 553 and 633, Florida Statutes.

REVISION	DATE	DESCRIPTION

OVERALL BUILDING SECTION



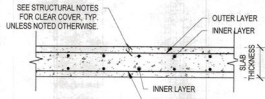
BUILDING SECTION
 SCALE: 3/8" = 1'-0"

AA
 A40

CA³

2019.09
A4.0
 12 MARCH 2020

UNLESS NOTED
OL = OUTER LAYER
IL = INNER LAYER



REBAR LAYERING DIAGRAM
NOT TO SCALE

INDICATES A 2X4 SO. PINE #2 WOOD WALL WITH STUDS AT 12" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE. OR SP14 AS NEEDED. ATTACH BOTTOM PLATE TO WOOD FRAMING BELOW WITH 100 NAILS AT 6" O.C. MAX. PROVIDE 150# APA RATED EXPOSURE 1 PLYWOOD SHEATHING WITH 100 NAILS AT 6" O.C. AT ALL EDGES AND AT 12" O.C. IN THE FIELD. FULLY BLOCK ALL PLYWOOD JOINTS. INSTALL EXPOSED PLYWOOD GRAIN PERPENDICULAR TO STUDS. PROVIDE (2)X10 HEADERS OVER OPENINGS UNLESS NOTED OTHERWISE.

INDICATES A 2X6 SO. PINE #2 WOOD WALL WITH STUDS AT 24" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE. OR SP14 AS NEEDED. ATTACH BOTTOM PLATE TO CONCRETE BEAM BELOW WITH 100 NAILS AT 6" O.C. WITH P. BRACEMENT. PROVIDE 150# APA RATED EXPOSURE 1 PLYWOOD SHEATHING WITH 100 NAILS AT 6" O.C. AT ALL EDGES AND AT 12" O.C. IN THE FIELD. FULLY BLOCK ALL PLYWOOD JOINTS. INSTALL EXPOSED PLYWOOD GRAIN PERPENDICULAR TO STUDS. PROVIDE (2)X10 HEADERS OVER OPENINGS UNLESS NOTED OTHERWISE.

WALL LEGEND

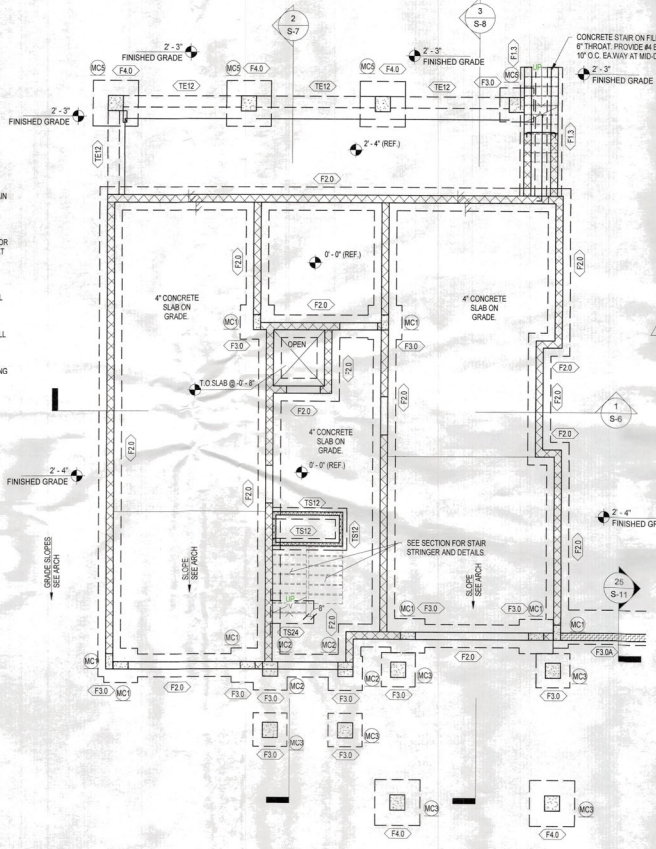
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INDICATES AN 8" LOAD BEARING MASONRY WALL. PROVIDE #6 BAR IN GROUTED CELLS AT CORNERS, ENDS, INTERSECTIONS OF WALLS, UNDER POINT LOADS AND AT 48" O.C. MAX. ALL CELLS BELOW GRADE. OR IN CONTACT WITH SOIL SHALL BE GROUTED SOLID.

INDICATES A 2X4 SO. PINE #2 WOOD WALL WITH STUDS AT 12" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE. ATTACH BOTTOM PLATE TO SLAB WITH 100 J-BOLTS AT 24" O.C. WITH P. BRACEMENT.

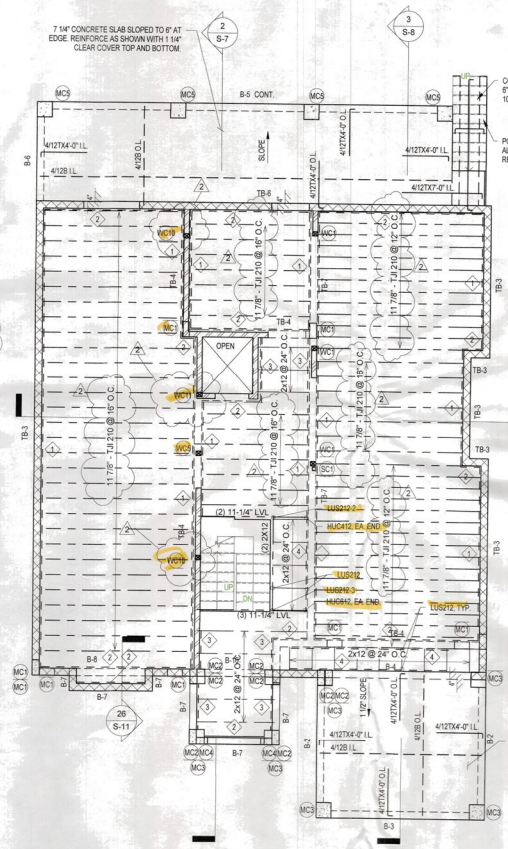
INDICATES AN INTERIOR 2X6 SO. PINE #2 WOOD WALL WITH STUDS AT 18" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE. ATTACH BOTTOM PLATE TO SLAB WITH 100 J-BOLTS AT 24" O.C. WITH P. BRACEMENT.

- FOUNDATION AND GROUND FLOOR PLAN NOTES**
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL AND MEP FOR ADDITIONAL INFORMATION.
 - SEE ARCHITECTURAL DRAWINGS FOR ALL SLOPES, DROPS AND DRAIN LOCATIONS IN FLOOR SLAB. MAINTAIN 4" MINIMUM SLAB DEPTH THICKEN SLAB TO 8" WITHIN 4" OF ALL SLAB STEPS. MAINTAIN 4" MINIMUM SLAB DEPTH ELSEWHERE.
 - ELEVATIONS SHOWN ARE RELATIVE TO THE INTERIOR GROUND FLOOR SLAB SURFACE SET AT 0'-0" (REF.). REFERENCE ELEVATION IS SET AT 3'-7" N.A.V.D. TOP OF INTERIOR GROUND FLOOR SLAB IS SET AT 2'-7" N.A.V.D.
 - SEE S-5 FOR FOOTING SCHEDULE. CENTERLINES OF WALLS AND COLLARS SHALL COINCIDE WITH CENTERLINES OF FOOTINGS AT ALL LOCATIONS.
 - TOP OF FOOTING ELEVATION SET AT (1)-4" UNLESS NOTED OTHERWISE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED PLUMBING PENETRATIONS THROUGH STEEL WALLS AND ELEVATIONS. NO PENETRATIONS ARE PERMITTED THROUGH FOOTINGS. FOOTINGS MAY STEP AS SHOWN IN THE TYPICAL DETAIL ON S-2. NOTIFY ENGINEER OF STEP LOCATIONS BEFORE PROCEEDING WITH WORK.
 - GROUND FLOOR SHALL BE 4" CONCRETE SLAB-ON-GRADE. U.N.O. REINFORCE IN 866 WY. 40W14 W/17" AT MID-DEPTH.



FOUNDATION AND GROUND FLOOR PLAN
3/16" = 1'-0"

- FIRST FLOOR FRAMING PLAN NOTES**
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND SLAB FINISHES WITH THE ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. FOR ADDITIONAL DIMENSIONAL INFORMATION SEE ARCHITECTURAL DRAWINGS.
 - ELEVATIONS SHOWN ARE RELATIVE TO THE INTERIOR GROUND FLOOR SLAB SURFACE SET AT 0'-0" (REF.). REFERENCE ELEVATION IS SET AT 3'-7" N.A.V.D. TOP OF INTERIOR FLOOR SHEATHING IS SET AT 1'-0".
 - SEE S-3 FOR ALL SCHEDULES.
 - ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED IN EXTERIOR APPLICATIONS SHALL BE PRESERVE TREATED WITH PRESERVATIVE (P.T.). EXTERIOR CONNECTORS SHALL BE HOT DIPPED GALVANIZED.
 - INTERIOR FLOOR FRAMING SHALL CONSIST OF 11 7/8" T&G FLOOR JOISTS AT 16" O.C. U.N.O. FLOOR SHEATHING SHALL BE 200# APA RATED 4024 PLYWOOD TAG SHEATHING. SHEATHING ATTACHMENT IS TO BE GULDED AND SCREWED TO JOISTS WITH #8 SCREWS AT 4" O.C. SPACING AT SUPPORTED PANEL EDGES AND 6" O.C. IN THE FIELD. ATTACH PLYWOOD AT ALL LEDGER LOCATIONS WITH #8 SCREWS AT 4" O.C. TO EACH LEDGER PLY.
 - WHERE INDICATED ON PLAN, EXTERIOR FLOOR FRAMING SHALL BE A CONCRETE SLAB. SEE PLAN FOR SLAB THICKNESS, SLOPES AND REINFORCEMENT. REINFORCEMENT BARS SHOWN ON PLAN AS SOLID LINES ARE TOP BARS AND BARS SHOWN AS DASHED LINES ARE BOTTOM BARS UNLESS SPECIFICALLY SHOWN OTHERWISE.



FIRST FLOOR PLAN
3/16" = 1'-0"

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
LONGBOAT KEY FL. 34228
PARCEL ID: #7782201459

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Sarasota, Florida 34231
Fax (414) 529-0328



ENGINEER OF RECORD
Correll S. Van Nostrand
P.L.C. # 47580
CERT. OF AUTH. #31980

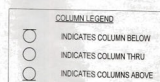
To the best of the architect's or engineer's knowledge, used plans and specifications comply with the applicable building codes and the applicable provisions of all other applicable laws and regulations in accordance with Chapters 553 and 663, Florida Statutes.

REVISION	DATE	DESCRIPTION
2	8-10-21	T&B CONVENTIONAL FRAMING

PM: Project No. BR 15219

GROUND FLOOR/ FIRST FLOOR PLAN

SCALE: As indicated



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SEP 02 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

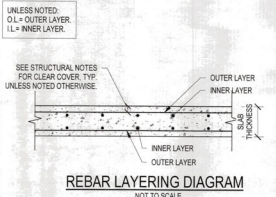
BLDG PERM - PLANS
Copy of Record

S-3
05-10-2021



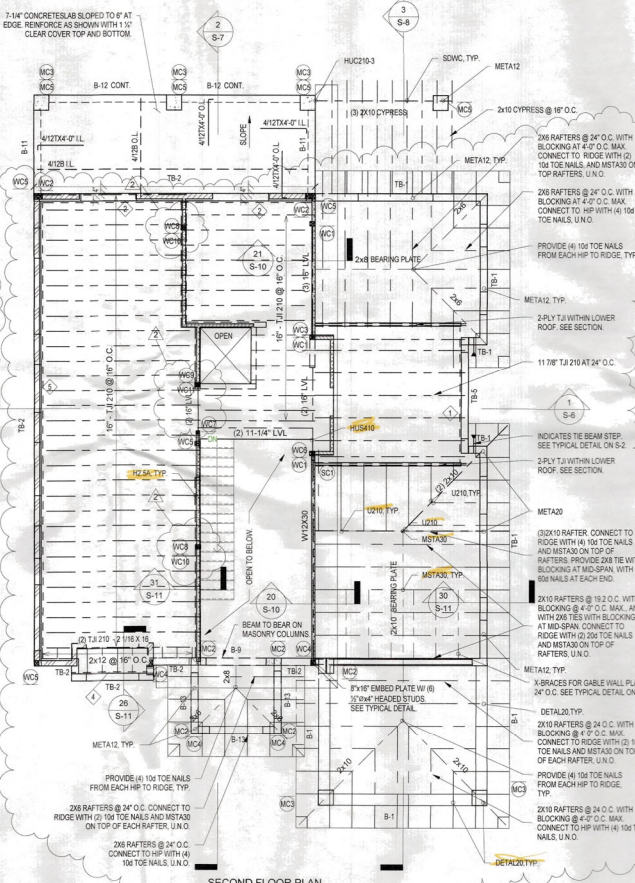
WALL LEGEND

- INDICATES A 2X4 SO. PINE #2 WOOD WALL WITH STUDS AT 12" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE OR SP4 AS NEEDED. ATTACH BOTTOM PLATE TO WOOD FRAMING BELOW WITH 10d NAILS AT 6" O.C. MAX. PROVIDE 1502 APA RATED EXPOSURE 1 PLYWOOD SHEATHING WITH 10d NAILS AT 6" O.C. AT ALL EDGES AND AT 12" O.C. IN THE FIELD. FULLY BLOCK ALL PLYWOOD JOINTS. INSTALL EXPOSED PLYWOOD GRAN PERPENDICULAR TO STUDS. PROVIDE (2)X10 HEADERS OVER OPENINGS UNLESS NOTED OTHERWISE.
- INDICATES A 2X6 SO. PINE #2 WOOD WALL WITH STUDS AT 24" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE OR SP4 AS NEEDED. ATTACH BOTTOM PLATE TO CONCRETE BEAM BELOW WITH 12" J BOLTS AT 24" O.C. WITH #8 EMBEDMENT. PROVIDE 1502 APA RATED EXPOSURE 1 PLYWOOD SHEATHING WITH 10d NAILS AT 6" O.C. AT ALL EDGES AND AT 12" O.C. IN THE FIELD. FULLY BLOCK ALL PLYWOOD JOINTS. INSTALL EXPOSED PLYWOOD GRAN PERPENDICULAR TO STUDS. PROVIDE (2)X10 HEADERS OVER OPENINGS UNLESS NOTED OTHERWISE.
- INDICATES AN INTERIOR 2X6 SO. PINE #2 WOOD WALL WITH STUDS AT 18" O.C. MAX. PROVIDE (1) JACK STUD AND (2) KING STUDS ON EACH SIDE OF EACH OPENING. EACH STUD IN WALL TO HAVE AN SP1 TO SINGLE BOTTOM PLATE AND SP2 TO DOUBLE TOP PLATE. ATTACH BOTTOM PLATE TO S-8 WITH 12" J-BOLTS AT 24" O.C. WITH #8 EMBEDMENT.
- INDICATES AN 8" LOAD BEARING MASONRY WALL. PROVIDE #5 BAR IN GROUTED CELLS AT CORNERS, ENDS, INTERSECTIONS OF WALLS, UNDER POINT LOADS AND AT 48" O.C. MAX. ALL CELLS BELOW GRADE, OR IN CONTACT WITH SOIL, SHALL BE GROUTED SOLID.
- INDICATES #8 MASONRY SILE WALL. PROVIDE #5 BAR IN GROUTED CELLS AT CORNERS, ENDS, INTERSECTIONS OF WALLS, UNDER POINT LOADS AND AT 32" O.C. MAX. ALL CELLS BELOW GRADE, OR IN CONTACT WITH SOIL, SHALL BE GROUTED SOLID.



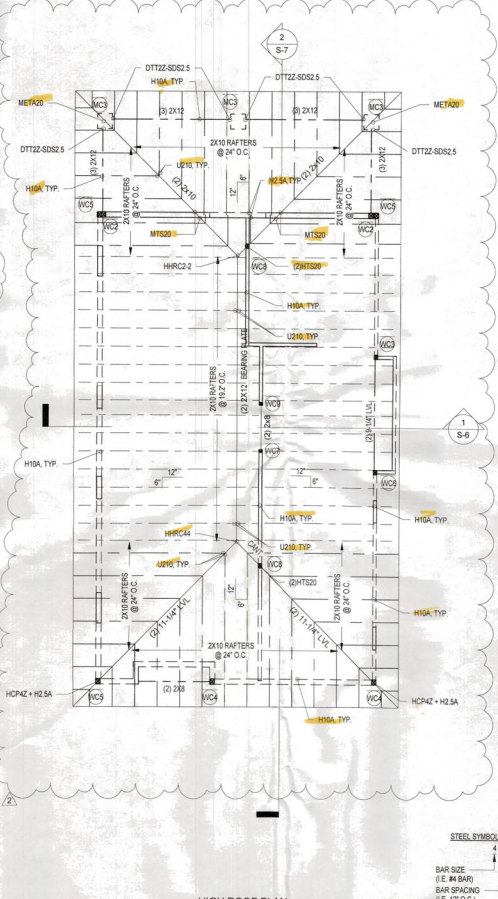
SECOND FLOOR AND LOW ROOF FRAMING PLAN NOTES

- VERIFY ALL DIMENSIONS, ELEVATIONS, AND SLAB FINISHES WITH THE ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. FOR ADDITIONAL DIMENSIONAL INFORMATION SEE ARCHITECTURAL DRAWINGS.
- ELEVATIONS SHOWN ARE RELATIVE TO THE INTERIOR GROUND FLOOR SLAB SURFACE SET AT 0'-0" (REF.). REFERENCE ELEVATION IS SET AT 3'-7" N.A.V.D.
- SEE S-8 FOR ALL SCHEDULES.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED IN EXTERIOR APPLICATIONS SHALL BE PRESSURE TREATED WITH PRESERVATIVE (P.T.) EXTERIOR CONNECTORS SHALL BE NOT DIPPED GALVANIZED.
- INTERIOR FLOOR FRAMING SHALL CONSIST OF 18" T&210 FLOOR JOISTS AT 18" O.C. FLOOR SHEATHING SHALL BE 2302 APA RATED 4824 PLYWOOD TAG SHEATHING SHEATHING ATTACHMENT IS TO BE GLEUED AND SCREWED TO JOISTS WITH SCREWS AT 4" O.C. SPACING AT SUPPORTED PANEL EDGES AND 8" O.C. IN THE FIELD. ATTACH PLYWOOD AT ALL LEDGER LOCATIONS WITH #8 SCREWS AT 12" O.C.
- THE ROOF FRAMING SYSTEM SHALL CONSIST OF A CONVENTIONALLY FRAMED 2x RAFTERS. SEE PLAN FOR SIZE AND SPACING. VERIFY CEILING HEIGHTS AND CONFIGURATIONS WITH THE ARCHITECTURAL PLANS. SEE ARCHITECTURAL PLANS FOR ROOF SLOPE AND EAVE DETAILS. ROOF BEARING ELEVATION +21" UNLESS NOTED OTHERWISE ON PLAN.
- ROOF SHEATHING SHALL BE 1902 APA RATED EXTERIOR PLYWOOD ROOF SHEATHING ATTACHMENT FOR ZONES 1 & 2, AS DEPICTED IN THE COMPONENT AND CLADDING WIND SCHEDULE, SHALL BE MADE WITH 10d NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. IN THE FIELD. ATTACHMENT FOR ZONE 3 IS TO BE MADE WITH 10d NAILS @ 4" O.C. AT SUPPORTED PANEL EDGES AND IN THE FIELD. PROVIDE PLYWOOD "H" CLIPS @ UNSUPPORTED PLYWOOD PANEL EDGES.
- ALL WOOD ROOF RAFTERS SHALL BE ATTACHED TO THE STRUCTURE WITH THE SPECIFIED SIMPSON CONNECTOR.
- PLYWOOD SHEATHING SHALL BE CONTINUOUS ON THE TOP OF THE RAFTERS. ALL OVER FRAMING OR VALLEY SETS SHALL BE PLACED ABOVE THE CONTINUOUS PLYWOOD.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED IN EXTERIOR APPLICATIONS SHALL BE PRESSURE TREATED WITH PRESERVATIVE (P.T.) EXTERIOR CONNECTORS SHALL BE NOT DIPPED GALVANIZED.
- PROVIDE 2" CONSP. FACIA AT EDGE OF ROOF. PROVIDE M24X1 ACROSS ALL SPICE LOCATIONS.
- UNLESS INDICATED TRUSS UPLIFT (IN LB.) IN EXCESS OF 1000 LB. FOR CONNECTORS NOTED AS VGT. PROVIDE A 5/8" THREADED ROD EMBEDDED 12" INTO THE BOND BEAM WITH A DOUBLE-NUT AND W/SP8 AT END.
- PROVIDE TRUSS GRAVITY LOAD (IN LB.) IN EXCESS OF 5000 LB.
- WHERE INDICATED ON PLAN, EXTERIOR FLOOR FRAMING SHALL BE A CONCRETE SLAB. SEE PLAN FOR SLAB THICKNESS, SLOPES AND REINFORCING. REINFORCING BARS SHOWN ON PLAN AS SOLID LINES ARE TOP BARS AND BARS SHOWN AS DASHED LINES ARE BOTTOM BARS UNLESS SPECIFICALLY SHOWN OTHERWISE.



HIGH ROOF FRAMING PLAN NOTES

- VERIFY ALL DIMENSIONS, ELEVATIONS, AND SLAB FINISHES WITH THE ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. FOR ADDITIONAL DIMENSIONAL INFORMATION SEE ARCHITECTURAL DRAWINGS.
- ELEVATIONS SHOWN ARE RELATIVE TO THE INTERIOR GROUND FLOOR SLAB SURFACE SET AT 0'-0" (REF.). REFERENCE ELEVATION IS SET AT 3'-7" N.A.V.D.
- SEE S-8 FOR ALL SCHEDULES.
- THE ROOF FRAMING SYSTEM SHALL CONSIST OF A CONVENTIONALLY FRAMED 2x RAFTERS. SEE PLAN FOR SIZE AND SPACING. VERIFY CEILING HEIGHTS AND CONFIGURATIONS WITH THE ARCHITECTURAL PLANS. SEE ARCHITECTURAL PLANS FOR ROOF SLOPE AND EAVE DETAILS. ROOF BEARING ELEVATION +28" UNLESS NOTED OTHERWISE ON PLAN.
- ROOF SHEATHING SHALL BE 1902 APA RATED EXTERIOR PLYWOOD ROOF SHEATHING ATTACHMENT FOR ZONES 1 & 2, AS DEPICTED IN THE COMPONENT AND CLADDING WIND SCHEDULE, SHALL BE MADE WITH 10d NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. IN THE FIELD. ATTACHMENT FOR ZONE 3 IS TO BE MADE WITH 10d NAILS @ 4" O.C. AT SUPPORTED PANEL EDGES AND IN THE FIELD. PROVIDE PLYWOOD "H" CLIPS @ UNSUPPORTED PLYWOOD PANEL EDGES.
- ALL WOOD RAFTERS SHALL BE ATTACHED TO THE STRUCTURE WITH THE SPECIFIED SIMPSON CONNECTOR.
- PLYWOOD SHEATHING SHALL BE CONTINUOUS ON THE TOP OF THE RAFTERS. ALL OVER FRAMING OR VALLEY SETS SHALL BE PLACED ABOVE THE CONTINUOUS PLYWOOD.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED IN EXTERIOR APPLICATIONS SHALL BE PRESSURE TREATED WITH PRESERVATIVE (P.T.) EXTERIOR CONNECTORS SHALL BE NOT DIPPED GALVANIZED.
- PROVIDE 2" CONSP. FACIA AT EDGE OF ROOF. PROVIDE M24X1 ACROSS ALL SPICE LOCATIONS.
- UNLESS INDICATED TRUSS UPLIFT (IN LB.) IN EXCESS OF 1000 LB. FOR CONNECTORS NOTED AS VGT. PROVIDE A 5/8" THREADED ROD EMBEDDED 12" INTO THE BOND BEAM WITH A DOUBLE-NUT AND W/SP8 AT END.
- UNLESS INDICATED TRUSS GRAVITY LOAD (IN LB.) IN EXCESS OF 5000 LB.



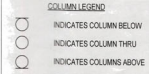
PERMIT SET
 THE PRESERVE
 LOT 109
 6820 LONGBOAT DRIVE SOUTHWEST
 LONGBOAT KEY FL 34228
 PARCEL ID: #7782201459

C. ALAN ANDERSON ARCHITECT, P.A.
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 Sarasota, Florida 34231
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ENGINEER OF RECORD
 C. Alan Anderson
 FL P.E. # 67580
 CERT. OF AUTH. #31580

REVISION	DATE	DESCRIPTION
2	8-19-21	T&B CONVENTIONAL FRAMING



SECOND FLOOR/ ROOF PLAN

SCALE: As indicated
 N
 S-4
 03-10-2021

RECEIVED
 SEP 02 2021
 TOWN OF LONGBOAT KEY
 Planning, zoning & building

To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and applicable fire safety standards as determined by local authority in accordance with Chapter 553 and 663 of Florida Statutes.

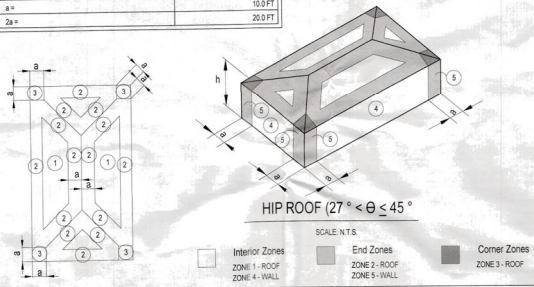
WIND LOAD SCHEDULE

SCHEDULE OF COMPONENTS AND CLADDING LOADS

ZONE	ZONE DESCRIPTION	TRIBUTARY AREA (SF)	W (PRESSURE) (+ PSF)	OUT (PRESSURE) (- PSF)
1	ROOF INTERIOR ZONE	LESS THAN 20	37.4	58.2
		20 - 100	25.3	51.3
		MORE THAN 100	19.6	35.3
2	ROOF EDGE ZONE	LESS THAN 20	37.4	103.3
		20 - 100	25.3	75.5
		MORE THAN 100	16.6	45.3
3	ROOF CORNER ZONE	LESS THAN 20	37.4	137.3
		20 - 100	25.3	89.3
		MORE THAN 100	16.6	45.3
4	WALL INTERIOR ZONE	LESS THAN 20	40.9	44.4
		20 - 100	32.2	42.9
		MORE THAN 100	34.7	39.2
5	WALL EDGE ZONE	LESS THAN 20	40.9	54.3
		20 - 100	38.7	46.1
		MORE THAN 100	34.7	42.9

NOTE: WIND PRESSURES SHOWN ARE BASED ON Vadd

CODE =	ASCE 1-16
ULTIMATE WIND SPEED Vult =	150 MPH
ALLOWABLE WIND SPEED Vadd =	118 MPH
RISK CATEGORY =	I
EXPOSURE =	1
ENCLOSURE CLASSIFICATION =	ENCLOSURED
INTERNAL PRESSURE COEFFICIENT (ICF) =	±0.18
h =	10.0 FT
Zn =	20.0 FT



FOUNDATION SCHEDULE

MARK	WIDTH	LENGTH	DEPTH	REINFORCING	REMARKS
F1.3	1'-4"	CONT.	1'-0"	2#5 BOT CONT.	
F1.2	2'-0"	CONT.	1'-0"	2 #5 BOT CONT.	
F3.0	3'-0"	3'-0"	1'-0"	2#5 BOT E.W.	
F3.0A	3'-0"	CONT.	1'-0"	2#5 BOT CONT.	
F4.0	4'-0"	4'-0"	1'-4"	2#5 BOT E.W.	
TE1.0	1'-0"	CONT.	1'-4"	2 #5 BOT CONT.	BOTTOM OF FOOTING TO BE MIN 12" BELOW ADJACENT GRADE
TS1.0	1'-0"	CONT.	1'-0"	2 #5 BOT CONT.	TOP OF FOOTING = TOP OF SLAB
TS4	2'-0"	CONT.	1'-0"	2 #5 BOT CONT.	TOP OF FOOTING = TOP OF SLAB

FOUNDATION SCHEDULE NOTES:

- TOP OF FOOTING IS -1'-4" UNLESS NOTED OTHERWISE
- PROVIDE CORNER BARS WHERE NECESSARY.

MASONRY COLUMN SCHEDULE

MARK	COLUMN SIZE	VERT. REINF.	REMARKS
MC1	7 5/8" x 16"	2#5 EACH CELL	
MC2	7 5/8" x 16"	4#5 EACH CELL	#2 TIES AT 8" O.C. IN HORIZONTAL JOINTS.
MC3	16" x 16"	4#5 (1 EACH CELL)	#2 TIES AT 8" O.C. IN HORIZONTAL JOINTS.
MC4	7 5/8" x 12"	2#5	PLASTER BLOCK W/ #3 TIES AT 16" O.C.
MC5	16" x 16"	4#5	PLASTER BLOCK W/ #3 TIES AT 16" O.C.

MASONRY COLUMN SCHEDULE NOTES:

- MASONRY WALL SHALL BE LAID IN RUNNING BOND CONFIGURATION.
- EACH CELL OF PLASTER SHALL BE GROUTED SOLID WITH REINFORCING AS SHOWN ABOVE.
- PROVIDE DOWELS FOR ALL BARS IN EACH CELL.
- WHERE MULTIPLE REINFORCING BARS ARE SHOWN, BARS SHALL BE BUNDLED AND CENTERED IN CELL, UNLESS NOTED OTHERWISE.
- PLASTER WIDTH (W) SHALL MATCH WALL WIDTH, UNLESS NOTED OTHERWISE.

WOOD COLUMN SCHEDULE

MARK	TYPE	BOTTOM CONNECTION	TOP CONNECTION	REMARKS
WC1	(3)-2/6	HT14 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	SEE COLUMN ABOVE	
WC2	(3)-2/6	HT14 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	(2) 5/8"	
WC3	(3)-2/4	(2) 5/8" TO COLUMN BELOW.	(2) 1/2" STAYS TO BEAM	
WC4	(3)-2/6	HOLDS-505 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	(2) 5/8"	
WC5	(3)-2/6	HT14 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	(2) 5/8"	
WC6	(3)-2/4	HT14 W/ 5/8" THREADED ROD W/ DOUBLE NUT AND OVERSIZED WASHER.	(2) 1/2" STAYS TO BEAM	
WC7	(3)-2/4	HT TO BEAM BELOW.	(2) 1/2" STAYS TO BEAM	
WC8	(3)-2/4	(2) 5/8" TO COLUMN BELOW.	SEE PLAN	
WC9	(3)-2/4	(2) 5/8" TO COLUMN BELOW.	(2) 1/2" STAYS TO BEAM	
WC10	(3)-2/6	HT14 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	SEE COLUMN ABOVE	
WC11	(3)-2/6	HT14 W/ 5/8" THREADED ROD EMBEDDED 12" INTO THE CONCRETE THE BEAM BELOW W/ DOUBLE NUT AND OVERSIZED WASHER.	SEE COLUMN ABOVE	

STEEL COLUMN SCHEDULE

MARK	TYPE	BOTTOM PLATE	TOP CAP	REMARKS
SC1	HSS3-12X3-12X1/4	1/4" X 12" X 12" PLATE W/ 6 TO 12X4 LONG HEADED STUDS TO BEAM BELOW	1/4" X 12" CAP PLATE WELDED TO COLUMN W/ (4) 3/4" THRU BOLTS TO BEAM	FIELD WELD COLUMN TO EMBED PLATE

STEEL COLUMN SCHEDULE NOTES:

- ALL CAP PLATES ARE SHOP WELDED TO COLUMNS UNLESS NOTED OTHERWISE.
- WHERE REMARKS REQUIRE COLUMNS TO BE HOT DIP GALVANIZED, COLUMN BASES AND CAP PLATES SHALL BE ATTACHED TO THE COLUMN PRIOR TO ENTIRE ASSEMBLY BEING HOT DIP GALVANIZED, EXCEPT ANY BASE PLATE NOTED AS FIELD WELDED.
- FOR HOT DIP GALVANIZED COLUMNS TO BE FIELD WELDED, PAINT ANY EFFECTED AREA OF GALVANIZATION WITH ZINC RICH PRIMER AND ENCAPSULATE WITH LIQUID APPLIED SEALANT/WATERPROOFING.
- WHERE AN EMBED PLATE IS PROVIDED, FIELD WELD COLUMN TO EMBED PLATE WITH 1/4" FLLET WELD ALL AROUND UNLESS NOTED OTHERWISE.
- WHERE BOTTOM OR TOP PLATE ARE SUPPORTED BY OR SUPPORTING A STEEL BEAM, RESPECTIVELY, MATCH WIDTH W TO BEAM FLANGE.
- ALL COLUMNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF STRUCTURAL MEMBERS ABOVE, UNLESS THE COLUMN IS NOTED AS "FIELD".

CONCRETE BEAM SCHEDULE

MARK	ELEV.	SIZE	REINF. BOT.	REINF. TOP.	THE SIZE SPACING	REMARKS
B-1	21'-1"	12X18	2#5	2#5	#3 @ 8" O.C.	PROVIDE CORNER BARS FOR ALL BARS TOP AND BOT BARS CONT. WITH TB-1
B-2	Varies	8X18-12 MIN	2#5	2#5	#3 @ 8" O.C.	
B-3	8'-8 1/2"	8X18-12	2#5	2#5	#3 @ 8" O.C.	
B-4	8'-0"	8X23-14	2#5	2#5	#3 @ 12" O.C.	
B-5	8'-3 3/4"	8X14-3/4	2#5	2#5	#3 @ 8" O.C.	
B-6	Varies	8X14-3/4 (MIN)	2#5	2#5	#3 @ 8" O.C.	
B-7	9'-0"	8X18	2#5	2#5	#3 @ 8" O.C.	
B-8	8'-11 1/4"	8X23-14	2#5	2#5	#3 @ 4" O.C.	2#5 MID BARS
B-9	22'-0"	8X18	2#5	2#5	#3 @ 8" O.C.	
B-10	8'-11 1/4"	8X11-14	2#5	2#5	#3 @ 4" O.C.	
B-11	Varies	8X14-3/4 (MIN)	2#5	2#5	#3 @ 8" O.C.	
B-12	22'-0 3/4"	8X14-3/4	2#5	2#5	#3 @ 8" O.C.	
B-13	24'-0"	8X23	2#5	2#5	#3 @ 14" O.C.	PROVIDE CORNER BARS FOR ALL BARS
TB-1	21'-1"	8X18	2#5	2#5	N/A	DOUBLE K.O. BLOCK COURSES GROUTED SOLID
TB-2	22'-0"	8X18	2#5	2#5	N/A	DOUBLE K.O. BLOCK COURSES GROUTED SOLID
TB-3	9'-0"	8X18	2#5	2#5	N/A	DOUBLE K.O. BLOCK COURSES GROUTED SOLID
TB-4	8'-11 1/4"	8X18	2#5	2#5	N/A	DOUBLE K.O. BLOCK COURSES GROUTED SOLID
TB-5	22'-0"	8X18	2#5	2#5	N/A	DOUBLE K.O. BLOCK COURSES GROUTED SOLID
TB-6	9'-0"	8X20	2#5	2#5	#3 @ 24" O.C.	
TB-7	8'-11 1/4"	8X15-14	2#5	2#5	#3 @ 24" O.C.	
TB-8	22'-0"	8X20	2#5	2#5	#3 @ 24" O.C.	

BEAM SCHEDULE NOTES:

- TOP STEEL CONTINUOUS UNLESS OTHERWISE NOTED.
- IF BEAM OCCURS ACROSS A STEP LOCATION, DROP TOP STEEL FOR SMALLER BEAM HEIGHT.
- TOP OF BEAM ELEVATION IS IN REFERENCE TO DEEPEST PORTION OF BEAM.
- TOP STEEL IN CONTINUOUS BEAMS SHALL TAKE PRECEDENT OVER INTERSECTING SINGLE SPAN BEAMS AT INTERSECTIONS.
- PROVIDE CORNER BARS FOR ALL THE BEAMS AND BOND BARS.
- FOR BEAMS GREATER THAN 30" DEEP, PROVIDE #4 BARS @ 6" O.C. ON EACH FACE OF BEAM UNLESS OTHERWISE NOTED. PROVIDE CLASS "B" LAP SPLICES FOR ALL BARS.

LEDGER SCHEDULE

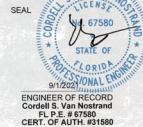
MARK	ELEVATION	SIZE	ATTACHMENT	ADDITIONAL NOTES
1	TOP OF LEDGER SET AT TOP OF JOIST	(2)-2X12 PT	1/2" SIMPSON TITEN HD ANCHOR 3" MIN EMBED @ 12" O.C. MAX	
2	TOP OF LEDGER SET AT PLYWOOD BEARING FOR PLYWOOD WALLING	(2)-2X4 PT	1/2" SIMPSON TITEN HD ANCHOR 3" MIN EMBED @ 16" O.C. MAX	
3	TOP OF LEDGER SET AT TOP OF JOIST	(2)-2X6 PT	1/2" SIMPSON TITEN HD ANCHOR 3" MIN EMBED @ 16" O.C. MAX	
4	TOP OF LEDGER SET AT TOP OF JOIST	(2)-3X12 PT	1/2" SIMPSON TITEN HD ANCHOR 3" MIN EMBED @ 16" O.C. MAX	
5	TOP OF LEDGER SET AT TOP OF JOIST	(2) 1" LSL	1/2" SIMPSON TITEN HD ANCHOR 3" MIN EMBED @ 12" O.C. MAX	



PERMIT SET
THE PRESERVE
LOT 109

6820 LONGBOAT DRIVE SOUTH
LONGBOAT KEY FL, 34228
PARCEL ID: #7782201459

C. ALAN ANDERSON ARCHITECT, P.A.
3608 Midland Road
Phone (414) 929-0329
Sarasota, Florida 34231
Fax (941) 929-0328



To the best of the architect's or engineer's knowledge, each plan and specification complies with the applicable building codes and fire and applicable minimum fire safety standards as determined in accordance with Chapter 62, and 633 Florida Statutes.

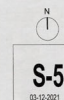
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2	8-10-21	T.J. & CONVENTIONAL FINANCIAL

PM BR
Project No. 19219

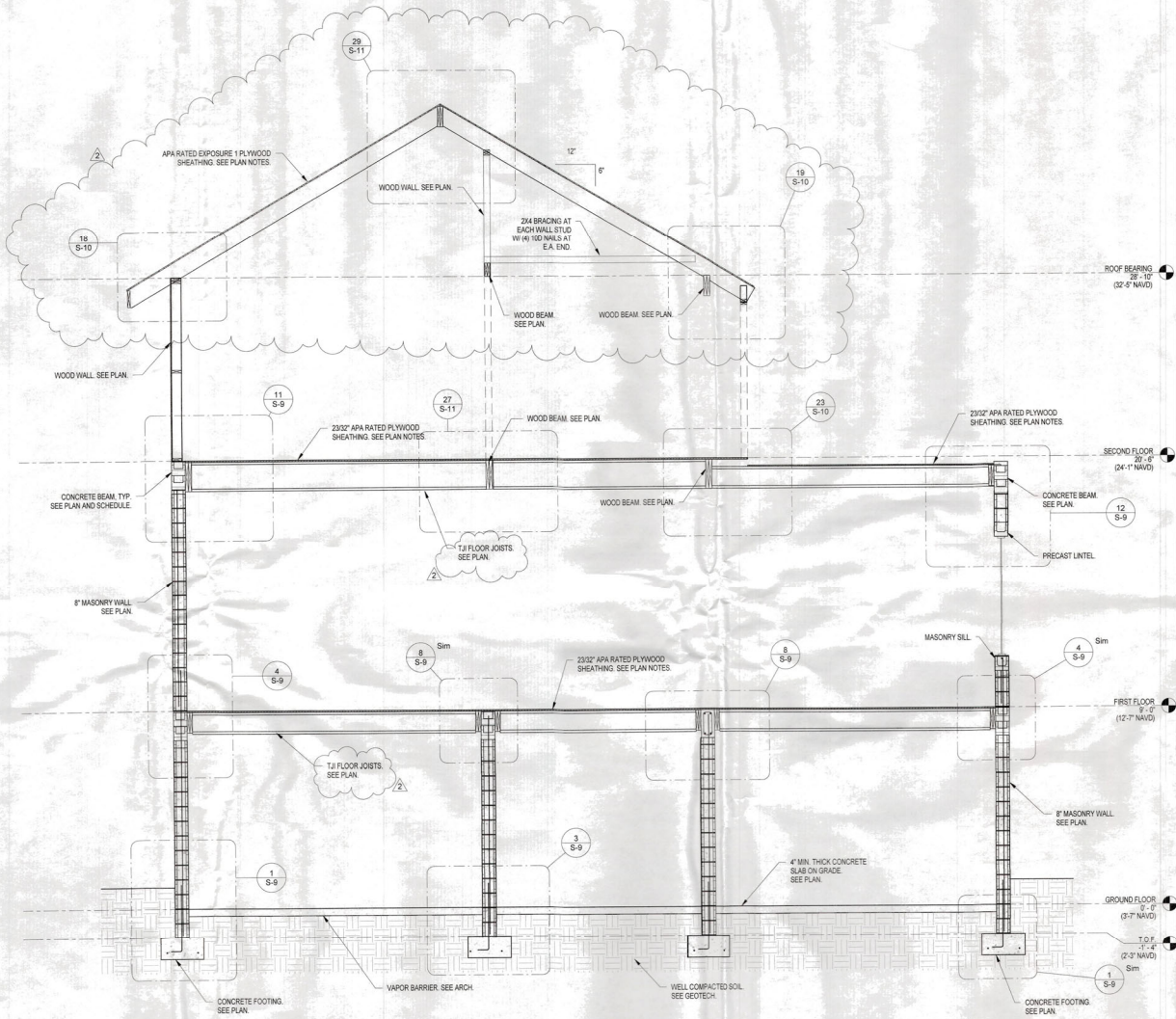
SCHEDULES

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SCALE: As indicated



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1
S-6 BUILDING SECTION
3/8" = 1'-0"

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
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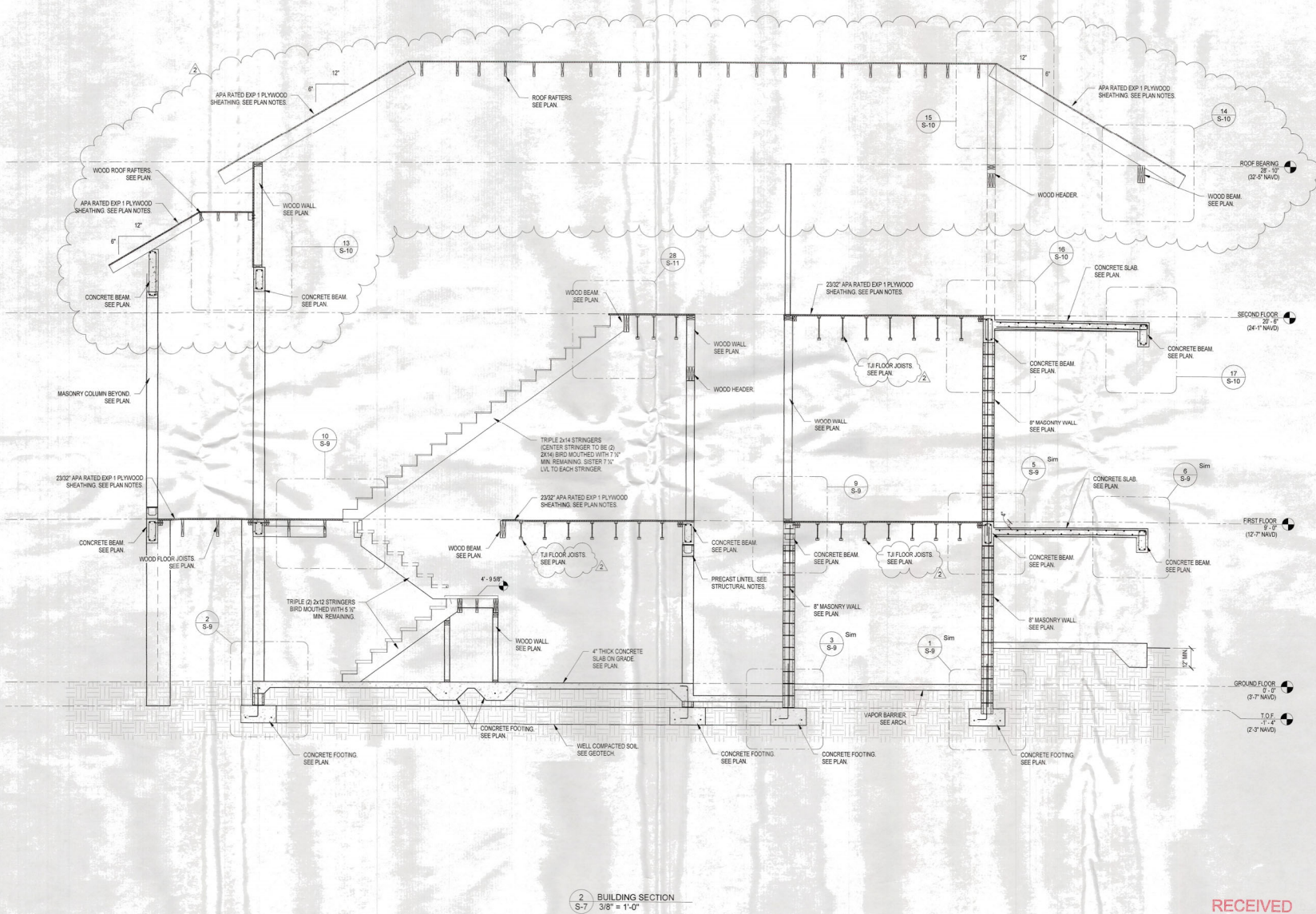
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1	8-19-21	T&B CONVENTIONAL FRAMING
2		

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S-6
09-12-2021

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2 BUILDING SECTION
3/8" = 1'-0"

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
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REVISION	DATE	DESCRIPTION
2	8-10-21	T-1 & CONVENTIONAL FRAMING

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Project No. 19219

BUILDING SECTIONS

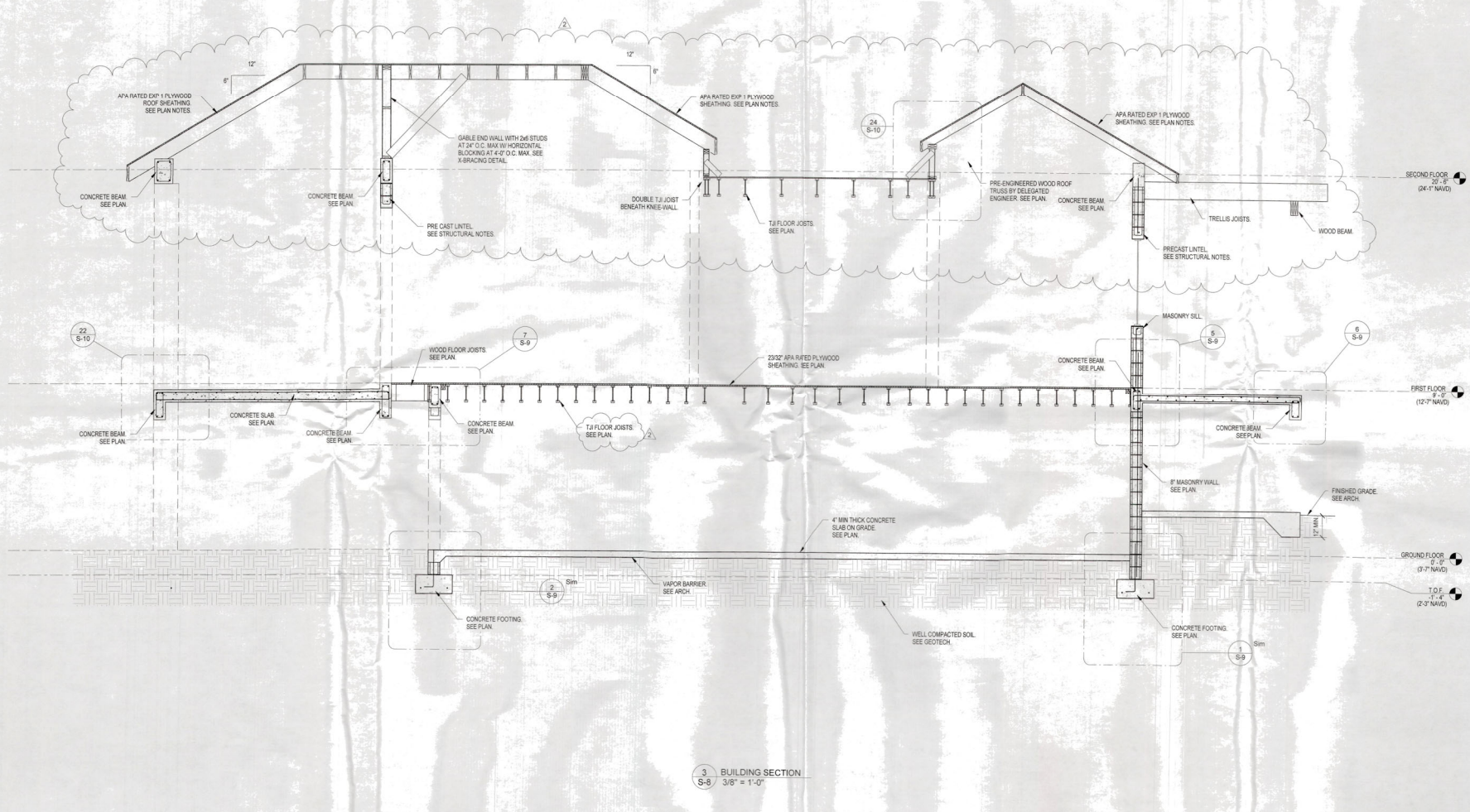
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SCALE: 3/8" = 1'-0"

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03-10-2021

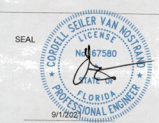
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3 BUILDING SECTION
S-8 3/8" = 1'-0"

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
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9/12/2021
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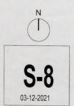
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Project No. 19219

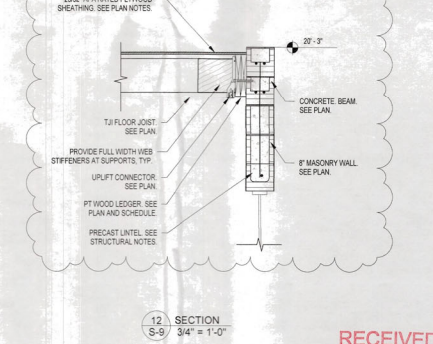
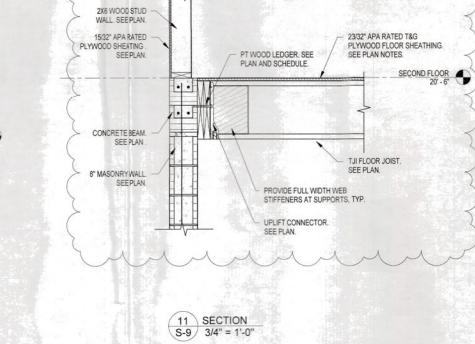
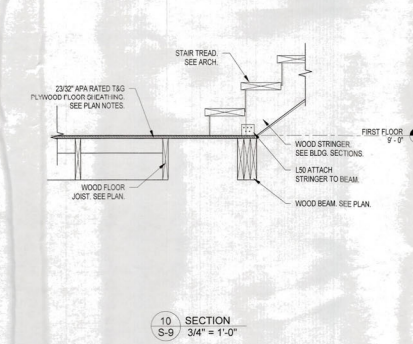
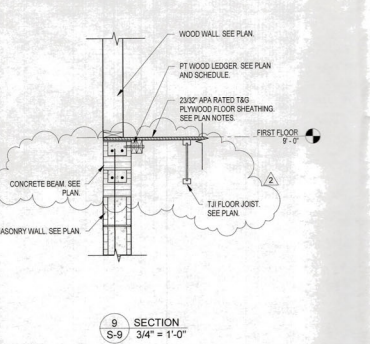
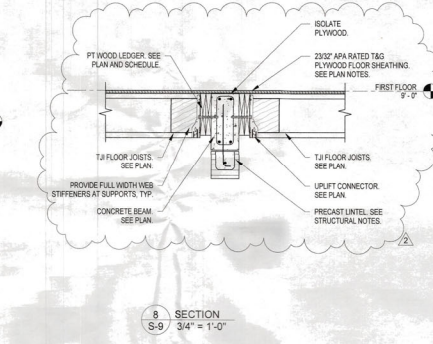
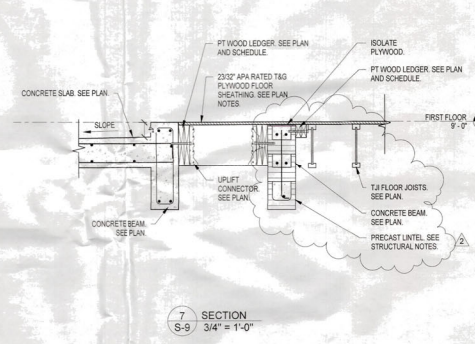
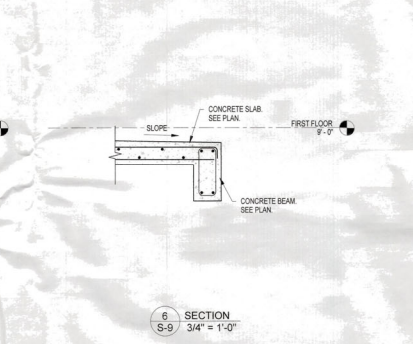
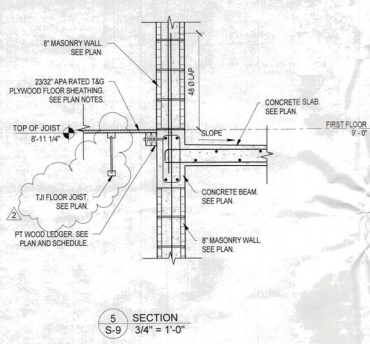
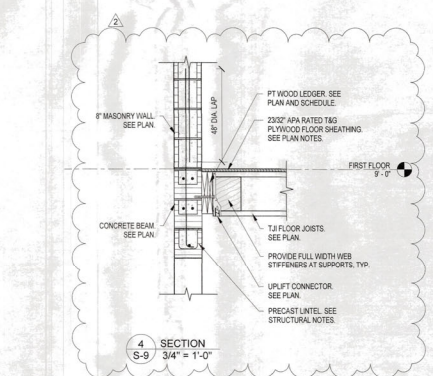
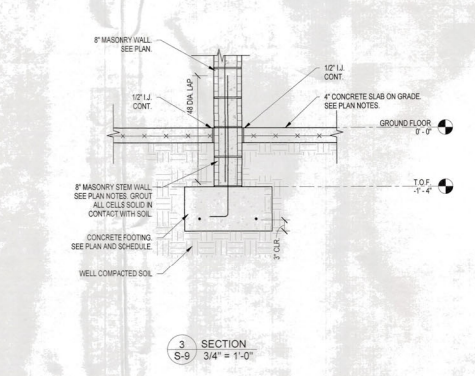
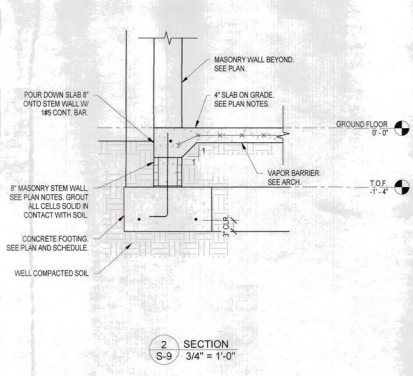
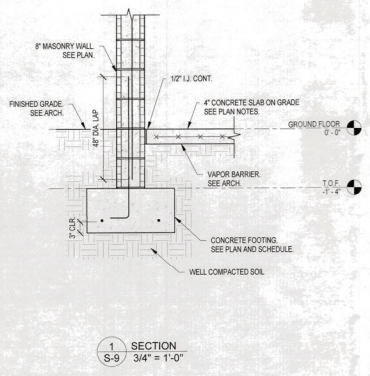
BUILDING SECTIONS

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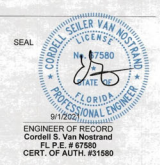


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PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
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To the best of the architect's or engineer's knowledge, said plans and specifications comply with the applicable building codes and the applicable provisions for safety standards as determined in accordance with Chapters 553 and 663, Florida Statutes.

REVISION	DATE	DESCRIPTION
2	8-10-21	T&I & CONVENTIONAL FRAMING

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SECTIONS

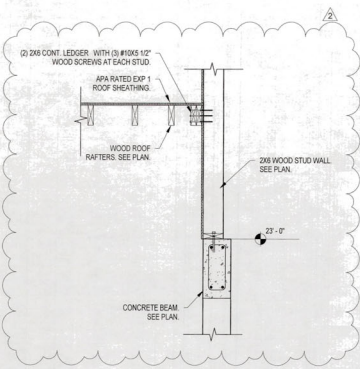
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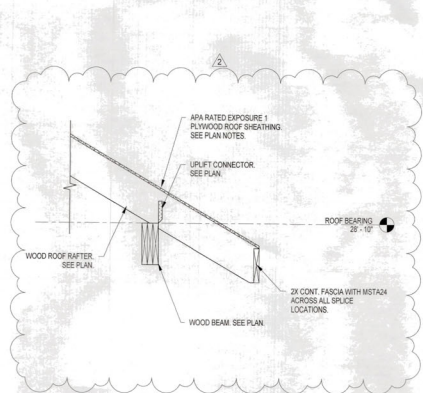


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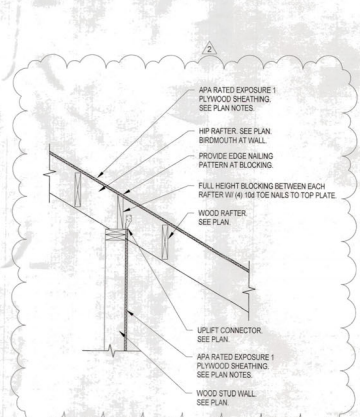
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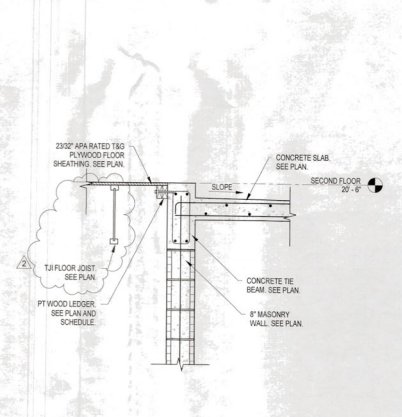
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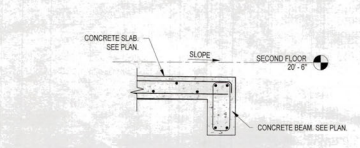
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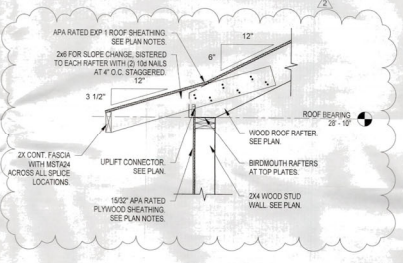
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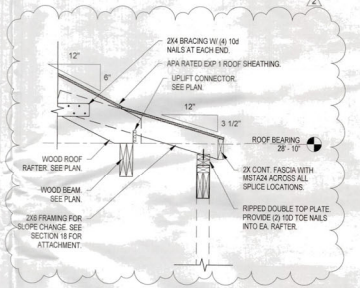
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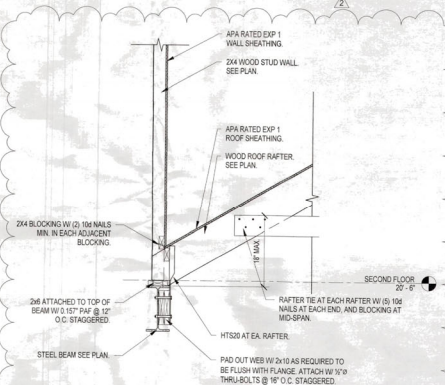
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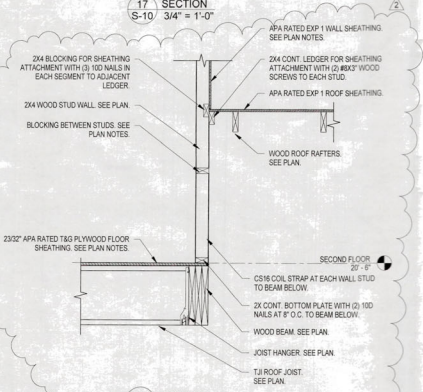
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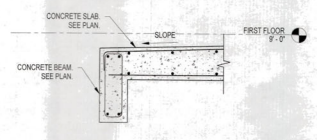
19 SECTION
S-10 3/4" = 1'-0"



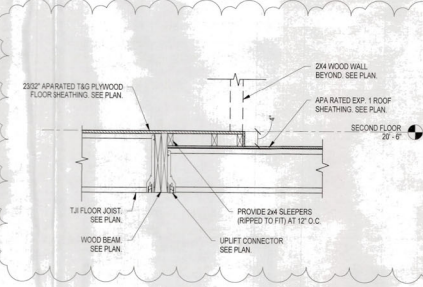
20 SECTION
S-10 3/4" = 1'-0"



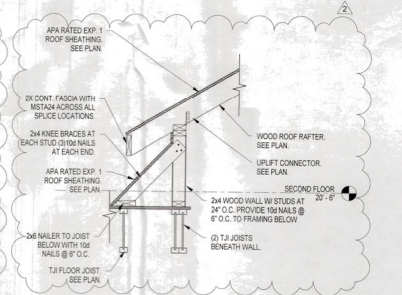
21 SECTION
S-10 3/4" = 1'-0"



22 SECTION
S-10 3/4" = 1'-0"



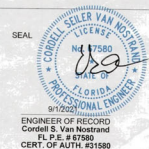
23 SECTION
S-10 3/4" = 1'-0"



24 SECTION
S-10 3/4" = 1'-0"

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
LONGBOAT KEY FL 34228
PARCEL ID: #7782201459

C. ALAN ANDERSON ARCHITECT, P.A.
3968 Mistard Road Sarasota, Florida 34231
Phone (941) 929-0229 Fax (941) 929-0228



To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable building codes and the applicable minimum fire safety standards as determined in accordance with Chapters 553 and 663, Florida Statutes.

REVISION	DATE	DESCRIPTION
2	8-19-21	T&G & CONVENTIONAL FRAMING

PM BR
Project No. 19219

SECTIONS
RELD PERMIT PLANS FILE Copy of Record

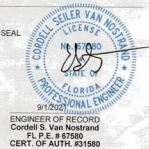
RECEIVED
SEP 02 2021
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

SCALE: 3/4" = 1'-0"
N
S-10
09-12-2021

"To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and applicable fire safety standards as determined by local authority in accordance with Chapter 553 and 663 of Florida Statutes."

PERMIT SET
THE PRESERVE
LOT 109
6820 LONGBOAT DRIVE SOUTH
LONGBOAT KEY FL 34228
PARCEL ID: #7782201459

C. ALAN ANDERSON ARCHITECT, P.A.
1908 Midland Road
Jacksonville, Florida 32205
Phone: (904) 929-0239
Fax: (904) 929-0238



To the best of the architect's or engineer's knowledge, seal, stamp and specification comply with the applicable building codes and the applicable provisions of any standards or standards of accreditation with Chapters 553 and 663, Florida Statutes.

REVISION	DATE	DESCRIPTION
2	8-10-21	T-F & CONVENTIONAL FRAMING

PM: BR
Project No.: 19219

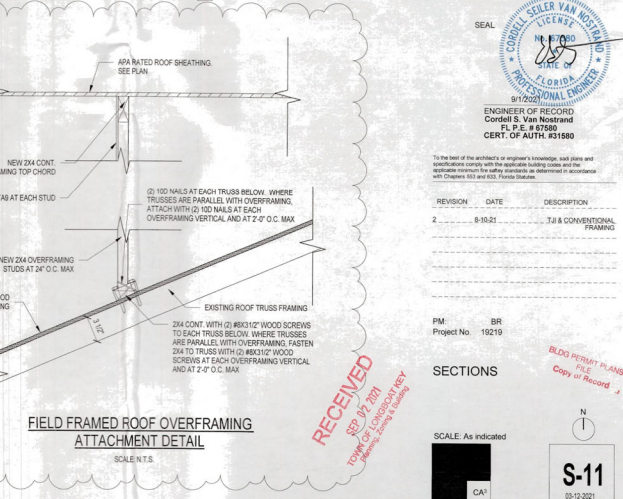
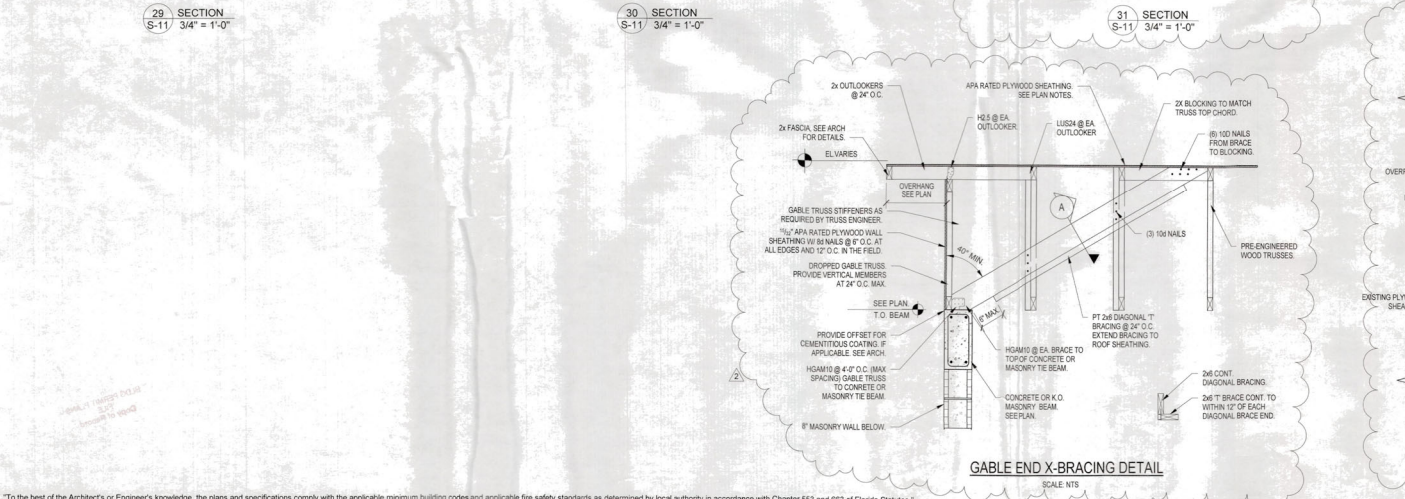
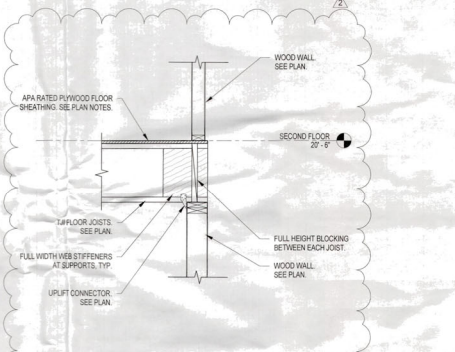
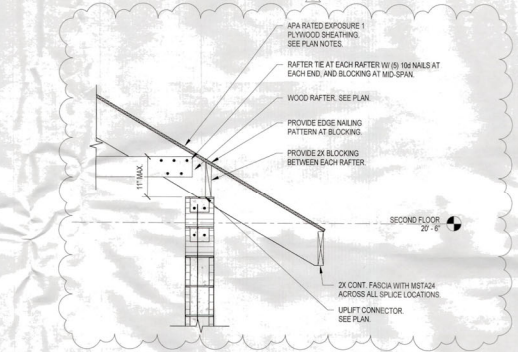
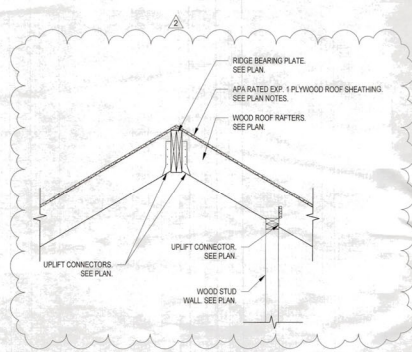
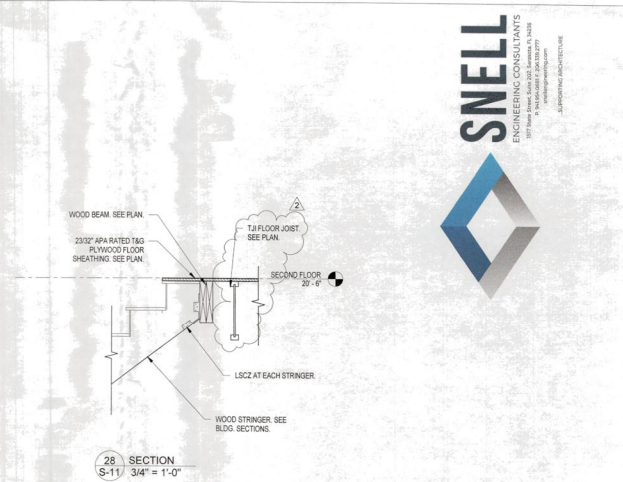
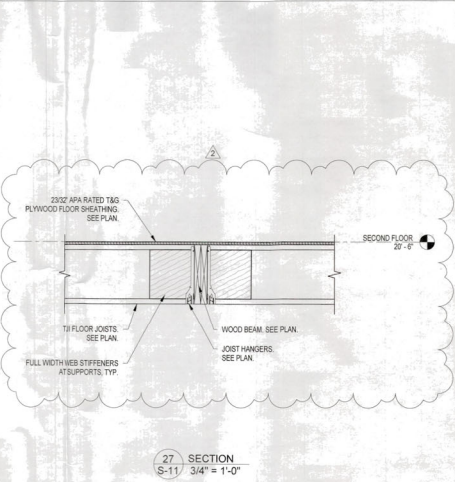
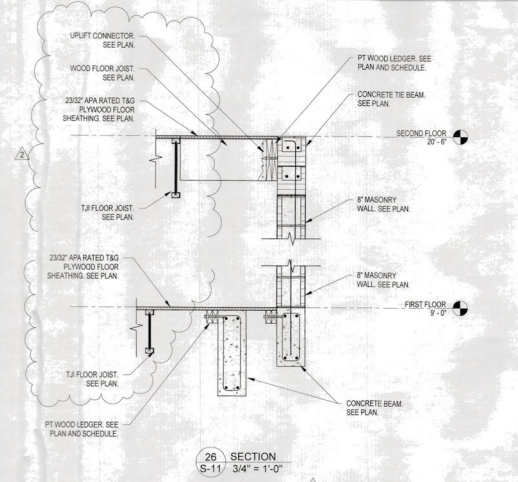
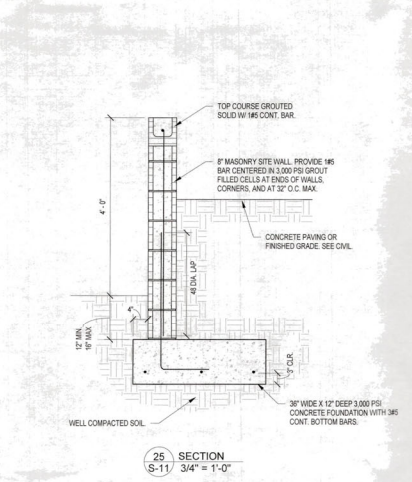
SECTIONS

SCALE: As indicated



BLDG PERMIT PLANS
Copy of Record

S-11
02-12-2021



"To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and applicable fire safety standards as determined by local authority in accordance with Chapter 553 and 663 of Florida Statutes."