

6949 (LOT 07) LONGBOAT DR. LONGBOAT KEY, FL

BLDG. PERMIT PLANS
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DESIGN NOTE:

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA RESIDENTIAL CODE 2014 (5TH EDITION)

S.F.	3.3 FEET
2d.s.	6.8 FEET
3d.s.	9.3 FEET
RISK CATEGORY	R
WIND SPEED - 1	VULNERABILITY (V) 110-115 MPH
CODE	FL RESIDENTIAL CODE- 2014 (5TH EDITION)
NEED EXPOSURE	D
ENCLOSED STRUCTURE (NEW)	(95 psf + 0.16)

DESIGN LIVE LOADS

ROOF: 20 PSF
FLOOR: 40 PSF
EXTERIOR STAIRS AND LANDINGS: 40 PSF
DECK: 40 PSF

GENERAL DESIGN NOTES

- ALL STRUCTURE CONSTRUCTION ON THESE DRAWINGS HAS BEEN DESIGNED TO COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 2014 (5TH EDITION).
- DETAILS LARGELY TYPICAL APPLY TO ALL SITUATIONS THAT ARE NOT SPECIFICALLY NOTED OTHERWISE. REFER TO THE NOTES AT EACH LOCATION.
- DETAILS SHOWN ON STRUCTURAL DRAWINGS ARE APPROVED AS SHOWN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS BEFORE CONSTRUCTION. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE CONSTRUCTION.
- THE STRUCTURE IS DESIGNED TO BE STRUCTURALLY SOUND AND COMPLY WITH ALL APPLICABLE CODES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL APPLICABLE CODES.
- DESIGN LOADS

ROOF: 20 PSF
SLAB FLOORS: 40 PSF
BALCONY & DECK: 40 PSF
WINDS: 40 PSF FOR WIND-BOURNE LOADING ON A 100 MPH WIND

GROUP CLASSIFICATION: R-3 (SEE CHAPTER 3)

CONSTRUCTION TYPE: V-B (SEE CHAPTER 6)

ZONING: R-6GF

FLOOD ZONE: AE

SHEET LIST

SHEET NUMBER	SHEET NAME
A1	COVER
A2	SITE PLAN
A3	AREA PLAN
A4	FLOOR PLAN - GROUND LVL
A5	FLOOR PLAN - 1st LVL
A6	FLOOR PLAN - 2nd LVL
A7	ELEVATION - FRONT & REAR
A8	ELEVATION - LEFT & RIGHT
A9	CEILING/ROOF PLAN
A10	ARCH DETAILS
A11	ELECTRICAL PLAN - GROUND/FIRST LVL
A12	ELECTRICAL PLAN - 2ND LVL

THIS HOME IS NON SPRINKLED

PLANS AND SPECIFICATION CONTAINED HEREIN AND METHODOLOGIES FOR CONSTRUCTION ARE IN COMPLIANCE WITH THE WIND-BORNE DEBRIS REGION AS DEFINED AND SET FORTH BY THE FLORIDA BUILDING CODE, RESIDENTIAL 6TH EDITION (2017)

FRANK AGNELLI OF MASON MARTIN

TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, (2017 6TH EDITION 18A6.1, FBC R318.1 FLORIDA BUILDING CODE RESIDENTIAL FIFTH EDITION R318.1)

"SOIL TO BE TREATED PRIOR TO VAPOR BARRIER AND CONCRETE INSTALLATION. PREMISE 75 WSP OR COMPARABLE CHEMICAL TO BE USED"

BLDG. PERMIT PLANS
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RECEIVED
FEB 13 2018
TOWN OF LONGBOAT KEY
Planning Zoning & Building



BEACON DESIGN
ARCHITECTURE, P.L.L.C.
10000 WINDY HILL ROAD, SUITE 100
LONGBOAT KEY, FL 34908
TEL: 888-888-8888
WWW.BEACONDESIGN.COM

CONTRACT INFORMATION

NO.	DESCRIPTION	DATE
1	PERMIT APPLICATION	04-20-17
2	PERMIT ISSUED	04-20-17
3	PERMIT RENEWED	04-20-17
4	PERMIT RENEWED	04-20-17
5	PERMIT RENEWED	04-20-17
6	PERMIT RENEWED	04-20-17
7	PERMIT RENEWED	04-20-17
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18	PERMIT RENEWED	04-20-17
19	PERMIT RENEWED	04-20-17
20	PERMIT RENEWED	04-20-17
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28	PERMIT RENEWED	04-20-17
29	PERMIT RENEWED	04-20-17
30	PERMIT RENEWED	04-20-17
31	PERMIT RENEWED	04-20-17
32	PERMIT RENEWED	04-20-17
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41	PERMIT RENEWED	04-20-17
42	PERMIT RENEWED	04-20-17
43	PERMIT RENEWED	04-20-17
44	PERMIT RENEWED	04-20-17
45	PERMIT RENEWED	04-20-17
46	PERMIT RENEWED	04-20-17
47	PERMIT RENEWED	04-20-17
48	PERMIT RENEWED	04-20-17
49	PERMIT RENEWED	04-20-17
50	PERMIT RENEWED	04-20-17

6949 LOT 07 LONGBOAT DR.

COVER

PROJECT # 17-023
START DATE: 04-20-17
DRAWN BY: Author

A1

SCALE

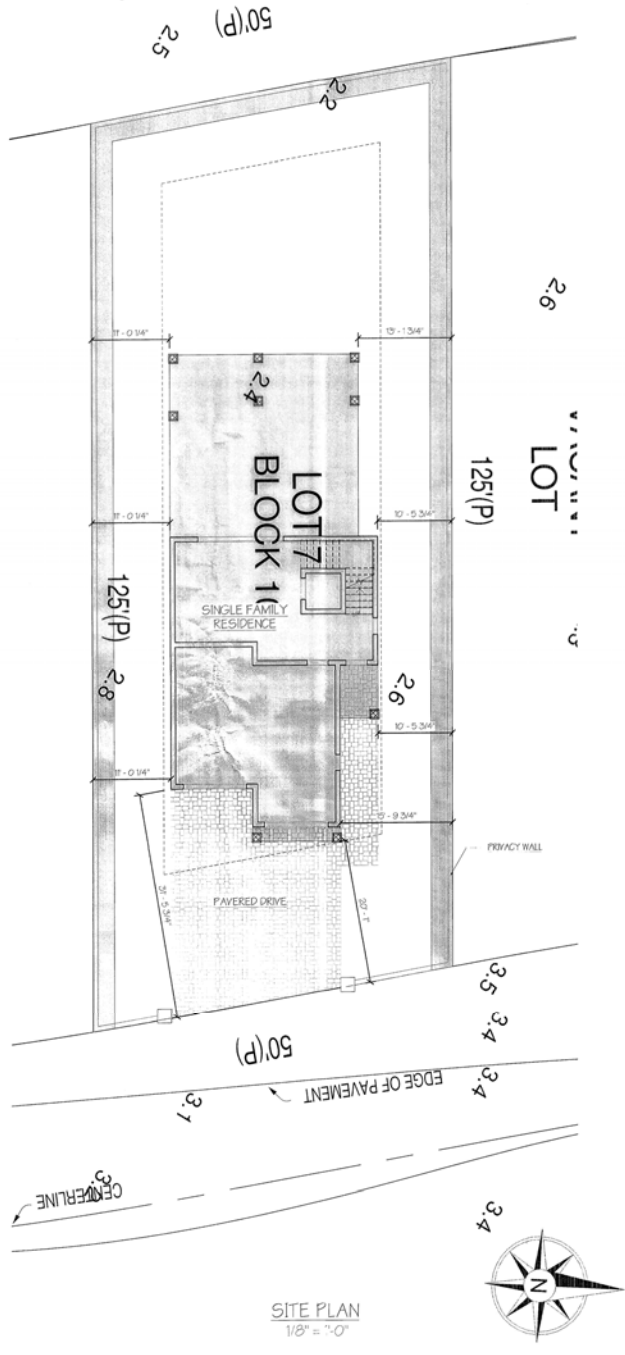
The attached set of construction drawings was prepared by the undersigned professional engineer, Beacon Design, on the basis of information provided by the client. It is the responsibility of the client to provide accurate information. Beacon Design is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. This document is not to be construed as a contract.



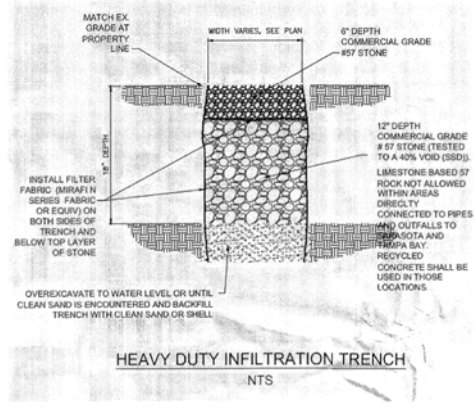
PROJECT # 17-023
 SHEET DATE 04-20-17
 DRAWN BY [Name]
 PROJECT [Name]

No.	Description	Date

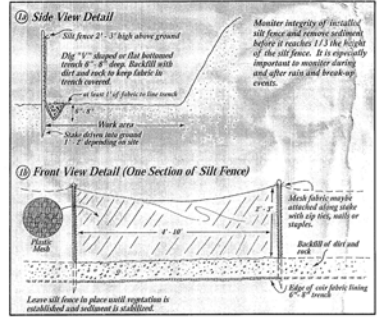
6040 LOT 07 LONGBOAT DR



TOTAL AREA OF LOT
 SQ. FT.
 6368



NPDES



NPDES



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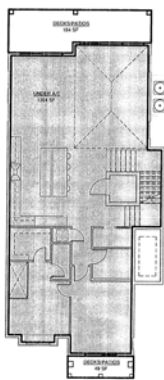
BEACON DESIGN
1000 W. 10TH ST. SUITE 200
DENVER, CO 80202
PHONE: (303) 733-1111
FAX: (303) 733-1112
WWW.BEACONDESIGN.COM

CONTRACT NO.
PROJECT NO.
DATE
DRAWN BY
CHECKED BY
SCALE

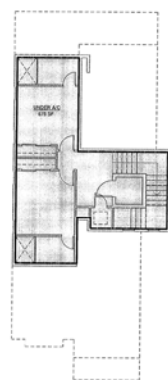
NO.	DESCRIPTION	DATE
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3	REVISION	
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6	REVISION	
7	REVISION	
8	REVISION	
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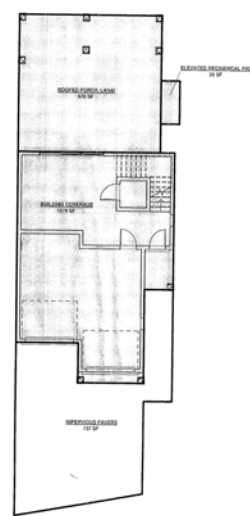
GROUND LVL - AREA PLAN
3/32" = 1'-0"



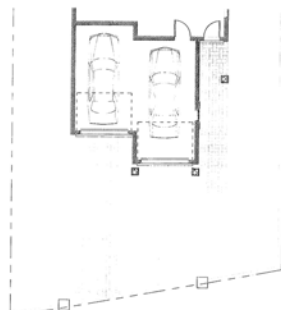
1st LVL - AREA PLAN
3/32" = 1'-0"



2nd LVL - AREA PLAN
3/32" = 1'-0"



BUILDING COVERAGE
3/32" = 1'-0"



PARKING PLAN
3/32" = 1'-0"

NAVD ELEVATIONS	
LEVEL	ELEVATION
CROWN OF ROAD	5' 2 1/2"
FINISH 1st and ALTERNATE (B.F.L.)	0'

AREA CALCULATIONS			
LEVEL	AREA	PERIMETER	DESCRIPTION
DECK/PATIO/DO			
1st LVL AREA PLAN	184 SF	69' - 4"	
2nd LVL AREA PLAN	49 SF	32' - 0 1/2"	
Garage/Storage	233 SF	102' - 0 1/2"	
GARAGE SLAB	418 SF	89' - 4"	GARAGE
GARAGE SLAB	466 SF	94' - 6"	GARAGE
GARAGE SLAB	870 SF	154' - 0"	
UNDER A/C			
GARAGE SLAB	25 SF	30' - 0"	LOWER FOOTER
1st LVL AREA PLAN	1304 SF	173' - 4"	
2nd LVL - 1.G. PLR SYSTEM SUB FLOOR	675 SF	146' - 1 3/4"	LIVING
2080 SF	339' - 5 3/4"		
3894 SF	629' - 6 1/4"		

LOT SIZE is calculated as the area within platted lot lines except:
 • Where a lot line lies within a public or private utility, the edge of the street or the right-of-way shall be considered the lot line.
 • Where a lot line lies within a public or private utility, the Division Control Line, where high water line, water-saturated area, bottom of channel line, shoreline or most setback, shall be considered the lot line. (A.R.C. 106.006-LOT LINES)
 LOT SIZE, BUILDABLE: 6455 square feet, as supported by subdivision approved survey

NO.	DESCRIPTION	SQUARE FEET		
		EXISTING	THIS PERMIT	BY OTHERS
Lot Coverage Calculation				
2.1 Non-Open Space				
2.1.1	Shedding Structures (over concrete substructure)			
2.1.2	Garage Capped (over concrete)			
2.1.3	Shed (over concrete)			
2.1.4	Front Entry & Front Steps (over concrete)			
2.1.5	Front Entry & Front Steps (over concrete)			
2.1.6	Rear Entry & Rear Steps (over concrete)			
2.1.7	Rear Entry & Rear Steps (over concrete)			
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2.1.99	Rear Entry & Rear Steps (over concrete)			
2.1.100	Rear Entry & Rear Steps (over concrete)			

6040 LOT 071 LONGBOAT DR
BLDG. PERMIT PLANS
FILE Copy of Record

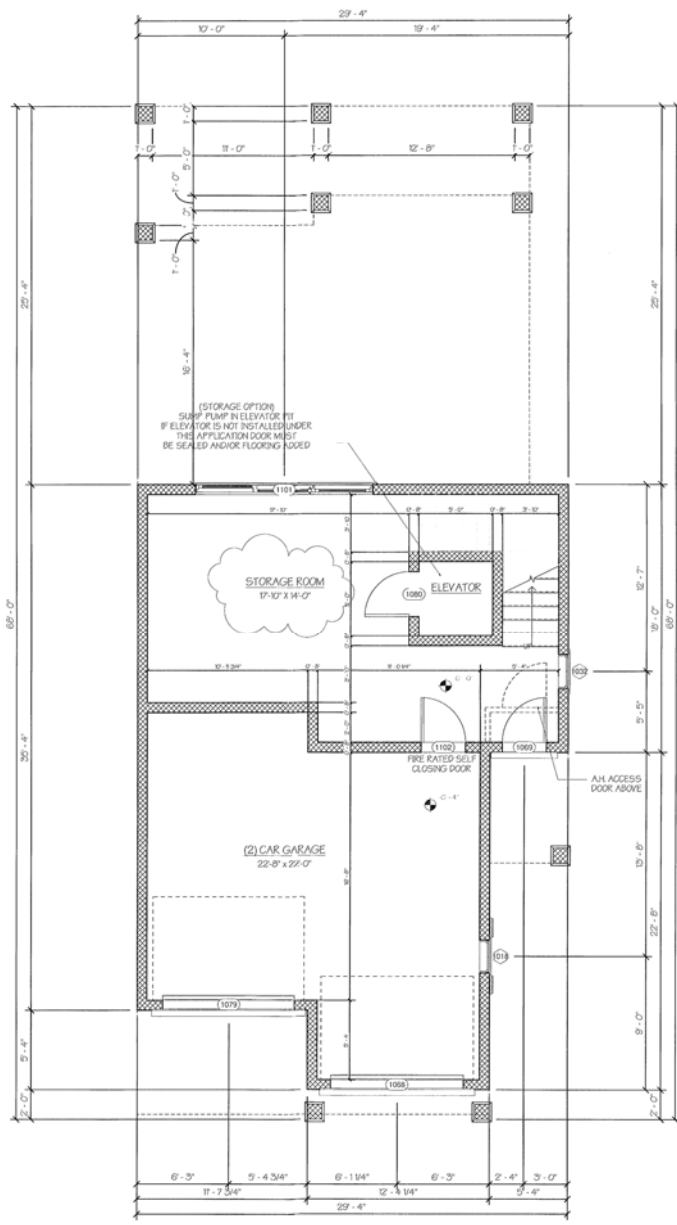
GENERAL NOTES:

- DEER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRIFT DAMPER.
- ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT U/LON, DOUBLE GLAZED, HURRICANE-RATED.
- BUILDING INSULATION SHALL BE AS FOLLOWS:
FRAME WALL - R-19
F.G. BLOCK WALLS - R-5
FLOOR SYSTEM - R-36
ROOF TRUSSES - R-30 OR BETTER
- ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
- PROVIDE TEMPERED GLASS AT ALL SLOWLY ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITH 1/8" 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 1" ABOVE THE FLOOR.
- A/C DRAINS TO BE READILY ACCESSIBLE.
- MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SHAW SPACE SHALL BE LIMITED TO 24" MAXIMUM.
- ALL GYPSUM BOARD IN WET AREAS TO BE MOISTURE RESISTANT.
- ALL WOOD TOUCHING CONCRETE SHALL BE PRESURE TREATED.
- WATER CLOSETS TO BE 16 GALLON.
- FOR ALL WOOD BEAMS PROVIDE A MINIMUM OF 3" BEARING.
- PROVIDE WOOD BLOCKING AS REQUIRED PER IRC WITH TRIM, CABINETRY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
- LATERAL STABILITY FOR THIS STRUCTURE IS PROVIDED COMBINATION OF SHEAR WALLS, POURED MASONRY, AND FRAME ACTION FROM POURED CONCRETE BEAMS AND COLUMNS. TO THE BEST OF OUR KNOWLEDGE, THIS STRUCTURE CONFORMS TO THE FLORIDA RESIDENTIAL BUILDING CODE 2014.
- ALL MATERIAL BELOW THE D.F.E. TO BE FLOOD RESISTANT. GARAGE CEILING TO HAVE ON LAYER OF TYPE-X OR EQUAL FOR FIRE RATING.
- ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
- CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUNOFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
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- ALL BUILDING MATERIAL INSTALLED BELOW THE DFE SHALL BE ABLE TO STAND IN WATER FOR 72 HOURS WITHOUT DAMAGE.
- SUBCONTRACTORS WILL APPLY FOR PERMITS FOR SUPPORTING TRADES.

WALL LEGEND	
	6" LOAD BEARING WALL W/ 60# COR FLY
	4" PARTITION WALL
	3\"/>
	SHOWER WALL 3\"/>
	6\"/>
	6\"/>

DOOR SCHEDULE - GROUND LVL				
TYPE MARK	LEVEL	WIDTH	HEIGHT	
D06B	GARAGE SLAB	6'-0"	7'-0"	
D07A	GARAGE SLAB	6'-0"	7'-0"	
D08B	T.O.F.F. - FOYER	3'-0"	6'-6"	
D09B	T.O.F.F. - FOYER	3'-0"	6'-6"	
D10B	T.O.F.F. - FOYER	12'-0"	6'-6"	
D11B	T.O.F.F. - FOYER	3'-0"	6'-6"	
Grand total: 6				

WINDOW SCHEDULE - GROUND LVL							
TYPE MARK	LEVEL	TYPE	HEAD HEIGHT	SILL HEIGHT	WIDTH	HEIGHT	EGRESS
W01B	T.O.F.F. - FOYER	FRED	6'-8"	2'-5 1/2"	2'-2 1/2"	4'-2 3/4"	
W02B	T.O.F.F. - FOYER	FRED	6'-8"	2'-2"	2'-4"	4'-6"	
Grand total: 2							



FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

GROUND LVL - FLOOR PLAN ISO



CONTRACTOR: MASON MARTIN
ADDRESS: 1234 MAIN ST, JACKSONVILLE, FL 32202
PHONE: 904-123-4567

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	04-20-17

6049 LOT 07 LONGBOAT DR.

ELC. PERMIT PLANS
FILE COPY of Record

FLOOR PLAN - GROUND LVL

PROJECT #: 17-023
START DATE: 04-20-17
DRAWN BY: Author

A4
SCALE: As indicated

RECEIVED
FEB 13 2018
TOWN OF LONGBOAT KEY
Planning, Zoning & Building

GENERAL NOTES:

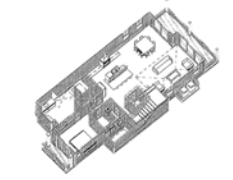
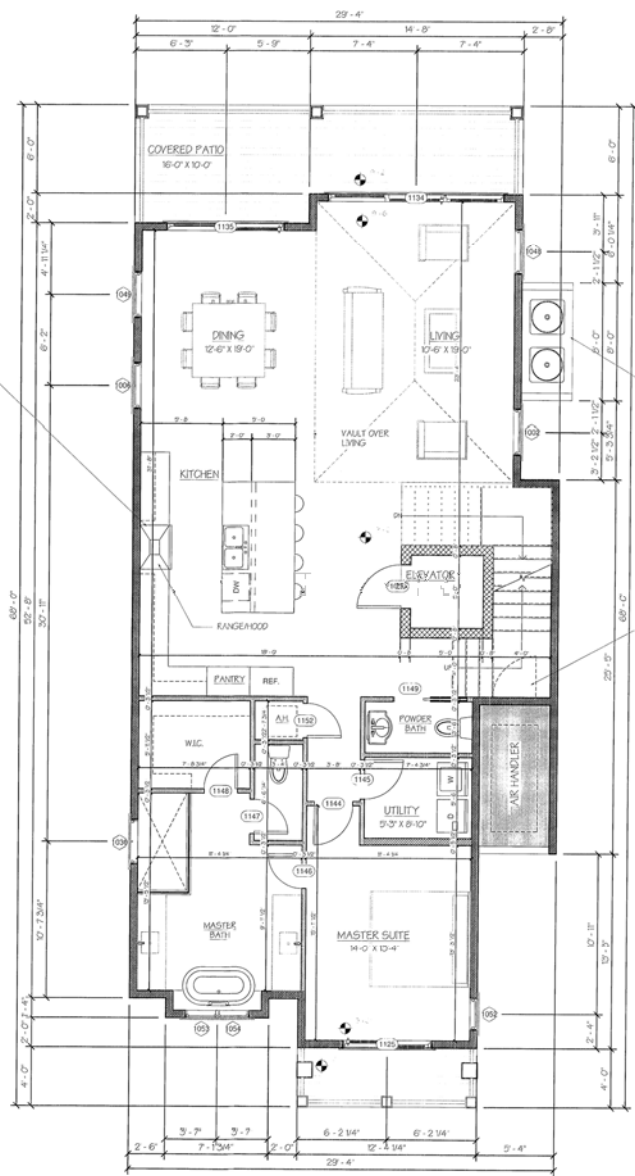
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- BUILDING INSULATION SHALL BE AS FOLLOWS:
FRAME WALLS - R-5
FLOOR SYSTEM - R-10
ROOF TRUSSES - R-30 OR BETTER
- ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-13 BATT INSULATION.
- PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES, GLASS DOOR UNITS, GLASS WITHIN 24" RADII OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- AC DRAINS TO BE READILY ACCESSIBLE.
- MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. SWH SPICE SHALL BE LIMITED 2/4" MAXIMUM.
- ALL GYPSUM BOARD IN WET AREAS TO BE MOISTURE RESISTANT.
- ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
- WATER CLOSETS TO BE 16 GALLON.
- FOR ALL WOOD BEAMS PROVIDE A MINIMUM OF 3" BEARING.
- PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINERY, AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
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- SUBCONTRACTORS WILL APPLY FOR PERMITS FOR SUPPORTING TRADES.

WALL LEGEND	
	6\"/>
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	8\"/>
	8\"/>

DOMESTIC OPEN-TOP BROILER UNITS SHALL BE PROVIDED WITH A METAL EXHAUST HOOD, NOT LESS THAN 20" GAUGE, WITH A CLEARANCE OF NOT LESS THAN 20" (64 CM) BETWEEN THE HOOD AND THE UNDERSIDE OF COMBUSTIBLE MATERIAL OR CABINETS. A CLEARANCE OF AT LEAST 24" (610 MM) SHALL BE MAINTAINED BETWEEN THE COOKING SURFACE AND THE COMBUSTIBLE MATERIAL. THE HOOD SHALL BE AT LEAST AS WIDE AS THE BROILER UNIT AND SHALL EXTEND OVER THE ENTIRE UNIT. SUCH EXHAUST HOOD SHALL DISCHARGE TO THE OUTDOORS AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER OR OTHER MEANS TO CONTROL INTRUSION/INFILTRATION WHEN NOT IN OPERATION.

DOOR SCHEDULE - 1st LVL			
TYPE MARK	LEVEL	WIDTH	HEIGHT
D206	1st LVL - AREA PLAN	3'-0"	6'-8"
D207	1st LVL - AREA PLAN	6'-0"	6'-0"
D204	1st LVL - AREA PLAN	12'-0"	6'-0"
D205	1st LVL - AREA PLAN	8'-0"	6'-0"
D208	1st LVL - AREA PLAN	2'-8"	6'-0"
D245	1st LVL - AREA PLAN	2'-8"	6'-0"
D246	1st LVL - AREA PLAN	2'-4"	6'-0"
D247	1st LVL - AREA PLAN	2'-4"	6'-0"
D248	1st LVL - AREA PLAN	2'-4"	6'-0"
D249	1st LVL - AREA PLAN	2'-6"	6'-8"
D252	1st LVL - AREA PLAN	2'-4"	6'-8"
Grand total: 11			

WINDOW SCHEDULE - 1st LVL							
TYPE MARK	LEVEL	TYPE	HEAD HEIGHT	SILL HEIGHT	WIDTH	HEIGHT	EGRESS
W203	1st LVL - AREA PLAN	FIXED	6'-8"	2'-4"	2'-2 1/2"	4'-4"	
W204	1st LVL - AREA PLAN	FIXED	6'-8"	2'-4"	2'-2 1/2"	4'-4"	
W200	1st LVL - AREA PLAN	FIXED	7'-8"	6'-0"	3'-0"	7'-8"	
W202	1st LVL - AREA PLAN	SINGLE HUNG	8'-0"	2'-8"	2'-2"	5'-4"	
W201	1st LVL - AREA PLAN	SINGLE HUNG	8'-0"	2'-0"	3'-7"	6'-0"	X
W206	1st LVL - AREA PLAN	SINGLE HUNG	8'-0"	2'-0"	3'-7"	6'-0"	X
W240	1st LVL - AREA PLAN	SINGLE HUNG	8'-0"	2'-0"	3'-7"	6'-0"	X
W243	1st LVL - AREA PLAN	SINGLE HUNG	8'-0"	2'-0"	3'-7"	6'-0"	X
Grand total: 8							



1st LVL - FLOOR PLAN ISO

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MASON MARTIN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	04-20-17
2	ISSUED FOR RECORD	04-20-17

6040 LOT 07 LONGBOAT DR.

BLDG. PERMIT PLANS
FILE Copy of Record

FLOOR PLAN - 1st LVL

PROJECT #: 17-023
START DATE: 04-20-17
DRAWN BY: Author

A5

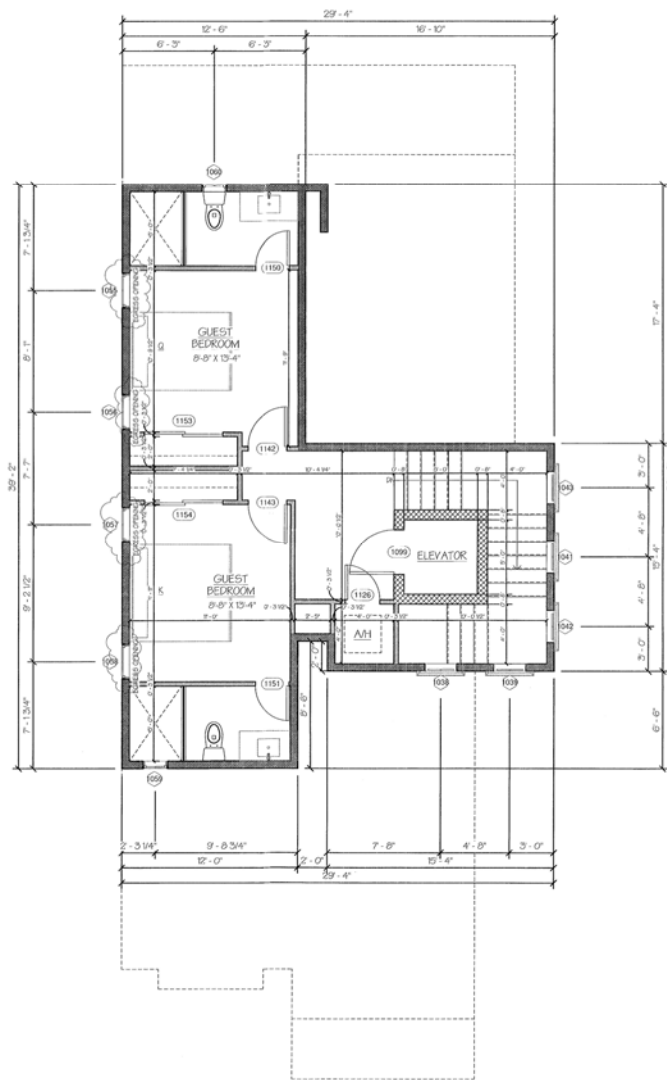
SCALE: As indicated

FLOOR PLAN - 1st LVL
1/4" = 1'-0"

GENERAL NOTES:

- BRIEK VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
- ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT UNLESS SPECIFIED OTHERWISE.
- BUILDING INSULATION SHALL BE AS FOLLOWS:
FRAME WALL - R-9
FLOOR SYSTEM - R-5
ROOF TRUSSES - R-30 OR BETTER
- ALL BATHROOM, BEDROOM AND CLOSET WALLS TO BE INSULATED WITH R-11 BATT INSULATION.
PROVIDE TEMPERED GLASS AT ALL SHOWER ENCLOSURES, GLASS IN DOOR UNITS, GLASS WITHIN 24" RADIUS OF DOOR UNITS, AND GLASS WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- A/C DRAINING TO BE READILY ACCESSIBLE.
MASON TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS. 3/8" SPACE SHALL BE LIMITED TO MAXIMUM.
- ALL GYPSUM BOARD IN WET AREAS TO BE MOISTURE RESISTANT.
- ALL WOOD TOUCHING CONCRETE SHALL BE PRESSURE TREATED.
- WATER CLOSETS TO BE 1.6 GALLON.
- FOR ALL WOOD BEAMS PROVIDE A MINIMUM OF 2" BEARING.
- PROVIDE WOOD BLOCKING AS REQUIRED BEHIND WOOD TRIM, CABINERY AND AS OTHERWISE NEEDED FOR NAILING SUPPORT.
- LATERAL STABILITY FOR THIS STRUCTURE IS PROVIDED COMBINATION OF SHEAR WALLS, POURED MASONRY, AND FRAME ACTION FROM POURED CONCRETE BEAMS AND COLUMNS. TO THE BEST OF OUR KNOWLEDGE, THIS STRUCTURE CONFORMS TO THE FLORIDA RESIDENTIAL BUILDING CODE 2014.
- ALL MATERIAL BELOW THE D.P.E. TO BE FLOOD RESISTANT. GARAGE CEILING TO HAVE ONLY ONE LAYER OF TYPE OR EQUAL FOR FIRE RATING.
- ALL FIELD MEASUREMENTS OF EXISTING STRUCTURE APPROXIMATED.
- CONTRACTOR TO VERIFY ALL FLOOR PLANS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- BEST MANAGEMENT PRACTICES (BMP) FOR CONSTRUCTION SITE EROSION CONTROL OF STORMWATER RUN-OFF WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT.
- ALL BUILDING MATERIAL INSTALLED BELOW THE D.P.E. SHALL BE ABLE TO STAND IN WATER FOR 72 HOURS WITHOUT DAMAGE.
- SUBCONTRACTORS WILL APPLY FOR PERMITS FOR SUPPORTING TRACES.

WALL LEGEND	
	6" LOAD BEARING WALL WITH 1/2" GYPSUM
	4" PARTITION WALL
	3" KNEE WALL
	SHOWER WALL WITH 3/8" W/Glass ENCLOSURE
	6" PARTITION WALL
	8" CMU WALL
	8" CMU WALL WITH FURRING


2nd LVL - FLOOR PLAN ISO

DOOR SCHEDULE - 2nd LVL				
TYPE MARK	LEVEL	WIDTH	HEIGHT	
1099	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	5'-0"	6'-6"	
1066	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-4"	6'-6"	
1142	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-6"	6'-6"	
1143	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-6"	6'-6"	
1150	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-4"	6'-6"	
1151	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-4"	6'-6"	
1152	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-4"	6'-6"	
1154	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	2'-4"	6'-6"	
Grand total: 8				

WINDOW SCHEDULE - 2nd LVL									
TYPE MARK	LEVEL	TYPE	HEAD HEIGHT	SILL HEIGHT	WIDTH	HEIGHT	EGRESS		
1036	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	5'-6"	3'-4"	2'-2"	2'-2"			
1039	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	5'-6"	3'-4"	2'-2"	2'-2"			
1041	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	5'-6"	3'-4"	2'-2"	2'-2"			
1042	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	5'-6"	3'-4"	2'-2"	2'-2"			
1045	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	5'-6"	3'-4"	2'-2"	2'-2"			
1055	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	CASEMENT	6'-0"	2'-2"	2'-4"	4'-6"	X		
1056	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	CASEMENT	6'-0"	2'-2"	2'-4"	4'-6"	X		
1057	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	CASEMENT	6'-0"	2'-2"	2'-4"	4'-6"	X		
1058	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	CASEMENT	6'-0"	2'-2"	2'-4"	4'-6"	X		
1059	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	6'-0"	1'-0"	1'-0"	1'-0"			
1060	2ND LVL - T.O. FLR SYSTEM SUB FLOOR	FPED	6'-0"	1'-0"	1'-0"	1'-0"			
Grand total: 11									

FLOOR PLAN - 2nd LEVEL
1/4" = 1'-0"

The Applicant and/or their design team shall be responsible for obtaining all necessary permits from the appropriate governmental agencies. It is the Applicant's responsibility to verify that all information provided in this set of drawings is true and correct. BEACON DESIGN shall not be responsible for any errors or omissions on the drawings or for any delays or stoppages in construction unless otherwise stated on the drawings. BEACON DESIGN shall not be responsible for any delays or stoppages in construction unless otherwise stated on the drawings.



CONTRACTOR: MASON MARTIN, LLC
ADDRESS: 1100 S. RAY RD., SUITE 100, BOCA RATON, FL 33432
PHONE: 561-993-8888
FAX: 561-993-8889
EMAIL: INFO@MASONMARTIN.COM
WEBSITE: WWW.MASONMARTIN.COM
CONTRACT NO.: 2024-001
PROJECT NO.: 24-001
DATE: 04/20/24

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/20/24
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

6040 LOT 07 LONGBOAT DR

 FILED PERMIT PLANS
FILE Copy of Record

 FLOOR PLAN -
2nd LVL

 PROJECT #: 17-023
SHEET DATE: 04-20-24
DRAWN BY: Author

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TOWN OF LONGBOAT KEY
Planning, Zoning & Building

A6
SCALE: As indicated



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1000 PARKWAY SOUTH
SUITE 100
DURHAM, NC 27703
TEL: 919.487.4343
WWW.MASONMARTIN.COM

CONTRACT NO. 17-023
PROJECT NO. 04-20-17
DRAWN BY: [signature]
DATE: 04/20/17
SCALE: 1/4" = 1'-0"

DATE	REVISION

6949 LOT #7 LONGBOAT DR

ILLUSTRATED PERMIT PLANS
PLEASE PRINT CLEARLY

ELEVATION - LEFT & RIGHT

PROJECT #: 17-023
START DATE: 04-20-17
DRAWN BY: Author

A8

SCALE: 1/4" = 1'-0"



ELEVATION - RIGHT
1/4" = 1'-0"



ELEVATION - LEFT
1/4" = 1'-0"

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PROJECT NO. 17-023
 DATE: 04-20-17
 DRAWN BY: Author
 CHECKED BY: MASON MARTIN
 PROJECT ADDRESS: 6040 LOT 07 LONGBOAT DR
 PROJECT TYPE: RESIDENTIAL

PROJECT NO. 17-023
 DATE: 04-20-17
 DRAWN BY: Author
 CHECKED BY: MASON MARTIN
 PROJECT ADDRESS: 6040 LOT 07 LONGBOAT DR
 PROJECT TYPE: RESIDENTIAL

Date	Description
04-20-17	Initial Design
04-20-17	Final Design
04-20-17	Permit Plans
04-20-17	Final Plans

6040 LOT 07 LONGBOAT DR

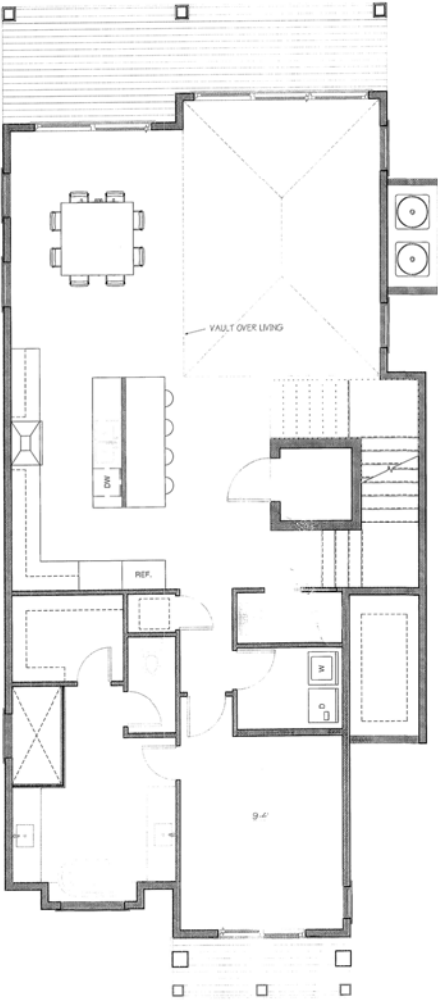
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CEILING/ROOF PLAN

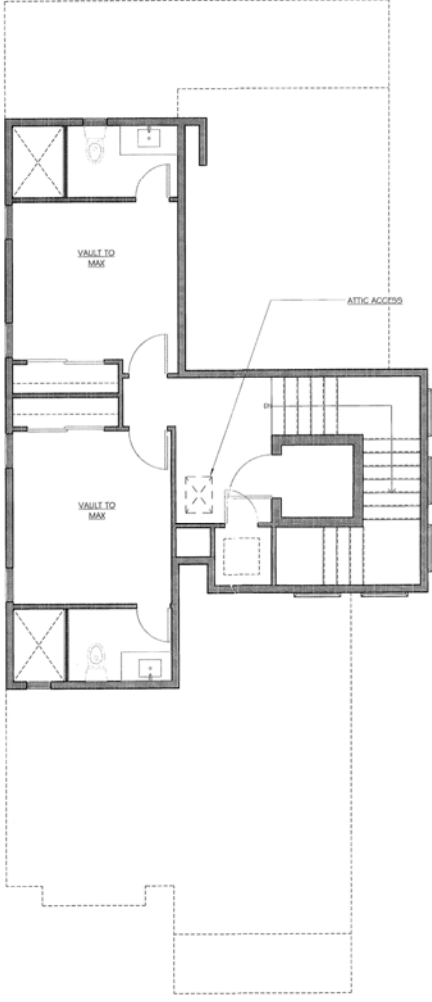
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 SHEET DATED: 04-20-17
 DRAWN BY: Author

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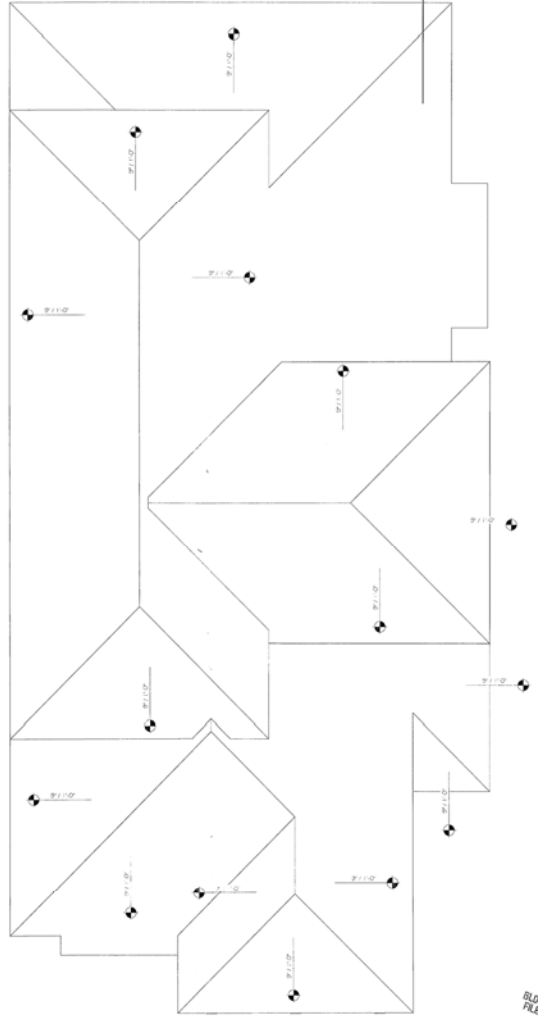
SCALE: 1/4" = 1'-0"



1st LVL - CEILING PLAN
 1/4" = 1'-0"



2nd LVL - CEILING PLAN
 1/4" = 1'-0"



ROOF PLAN
 1/4" = 1'-0"

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Project Name: 6040 LOT 07 LONGBOAT DR
Address: 6040 LOT 07 LONGBOAT DR
City: LONGBOAT, FL
County: ALDAMA COUNTY, TX
State: TEXAS
Zip: 77647
Drawing No: 17-023
Date: 04-20-17
Scale: As indicated

Client: [Blank]
Architect: [Blank]
Engineer: [Blank]
Designer: [Blank]
Checker: [Blank]
Date: [Blank]

1. [Blank]
2. [Blank]
3. [Blank]
4. [Blank]
5. [Blank]
6. [Blank]
7. [Blank]
8. [Blank]
9. [Blank]
10. [Blank]

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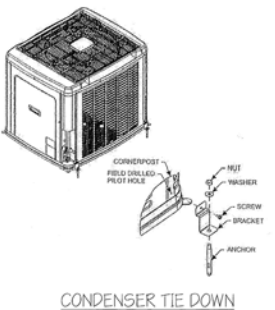
6040 LOT 07 LONGBOAT DR

ARCH DETAILS

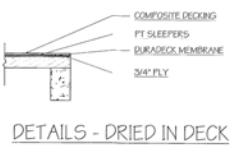
Project #: 17-023
Date: 04-20-17
Drawn by: [Blank]
Author: [Blank]

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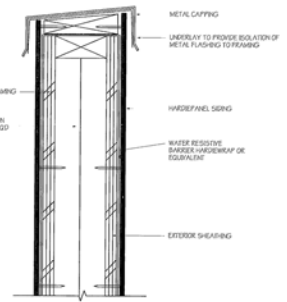
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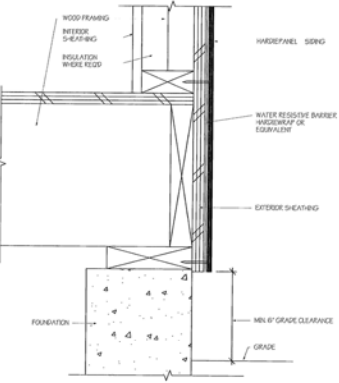
CONDENSER TIE DOWN



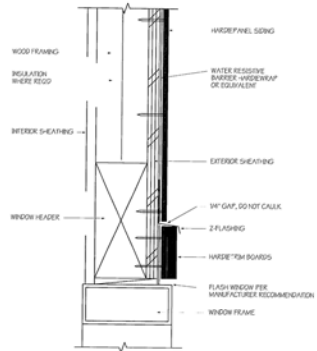
DETAILS - DRIED IN DECK



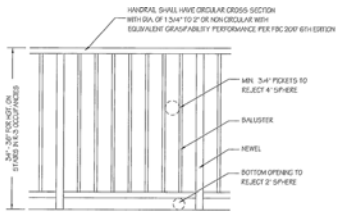
DETAILS - PARAPET



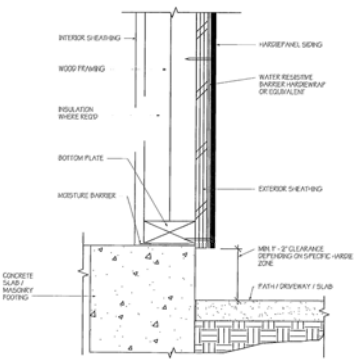
DETAILS - GRADE CLEARANCE



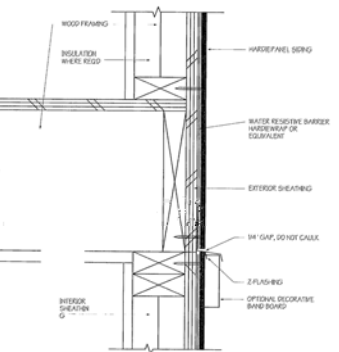
DETAILS - WINDOW/DOOR HEAD



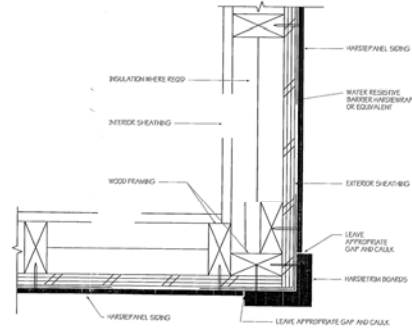
DETAILS - HANDRAIL



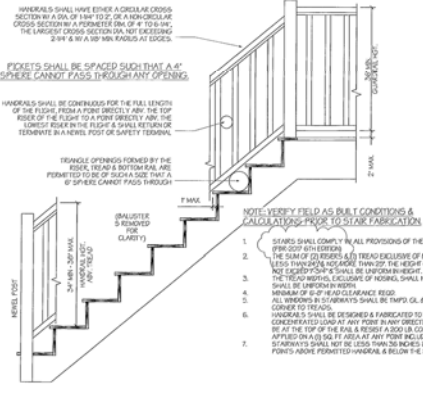
DETAILS - HARDSCAPE CLEARANCE, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.



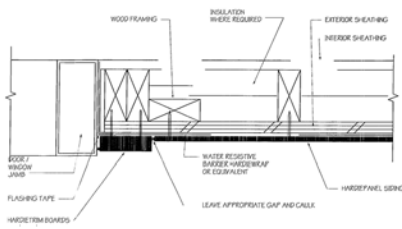
DETAILS - HORIZONTAL VIEW



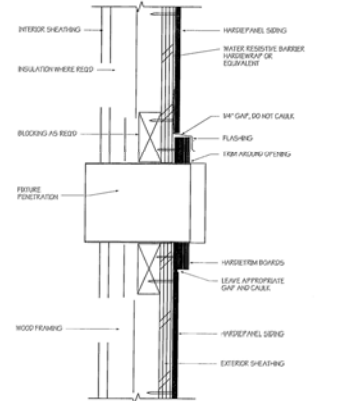
DETAILS - OUTSIDE CORNER



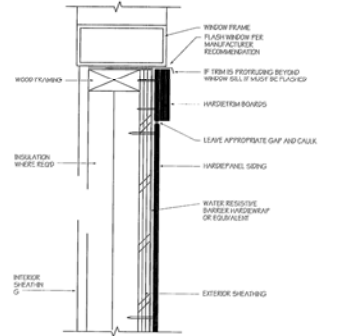
DETAILS - STAIR DETAIL



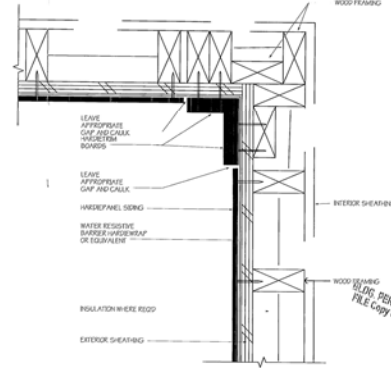
DETAILS - DOOR/WINDOW JAMB



DETAILS - FIXTURE PENETRATION



DETAILS - WINDOW SILL

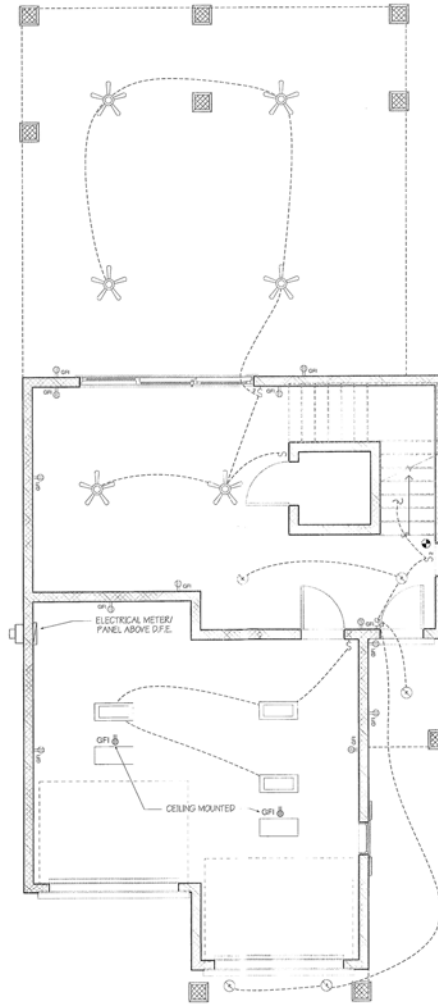


DETAILS - INSIDE CORNER

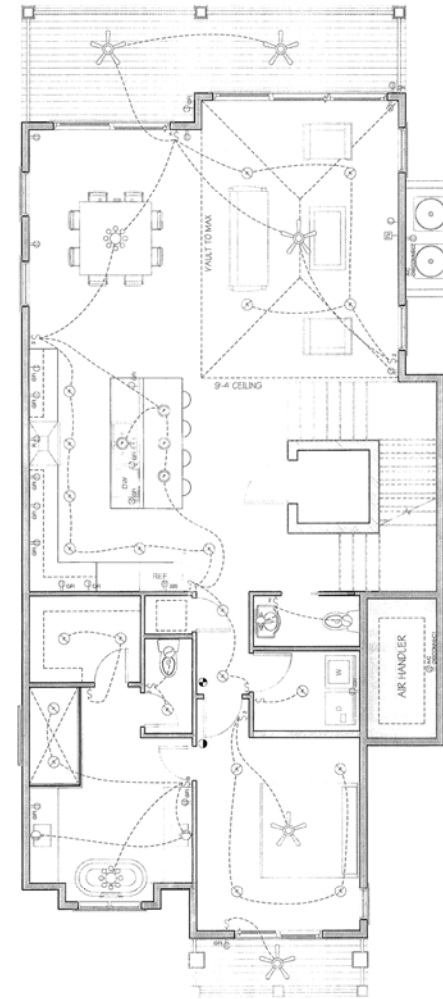
ELECTRICAL NOTES:

1. POWER FOR CONNECTIONS TO EQUIPMENT PROVIDED AND INSTALLED BY OTHER TRADES, I.E., HVAC EQUIP.
2. REFER TO SITE PLAN SHEET FOR LOCATIONS OF ADDITIONAL LIGHTING COMPONENTS.
3. DRAWINGS ARE SCHEMATIC ONLY, AND ARE NOT INTENDED TO DEPICT A COMPLETE ELECTRICAL SYSTEM. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NEEDED FOR A COMPLETE WORKING ELECTRICAL SYSTEM IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
4. NOTIFY BUILDER FOR FIELD VERIFICATIONS AND APPROVAL OF FINAL LOCATIONS OF SWITCHES, LIGHT FIXTURES, AND ELECTRICAL OUTLETS PRIOR TO WIRING. BUILDER RESERVES THE RIGHT TO CHANGE LOCATIONS OF ELECTRICAL SYSTEM COMPONENTS.
5. ALL ELECTRICAL SWITCHES, OUTLETS, ETC. TO BE INSTALLED ABOVE DESIGN FLOOR ELEVATION.
6. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
7. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
8. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
 4'-0" SWITCHES
 3'-0" OUTLETS
 3'-0" TELEPHONE
 3'-0" TELEVISION
9. EXACT FIXTURE LOCATIONS TO BE CHOSEN & VERIFIED BY OWNER(S).
10. ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
11. OWNER AND/OR CONTRACTOR TO VERIFY EXISTENCE AND LOCATION OF SECURITY, INTERCOM, OR CENTRAL VACUUM SYSTEMS. REFER TO SHOP DRAWINGS FOR SPECIFICATIONS.
12. OWNER TO LOCATE ELECTRIC, CATV, AND SPEAKER WIRE LOCATIONS IN ACTIVITY ROOM FEATURE WALL @ ELECTRIC WALK. THROUGH DRAWINGS FOR SPECIFICATIONS.
13. ALL LIVING SPACES TO BE SUPPLIED WITH ARC FAULT CIRCUITS.
14. ALL ELECTRICAL WORK AND MATERIALS TO CONFORM TO NEC 2017.

ELECTRICAL LEGEND				
SMOKE DETECTOR	SWITCH SINGLE: SINGLE	OUTLET SINGLE: SINGLE	WALL MOUNT MOTION LIGHT	SWITCH DIMMER: DIMMER
CARBON/SMOKE COMBO	DISTRIBUTION PANEL	METER	OUTLET DUPLEX: SINGLE	OUTLET COMMUNICATIONS: TV
SWITCH 3 WAY: 3 WAY	PENDANT	FLUORESCENT FIXTURE	EXHAUST FAN/W LIGHT	CEILING FAN
GARAGE DOOR OPENER	PENDANT (DOUBLE LAMP)	4" RECESSED CAN	WALL MOUNT LIGHT	CHANDELIER
EXHAUST FAN	CEILING MOUNT LIGHTING FIXTURE	RECESSED EYEBALL FIXTURE	A/C DISCONNECT	SWITCH FOUR
SWITCH FIVE	SWITCH 220			



GROUND LVL - ELECTRICAL PLAN
1/4" = 1'-0"



1ST LVL - ELECTRICAL PLAN
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04-20-17
2	ISSUED FOR PERMIT	04-20-17
3	ISSUED FOR PERMIT	04-20-17
4	ISSUED FOR PERMIT	04-20-17
5	ISSUED FOR PERMIT	04-20-17
6	ISSUED FOR PERMIT	04-20-17
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27	ISSUED FOR PERMIT	04-20-17
28	ISSUED FOR PERMIT	04-20-17
29	ISSUED FOR PERMIT	04-20-17
30	ISSUED FOR PERMIT	04-20-17

6049 LOT 07 LONGBOAT DR.
































The preparation of all information herein is considered to be the professional responsibility of Beacon Design. It is the responsibility of the client to verify the accuracy of the information provided herein. Beacon Design is not responsible for any errors or omissions in this document, or for any consequences arising from its use. The client shall retain the original drawings and all revisions. The client shall retain the original drawings and all revisions. The client shall retain the original drawings and all revisions.

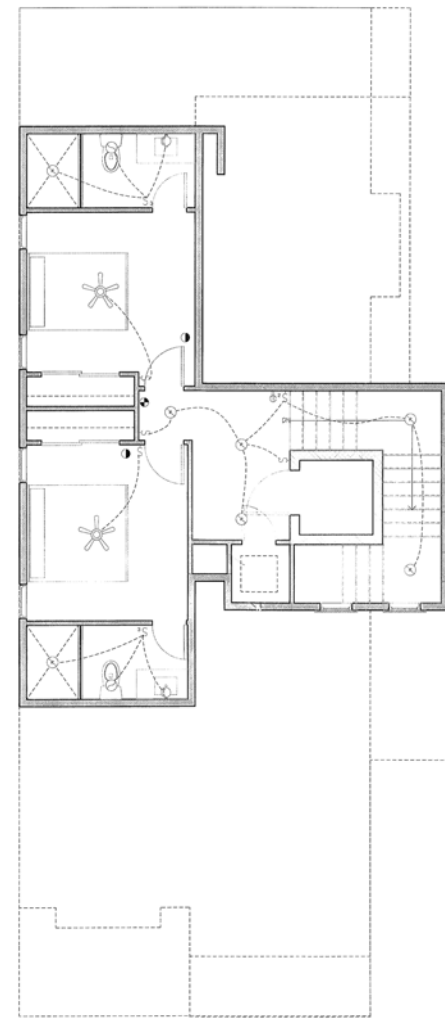
PROJECT NO: 17-023
 DATE: 04-20-17
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

Date	Description

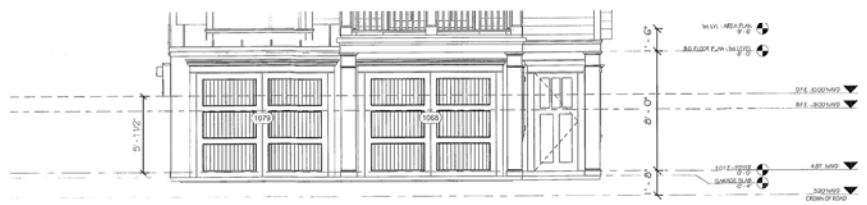
ELECTRICAL NOTES:

1. POWER FOR CONNECTIONS TO EQUIPMENT PROVIDED AND INSTALLED BY OTHER TRADES, IE, HVAC EQUIP.
2. REFER TO SITE PLAN SHEET FOR LOCATIONS OF ADDITIONAL LIGHTING COMPONENTS.
3. DRAWINGS ARE SCHEMATIC ONLY, AND ARE NOT INTENDED TO DEPICT A COMPLETE ELECTRICAL SYSTEM. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NEEDED FOR A COMPLETE WORKING ELECTRICAL SYSTEM IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
4. NOTIFY BUILDER FOR FIELD VERIFICATIONS AND APPROVAL OF FINAL LOCATIONS OF SWITCHES, LIGHT FIXTURES, AND ELECTRICAL OUTLETS PRIOR TO WIRING. BUILDER RESERVES THE RIGHT TO CHANGE LOCATIONS OF ELECTRICAL SYSTEM COMPONENTS.
5. ALL ELECTRICAL SWITCHES, OUTLETS, ETC. TO BE INSTALLED ABOVE DESIGN FLOOR ELEVATION.
6. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
7. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
8. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
 42" - SWITCHES
 16" - OUTLETS
 14" - TELEPHONE
 14" - TELEVISION
9. EXACT FIXTURE LOCATIONS TO BE CHOSEN & VERIFIED BY OWNER(S).
10. ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
11. OWNER AND/OR CONTRACTOR TO VERIFY EXISTENCE AND LOCATION OF SECURITY, INTERCOM OR CENTRAL VACUUM SYSTEMS. REFER TO SHOP DRAWINGS FOR SPECIFICATIONS.
12. OWNER TO LOCATE ELECTRIC, CATV, AND SPEAKER WIRE LOCATIONS IN ACTIVITY ROOM FEATURE WALL @ ELECTRIC WALL THROUGH DRAWINGS FOR SPECIFICATIONS.
13. ALL LIVING SPACES TO BE SUPPLIED WITH ARC FAULT CIRCUITS.
14. ALL ELECTRICAL WORK AND MATERIALS TO CONFORM TO NEC 2011.

ELECTRICAL LEGEND				
				
OUTLET SINGLE GFI: SINGLE	OUTLET FLOOR DUPLX: SINGLE	OUTLET FLOOR SINGLE: DOUBLE	OUTLET RANGE: SINGLE	SWITCH DOUBLE: DOUBLE
				
SMOKE DETECTOR	SWITCH SINGLE: SINGLE	OUTLET SINGLE: SINGLE	WALL MOUNT MOTION LIGHT	SWITCH DIMMER: DIMMER
				
CARBON/SMOKE COMBO	DISTRIBUTION PANEL	METER	OUTLET DUPLX: SINGLE	OUTLET COMMUNICATIONS: TV
				
SWITCH 3-WAY: 3-WAY	PENDANT	FLUORESCENT FIXTURE	EXHAUST FAN W/ LIGHT	CEILING FAN
				
GARAGE DOOR OPENER	PENDANT (DOUBLE LAMP)	4" RECESSED CAN	WALL MOUNT LIGHT	CHANDLIER
				
EXHAUST FAN	CEILING MOUNT LIGHTING FIXTURE	RECESSED EYEBALL FIXTURE	A/C DISCONNECT	SWITCH FOUR
	SWITCH 220			
SWITCH FIVE				



2nd LVL - ELECTRICAL PLAN
 1/4" = 1'-0"



ELECTRICAL ELEVATION - FRONT
 1/4" = 1'-0"

6049 LOT 07 LONGBOAT DR.

BLDG. PERMIT PLANS
 FILE Copy of Record

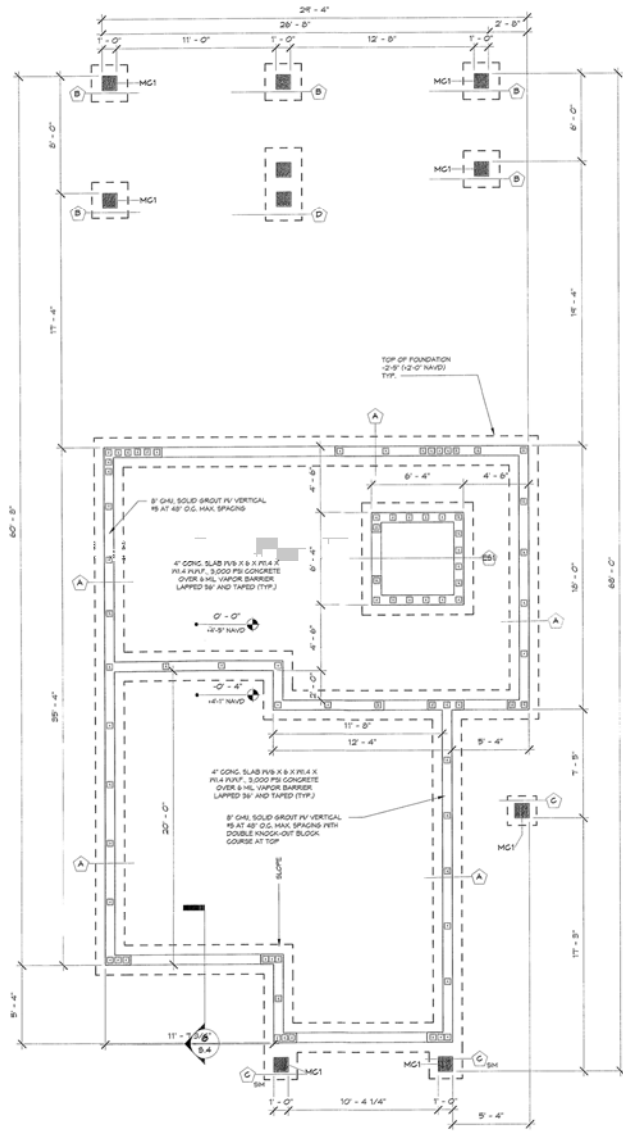
ELECTRICAL PLAN
 - 2ND LVL

PROJECT #: 17-023
 SHEET NO: 04-20-17
 DRAWN BY: [Name]
 AUTHOR: [Name]

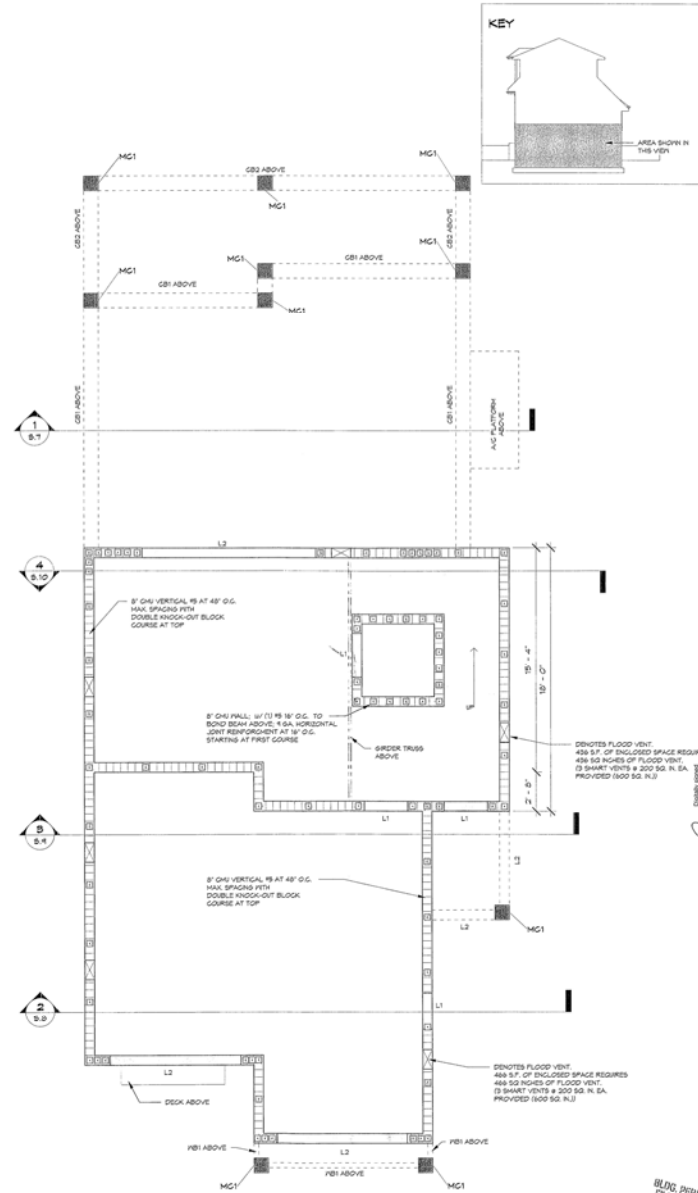
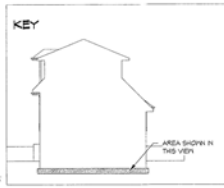
A12

SCALE: As indicated

NOTE
THE STRUCTURAL DESIGN DEPICTED IN THESE PLANS IS BASED ON DRAWINGS BY BEAGON DESIGN, DATED 01/24/2017



FOUNDATION PLAN
1/4" = 1'-0"



GROUND LEVEL WALL, BEAM AND COLUMN PLAN
1/4" = 1'-0"



NEW RESIDENCE

6445 LONGBOAT DRIVE (LOT 7)
LONGBOAT KEY, FL

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A LIMITED LIABILITY COMPANY
STRUCTURAL ENGINEERING FOR COASTAL ENVIRONMENTS
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ANN ARBOR, MI 48106 • P.O. BOX 2108 • ANN ARBOR, MI 48106

REGISTERED PROFESSIONAL ENGINEER
NO. 29183
EXPIRES 12/31/2018
11/14/2017



DATE: 11/14/2017
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DRAWN BY: JH

REVISIONS:

No.	Description	Date

SHEET TITLE:
FOUNDATION PLAN,
GROUND LEVEL,
WALL, BEAM &
COLUMN PLAN

PROJECT NO:
1021-054

SHEET NO.:
S.1

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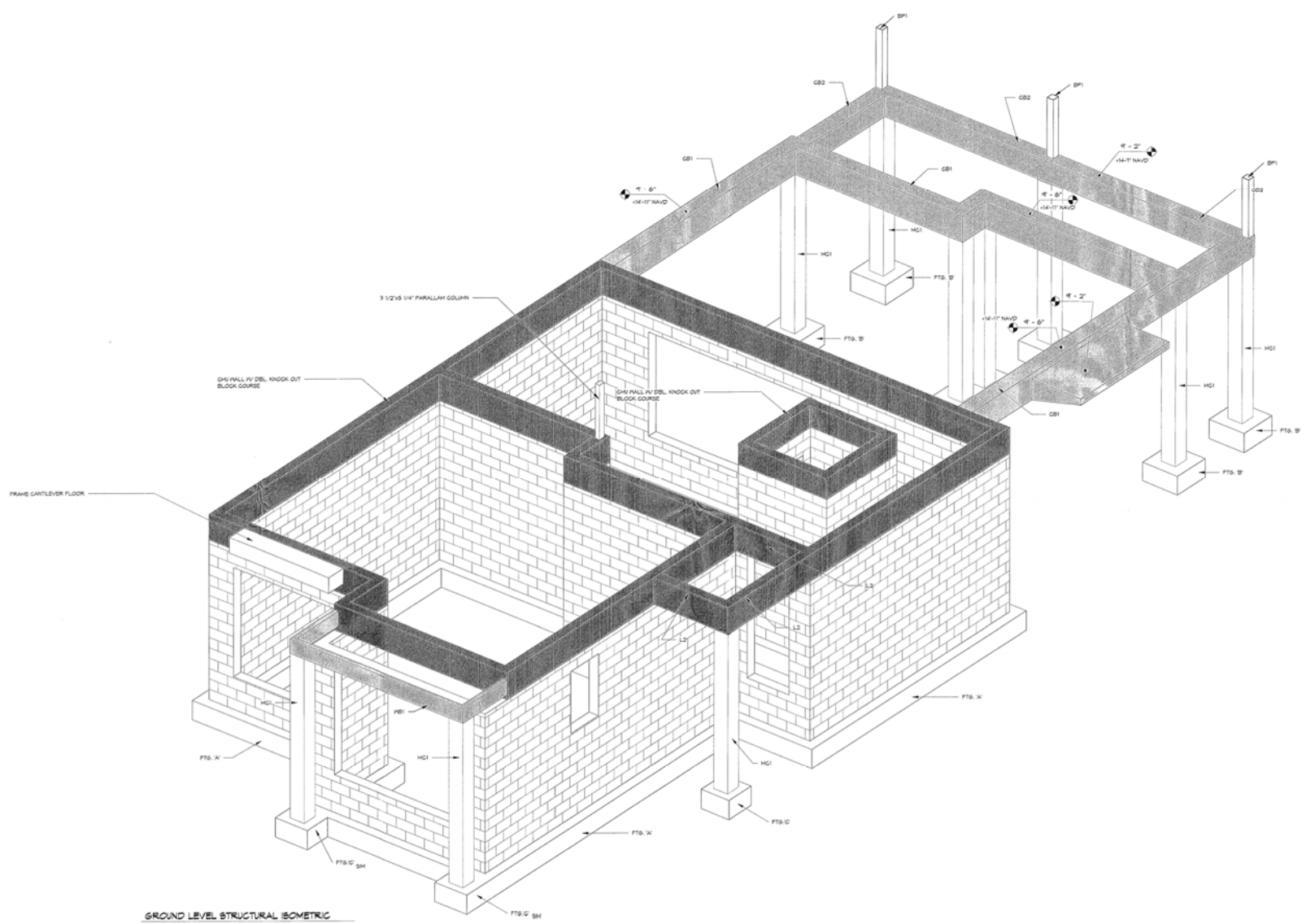
No.	Description	Date

SHEET TITLE:
 GROUND LEVEL
 STRUCTURAL
 ELEMENTS

PROJECT NO:
 1021-094

SHEET NO:
5.9

BLDG. PERMIT PLANS
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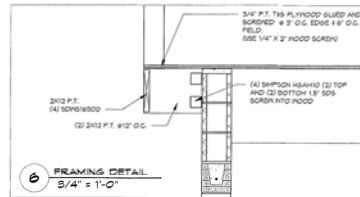
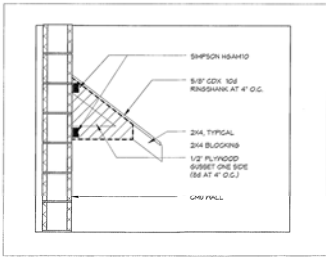
GROUND LEVEL STRUCTURAL ISOMETRIC

WOOD BEAM AND COLUMN SCHEDULE:

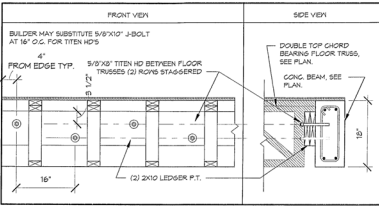
WB1 DBL 2X10 P.F. 	WB2 DBL 2X12 PV (2) 1/2" PLYWOOD FLUSH PLATES 	WB3 DBL 2X8 PV (2) 1/2" PLYWOOD FLUSH PLATES 	WB4 DBL 2X12 	WB5 DBL 2X8 PV (2) 1/2" PLYWOOD FLUSH PLATE 	BP1 8x8 P.F. COLUMN 	BP2 8 1/4" X 3 1/2" PFL COLUMN
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CONCRETE BEAM SCHEDULE

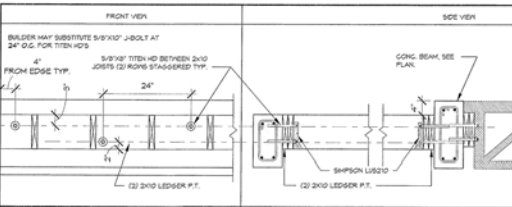
CB1 	CB2 	L1 	L2
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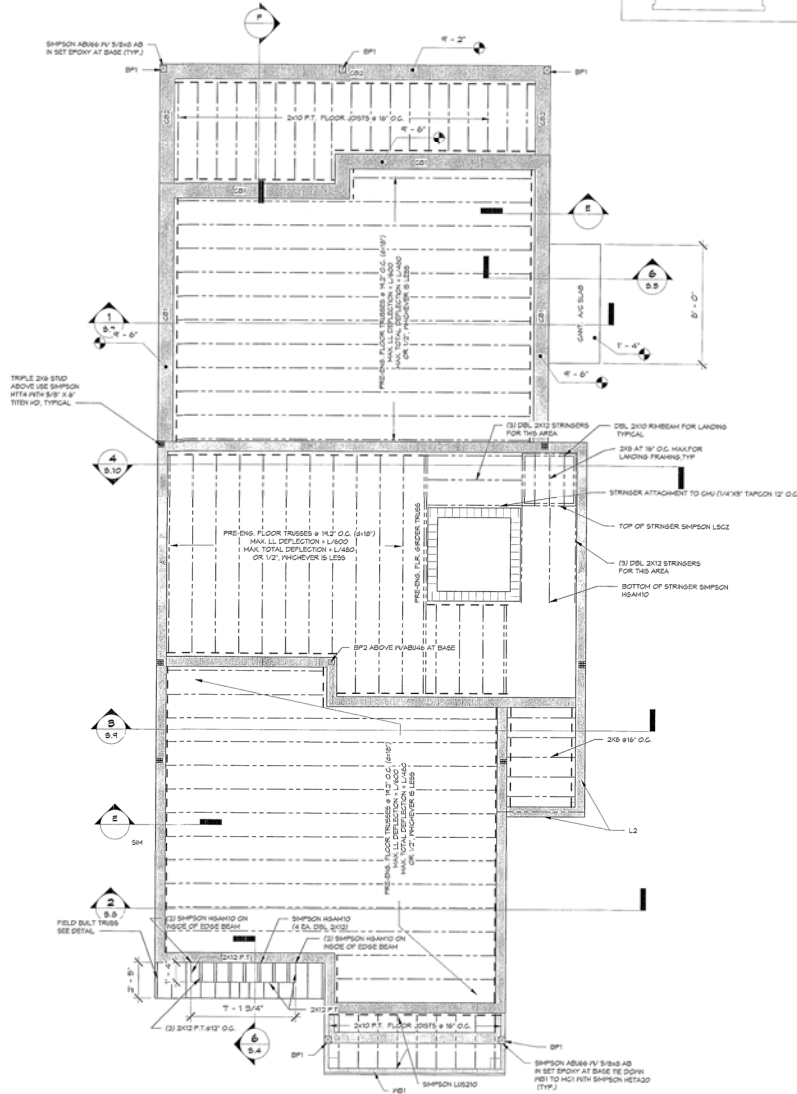
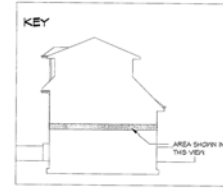
**4 SHED ROOF ON CMU WALL
3/4" = 1'-0"**



**E LEDGER DETAIL L1
3/4" = 1'-0"**



**F LEDGER DETAIL L2
3/4" = 1'-0"**

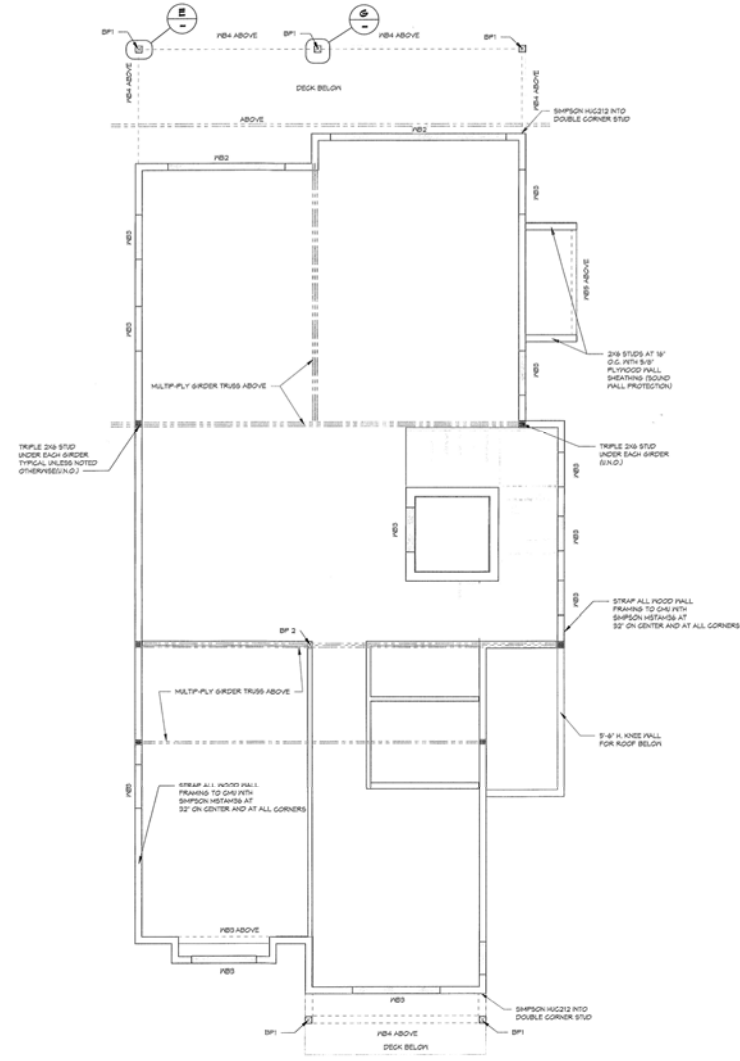
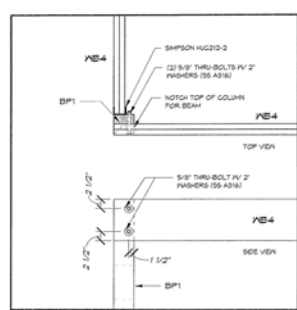
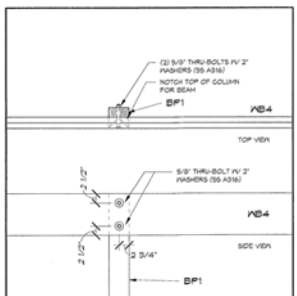
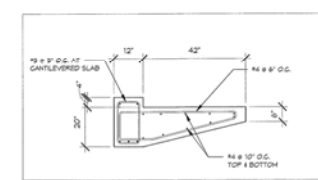
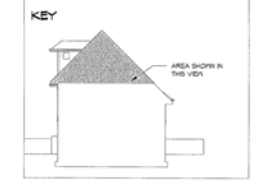
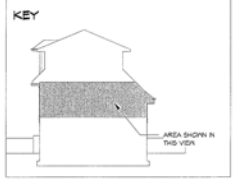


**MAIN LEVEL FLOOR FRAMING PLAN
1/4" = 1'-0"**

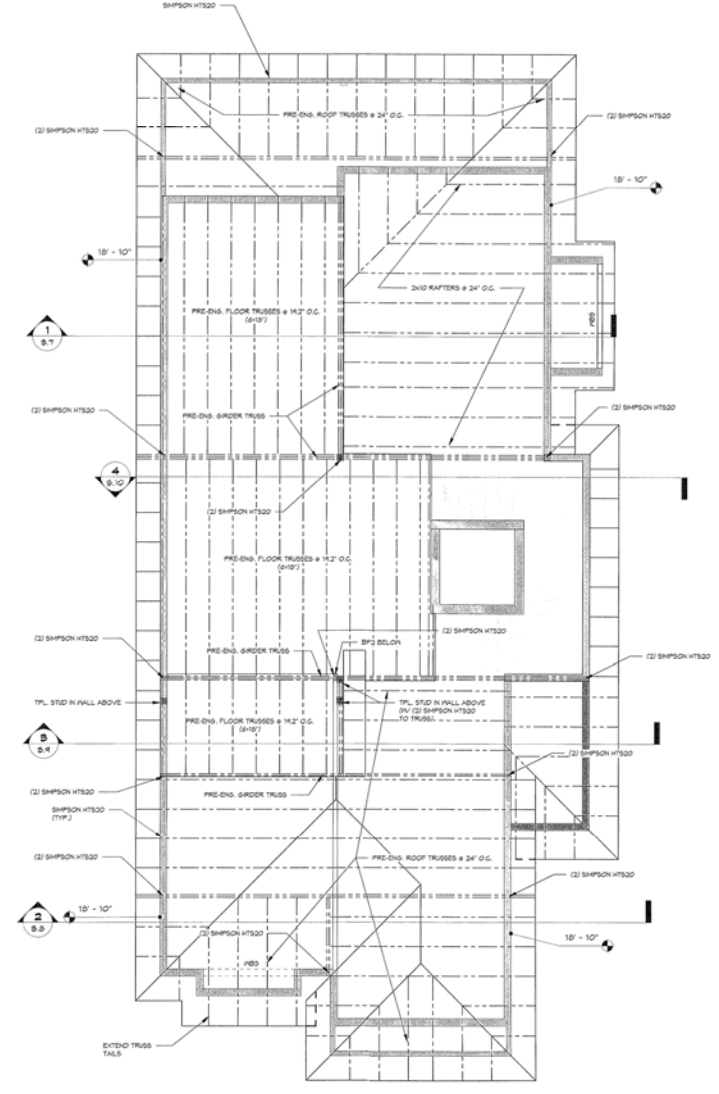
BLOG PERMIT PLANS
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WOOD BEAM AND COLUMN SCHEDULE:

KB1	KB2	KB3	KB4	KB5	BP1	BP2



MAIN LEVEL WALL, BEAM, AND COLUMN PLAN
1/4" = 1'-0"



MAIN LEVEL ROOF & UPPER LEVEL FLOOR FRAMING PLAN
1/4" = 1'-0"

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113 L.O. CROSS DRIVE • AUSA MARK FL 34216
T: 811-778-8234 • SEGO@AMERICANBB.COM

NEA RESIDENCE
6444 LONGBOAT DRIVE (LOT 1)
LONGBOAT CDT, FL

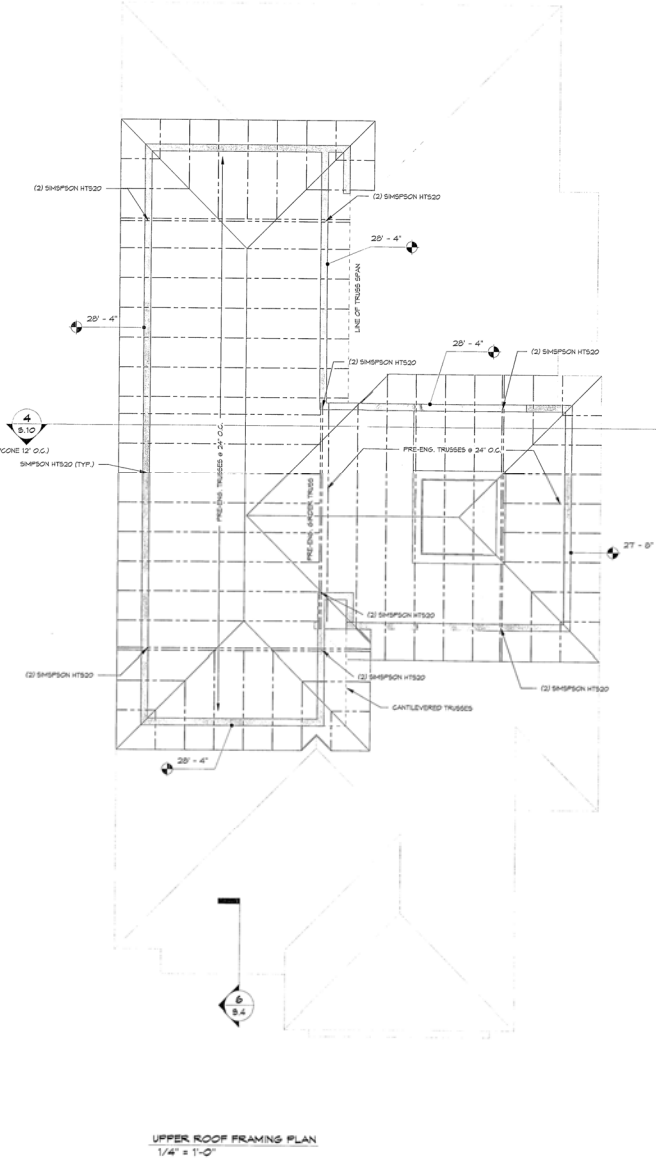
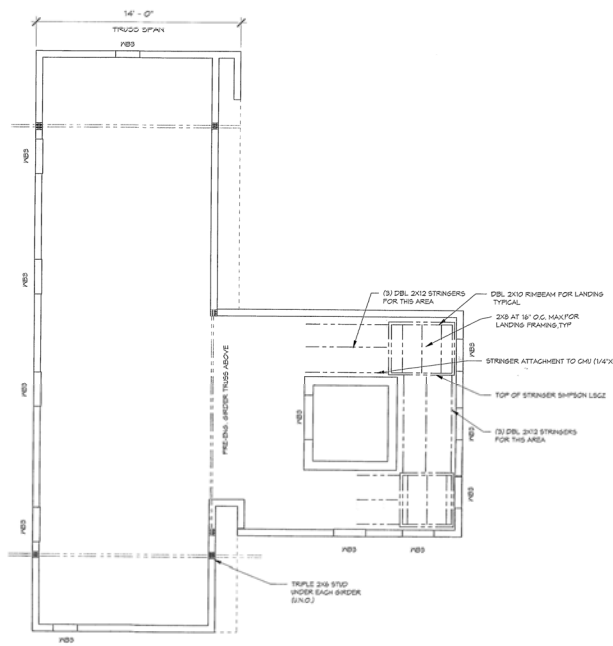
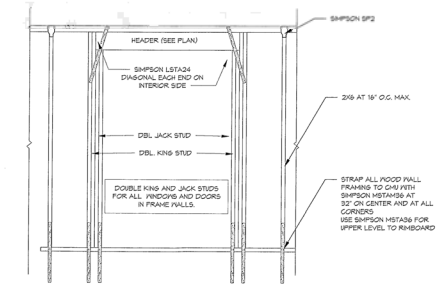
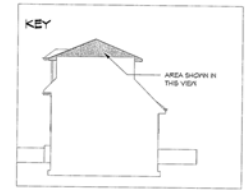
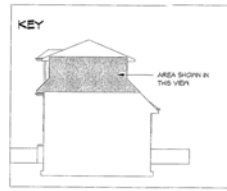
THE STRUCTURAL ENGINEER CERTIFIED THAT, TO THE BEST OF HIS KNOWLEDGE, THE DESIGN REPRESENTED ON THIS DRAWING CONFORMS WITH FLORIDA LAWS AND CODES WITH A DESIGN OF 100% DESIGN.
Display Stamp
By Charles Segoo
10/29/2017 10:39:52 AM

DATE: 10/14/2017
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DRAWN BY: JH
REVISIONS:
NO. Description
PROJECT NO: 1021-054
SHEET NO: **95**

PLUG ASSEMBLY PLANS
FILE Copy of Record

WOOD BEAM AND COLUMN SCHEDULE:

<p>AB1</p> <p>DBL 2x10 P.F.</p>	<p>AB2</p> <p>(2) ROWS 10d NAILS 12" ON CENTER PLYWOOD FLUSH PLATES</p>	<p>AB3</p> <p>(2) ROWS 10d NAILS 12" ON CENTER PLYWOOD FLUSH PLATES</p>	<p>AB4</p> <p>DBL 2x12</p>	<p>AB5</p> <p>(2) ROWS 10d NAILS 12" ON CENTER PLYWOOD FLUSH PLATE</p>	<p>BP1</p> <p>8x8 P.F. COLUMN</p>	<p>BP2</p> <p>8 1/4" x 8 1/2" P.F. COLUMN</p>
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STRUCTURAL ENGINEERING FOR COASTAL ENVIRONMENTS
113 LOS CEDROS DRIVE • P.O. BOX 2108 • ANN MARA, FL 34416
TEL: 813-778-8834 • SEGO@SEGOENGINEERING.COM



NEW RESIDENCE
6444 LONGBOAT DRIVE (LOT 7)
LONGBOAT KEY, FL

THE STRUCTURAL ENGINEER CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, THE ABOVE DRAWINGS COMPLY WITH THE FLORIDA BUILDING CODE, 2014 EDITION.

Digitally signed by [Name] DN: cn=[Name], o=[Company], ou=[Department], email=[Email], c=US

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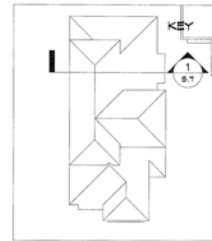
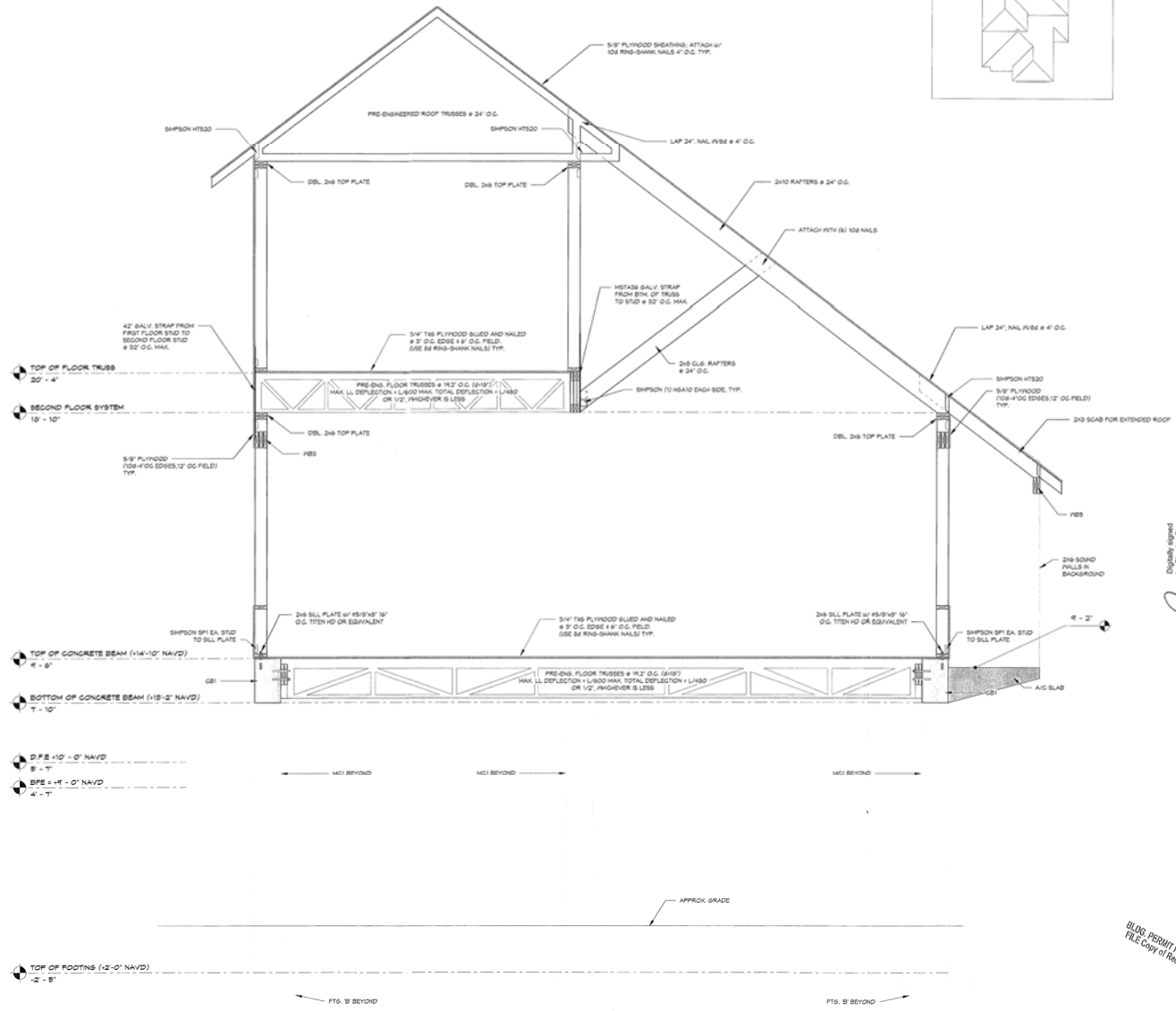
NO.	DESCRIPTION	DATE

SHEET TITLE:
UPPER LEVEL WALL, BEAM AND COLUMN PLAN

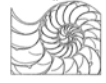
PROJECT NO:
1021-034

SHEET NO:
36

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Section 1
1/2" = 1'-0"



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SHEET TITLE:
BUILDING SECTION 1

PROJECT NO.
1021-034

SHEET NO.
S.7

BUILD PERMIT PLANS
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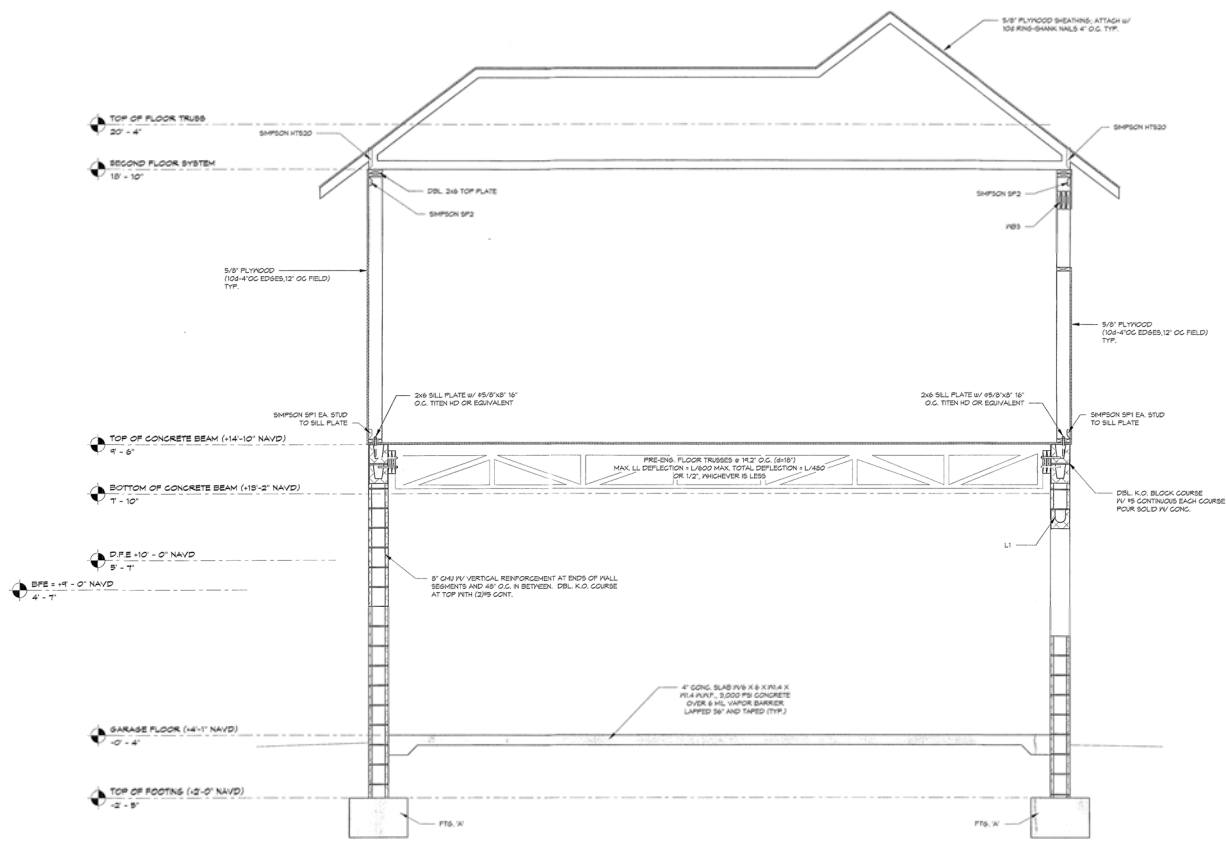
DESIGN NOTE:

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA RESIDENTIAL CODE 2014 (9th EDITION)

F.F.	3.0 FEET
2d.s.	8.0 FEET
S.F.	14.0 FEET
RISK CATEGORY	1
WIND SPEED	155/160 MPH / 150/155 MPH
CODE	FL RESIDENTIAL CODE-2014 (9th EDITION)
WIND EXPOSURE	2
ENGAGED STRUCTURE (EN/)	(SIC p1 +0.10)

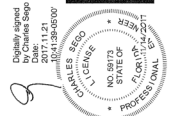
DESIGN LIVE LOADS

ROOF: 20 PSF
FLOOR: 40 PSF
EXTERIOR STAIRS AND LANDINGS: 40 PSF
DECK: 40 PSF



Section 2
1/2" = 1'-0"

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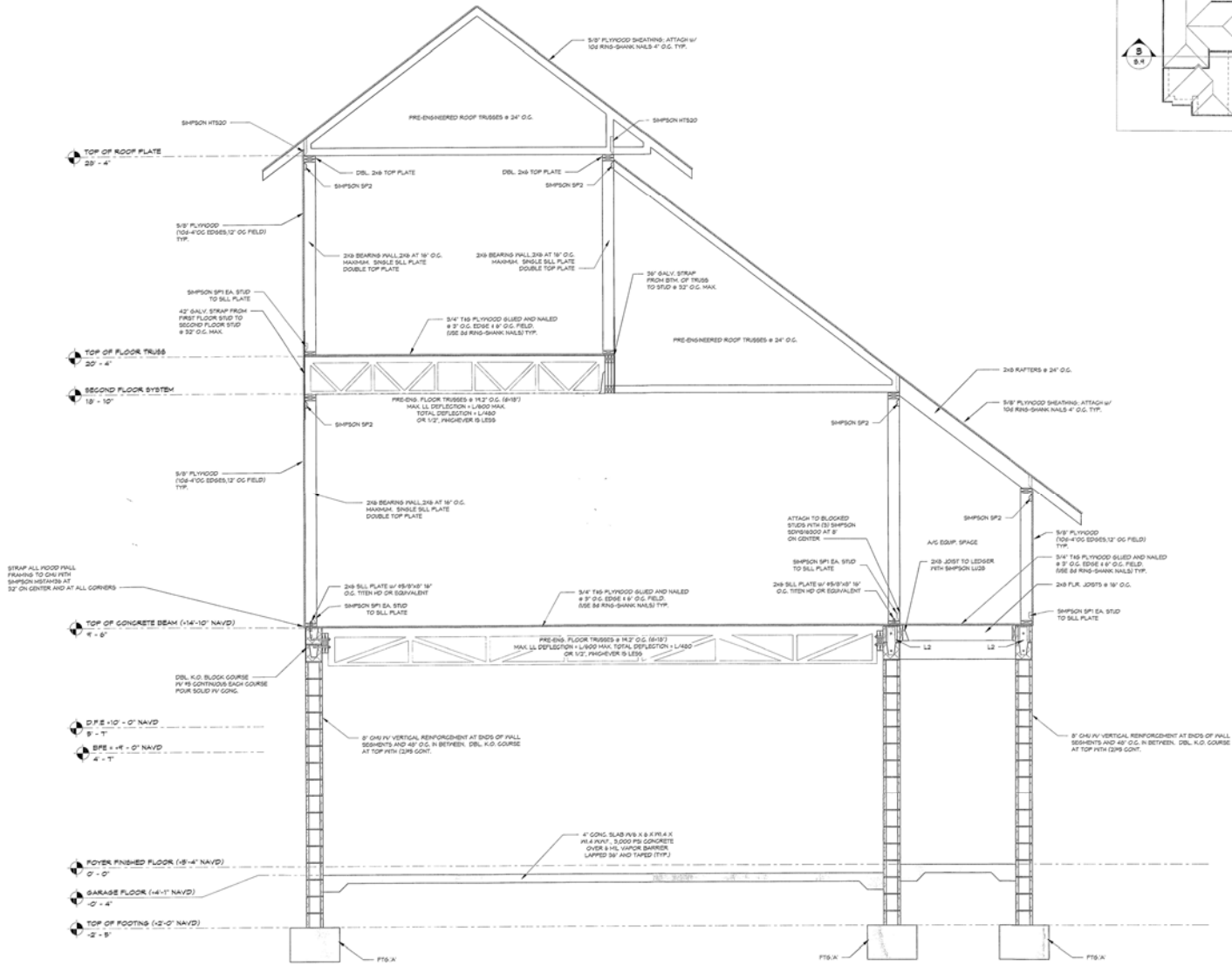
NO.	DESCRIPTION	DATE

SHEET TITLE:
BUILDING SECTION 2

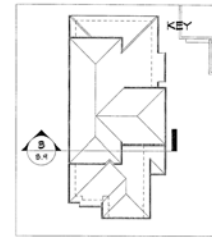
PROJECT NO:
1021-054

SHEET NO:
5.8

BUILD PERMIT PLANS
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Section B
1/2" = 1'-0"



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DN: cn=Charles Sego
2017.11.21
12:02:00-0500
PROFESSIONAL SEAL
NO. 89713
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2021

DATE: 10/14/2017
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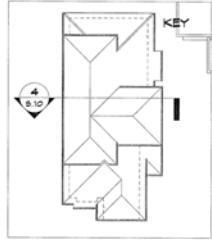
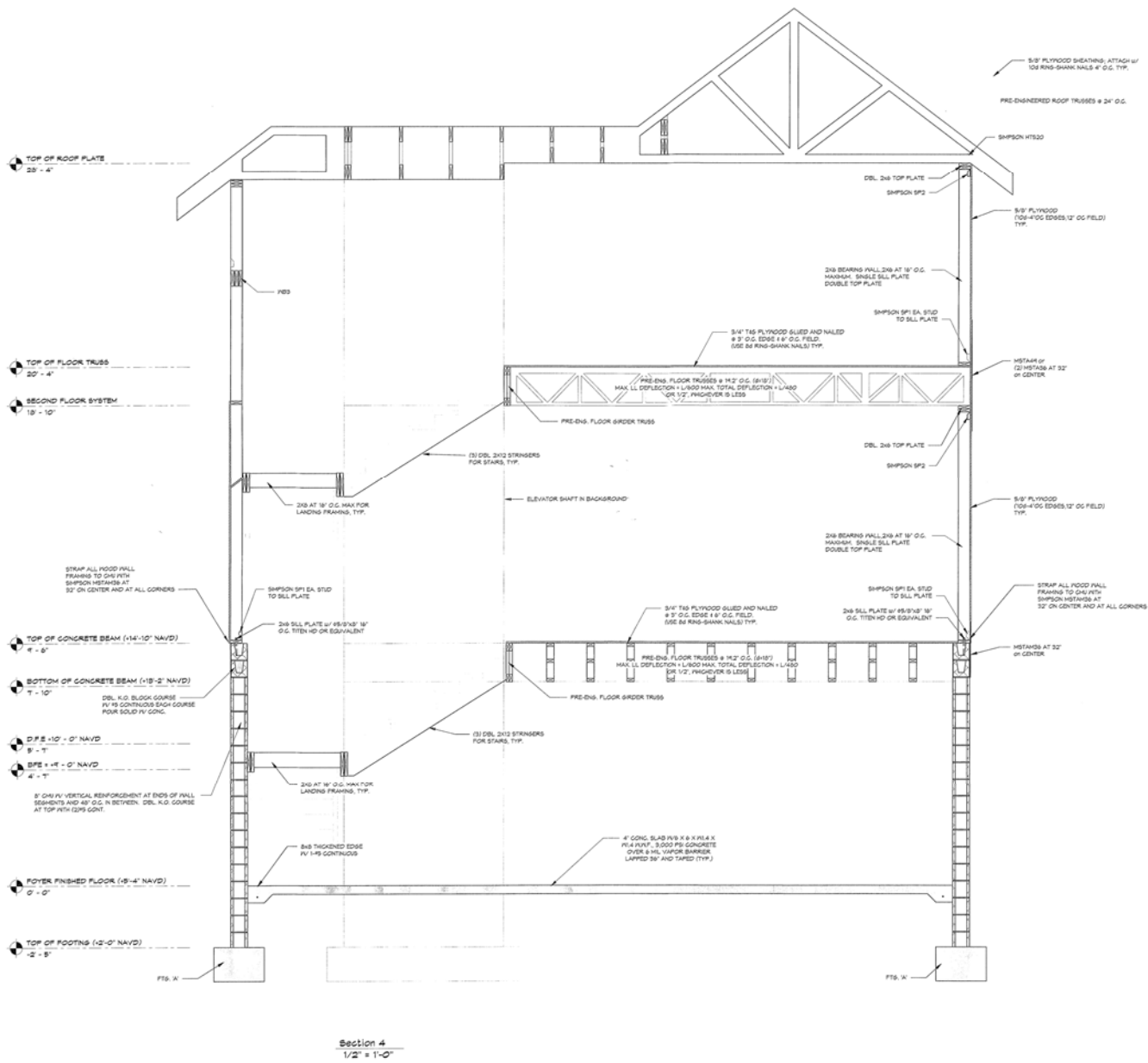
NO.	REVISIONS:	Date

SHEET TITLE
BUILDING SECTION
3

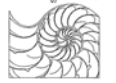
PROJECT NO
1021-034

SHEET NO.
5 of 9

BLIND PRINTING PLANS
FILE COPY AT RECORD



Section 4
1/2" = 1'-0"



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Digitally signed by Charles Segoo
DN: cn=Charles Segoo, o=SEGO & SEGO, ou=SEGO & SEGO, email=charles@sego.com, c=US

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NO.	DATE	DESCRIPTION

SHEET TITLE
BUILDING SECTION 4

PROJECT NO.
1021-094

SHEET NO.
5.10

BLDG. PERMIT PLANS
FILE COPY OF RECORD

DESIGN NOTE:
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA RESIDENTIAL CODE 2014 (RSI EDITION)

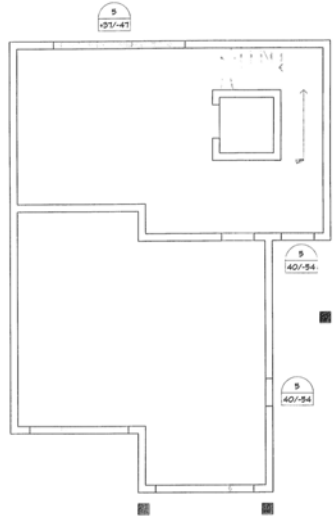
#1	33 FEET
2#1	44 FEET
3#1	33 FEET
RISK CATEGORY	1
WIND SPEED #	V=150 MPH / V&M=118 MPH
CODE	FL RESIDENTIAL CODE- 2014 (RSI EDITION)
WIND EXPOSURE	D
ENGULGED STRUCTURE (EN)	(EG pl = 0.18)

DESIGN LIVE LOADS

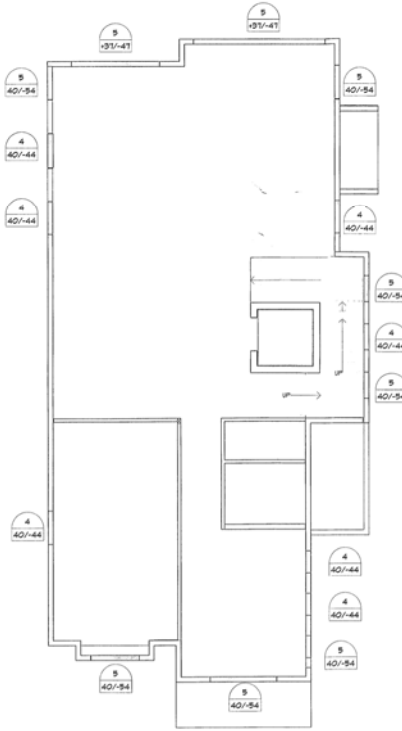
ROOF: 20 PSF
FLOOR: 40 PSF
EXTERIOR STAIRS AND LANDINGS: 40 PSF
DECK: 40 PSF

LEGEND:

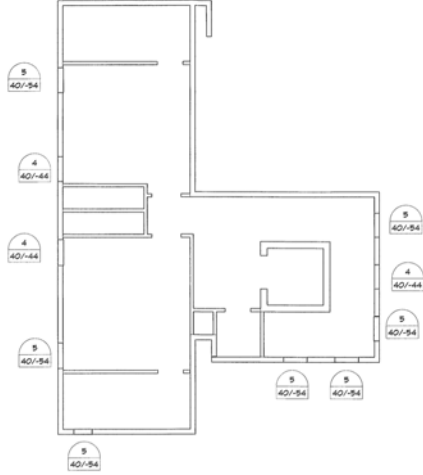
X	WIND PRESSURE ZONE (ZONE 5 IS FOR ANY OPENING 3' FROM CORNERS)
X	HORIZONTAL OPENING - WIND PRESSURE IN PSF (ASD)



GROUND LEVEL WIND PRESSURES
3/16" = 1'-0"



MAIN LEVEL WIND PRESSURES
3/16" = 1'-0"



UPPER LEVEL WIND PRESSURES
3/16" = 1'-0"

THE STRUCTURAL ENGINEER HAS REVIEWED THIS SET OF ARCHITECTURAL DRAWINGS AND CERTAINS REPRESENTED BY THESE DRAWINGS COMPARE WITH FLORIDA BUILDING CODE 2014 EDITION.



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NO.	DATE	DESCRIPTION

SHEET TITLE:
WIND PRESSURES

PROJECT NO:
1021-094

SHEET NO:
S.11

GLAD PERMY PLANS
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