

## **SITE DEVELOPMENT PLAN ORDER 2022-03**

**A SITE DEVELOPMENT PLAN ORDER OF THE TOWN OF LONGBOAT KEY, FLORIDA, APPROVING A FINAL SITE DEVELOPMENT PLAN APPLICATION FOR PROPERTY LOCATED AT 3150 GULF OF MEXICO DRIVE, ALLOWING FOR THE CONSTRUCTION OF TWO (2) COMMERCIAL BUILDINGS TOTALING 14,408 SQUARE FEET AND ASSOCIATED PARKING; REPEALING AND SUPERCEDING PORTIONS OF PRIOR SITE PLAN DEVELOPMENT ORDERS IN CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, 3150 GMD, LLC (hereinafter the "Owner") owns certain real property located at 3150 Gulf of Mexico Drive (hereinafter "Property"); and

**WHEREAS**, the Owner has given Jason Coates (hereinafter the "Applicant"), on behalf of 3150 GMD, LLC, authorization to act on its behalf for the submittal of a certain Site Development Plan application; and

**WHEREAS**, the Property is zoned C-1 (Limited Commercial District); and

**WHEREAS**, the Applicant has submitted a Site Development Plan application requesting Town approval to construct two (2) commercial buildings totaling 14,408 square feet and an associated parking lot on the Property; and

**WHEREAS**, the Applicant's Site Development Plan shows that drainage easements are required for stormwater management on the Property; and

**WHEREAS**, the Applicant has confirmed that Owner will record and file easements that are necessary for proper stormwater management; and

**WHEREAS**, the Planning and Zoning Official has, in a timely fashion, accepted a Site Development Plan application for the Property and referred same to the Planning and Zoning Board along with the support documentation and staff recommendations; and

**WHEREAS**, the Planning and Zoning Board is authorized by the Land Development Code to approve the application as submitted, approve the application with changes or special conditions, or disapprove the application, if the application meets the applicable provisions of the Land Development Code; and

**WHEREAS**, at a duly noticed public hearing held on April 19, 2022, the Planning and Zoning Board, and, based upon competent substantial evidence, including but not limited to the findings and professional analysis of Town Staff in the staff report and presentation, makes the following conclusions and findings of fact:

- (a) With the recommended conditions of approval, the Site Development Plan is consistent with the Comprehensive Plan, and the purpose and intent of the C-1 zoning district.
- (b) With the recommended conditions of approval, the Site Development Plan is in conformance with all applicable regulations of the C-1 zoning district.



- (c) With the recommended conditions of approval, the Site Development Plan is in conformance with the Town's subdivision regulations, Chapter 157, and all other applicable Town requirements, including the design, adequacy, utility facilities, and other essential services.
- (d) With the recommended conditions of approval, the Site Development Plan is consistent with good design standards in respect to all external relationships, including but not limited to relationship to adjoining properties; internal circulation, both vehicular and pedestrian; disposition and use of open space, provision of screening and buffering, and preservation of existing natural features, including trees; size and apparent bulk of structures; and building arrangements both between buildings in the proposed development and those adjoining the site.
- (e) With the recommended conditions of approval, the Site Development Plan is in conformance with Town policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantees for continued maintenance.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN OF LONGBOAT KEY, FLORIDA, THAT:**

Section 1. The above recitals are true and correct and are fully incorporated herein by reference.


Section 2. The Site Development Plan application for two (2) commercial buildings totaling 14,408 square feet and an associated parking lot located at 3150 Gulf of Mexico Drive, Longboat Key, Florida 34228 is hereby approved subject to the conditions attached hereto marked Exhibit "A", "Conditions Requisite for Approval" and dated concurrently with this Order.

Section 3. Any portion of previously issued Site Development Plan Orders for the Property in conflict herewith shall be repealed and superseded.

Section 4. If any section, subsection, sentence, clause or provision of this Site Development Plan Order is held to be invalid or ineffective, the validity of the remaining portions of this Site Development Plan Order shall not be affected.

Section 5. This Site Development Plan Order shall become effective immediately upon adoption.

ADOPTED at a meeting of the Planning and Zoning Board of the Town of Longboat Key on the 19<sup>th</sup> day of April 2022.

  
\_\_\_\_\_  
Chair

ATTEST:  
  
\_\_\_\_\_



Secretary

Attachment: Exhibit "A": Conditions Requisite for Approval



EXHIBIT "A"

SITE DEVELOPMENT PLAN ORDER 2022-03

CONDITIONS REQUISITE FOR APPROVAL  
SITE DEVELOPMENT PLAN

3150 GULF OF MEXICO DRIVE

1. The provisions of the Site Development Plan application for the above referenced subject Property, dated and received by the Town on January 7, 2022, February 8, 2022 and March 10, 2022 shall be complied with unless waived or modified by the following conditions or by written agreement between the Town and the Owner or amended pursuant to Code.
2. Prior to issuance of any building permits for the Project, the Owner shall record and provide proof of all necessary drainage easements for stormwater management. These easements include, but are not limited to:
  - a. Easement along the five (5) foot strip (currently owned by others) to accommodate stormwater management system improvements for Gulf of Mexico Drive ("GMD") runoff by-pass and a portion of the onsite dry retention.
  - b. Easement(s) between the residential lots and the commercial development to allow for a joint-use stormwater management system in perpetuity.
3. All Southwest Florida Water Management District ("SWFWMD") and FDOT Drainage and Driveway permits shall be obtained and copies provided to the Town for the record file.
4. The development/construction plans shall conform to all applicable Town codes and ordinances and all other applicable regulations, including but not limited to, FEMA standards/regulations, accessibility, fire code, and life/safety requirements.
5. In accordance with Section 158.029(E) of the Town Code, an approved Site Development Plan becomes null and void if:
  - (1) The Applicant shall abandon the plan or the Section thereof that has been finally approved, and shall so notify the Town; or
  - (2) Within 24 months of the date of approval of an application for Site Development Plan review, a complete application for Building Permit has not been submitted to the Town and a Building Permit issued; or
  - (3) A final Certificate of Occupancy for all phases of the project has not been issued within three years from the date set for receipt of a complete application for Building Permit for the final building or development phase of the project.



6. A licensed surveyor shall verify the Lot Coverage and Non-Open Space calculations upon completion of the project. Certification of the calculations shall be signed and sealed on an as-built survey and submitted to the Town prior to issuance of a Certificate of Occupancy.
7. Approval of the proposed Site Development Plan shall be subject to payment of all staff review charges. Such charges shall be paid prior to issuance of Building Permit.





**Town of Longboat Key**  
**Planning, Zoning and Building Department**  
501 Bay Isles Road  
Longboat Key, Florida 34228  
941-316-1966  
941-316-1970 FAX

## **APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW**

Application must be completed in its entirety, and owner's signature notarized.

**APPLICANT IS REQUIRED TO INITIALLY SUBMIT FIVE (5) INDIVIDUAL, COLLATED SETS OF THIS APPLICATION, SUPPORTING PLANS AND DOCUMENTS ALONG WITH ONE (1) DIGITAL COPY OF ALL MATERIALS FOR THE DEVELOPMENT REVIEW COMMITTEE MEETING. ONCE APPLICATION DEEMED COMPLETE, ADDITIONAL COPIES WILL BE REQUESTED.**

**SITE DEVELOPMENT PLAN REVIEW APPLICATION FEE:** (Deposit due at time of submission)  
Non-Commercial Site Plan- \$1,000 deposit  
Commercial Site Plan- \$3,000 deposit

IF PAYING BY CREDIT CARD, PLEASE COMPLETE A CREDIT CARD AUTHORIZATION FORM

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s). Costs will be deducted from initial deposit. If costs exceed the initial deposit, you will be billed for the remaining costs incurred; or you will be refunded the unused portion of the deposit.

Date Filed: 12/28/2021      New Site Plan ☒      Revised Site Plan ☐

**Name of Development:** \_\_\_\_\_

**Site Address:** 3150 Gulf of Mexico Dr, Longboat Key, FL 34228

### **PROPERTY OWNER**

Name: Mark Ursini (Title MGR)

Company/Firm: 3150 GMD, LLC

Phone: (941) 373-0500      Fax: \_\_\_\_\_      Email: mursini@bristahomes.com

Mailing Address: 1656 Main St

City: Sarasota      State: FL      Zip: 34236

### **APPLICANT/AGENT**

Name: Jason Coates

Company/Firm: Shroyer Drapala Engineering, LLC

Phone: 941-746-4000      Fax: \_\_\_\_\_      Email: JasonC@ShroyerDrapala.com

Mailing Address: 1111 3rd Ave W, Ste 210

City: Bradenton      State: FL      Zip: 34205

### **ENGINEER/SURVEYOR**

Name: Steve Shroyer

Company/Firm: Shroyer Drapala Engineering, LLC



APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW

Page 2

Phone: 941-746-4000 Fax: Email: SteveS@ShroyerDrapala.com  
Mailing Address: 1111 3rd Ave W, Ste 210  
City: Bradenton State: FL Zip: 34205

**ARCHITECT**

Name: Justin King  
Company/Firm: JKing Designs  
Phone: 941-465-0036 Fax: Email: justin@jkingdesigns.com  
Mailing Address: 1383 5th St  
City: Sarasota State: FL Zip: 34236

**EXISTING SITE INFORMATION:**

Zoning District: C1 Square Footage of Site: 60,029 Sq. Ft. Lot Coverage: Vacant  
Total Units: 0 Proposed Density:  
Percentage Non-Open Space: 0 Max Density Allowed:

**PROPOSED SITE INFORMATION:**

Zoning District: C1 Square Footage of Site: 60,029 Sq. Ft. Lot Coverage: 43,124 Sq.FT  
Total Units: 8 Proposed Density: N/A  
Percentage Non-Open Space: 72% Max Density Allowed: N/A

**Proposed Development for Existing and New Buildings**

**Building A:** Existing ☐ New ☒ Building Use Commerical  
Square Feet 10,908 Height 30 ft Number of Floors 1 First Floor Elevation 4.5

**Building B:** Existing ☐ New ☒ Building Use Commerical  
Square Feet 3,500 Height 30 ft Number of Floors 1 First Floor Elevation 4.5

**Building C:** Existing ☐ New ☐ Building Use  
Square Feet Height Number of Floors First Floor Elevation

**Building D:** Existing ☐ New ☐ Building Use  
Square Feet Height Number of Floors First Floor Elevation

**Building E:** Existing ☐ New ☐ Building Use  
Square Feet Height Number of Floors First Floor Elevation

**Parking Spaces Required:** **Parking Spaces Indicated:**

**Please check all that apply:**

Attached hereto are the necessary approvals of the federal, state, county and regional agencies.

Yes ☐ No ☒



Proposed site plan complies with the Comprehensive Plan and Zoning Code. Yes ☒ No ☐

(Provide an attached narrative explaining how, and include the relevant Comprehensive Plan Goals, Objectives and Policies.)

Proposed site plan complies with the Subdivision Ordinance and Town Code. Yes ☒ No ☐

(Provide an attached narrative demonstrating compliance with 158.028, and .030, include .036 where applicable. Also include how the plan is consistent with 158.031, Findings of Fact)

Date of Development Review Committee Meeting: \_\_\_\_\_

**BONDS REQUIRED:** Please contact the Planning, Zoning & Building Department to determine whether your project will require a Site Restoration Bond, and the Public Works Department to determine if you will require a Performance Bond.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing the subject type of development will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

Applicant's Signature: \_\_\_\_\_

Date: 12/29/2021

(if applicant is not the property owner, a property owner affidavit will be required)

#### NOTARIZATION OF SIGNATURE

State of Florida

County of Sarasota

The foregoing instrument was acknowledged before me by means of physical presence ☒ or online notarization ☐.

this 29<sup>th</sup> day of December 2021 By Mark A. Ursini

Signature of Notary Public: \_\_\_\_\_

Printed/Stamped Name of Notary Public

Margarita Moroz

Personally known ☒ OR produced identification ☐ Type of ID \_\_\_\_\_







# Shroyer Drapala Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

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February 7, 2022

Planning and Zoning Board  
c/o Ms. Maika Arnold, AICP, Senior Planner  
Planning, Zoning & Building Department  
Town of Longboat Key  
501 Bay Isles Road  
Longboat Key, FL 34228

**Re: 3150 Gulf of Mexico Drive Commercial  
Planning and Zoning Board Package**

Dear Planning and Zoning Board,

On Behalf of Brista Homes, Shroyer Drapala Engineering is pleased to provide you with the above referenced Commercial site improvement package for review and approval.

The proposed project is a 1.38+/- acre parcel, located on the northeast corner of Buttonwood Drive and Gulf of Mexico Drive, in the Town of Longboat Key. Included with this project is a 14,408 sf multi-use commercial site, including parking and all required infrastructure.

As part of the review submittal, we have identified that we meet the requirements of the current Zoning Code Section 158.028 and Zoning Code Section 158.030.

**Zoning Code Section 158.028 - Application for Site Plan Approval, is specifically being met in the following manner:**

- A. The character of use and the location and size of the site, including a current land survey with a complete legal description prepared and certified by a registered surveyor.

**A signed and sealed Boundary and Topographic Survey is included with this submittal package. The existing data and topography is also included on the Existing Conditions and ESC Plan, sheet FSP-3, of the plan set.**

- B. Site Development Plan with the title of the project, its lot configuration, finished ground floor elevations, contours (i.e., at six-inch intervals with reference to mean sea level), and designating number of dwelling units, square footage paved areas and open area, and dimensioned setbacks to scale indicating compliance with regulations.

**The information can be found on the Final Site Plan, Sheet FSP-6. The proposed finish floor elevation is 4.50, which is higher than Gulf of Mexico Drive and consistent with the surrounding properties.**





- C. Verified statement, including a certificate of ownership, showing each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient. A property owners' affidavit shall be provided if the owners are authorizing an agent to submit the Site Development Plan application on their behalf. If the agent is acting on behalf of an Association, the agent shall provide a copy of the Board Meeting minutes and authorization that verifies the agent has authorization to act on behalf of the Association.

**A signed affidavit for certificate of ownership has been completed and submitted to the Town and a property owner's affidavit has been submitted authorizing Shroyer Drapala Engineering to submit on the owner's behalf.**

- D. The relationship of the site to existing development in the area including streets, utilities, residential and commercial development, and important physical features in and adjoining the project, including ecological features.

**Existing streets and conditions surrounding the site is provided on the Final Site Plan, sheet FSP-6 and the Existing Conditions and ESC Plan, sheet FSP-3. There is an existing commercial development to the north of this project and a currently vacant parcel to the south. The property is bounded by Gulf of Mexico Drive to the west and Winslow Place to the east. The Final Site Plan, sheet FSP-7, also depicts the drive adjacent to Gulf of Mexico Drive, which is below the 70% street yard requirement outlined in §158.100(I)(3).**

- E. The density or intensity of land use(s) to be allocated to all parts of the site to be developed together with tabulations by acreage and percentage thereof itemized by use and density.

**Intensity and coverage calculations are provided on the Final Site Plan, sheet FSP-7, and are consistent with the Town's Lot Coverage Calculation Sheet. The proposed design is below the maximum allowable lot coverage and non-open space requirements.**

- F. Tabulations by acreage and percentage as to the amount of the site that is uplands and wetlands, indicating those wetlands landward and seaward of the mean high-water line (MHWL). Additional related information should include the extent and type of wetlands in accordance with the Town's Comprehensive Plan.

**There are no wetlands onsite.**

- G. Architectural definitions for buildings in the development, include use, height, daylight plane, exterior construction material, exact number of dwelling units, sizes and types of building and dwelling units, together with typical floor plans of each type. The floor plans should indicate uses and square footage of each proposed use within each building or structure and all exterior dimensions of each type of building or structure.

**The structures are single story commercial buildings approximately 13' tall, with a finish floor elevation of 4.50. This is a commercial building, so finish floors are allowed to be constructed below the base flood elevation, but shall be constructed with watertight doors and windows, as required.**





- H. The type and location of all existing trees protected by Town regulations, including a plan how the removal of such vegetation would be avoided or replanted or replaced.

**All exotic and invasive trees have been removed from the site. Additional screening and landscaping will be provided to enhance the site buffers. See attached Final Landscape Plan and Final Landscape Details, Sheets L.1 and L.2.**

- I. Location, design and character of all utilities.

**The existing and proposed utilities are provided on the Utilities Plan, sheet FSP-8, which identify the existing site utility sizes and locations and the proposed water, sanitary and fire services to the proposed site.**

- J. Location, height and general character of perimeter and ornamental walls, fences, landscaping, including berms and other required screening devices and any other plans for protecting adjacent property owners.

**The proposed site shall have a 6 ft high white privacy fence located on the east and south sides, with landscaping on both sides of the fence to provide an aesthetically pleasing view on both sides of the fence. Please refer to the Final Landscape Plan, sheet L.1.**

- K. Location of all pedestrian walks, malls and bike paths

**There is an existing walk along Gulf of Mexico Drive with a proposed pedestrian sidewalk connection from the proposed site**

- L. Location and character of recreation areas and facilities and the disposition of all open space indicated on drawings. This information should include calculations, verified by a licensed design professional, indicating how the Town's open space requirements are being met. If common facilities (such as recreation areas or structures, private streets, common open space, etc.) are to be provided for the development, statements as to how such common facilities are to be provided and permanently maintained. Such statements may take the form of proposed deed restrictions, deeds of trust, homeowners associations, surety arrangements, or other legal instruments providing adequate guarantees to the Town that such common facilities will not become a future liability of the Town.

**There are no recreational areas included with this commercial site. Intensity calculations are provided on the Final Site Plan, sheet FSP-7, identifying that we meet the required open space coverage.**

- M. Location and character of all outside facilities for waste disposal, storage areas or display.

**There are two proposed dumpster locations, included with this project. Both are located at the rear of the structures and obstructed from view as much as possible, while providing sufficient access for trash collection vehicles.**

- N. A traffic impact analysis, if applicable under Section 158.030 (D)(1), to ensure that the adopted level of service standards are not exceeded before capacity-related improvements are implemented.

**A traffic Impact analysis is being completed. Included with this submittal is a Traffic Impact Statement, utilizing the most stringent uses and based on data contained in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition the project could attract 1,079 average daily, 95 AM peak hour and 111 PM peak hour trip ends.**





- O. The locations and dimensions of all curb cuts, driveways, including the number of parking spaces with their location and dimension, details of off-street parking, including interior parking areas and loading areas, all off-street vehicular surfaces available for maneuvering, surface materials, number of employees and number and type of vehicles owned by the establishment shall be provided.

**Refer to the Final Site Plan, Sheet FSP-7, for all curb cuts, driveways and parking spaces. A parking calculation is provided per §158.100 on sheet FSP-7, for the proposed office building.**

- P. Flood protection elevation data and flood zones delineated. A surface water management plan based on best management practices and in accordance with the sanitary sewer, potable water, solid waste, and drainage element of the Town's Comprehensive Plan.

**The flood zone and elevations are identified on the survey and Existing Conditions and ESC Plan, sheet FSP-3. Surface water will be managed via onsite dry retention and pipe conveyance to the bay. Water quality calculations are provided on the Drainage and Grading Plan, sheet FSP-8, and in the Stormwater Calculations book.**

- Q. A soil erosion and sedimentation plan in accordance with the Town's Comprehensive Plan and Best Management practices.

**Please refer to the Existing Conditions and ESC Plan and Details, on sheets FSP-3 thru FSP-5.**

- R. Such additional data, maps, plans or statements as may be required for the particular use or activity involved.

**Please refer to the Existing Conditions and ESC Plan and Details, on sheets FSP-3 thru FSP-5 for notes and methodology to perform erosion and sediment control.**

- S. Such additional data, as the applicant may believe is pertinent to the site development plan.

**All pertinent information can be found between the Plan Set and Calculations, along with the included Architectural renderings and Concept Plan.**

- T. Such additional material and information the Town may reasonably require.

**Refer to entire Site Plan Application package for all required/requested information.**

- U. A list of all Waivers from the supplemental controls set forth in Subsection 158.030(K) and a clear description of the nature and extent of the requested Waiver and a statement specifically indicating the factual basis for any hardship claimed by the Applicant and a statement of the facts constituting the basis for a request for a Waiver of the supplemental controls as set forth in Subsection 158.030(K).

**No departures or hardships are being requested.**





**Zoning Code Section 158.030, Performance standards for site and development plans:**

**A. *Site Location and Character of Use:***

Detailed Site Information is provided in the included Site Plan Set. Refer to the Final Site Plan, sheet FSP-7 for off-street parking information and calculations. A Final Landscape Plan, sheet L.1, provides detailed information on the proposed landscape buffers. Dimensions are shown on the Final Site Plan, sheet FSP-7, for all yard and building setbacks. A signed and sealed survey is provided.

**B. *Appearance of Site and Structures:***

Please refer to the included Architectural renderings and plans, along with the Final Landscape Plan, sheet L.1, for site appearance. The Final Site Plan, sheet FSP-7, identifies the dimensions of the proposed site plan and locations of structures.

**C. *Parking, Internal Circulation, and Access to Public or Private Streets:***

The proposed site has access to Gulf of Mexico Drive and access has been provided to the adjacent commercial site, to the north, for better emergency access and traffic movement. Refer to the Final Site Plan, sheet FSP-7, for additional information.

**D. *Traffic Impacts:***

Utilizing the most stringent site uses and based on data contained in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition the project could attract 1,079 average daily, 95 AM peak hour and 111 PM peak hour trip ends. This traffic is well within the operational capacity of Gulf of Mexico Drive.

**E. *Open Space and Landscape:***

A Landscape & Screening Plan is provided on Sheet 3 of the Site Plan Set. Required and provided open space calculations are provided on Sheets 2 and 3 of the Plan Set.

**F. *Wetland Development Restrictions:***

**No wetlands, not applicable.**

**G. *Surface Water Management:***

The Drainage and Grading Plan, sheet FSP-8, identifies the proposed stormwater pipe conveyance and dry retention treatment. Included with the project stormwater, is additional offsite drainage and conveyance to pickup stormwater from Gulf of Mexico Drive to Buttonwood Drive, to help the existing flooding on Buttonwood Drive.

**H. *Available Potable Water:***

The proposed office building will connect to the Town's public water system.





**I. Wastewater Service:**

**The proposed office building will connect to the Town's central wastewater utility.**

**J. Soil Erosion & Sedimentation Control:**

**Please refer to the Existing Conditions and ESC Plan and ESC Details, sheets FSP-3 thru FSP-5. The plans identify locations of the proposed silt fence and details, showing installation methods and materials.**

**158.031 - Grant or denial of applications for Site Development Plan approval; findings of fact and conclusions.**

- A. In what respects the plan is or is not consistent with the Comprehensive Plan and the purpose and intent of the zoning district in which it is located.

**The zoning for the property is C-1. This proposed neighborhood commercial project is an allowed use within the C-1 zoning district. The Future Land Use is CL, limited commercial, which is intended to provide essential tourism and/or household services, along highly accessible areas. This project is located along Gulf of Mexico Drive and is highly accessible, with intended uses in compliance with the Longboat Key Comprehensive Plan Master Combined 2020. Based on the Comprehensive Plan, the proposed uses shall be limited to uses that provide tourist services, neighborhood residential services, limited inventory shops, office space, etc. The overall site intensity of 24% is under the maximum allowable intensity of 30%. The buildings heights are proposed to be 24 ft above base flood elevation, which is lower than the allowable 30 ft. Refer to the architectural renderings for additional details.**

- B. In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.

**Site and Structure Information is provided in the Site Plan Application Plan Set demonstrating compliance with all applicable regulations of the zoning district. The proposed development is in conformance with all applicable zoning district regulations.**

- C. In what respects the plan is or is not in conformance with the Town's Subdivision Regulations, [Chapter 157](#), and all other applicable Town requirements, including the design, adequacy and construction of streets, drainage, utility facilities, and other essential services.

**Refer to Site Plan Set for all aspects of the plan demonstrating compliance. The plan is in conformance with all applicable Town requirements.**

- D. In what respects the plan is or is not consistent with good design standards in respect to all external relationships, including, but not limited to, relationship to adjoining properties; internal circulation, both vehicular and pedestrian; disposition and use of open space, provision of screening and buffering, and preservation of existing natural features, including trees; size, and apparent bulk of structures; and building arrangements both between buildings in the proposed development and those adjoining the site.

**The proposed design includes all efforts to maintain good design standards. The south set back is proposed at 15 ft. While this setback is currently allowed, with the southern adjacent parcel having an existing O-I zoning, but is being requested to be changed to R-3SF. This would require a 30 ft setback. With this approval, the south parcel and the proposed commercial shall share a stormwater system and there shall be a privacy fence and 20 ft drainage easement along the shared property line and an additional 5 ft strip from Buttonwood HOA. This makes up for the setback differential and maintains close to the required setback.**





- E. In what respects the plan is or is not in conformance with Town policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantees for continued maintenance.

**All required improvements will be completed in accordance with all applicable requirements and permits to local and state regulatory standards and testing.**

I trust the above information and enclosures will facilitate your review and approval of this project. Should you have any questions, please do not hesitate to contact our office at (941) 746-4000.

Respectfully Submitted,

Jason Coates  
**Shroyer Drapala Engineering, LLC**

Cc: Mr. Mark Ursini







# Shroyer Drapala Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

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February 7, 2022

Ms. Maika Arnold  
Senior Planner  
Planning, Zoning & Building Department  
Town of Longboat Key  
501 Bay Isles Road  
Longboat Key, FL 34228

**Re: 3150 Gulf of Mexico Drive Commercial**

Dear Maika,

On Behalf of Brista Homes, Shroyer Drapala Engineering is pleased to provide you with the above referenced Commercial site improvement package for review and approval.

The proposed project is a 1.38+/- acre parcel, located on the northeast corner of Buttonwood Drive and Gulf of Mexico Drive, in the Town of Longboat Key. Included with this project is a 14,408 sf multi-use commercial site, including parking and all required infrastructure.

As part of the review submittal, we have identified that we meet the requirements of the current C-1 limited commercial zoning setbacks (20' front, 15' side, 20' rear) and 24% allowable building coverage. In support of this statement, included with this submittal are the following documents:

1. Updated Boundary and Topographic Survey
2. Complete Plan Set, including:
  - a. Building areas
  - b. Elevations
  - c. Existing utility and adjacent property data
  - d. Site intensity and open space
  - e. Architectural elevation (under separate cover)
  - f. Drainage and utility design
  - g. Existing and proposed pedestrian walks
  - h. Dumpster locations and cross section
  - i. Parking spaces and adjacent connectivity
  - j. Landscape Plans
3. Certificate of Ownership
4. Traffic Impact Statement (Traffic Impact Analysis to follow)
5. Vicinity Map
6. Site Aerial
7. FEMA Flood Map
8. Legal Description
9. Stormwater Calculations
10. Water Meter Calculations
11. DRC Comment Response Letter





I trust the above information and enclosures will facilitate your review and approval of this project . Should you have any questions, please do not hesitate to contact our office at (941) 746-4000.

Respectfully Submitted,

Jason Coates  
**Shroyer Drapala Engineering, LLC**

Cc: Mr. Mark Ursini







BRISTA  
HOMES  
1656 Main St, Sarasota, FL 34236

B  
941.373.0500 | BRISTAHOMES.COM  
LIC. #CBC059465

Parking Data	
GENERAL PARKING REQUIRED:	14,408/300 = 49 SPA. (4 ADA)
IF 4 DIFFERENT USES:	14,408/400 = 37 SPA. (3 ADA)
PROPOSED PARKING:	43 SPA. (4 ADA)

- Building Usage - 9 UNITS TOTAL
- DENTAL / MEDICAL
  - REALTOR
  - BUILDING CONSTRUCTION
  - WAREHOUSE / GARAGE
  - INSURANCE
  - RESTAURANT / RETAIL

Construction Material

CMU / CONCRETE / METAL / STUCCO

FEBRUARY 10, 2022





**B** 941.373.0500 | BRISTAHOMES.COM  
LIC. #CB059465

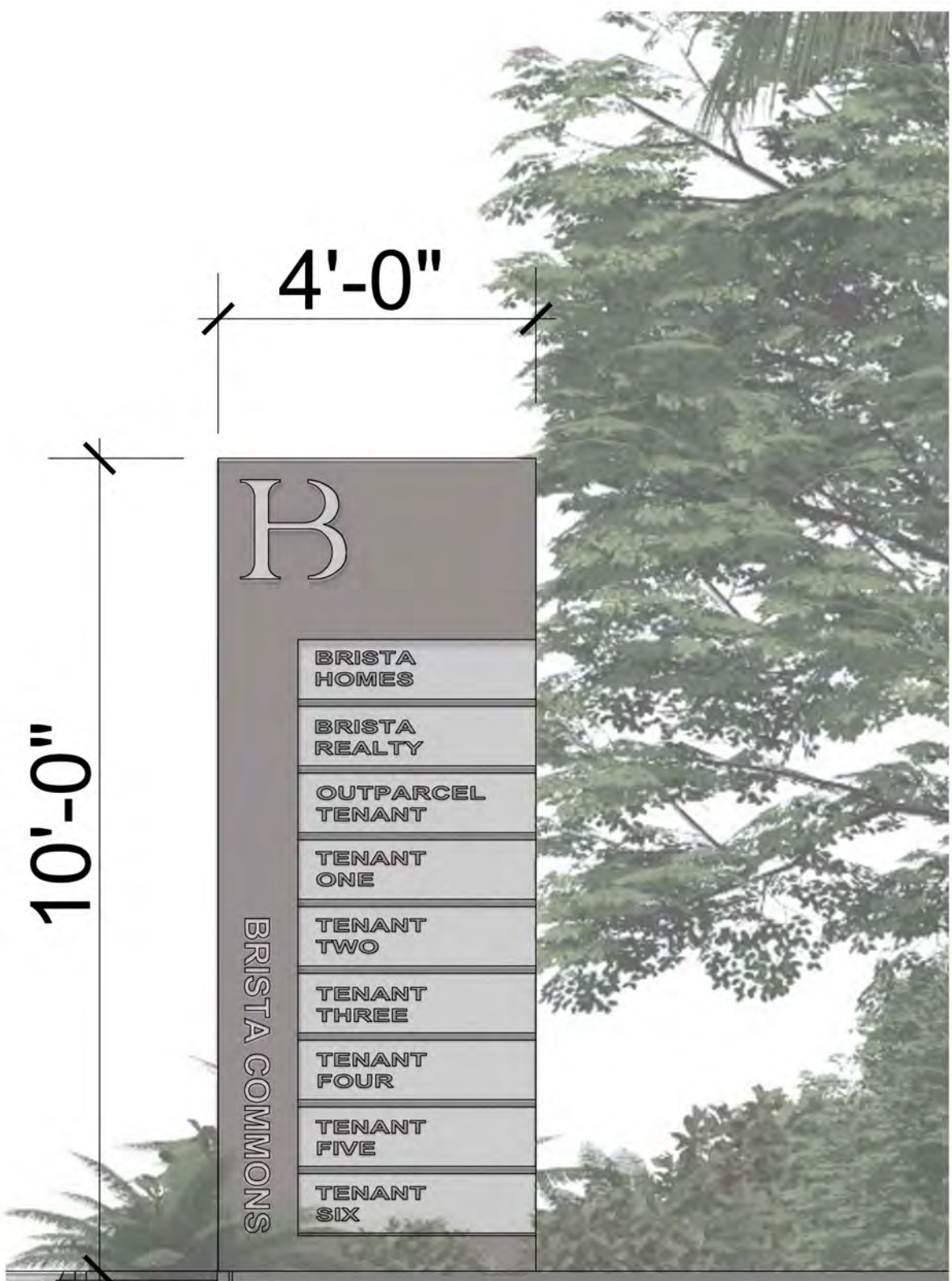
Construction Material

CMU / CONCRETE / METAL / STUCCO

FEBRUARY 10, 2022



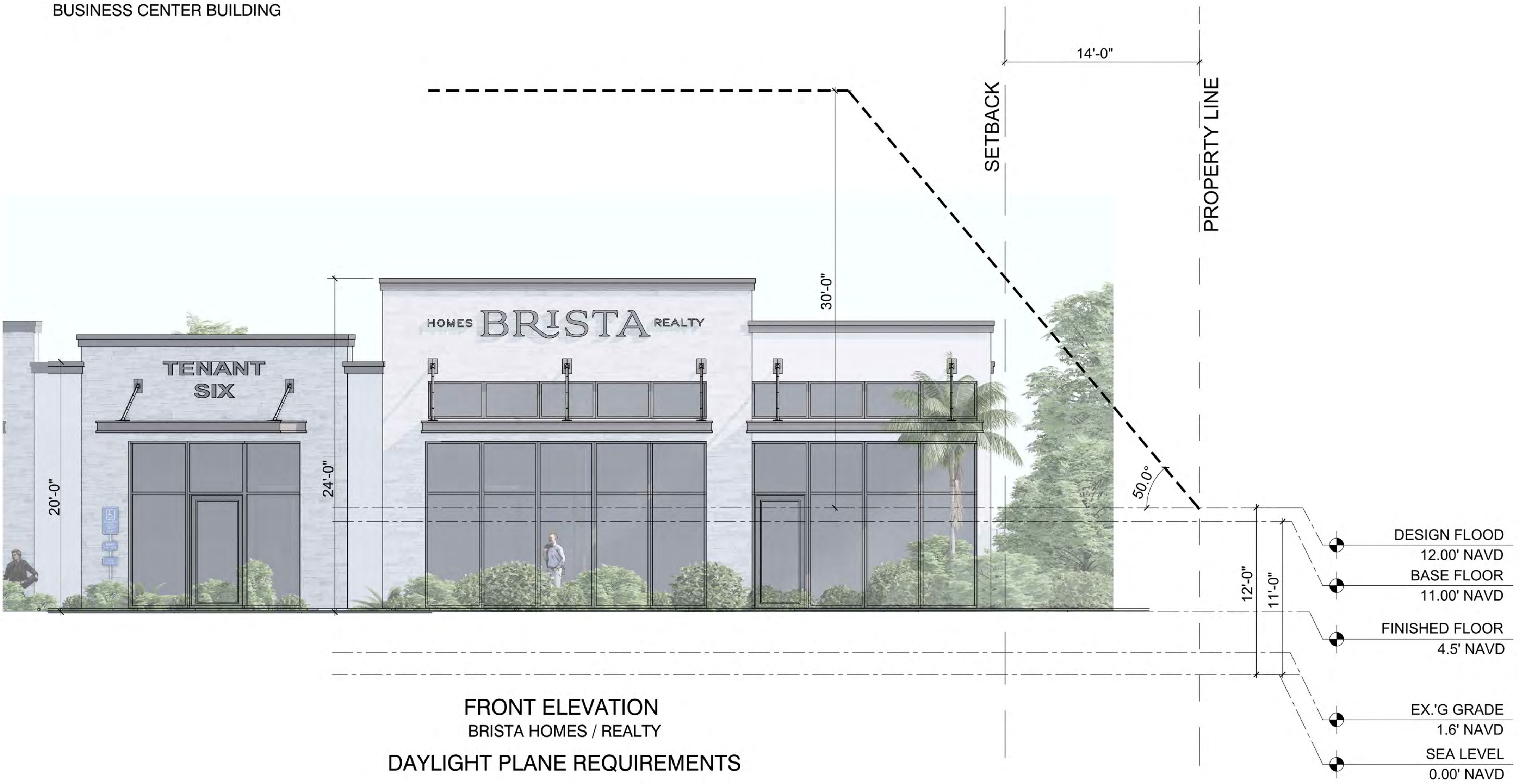
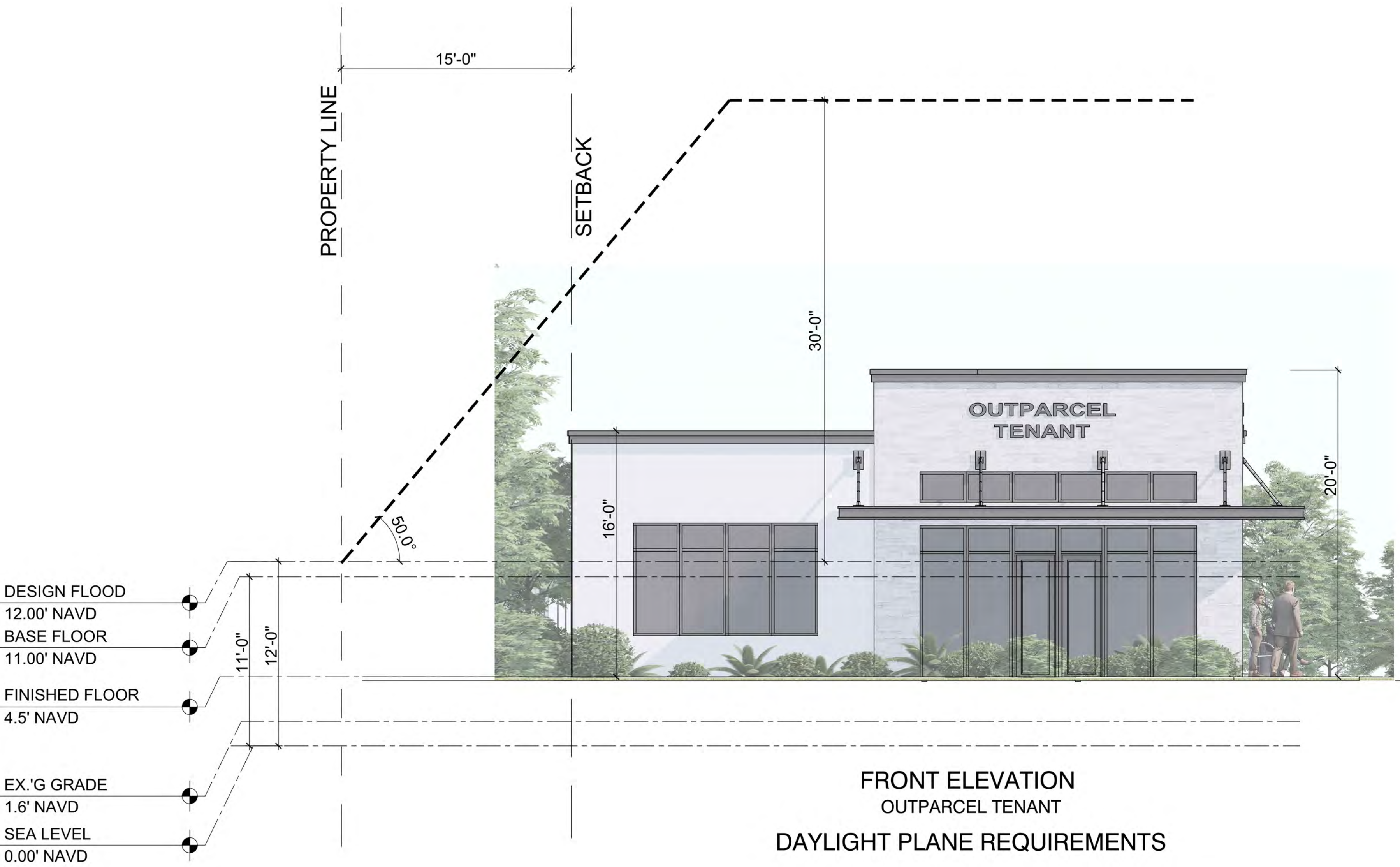
LEFT SIDE ELEVATION  
OUTPARCEL TENANT



ENTRY SIGN



FRONT ELEVATION  
BUSINESS CENTER BUILDING











TENANT  
ONE

TENANT  
TWO

TENANT  
THREE

TENANT  
FIVE

TENANT  
SIX

HOMES **BRISTA** REALTY









HOMES **BRISTA** REALTY

TENANT  
FIVE

TENANT  
SIX

TENANT  
FOUR

























B

BRISTA  
HOMES

BRISTA  
REALTY

OUTPARCEL  
TENANT

TENANT  
ONE

TENANT  
TWO

TENANT  
THREE

TENANT  
FOUR

TENANT  
FIVE

TENANT  
SIX

BRISTA COMMONS

OUTPARCEL  
TENANT

OUTPARCEL  
TENANT





OUTPARCEL  
TENANT

OUTPARCEL  
TENANT





OUTPARCEL  
TENANT

B

BIRDA HOMES  
BIRDA REALTY  
OUTPARCEL TENANT  
TENANT ONE  
TENANT TWO  
TENANT THREE  
TENANT FOUR  
TENANT FIVE

HANDICAPPED PARKING  
PERMIT REQUIRED

MINIMUM FINE \$250  
VAN ACCESSIBLE

HANDICAPPED PARKING  
PERMIT REQUIRED

MINIMUM FINE \$250  
VAN ACCESSIBLE









































HOMES **BRISTA** REALTY

TENANT  
SIX

TENANT  
FIVE

TENANT  
FOUR

TENANT  
THREE

TENANT  
TWO

OUTPARCEL  
TENANT





























HOMES BRISTA REALTY

TENANT  
SIX

TENANT  
FIVE

TENANT  
FOUR





















OUTPARCEL  
TENANT

OUTPARCEL  
TENANT

B





B

BRISTA  
HOMES

BRISTA  
REALTY

OUTPARCEL  
TENANT

TENANT  
ONE

TENANT  
TWO

TENANT  
THREE

TENANT  
FOUR

TENANT  
FIVE

TENANT  
SIX

BRISTA COMMONS

OUTPARCEL  
TENANT

OUTPARCEL  
TENANT





OUTPARCEL  
TENANT

OUTPARCEL  
TENANT





OUTPARCEL  
TENANT

B

BONICA HOMES  
BONICA REALTY  
OUTPARCEL TENANT  
TENANT ONE  
TENANT TWO  
TENANT THREE  
TENANT FOUR  
TENANT FIVE

HANDICAPPED  
PARKING  
PERMIT  
REQUIRED

MINIMUM  
FINE \$250

VAN  
ACCESSIBLE

HANDICAPPED  
PARKING  
PERMIT  
REQUIRED

MINIMUM  
FINE \$250

VAN  
ACCESSIBLE









































HOMES **BRISTA** REALTY

TENANT SIX

TENANT FIVE

TENANT FOUR

TENANT THREE

TENANT TWO

OUTPARCEL  
TENANT



















# Water Meter Calculations

For

## Brista Homes Plaza

Located in

Section 7, Township 36 South, Range 17 East  
Town of Longboat Key, Florida

Calculations by



**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

Submitted to:

**Town of Longboat Key  
Planning, Zoning and  
Building Department**  
501 Bay Isles Road  
Longboat Key, FL 34228

Submitted for:

**3150 GMD, LLC**  
1656 Main St  
Sarasota, FL 34236







# Shroyer Drapala Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

---

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Water Meter Calculations .....	4
Supplemental Data .....	5



Steve Shroyer  
PE No. 32052  
I attest to the  
accuracy and  
integrity of this  
document  
2022.01.5

Steve Shroyer, PE #32052

Date: 01/04/2022





**Potable & Fire Flow Analysis Narrative  
For  
Brista Homes Plaza**

This booklet, along with the engineering plans, is hereby submitted in support of an application for Site Improvement Permit approval of the above project.

The subject site lies at the northeast corner of Gulf of Mexico Drive and Buttonwood Drive, in the Town of Longboat. The area within the construction limits of this project is located in Section 7 Township 36S, Range 17E. The approval request for this project is for a 14,408 sf of proposed multi-use commercial building.

The proposed improvements include a 10,908 sf commercial building. Consisting of 7 total units of varying sizes and a 3,500 sf outparcel unit, for a the addition of a 14,408 sf commercial building. The proposed water meter calculations provided in this book, require a 2" water service meter, in a 2" backflow preventer assembly.



Line #	<b>METER SIZING FORM</b>					
1	<b>Project Name:</b> <u>Brista Homes Plaza</u>			<b>Building Permit # :</b> _____		
2	<b>Final Site Plan Case # (If applicable):</b> _____					
3	<b>Project Address:</b> <u>3150 GULF OF MEXICO DR., LONGBOAT KEY</u>					
4	<b>If this is an existing meter, provide Meter I.D. No.:</b> _____			<b>Existing Meter Size:</b> <u>NA</u>		
5	<b>Physical Address of Existing Meter or Water Billing Account No.:</b> _____			<u>NA</u>		
	<b>Quantity</b>	<b>Fixture Type</b>	<b>Occupancy</b>	<b>Type Supply</b>	<b>Load/Unit</b>	<b>Load</b>
6		Bathroom Group (Toilet, Sink, & Bathtub)	Private	Flush Tank	3.60	
7	10	Bathroom Group (Toilet, Sink, & Bathtub)	Private	Flush Valve	8.00	80.00
8		Bathtub	Private	Faucet	1.40	
9		Bathtub	Public	Faucet	4.00	
10		Bidet	Private	Faucet	2.00	
11		Combination Fixture	Private	Faucet	3.00	
12	2	Dish Washing Machine	Private	Automatic	1.40	2.80
13		Dish Washing Machine	Public	Automatic	1.50	
14		Drinking Fountain	Office, etc.	3/8" Valve	0.25	
15	2	Kitchen Sink	Private	Faucet	1.40	2.80
16		Kitchen Sink	Hotel, Restaurant	Faucet	4.00	
17		Laundry Trays (1 to 3)	Private	Faucet	1.40	
18		Lavatory/Hand Sink	Private	Faucet	0.70	
19		Lavatory/Hand Sink	Public	Faucet	2.00	
20	2	Service Sink/Mop Sink/Utility Sink	Office, etc.	Faucet	3.00	6.00
21		Shower Head	Public	Mixing Valve	4.00	
22		Shower Head	Private	Mixing Valve	1.40	
23	6	Urinal	Public	1" Flush Valve	10.00	60.00
24		Urinal	Public	3/4" Flush Valve	5.00	
25		Urinal	Public	Flush Tank	3.00	
26	2	Washing Machine (8 lb)	Private	Automatic	1.40	2.80
27		Washing Machine (8 lb)	Public	Automatic	3.00	
28		Washing Machine (15 lb)	Public	Automatic	4.00	
29		Water Closet (toilet)	Private	Flushometer Valve	6.00	
30		Water Closet (toilet)	Private	Flush Tank	2.20	
31		Water Closet (toilet)	Public	Flushometer Valve	10.00	
32		Water Closet (toilet)	Public	Flush Tank	5.00	
33		Water Closet (toilet)	Public or Private	Flushometer Tank	2.00	
34	6	Hose Connection 1/2"	Public or Private	Faucet	2.60	15.60
35		Hose Connection 3/4"	Public or Private	Faucet	5.50	
36	1	Ice Machine	Public or Private	Faucet	0.50	0.50
37		Other				
38	<b>Project Load:</b>					<b>170.50</b>
39	<b>Number of existing units served by meter:</b>			<u>0</u>		
40	<b>Total number of units served by meter:</b>			<u>8</u>		
41	<b>If this is an existing meter that serves more than one unit, provide additional existing load:</b>					<b>0</b>
42	<b>Total Load:</b>					<b>170.50</b>
43	<b>Town Sanitary Sewer Service? (Check Box):</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
44	<b>Does the project include any sanitary lift stations? (Check Box):</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
45	<b>Applicant's Comments:</b> _____					
46	This complex requires a 2" master meter					
47						
48						
49	<b>Circle one:</b> <u>Engineer</u> Architect    Plumber/Contractor					
50	<b>Company Name:</b> <u>Shroyer Drapala Engineering, LLC</u>					
51	<b>Address:</b> <u>1111 3rd Ave W, Suite 210</u>					
52	<u>Bradenton, FL 34205</u>					
53	<b>E-mail Address:</b> <u>steves@shroyerdrapala.com</u>					
54	<b>Telephone Number:</b> <u>(941) 746-4000</u>					
55	<b>Proposed/Required Meter Size:</b> <u>2"</u>					
Meter Size shall be consistent with Florida Building Code - Plumbing.						

**STEVE J. SHROYER, P.E.**

Name (Printed): Steve Shroyer, P.E.

No. 32052

Signature:

License No. 32052

Date: 1/4/2022

STATE OF FLORIDA

PROFESSIONAL ENGINEER

If Professional Engineer or Architect, print name, license #, sign, date & seal.  
If Plumber/Contractor, print name, license #, sign & date.



Primarily Flush Tank System

Meter Size	Max Fixture Count @	Max Fixture Count @	Max Meter GPM
	80%	100%	
5/8"	12	21.8	20
3/4"	32	53.9	30
1"	86	129.2	50
1-1/2"	275	367	100
2"	546	683	160
3"	1383	1927	320
4"	2701	3600	500
6"			1000
8"			1500

Primarily Flush Valve System

Meter Size	Max Fixture Count @	Max Fixture Count @	Max Meter GPM
	80%	100%	
5/8"	5	7.1	20
3/4"	24	13.6	30
1"	26	50.0	50
1-1/2"	155	242	100
2"	406	619	160
3"	1383	1927	320
4"	2701	3600	500
6"			1000
8"			1500



---

Parcel Identification No. :

ERP Application No. :

---

# Stormwater Calculations

For

## Brista Homes Plaza

Located in

Section 7, Township 36 South, Range 17 East  
Town of Longboat Key, Florida

Calculations by



**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

Submitted to:

**Town of Longboat Key Planning, Zoning  
and Building Department**

501 Bay Isles Road  
Longboat Key, FL 34228

Submitted for:

**3150 GMD, LLC**

1656 Main St  
Sarasota, FL 34236







# Shroyer Drapala Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

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Site Aerial .....	
Soils Map and Data .....	
FIRM Map .....	
USGS Map .....	
Legal Description.....	
Post Development Treatment.....	
Post Development ICPR Calculations .....	

STEVE J. SHROYER  
LICENSE  
No. 32052  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER  
Steve Shroyer, PE  
Date: 1/4/2022







# Shroyer Drapala Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3<sup>rd</sup> Ave. W., Suite 210  
Bradenton, FL 34205

---

## Project Narrative for First Brista Homes Plaza

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The computations contained in this booklet outline the design methodology for the development of a vacant parcel, a site located in the Town of Longboat Key, Florida. This booklet, along with the engineering plans, is hereby submitted in support of an application for an Environmental Resource Permit (ERP).

The subject site lies along the east side of Gulf of Mexico Drive and the north side of Buttonwood Drive, in Section 7, Township 36S, Range 17E. The area within the construction limits of this project, and the subject of this ERP application, is 1.38 ± acres.

### **Pre-Conditions:**

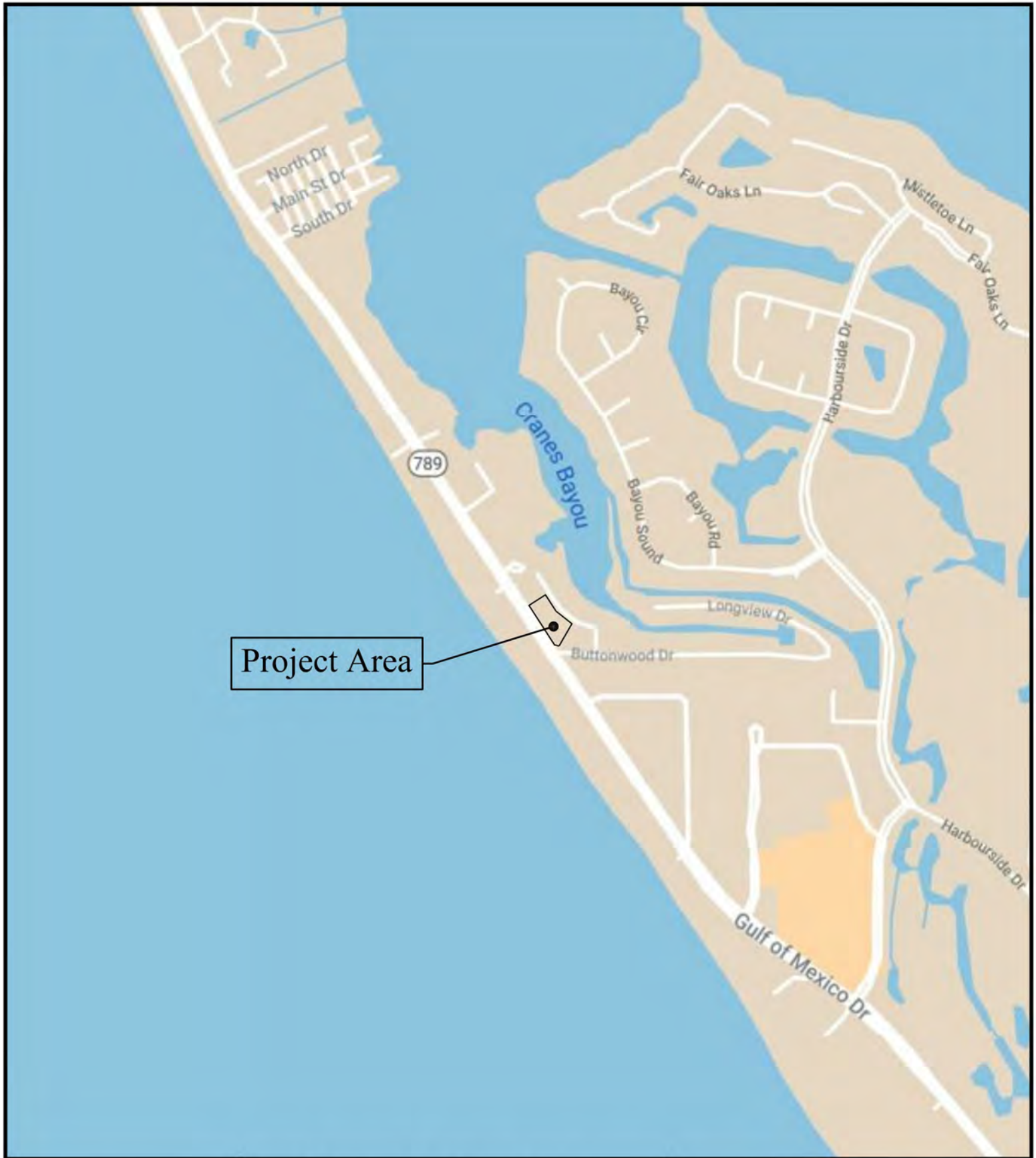
The existing system consists of a 1.38 acre vacant site that is completely surrounded by development.

### **Post-Conditions:**

The proposed improvements to this site are to construct a 14, 408 sf commercial site, including parking and all required infrastructure. The site discharges directly to Cranes Bayou, a tidal body, thus Attenuation is not required. Treatments is provided by an onsite dry retention system, which has a post development 25 year maximum discharge is 5.37 cfs.







Project Area

**Figure 1 - Vicinity Map**  
For  
**Brist Homes Plaza**

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282  
Bradenton, FL 34206

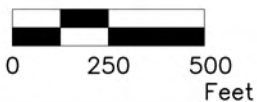
1111 3rd Ave. W., Suite 210  
Bradenton, FL 34205

E-Mail: [Info@ShroyerDrapala.com](mailto:Info@ShroyerDrapala.com)  
Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)



0 500 1000  
Feet





**Figure 2 - Site Aerial**  
For  
**Brista Homes Plaza**

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



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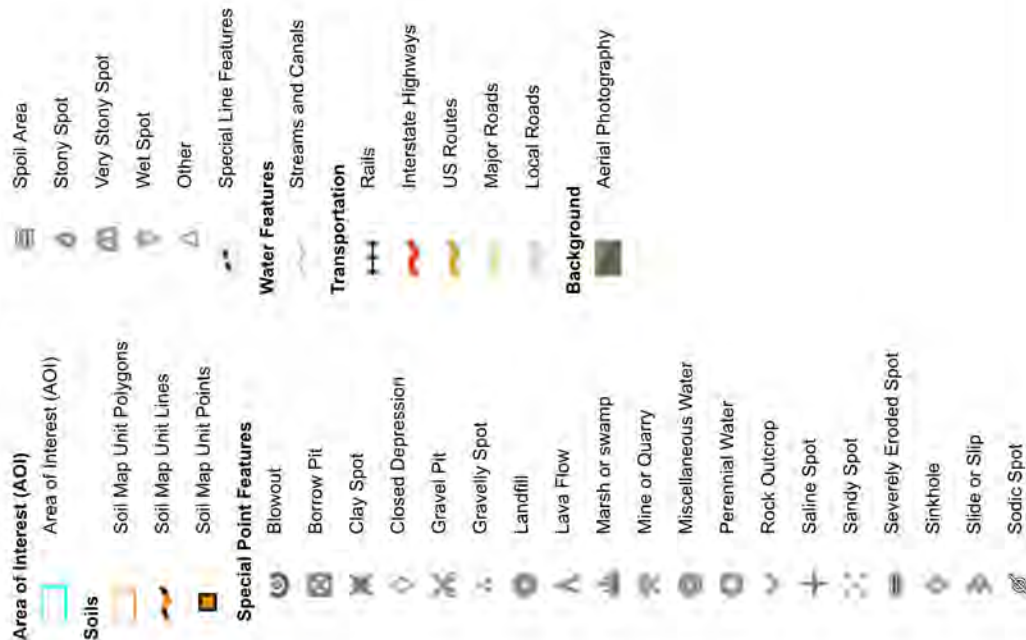


Soil Map—Sarasota County, Florida  
(Figure 3 - Soils Map)





## MAP LEGEND



## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Sarasota County, Florida  
Survey Area Data: Version 19, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Feb 2, 2020—Feb 24, 2020

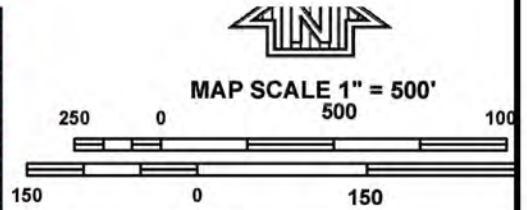
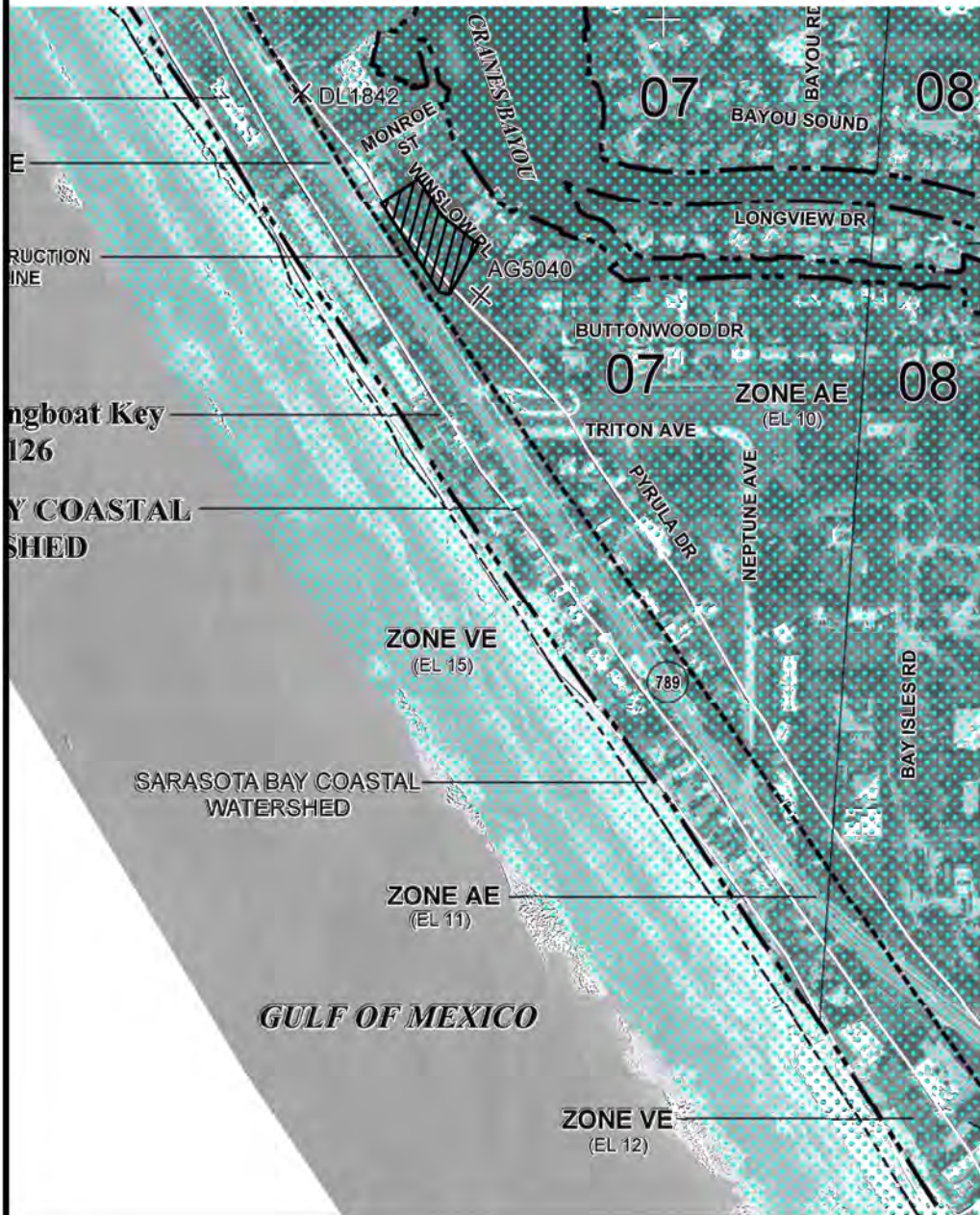
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
52	Canaveral fine sand-Urban land complex, 0 to 5 percent slopes	1.2	59.7%
64	Kesson-Wulfert mucks, tidal-Urban land complex, 0 to 1 percent slopes	0.8	40.3%
<b>Totals for Area of Interest</b>		<b>2.0</b>	<b>100.0%</b>





**NFIP**

**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0107F

**FIRM**

**FLOOD INSURANCE RATE MAP  
SARASOTA COUNTY,  
FLORIDA  
AND INCORPORATED AREAS**

**PANEL 107 OF 475**

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
LONGBOAT KEY, TOWN OF	125126	0107	F

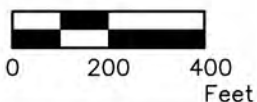
Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



**MAP NUMBER  
12115C0107F  
EFFECTIVE DATE  
NOVEMBER 4, 2016**

Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created by the MSC FIRMette Web tool. This map does not reflect changes or amendments which have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Page available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



## Figure 4 - Fema FIRM Map For Brista Homes Plaza

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



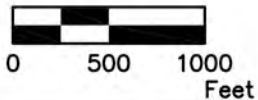
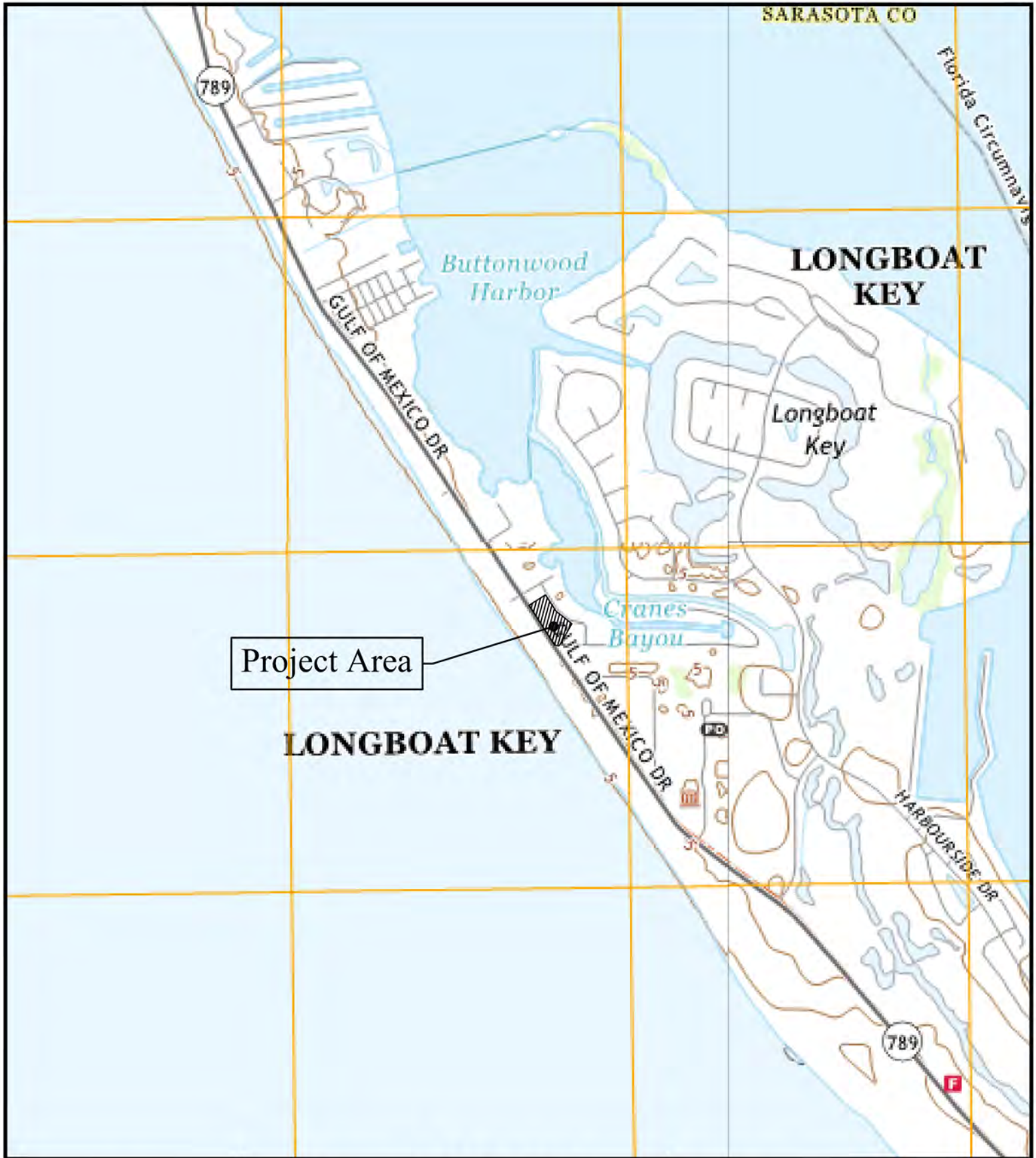
**Shroyer Drapala  
Engineering, LLC**

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E-Mail: [Info@ShroyerDrapala.com](mailto:Info@ShroyerDrapala.com)  
Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)





**Figure 5 - USGS Map**  
For  
**Brista Homes Plaza**

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



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Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)



#### LEGAL DESCRIPTION:

COMMENCE AT THE 4" X 4" CONCRETE PERMANENT REFERENCE MONUMENT OF LAND SURVEYOR #1195 LOCATED AT THE SOUTHEAST CORNER OF U.S. GOVERNMENT LOT 1, SECTION 7, T36S-R17E, LONGBOAT KEY, SARASOTA COUNTY, FLORIDA; THENCE N 0°11'45" W, 191.82'; THENCE S 89°48'15" W, 815.36' TO THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE AND THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD HARBOUR SECTION NO. 2, O.R. BOOK 302, PAGE 51, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE CONTINUE S 89°48'15" W, ALONG THE NORTH RIGHT OF WAY LINE OF SAID BUTTONWOOD DRIVE, 10.00' TO A 4" X 4" CONCRETE MONUMENT ON THE WEST RIGHT OF WAY LINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG A NONTANGENT CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE 11°44'07", ARC LENGTH 247.48', CHORD LENGTH 247.05', CHORD BEARING N 84°13'08" W, TO A 4" X 4" CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF SAID BUTTONWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG SAID CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE OF 1°44'25", ARC LENGTH 36.70', CHORD LENGTH 36.70', CHORD BEARING N 77°28'48" W, TO THE NORTHEASTERLY RIGHT OF WAY LINE OF THE 100' IN WIDTH GULF OF MEXICO DRIVE; THENCE N 32°56'54" W, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE 366.70' TO THE NORTHWESTERLY LINE OF LOT 3, BLOCK 8, REVISED PLAT OF BLOCKS 1, 2, 3, 5, 10, 11, 12, 14, 15 & 16, LONGBOAT SHORES, PLAT BOOK 3, PAGE 49, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N 56°58'01" E, ALONG SAID NORTHWESTERLY LINE OF LOT 3, WHICH LINE PASSES ALONG THE SOUTHEASTERLY WALL OF THE EXISTING MASONRY BUILDING SITUATE ON LOT 4 OF SAID SUBDIVISION, 152.80' TO THE NORTHERLY CORNER OF SAID LOT 3, LYING ON THE SOUTHWESTERLY LINE OF SAID BUTTONWOOD HARBOUR SECTION NO. 2; THENCE S 32°56'54" E ALONG SAID SOUTHWESTERLY LINE OF BUTTONWOOD HARBOUR SECTION NO. 2, 148.42' TO A 4" X 4" CONCRETE MONUMENT ON THE CORNER OF SAID SUBDIVISION; THENCE CONTINUE S 32°56'54" E ALONG THE BOUNDARY COMMON TO THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 787, ET SEQ., AND THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 789, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, 4.08'; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 51°39'15" E, 157.39' TO A 4" X 4" CONCRETE MONUMENT AT THE CORNER OF BUTTONWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 75°14'25" E, 5.18' TO THE WESTERLY CORNER OF THE PRIVATE ROAD RIGHT OF WAY KNOWN AS WINSLOW PLACE; THENCE N 29°47'09" E ALONG THE SOUTHEASTERLY LINE OF THE BUFFER ZONE AND THE SOUTHEASTERLY LINE OF LOT 6 AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD PLACE SECTION NO. 2, 10.35'; THENCE S 75°14'32" E, ALONG THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, 150.82'; THENCE S 0°11'45" E, ALONG THE CENTERLINE OF SAID WINSLOW PLACE, 167.45' TO THE POINT OF BEGINNING.

LESS THEREFROM ANY PORTIONS OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 893, PAGE 789 LYING WITHIN THE ABOVE DESCRIBED PARCEL

### Legal Description

For

### Brista Homes

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



**Shroyer Drapala  
Engineering, LLC**

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Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)



# Dry Retention Water Quality Treatment Calculations



 <b>Shroyer Drapala Engineering, LLC</b>		<b>Post Design Dry Treatment Volume</b>	
<b>Project Name:</b>	Brista Homes Plaza	<b>Project #:</b>	23600.00
<b>Project Address:</b>	3150 Gulf of Mexico Drive, Longboat Key	<b>Parcel ID:</b>	
<b>Description:</b>	Proposed required Water Quality Treatment Volume		

Basin Area = 1.38 AC.    Treat Depth = 0.5 In.    Total Treatment Volume Required = 2505 CF    0.058 Ac-Ft

<b>Post Dry Retention Treatment Volume</b>	
--	--

Retention Area			
	Area	Elev	Slope
Top Elevation	0.1050	3.50	3.0
DHW Elev. (25 Yr)	0.0870	3.00	3.0
Water Quality Elev.	0.0740	2.60	3.0
Bottom Elev.	0.0360	1.50	3.0

Treatment Volume Provided : 0.061 Ac-Ft    2635 CF    Sufficient Treatment



# Post Development ICPR 4 Stormwater Calculations

(Determines Max Stage In Dry Retention)



## Simple Basin: Post Basin 1

Scenario: POST  
 Node: Dry Retention  
 Hydrograph Method: NRCS Unit Hydrograph  
 Infiltration Method: Curve Number  
 Time of Concentration: 10.0000 min  
 Max Allowable Q: 999999.00 cfs  
 Time Shift: 0.0000 hr  
 Unit Hydrograph: Uh256  
 Peaking Factor: 256.0  
 Area: 1.3800 ac  
 Curve Number: 92.0  
 % Impervious: 0.00  
 % DCIA: 0.00  
 % Direct: 0.00  
 Rainfall Name: Flmod

Comment:

## Node: Dry Retention

Scenario: POST  
 Type: Stage/Area  
 Base Flow: 0.00 cfs  
 Initial Stage: 1.50 ft  
 Warning Stage: 3.00 ft

Stage [ft]	Area [ac]	Area [ft2]
1.50	0.0360	1568
2.60	0.0740	3223
3.00	0.0870	3790
3.50	0.1050	4574

## External Hydrograph

Comment:

## Node: Post-BC

Scenario: POST  
 Type: Time/Stage  
 Base Flow: 0.00 cfs  
 Initial Stage: 0.25 ft  
 Warning Stage: 2.50 ft  
 Boundary Stage:



Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	0.25
0	0	0	12.0000	1.80
0	0	0	24.0000	0.25

Comment:

Node: groundwater

Scenario: POST  
 Type: Time/Stage  
 Base Flow: 0.00 cfs  
 Initial Stage: 0.50 ft  
 Warning Stage: 1.50 ft  
 Boundary Stage:

Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	0.50
0	0	0	999.0000	0.50

Comment:

Drop Structure Link: 24" RCP		Upstream Pipe	Downstream Pipe
Scenario:	POST	Invert: -1.00 ft	Invert: -1.26 ft
From Node:	Dry Retention	Manning's N: 0.0120	Manning's N: 0.0120
To Node:	Post-BC	Geometry: Circular	Geometry: Circular
Link Count:	1	Max Depth: 2.00 ft	Max Depth: 2.00 ft
Flow Direction:	Both	Bottom Clip	
Solution:	Combine	Default: 0.00 ft	Default: 0.00 ft
Increments:	0	Op Table:	Op Table:
Pipe Count:	1	Ref Node:	Ref Node:
Damping:	0.0000 ft	Manning's N: 0.0000	Manning's N: 0.0000
Length:	738.00 ft	Top Clip	
FHWA Code:	0	Default: 0.00 ft	Default: 0.00 ft
Entr Loss Coef:	0.00	Op Table:	Op Table:
Exit Loss Coef:	0.00	Ref Node:	Ref Node:
Bend Loss Coef:	0.00	Manning's N: 0.0000	Manning's N: 0.0000
Bend Location:	0.00 dec		
Energy Switch:	Energy		

Pipe Comment:

Weir Component	
Weir: 1	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:



Damping: 0.0000 ft  
 Weir Type: Horizontal  
 Geometry Type: Rectangular  
 Invert: 2.60 ft  
 Control Elevation: 1.50 ft  
 Max Depth: 3.08 ft  
 Max Width: 2.00 ft  
 Fillet: 0.00 ft

Ref Node:

Top Clip

Default: 0.00 ft

Op Table:

Ref Node:

Discharge Coefficients

Weir Default: 3.200

Weir Table:

Orifice Default: 0.600

Orifice Table:

Weir Comment:

Drop Structure Comment:

## Link Min/Max Conditions [POST]

Link Name	Sim Name	Max Flow [cfs]	Min Flow [cfs]	Min/Max Delta Flow [cfs]	Max Us Velocity [fps]	Max Ds Velocity [fps]	Max Avg Velocity [fps]
24" RCP - Pipe	SIM100_POS T	7.05	0.00	-0.04	0.00	0.00	0.00
24" RCP - Weir: 1	SIM100_POS T	7.05	0.00	-0.03	1.92	1.92	1.92
24" RCP - Pipe	SIM10_POST	4.52	0.00	-0.03	0.00	0.00	0.00
24" RCP - Weir: 1	SIM10_POST	4.52	0.00	-0.02	1.66	1.66	1.66
24" RCP - Pipe	SIM25_POST	5.37	0.00	-0.04	0.00	0.00	0.00
24" RCP - Weir: 1	SIM25_POST	5.37	0.00	-0.03	1.76	1.76	1.76

## Percolation Link: PERC

Scenario: POST  
 From Node: Dry Retention  
 To Node: groundwater  
 Link Count: 1  
 Flow Direction: Both  
 Aquifer Base Elevation: -6.00 ft  
 Water Table Elevation: 0.50 ft  
 Annual Recharge Rate: 0 ipy  
 Horizontal Conductivity: 30.300 fpd  
 Vertical Conductivity: 13.730 fpd  
 Fillable Porosity: 0.400  
 Layer Thickness: 0.00 ft

Surface Area Option: User Specified  
 Bottom Elevation: 1.50 ft  
 Surface Area: 0.0360 ac  
 Vertical Flow Termination: Constant Rate  
 Constant Rate: 13.730 fpd



Comment:

## Link Min/Max Conditions [POST]

Link Name	Sim Name	Max Flow [cfs]	Min Flow [cfs]	Min/Max Delta Flow [cfs]	Max Us Velocity [fps]	Max Ds Velocity [fps]	Max Avg Velocity [fps]
PERC	SIM100_POST	0.25	0.00	0.00	0.00	0.00	0.00
PERC	SIM10_POST	0.25	0.00	-0.08	0.00	0.00	0.00
PERC	SIM25_POST	0.25	0.00	0.00	0.00	0.00	0.00

## Simulation: Percolation 100 Yr-72 Hr

Scenario: POST

Run Date/Time: 1/6/2022 12:30:40 PM

Program Version: ICPR4 4.07.04

## General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		30.0000

## Output Time Increments

## Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	15.0000
0	0	0	15.0000	60.0000

## Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	15.0000
0	0	0	15.0000	60.0000

## Restart File



Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: Icp3

Unit Hydrograph Icp3  
Folder:

## Lookup Tables

Boundary Stage Set:

Extern Hydrograph Set:

Curve Number Set:

Green-Ampt Set:

Vertical Layers Set:

Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR

Max Iterations: 6

Over-Relax Weight 0.5 dec

Fact:

dZ Tolerance: 0.0010 ft

Max dZ: 1.0000 ft

Link Optimizer Tol: 0.0001 ft

Edge Length Option: Automatic

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:

Rainfall Name: Flmod

Rainfall Amount: 11.25 in

Storm Duration: 24.0000 hr

Dflt Damping (1D): 0.0050 ft

Min Node Srf Area 43560 ft2

(1D):

Energy Switch (1D): Energy

Comment: The Met 100 YR - 72 HR Recovery

## Simulation: Percolation 25 Yr-36 Hr

Scenario: POST

Run Date/Time: 1/6/2022 12:31:08 PM

Program Version: ICPR4 4.07.04

## General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	36.0000



	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		60.0000

## Output Time Increments

## Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	30.0000
0	0	0	15.0000	60.0000

## Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	30.0000
0	0	0	15.0000	60.0000

## Restart File

Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: ICPR3

Unit Hydrograph  
Folder: ICPR3

## Lookup Tables

Boundary Stage Set:  
Extern Hydrograph Set:  
Curve Number Set:Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ftMax dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft

Edge Length Option: Automatic

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:Rainfall Name: Flmod  
Rainfall Amount: 7.25 in  
Storm Duration: 24.0000 hrDflt Damping (1D): 0.0050 ft  
Min Node Srf Area 113 ft2



(1D):  
Energy Switch (1D): Energy

Comment: The Met 25 YR - 72 HR Recovery

Simulation: Percolation 25 Yr-72 hr

Scenario: POST  
Run Date/Time: 1/6/2022 12:31:32 PM  
Program Version: ICPR4 4.07.04

#### General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		30.0000

#### Output Time Increments

##### Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	15.0000
0	0	0	15.0000	60.0000

##### Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	5.0000
0	0	0	11.0000	15.0000
0	0	0	15.0000	60.0000

##### Restart File

Save Restart: False

#### Resources & Lookup Tables

##### Resources

Rainfall Folder: Icp3

##### Lookup Tables

Boundary Stage Set:



Unit Hydrograph Icp3  
Folder:

Extern Hydrograph Set:  
Curve Number Set:

Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:

#### Tolerances & Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ft  
  
Max dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft  
  
Edge Length Option: Automatic

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:

Rainfall Name: Flmod  
Rainfall Amount: 8.00 in  
Storm Duration: 24.0000 hr

Dflt Damping (1D): 0.0050 ft  
Min Node Srf Area 43560 ft2  
(1D):  
Energy Switch (1D): Energy

Comment: The Met 25 YR - 72 HR Recovery

#### Simulation: SIM100\_POST

Scenario: POST  
Run Date/Time: 1/6/2022 12:41:56 PM  
Program Version: ICP4 4.07.04

#### General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		60.0000

#### Output Time Increments



## Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Restart File

Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: ICPR3

Unit Hydrograph ICPR3  
Folder:

## Lookup Tables

Boundary Stage Set: 100 yr- 24 hr

Extern Hydrograph Set:

Curve Number Set: 92

Green-Ampt Set:

Vertical Layers Set:

Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR

Max Iterations: 6

Over-Relax Weight 0.5 dec

Fact:

dZ Tolerance: 0.0010 ft

Max dZ: 1.0000 ft

Link Optimizer Tol: 0.0001 ft

Edge Length Option: Automatic

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:

Rainfall Name: Flmod

Rainfall Amount: 9.25 in

Storm Duration: 24.0000 hr

Dflt Damping (1D): 0.0050 ft

Min Node Srf Area 113 ft2

(1D):

Energy Switch (1D): Energy

Comment: The Met 100 YR - 24 HR STORM



## Simulation: SIM10\_POST

Scenario: POST  
 Run Date/Time: 1/6/2022 12:32:03 PM  
 Program Version: ICPR4 4.07.04

## General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		60.0000

## Output Time Increments

## Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Restart File

Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: ICPR3

Unit Hydrograph Folder: ICPR3

## Lookup Tables

Boundary Stage Set:

Extern Hydrograph Set:

Curve Number Set:

Green-Ampt Set:

Vertical Layers Set:

Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR

IA Recovery Time: 24.0000 hr



Max Iterations: 6  
 Over-Relax Weight: 0.5 dec  
 Fact:  
 dZ Tolerance: 0.0010 ft  
 Max dZ: 1.0000 ft  
 Link Optimizer Tol: 0.0001 ft  
 Edge Length Option: Automatic

Smp/Man Basin Rain Global  
 Opt:  
 Rainfall Name: Flmod  
 Rainfall Amount: 6.25 in  
 Storm Duration: 24.0000 hr  
 Dflt Damping (1D): 0.0050 ft  
 Min Node Srf Area 113 ft2  
 (1D):  
 Energy Switch (1D): Energy

Comment: The Met 10 YR - 24 HR STORM

#### Simulation: SIM2.33\_POST

Scenario: POST  
 Run Date/Time: 1/6/2022 12:32:13 PM  
 Program Version: ICPR4 4.07.04

#### General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		60.0000

#### Output Time Increments

##### Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

##### Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000



Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

Restart File

Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: ICPR3

Unit Hydrograph ICPR3  
Folder:

## Lookup Tables

Boundary Stage Set:

Extern Hydrograph Set:

Curve Number Set:

Green-Ampt Set:

Vertical Layers Set:

Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR

Max Iterations: 6

Over-Relax Weight 0.5 dec

Fact:

dZ Tolerance: 0.0010 ft

Max dZ: 1.0000 ft

Link Optimizer Tol: 0.0001 ft

Edge Length Option: Automatic

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:

Rainfall Name: Flmod

Rainfall Amount: 4.25 in

Storm Duration: 24.0000 hr

Dflt Damping (1D): 0.0050 ft

Min Node Srf Area 113 ft2

(1D):

Energy Switch (1D): Energy

Comment: The Met 2.33 YR - 24 HR STORM

Simulation: SIM25\_POST

Scenario: POST

Run Date/Time: 1/6/2022 12:32:26 PM

Program Version: ICPR4 4.07.04

## General

Run Mode: Normal



	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000

	Hydrology [sec]	Surface Hydraulics [sec]
Min Calculation Time:	60.0000	0.1000
Max Calculation Time:		60.0000

## Output Time Increments

## Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	30.0000
0	0	0	11.0000	5.0000
0	0	0	15.0000	60.0000

## Restart File

Save Restart: False

## Resources &amp; Lookup Tables

## Resources

Rainfall Folder: ICPR3

Unit Hydrograph  
Folder: ICPR3

## Lookup Tables

Boundary Stage Set:  
Extern Hydrograph Set:  
Curve Number Set: 92Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:

## Tolerances &amp; Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight: 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ft  
Max dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft

IA Recovery Time: 24.0000 hr

Smp/Man Basin Rain Global  
Opt:

Rainfall Name: Flmod



Edge Length Option: Automatic

Rainfall Amount: 8.00 in

Storm Duration: 24.0000 hr

Dflt Damping (1D): 0.0050 ft

Min Node Srf Area 113 ft2

(1D):

Energy Switch (1D): Energy

Comment: The Met 25 YR - 24 HR STORM



# Post Development Node Maximum Conditions



## Node Max Conditions [POST]

Node Name	Sim Name	Warning Stage [ft]	Max Stage [ft]	Min/Max Delta Stage [ft]	Max Total Inflow [cfs]	Max Total Outflow [cfs]	Max Surface Area [ft2]
Dry Retention	SIM100_POS T	3.00	2.96	0.0010	7.43	7.30	3735
Post-BC	SIM100_POS T	2.50	1.80	0.0022	7.05	0.00	0
groundwater	SIM100_POS T	1.50	0.50	0.0000	0.25	0.00	0
Dry Retention	SIM10_POST	3.00	2.87	-0.0010	4.88	4.77	3603
Post-BC	SIM10_POST	2.50	1.80	0.0022	4.52	0.00	0
groundwater	SIM10_POST	1.50	0.50	0.0000	0.25	0.00	0
Dry Retention	SIM25_POST	3.00	2.90	0.0010	5.73	5.62	3650
Post-BC	SIM25_POST	2.50	1.80	0.0022	5.37	0.00	0
groundwater	SIM25_POST	1.50	0.50	0.0000	0.25	0.00	0



#### LEGAL DESCRIPTION:

COMMENCE AT THE 4" X 4" CONCRETE PERMANENT REFERENCE MONUMENT OF LAND SURVEYOR #1195 LOCATED AT THE SOUTHEAST CORNER OF U.S. GOVERNMENT LOT 1, SECTION 7, T36S-R17E, LONGBOAT KEY, SARASOTA COUNTY, FLORIDA; THENCE N 0°11'45" W, 191.82'; THENCE S 89°48'15" W, 815.36' TO THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE AND THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD HARBOUR SECTION NO. 2, O.R. BOOK 302, PAGE 51, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE CONTINUE S 89°48'15" W, ALONG THE NORTH RIGHT OF WAY LINE OF SAID BUTTONWOOD DRIVE, 10.00' TO A 4" X 4" CONCRETE MONUMENT ON THE WEST RIGHT OF WAY LINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG A NONTANGENT CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE 11°44'07", ARC LENGTH 247.48', CHORD LENGTH 247.05', CHORD BEARING N 84°13'08" W, TO A 4" X 4" CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF SAID BUTTONWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG SAID CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE OF 1°44'25", ARC LENGTH 36.70', CHORD LENGTH 36.70', CHORD BEARING N 77°28'48" W, TO THE NORTHEASTERLY RIGHT OF WAY LINE OF THE 100' IN WIDTH GULF OF MEXICO DRIVE; THENCE N 32°56'54" W, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE 366.70' TO THE NORTHWESTERLY LINE OF LOT 3, BLOCK 8, REVISED PLAT OF BLOCKS 1, 2, 3, 5, 10, 11, 12, 14, 15 & 16, LONGBOAT SHORES, PLAT BOOK 3, PAGE 49, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N 56°58'01" E, ALONG SAID NORTHWESTERLY LINE OF LOT 3, WHICH LINE PASSES ALONG THE SOUTHEASTERLY WALL OF THE EXISTING MASONRY BUILDING SITUATE ON LOT 4 OF SAID SUBDIVISION, 152.80' TO THE NORTHERLY CORNER OF SAID LOT 3, LYING ON THE SOUTHWESTERLY LINE OF SAID BUTTONWOOD HARBOUR SECTION NO. 2; THENCE S 32°56'54" E ALONG SAID SOUTHWESTERLY LINE OF BUTTONWOOD HARBOUR SECTION NO. 2, 148.42' TO A 4" X 4" CONCRETE MONUMENT ON THE CORNER OF SAID SUBDIVISION; THENCE CONTINUE S 32°56'54" E ALONG THE BOUNDARY COMMON TO THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 787, ET SEQ., AND THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 789, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, 4.08'; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 51°39'15" E, 157.39' TO A 4" X 4" CONCRETE MONUMENT AT THE CORNER OF BUTTONWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 75°14'25" E, 5.18' TO THE WESTERLY CORNER OF THE PRIVATE ROAD RIGHT OF WAY KNOWN AS WINSLOW PLACE; THENCE N 29°47'09" E ALONG THE SOUTHEASTERLY LINE OF THE BUFFER ZONE AND THE SOUTHEASTERLY LINE OF LOT 6 AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD PLACE SECTION NO. 2, 10.35'; THENCE S 75°14'32" E, ALONG THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, 150.82'; THENCE S 0°11'45" E, ALONG THE CENTERLINE OF SAID WINSLOW PLACE, 167.45' TO THE POINT OF BEGINNING.

LESS THEREFROM ANY PORTIONS OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 893, PAGE 789 LYING WITHIN THE ABOVE DESCRIBED PARCEL

### Legal Description

For

### Brista Homes

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



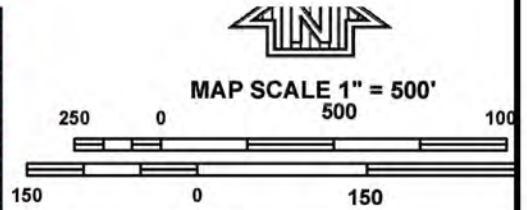
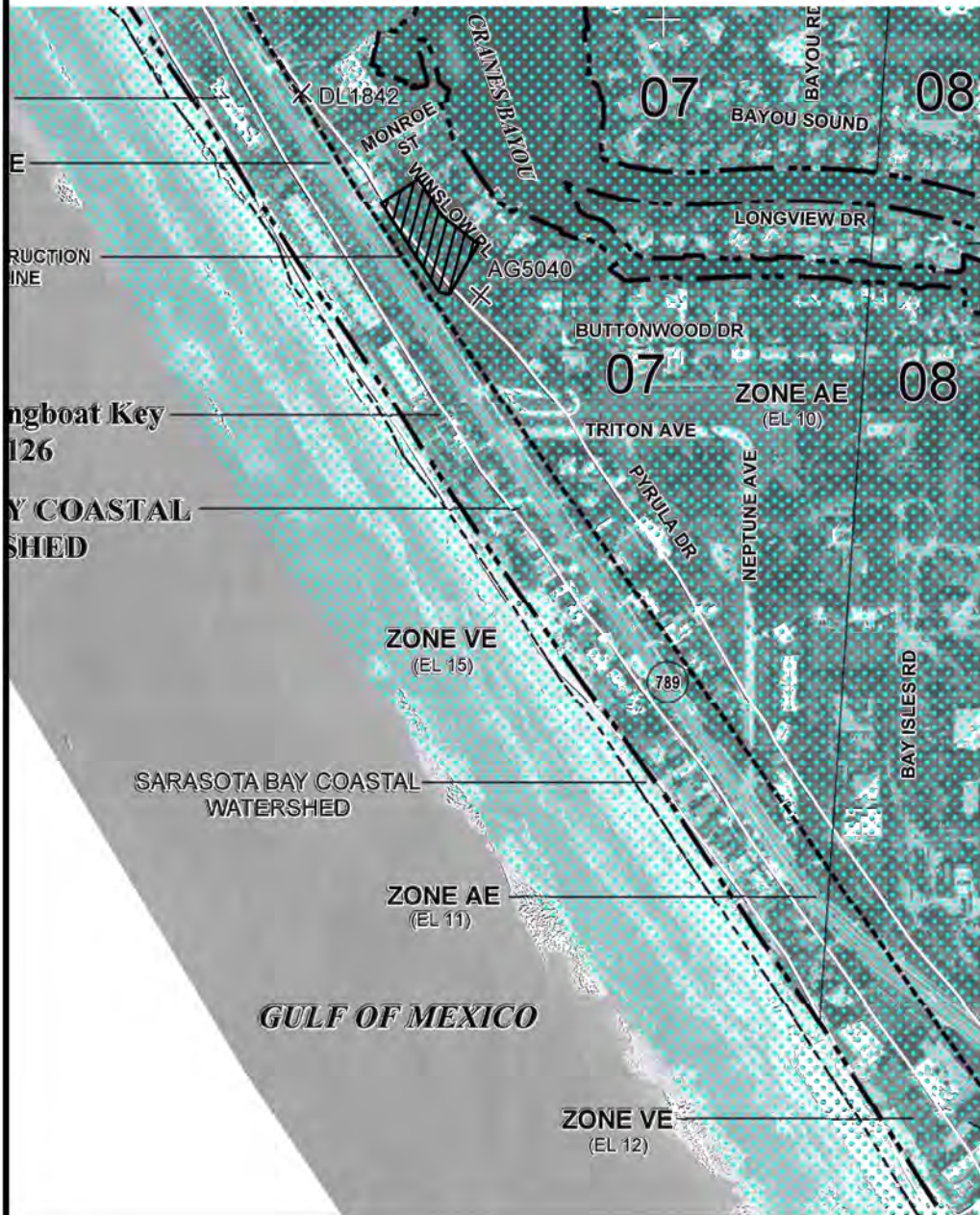
**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282  
Bradenton, FL 34206

1111 3rd Ave. W., Suite 210  
Bradenton, FL 34205

E-Mail: [Info@ShroyerDrapala.com](mailto:Info@ShroyerDrapala.com)  
Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)





**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0107F

## FIRM

**FLOOD INSURANCE RATE MAP  
SARASOTA COUNTY,  
FLORIDA  
AND INCORPORATED AREAS**

**PANEL 107 OF 475**

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
LONGBOAT KEY, TOWN OF	125126	0107	F

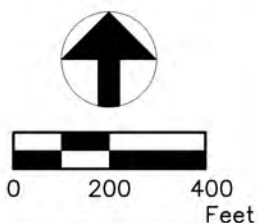
Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



**MAP NUMBER  
12115C0107F  
EFFECTIVE DATE  
NOVEMBER 4, 2016**

Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created the MSC FIRMette Web tool. This map does not reflect changes or amendments which have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Page available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



## Figure 4 - Fema FIRM Map For Brista Homes Plaza

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



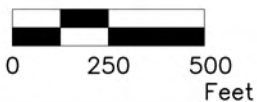
**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282  
Bradenton, FL 34206

1111 3rd Ave. W., Suite 210  
Bradenton, FL 34205

E-Mail: [Info@ShroyerDrapala.com](mailto:Info@ShroyerDrapala.com)  
Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)





**Figure 2 - Site Aerial**  
For  
**Brista Homes Plaza**

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



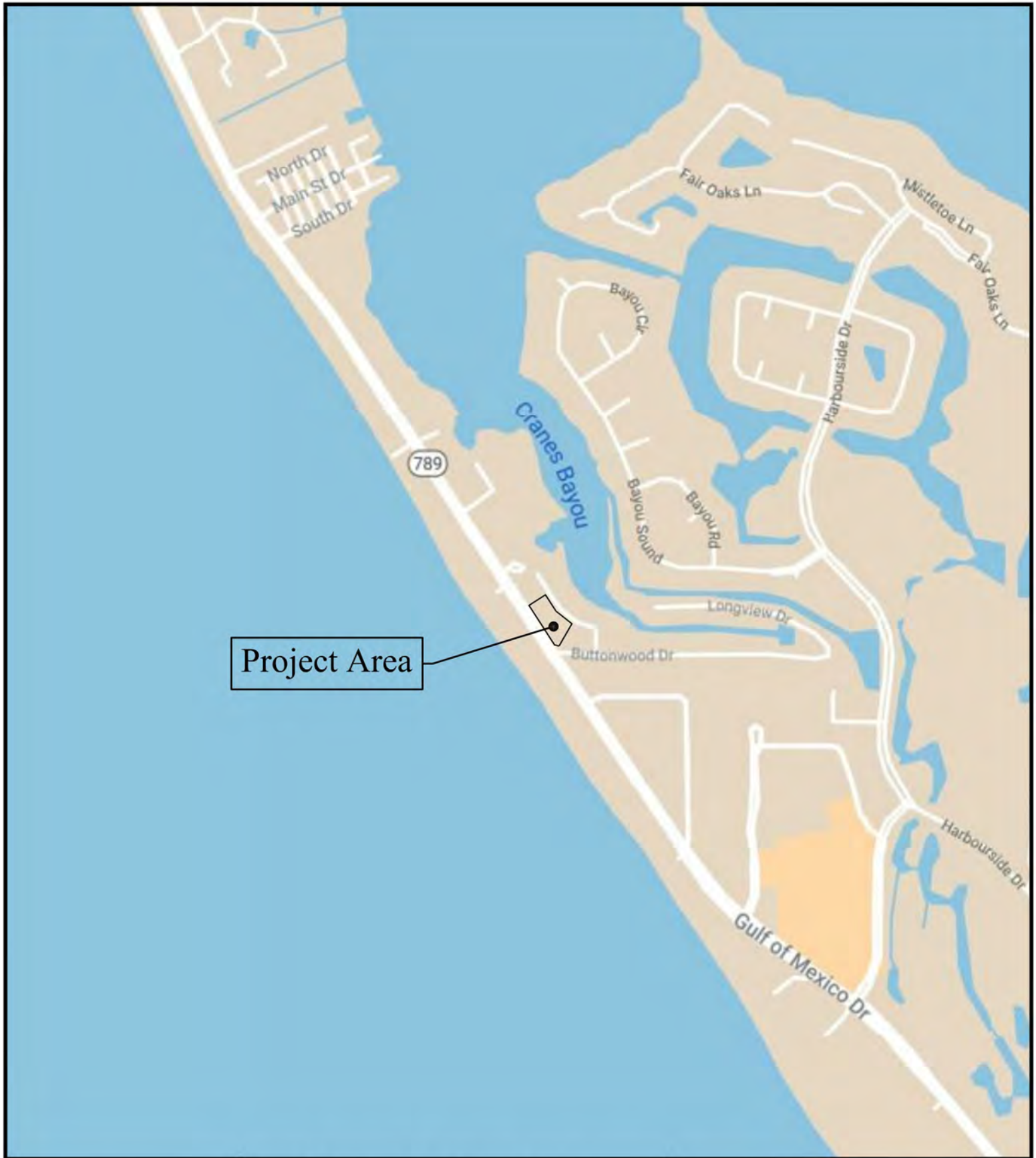
**Shroyer Drapala  
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Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)

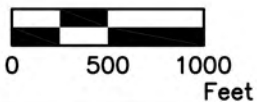




Project Area

**Figure 1 - Vicinity Map**  
For  
**Brist Homes Plaza**

Section 12, Township 34 South, Range 17 East  
Manatee County, Florida



**Shroyer Drapala  
Engineering, LLC**

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Website: [ShroyerDrapala.com](http://ShroyerDrapala.com)



January 06, 2022

Mr. Jason Coates  
Shroyer Drapala Engineering, LLC  
1111 3rd Avenue W., Suite 210  
Bradenton, FL 34205

RE: Buttonwood Drive Mixed Use – Town of Longboat Key

Dear Mr. Coates:

Your client proposes to develop a property on Gulf of Mexico Drive that is currently zoned C-1. The proposed project is located east of Gulf of Mexico Drive and north of Buttonwood Drive in the Town of Longboat Key, Sarasota County. The proposed project will consist of a mix of commercial and office land uses to be built on the property. Based on data contained in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11<sup>th</sup> Edition the project could attract 1,079 average daily, 95 AM peak hour and 111 PM peak hour trip ends.

A generalized link analysis was conducted for those roadways within the area of influence for the project:

- Gulf of Mexico Drive from County Line to New Pass Bridge

Table 2 presents the results of the analysis for the link analysis. According to results shown in the table, there is currently excess capacity Gulf of Mexico Driveway. With the project traffic added to the existing traffic, it is estimated that Gulf of Mexico Driveway, within the vicinity of the project, should continue to operate at an acceptable level of service.

Sincerely,

PALM TRAFFIC



Michael Yates

Principal



TABLE 1

## ESTIMATED PROJECT TRIP ENDS

<u>Land Use</u>	ITE <u>LUC</u>	<u>Size</u>	Daily <u>Trip Ends (1)</u>	AM Peak Hour <u>Trip Ends (1)</u>			PM Peak Hour <u>Trip Ends (1)</u>		
				<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Medical Office	720	3,500 SF	126	9	3	12	3	8	11
Restaurant	933	1,500 SF	676	38	27	65	25	25	50
Office	712	5,874 SF	84	8	2	10	4	9	13
Retail	822	3,535 SF	<u>193</u>	<u>5</u>	<u>3</u>	<u>8</u>	<u>19</u>	<u>18</u>	<u>37</u>
Total			1,079	60	35	95	51	60	111

(1) Source: ITE Trip Generation, 11th Edition, 2021.



TABLE 2

## GENERALIZED LINK ANALYSIS

<u>Roadway</u>	<u>From</u>	<u>To</u>	LOS	<u>Lanes</u>	<u>Peak Hour Capacity (1)</u>	<u>Existing Traffic (1)</u>	<u>Project Traffic</u>	<u>Total Traffic</u>	<u>Available Capacity</u>
Gulf of Mexico Dr.	Co. Line	New Pass Brige	D	2	2,920	2,281	111	2,392	528

(1) Source: Sarasota County 2019 Generalized Level of Service Analysis.



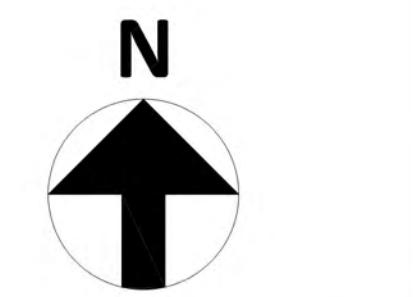
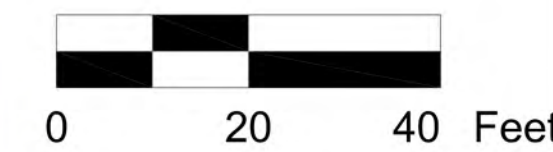
## **APPENDIX**



**APPENDIX**  
CONCEPTUAL SITE PLAN



Submitted For:



Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
1" = 20'	8/23/21	

Conceptual Site Exhibit  
For  
Brista Homes  
Section 7, Township 36 S, Range 17 E  
Sarasota County, Florida

EXHIBIT 3

SITE ACREAGE:	1.38 AC.±
PROPOSED BUILDING AREA:	14,408 SF
MAXIMUM FLOOR AREA RATIO:	0.30
PROPOSED FLOOR AREA RATIO:	14,408/60,112 = 0.24
EXISTING ZONING:	C-1 (LIMITED COMMERCIAL)
FUTURE LAND USE:	CL
OPEN SPACE REQUIRED:	0.276 AC. (20%)
OPEN SPACE PROVIDED:	0.39 AC. (.28%)
MAX. BLDG. HEIGHT:	30 FT
FLOOD ZONE:	*AE10 & AE11 12115C 0107 F, DATED NOVEMBER 04, 2016

Parking Data	
GENERAL PARKING REQUIRED:	14,408/300 = 49 SPA. (4 ADA)
IF 4 DIFFERENT USES:	14,408/400 = 37 SPA. (3 ADA)
PROPOSED PARKING:	44 SPA. (4 ADA)
OFFICE = 300 SF, MEDICAL & DENTAL = 200 SF, RESTAURANTS = 100 SF	

Setbacks/Buffer Requirements	
SETBACKS:	
FRONT	20'
SIDE	15'
REAR	20'
PERIMETER BUFFER:	10'
MIN. ROADWAY BUFFER OPEN SPACE:	400.25' x 20' = 8,005 SF x 0.70 = 5,603 SF
ROADWAY BUFFER OPEN SPACE PROVIDED:	5,665 SF (71%)

Basin Summary	
Total Basin Area	1.38 Acre
Impervious Area	
Building	0.33 Acre
Exist Pavement	0.58 Acre
Exist Conc & Swk	0.08 Acre
Total Existing	0.99 Acre
Total Imperv. = 0.99 Ac (71.74%)	

Basin Area = 1.38 AC.		Total Treatment Volume Required = 2505 CF	
Post Dry Retention Treatment Volume			
Retention Area 1			
	Area	Elev	Slope
Top of Bank	0.1050	3.50	3.0
DHW Elev. (25 Yr)	0.0870	3.30	3.0
Water Quality Elev.	0.0740	2.60	3.0
Bottom Elev.	0.0360	1.50	3.0
Treatment Volume Provided with SWF:			
	0.061 Ac-Ft	2635 CF	Sufficient Treatment
Volume at DHW:	0.061 Ac-Ft	4018 CF	
Volume at TOB:	0.141 Ac-Ft	6142 CF	



# **APPENDIX**

## TRIP GENERATION



## PERIOD SETTING

Analysis Name :	Daily		
Project Name :	Buttonwood Mixed Use	No :	
Date:	1/4/2022	City:	
State/Province:		Zip/Postal Code:	
Country:		Client Name:	
Analyst's Name:		Edition:	Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday	Average 36	63 50%	63 50%	126
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday	Average 450.49	338 50%	338 50%	676
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday	Average 14.39	42 50%	42 50%	84
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54 <sup>(0)</sup>	Weekday	Average 54.45	97 <sup>(1)</sup> 50%	96 <sup>(1)</sup> 50%	193 <sup>(1)</sup>

<sup>(0)</sup> indicates size out of range.

<sup>(1)</sup> indicates small sample size, use carefully.

## TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	63	0 %	63
933 - Fast-Food Restaurant without Drive-Through Window	0 %	338	0 %	338
712 - Small Office Building	0 %	42	0 %	42
822 - Strip Retail Plaza (&lt;40k)	0 %	97	0 %	96

## INTERNAL TRIPS

720 - Medical-Dental Office Building				933 - Fast-Food Restaurant without Drive-Through Window			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	338
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	338
720 - Medical-Dental Office Building				712 - Small Office Building			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	42
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	42
720 - Medical-Dental Office Building				822 - Strip Retail Plaza (&lt;40k)			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	97
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	96
933 - Fast-Food Restaurant without Drive-Through Window				712 - Small Office Building			
Exit	338	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	42
Entry	338	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	42



**933 - Fast-Food Restaurant without Drive-Through Window**
**822 - Strip Retail Plaza (&lt;40k)**

Exit	338	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	97
Entry	338	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	96

**712 - Small Office Building**
**822 - Strip Retail Plaza (&lt;40k)**

Exit	42	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	97
Entry	42	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	96

**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	63 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	63 (100%)
Exit	63 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	63 (100%)
Total	126 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	126 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	338 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	338 (100%)
Exit	338 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	338 (100%)
Total	676 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	676 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	42 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	42 (100%)
Exit	42 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	42 (100%)
Total	84 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	84 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
Entry	97 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	97 (100%)
Exit	96 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	96 (100%)
Total	193 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	193 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	126	0	0	126
933 - Fast-Food Restaurant without Drive-Through Window	676	0	0	676
712 - Small Office Building	84	0	0	84
822 - Strip Retail Plaza (&lt;40k)	193	0	0	193

**ITE DEVIATION DETAILS**



**Weekday**

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

**SUMMARY**

Total Entering	540
Total Exiting	539
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	540
Total Exiting Non-Pass-by Trips	539



## PERIOD SETTING

Analysis Name :	AM Peak Hour		
Project Name :	Buttonwood Mixed Use	No :	
Date:	1/4/2022	City:	
State/Province:		Zip/Postal Code:	
Country:		Client Name:	
Analyst's Name:		Edition:	Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LOG) $\ln(T) = 0.9\ln(X) + 1.34$	9 75%	3 25%	12
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 43.18	38 <sup>(1)</sup> 58%	27 <sup>(1)</sup> 42%	65 <sup>(1)</sup>
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 1.67	8 60%	2 20%	10
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54 <sup>(0)</sup>	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 2.36	5 <sup>(1)</sup> 62%	3 <sup>(1)</sup> 38%	8 <sup>(1)</sup>

(0) indicates size out of range.

(1) indicates small sample size, use carefully.

## TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	9	0 %	3
933 - Fast-Food Restaurant without Drive-Through Window	0 %	38	0 %	27
712 - Small Office Building	0 %	8	0 %	2
822 - Strip Retail Plaza (&lt;40k)	0 %	5	0 %	3

## INTERNAL TRIPS

720 - Medical-Dental Office Building				933 - Fast-Food Restaurant without Drive-Through Window			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	38	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	27	
720 - Medical-Dental Office Building				712 - Small Office Building			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	8	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	2	
720 - Medical-Dental Office Building				822 - Strip Retail Plaza (&lt;40k)			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	5	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	3	



**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	27	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	8
Entry	38	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	2

**712 - Small Office Building**
**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	27	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	5
Entry	38	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	3

**822 - Strip Retail Plaza (&lt;40k)**
**712 - Small Office Building**

Exit	2	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	5
Entry	8	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	3

**822 - Strip Retail Plaza (&lt;40k)**
**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	9 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	9 (100%)
Exit	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Total	12 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	12 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	38 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	38 (100%)
Exit	27 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	27 (100%)
Total	65 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	65 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)
Exit	2 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	2 (100%)
Total	10 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	10 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
Entry	5 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	5 (100%)
Exit	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Total	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	12	0	0	12
933 - Fast-Food Restaurant without Drive-Through Window	65	0	0	65



Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
712 - Small Office Building	10	0	0	10
822 - Strip Retail Plaza (&lt;40k)	8	0	0	8

#### ITE DEVIATION DETAILS

##### Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

#### SUMMARY

Total Entering	60
Total Exiting	35
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	60
Total Exiting Non-Pass-by Trips	35



## PERIOD SETTING

Analysis Name :	PM Peak Hour		
Project Name :	Buttonwood Mixed Use	No :	
Date:	1/4/2022	City:	
State/Province:		Zip/Postal Code:	
Country:		Client Name:	
Analyst's Name:		Edition:	Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LIN) $T = 4.07 (X)^{-3.17}$	3 27%	8 73%	11
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 33.21	25 50%	25 50%	50
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 2.16	4 31%	9 69%	13
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.71\ln(X) + 2.72$	19 51%	18 49%	37

## TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	3	0 %	8
933 - Fast-Food Restaurant without Drive-Through Window	0 %	25	0 %	25
712 - Small Office Building	0 %	4	0 %	9
822 - Strip Retail Plaza (&lt;40k)	0 %	19	0 %	18

## INTERNAL TRIPS

720 - Medical-Dental Office Building				933 - Fast-Food Restaurant without Drive-Through Window			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	25
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	25
720 - Medical-Dental Office Building				712 - Small Office Building			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	4
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	9
720 - Medical-Dental Office Building				822 - Strip Retail Plaza (&lt;40k)			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	19
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	18



**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	25	Demand Exit:	0 % (0)	Balanced:	0
Entry	25	Demand Entry:	0 % (0)	Balanced:	0

**712 - Small Office Building**

Demand Entry:	0 % (0)	Entry	4
Demand Exit:	0 % (0)	Exit	9

**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	25	Demand Exit:	0 % (0)	Balanced:	0
Entry	25	Demand Entry:	0 % (0)	Balanced:	0

**822 - Strip Retail Plaza (&lt;40k)**

Demand Entry:	0 % (0)	Entry	19
Demand Exit:	0 % (0)	Exit	18

**712 - Small Office Building**

Exit	9	Demand Exit:	0 % (0)	Balanced:	0
Entry	4	Demand Entry:	0 % (0)	Balanced:	0

**822 - Strip Retail Plaza (&lt;40k)**

Demand Entry:	0 % (0)	Entry	19
Demand Exit:	0 % (0)	Exit	18

**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Exit	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)
Total	11 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	11 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	25 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	25 (100%)
Exit	25 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	25 (100%)
Total	50 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	50 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	4 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	4 (100%)
Exit	9 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	9 (100%)
Total	13 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	13 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
Entry	19 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	19 (100%)
Exit	18 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	18 (100%)
Total	37 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	37 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	11	0	0	11
933 - Fast-Food Restaurant without Drive-Through Window	50	0	0	50



Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
712 - Small Office Building	13	0	0	13
822 - Strip Retail Plaza (&lt;40k)	37	0	0	37

#### ITE DEVIATION DETAILS

##### Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

#### SUMMARY

Total Entering	51
Total Exiting	60
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	51
Total Exiting Non-Pass-by Trips	60



## **APPENDIX**

### **SARASOTA COUNTY 2019 GENERALIZED LOS ANALYSIS TABLES**



# SARASOTA COUNTY 2019 GENERALIZED LEVEL OF SERVICE ANALYSIS

ID #		Roadway Name			Road Segments			Segment Attributes					Existing Traffic Conditions						Minimum Adopted Standards		
			Roadway Name	Limits	Jurisdiction	# of Lanes	Segm Length	Analysis Length	Post Spd	Ref	Traffic Counts			Adjusted to 2019	DHW	LOS	LOS	Srv Vol			
											Date	Source	Volume						AADT	AADT	
100	Fruitville (SR 780)	Shade			FDOT/Sar	6	0.50	0.50	40	3	FDOT	Jan-19	45,500	45,500	4,095	C	D	5,390			
101	Fruitville (SR 780)	Tuttle	Lockwood Ridge		FDOT/Sar	6	0.50	0.50	45	3	FDOT	Jan-19	46,000	46,000	4,140	C	D	5,390			
102	Fruitville (SR 780)	Lockwood Ridge	Beneva		FDOT/Sar	6	0.50	0.50	45	3	FDOT	Jan-19	55,000	55,000	4,620	C	D	5,390			
103	Fruitville (SR 780)	Beneva	McIntosh		FDOT/Sar	6	1.00	1.00	45	3	FDOT	Jan-19	55,000	55,000	4,620	C	D	5,390			
104	Fruitville (SR 780)	McIntosh	Honore		FDOT	6	1.00	1.00	45	66	FDOT	Jan-19	55,000	55,000	4,620	C	D	5,660			
105	Fruitville (SR 780)	Honore	Paramount Dr		FDOT	6	0.40	0.40	45	66	FDOT	Jan-19	53,000	53,000	4,452	C	D	5,660			
105.5	Fruitville (SR 780)	Paramount Dr	Cattlemen		FDOT	6	0.30	0.30	45	66	FDOT	Jan-19	53,000	53,000	4,452	C	D	5,660			
106	Fruitville (SR 780)	Cattlemen	I-75		FDOT	6	0.35	0.35	45	66	FDOT	Jan-19	53,000	53,000	4,452	C	D	5,660			
107	Fruitville	I-75	Lakewood Ranch Blvd		County	4	0.59	0.59	45	44	SC	Feb-19	35,588	35,588	3,238	C	D	3,401			
107	Fruitville	Lakewood Ranch Blvd	East Road		County	4	0.62	0.62	45	23	SC	Feb-19	32,482	32,482	3,118	D	C	3,078			
107.3	Fruitville	East Road	Tatum		County	4	0.64	0.64	45	23	SC	Feb-19	26,997	26,997	2,646	C	C	3,078			
107.5	Fruitville	Tatum	Sarasota Center Blvd		County	4	0.61	0.61	45	44	SC	Mar-19	25,138	25,138	2,464	C	C	3,249			
107.6	Fruitville	Sarasota Center Blvd	Lorraine Rd		County	2	1.40	8.50	55	30	SC	Mar-19	16,745	16,745	1,741	F	C	1,057			
107.7	Fruitville	Lorraine Rd	Verna Road		County	2	7.10	8.50	55	30	SC	Mar-19	6,256	6,256	682	C	C	1,057			
108	Gantt Road	Proctor	Ashton		County	2	0.50	0.50	35	151	SC	Apr-19	11,079	11,079	1,208	F	D	998			
108.5	Gantt Road	Ashton	Clark		County	2	0.50	0.50	35	122	SC	Apr-19	11,883	11,883	1,295	F	D	1,197			
112	Gulf Gate Drive	U.S. 41	Gateway Ave		County	4	0.29	0.29	30	152	SC	Sep-19	9,106	9,106	993	D	D	2,044			
113	Gulf Gate Drive	Gateway	Markridge		County	2	0.58	0.58	25	126	SC	Sep-19	6,905	6,905	753	D	D	1,264			
113	Gulf Gate Drive	Markridge	Bispham		County	2	0.17	0.17	25	126	SC	Sep-19	6,905	6,905	753	D	D	1,264			
114	Gulf Gate Drive	Bispham	Curtiss		County	2	0.44	0.44	25	126	SC	Sep-19	6,999	6,999	763	D	D	1,264			
114	Gulf Gate Drive	Curtiss	Beneva		County	2	0.11	0.11	25	126	SC	Sep-19	6,999	6,999	763	D	D	1,264			
115	Gulf Mexico Dr (SR 789)	Co Line	New Pass Bridge		FDOT/LBK	2	5.35	5.35	35	102	FDOT	Jan-18	21,000	22,149	2,281	D	D	2,920			
116	Harbor Drive	Venice Ave	Beach Rd		Co/Ven	2	1.40	1.40	30	126	SC	Oct-19	3,846	3,846	427	C	D	1,264			
117	Harbor Drive	Beach Rd	South of Beach Rd		Co/Ven	2	1.70	1.70	30	130	SC	Oct-19	4,689	4,689	516	D	D	931			
1046	Hatchet Creek Boulevard	Pinebrook Rd	Jacaranda Blvd		Co/Ven	2	1.76	1.48	25	143	SC	Oct-19	3,620	3,620	402	C	D	1,264			
118	Higel Avenue (SR 758)	Siesta	Midnight Pass Rd		FDOT	2	0.85	1.85	40	9	FDOT	Jan-19	15,500	15,500	1,612	F	D	1,280			
119	Higel Ave/Treasure Boat	Midnight Pass Rd	Ocean		County	2	0.12	0.62	35	130	SC	Sep-19	1,051	1,051	117	C	D	931			
119.5	Honore Avenue	University	Desoto		County	2	0.50	0.50	40	47	SC	Feb-19	22,581	22,581	2,326	F	D	1,600			
119.5	Honore Avenue	Desoto	Longmeadow		County	2	0.54	0.50	40	47	SC	Feb-19	19,373	19,373	1,995	F	D	1,600			
119.7	Honore Avenue	Longmeadow	Taywood		County	2	1.20	1.20	30	143	SC	Feb-19	14,597	14,597	1,518	F	D	1,264			
120	Honore Avenue	Taywood	17th		County	2	0.60	0.60	30	143	SC	Feb-19	16,030	16,030	1,667	F	D	1,264			
121	Honore Avenue	17th	Richardson		County	2	0.55	0.55	35	143	SC	Feb-19	22,227	22,227	2,289	F	D	1,264			
121.5	Honore Avenue	Richardson	Fruitville		County	2	0.45	0.45	35	143	SC	Feb-19	18,818	18,818	1,938	F	D	1,264			
122	Honore Avenue	Fruitville	Antoinette		County	2	0.29	0.29	35	147	SC	Mar-19	16,656	16,656	1,732	F	D	1,330			
122	Honore Avenue	Antoinette	Sawgrass		County	2	0.09	0.48	35	147	SC	Mar-19	16,656	16,656	1,732	F	D	1,330			
122	Honore Avenue	Sawgrass	Palmer		County	2	0.39	0.48	35	126	SC	Mar-19	16,656	16,656	1,732	F	D	1,264			
122.6	Honore Avenue	Palmer	Bahia Vista		County	2	0.34	0.34	35	147	SC	Mar-19	14,682	14,682	1,527	F	D	1,330			
122.7	Honore Avenue	Bahia Vista	Colonial Oaks		County	2	0.80	0.80	30	147	SC	Mar-19	11,731	11,731	1,279	D	D	1,330			
122.7	Honore Avenue	Colonial Oaks	Webber		County	2	0.25	0.25	30	126	SC	Mar-19	11,689	11,689	1,274	E	D	1,264			
122.7	Honore Avenue	Webber	Brookmeade		County	2	0.28	0.28	30	126	SC	Mar-19	10,831	10,831	1,181	D	D	1,264			
122.7	Honore Avenue	Brookmeade	Bee Ridge		County	2	0.37	0.37	30	147	SC	Mar-19	10,831	10,831	1,181	D	D	1,330			
122.75	Honore Avenue	Bee Ridge	Wilkinson		County	2	0.50	0.50	45	26	SC	Jun-19	11,889	11,889	1,296	C	D	1,520			
122.76	Honore Avenue	Wilkinson	Proctor		County	2	0.50	0.50	40	26	SC	Jun-19	9,487	9,487	1,034	C	D	1,520			
122.8	Honore Avenue	Proctor	Ashton		County	2	0.50	0.50	30	122	SC	Jun-19	8,390	8,390	914	D	D	1,197			
122.8	Honore Avenue	Ashton	Clark		County	2	0.50	0.50	30	143	SC	Jun-19	8,422	8,422	918	D	D	1,264			
122.85	Honore Avenue	Clark	Northridge		County	4	0.25	1.55	45	44	SC	Jun-19	19,167	19,167	1,974	C	D	3,401			
122.86	Honore Avenue	Northridge	Palmer Ranch Pkwy		County	4	1.30	1.55	45	44	SC	Jun-19	18,158	18,158	1,870	C	D	3,401			
122.87	Honore Avenue	Palmer Ranch Pkwy	Central Sarasota Pkwy		County	4	1.79	1.79	45	44	SC	Jun-19	9,832	9,832	1,072	C	D	3,401			





**Town of Longboat Key  
Planning, Zoning and Building Department**

501 Bay Isles Road  
Longboat Key, Florida 34228  
941-316-1966  
941-316-1970 FAX

**VERIFIED STATEMENT AND CERTIFICATE OF OWNERSHIP**

Pursuant to Sections 158.028(C) and 158.036(C), Town of Longboat Key Town Code, I am submitting the following Verified Statement and Certificate of Ownership. This Verified Statement and Certificate of Ownership reflects each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

I hereby verify and certify that as of 7/23/21 (date), the following are all persons and/or entities having a legal ownership interest in the real property located at

Legal Address: 3120 GOLF OF MEXICO DR LONGBOAT KEY FL 34228

Property Owners and/or shareholders: (Please attach additional sheets, if necessary)

Owner 1: MARK A URSINI

Owner 2: DAVID LEIBOWITZ

Owner 3: SUSAN LEIBOWITZ

Owner 4: SARAH BAINS

**SIGNATURE OF PROPERTY OWNER(S)/AGENT**

The undersigned does hereby state, under Oath, that the foregoing information is true and correct.

Signature of Owner [Signature]

Printed/Typed Name of Owner MARK A. URSINI

**NOTARIZATION OF OWNER'S SIGNATURE**

State of Florida

County of Sarasota



The foregoing instrument was acknowledged before me by means of physical presence ☒ or online notarization ☐, this

18 day of November 2021 By Mark A. Ursini

Signature of Notary Public [Signature]

Printed/Stamped Name of Notary Public Margarita Moroz

Personally known ☒ OR produced identification ☐ Type of ID. \_\_\_\_\_



# TRANSPORTATION ANALYSIS

Buttonwood Drive Mixed Use

*Prepared for:*

Shroyer Drapala Engineering, LLC



**Palm Traffic**  
Engineering + Planning



# Transportation Analysis

## Buttonwood Drive Mixed Use

March 2022

*Prepared for:*  
Shroyer Drapala Engineering, LLC

*Prepared by:*  
Palm Traffic, LLC  
400 North Tampa Street, 15<sup>th</sup> Floor  
Tampa, FL 33602  
Ph: (813) 296-2595

Project No. T22019



Vicki L. Castro, P.E.  
P.E. No. 47128



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Sarasota Generalized Level of Service Tables  
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FDOT Seasonal Adjustment Factors  
FDOT Historical Counts  
Intersection Analysis  
Turn Lane Warrants



## INTRODUCTION

The purpose of this report is to provide the Transportation Analysis for the property located east of Gulf of Mexico Drive and north of Buttonwood Drive in the Town of Longboat Key, as shown in Figure 1.

## PROJECT DESCRIPTION

The site is currently vacant. The project proposes a mix of commercial and office land uses as follows:

- 3,500 SF Medical Office
- 1,500 SF Restaurant
- 5,874 SF Office
- 3,535 SF Retail.

The access for the project is proposed to be as follows:

- one (1) full access to Gulf of Mexico Drive.

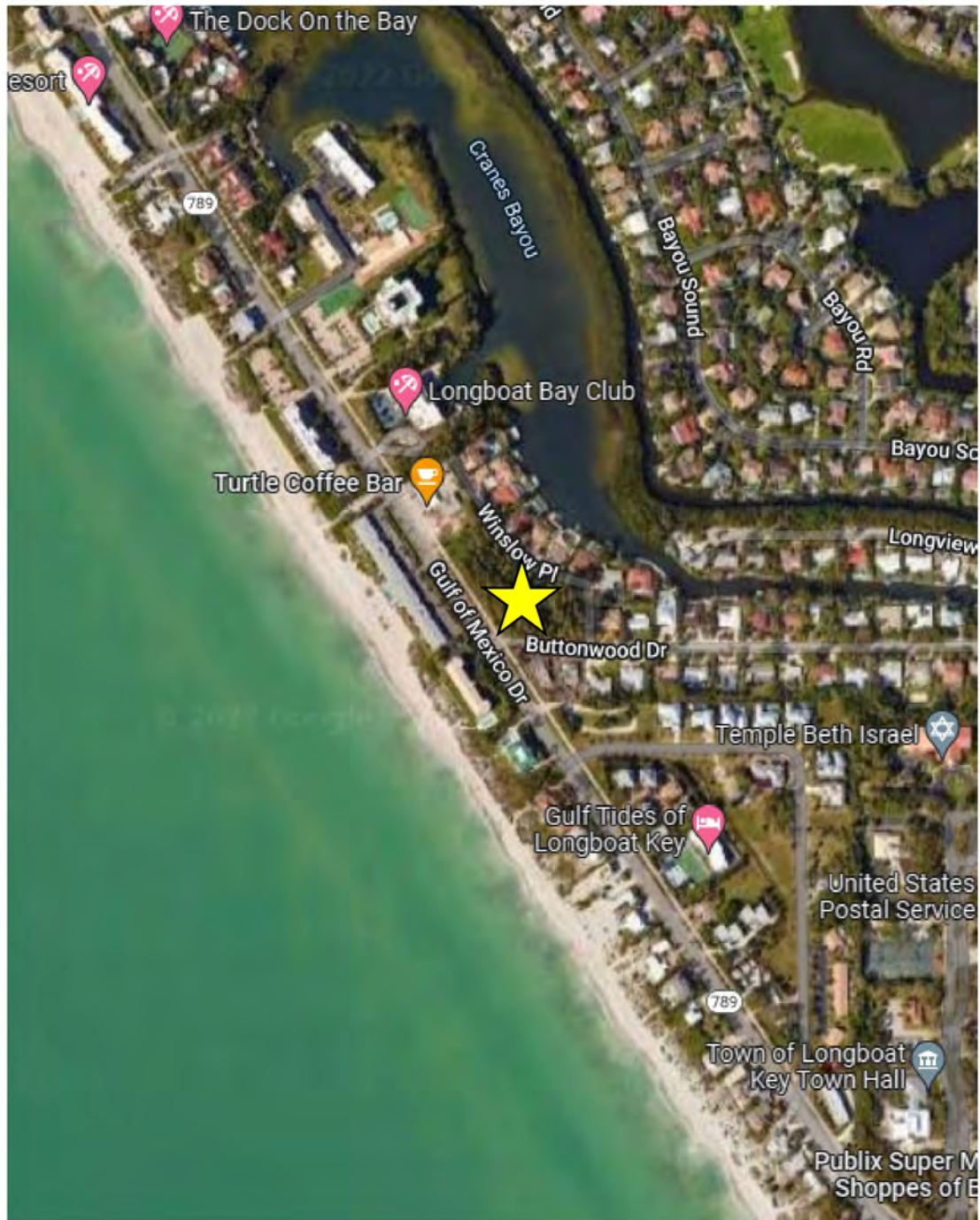
A conceptual site plan is included in the Appendix of this report.

## ESTIMATED PROJECT TRAFFIC

The trip rates utilized in this report were obtained from the latest computerized version of "OTISS" which utilizes the Institute of Transportation Engineers' (ITE) Trip Generation, 11th Edition, 2021, as its data base. Based on these trip rates, it is estimated that the project would attract approximately 1,079 daily trip ends, as shown in Table 1. The project would attract approximately 95 trip ends during the AM peak hour with 60 inbound and 35 outbound, as shown in Table 1. During the PM peak hour, the projects would attract approximately 111 trip ends with 51 inbound and 60 outbound, as shown in Table 1.



**Figure 1. Project Location**





**Table 1. Estimated Project Traffic**

<u>Land Use</u>	ITE <u>LUC</u>	<u>Size</u>	Daily <u>Trip Ends (1)</u>	AM Peak Hour Trip Ends (1)			PM Peak Hour Trip Ends (1)		
				<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Medical Office	720	3,500 SF	126	9	3	12	3	8	11
Restaurant	933	1,500 SF	676	38	27	65	25	25	50
Office	712	5,874 SF	84	8	2	10	4	9	13
Retail	822	3,535 SF	<u>193</u>	<u>5</u>	<u>3</u>	<u>8</u>	<u>19</u>	<u>18</u>	<u>37</u>
Total			1,079	60	35	95	51	60	111

(1) Source: ITE Trip Generation, 11th Edition, 2021.



## **ANALYSIS PERIOD**

The analysis will include the AM and PM peak hours.

## **PROJECT TRIP DISTRIBUTION / ASSIGNMENT**

The following distribution of the project traffic was based on the existing traffic patterns in the area:

- 40% to and from the north (via Gulf of Mexico Drive)
- 60% to and from the south (via Gulf of Mexico Drive).

Table 2 shows the distribution of the AM and PM peak hour project trip ends. Figure 2 illustrates the project trip ends on the adjacent roadway network for the AM and PM peak hours.

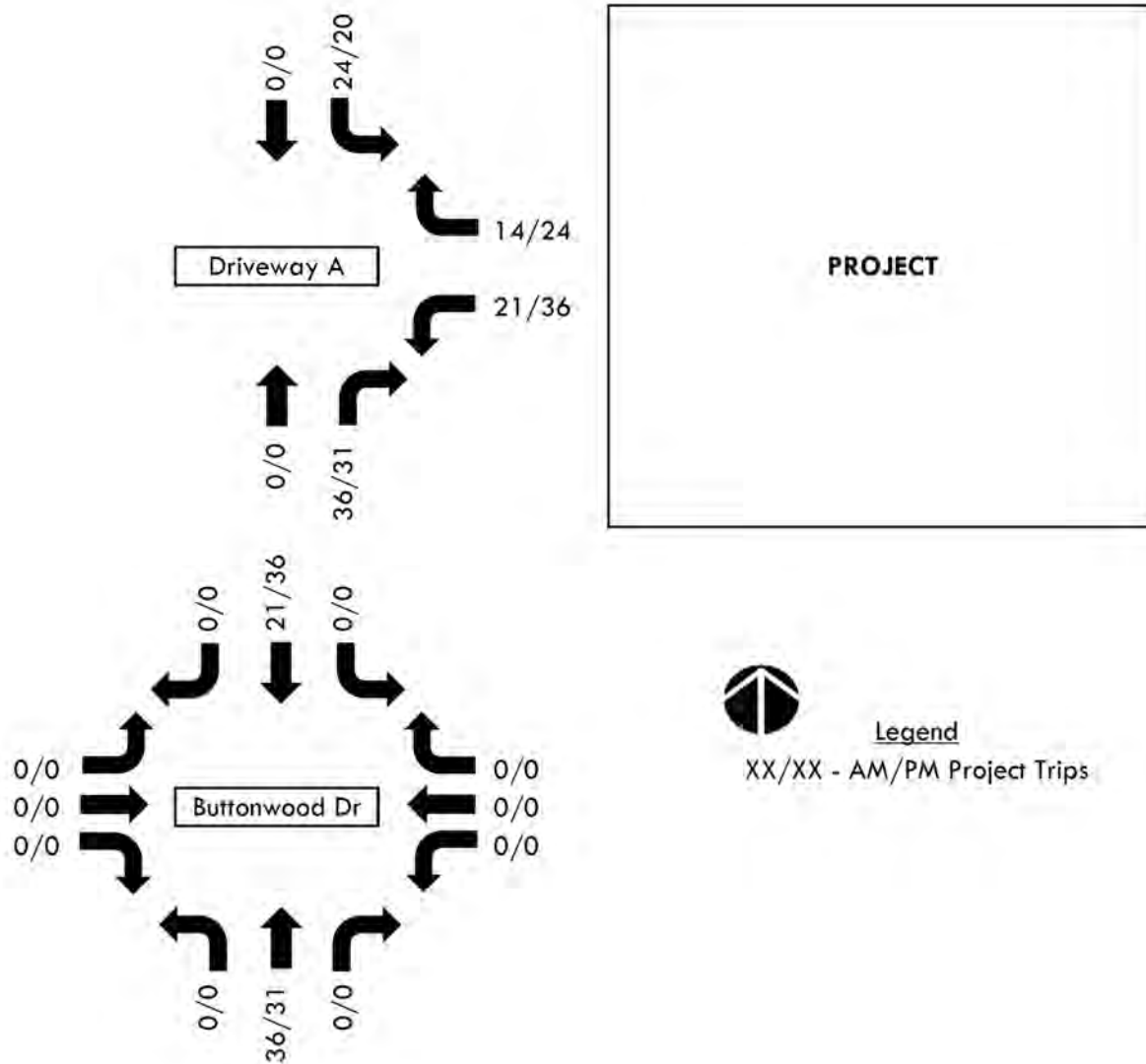


**Table 2. Estimated Peak Hour Project Traffic Distribution**

<u>Time Period</u>	<u>North (40%)</u>		<u>South (60%)</u>		<u>Total</u>	
	<u>In</u>	<u>Out</u>	<u>In</u>	<u>Out</u>	<u>In</u>	<u>Out</u>
AM	24	14	36	21	60	35
PM	20	24	31	36	51	60



**Figure 2. Peak Hour Project Traffic**





## **STUDY AREA**

The study area for this analysis was determined to include all major road network facilities in which the peak hour project traffic consumes five percent or more of the adopted level of service capacity of the roadway. Table 3 shows the Study Area Determination for the project. As shown in the table, the project traffic does not consume more than five percent of the peak hour capacity on any of the adjacent links. Therefore, only the adjacent links will be included in the study area:

- Gulf of Mexico Drive from County Line to New Pass Bridge.

## **ADJACENT ROADWAYS**

As stated previously, the site is located east of Gulf of Mexico Drive and north of Buttonwood Drive. Gulf of Mexico Drive is a two (2) lane undivided roadway. Buttonwood Drive is a two (2) lane undivided roadway. According to the FDOT Work Program and Sarasota County Capital Improvement Plan, there are no other programmed capacity improvements in the vicinity of the project.

## **BUILDOUT**

It is anticipated the project will have a 2024 buildout date.



**Table 3. Study Area Determination**

<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>Lanes</u>	Peak Hour Two-Way <u>Capacity (1)</u>	Percent Project <u>Traffic</u>	PM	Percent <u>Consumed</u>
						Peak Hour Project <u>Traffic</u>	
Gulf of Mexico Dr.	Co. Line	Project	2LU	2,920	40%	44	1.5%
	Project	New Pass Brige	2LU	2,920	60%	67	2.3%

(1) Source: Sarasota County 2019 Generalized Level of Service Analysis.



## BACKGROUND TRAFFIC

The following methodology was utilized to estimate the background volumes within the study area:

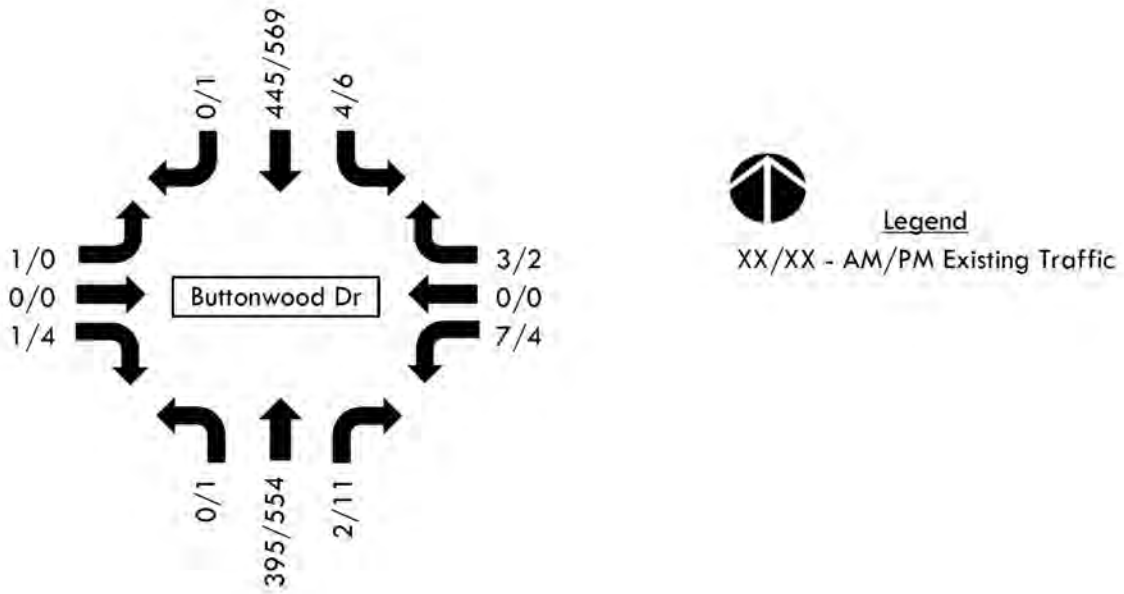
1. PALM TRAFFIC conducted AM (7:00 – 9:00) and PM (4:00 – 6:00) peak hour turning movement counts at the following intersections:
  - Gulf of Mexico Drive and Buttonwood Drive.

Figure 3 illustrates the existing traffic.

2. The turning movement counts were adjusted to peak season based on the FDOT Peak Season Adjustment Factors for Sarasota County of 1.01. Figure 4 illustrates the peak season traffic.
3. Based on FDOT historical traffic counts on Gulf of Mexico Drive in the area, there has been approximately 3.9 percent annual growth over the past 10 years. Therefore, an annual growth rate of 3.9 percent per year was used to determine the background traffic in the buildout year of 2024. Figure 5 illustrates the background traffic. Figure 6 illustrates the background plus project traffic for the AM and PM peak hours.



**Figure 3. Existing Traffic**





**Figure 4. Peak Season Traffic**

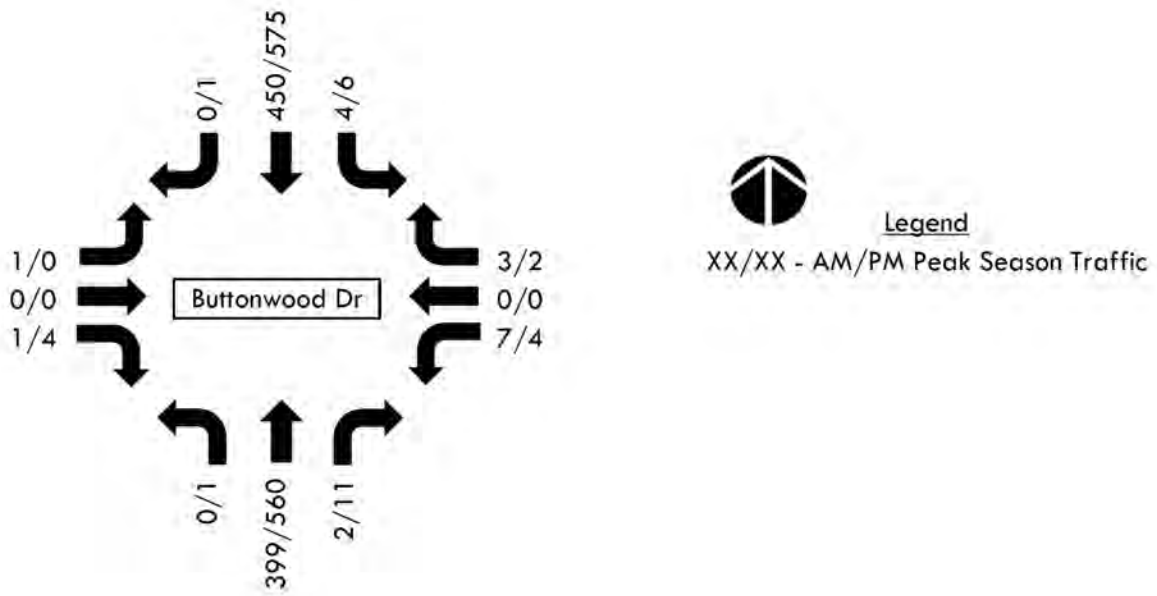




Figure 5. Background Traffic

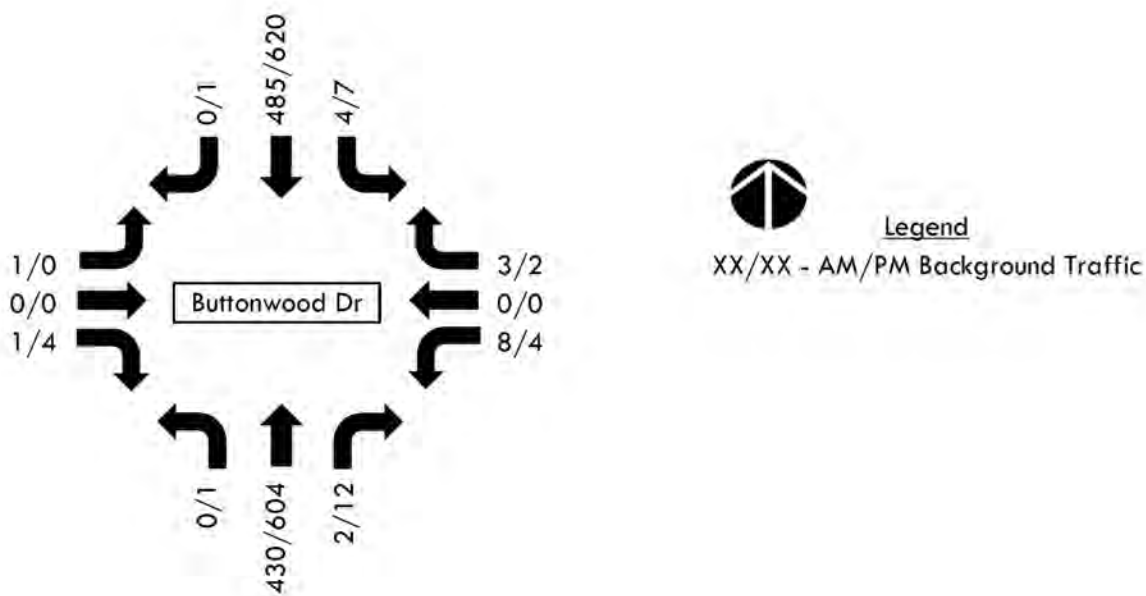
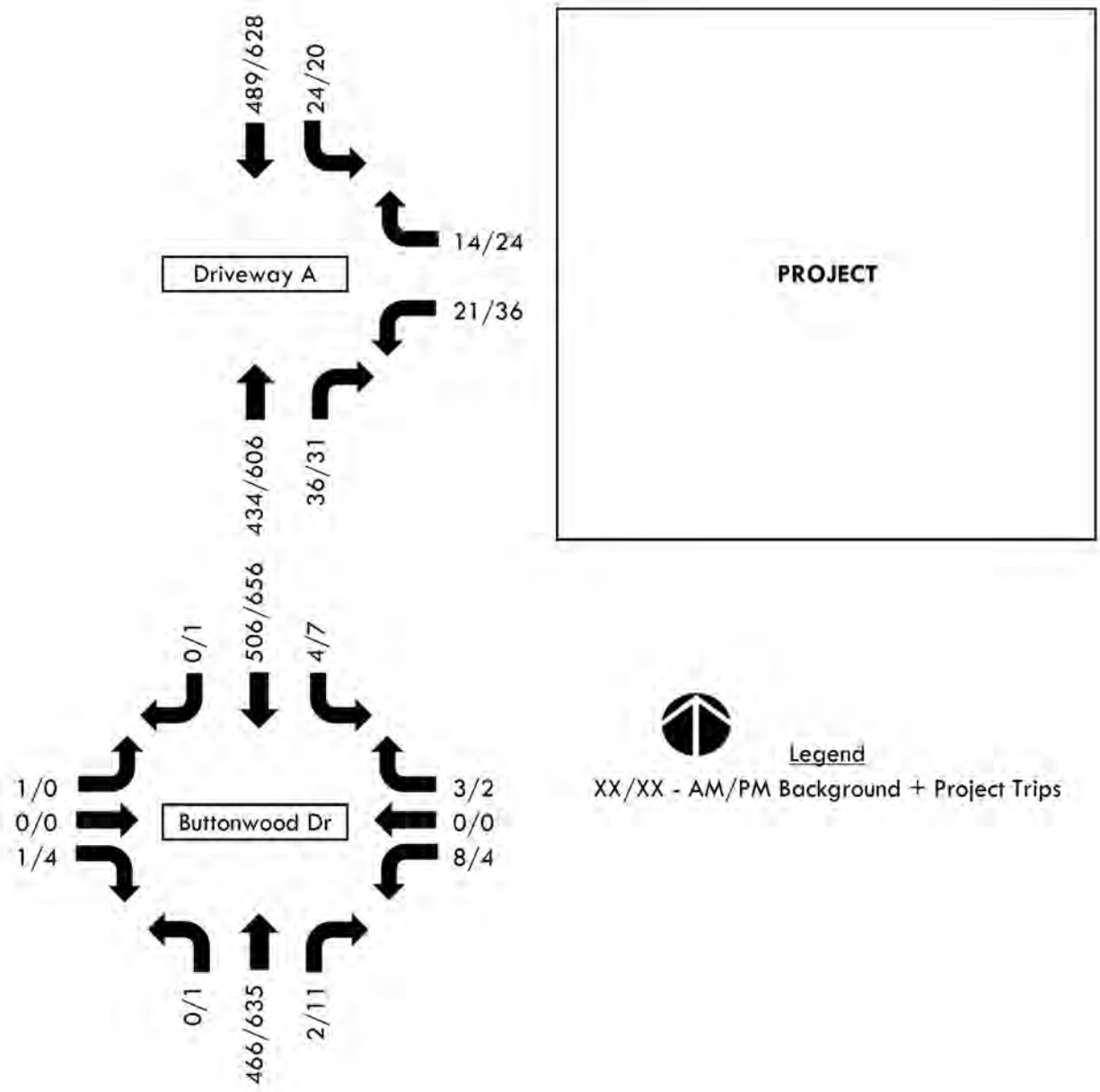




Figure 6. Background Plus Project Traffic





## INTERSECTION ANALYSIS

Intersection analysis was conducted for the AM and PM peak hour at the following intersections within the study network:

- Gulf of Mexico Drive and Driveway A.

The analysis was based on SYNCHRO with the proposed project traffic. Table 4 summarizes the analysis for the intersections and is described in detail in the following paragraphs.

### Gulf of Mexico Drive and Driveway A

The proposed driveway is unsignalized. Unsignalized intersection analysis indicates that all movements should operate with a v/c ratio less than 1.0 during the background plus project traffic during the AM and PM peak hours.



**Table 4. Estimated Intersection Volume to Capacity Ratio**

<u>Intersection</u>	<u>Movement</u>	AM Peak Hour Background Plus Project Traffic			PM Peak Hour Background Plus Project Traffic		
		<u>Left</u>	<u>Through</u>	<u>Right</u>	<u>Left</u>	<u>Through</u>	<u>Right</u>
Gulf of Mexico Drive and Driveway A	WB	0.11	-	0.11	0.28	-	0.28
	NB	-	*	*	-	*	*
	SB	0.02	*	-	0.02	*	-



## **GENERALIZED LINK ANALYSIS**

A generalized link analysis was conducted for those roadways within the study area for the Background Plus Project Traffic conditions. Table 5 presents the results of the analysis for the background plus project traffic conditions. According to the results shown in the table, there is excess capacity along the study segment.



**Table 5. Generalized Link Analysis**

<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>LOS Standard</u>	<u>Peak Hour Capacity (1)</u>	<u>Background Traffic (2)</u>	<u>Project Traffic</u>	<u>Total Traffic</u>	<u>Available Capacity</u>
Gulf of Mexico Dr.	Co. Line	New Pass Brige	D	2,920	1,245	111	1,356	1,564

(1) Source: Sarasota County 2019 Generalized Level of Service Analysis.

(2) See Figure 5, Background Traffic, of the report.



## **ACCESS RECOMMENDATIONS**

The recommendations included in this report are based on a field review of the site, the proposed site plan and the Transportation Analysis. On Gulf of Mexico Drive, the FDOT Right Turn Guide was utilized to determine the need for a right turn lane. The access recommendations are summarized in Table 6 and described in the following paragraph:

### Gulf of Mexico Drive and Driveway A

The proposed driveway has full access to Gulf of Mexico Drive. Based on the estimated project traffic, a northbound right turn lane is not warranted.



**Table 6. Access Recommendations**

<u>Intersection</u>	<u>Movement</u>	<u>Peak Hour Volume (1)</u>	<u>Turn Lane Warranted?</u>
Gulf of Mexico Drive and Driveway A	NBR	36/31	N

(1) See Figure 6, Background Plus Project Traffic, from the report.

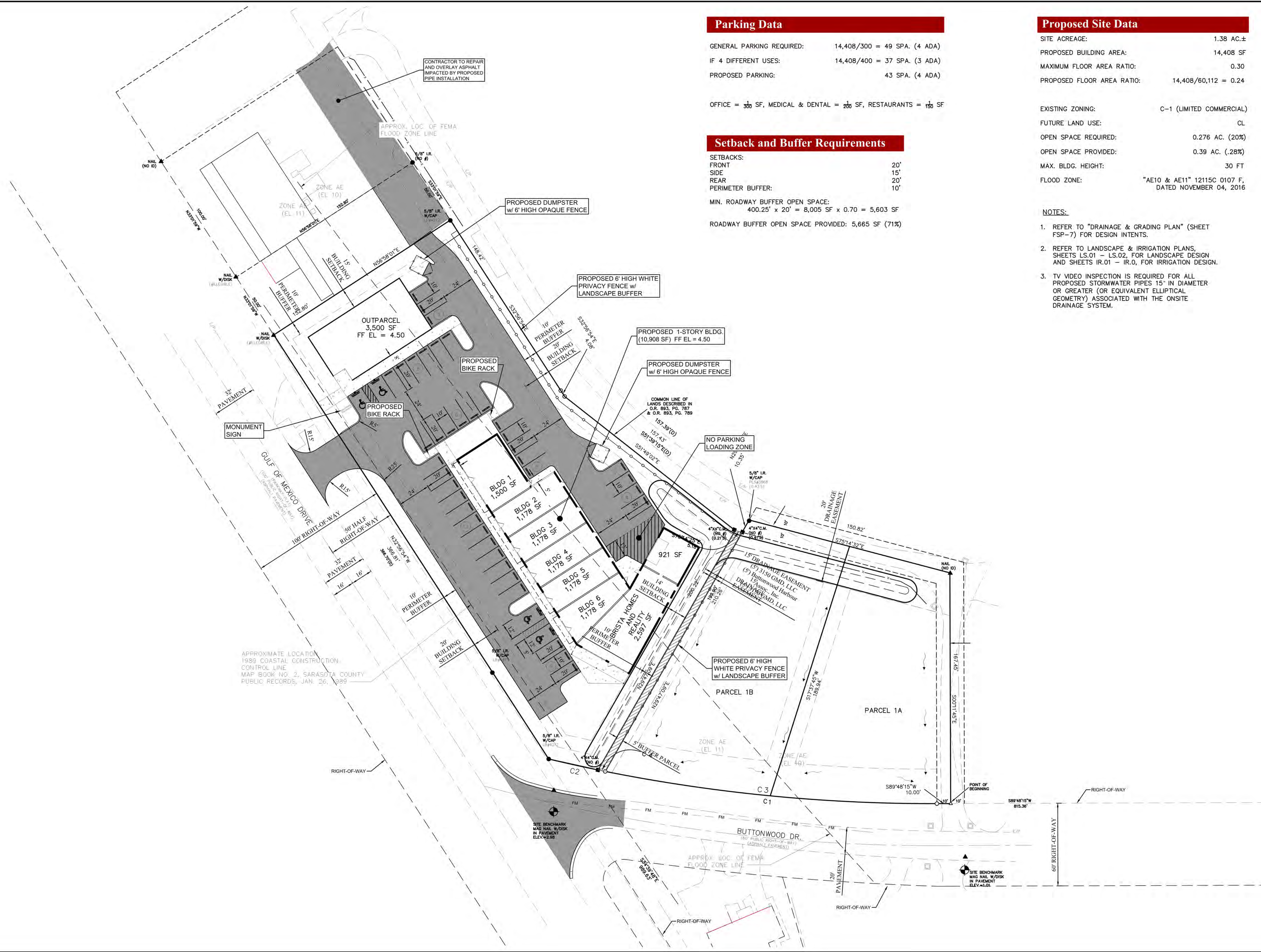


## **APPENDIX**



**APPENDIX**  
CONCEPTUAL SITE PLAN





### Parking Data

GENERAL PARKING REQUIRED: 14,408/300 = 49 SPA. (4 ADA)  
IF 4 DIFFERENT USES: 14,408/400 = 37 SPA. (3 ADA)  
PROPOSED PARKING: 43 SPA. (4 ADA)

OFFICE =  $\frac{1}{300}$  SF, MEDICAL & DENTAL =  $\frac{1}{200}$  SF, RESTAURANTS =  $\frac{1}{150}$  SF

### Setback and Buffer Requirements

SETBACKS:  
FRONT 20'  
SIDE 15'  
REAR 20'  
PERIMETER BUFFER: 10'

MIN. ROADWAY BUFFER OPEN SPACE:  
400.25' x 20' = 8,005 SF x 0.70 = 5,603 SF

ROADWAY BUFFER OPEN SPACE PROVIDED: 5,665 SF (71%)

### Proposed Site Data

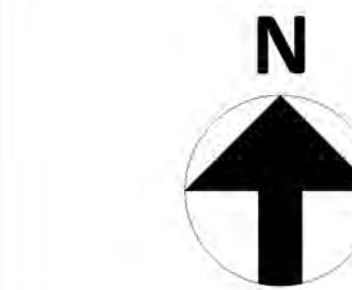
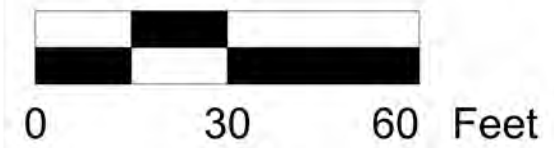
SITE ACREAGE: 1.38 AC.±  
PROPOSED BUILDING AREA: 14,408 SF  
MAXIMUM FLOOR AREA RATIO: 0.30  
PROPOSED FLOOR AREA RATIO: 14,408/60,112 = 0.24

EXISTING ZONING: C-1 (LIMITED COMMERCIAL)  
FUTURE LAND USE: CL  
OPEN SPACE REQUIRED: 0.276 AC. (20%)  
OPEN SPACE PROVIDED: 0.39 AC. (.28%)  
MAX. BLDG. HEIGHT: 30 FT  
FLOOD ZONE: "AE10 & AE11" 12115C 0107 F, DATED NOVEMBER 04, 2016

### NOTES:

- REFER TO "DRAINAGE & GRADING PLAN" (SHEET FSP-7) FOR DESIGN INTENTS.
- REFER TO LANDSCAPE & IRRIGATION PLANS, SHEETS LS.01 - LS.02, FOR LANDSCAPE DESIGN AND SHEETS IR.01 - IR.0, FOR IRRIGATION DESIGN.
- TV VIDEO INSPECTION IS REQUIRED FOR ALL PROPOSED STORMWATER PIPES 15" IN DIAMETER OR GREATER (OR EQUIVALENT ELLIPTICAL GEOMETRY) ASSOCIATED WITH THE ONSITE DRAINAGE SYSTEM.

Submitted For:



Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
1" = 30'	1/20/22	

Final Site Plan  
For  
Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-6



# **APPENDIX**

## TRIP GENERATION



# PERIOD SETTING

Analysis Name : Daily  
 Project Name : Buttonwood Mixed Use No :  
 Date: 1/4/2022 City:  
 State/Province: Zip/Postal Code:  
 Country: Client Name:  
 Analyst's Name: Edition: Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday	Average 36	63 50%	63 50%	126
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday	Average 450.49	338 50%	338 50%	676
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday	Average 14.39	42 50%	42 50%	84
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54 <sup>(0)</sup>	Weekday	Average 54.45	97 <sup>(1)</sup> 50%	96 <sup>(1)</sup> 50%	193 <sup>(1)</sup>

(0) indicates size out of range.

(1) indicates small sample size, use carefully.

# TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	63	0 %	63
933 - Fast-Food Restaurant without Drive-Through Window	0 %	338	0 %	338
712 - Small Office Building	0 %	42	0 %	42
822 - Strip Retail Plaza (&lt;40k)	0 %	97	0 %	96

# INTERNAL TRIPS

<b>720 - Medical-Dental Office Building</b>				<b>933 - Fast-Food Restaurant without Drive-Through Window</b>			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	338
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	338
<b>720 - Medical-Dental Office Building</b>				<b>712 - Small Office Building</b>			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	42
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	42
<b>720 - Medical-Dental Office Building</b>				<b>822 - Strip Retail Plaza (&amp;lt;40k)</b>			
Exit	63	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	97
Entry	63	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	96
<b>933 - Fast-Food Restaurant without Drive-Through Window</b>				<b>712 - Small Office Building</b>			
Exit	338	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)		Entry	42
Entry	338	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)		Exit	42



**933 - Fast-Food Restaurant without Drive-Through Window**
**822 - Strip Retail Plaza (&lt;40k)**

<b>Exit</b>	338	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	<b>Entry</b>	97
<b>Entry</b>	338	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	<b>Exit</b>	96

**712 - Small Office Building**
**822 - Strip Retail Plaza (&lt;40k)**

<b>Exit</b>	42	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	<b>Entry</b>	97
<b>Entry</b>	42	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	<b>Exit</b>	96

**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
<b>Entry</b>	63 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	63 (100%)
<b>Exit</b>	63 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	63 (100%)
<b>Total</b>	126 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	126 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
<b>Entry</b>	338 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	338 (100%)
<b>Exit</b>	338 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	338 (100%)
<b>Total</b>	676 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	676 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
<b>Entry</b>	42 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	42 (100%)
<b>Exit</b>	42 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	42 (100%)
<b>Total</b>	84 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	84 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
<b>Entry</b>	97 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	97 (100%)
<b>Exit</b>	96 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	96 (100%)
<b>Total</b>	193 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	193 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	126	0	0	126
933 - Fast-Food Restaurant without Drive-Through Window	676	0	0	676
712 - Small Office Building	84	0	0	84
822 - Strip Retail Plaza (&lt;40k)	193	0	0	193

**ITE DEVIATION DETAILS**



**Weekday**

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

**SUMMARY**

Total Entering	540
Total Exiting	539
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	540
Total Exiting Non-Pass-by Trips	539



## PERIOD SETTING

Analysis Name :	AM Peak Hour		
Project Name :	Buttonwood Mixed Use	No :	
Date:	1/4/2022	City:	
State/Province:		Zip/Postal Code:	
Country:		Client Name:	
Analyst's Name:		Edition:	Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LOG) $\ln(T) = 0.9\ln(X) + 1.34$	9 75%	3 25%	12
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 43.18	38 <sup>(1)</sup> 58%	27 <sup>(1)</sup> 42%	65 <sup>(1)</sup>
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 1.67	8 60%	2 20%	10
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54 <sup>(0)</sup>	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 2.36	5 <sup>(1)</sup> 62%	3 <sup>(1)</sup> 38%	8 <sup>(1)</sup>

(0) indicates size out of range.

(1) indicates small sample size, use carefully.

## TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	9	0 %	3
933 - Fast-Food Restaurant without Drive-Through Window	0 %	38	0 %	27
712 - Small Office Building	0 %	8	0 %	2
822 - Strip Retail Plaza (&lt;40k)	0 %	5	0 %	3

## INTERNAL TRIPS

720 - Medical-Dental Office Building				933 - Fast-Food Restaurant without Drive-Through Window			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	38	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	27	
720 - Medical-Dental Office Building				712 - Small Office Building			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	8	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	2	
720 - Medical-Dental Office Building				822 - Strip Retail Plaza (&lt;40k)			
Exit	3	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	5	
Entry	9	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	3	



**933 - Fast-Food Restaurant without Drive-Through Window**
**712 - Small Office Building**

Exit	27	Demand Exit:	0 % (0)	Balanced:	0	Demand Entry:	0 % (0)	Entry	8
Entry	38	Demand Entry:	0 % (0)	Balanced:	0	Demand Exit:	0 % (0)	Exit	2

**933 - Fast-Food Restaurant without Drive-Through Window**
**822 - Strip Retail Plaza (&lt;40k)**

Exit	27	Demand Exit:	0 % (0)	Balanced:	0	Demand Entry:	0 % (0)	Entry	5
Entry	38	Demand Entry:	0 % (0)	Balanced:	0	Demand Exit:	0 % (0)	Exit	3

**712 - Small Office Building**
**822 - Strip Retail Plaza (&lt;40k)**

Exit	2	Demand Exit:	0 % (0)	Balanced:	0	Demand Entry:	0 % (0)	Entry	5
Entry	8	Demand Entry:	0 % (0)	Balanced:	0	Demand Exit:	0 % (0)	Exit	3

**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	9 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	9 (100%)
Exit	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Total	12 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	12 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	38 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	38 (100%)
Exit	27 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	27 (100%)
Total	65 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	65 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)
Exit	2 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	2 (100%)
Total	10 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	10 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
Entry	5 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	5 (100%)
Exit	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Total	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	12	0	0	12
933 - Fast-Food Restaurant without Drive-Through Window	65	0	0	65



Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
712 - Small Office Building	10	0	0	10
822 - Strip Retail Plaza (&lt;40k)	8	0	0	8

#### ITE DEVIATION DETAILS

##### Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

#### SUMMARY

Total Entering	60
Total Exiting	35
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	60
Total Exiting Non-Pass-by Trips	35



# PERIOD SETTING

Analysis Name : PM Peak Hour  
 Project Name : Buttonwood Mixed Use No :  
 Date: 1/4/2022 City:  
 State/Province: Zip/Postal Code:  
 Country: Client Name:  
 Analyst's Name: Edition: Trip Generation Manual, 11th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)	1000 Sq. Ft. GFA	3.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LIN) $T = 4.07 (X)^{-3.17}$	3 27%	8 73%	11
933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)	1000 Sq. Ft. GFA	1.5	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 33.21	25 50%	25 50%	50
712 - Small Office Building (General Urban/Suburban)	1000 Sq. Ft. GFA	5.87	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 2.16	4 31%	9 69%	13
822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)	1000 Sq. Ft. GLA	3.54	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.71\ln(X) + 2.72$	19 51%	18 49%	37

# TRAFFIC REDUCTIONS

Land Use	Entry Reduction	Adjusted Entry	Exit Reduction	Adjusted Exit
720 - Medical-Dental Office Building	0 %	3	0 %	8
933 - Fast-Food Restaurant without Drive-Through Window	0 %	25	0 %	25
712 - Small Office Building	0 %	4	0 %	9
822 - Strip Retail Plaza (&lt;40k)	0 %	19	0 %	18

# INTERNAL TRIPS

720 - Medical-Dental Office Building				933 - Fast-Food Restaurant without Drive-Through Window			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	25	
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	25	
720 - Medical-Dental Office Building				712 - Small Office Building			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	4	
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	9	
720 - Medical-Dental Office Building				822 - Strip Retail Plaza (&lt;40k)			
Exit	8	Demand Exit: 0 % (0)	Balanced: 0	Demand Entry: 0 % (0)	Entry	19	
Entry	3	Demand Entry: 0 % (0)	Balanced: 0	Demand Exit: 0 % (0)	Exit	18	



**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	25	Demand Exit:	0 % (0)	Balanced:	0
Entry	25	Demand Entry:	0 % (0)	Balanced:	0

**712 - Small Office Building**

Demand Entry:	0 % (0)	Entry	4
Demand Exit:	0 % (0)	Exit	9

**933 - Fast-Food Restaurant without Drive-Through Window**

Exit	25	Demand Exit:	0 % (0)	Balanced:	0
Entry	25	Demand Entry:	0 % (0)	Balanced:	0

**822 - Strip Retail Plaza (&lt;40k)**

Demand Entry:	0 % (0)	Entry	19
Demand Exit:	0 % (0)	Exit	18

**712 - Small Office Building**

Exit	9	Demand Exit:	0 % (0)	Balanced:	0
Entry	4	Demand Entry:	0 % (0)	Balanced:	0

**822 - Strip Retail Plaza (&lt;40k)**

Demand Entry:	0 % (0)	Entry	19
Demand Exit:	0 % (0)	Exit	18

**720 - Medical-Dental Office Building**

	Total Trips	Internal Trips				External Trips
		933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	3 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	3 (100%)
Exit	8 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	8 (100%)
Total	11 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	11 (100%)

**933 - Fast-Food Restaurant without Drive-Through Window**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	712 - Small Office Building	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	25 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	25 (100%)
Exit	25 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	25 (100%)
Total	50 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	50 (100%)

**712 - Small Office Building**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	822 - Strip Retail Plaza (&lt;40k)	Total	
Entry	4 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	4 (100%)
Exit	9 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	9 (100%)
Total	13 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	13 (100%)

**822 - Strip Retail Plaza (&lt;40k)**

	Total Trips	Internal Trips				External Trips
		720 - Medical-Dental Office Building	933 - Fast-Food Restaurant without Drive-Through Window	712 - Small Office Building	Total	
Entry	19 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	19 (100%)
Exit	18 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	18 (100%)
Total	37 (100%)	0 (0%)	0 (0%)	0 (0%)	0 (0%)	37 (100%)

**EXTERNAL TRIPS**

Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
720 - Medical-Dental Office Building	11	0	0	11
933 - Fast-Food Restaurant without Drive-Through Window	50	0	0	50



Land Use	External Trips	Pass-by%	Pass-by Trips	Non-pass-by Trips
712 - Small Office Building	13	0	0	13
822 - Strip Retail Plaza (&lt;40k)	37	0	0	37

#### ITE DEVIATION DETAILS

##### Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.

Landuse No deviations from ITE.

Methods No deviations from ITE.

External Trips 720 - Medical-Dental Office Building - Stand-Alone (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

933 - Fast-Food Restaurant without Drive-Through Window (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

712 - Small Office Building (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

822 - Strip Retail Plaza (&lt;40k) (General Urban/Suburban)  
ITE does not recommend a particular pass-by% for this case.

#### SUMMARY

Total Entering	51
Total Exiting	60
Total Entering Reduction	0
Total Exiting Reduction	0
Total Entering Internal Capture Reduction	0
Total Exiting Internal Capture Reduction	0
Total Entering Pass-by Reduction	0
Total Exiting Pass-by Reduction	0
Total Entering Non-Pass-by Trips	51
Total Exiting Non-Pass-by Trips	60



## **APPENDIX**

### **SARASOTA GENERALIZED LEVEL OF SERVICE TABLES**



**SARASOTA COUNTY**  
**2019 GENERALIZED LEVEL OF SERVICE ANALYSIS**

6/24/2020  
10:41 AM

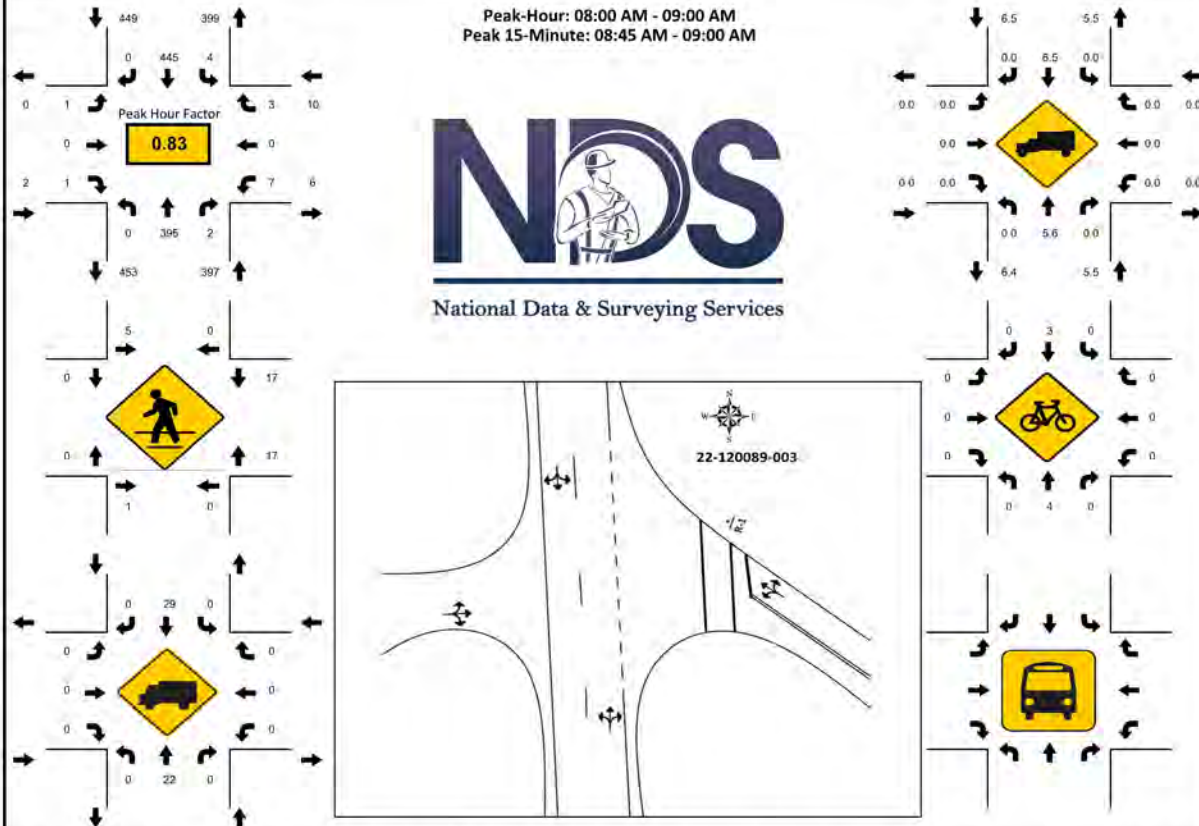
ID #	Roadway Name	Road Segments		Segment Attributes							Existing Traffic Conditions						Minimum Adopted Standards	
		Limits	Jurisdiction	# of Lanes	Segm Length	Sgmnt Length	Post Spd	Ref No.	Traffic Counts			Adjusted to 2019 AADT	DHV	LOS	LOS	Srv Vol		
									Source	Date	Volume AADT							
100	Fruitville (SR 780)	Shade	Tuttle	FDOT/Sar	6	0.50	0.50	40	3	FDOT	Jan-19	45,500	45,500	4.095	C	D	5,390	
101	Fruitville (SR 780)	Tuttle	Lockwood Ridge	FDOT/Sar	6	0.50	0.50	45	3	FDOT	Jan-19	46,000	46,000	4.140	C	D	5,390	
102	Fruitville (SR 780)	Lockwood Ridge	Beneva	FDOT/Sar	6	0.50	0.50	45	3	FDOT	Jan-19	55,000	55,000	4.620	C	D	5,390	
103	Fruitville (SR 780)	Beneva	McIntosh	FDOT/Sar	6	1.00	1.00	45	3	FDOT	Jan-19	55,000	55,000	4.620	C	D	5,390	
104	Fruitville (SR 780)	McIntosh	Honore	FDOT	6	1.00	1.00	45	66	FDOT	Jan-19	55,000	55,000	4.620	C	D	5,660	
105	Fruitville (SR 780)	Honore	Paramount Dr	FDOT	6	0.40	0.40	45	66	FDOT	Jan-19	53,000	53,000	4.452	C	D	5,660	
105.5	Fruitville (SR 780)	Paramount Dr	Cattlemen	FDOT	6	0.30	0.30	45	66	FDOT	Jan-19	53,000	53,000	4.452	C	D	5,660	
106	Fruitville (SR 780)	Cattlemen	I-75	FDOT	6	0.35	0.35	45	66	FDOT	Jan-19	53,000	53,000	4.452	C	D	5,660	
107	Fruitville	I-75	Lakewood Ranch Blvd	County	4	0.59	0.59	45	44	SC	Feb-19	35,588	35,588	3.238	C	D	3,401	
107	Fruitville	Lakewood Ranch Blvd	East Road	County	4	0.62	0.62	45	23	SC	Feb-19	32,482	32,482	3.118	D	C	3,078	
107.3	Fruitville	East Road	Tatum	County	4	0.64	0.64	45	23	SC	Feb-19	26,997	26,997	2.646	C	C	3,078	
107.5	Fruitville	Tatum	Sarasota Center Blvd	County	4	0.61	0.61	45	44	SC	Mar-19	25,138	25,138	2.464	C	C	3,249	
107.6	Fruitville	Sarasota Center Blvd	Lorraine Rd	County	2	1.40	8.50	55	30	SC	Mar-19	16,745	16,745	1.741	F	C	1,057	
107.7	Fruitville	Lorraine Rd	Verna Road	County	2	7.10	8.50	55	30	SC	Mar-19	6,256	6,256	682	C	C	1,057	
108	Gantt Road	Proctor	Ashton	County	2	0.50	0.50	35	151	SC	Apr-19	11,079	11,079	1.208	F	D	998	
108.5	Gantt Road	Ashton	Clark	County	2	0.50	0.50	35	122	SC	Apr-19	11,883	11,883	1.295	F	D	1,197	
112	Gulf Gate Drive	U.S. 41	Gateway Ave	County	4	0.29	0.29	30	152	SC	Sep-19	9,106	9,106	993	D	D	2,044	
113	Gulf Gate Drive	Gateway	Markridge	County	2	0.58	0.58	25	126	SC	Sep-19	6,905	6,905	753	D	D	1,264	
113	Gulf Gate Drive	Markridge	Bispham	County	2	0.17	0.17	25	126	SC	Sep-19	6,905	6,905	753	D	D	1,264	
114	Gulf Gate Drive	Bispham	Curtiss	County	2	0.44	0.44	25	126	SC	Sep-19	6,999	6,999	763	D	D	1,264	
114	Gulf Gate Drive	Curtiss	Beneva	County	2	0.11	0.11	25	126	SC	Sep-19	6,999	6,999	763	D	D	1,264	
115	Gulf Mexico Dr.(SR 789)	Co Line	New Pass Bridge	FDOT/LBK	2	5.35	5.35	35	102	FDOT	Jan-18	21,000	22,149	2,281	D	D	2,920	
116	Harbor Drive	Venice Ave	Beach Rd	Co./Ven	2	1.40	1.40	30	126	SC	Oct-19	3,846	3,846	427	C	D	1,264	
117	Harbor Drive	Beach Rd	South of Beach Rd	Co./Ven	2	1.70	1.70	30	130	SC	Oct-19	4,689	4,689	516	D	D	931	
1046	Hatchet Creek Boulevard	Pinebrook Rd	Jacaranda Blvd	Co./Ven	2	1.76	1.48	25	143	SC	Oct-19	3,620	3,620	402	C	D	1,264	
118	Higel Avenue (SR 758)	Siesta	Midnight Pass Rd	FDOT	2	0.85	1.85	40	9	FDOT	Jan-19	15,500	15,500	1,612	F	D	1,280	
119	Higel Ave/Treasure Boat	Midnight Pass Rd	Ocean	County	2	0.12	0.62	35	130	SC	Sep-19	1,051	1,051	117	C	D	931	
119.5	Honore Avenue	University	Desoto	County	2	0.50	0.50	40	47	SC	Feb-19	22,581	22,581	2,326	F	D	1,600	
119.5	Honore Avenue	Desoto	Longmeadow	County	2	0.54	0.50	40	47	SC	Feb-19	19,373	19,373	1,995	F	D	1,600	
119.7	Honore Avenue	Longmeadow	Taywood	County	2	1.20	1.20	30	143	SC	Feb-19	14,597	14,597	1,518	F	D	1,264	
120	Honore Avenue	Taywood	17th	County	2	0.60	0.60	30	143	SC	Feb-19	16,030	16,030	1,667	F	D	1,264	
121	Honore Avenue	17th	Richardson	County	2	0.55	0.55	35	143	SC	Feb-19	22,227	22,227	2,289	F	D	1,264	
121.5	Honore Avenue	Richardson	Fruitville	County	2	0.45	0.45	35	143	SC	Feb-19	18,818	18,818	1,938	F	D	1,264	
122	Honore Avenue	Fruitville	Antoinette	County	2	0.29	0.29	35	147	SC	Mar-19	16,656	16,656	1,732	F	D	1,330	
122	Honore Avenue	Antoinette	Sawgrass	County	2	0.09	0.48	35	147	SC	Mar-19	16,656	16,656	1,732	F	D	1,330	
122	Honore Avenue	Sawgrass	Palmer	County	2	0.39	0.48	35	126	SC	Mar-19	16,656	16,656	1,732	F	D	1,264	
122.6	Honore Avenue	Palmer	Bahia Vista	County	2	0.34	0.34	35	147	SC	Mar-19	14,682	14,682	1,527	F	D	1,330	
122.7	Honore Avenue	Bahia Vista	Colonial Oaks	County	2	0.80	0.80	30	147	SC	Mar-19	11,731	11,731	1,279	D	D	1,330	
122.7	Honore Avenue	Colonial Oaks	Webber	County	2	0.25	0.25	30	126	SC	Mar-19	11,689	11,689	1,274	E	D	1,264	
122.7	Honore Avenue	Webber	Brookmeade	County	2	0.28	0.28	30	126	SC	Mar-19	10,831	10,831	1,181	D	D	1,264	
122.7	Honore Avenue	Brookmeade	Bee Ridge	County	2	0.37	0.37	30	147	SC	Mar-19	10,831	10,831	1,181	D	D	1,330	
122.75	Honore Avenue	Bee Ridge	Wilkinson	County	2	0.50	0.50	45	26	SC	Jun-19	11,889	11,889	1,296	C	D	1,520	
122.76	Honore Avenue	Wilkinson	Proctor	County	2	0.50	0.50	40	26	SC	Jun-19	9,487	9,487	1,034	C	D	1,520	
122.8	Honore Avenue	Proctor	Ashton	County	2	0.50	0.50	30	122	SC	Jun-19	8,390	8,390	914	D	D	1,197	
122.8	Honore Avenue	Ashton	Clark	County	2	0.50	0.50	30	143	SC	Jun-19	8,422	8,422	918	D	D	1,264	
122.85	Honore Avenue	Clark	Northridge	County	4	0.25	1.55	45	44	SC	Jun-19	19,167	19,167	1,974	C	D	3,401	
122.86	Honore Avenue	Northridge	Palmer Ranch Pkwy	County	4	1.30	1.55	45	44	SC	Jun-19	18,158	18,158	1,870	C	D	3,401	
122.87	Honore Avenue	Palmer Ranch Pkwy	Central Sarasota Pkwy	County	4	1.79	1.79	45	44	SC	Jun-19	9,832	9,832	1,072	C	D	3,401	



**APPENDIX**  
TURNING MOVEMENT COUNTS



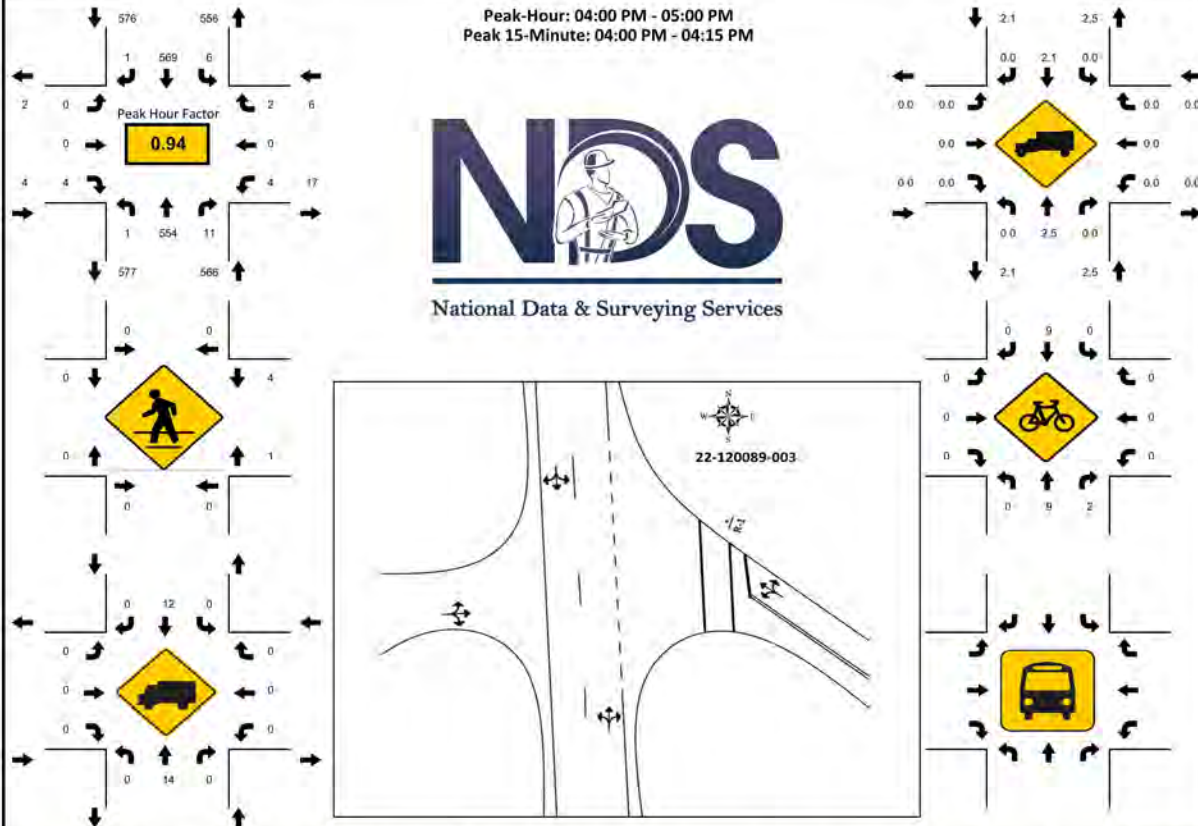
PROJECT ID: 22-120089-003  
DATE: Tue, Mar 01, 2022



15-Min Count Period Beginning At	SR 789/Gulf of Mexico Dr Northbound					SR 789/Gulf of Mexico Dr Southbound					Buttonwood Dr Eastbound					Buttonwood Dr Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
07:00 AM	0	44	0	0		0	47	0	0		0	0	0	0		1	0	0	0		92	492
07:15 AM	0	50	0	0		0	64	0	0		0	0	0	0		0	0	0	0		114	572
07:30 AM	0	60	0	0		1	68	0	0		0	0	0	0		0	0	1	0		130	668
07:45 AM	0	68	0	0		0	87	0	0		0	0	0	0		0	0	1	0		156	756
08:00 AM	0	86	1	0		1	100	0	0		0	0	0	0		3	0	1	0		172	858
08:15 AM	0	84	1	0		1	121	0	0		0	0	1	0		2	0	0	0		210	686
08:30 AM	0	110	0	0		0	106	0	0		0	0	0	0		1	0	1	0		218	476
08:45 AM	0	135	0	0		2	118	0	0		1	0	0	0		1	0	1	0		258	258
<b>Peak 15-Min Flowrates</b>	<b>Northbound</b>					<b>Southbound</b>					<b>Eastbound</b>					<b>Westbound</b>					<b>Total</b>	
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
All Vehicles	0	540	4	0		8	484	0	0		4	0	4	0		12	0	4	0		1060	
Heavy Trucks	0	36	0	0		0	36	0	0		0	0	0	0		0	0	0	0		72	
Pedestrians		4					12					0					44				60	
Bicycles	0	8	0	0		0	4	0	0		0	0	0	0		0	0	0	0		12	
Buses																						
Stopped Buses																						



PROJECT ID: 22-120089-003  
DATE: Tue, Mar 01, 2022



15-Min Count Period Beginning At	SR 789/Gulf of Mexico Dr Northbound					SR 789/Gulf of Mexico Dr Southbound					Buttonwood Dr Eastbound					Buttonwood Dr Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
04:00 PM	0	149	2	0		2	149	1	0		0	0	1	0		1	0	1	0		306	1152
04:15 PM	0	125	3	1		3	159	0	0		0	0	1	0		1	0	0	0		293	1140
04:30 PM	0	136	4	0		0	145	0	0		0	0	1	0		2	0	1	0		289	1108
04:45 PM	0	144	2	0		1	116	0	0		0	0	1	0		0	0	0	0		264	1046
05:00 PM	1	142	4	0		0	142	2	0		0	0	0	0		2	0	1	0		294	1013
05:15 PM	0	142	1	0		0	116	0	0		0	0	0	0		2	0	0	0		261	719
05:30 PM	0	102	3	0		0	121	0	0		0	0	0	0		0	0	0	0		226	458
05:45 PM	1	111	1	0		0	114	0	0		0	0	2	0		2	0	1	0		232	232
<b>Peak 15-Min Flowrates</b>	<b>Northbound</b>					<b>Southbound</b>					<b>Eastbound</b>					<b>Westbound</b>					<b>Total</b>	
	<b>Left</b>	<b>Thru</b>	<b>Rgt</b>	<b>U</b>	<b>R*</b>	<b>Left</b>	<b>Thru</b>	<b>Rgt</b>	<b>U</b>	<b>R*</b>	<b>Left</b>	<b>Thru</b>	<b>Rgt</b>	<b>U</b>	<b>R*</b>	<b>Left</b>	<b>Thru</b>	<b>Rgt</b>	<b>U</b>	<b>R*</b>		
All Vehicles	0	596	16	4		12	636	4	0		0	0	4	0		8	0	4	0		1284	
Heavy Trucks	0	32	0	0		0	16	0	0		0	0	0	0		0	0	0	0		48	
Pedestrians	0						0				0						12				12	
Bicycles	0	12	8	0		0	12	0	0		0	0	0	0		0	0	0	0		32	
Buses																						
Stopped Buses																						



# **APPENDIX**

## **FDOT PEAK SEASON ADJUSTMENT FACTORS**



2020 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL  
 CATEGORY: 1700 SARASOTA COUNTYWIDE

WEEK	DATES	SF	MOCF: 0.89 PSCF
* 1	01/01/2020 - 01/04/2020	0.98	1.10
* 2	01/05/2020 - 01/11/2020	0.92	1.03
* 3	01/12/2020 - 01/18/2020	0.86	0.97
* 4	01/19/2020 - 01/25/2020	0.84	0.94
* 5	01/26/2020 - 02/01/2020	0.83	0.93
* 6	02/02/2020 - 02/08/2020	0.81	0.91
* 7	02/09/2020 - 02/15/2020	0.80	0.90
* 8	02/16/2020 - 02/22/2020	0.83	0.93
* 9	02/23/2020 - 02/29/2020	0.86	0.97
*10	03/01/2020 - 03/07/2020	0.90	1.01
*11	03/08/2020 - 03/14/2020	0.93	1.04
*12	03/15/2020 - 03/21/2020	0.97	1.09
*13	03/22/2020 - 03/28/2020	1.09	1.22
14	03/29/2020 - 04/04/2020	1.21	1.36
15	04/05/2020 - 04/11/2020	1.33	1.49
16	04/12/2020 - 04/18/2020	1.45	1.63
17	04/19/2020 - 04/25/2020	1.35	1.52
18	04/26/2020 - 05/02/2020	1.26	1.42
19	05/03/2020 - 05/09/2020	1.16	1.30
20	05/10/2020 - 05/16/2020	1.06	1.19
21	05/17/2020 - 05/23/2020	1.05	1.18
22	05/24/2020 - 05/30/2020	1.04	1.17
23	05/31/2020 - 06/06/2020	1.02	1.15
24	06/07/2020 - 06/13/2020	1.01	1.13
25	06/14/2020 - 06/20/2020	1.00	1.12
26	06/21/2020 - 06/27/2020	1.01	1.13
27	06/28/2020 - 07/04/2020	1.02	1.15
28	07/05/2020 - 07/11/2020	1.03	1.16
29	07/12/2020 - 07/18/2020	1.04	1.17
30	07/19/2020 - 07/25/2020	1.04	1.17
31	07/26/2020 - 08/01/2020	1.05	1.18
32	08/02/2020 - 08/08/2020	1.06	1.19
33	08/09/2020 - 08/15/2020	1.07	1.20
34	08/16/2020 - 08/22/2020	1.06	1.19
35	08/23/2020 - 08/29/2020	1.06	1.19
36	08/30/2020 - 09/05/2020	1.06	1.19
37	09/06/2020 - 09/12/2020	1.06	1.19
38	09/13/2020 - 09/19/2020	1.06	1.19
39	09/20/2020 - 09/26/2020	1.05	1.18
40	09/27/2020 - 10/03/2020	1.03	1.16
41	10/04/2020 - 10/10/2020	1.02	1.15
42	10/11/2020 - 10/17/2020	1.00	1.12
43	10/18/2020 - 10/24/2020	1.00	1.12
44	10/25/2020 - 10/31/2020	1.00	1.12
45	11/01/2020 - 11/07/2020	1.00	1.12
46	11/08/2020 - 11/14/2020	1.00	1.12
47	11/15/2020 - 11/21/2020	1.00	1.12
48	11/22/2020 - 11/28/2020	1.00	1.12
49	11/29/2020 - 12/05/2020	0.99	1.11
50	12/06/2020 - 12/12/2020	0.99	1.11
51	12/13/2020 - 12/19/2020	0.98	1.10
52	12/20/2020 - 12/26/2020	0.92	1.03
53	12/27/2020 - 12/31/2020	0.86	0.97

\* PEAK SEASON

27-FEB-2021 10:29:56

830UPD

1\_1700\_PKSEASON.TXT



**APPENDIX**  
FDOT HISTORICAL COUNTS



FLORIDA DEPARTMENT OF TRANSPORTATION  
TRANSPORTATION STATISTICS OFFICE  
2020 HISTORICAL AADT REPORT

COUNTY: 17 - SARASOTA

SITE: 0028 - SR 789, AT MANATEE/SARASOTA CO LINE LONGBOAT KEY

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
----	-----		-----		-----	-----	-----	-----
2020	11900 C	N	5800	S	6100	9.00	51.80	3.50
2019	9300 C	N	4700	S	4600	9.00	52.00	5.60
2018	12400 C	N	6200	S	6200	9.00	52.30	3.20
2017	11700 C	N	5800	S	5900	9.00	52.30	2.70
2016	8500 C	N	4300	S	4200	9.00	52.60	4.70
2015	9200 C	N	4600	S	4600	9.00	52.30	5.10
2014	10400 C	N	5200	S	5200	9.00	52.10	3.60
2013	10000 F	N	5000	S	5000	9.00	52.00	3.20
2012	10000 C	N	5000	S	5000	9.00	51.80	3.20
2011	8600 F	N	4300	S	4300	9.00	52.30	5.30
2010	8600 C	N	4300	S	4300	10.80	51.78	5.30
2009	11000 C	N	5500	S	5500	10.76	53.10	3.60
2008	8600 C	N	4300	S	4300	10.84	51.92	4.80
2007	10300 C	N	5100	S	5200	11.00	52.45	3.90
2006	9500 C	N	4800	S	4700	10.30	53.57	4.70
2005	9500 C	N	4800	S	4700	10.50	52.90	2.20

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN  
\*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES



FLORIDA DEPARTMENT OF TRANSPORTATION  
TRANSPORTATION STATISTICS OFFICE  
2020 HISTORICAL AADT REPORT

COUNTY: 17 - SARASOTA

SITE: 0039 - SR 789, 0.1 MI N OF NORTH END OF CLUB RD, LONGBOAT

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
----	-----		-----		-----	-----	-----	-----
2020	16400 C	N	8100	S	8300	9.00	51.80	3.50
2019	13600 C	N	6900	S	6700	9.00	52.00	5.10
2018	17500 C	N	8800	S	8700	9.00	52.30	3.50
2017	17000 C	N	8600	S	8400	9.00	52.30	3.20
2016	12800 C	N	6500	S	6300	9.00	52.60	7.50
2015	13100 C	N	6600	S	6500	9.00	52.30	4.60
2014	15100 C	N	7600	S	7500	9.00	52.10	3.00
2013	15400 F	N	7700	S	7700	9.00	52.00	3.70
2012	15400 C	N	7700	S	7700	9.00	51.80	3.70
2011	11800 F	N	5900	S	5900	9.00	52.30	4.50
2010	11800 C	N	5900	S	5900	10.80	51.78	4.50
2009	11100 C	N	5600	S	5500	10.76	53.10	4.70
2008	12400 C	N	6200	S	6200	10.84	51.92	5.00
2007	15400 C	N	7700	S	7700	11.00	52.45	3.20
2006	14100 C	N	7100	S	7000	10.30	53.57	3.90
2005	12600 C	N	6300	S	6300	10.50	52.90	4.80

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN  
\*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES



# **APPENDIX**

## INTERSECTION ANALYSIS






HCM 6th TWSC  
1: Gulf of Mexico Dr & Driveway A

03/10/2022

Intersection

Int Delay, s/veh 0.8

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	21	14	434	36	24	489
Future Vol, veh/h	21	14	434	36	24	489
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	14	447	37	25	504

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	1020	466	0
Stage 1	466	-	-
Stage 2	554	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	262	597	-
Stage 1	632	-	-
Stage 2	575	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	254	597	-
Mov Cap-2 Maneuver	254	-	-
Stage 1	632	-	-
Stage 2	557	-	-

Approach	WB	NB	SB
HCM Control Delay, s	17.2	0	0.4
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	330	1079
HCM Lane V/C Ratio	-	-	0.109	0.023
HCM Control Delay (s)	-	-	17.2	8.4
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0.4	0.1






HCM 6th TWSC  
1: Gulf of Mexico Dr & Driveway A

03/10/2022

Intersection

Int Delay, s/veh 1.4

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	36	24	606	31	20	628
Future Vol, veh/h	36	24	606	31	20	628
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	37	25	625	32	21	647

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	1330	641	0
Stage 1	641	-	-
Stage 2	689	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	171	475	-
Stage 1	525	-	-
Stage 2	498	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	165	475	-
Mov Cap-2 Maneuver	165	-	-
Stage 1	525	-	-
Stage 2	481	-	-

Approach	WB	NB	SB
HCM Control Delay, s	27.2	0	0.3
HCM LOS	D		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	223	931
HCM Lane V/C Ratio	-	-	0.277	0.022
HCM Control Delay (s)	-	-	27.2	9
HCM Lane LOS	-	-	D	A
HCM 95th %tile Q(veh)	-	-	1.1	0.1



**APPENDIX**  
TURN LANE WARRANTS



## When Not to Consider Exclusive Right-Turn Lanes

- Dense or built-out corridors with limited space
- Right-turn lane that would negatively impact pedestrians or bicyclists
- Vehicular movements from driveways or median openings that cross the right-turn lane resulting in multiple threat crashes
- Context classifications C2T, C4, C5, or C6

## When Exclusive Right-Turn Lanes are Beneficial

There are instances when adding an exclusive right-turn lane for unsignalized driveways are beneficial to traffic operations and safety. **Table 27** provides some guidance for this situation based on the speed limit of the roadway and how many right turns occur per hour. Locations where the Auto and Truck Modal Emphasis is "High" may be appropriate for consideration of Exclusive Right Turn Lanes.

**Table 27 – Recommended Guidelines for Exclusive Right-Turn Lanes to Unsignalized Driveway<sup>10</sup>**

Roadway Posted Speed Limit	Number of Right Turns Per Hour
45 mph or less	80 – 125 <sup>1</sup>
Over 45 mph	35 – 55 <sup>2</sup>
Note: A posted speed limit of 45 mph may be used with these thresholds if the operating speeds are known to be over 45 mph during the time of peak right turn demand.	
Note on traffic projections: Projecting turning volumes is, at best, a knowledgeable estimate. Keep this in mind especially if the projections of right turns are close to meeting the guidelines. In that case, consider requiring the turn lane.	
<sup>1</sup> The lower threshold of 80 right-turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).	
<sup>2</sup> The lower threshold of 35 right-turn vehicles per hour would be most appropriately used on higher volume two-lane roadways where lateral movement is restricted. The 55 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with large entry radius (50 feet or greater).	

Source: NCHRP Report 420 (Impacts of Access Management Techniques)

These recommendations are primarily based on the research done in NCHRP Report 420, Impacts of Access Management Techniques, Chapter 4 – Unsignalized Access Spacing (Technique 1B), and Use of Speed Differential as a Measure to Evaluate the Need for Right-Turn Deceleration Lane at Unsignalized Intersections.

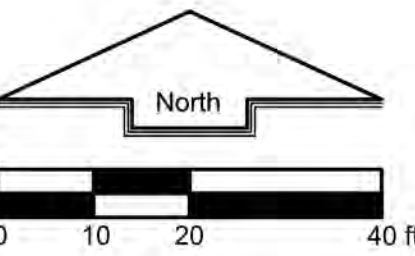
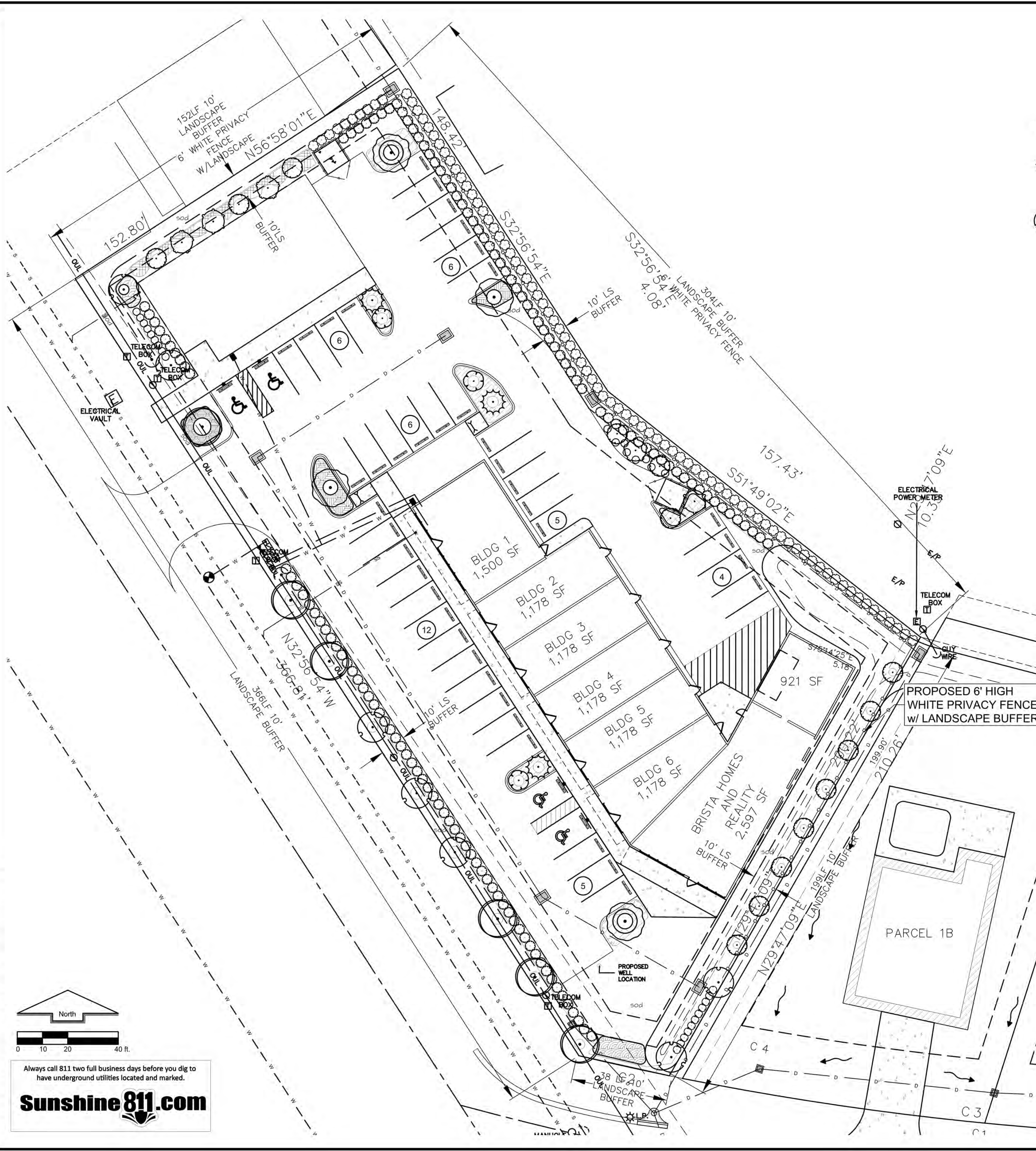
In the *NCHRP Report 420*, the observed high-speed roads, 30 to 40 right-turn vehicles per hour caused evasive maneuvers on 5 - 10 percent of the following through vehicles. For lower speed roadways, 80 to 110 right-turn vehicles caused 15 - 20 percent of the following through vehicles to make evasive maneuvers. The choice of acceptable percentages of through vehicles impacted is a decision based on reasonable expectations of the different roadways.

In this study, by modeling speed differentials, a better understanding of the impacts of through volume and driveway radius was discovered.

<sup>10</sup> May not be appropriate for signalized locations where signal phasing plays an important role in determining the need for right turn lanes.



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Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	QV	4	Quercus virginiana / Southern Live Oak	B & B	2"Cal	10' Ht.	5' ct., 6' spd., single leader, Native, drought tolerant
PALMS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	SS15	14	Sabal palmetto / Cabbage Palmetto	B & B	N/A	15' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	SP18	3	Sabal palmetto / Cabbage Palmetto	B & B	N/A	18' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	SS20	2	Sabal palmetto / Cabbage Palmetto	B & B	N/A	20' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	WB	3	Wodyetia bifurcata / Foxtail Palm	B & B			5'gw
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	CS2	6	Conocarpus erectus sericeus / Silver Buttonwood	B & B	1.5"Cal	6' Ht.	4' spd, MLT
	CW	7	Cordia alliodora 'White Geiger' / Anacahuita	45 gal	1.5"Cal	6' Ht.	4' spd, Single leader
	LI	3	Lagerstroemia indica / Crape Myrtle	B & B	MLT	8' Ht.	4' spd, MLT, 5' spread
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	MC2	17	Muhlenbergia capillaris / Pink Muhly Grass	3 gal			Full, Native
	NC	87	Nerium oleander 'Calypso' / Calypso Oleander	3 gal			36"ht, 4' oc
	IG	132	Scaveola plumetia / Inkberry	3 gal			24" ht, 18" spd
	VA	11	Viburnum odoratissimum awabuki / Awabuki Viburnum	25 gal			24" spd, 6' ht
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	IS	15	Ilex vomitoria 'Schillings' / Schillings Yaupon Holly	3 ga.			30" o.c. 14"ht, 12" spd, Native, drought tolerant
	ND	42	Nerium oleander 'Dwarf' / Dwarf Oleander	3 ga.			36" o.c.
	SR	12	Serenca repens / Saw Palmetto	3 gal			36" o.c.
	TF2	38	Tripsacum dactyloides / Fakahatchee Grass	3 ga.			30" o.c. Full, Native
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	JP	39	Juniperus chinensis 'Parsoni' / Parsoni Juniper	3 ga.			30" o.c. 10"ht, 14" spd, drought tolerant
	MC	37	Muhlenbergia capillaris / Pink Muhly Grass	3 ga.			36" o.c. Full, Native
	TF	50	Tripsacum dactyloides / Fakahatchee Grass	3 ga.			36" o.c. full, native

### LANDSCAPE NOTES:

- In the event of variation between quantities shown of the plant list and the plans, the plans shall control. Improvisations made by the Landscape Contractor shall be no cause for additional costs to the owner. Sod, mulch, and topsoil quantity takeoffs shall be the responsibility of the contractor.
- No substitutions shall be made without the written consent of the Owner or Landscape Architect.
- Fertilizer shall be applied to all new planting areas at a rate of 1 1/4 lbs. actual nitrogen, 1 1/4 lbs. actual phosphorus, and 1 1/4 lbs. actual potash per 1,000 sq. ft. of planting area. The fertilizer shall also contain all minor trace elements suitable for the area where it is to be used.
- All shrub bed soil mixtures shall contain 2/3 best of on-site topsoil and 1/3 peat, with 8 oz. of super-absorbent mixed in with each cubic yard. Shrub beds shall be uniformly amended to a depth of 12". Ph levels within planting beds shall be between 6.5 and 7.5 following plant installation. It shall be the Landscape Contractor's responsibility to achieve the proper ph level.
- Topsoil material, when called for on the plans, shall be free of sticks, stones larger than 1" dia., plants, or any other debris which would be toxic or otherwise harmful to plant growth. Topsoil should be fertile, friable, and of a naturally loamy character.
- The Landscape Contractor shall take all necessary precautions to protect all existing structures on the site and shall be held responsible for any damage caused by his operations.
- It shall be the Landscape Contractor's financial responsibility to prevent plants and trees from falling or being blown over, and to replace all plants which are damaged at no additional cost to the owner for sustained winds of less than 65 MPH.
- Maintenance shall begin after each plant has been installed and shall continue until final acceptance by the Landscape Architect. Maintenance shall include pruning, mulching, weeding, replacement of sick or dead plants, watering (including cost of equipment such as a water-truck) and any other care which is needed for the proper growth of the plant material.
- Excess waste material shall be removed daily from the site.
- All plant materials used shall conform to the standards for Florida No. 1 or better as described in "Grades and Standards for Nursery Plants", State of Florida, Department of Agriculture and Consumer Services, Division of Plant Industry, 2015 edition or equal thereto as approved by the Landscape Architect.
- All shrub beds and hedges shall be top-dressed with 2" of washed shell mulch unless otherwise stated on the plans or plant schedule. Mulch shall be pulled back 4" from tree trunks and reduced to one inch depth next to woody shrubs.
- It shall be the responsibility of the Landscape Contractor to coordinate activities with other contractors on the job site.
- All plant materials shall be fully guaranteed for a period of one (1) year following final acceptance by the owner.
- Planting beds for hedges shall be 3' wide unless otherwise specified.
- Unit prices for all plant material shall be provided to the Landscape Architect or Owner upon request.
- All landscape materials installed within the public right of way shall be installed to meet all State and Local codes and regulations.
- The Landscape contractor shall not include sod for retention areas into bid (ie. Lake banks and dry retention ponds). This work shall be the responsibility of the general contractor. Sodding of swales shall be the landscape contractors responsibility. Landscape contractor shall use Bahia sod for all other areas unless otherwise specified on the plans.
- Contractor shall install an automatic irrigation system which provides 100% coverage of all landscaped areas, including the tree/shrub buffer as shown on plan. All irrigation shall use the lowest quality water available which adequately and safely meets the needs of the system. Storm water reuse, reclaimed water use, grey water irrigation systems and/or shallow wells shall not be used. The use of potable water for irrigation will not be allowed.
- All B & B or Field Grown material (except palms) shall be obtained from "Roots Plus" certified nurseries.
- All trimming of existing trees shall be conducted or overseen by a certified arborist. Contractor shall contact sunshine state one call of florida system at 811
- 1-800-432-4770 for the location of underground utilities/facilities. Contractor shall verify the exact locations of said facilities prior to excavation and shall assume any and all liability for damages which may occur due to the contractor's failure to locate and preserve said facilities.
- Removal of all nuisance, exotic plant species from upland portions of the site shall be completed prior to the first Certificate of Occupancy issuance, and continue to be removed during the life of the project in accordance with LDC Section 701.4 (715.4). Once nuisance and exotic plant species are removed, additional plantings may be required in areas without vegetation cover to meet requirements in Section 701 of the LDC.
- Plantings shall maintain minimum separation from water meters and There shall be 3' minimum clearance from landscape plants from the edge of the meter slab for meters less than 3" and 6' for meters larger than 3", and for fire line backflow prevention assemblies.
- There shall be 10' min. clearance between trees and meter assemblies, meter assembly slabs, and fire line backflow prevention assemblies.
- There must be a clearance of 7.5' minimum from the front and both sides, and 4' to the rear of all fire hydrants and above grade obstructions including posts, fences, trees, etc. per the Florida Fire Prevention Code.
- Street side of meter assemblies and fire line backflow prevention assemblies shall remain open and free of landscaping.
- Trees shall not be planted or located within 10 feet of any potable water main, reclaimed water main, sanitary force main, gravity sanitary sewer main, sanitary cleanouts, or potable/reclaimed / force main appurtenances such as meters, hydrants, backflow prevention assemblies, etc.
- Roadway buffers are not located in potential Right of Way reservation setbacks.
- Trees and shrubs shall not be placed within the middle two thirds of any drainage swale or within 3' measured horizontally from the centerline of the swale, whichever is greater.



Landscape Architecture | Land Planning | Environmental Consulting | Arborist | Permitting | Project Management | Irrigation Design

323 Tenth Avenue West, Suite 102  
Palmetto, Florida 34221  
Ph. 941.981.3989 | Call. 941.713.0782  
email: bob@gauseandassociates.com  
LC26000572 | ISA# FL5334A1 AICP #061988

DESIGNED: RG/VK  
DATE: JANUARY 2022  
DRAWN: RG/VK  
JOB NO.: 22-1386  
SCALE: 1"= 20'

REVISIONS:
1
2
3
4
5
6
7
8

BRISTA HOMES PLAZA

LOCATED AT:  
SECTION 7  
TOWNSHIP 36 SOUTH  
RANGE 17 EAST  
TOWN OF LONGBOAT KEY, FLORIDA

PRINTED COPIES OF ELECTRONICALLY SIGNED SEALED PLANS ARE NOT VALID WITHOUT A RAISED SEAL.



**FINAL  
LANDSCAPE  
PLAN, NOTES**

**L.1**



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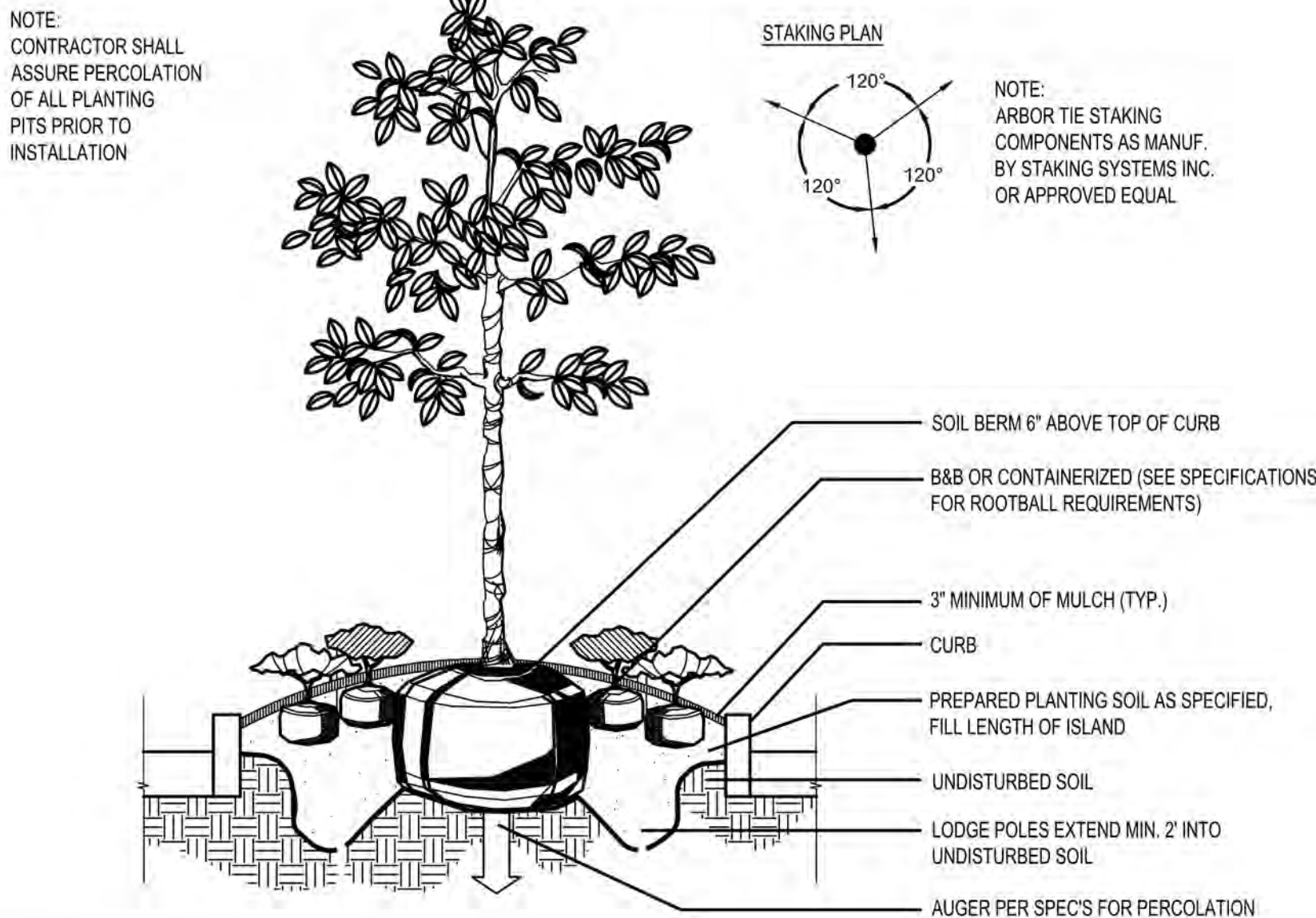
REVISIONS:	
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LOCATED AT:  
  
SECTION 7  
TOWNSHIP 36 SOUTH  
RANGE 17 EAST  
TOWN OF LONGBOAT KEY, FLORIDA

PRINTED COPIES OF ELECTRONICALLY SIGN/SEALED  
PLANS ARE NOT VALID WITHOUT A RAISED SEAL.

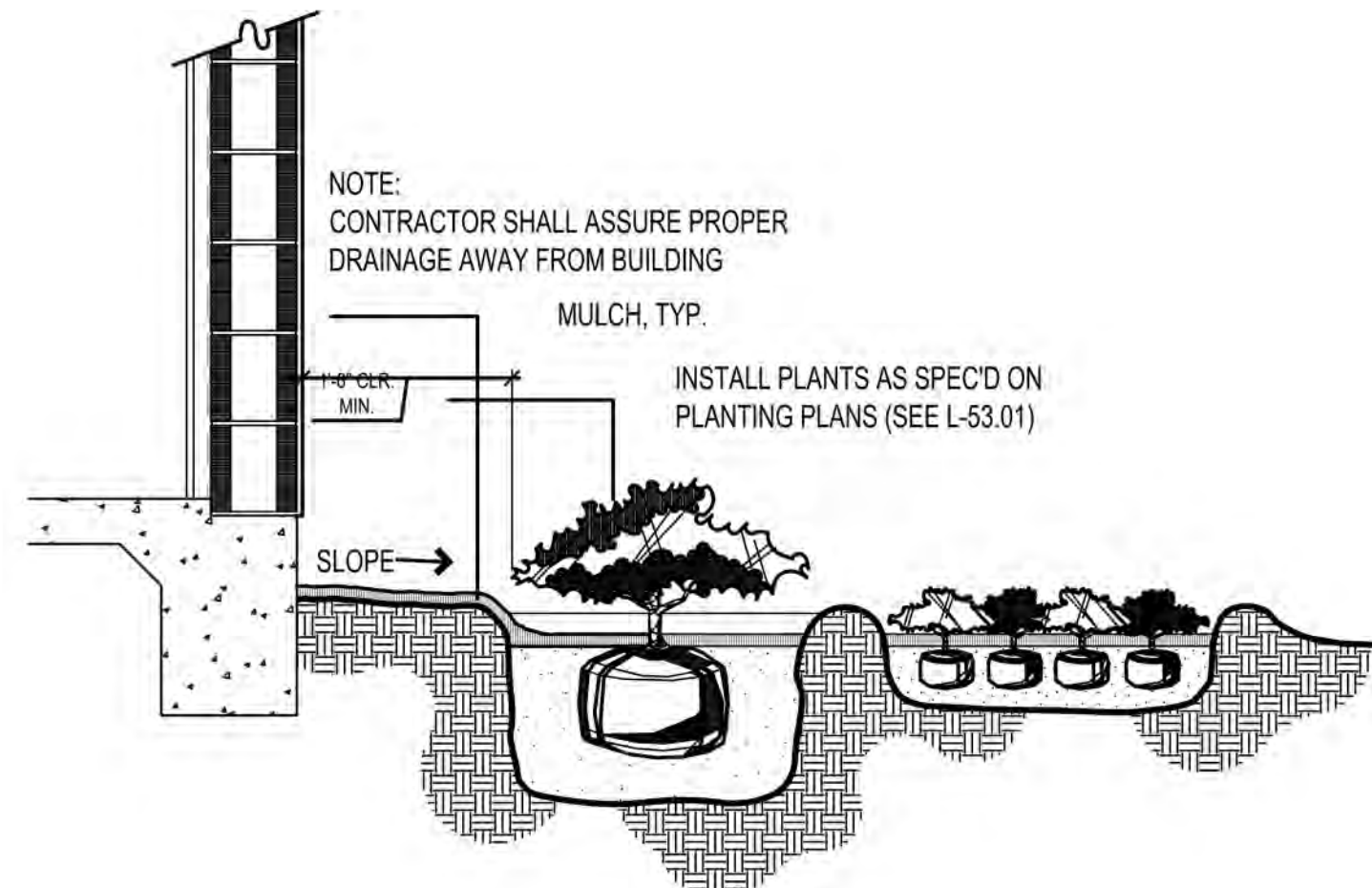


**FINAL  
LANDSCAPE  
DETAILS**



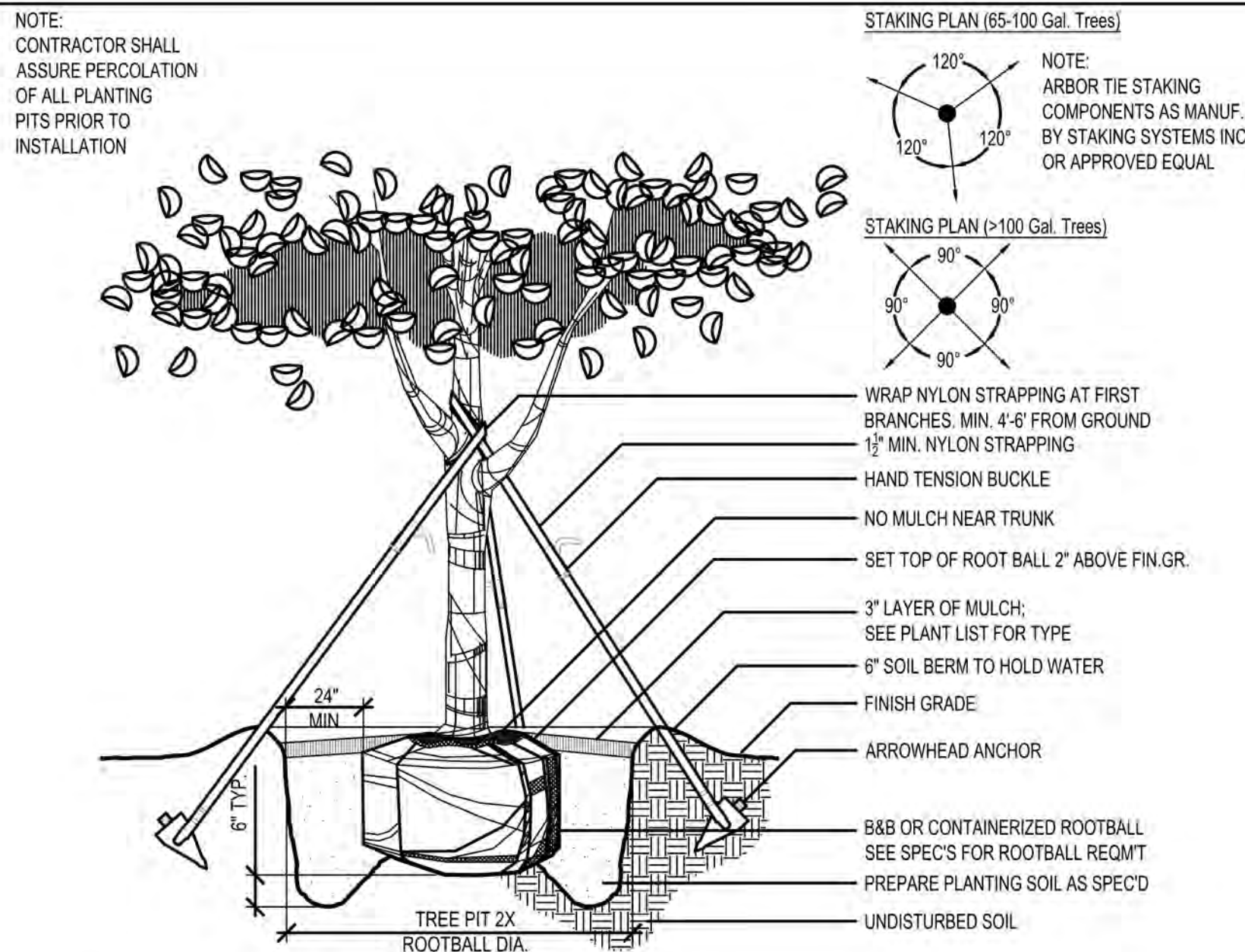
1 Curbed Island Plantings

Scale: N.T.S.



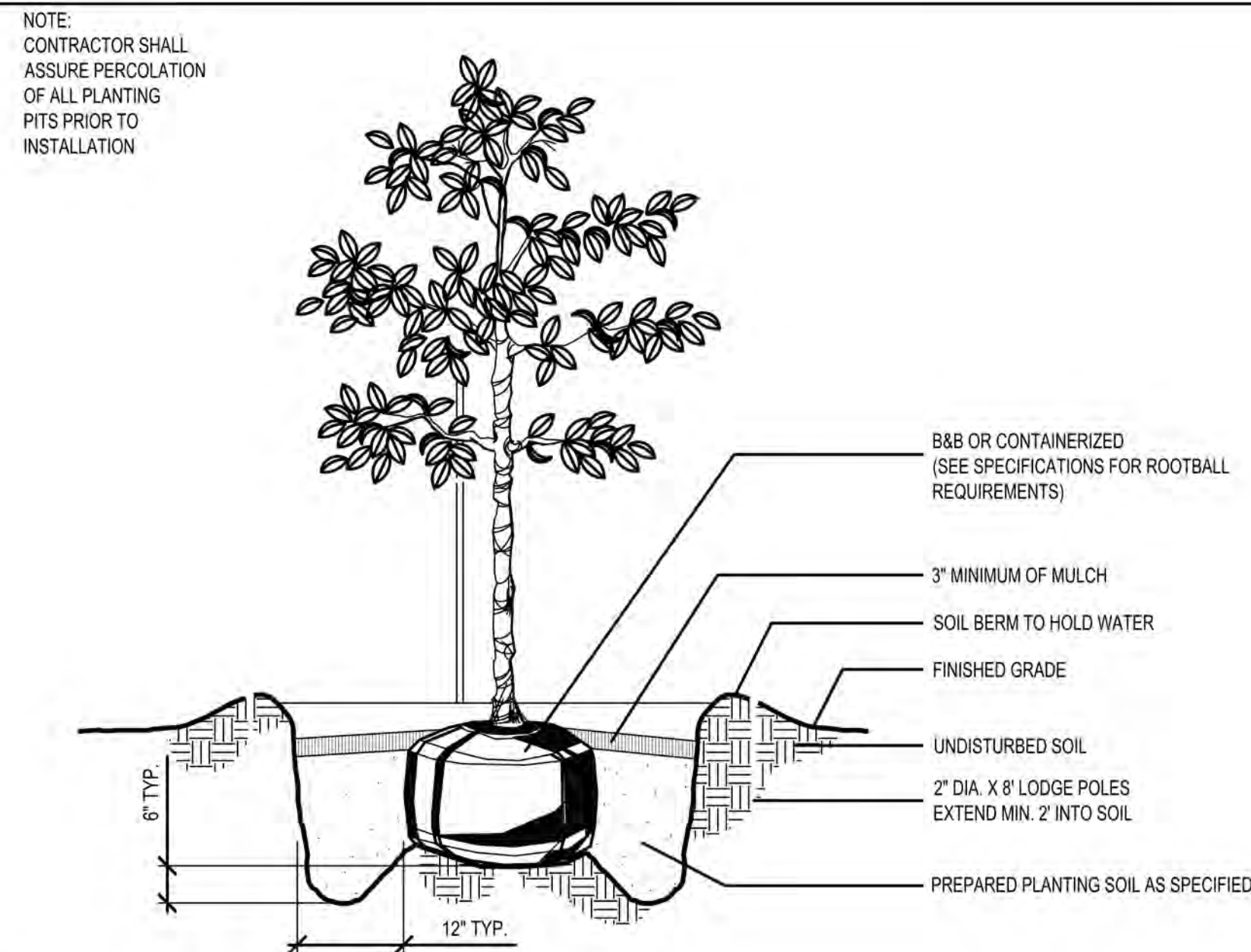
2 Foundation Planting

Scale: N.T.S.



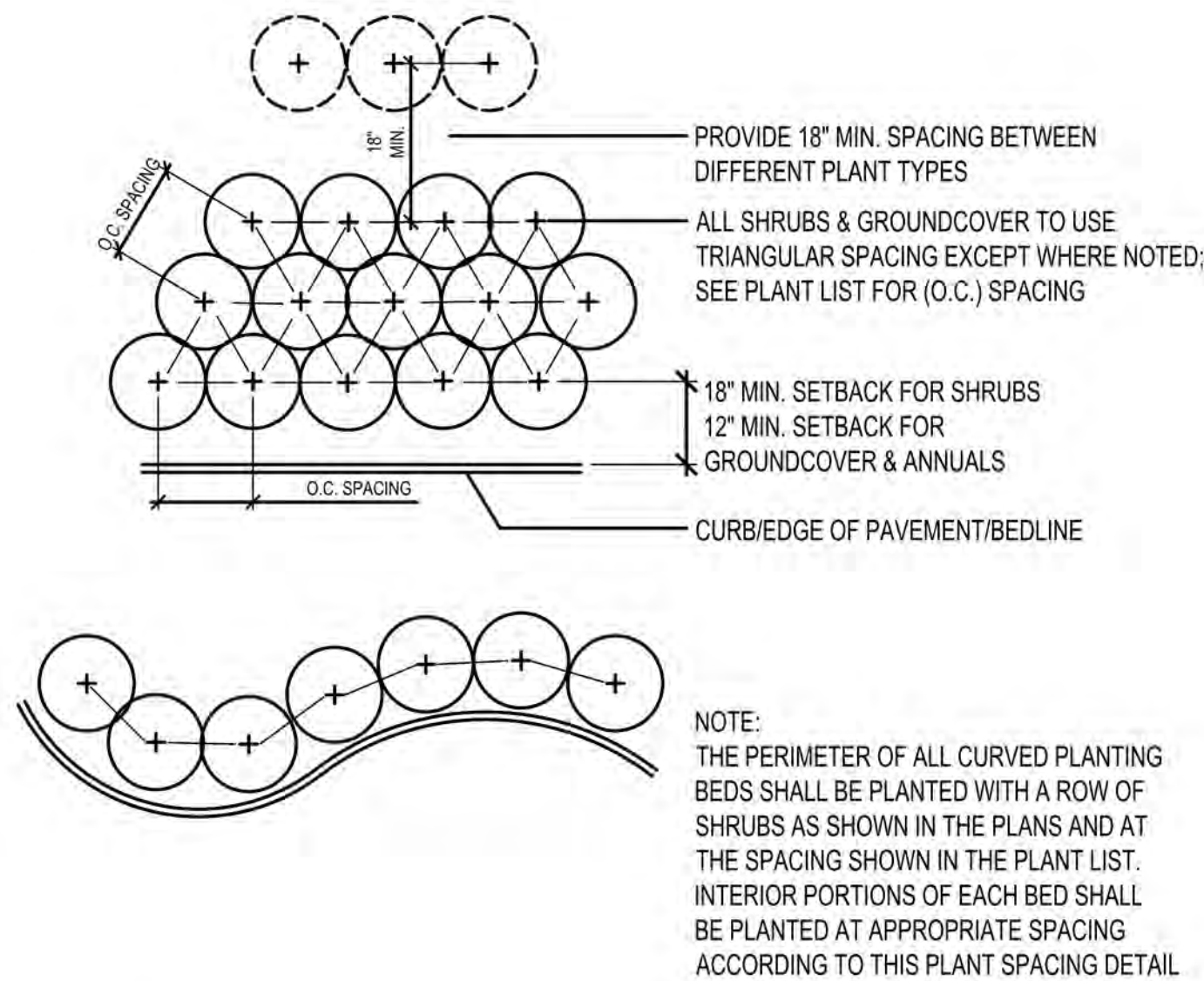
3 Tree Planting (65-100 Gal.)

Scale: N.T.S.



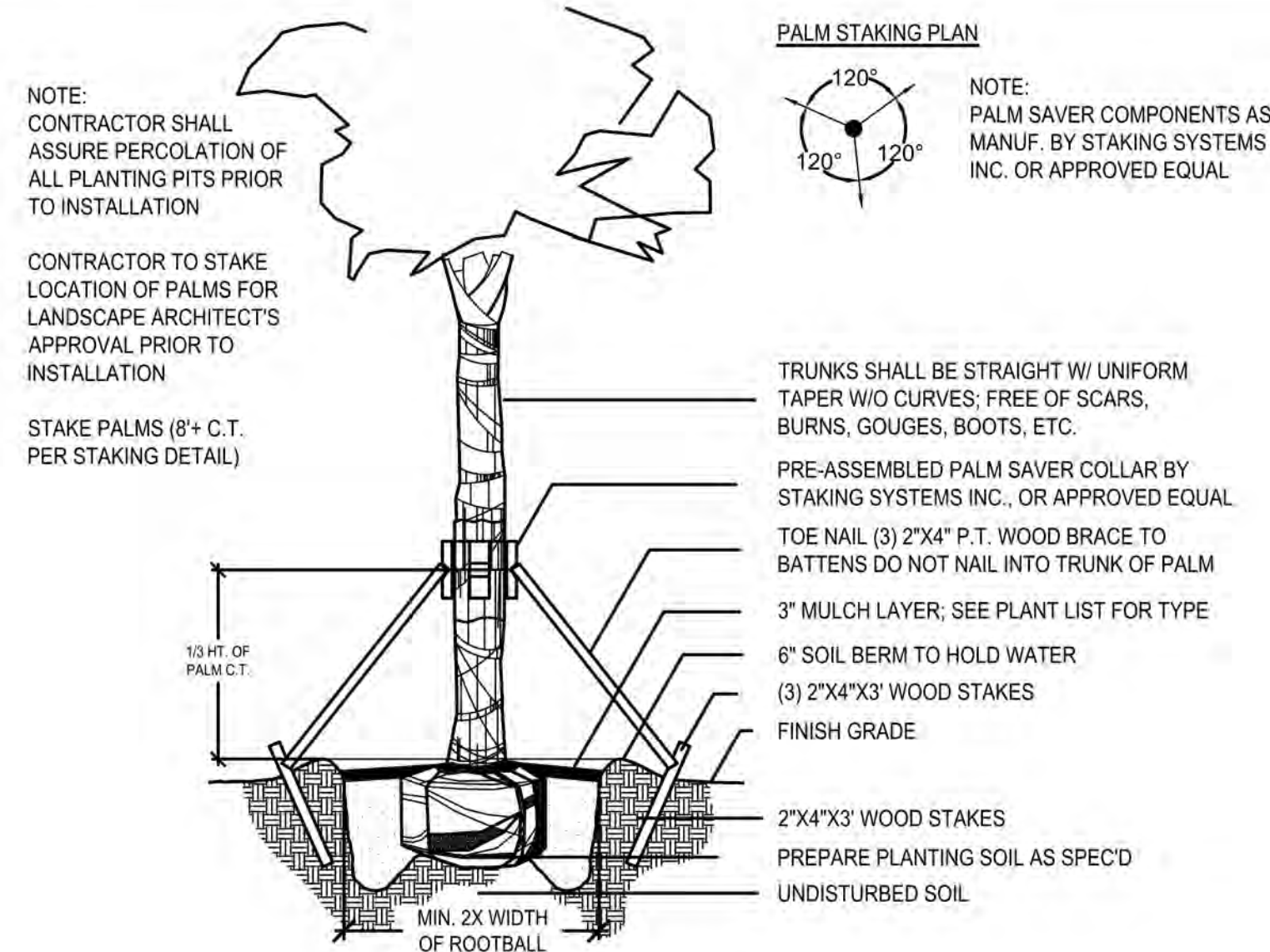
4 Tree Planting (15-45 Gal.)

Scale: N.T.S.



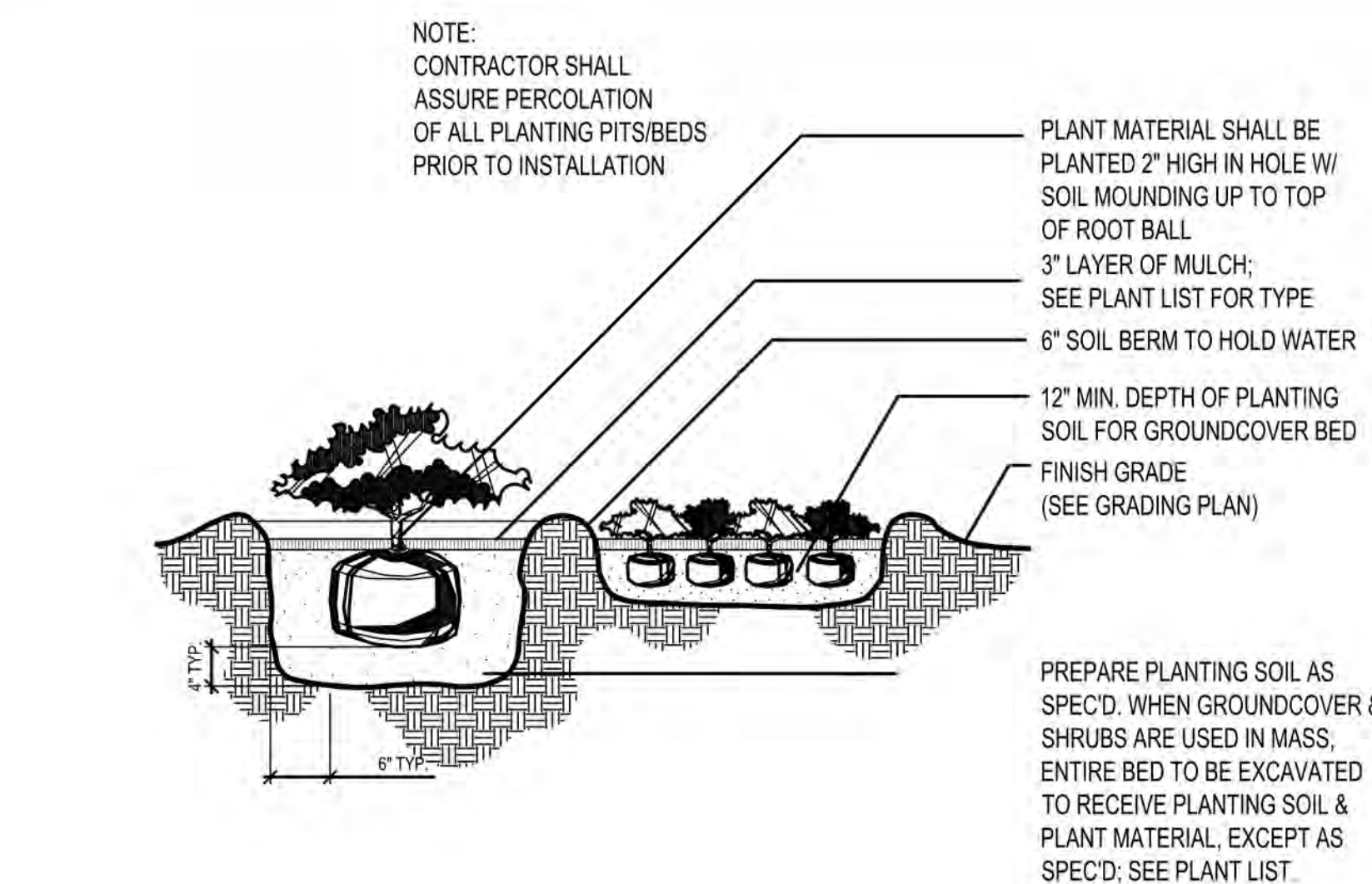
5 Shrub and Groundcover Spacing

Scale: N.T.S.



6 Sabal Palm Planting

Scale: N.T.S.



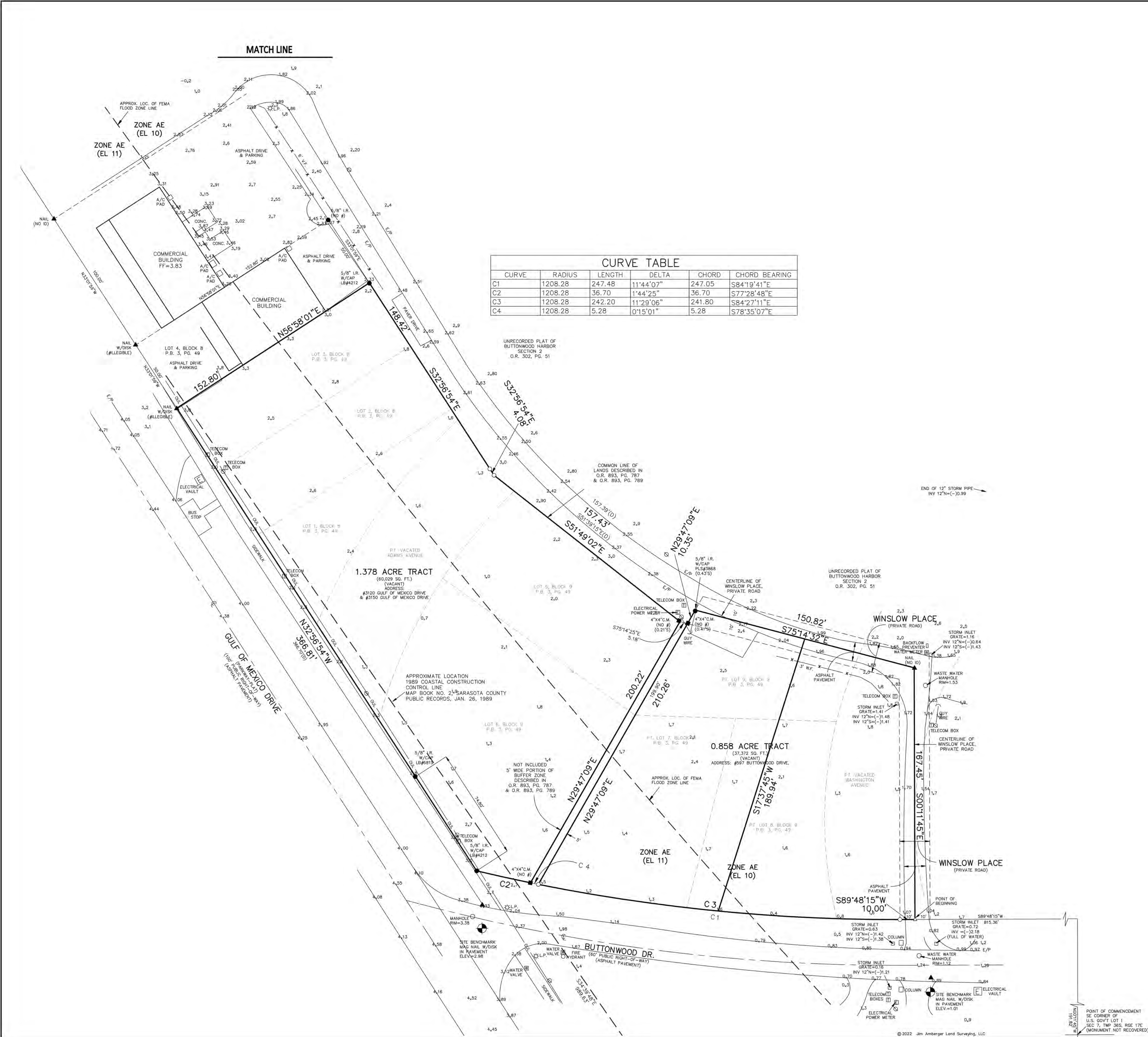
7 Shrub & Groundcover Planting

Scale: N.T.S.

Always call 811 two full business days before you dig to  
have underground utilities located and marked.







CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C1	1208.28	247.48	11°44'07"	247.05	S84°19'41"E
C2	1208.28	36.70	1°44'25"	36.70	S77°28'48"E
C3	1208.28	242.20	11°29'06"	241.80	S84°27'11"E
C4	1208.28	5.28	0°15'01"	5.28	S78°35'07"E

**LEGAL DESCRIPTION:**

COMMENCE AT THE 4" X 4" CONCRETE PERMANENT REFERENCE MONUMENT OF LAND SURVEYOR #1195 LOCATED AT THE SOUTHEAST CORNER OF U.S. GOVERNMENT LOT 1, SECTION 7, T36S-R17E, LONGBOAT KEY, SARASOTA COUNTY, FLORIDA; THENCE N 0°11'45" W, 191.82'; THENCE S 89°48'15" W, 815.36' TO THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF BUTTWOOD DRIVE AND THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, AS SHOWN ON THE UNRECORDED PLAT OF BUTTWOOD HARBOUR SECTION NO. 2, O.R. BOOK 302, PAGE 51, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE CONTINUE S 89°48'15" W, ALONG THE NORTH RIGHT OF WAY LINE OF SAID BUTTWOOD DRIVE, 10.00' TO A 4" X 4" CONCRETE MONUMENT ON THE WEST RIGHT OF WAY LINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTWOOD DRIVE ALONG A NONTANGENT CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE 11°44'07", ARC LENGTH 247.48', CHORD LENGTH 247.05', CHORD BEARING N 84°19'08" W, TO A 4" X 4" CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF SAID BUTTWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTWOOD DRIVE ALONG SAID CURVE TO THE RIGHT OF RADIUS 1208.28', CENTRAL ANGLE OF 1°44'25", ARC LENGTH 36.70', CHORD LENGTH 36.70', CHORD BEARING N 77°28'48" W, TO THE NORTHEASTLY RIGHT OF WAY LINE OF THE 100' IN WIDTH GULF OF MEXICO DRIVE; THENCE N 32°56'54" W, ALONG SAID NORTHEASTLY RIGHT OF WAY LINE 366.70' TO THE NORTHWESTERLY LINE OF LOT 3, BLOCK 8, REVISED PLAT OF BLOCKS 1, 2, 3, 5, 10, 11, 12, 14, 15 & 16, LONGBOAT SHORES, PLAT BOOK 3, PAGE 49, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N 56°58'01" E, ALONG SAID NORTHWESTERLY LINE OF LOT 3, WHICH LINE PASSES ALONG THE SOUTHEASTLY WALL OF THE EXISTING MASONRY BUILDING SITUATE ON LOT 4 OF SAID SUBDIVISION, 152.80' TO THE NORTHERLY CORNER OF SAID LOT 3, LYING ON THE SOUTHWESTERLY LINE OF SAID BUTTWOOD HARBOUR SECTION NO. 2; THENCE S 32°56'54" E ALONG SAID SOUTHWESTERLY LINE OF BUTTWOOD HARBOUR SECTION NO. 2, 148.42' TO A 4" X 4" CONCRETE MONUMENT ON THE CORNER OF SAID SUBDIVISION; THENCE CONTINUE S 32°56'54" E ALONG THE BOUNDARY COMMON TO THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 789, ET SEQ., AND THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 789, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, 4.08'; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 51°39'15" E, 157.39' TO A 4" X 4" CONCRETE MONUMENT AT THE CORNER OF BUTTWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 75°14'25" E, 5.18' TO THE WESTERLY CORNER OF THE PRIVATE ROAD RIGHT OF WAY KNOWN AS WINSLOW PLACE; THENCE N 29°47'09" E ALONG THE SOUTHEASTLY LINE OF THE BUFFER ZONE AND THE SOUTHEASTLY LINE OF LOT 6 AS SHOWN ON THE UNRECORDED PLAT OF BUTTWOOD PLACE SECTION NO. 2, 10.35'; THENCE S 75°14'32" E, ALONG THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, 150.82'; THENCE S 0°11'45" E, ALONG THE CENTERLINE OF SAID WINSLOW PLACE, 167.45' TO THE POINT OF BEGINNING.

**LESS THEREFROM ANY PORTIONS OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 893, PAGE 789 LYING WITHIN THE ABOVE DESCRIBED PARCEL**

**SURVEYOR'S REPORT:**

1. DATE OF MOST RECENT FIELD SURVEY: 2-4-2022.
2. IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO, LANDSCAPING, UNDERGROUND UTILITIES AND FOUNDATIONS NOT LOCATED OR SHOWN.
3. BEARINGS BASED ON THE NORTHEASTLY R/W LINE OF GULF OF MEXICO DRIVE HAVING A BEARING OF N32°56'54"W PER DEED.
4. THIS SURVEY PERFORMED WITH RELIANCE UPON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 1056325.
5. COMMITMENT DATE: MARCH 26, 2021 AT 11:00 PM.
6. SUBJECT PROPERTY LOCATED IN FLOOD ZONE AE (EL 10 & 11), PER FMA MAP PANEL #2115100107 F, DATED 11-4-2016.
7. OWNERSHIP OF FENCES NOT DETERMINED BY SURVEYOR.
8. NO LOT LINE EASEMENTS NOTED ON RECORD PLAT.
9. ELEVATIONS BASED ON DNR MONUMENT RM-6 WITH A PUBLISHED ELEVATION OF 4.88. ELEVATIONS SHOWN HAVE BEEN CONVERTED TO NAVD 1988 DATUM USING CORPSSON 6 CONVERSION SOFTWARE.

**LEGEND AND ABBREVIATIONS:**

- E/P EDGE OF PAVEMENT
- (P) PLAT DIMENSION
- (M) MEASURED DIMENSION
- (D) DEED DIMENSION
- (C) CALCULATED DIMENSION
- O.R./PG. OFFICIAL RECORDS BOOK/PAGE
- D.B./PG. DEED BOOK/PAGE
- P.B./PG. PLAT BOOK/PAGE
- CL.F. CHAIN LINK FENCE
- W.F. WOOD FENCE
- V.F. VINYL FENCE
- O.U. OVERHEAD UTILITY LINE
- PRM PERMANENT REFERENCE MONUMENT
- PCP PERMANENT CONTROL POINT
- DAU DRAINAGE & UTILITY (EASEMENT)
- 14x5 INDICATES SPOT ELEVATION
- ESMT. EASEMENT
- PT. PORTION OF (LOT/BLOCK)
- FF. FLOOR ELEVATION
- R/W RIGHT-OF-WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- SEC. SECTION
- TWP. TOWNSHIP
- RGE. RANGE
- IRON ROD (I.R.) OR IRON PIPE (I.P.) FOUND
- CONCRETE MONUMENT (C.M.) FOUND
- 5/8" I.R. ROD SET W/CAP PSM#6333
- UTILITY POLE

**SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY TO:  
3150 GMD, LLC, A FLORIDA LIMITED LIABILITY COMPANY;  
BLOSSOM W. LEIBOWITZ AND DAVID LEIBOWITZ AS CO-TRUSTEES OF  
THE EDWARD R. LEIBOWITZ 2012 FAMILY TRUST;  
SRO PROPERTY LAW, PLLC  
AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;  
THAT THIS SURVEY WAS PREPARED UNDER MY DIRECTION AND  
SUPERVISION, THAT TO THE BEST OF MY KNOWLEDGE, IT IS A TRUE  
REPRESENTATION OF THE LANDS SHOWN HEREON AND THAT IT MEETS  
THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF  
FLORIDA, CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO  
SECTION 472.027, FLORIDA STATUTES.

JAMES B. AMBERGER DATE:  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA CERTIFICATE NO. 6333  
(NOT VALID WITHOUT SURVEYOR'S SIGNATURE  
AND EMBOSSED WITH SURVEYOR'S SEAL.)



**JIM AMBERGER**  
LAND SURVEYING, LLC  
1055 South Tamiami Trail, Suite 110-B  
Sarasota, FL 34236  
Phone (941) 955-6333  
bergerjim@bergerjim.net  
Surveying & Mapping Business Authorization #JB7849

**SHEET 1 OF 1**  
REV. 2-5-2022  
DATE: 6-28-2021  
JOB # 2021222  
DWG# E-21222  
DRAWN BY: JBA



No.	Drawing Title
FSP-1	Cover Sheet
FSP-2	General Notes
FSP-3	Existing Conditions and ESC Plan
FSP-4 - FSP-5	Erosion and Sediment Control Plan Details
FSP-6	Final Site Plan
FSP-7	Drainage and Grading Plan
FSP-8	Utilities Plan
FSP-9	Signage and Marking Plan
FSP-10	Cross Sections
FSP-11	Site Details
FSP-12 - FSP-13	Drainage and Grading Details
FSP-14	Water Details
FSP-15 - FSP-16	Sanitary Details
LS-1 - LS-2	Landscape Plan and Details

Final Site Plan and  
Construction Plan

For  
Brista Homes

Section 7, Township 36 South, Range 17 East  
Town of Longboat Key, Florida  
February 2022



Site Location Map



Owner/Applicant:  
*Brista Homes*  
*597 Buttonwood Drive*  
*Longboat Key, Florida 34240*

Engineer: Steve Shroyer, P.E.  
Shroyer Drapala Engineering, LLC  
1111 3rd Ave. W., Suite 210  
Bradenton, Florida 34205  
Phone (941) 746-4000

Surveyor: James B. Amberger  
Jim Amberger Land Surveying, LLC  
1055 South Tamiami Trail, Suite 110-B  
Sarasota, Florida 34236  
Phone (941) 955-6333

Architect: Justin King  
JKing Designs  
1383 5th St  
Sarasota, FL 34236  
Phone (941) 465-0036

Landscaping: Robert C. Gause  
Gause & Associates, Inc.  
323 10th Ave. W., Suite 102  
Palmetto, Florida 34221  
Phone (941) 713-0782

Brista Homes  
Submitted For:

Town of Longboat Key  
Approval

Legal Description:

COMMENCE AT THE 4" X 4" CONCRETE PERMANENT REFERENCE MONUMENT OF LAND SURVEYOR #1195 LOCATED AT THE SOUTHWEST CORNER OF U.S. GOVERNMENT LOT 1, SECTION 7 T36S-R17E, LONGBOAT KEY, SARASOTA COUNTY, FLORIDA; THENCE N 0°11'45" W, 191.82'; THENCE S 89°48'15" W, 815.36' TO THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE AND THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD HARBOUR SECTION NO. 2 O.R. BOOK 302, PAGE 51, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE CONTINUE S 89°48'15" W, ALONG THE NORTH RIGHT OF WAY LINE OF SAID SUTTONWOOD DRIVE, 10.00' TO A 4" X 4" CONCRETE MONUMENT ON THE WEST RIGHT OF WAY LINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG A NONTANGENT CURVE TO THE RIGHT OF RADIUS 1208.28' CENTRAL ANGLE 11°44'07", ARC LENGTH 247.48', CHORD LENGTH 247.05', CHORD BEARING N 84°13'08" W, TO A 4" X 4" CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF SAID BUTTONWOOD HARBOUR SECTION NO. 2; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE OF BUTTONWOOD DRIVE ALONG SAID CURVE TO THE RIGHT OF RADIUS 1208.28' CENTRAL ANGLE OF 1°44'25", ARC LENGTH 36.70', CHORD LENGTH 36.70', CHORD BEARING N 77°28'48W", TO THE NORTHEASTERLY RIGHT OF WAY LINE OF THE 100' IN WIDTH GULF OF MEXICO DRIVE; THENCE N 32°56'54" W, ALONG SAID NORTHEASTERLY RIGH OF WAY LINE 366.70' TO THE NORTHWESTERLY LINE OF LOT 3, BLOCK 8, REVISED PLAT OF BLOCKS 1, 2, 3, 5, 10, 11, 12, 14, 15 & 16, LONGBOAT SHORES, PLAT BOOK 3, PAGE 49, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE NO 56°58'01" E, ALONG SAID NORTHWESTERLY LINE OF LOT 3, WHICH LINE PASSES ALONG THE SOUTHEASTERLY WALL OF THE EXISTING MASONRY BUILDING SITUATE ON LOT 4 OF SIAD BUTTONWOOD HARBOUR SECTION NO. 2; THENCE S 32°56'54" E ALONG SAID SOUTHWESTERLY LINE OF BUTTONWOOD HARBOUR SECTION NO. 2, 148.42' TO A 4" X 4" CONCRETE MONUMENT ON THE CORNER OF SAID SUBDIVISION; THENCE CONTINUE S 32°56'54" E ALONG THE BOUNDARY COMMON TO THE LANDS DESCRIBED IN O.R. BOOK 893, PAGE 787, ET SEQ., AND THE LANDS DESCRIBED IN O.R. 893, PAGE 789, ET SEQ., PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, 4.08'; THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 51°39'15" E, 157.39' TO A 4" X 4" CONCRETE MONUEMTN AT THE CORNER OF BUTTONWOOD HARBOUR SECTION NO. 2 : THENCE CONTINUE ALONG SAID COMMON BOUNDARY S 75°14'25" E, 5.18' TO THE WESTERLY CORNER OF THE PRIVATE ROAD RIGHT OF WAY KNOWN AS WINSLOW PLACE; THENCE N 29°47'09" E ALONG THE SOUTHEASTERLY LINE OF THE BUFFER ZONE AND SOUTHEASTERLY LINE OF LOT 6 AS SHOWN ON THE UNRECORDED PLAT OF BUTTONWOOD PLACE SECTON NO. 2, 10.35'; THENCE S 75°14'32" E, ALONG THE CENTERLINE OF THE PRIVATE ROAD KNOWN AS WINSLOW PLACE, 150.82'; THENCE S 0°11'45" E, ALONG THE CENTERLINE OF SAID WINSLOW PLACE, 167.45" TO THE POINT OF THE BEGINNING.

LESS THEREFROM ANY PORTIONS OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 893, PAGE 789 LYING WITH IN THE ABOVE DESCRIBED PARCEL

Site Data

SITE ACREAGE:	1.38 AC.±
PROPOSED BUILDING AREA:	14,408 SF
MAXIMUM FLOOR AREA RATIO:	0.30
PROPOSED FLOOR AREA RATIO:	14,408/60,112 = 0.24

EXISTING ZONING:	C-1 (LIMITED COMMERCIAL)
FUTURE LAND USE:	CL
OPEN SPACE REQUIRED:	0.276 AC. (20%)
OPEN SPACE PROVIDED:	0.39 AC. (.28%)
MAX. BLDG. HEIGHT:	30 FT
FLOOD ZONE:	"AE10 & AE11" 12115C 0107 F, DATED NOVEMBER 04, 2016

Construction Schedule

START DATE:	SEPT 2022
END DATE:	JULY 2023
ALL BUILDING PERMITS WILL BE ISSUED PRIOR TO THE EXPIRATION OF THE CLOS OR FSP, WHICHEVER OCCURS FIRST.	

Setback and Buffer Requirements

SETBACKS:	
FRONT	20'
SIDE	15'
REAR	20'
PERIMETER BUFFER:	10'
MIN. ROADWAY BUFFER OPEN SPACE:	400.25' x 20' = 8,005 SF x 0.70 = 5,603 SF
ROADWAY BUFFER OPEN SPACE PROVIDED:	5,665 SF (71%)

Parking Data

GENERAL PARKING REQUIRED:	14,408/300 = 49 SPA. (4 ADA)
IF 4 DIFFERENT USES:	14,408/400 = 37 SPA. (3 ADA)
PROPOSED PARKING:	43 SPA. (4 ADA)
OFFICE = 1/300 SF, MEDICAL & DENTAL = 1/200 SF, RESTAURANTS = 1/150 SF	



Shroyer Drapala  
Engineering, LLC

P.O. Box 9282  
Bradenton, FL 34206

1111 3rd Ave. West Suite 210  
Bradenton, FL 34205



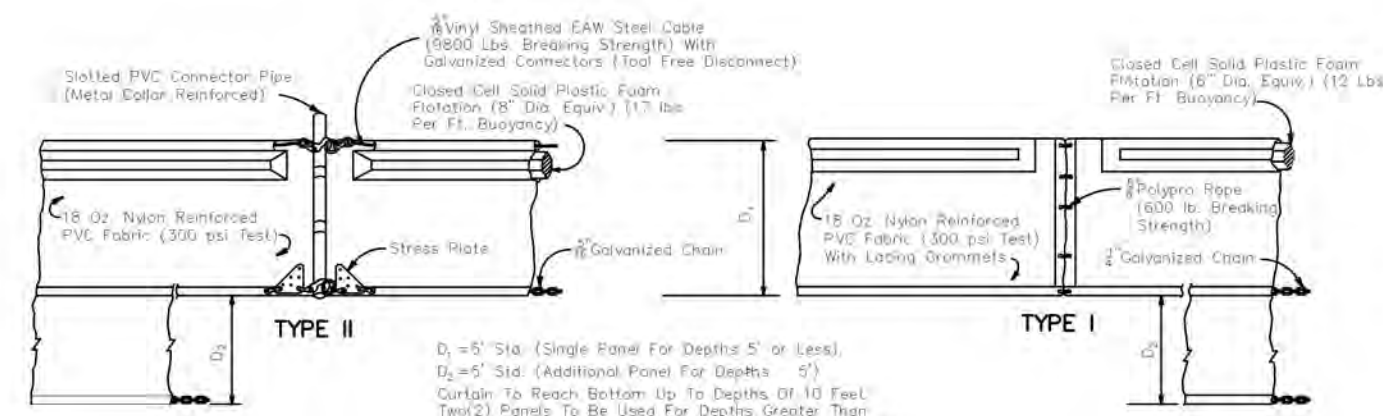




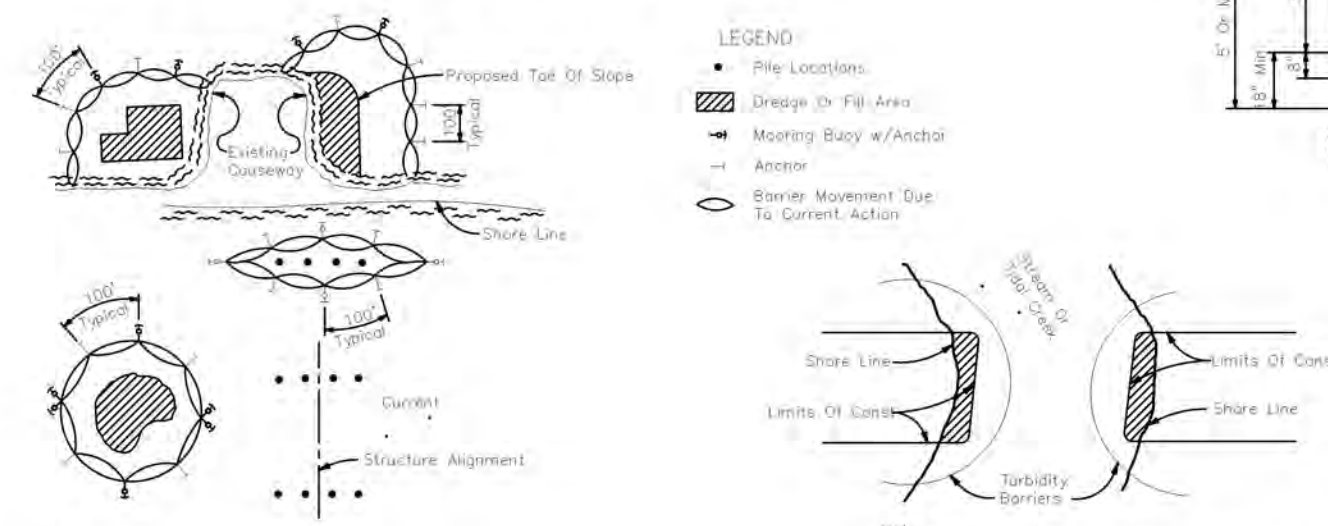




Submitted For:

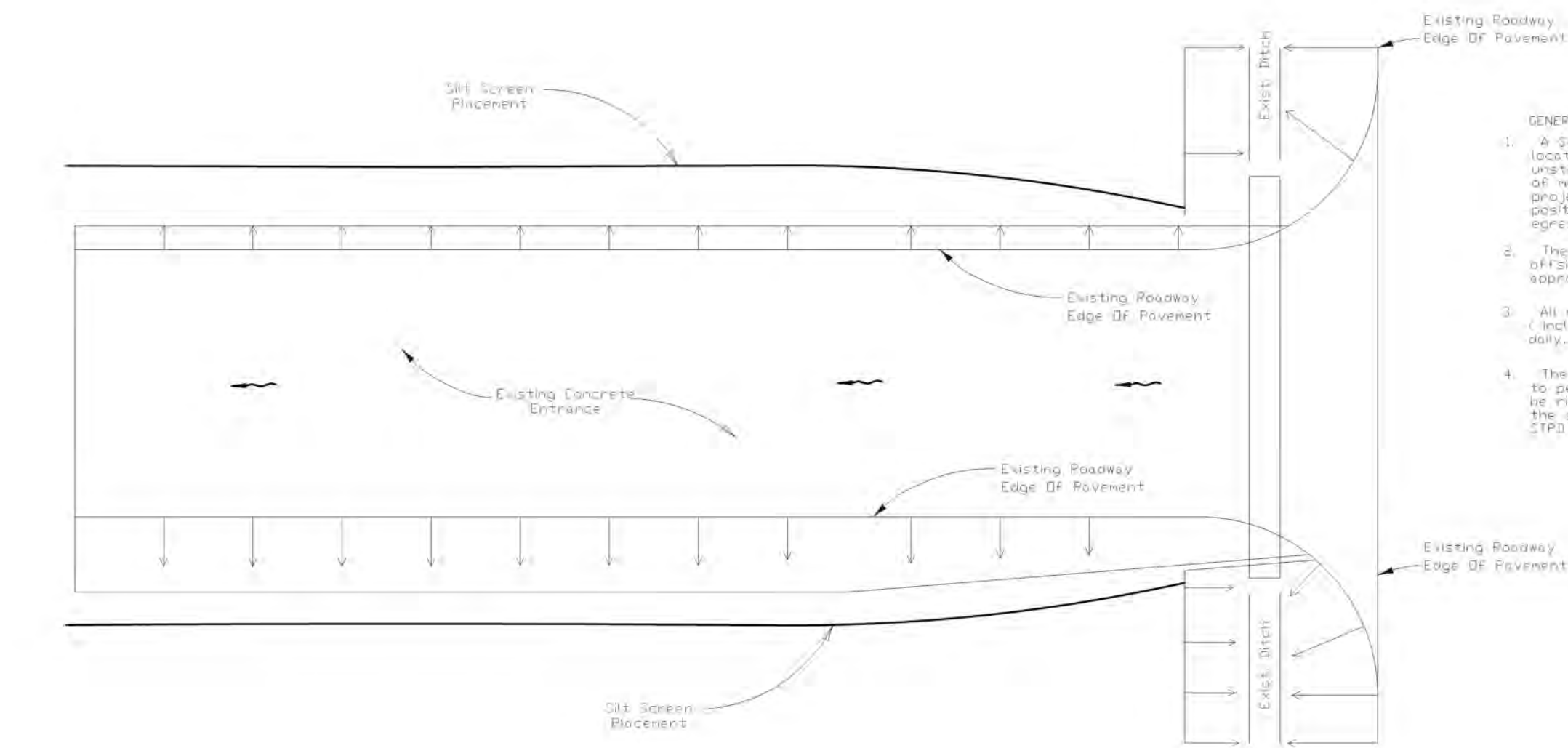


FLOATING TURBIDITY BARRIERS



STAKED TURBIDITY BARRIER

GENERAL NOTES:  
1. Floating turbidity barriers are to be paid for under the contract unit price for Floating Turbidity Barrier, LF.  
2. Staked turbidity barriers are to be paid for under the contract unit price for Staked Turbidity Barrier, LF.



GENERAL NOTES:  
1. A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of ingress from unsealed areas of the project to public roads where offsite tracking of mud could occur. Traffic from unsealed areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular ingress across the STPD.  
2. The Contractor may propose an alternative technique to prevent offsite tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.  
3. All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.  
4. The STPD shall be maintained in a condition that will allow it to perform its function. To prevent offsite tracking, the STPD shall be raised daily when in use to make accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.

## Soil Tracking Prevention

N.T.S.

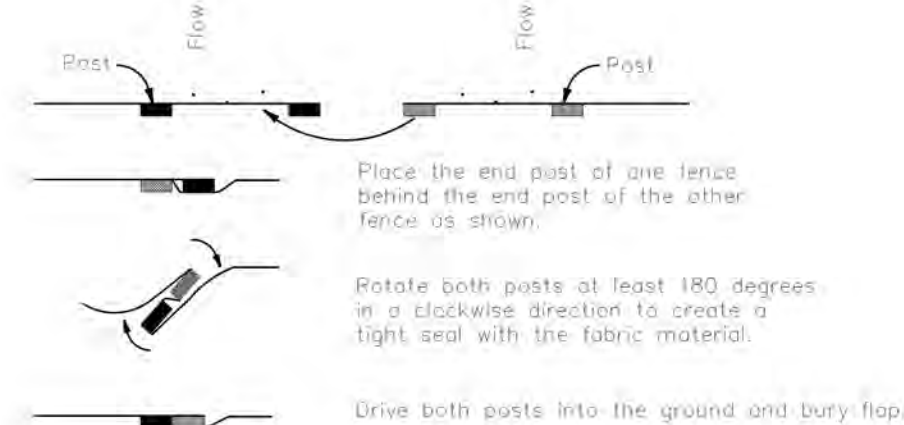
Source: FDOT Index No. 106

## Turbidity Barriers

N.T.S.

Source: FDOT Index No. 103

PLEASE REFER TO FSP 3 FOR  
ADDITIONAL EROSION AND  
SEDIMENT CONTROL PLAN &  
DETAILS



PLAN VIEW  
JOINING TWO SILT FENCES

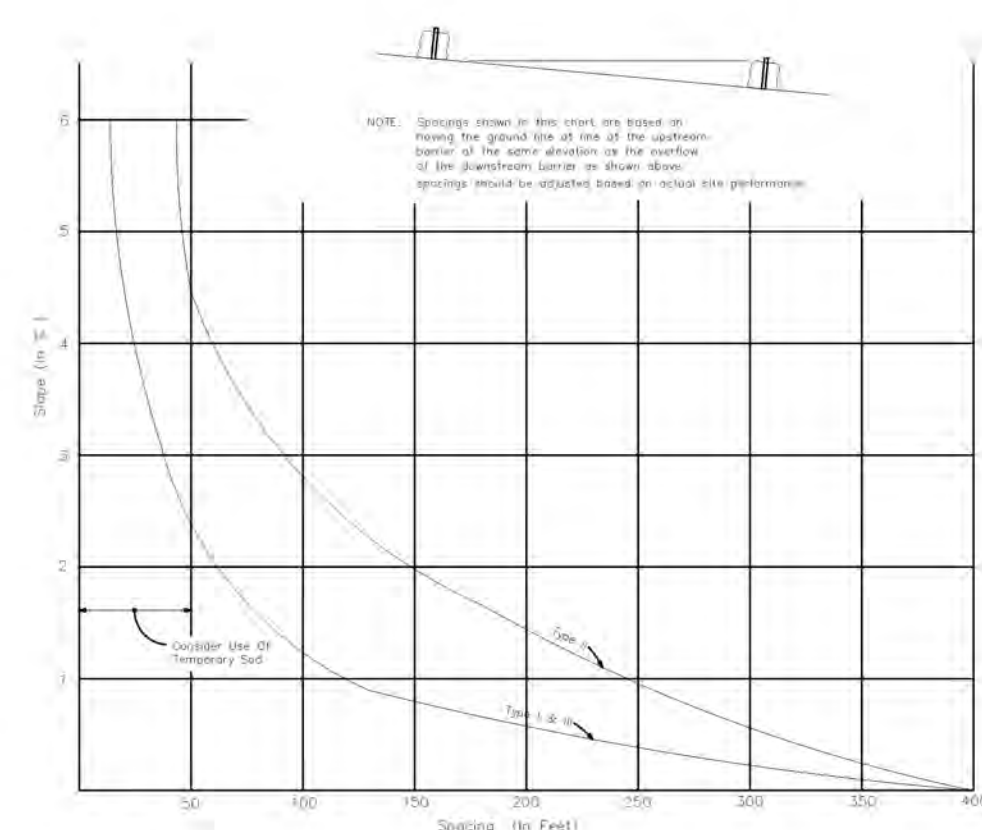
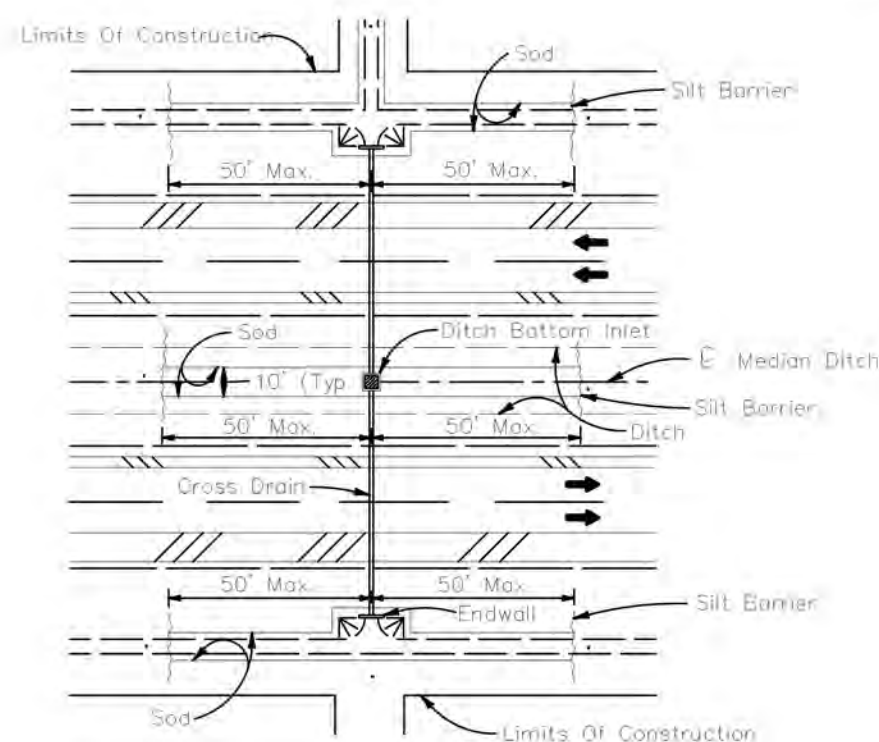
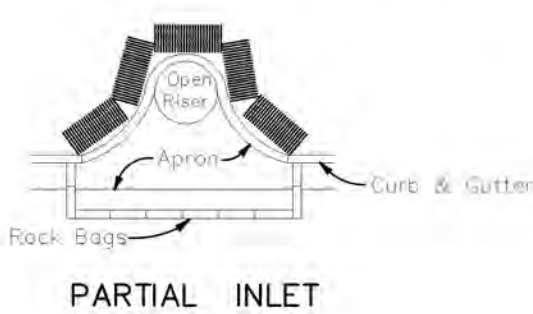


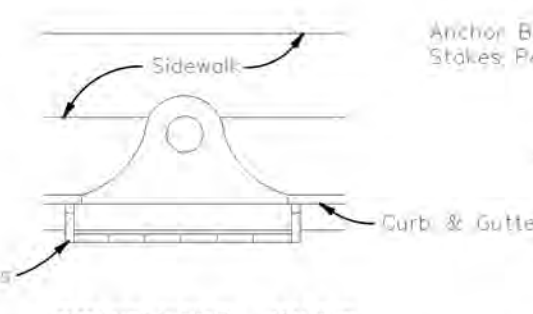
CHART 1  
RECOMMENDED SPACING FOR BALED HAY BARRIERS, AND TYPE III SILT FENCES



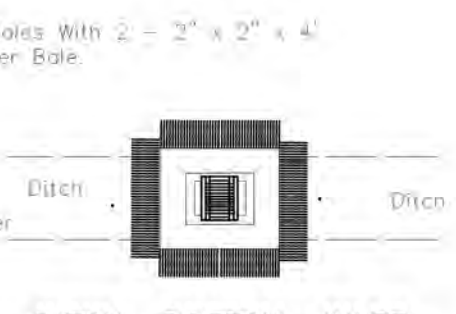
DITCH INSTALLATIONS AT DRAINAGE STRUCTURES



PARTIAL INLET

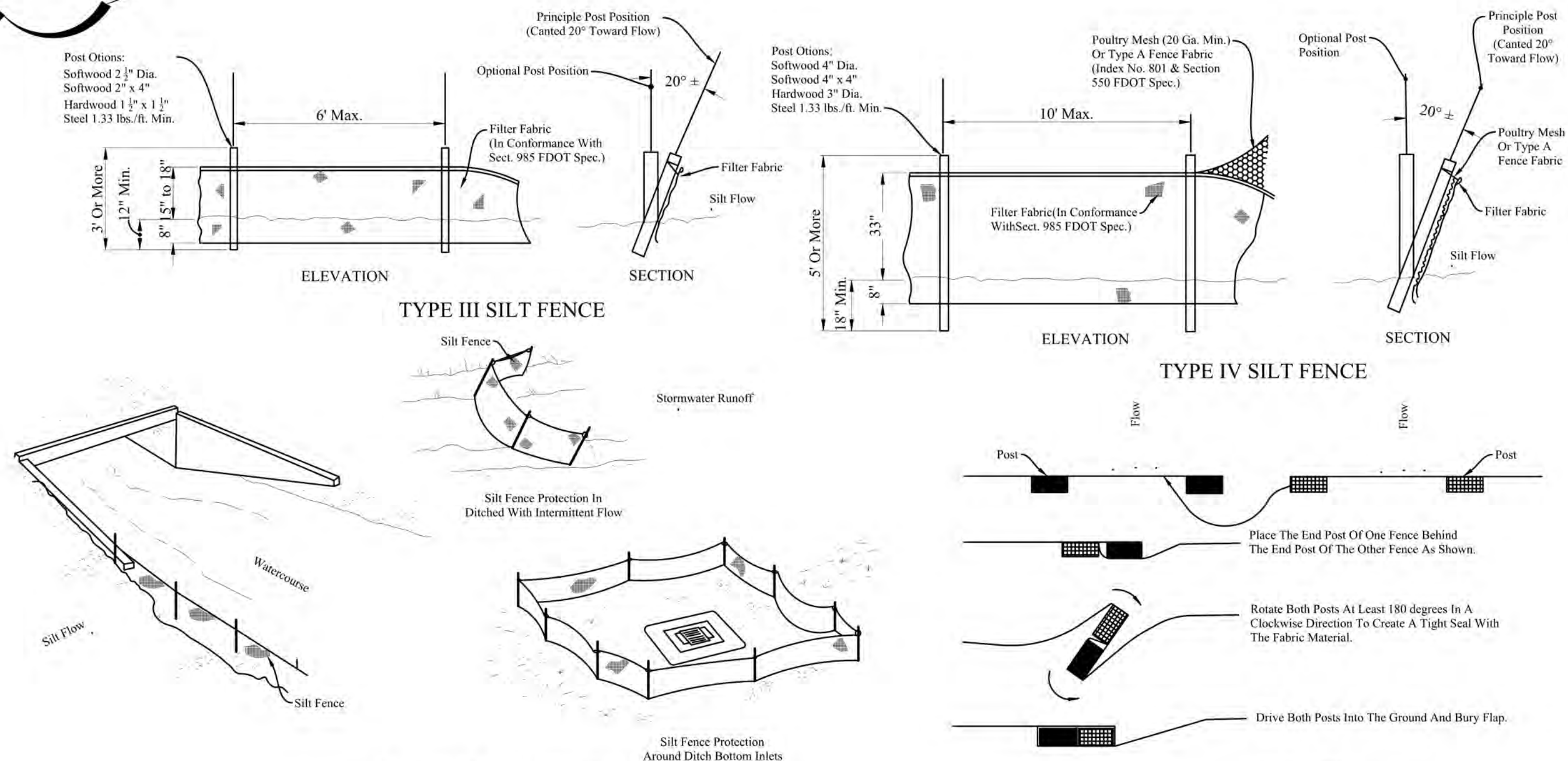


COMPLETED INLET

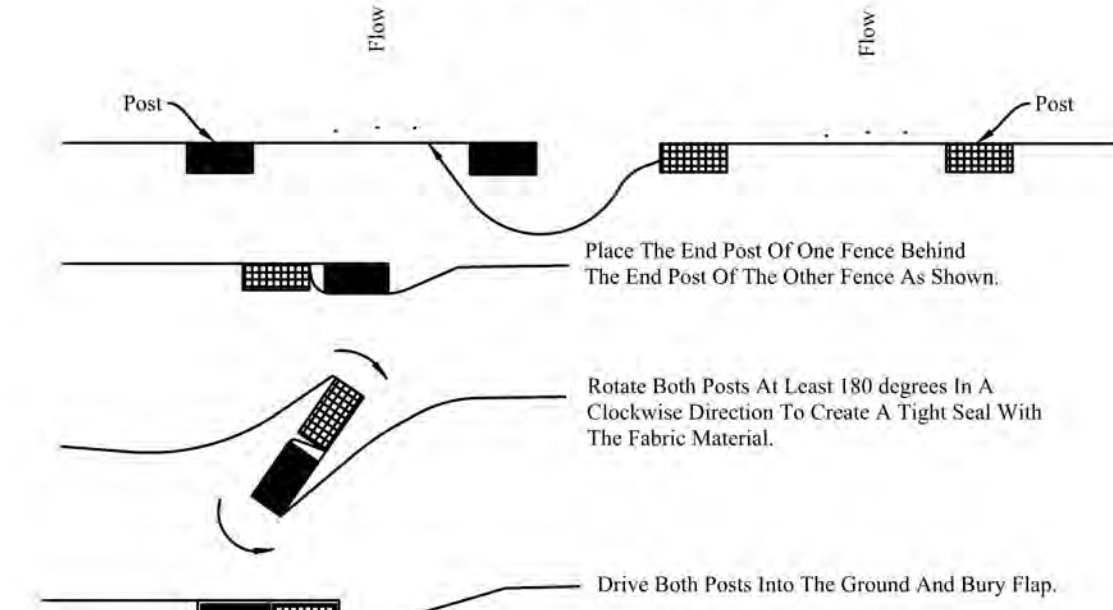


DITCH BOTTOM INLET

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



SILT FENCE APPLICATIONS



PLAN VIEW  
JOINING TWO SILT FENCES

- NOTES FOR SILT FENCES
- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
  - Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
  - Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
  - Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
  - Silt Fence to be paid for under the contract unit price for Sediment Barrier, (LF).

## Temporary Erosion and Sediment Control

N.T.S.

Source: FDOT Index No. 103

## Type III and Type IV Temporary Erosion and Sediment Control

N.T.S.

Source: FDOT Index No. 102

01/01/10

ESC Plan Details  
For  
Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-4



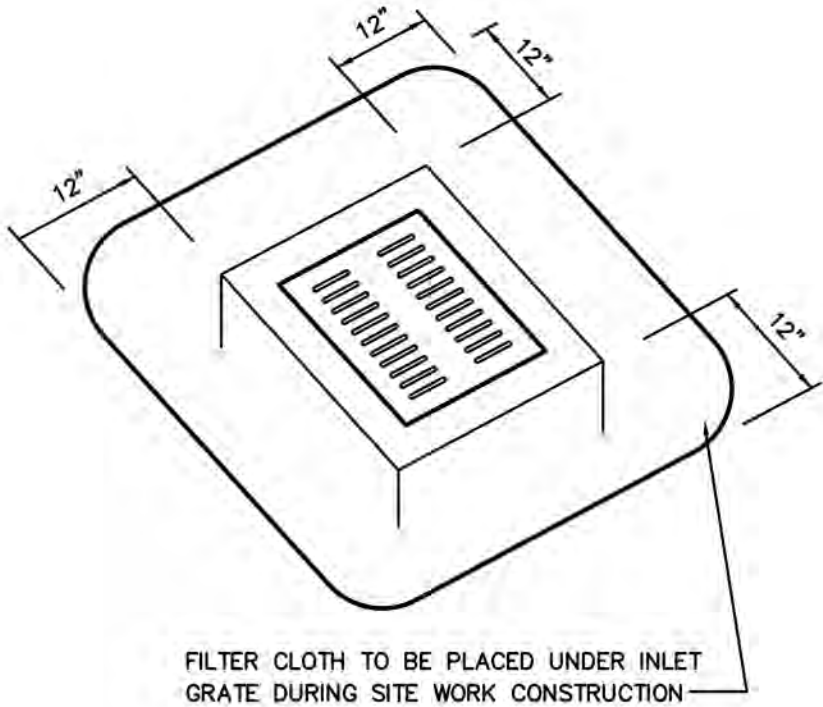
EROSION AND SEDIMENT CONTROL PLAN

Project Name: Brista Homes  
MC Number:  
SDE Project Number: 23600

Pursuant to Section 508.3.4.7.j. of the Land Development Code (LDC) states Prior to commencement of construction activities authorized with final site plan and construction plan approvals pursuant to this Code, the developer shall be required to submit an Erosion and Sediment Control Plan (ESCP) to the EMD for review and approval. The plan shall identify construction sequencing, Best Management Practices (BMPs) to minimize erosion and sedimentation and to manage the quality and quantity of stormwater runoff during and after construction, and other practices employed to minimize fugitive particulate emissions during and after construction. Generally, project that are greater than five (5) acres and smaller projects with major land disturbances, (i.e., stockpiling, excavation of oversized lakes, filling of lots, etc.) are subject to this requirement. Redevelopment projects or projects with minor improvements may not be subject to this requirement. The EMD Director or designee may, at his/her discretion, waive this requirement on a case by case basis. The ESCP shall at a minimum include the following information:

The required information for the ESCP is as follows (additional material and information may be required pursuant to Section 508.3.4.7.k.):

Item	Description	Response/Location
1.	Details of construction sequencing, dewatering activities and sump locations, stockpile areas and/or deposition areas for excavation materials.	The project will be constructed completely from start to finish. Please refer to the "General Notes" and "Demolition & Erosion and Control Plan", for more detail.
a.	Description of land clearing/disturbing activities, existing site conditions and adjacent land uses/areas that might be affected by land clearing/disturbances.	Please refer to the "Demolition & Erosion and Control Plan" for more detail.
b.	Identification of stockpile areas and/or deposition areas for excavated materials.	Please refer to the "General Notes" and "Demolition & Erosion and Control Plan".
c.	Description of potential onsite problem areas such as steep grade changes, highly erodible soils, areas adjacent to wetlands, surface waters, or upland preservation areas.	The existing offsite conditions shall be protected by silt screen and turbidity barriers, as identified on the "Demolition & Erosion and Control Plan".
d.	Construction scheduling, including the expected starting and stabilization dates.	Expected start date: March 2021 Expected end date: March 2023
e.	Identification of disturbed areas where construction will not be ongoing, and final grade will not be achieved within fourteen (14) days, and an indication of temporary stabilization measures.	Construction, following commencement, will be completed without interruption.
2.	Details of Best Management Practices and Fugitive Particulate Abatement Methods.	Please refer to the details on "General Notes" and "Demolition & Erosion and Control Plan"
a.	Details, drawings and cross-sections of erosion and sediment control devices, if different from the approved Final Site Plan/Construction Plans, and when they will be installed.	Please refer to the "Demolition & Erosion and Control Plan" and "Erosion and Sediment Control Details".
b.	Maintenance program for erosion and sediment control devices including inspection frequency and maintenance activities.	Please refer to the "Demolition & Erosion and Control Plan" and the details on "General Notes", sheet FSP 2, for more information. Please note that the contractor will be responsible for any site inspections and report forms one a week and within 24 hours of a storm event, as specified on sheet FSP 2.
c.	Haul routes and details of apron stabilization at ingress/egress points to rights-of-way.	Please refer to the "Demolition & Erosion and Control Plan" and "Erosion and Sediment Control Details".
d.	Details/location of equipment washing area.	Equipment to be washed onsite, within existing stormwater management basins and away from any wetlands or other areas where direct runoff is not advisable.
e.	Contractor information, including a 24-hour, 7-day contact and phone numbers.	Information will be provided when contractor is chosen.
3.	Details of dewatering activities and locations, drawings and cross-sections of dewatering sumps.	Please refer to the "Demolition & Erosion and Control Plan" and "Erosion and Sediment Control Details".
4.	<p>Water Quality Monitoring Plan and monitoring stations (if applicable).</p> <p>The developer shall be responsible for scheduling an onsite meeting with staff from the Environmental Management and Project Management Departments, the Engineer of Record and the Contractor. Final approval of the ESCP and authorization of construction will be granted only after an onsite meeting has been conducted. necessary revisions, as determined by EMD staff, shall be made prior to final approval of the ESCP.</p> <p>Any changes to the approved ESCP must be submitted to the EMD by the Engineer of Record for review and approval prior to implementation. Changes that qualify as an amendment to the final site plan and/or construction plans must be approved by the Planning Department prior to implementation.</p> <p>Prior to scheduling the onsite meeting the developer shall:</p> <p>1. Obtain all applicable approvals (Final Site Plan, Construction Plans, Environmental Resource Permit and NPDES Permit).</p> <p>2. Stake the boundaries of the wetland buffers, upland preservation areas or other environmentally sensitive areas, as indicated on the approved Final Site Plan/Construction Plans.</p> <p>3. Stake all silt screen locations every one hundred (100) feet, as indicated on the approved Final Site Plan/Construction Plans.</p>	Acknowledged.



NOTE: HAY BALES SURROUNDING ENTIRE PERIMETER OF INLET MAY BE SUBSTITUTED FOR FILTER CLOTH

Inlet Debris Control Screen

N.T.S.

Submitted For:

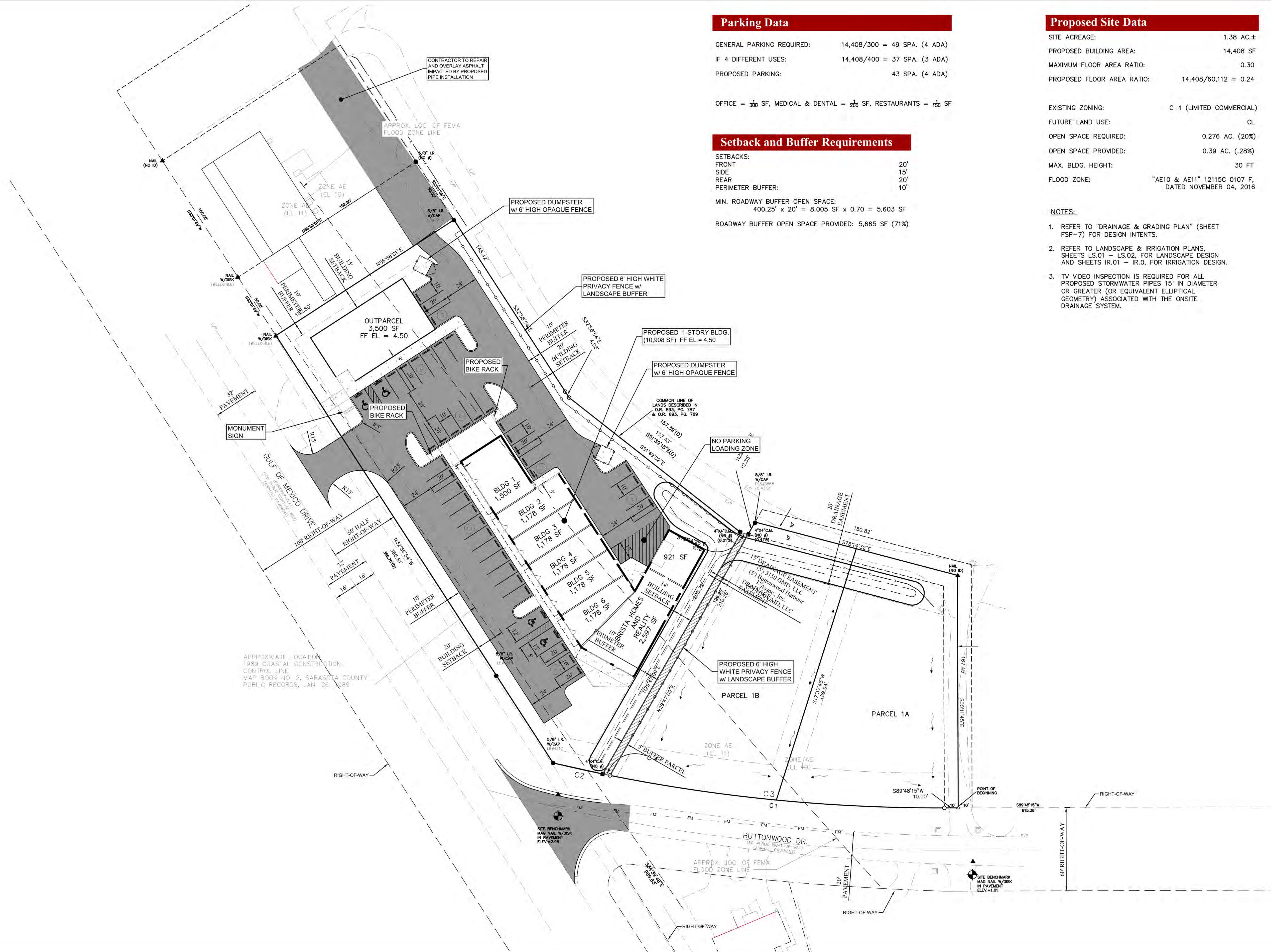
Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
N.T.S.	1/20/22	

ESC Plan Details  
For  
Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-5





Parking Data

GENERAL PARKING REQUIRED: 14,408/300 = 49 SPA. (4 ADA)  
IF 4 DIFFERENT USES: 14,408/400 = 37 SPA. (3 ADA)  
PROPOSED PARKING: 43 SPA. (4 ADA)

OFFICE =  $\frac{1}{300}$  SF, MEDICAL & DENTAL =  $\frac{1}{200}$  SF, RESTAURANTS =  $\frac{1}{150}$  SF

Setback and Buffer Requirements

SETBACKS:  
FRONT 20'  
SIDE 15'  
REAR 20'  
PERIMETER BUFFER: 10'

MIN. ROADWAY BUFFER OPEN SPACE:  
400.25' x 20' = 8,005 SF x 0.70 = 5,603 SF

ROADWAY BUFFER OPEN SPACE PROVIDED: 5,665 SF (71%)

Proposed Site Data

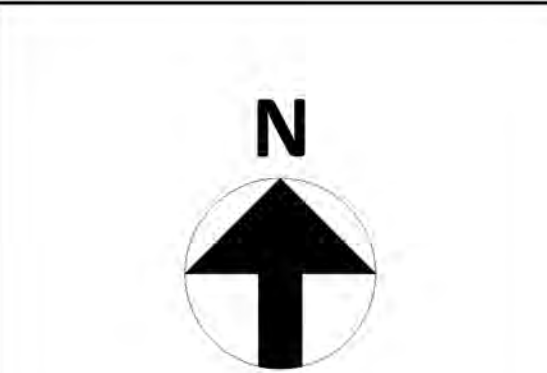
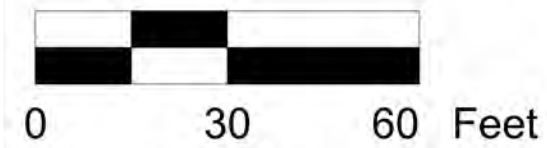
SITE ACREAGE: 1.38 AC.±  
PROPOSED BUILDING AREA: 14,408 SF  
MAXIMUM FLOOR AREA RATIO: 0.30  
PROPOSED FLOOR AREA RATIO: 14,408/60,112 = 0.24

EXISTING ZONING: C-1 (LIMITED COMMERCIAL)  
FUTURE LAND USE: CL  
OPEN SPACE REQUIRED: 0.276 AC. (20%)  
OPEN SPACE PROVIDED: 0.39 AC. (.28%)  
MAX. BLDG. HEIGHT: 30 FT  
FLOOD ZONE: "AE10 & AE11" 12115C 0107 F, DATED NOVEMBER 04, 2016

NOTES:

1. REFER TO "DRAINAGE & GRADING PLAN" (SHEET FSP-7) FOR DESIGN INTENTS.
2. REFER TO LANDSCAPE & IRRIGATION PLANS, SHEETS LS.01 - LS.02, FOR LANDSCAPE DESIGN AND SHEETS IR.01 - IR.0, FOR IRRIGATION DESIGN.
3. TV VIDEO INSPECTION IS REQUIRED FOR ALL PROPOSED STORMWATER PIPES 15" IN DIAMETER OR GREATER (OR EQUIVALENT ELLIPTICAL GEOMETRY) ASSOCIATED WITH THE ONSITE DRAINAGE SYSTEM.

Submitted For:



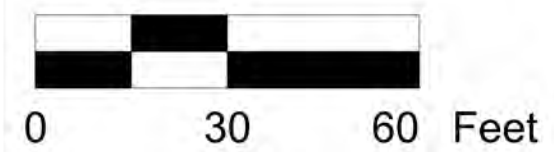
Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
1" = 30'	1/20/22	

Final Site Plan  
For  
Brista Homes  
Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-6



Submitted For:



Design By: Drawn By: Checked By:  
JEC TMF JEC  
Drawing Scale: 1" = 30' Drawing Date: 1/20/22

Drainage and Grading Plan  
For  
**Brista Homes**  
Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

**FSP-7**

### Proposed Site Data

SITE ACREAGE: 1.38 AC.±  
PROPOSED BUILDING AREA: 14,408 SF  
MAXIMUM FLOOR AREA RATIO: 0.30  
PROPOSED FLOOR AREA RATIO: 14,408/60,112 = 0.24  
EXISTING ZONING: C-1 (LIMITED COMMERCIAL)  
FUTURE LAND USE: CL  
OPEN SPACE REQUIRED: 0.276 AC. (20%)  
OPEN SPACE PROVIDED: 0.39 AC. (.28%)  
MAX. BLDG. HEIGHT: 30 FT  
FLOOD ZONE: \*AE10 & AE11\* 12115C 0107 F,  
DATED NOVEMBER 04, 2016

### Basin Summary

Total Basin Area	1.38 Acre
Impervious Area	
Building	0.33 Acre
Exist Pavement	0.58 Acre
Exist Conc & Swk	0.08 Acre
Total Existing	0.99 Acre
Total Imperv. = 0.99 Ac. (71.74%)	

Basin Area = 1.38 AC. Total Treatment Volume Required = 2505 CF

### Post Dry Retention Treatment Volume

Retention Area 1			
	Area	Elev	Slope
Top of Bank	0.1050	3.50	3.0
DHW Elev. (25 Yr)	0.0870	3.00	3.0
Water Quality Elev.	0.0740	2.60	3.0
Bottom Elev.	0.0360	1.50	3.0

Treatment Volume Provided with SWF: 0.061 Ac-Ft 2635 CF Sufficient Treatment  
Volume at DHW: 0.092 Ac-Ft 4018 CF  
Volume at TOB: 0.141 Ac-Ft 6142 CF

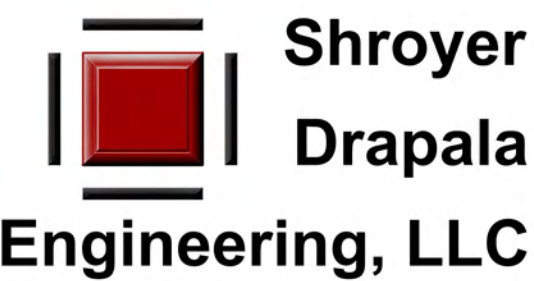
### Offsite Drainage Discharge

Scale: 1" = 30'

#### NOTE:

1. THE PROPOSED STORMWATER DESIGN MODEL UTILIZES A VARIABLE TIDE TAILWATER CONDITION, FROM ELEVATION 0.25 TO 1.80. THE PROPOSED MAXIMUM 100YR DRWL IS ELEVATION 2.97, WITH TOP OF BANK ELEVATION OF 3.50, THERE IS NO PROPOSED OVERFLOW TO ADJACENT PROPERTIES.



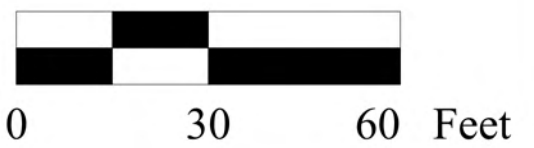


P.O. Box 9282  
Bradenton, FL 34206

1111 3rd Ave. W.  
Suite 210  
Bradenton, FL 34205

Phone: (941) 746-4000  
E-Mail: [info@ShroyerDrapala.com](mailto:info@ShroyerDrapala.com)

Submitted For:



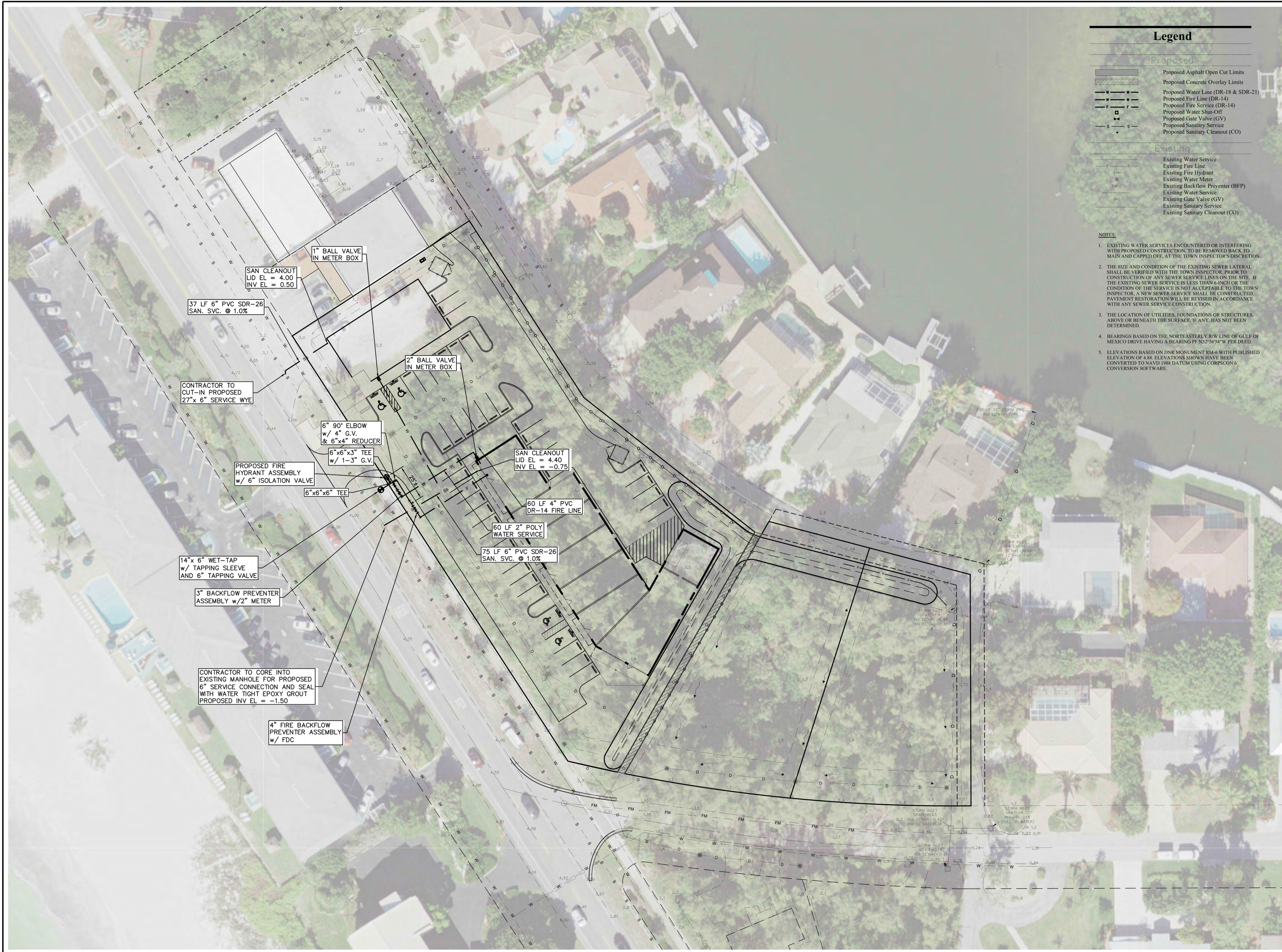
Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:		Drawing Date:
1" = 30'		1/20/22

# Utilities Plan For Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

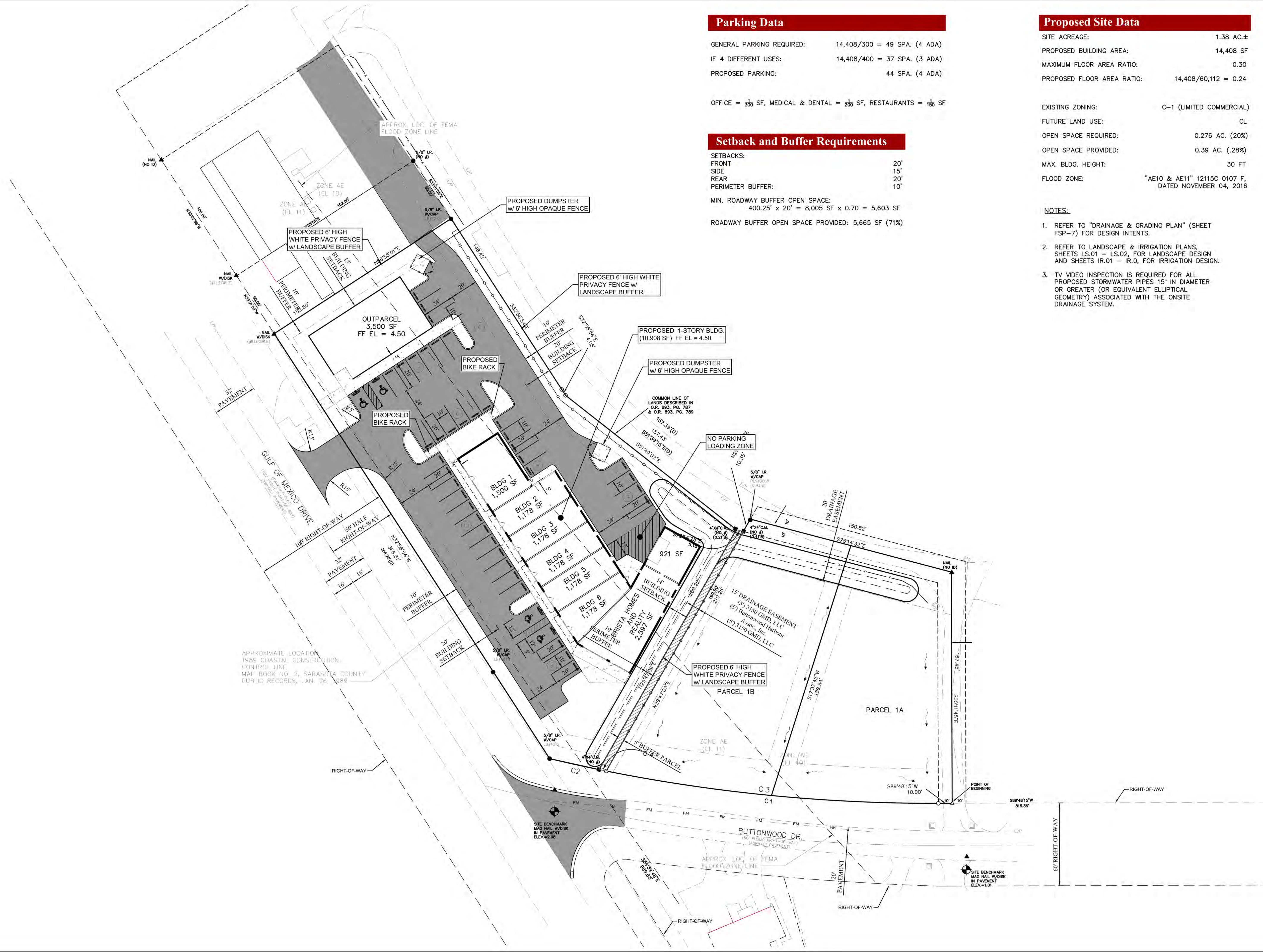
FSP-8

8 26300 UTILITIES PLAN.DWG



F:\PROJECTS\26300 GMD & Buttonwood Dr Property\CADD\Plan Set\8 26300 UTILITIES PLAN.dwg February 07, 2022 - 4:48pm





### Parking Data

GENERAL PARKING REQUIRED: 14,408/300 = 49 SPA. (4 ADA)  
IF 4 DIFFERENT USES: 14,408/400 = 37 SPA. (3 ADA)  
PROPOSED PARKING: 44 SPA. (4 ADA)

OFFICE =  $\frac{1}{300}$  SF, MEDICAL & DENTAL =  $\frac{1}{200}$  SF, RESTAURANTS =  $\frac{1}{150}$  SF

### Setback and Buffer Requirements

SETBACKS:  
FRONT 20'  
SIDE 15'  
REAR 20'  
PERIMETER BUFFER: 10'

MIN. ROADWAY BUFFER OPEN SPACE:  
 $400.25' \times 20' = 8,005 \text{ SF} \times 0.70 = 5,603 \text{ SF}$

ROADWAY BUFFER OPEN SPACE PROVIDED: 5,665 SF (71%)

### Proposed Site Data

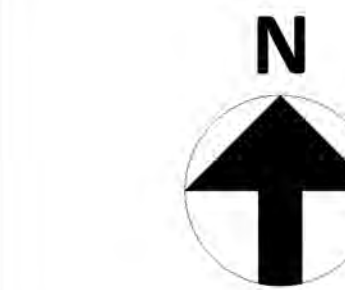
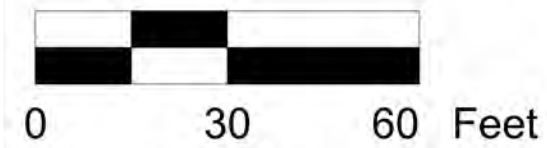
SITE ACREAGE: 1.38 AC.±  
PROPOSED BUILDING AREA: 14,408 SF  
MAXIMUM FLOOR AREA RATIO: 0.30  
PROPOSED FLOOR AREA RATIO: 14,408/60,112 = 0.24

EXISTING ZONING: C-1 (LIMITED COMMERCIAL)  
FUTURE LAND USE: CL  
OPEN SPACE REQUIRED: 0.276 AC. (20%)  
OPEN SPACE PROVIDED: 0.39 AC. (.28%)  
MAX. BLDG. HEIGHT: 30 FT  
FLOOD ZONE: "AE10 & AE11" 12115C 0107 F, DATED NOVEMBER 04, 2016

### NOTES:

- REFER TO "DRAINAGE & GRADING PLAN" (SHEET FSP-7) FOR DESIGN INTENTS.
- REFER TO LANDSCAPE & IRRIGATION PLANS, SHEETS LS.01 - LS.02, FOR LANDSCAPE DESIGN AND SHEETS IR.01 - IR.0, FOR IRRIGATION DESIGN.
- TV VIDEO INSPECTION IS REQUIRED FOR ALL PROPOSED STORMWATER PIPES 15" IN DIAMETER OR GREATER (OR EQUIVALENT ELLIPTICAL GEOMETRY) ASSOCIATED WITH THE ONSITE DRAINAGE SYSTEM.

Submitted For:



Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
1" = 30'	1/20/22	

Signage and Marking Plan  
For  
**Brista Homes**  
Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

**FSP-9**



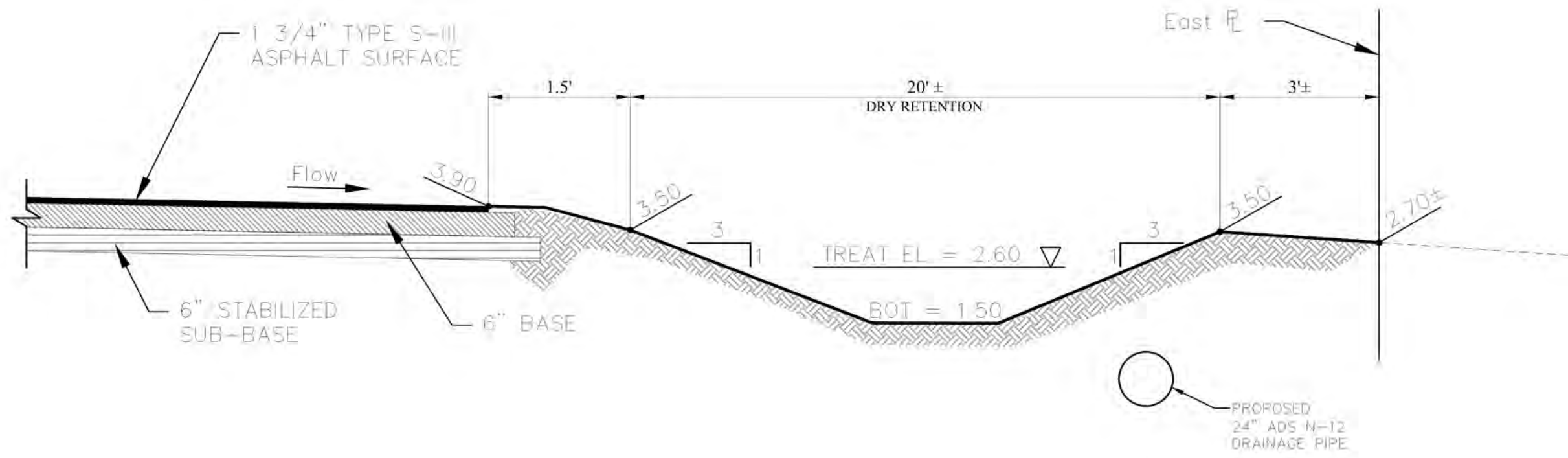
Submitted For:

Design By:	Drawn By:	Checked By:
JEC	TMF	JEC
Drawing Scale:	Drawing Date:	
1" = 30'	1/20/22	

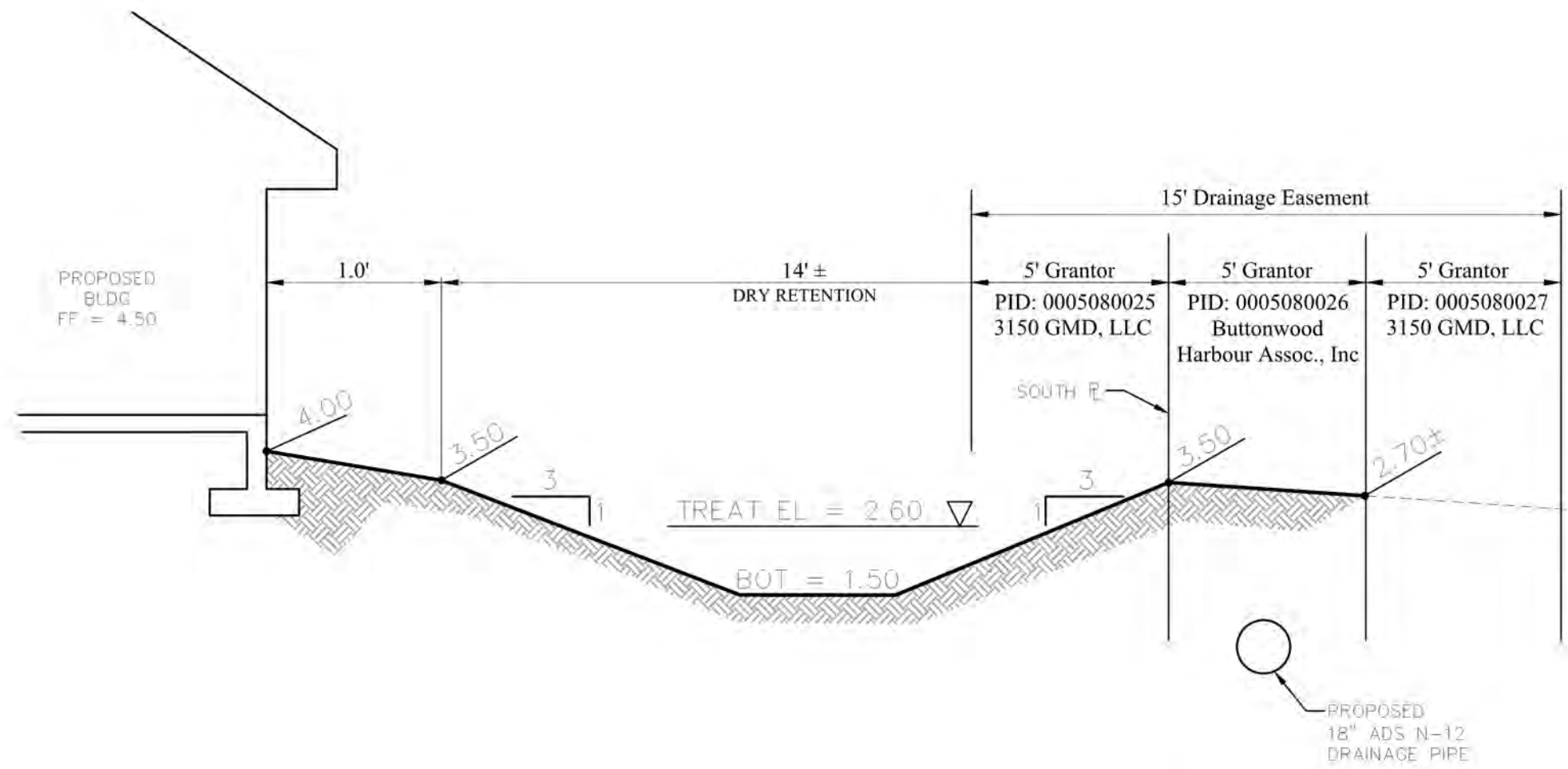
Cross Sections  
For  
Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

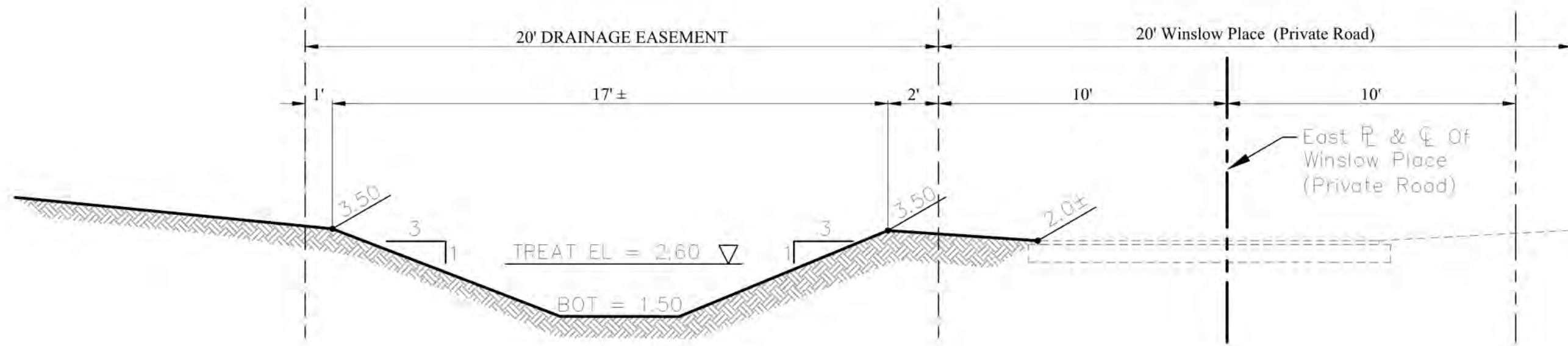
FSP-10



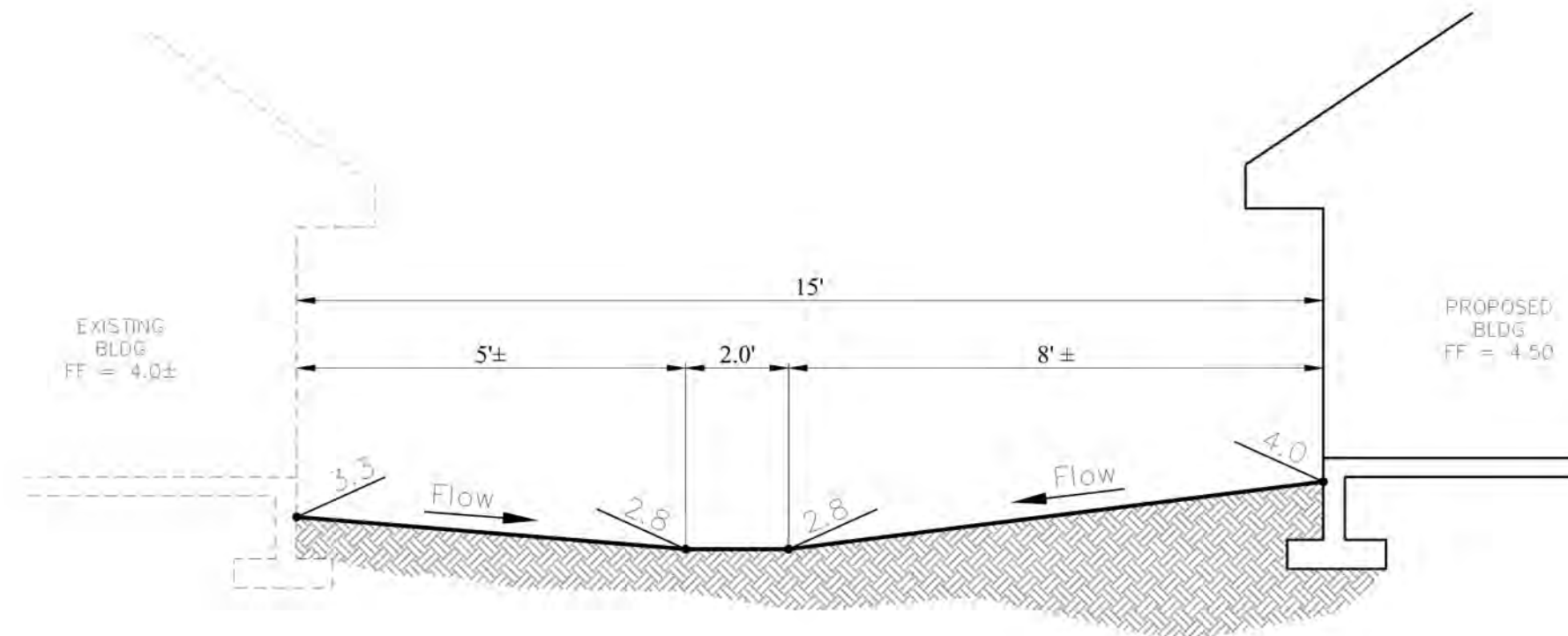
Section A-A  
N.T.S.



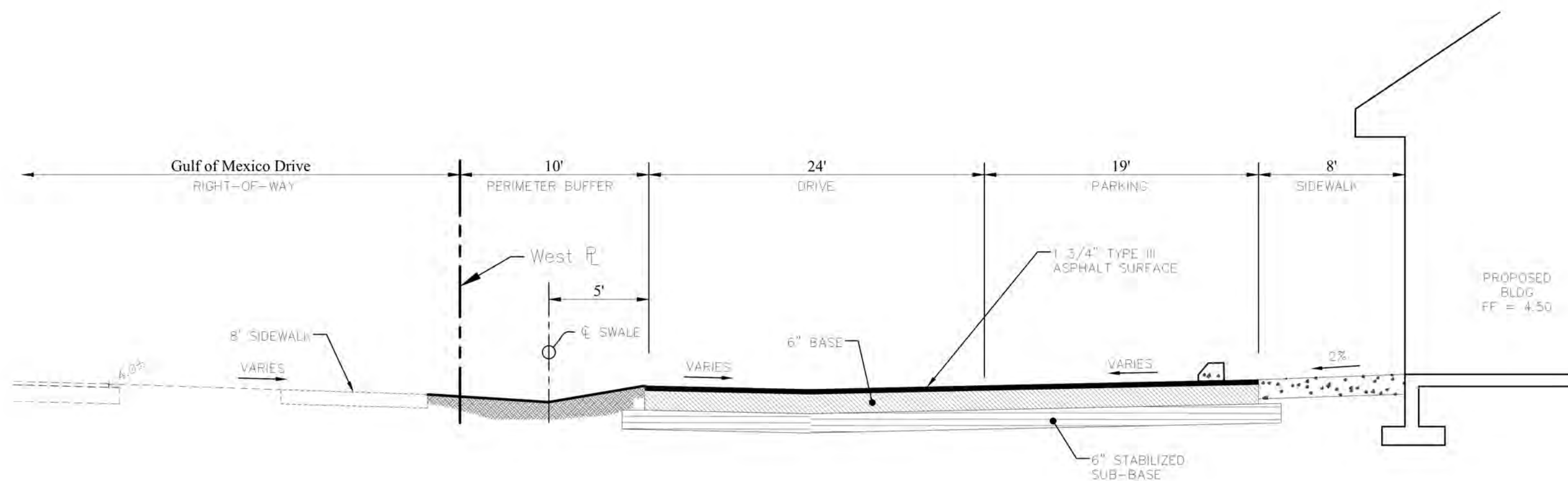
Section B-B  
N.T.S.



Section C-C  
N.T.S.

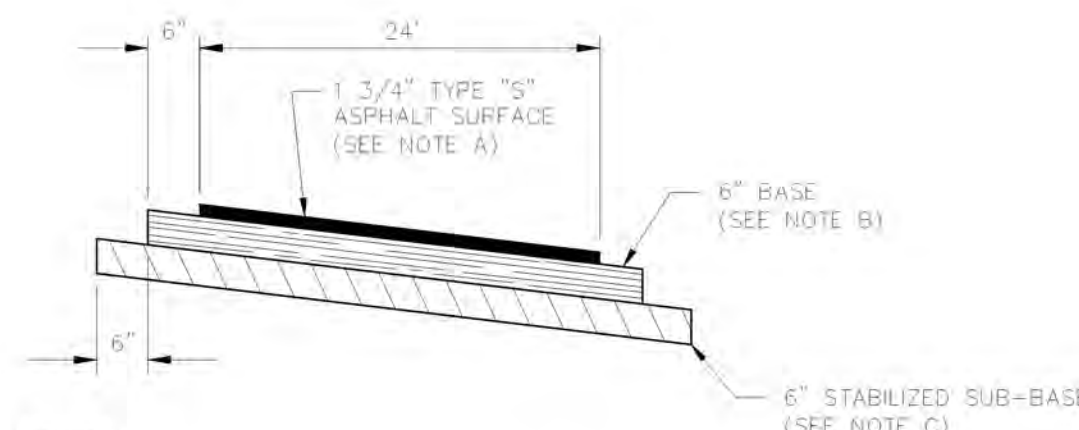


Section D-D  
N.T.S.



Section E-E  
N.T.S.

NOTES:  
CONTRACTOR SHALL PROVIDE 6" TOP SOIL (SANDY LOAM) OVER ALL PERVIOUS SURFACES THROUGHOUT THE SITE.  
CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL TESTING, FOR INFORMATION SHOWN ON THESE PLANS, AND AS RECOMMENDED IN THE GEOTECHNICAL REPORT.



- NOTES:
- Asphaltic concrete surface course shall be laid in two lifts. The first lift shall be 1" Type S-I or S-III. The second lift shall be 3/4" Type S-III.
  - Base course shall consist of 6" limerock compacted to 98% modified proctor density or 6" Cement Treated Colaspashatchee shell compacted to 98% AASHTO T-180 density LBR 100 or 6" crushed concrete base.
  - 6" stabilized sub-base shell must be blended with sandy sub-grade minimum LBR 40, 98% T180 AASHTO.
  - No portion of drainage pipe shall be allowed in sub-base. 12" minimum cover is required on storm drain.
  - Laboratory tests are required to substantiate structural section design. Specifications shown on this sheet are minimum requirements.

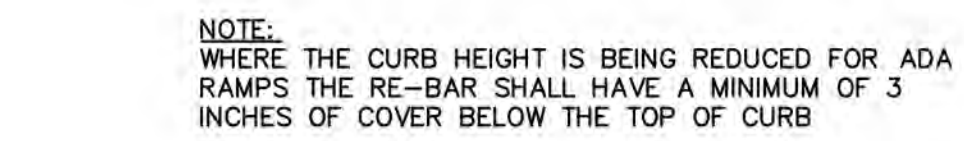
Pavement Detail  
N.T.S.





Phone: (941) 746-4000  
E-Mail: [info@ShroyerDrapala.com](mailto:info@ShroyerDrapala.com)

Submitted For:



N.T.S. 50E



N.T.S.



N.T.S.



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### DETECTABLE WARNINGS ON WALKING SURFACES

THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP.

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCH, A HEIGHT OF NOMINAL 0.2 INCH AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCH AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

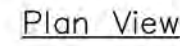
THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70%. CONTRAST IN PERCENT IS DETERMINED BY:

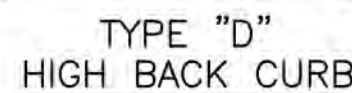
$$\text{CONTRAST} = [(R1 - R2) / R1] \times 100$$

WHERE B1 = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA.

NOTE THAT IN ANY APPLICATION BOTH WHITE AND BLACK ARE NEVER ABSOLUTE; THUS, B1 NEVER EQUALS 100 AND B2 IS ALWAYS GREATER THAN 0.



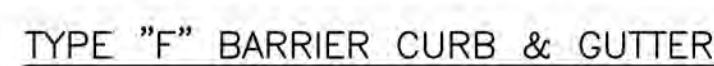
N.T.S.



A) CLASS 1 CONCRETE, 3,000 P.S.I. AT 28 DAYS.

B) CURB SHALL MEET THE SPECIFICATIONS ESTABLISHED BY F.D.O.T. STANDARD SPECIFICATIONS PER F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX NO. 300, LATEST REVISION.

N.T.S.



A) CLASS 1 CONCRETE 3,000 P.S.I. AT 28 DAYS.

B) CURB AND GUTTER SHALL MEET THE SPECIFICATIONS ESTABLISHED BY FLORIDA D.O.T. STANDARD SPECIFICATIONS PER F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX NO. 300, LATEST REVISION.

## NTS



(REQUIRED FOR DUMPSTER OR COMPACTO  
PAD AT FOOD SERVICE LOCATION)

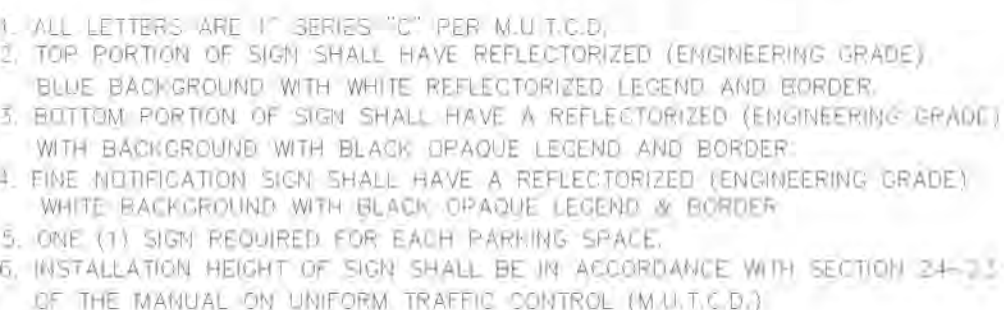


MINIMUM REQUIRED FOR DUMPSTER  
PAD AT NON-FOOD SERVICE

**NOTES:**

1. DUMPSTER PAD SHALL BE CLASS I CONCRETE W/ MIN. COMP. STRENGTH  $f'_c = 3000$  P.S.I. & MIN. REINFORCEMENT STRENGTH  $f_y = 60,000$  P.S.I.
2. DUMPSTER PAD SHALL BE FENCED IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE.

N.T.S.



## NTS



Design By:	Drawn By:	Checked By:
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JEC	TMF	JEC
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Drawing Scale:	Drawing Date:
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1" = 30'	1/20/22
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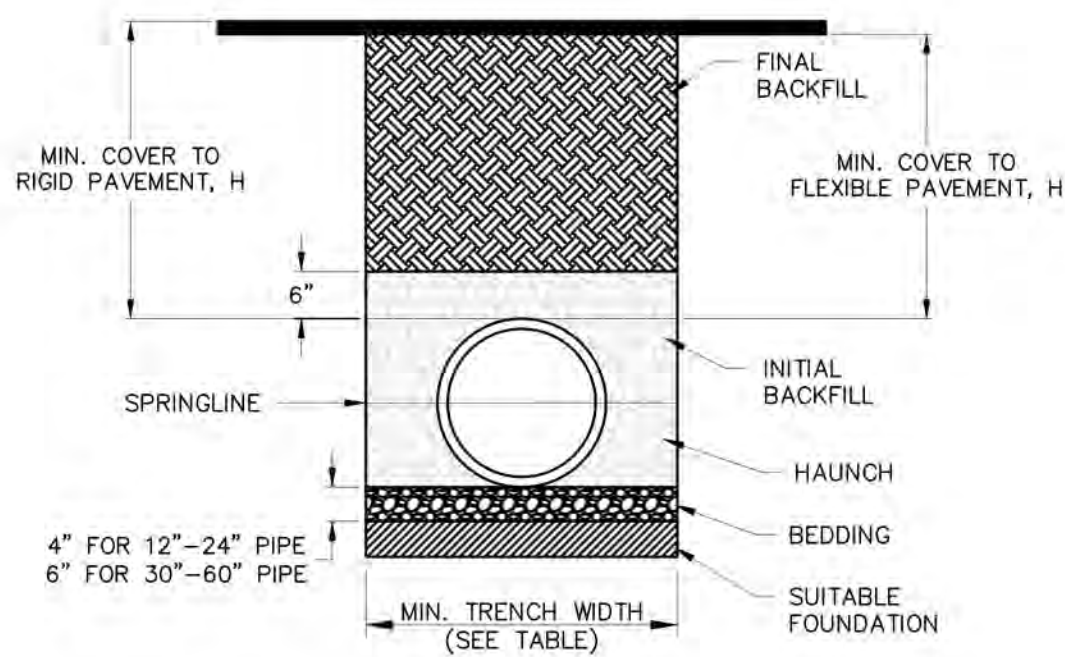
## Site Details For Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-11



F:\PROJECTS\26300 DND & Buttonwood Dr Property\CAD\Plan Set\12 26300 DRAINAGE DETAILS.dwg January 05, 2022 - 1:05pm



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24"; 6" FOR 30"-60".
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIA.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) **
12"-48"	12"	48"
54"-60"	24"	60"

\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

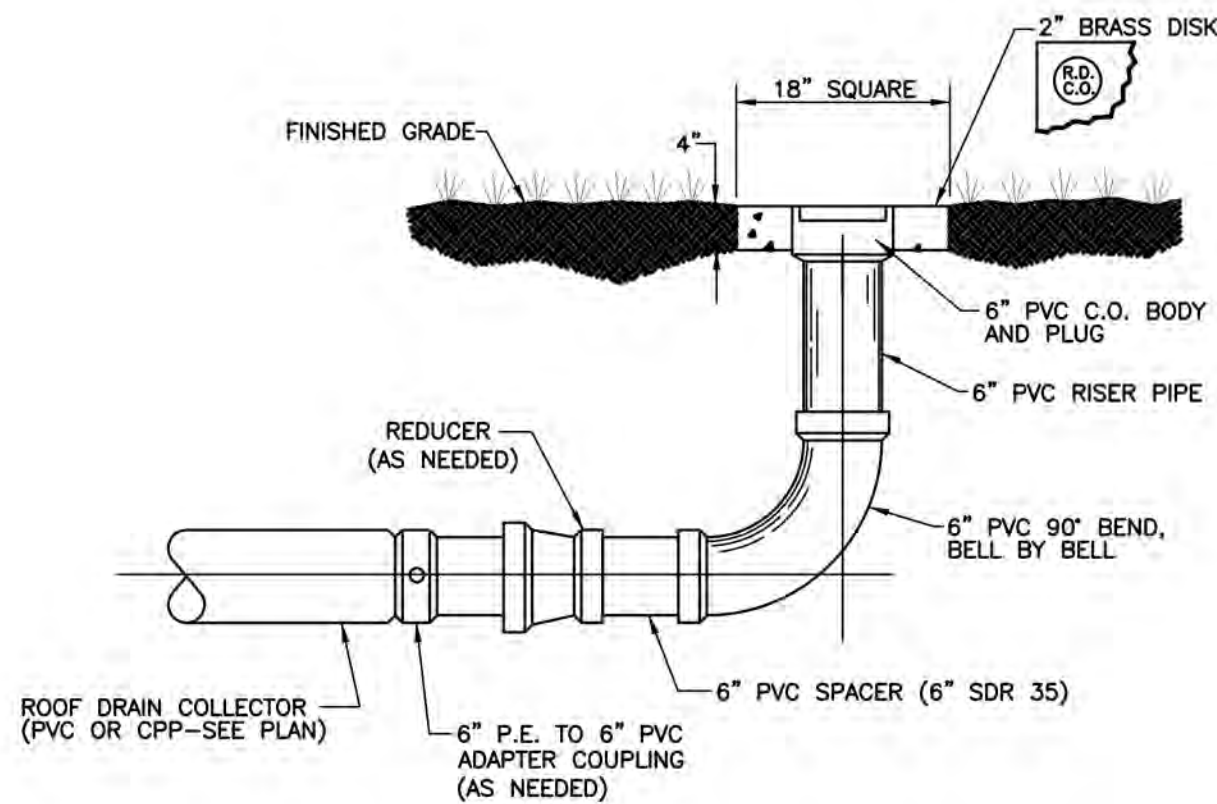
MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COOPER E-80**
UP TO 24"	24"
30"-36"	36"
42"-60"	48"

\*\* COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.  
\*\*\* E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

PVC Trench Detail

N.T.S.



Roof Drain Clean-Out

N.T.S.

UNDERDRAIN

1. CORRUGATED POLYETHYLENE TUBING

CORRUGATED POLYETHYLENE TUBING WITH A FILTER FABRIC WRAP, UNLESS OTHERWISE NOTED, MAY BE USED FOR UNDERDRAIN APPLICATIONS ASSOCIATED WITH ROADWAY CONSTRUCTION PROVIDING THE FOLLOWING SPECIFICATIONS ARE MET:

- A) THE CORRUGATED POLYETHYLENE TUBING SHALL MEET THE REQUIREMENTS OF ASTM F-405.
- B) THE CORRUGATED POLYETHYLENE TUBING SHALL HAVE A FILTER FABRIC SOCK MEETING F.D.O.T. SPEC. 948-3, LATEST REVISION. IF PERFORATIONS IN PIPE ARE LESS THAN 3/4", THEN FILTER FABRIC SOCK MAY BE OMITTED.
- C) THE ENVELOPE MATERIAL SURROUNDING THE TUBING SHALL BE CRUSHED STONE OR WASHED SHELL. THE THICKNESS OF THE ENVELOPE MATERIAL SHALL BE EQUAL TO OR GREATER THAN THE DIAMETER OF THE TUBING, PLUS 12".
- D) CORRUGATED POLYETHYLENE TUBING SHALL NOT BE ACCEPTABLE UNDER ROADWAYS.
- E) EXTRA CARE SHALL BE TAKEN DURING PLACEMENT TO MAINTAIN PROPER LINE AND GRADE, TO BE PLACED W/ SLOPE OF ROAD.
- F) A CLEAN-OUT SHALL BE CONSTRUCTED AT THE END OF EACH RUN OF UNDERDRAIN. MAXIMUM SPACING EVERY 100 FEET.
- G) SOD 3' AROUND 18" CONC. SQUARE.

\*NOTE: TRANSPORTATION DIRECTOR OR HIS DESIGNEE'S APPROVAL IS REQUIRED FOR THE USE OF FLEXIBLE UNDERDRAIN PIPE.

Underdrain General Notes

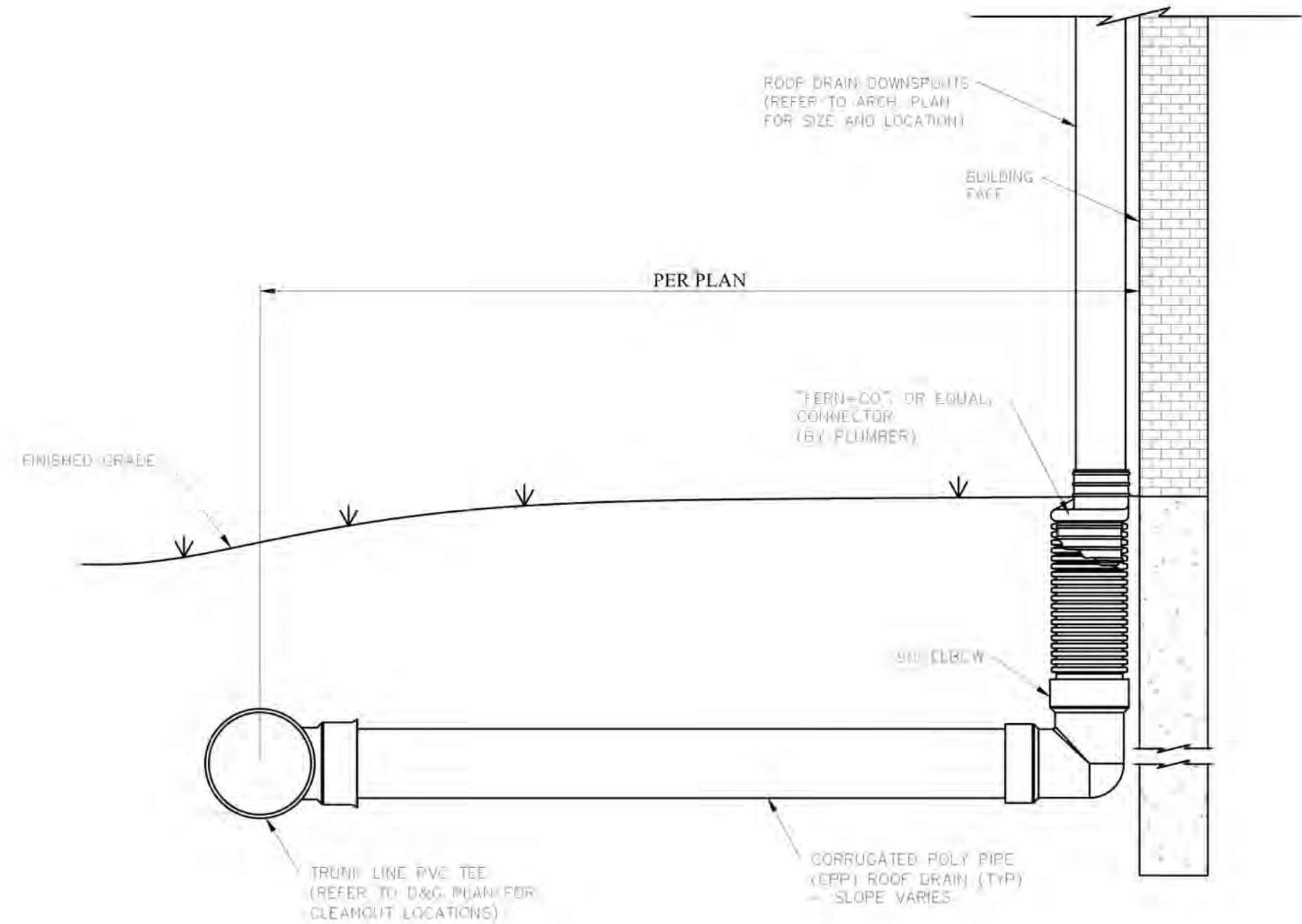
N.T.S.

HDPE STORM SEWER PIPE GENERAL NOTES

- A. HDPE SHALL MEET CURRENT F.D.O.T. STANDARD SPECIFICATIONS.
- B. MINIMUM COVER - 9" (TOP OF PIPE TO BOTTOM OF RIDGED PAVEMENT OF DRIVEWAY) - 15" (TOP OF PIPE TO BOTTOM OF FLEXIBLE BASE OF DRIVEWAY)
- C. SIZES ARE LIMITED TO CURRENT F.D.O.T. STANDARD SPECIFICATIONS.
- D. HDPE PIPE IS NOT ALLOWED UNDER ROADWAY.

Storm Sewer Pipe General Notes

N.T.S.



Roof Drain Lateral Detail

N.T.S.

SDC

Submitted For:

Design By: Drawn By: Checked By:  
JEC TMF JEC  
Drawing Scale: Drawing Date:  
1" = 30' 1/20/22

Drainage Details  
For  
Brista Homes

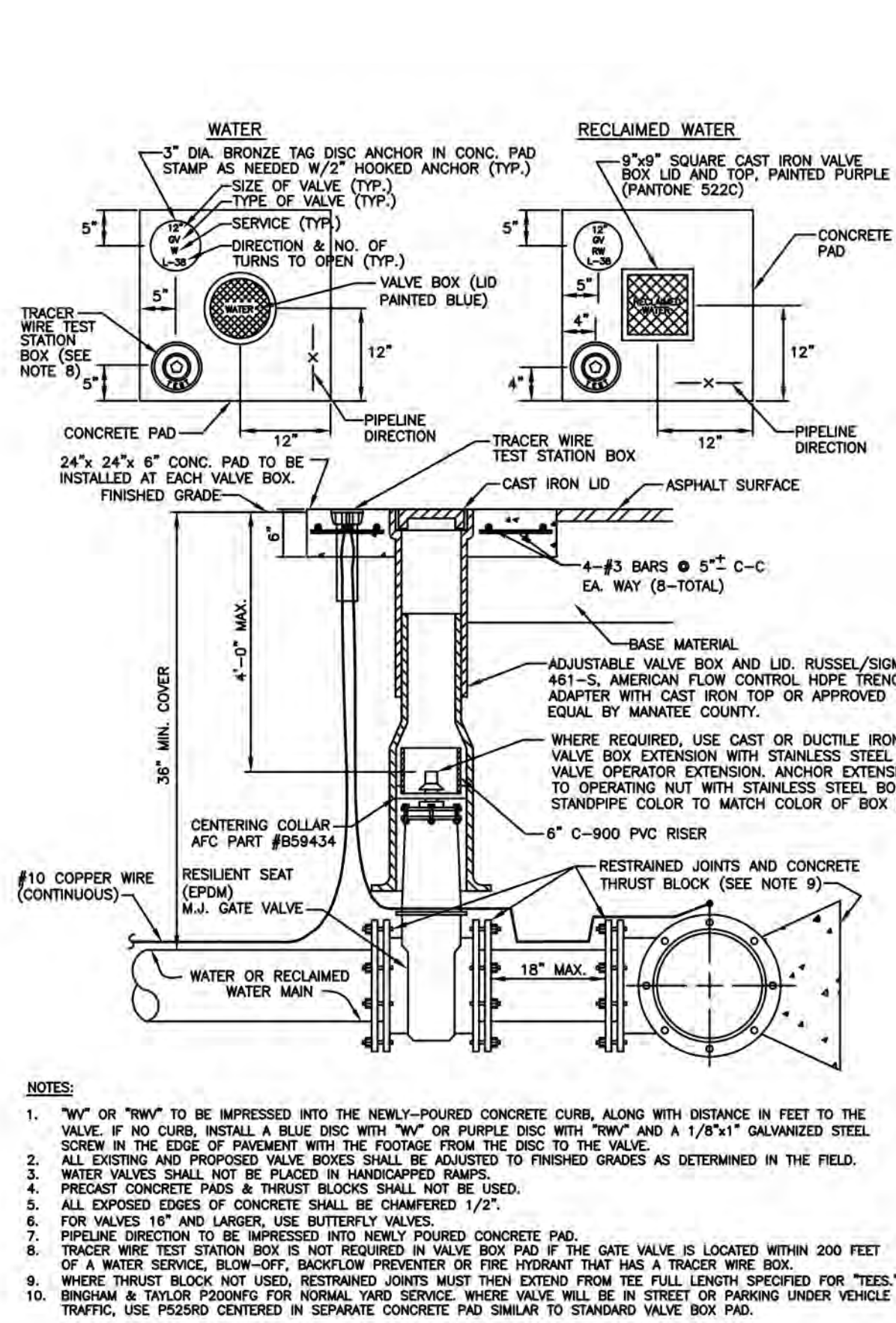
Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-12

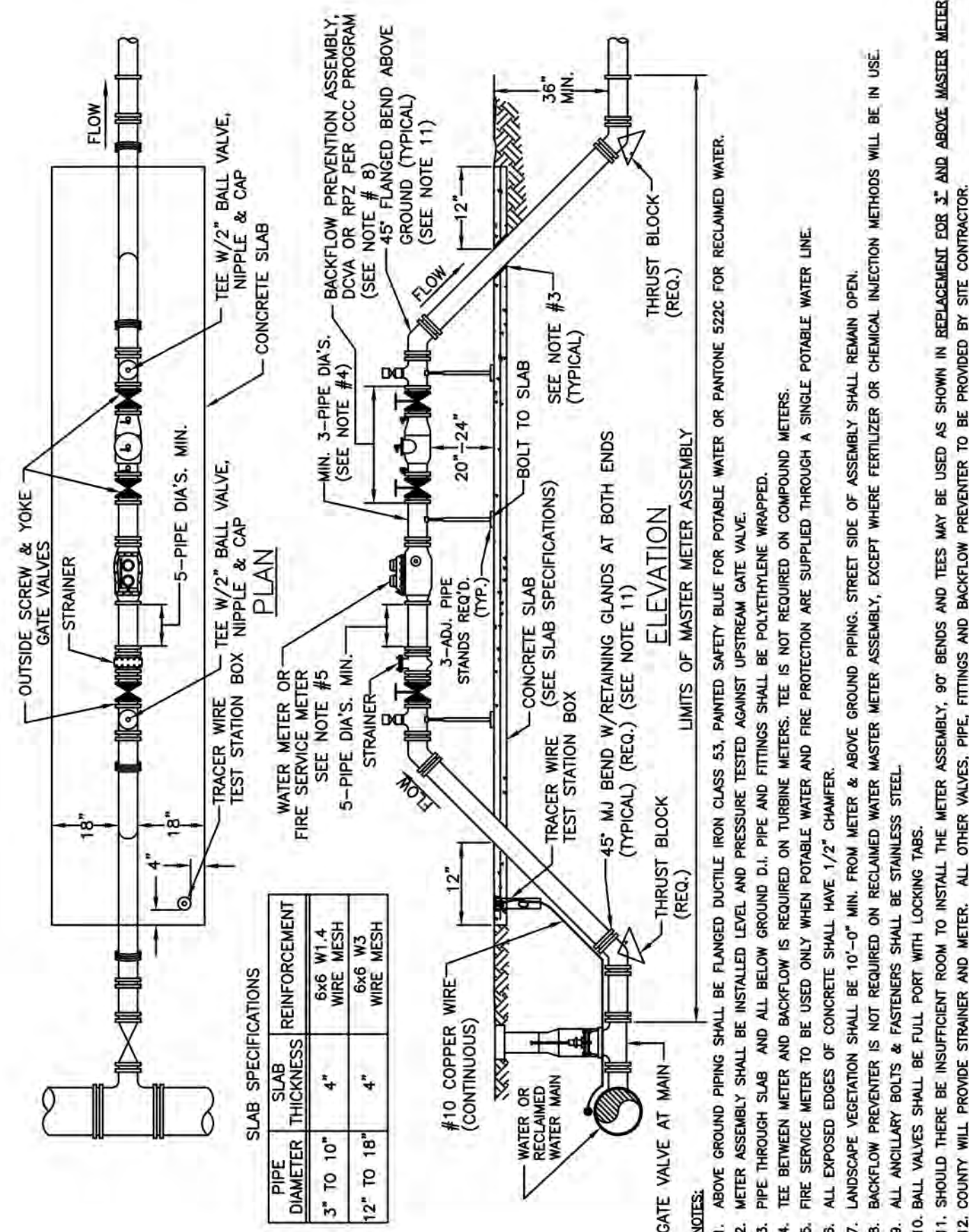




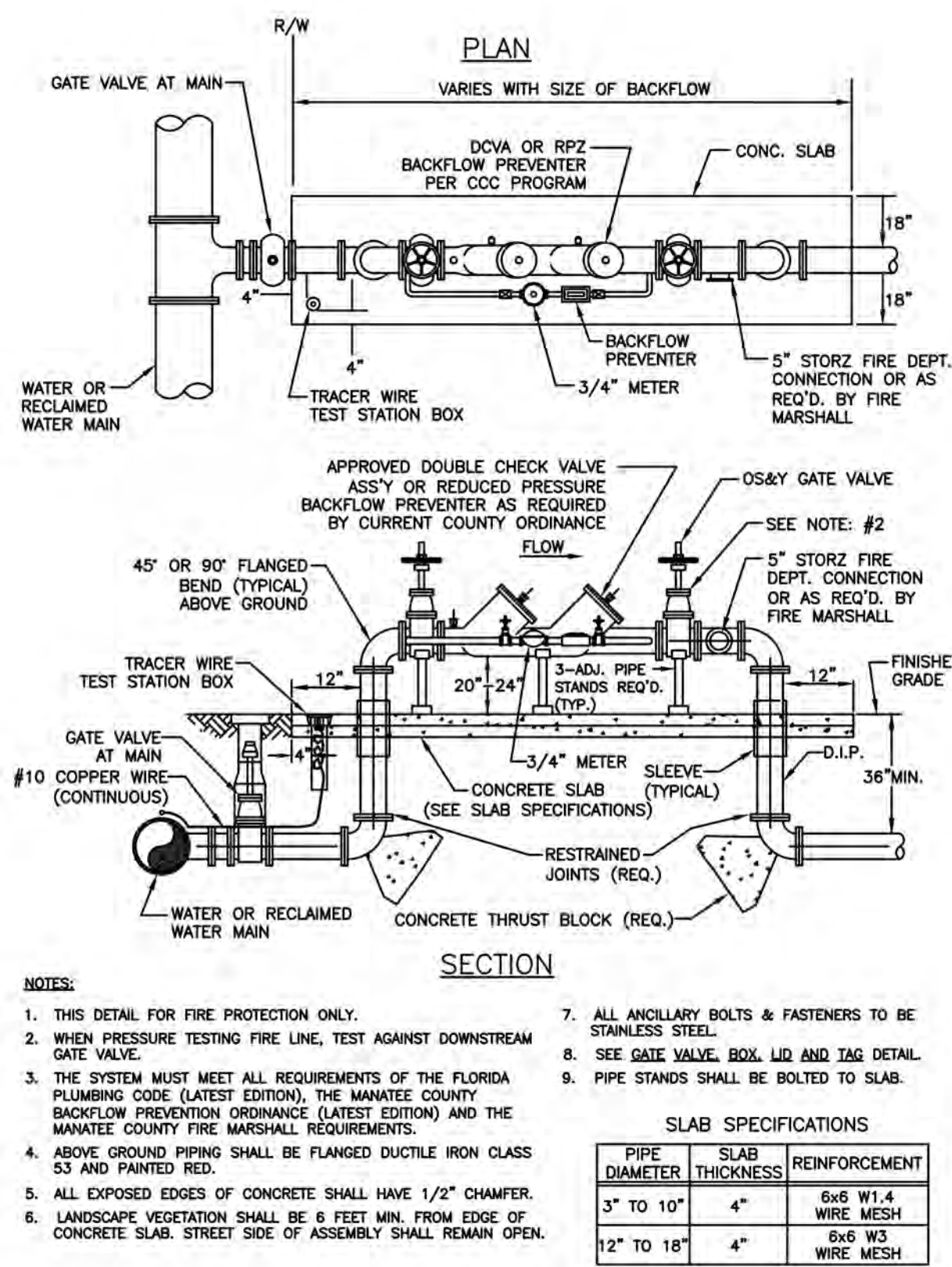




Gate Valve, Box, Lid and Tag  
N.T.S.



3\"/>



3\"/>

REQUIRED LENGTH OF RESTRAINED JOINT PIPE FOR DR-18 PVC PIPE												
MAIN PIPE SIZE	HORIZ. BENDS	TEES						REDUCERS				PLUGS & VALVES
		SIZE						LENGTH				
24	90° 38 18	24-168	120-132	115-90	115-78	110-66	90-84	115-117	110-108		214	
20	78 32 16	20-141	115-101	115-83	110-66	105-54	85-85	115-115	110-149		184	
16	66 27 13	16-111	115-87	110-67	105-54	100-42	65-65	110-107	95-111		151	
12	52 22 10	12-80	115-58	105-41	100-38	95-24	65-64	105-82	95-88		116	
10	44 18 9	10-63	105-40	95-32	90-24	85-18	55-55	95-81	85-81		100	
8	37 15 7	8-46	95-30	85-18	80-15	75-12	55-55	85-85			83	
6	29 12 6	6-36	85-18	75-12	70-10	65-8	55-55				63	
4	21 8 4	4-24	75-12				55-55				45	

NOTES:

- RESTRAIN 11.25" BENDS 50% OF LENGTH FOR 22.5" BENDS.
- ALL VALVES AND FITTINGS SHALL BE RESTRAINED TO THE CONNECTIONS OF PIPE.
- ALL ISOLATION VALVES MUST BE PROPERLY ANCHORED OR RESTRAINED TO RESIST A 180 PSI TEST PRESSURE IN EITHER DIRECTION.
- PIPE SIZES ARE GIVEN IN INCHES.
- RESTRAINED PIPE LENGTHS ARE GIVEN IN FEET.
- LENGTHS SHOWN ARE FOR A TEST PRESSURE OF 180 PSI.
- THE RESTRAINED LENGTHS SHOWN IN THESE TABLES ARE BASED ON SOIL CLASSIFICATION SP WITH AWWA TYPE 3 TRENCH CONDITIONS, 180 PSI TEST PRESSURE, 3 FEET OF COVER AND 1.5 FACTOR OF SAFETY. ACTUAL BURY CONDITIONS MUST BE DETERMINED BY THE ENGINEER OF RECORD AND THE RESTRAINED LENGTHS MODIFIED ACCORDINGLY.
- RESTRAINED LENGTHS TO BE APPLIED TO PIPELINES PER DETAIL RESTRAINED LENGTHS FOR PIPE.

Restrained Lengths For PVC Pipe  
N.T.S.

THRUST BLOCK DIMENSIONS B ft. x d. inches												
PIPE SIZE (IN.)	90°BEND		45°BEND		22.5°BEND		11.25°BEND		DEAD END & TEE		45° WYE	
	B	d	B	d	B	d	B	d	B	d	B	d
4	1.5	3 ½	1.1	3 ½	0.8	3 ½	0.6	3 ½	1.3	3 ½	1.1	3 ½
6	2.2	5 ½	1.6	3 ¾	1.2	3 ¾	0.8	3 ¾	1.9	4 ½	1.6	3 ¾
8	2.9	7	2.1	5	1.5	3 ¾	1.1	3 ¾	2.4	5 ¾	2.0	4 ¾
10	3.5	8 ½	2.6	6 ¾	1.9	4 ¾	1.3	3 ¾	3.0	7 ¾	2.5	6
12	4.2	10	3.1	7 ¾	2.2	5 ¾	1.6	3 ¾	3.5	8 ¾	3.0	7 ¾
14	4.9	11 ½	3.6	8 ¾	2.6	6 ¾	1.8	4 ¾	4.1	9 ¾	3.4	8 ¾
16	5.5	13 ¾	4.1	9 ¾	2.9	7	2.1	5	4.7	11 ¾	3.9	9 ¾
18	6.2	15	4.6	11	3.3	8	2.3	5 ½	5.2	12 ¾	4.4	10 ¾
20	6.9	16 ½	5.0	12	3.6	8 ¾	2.6	6 ¾	5.8	14	4.9	11 ¾
24	8.2	19 ¾	6.0	14 ¾	4.3	10 ¾	3.1	7 ¾	6.9	16 ¾	5.8	14
30	10.1	24 ¾	7.5	18	5.3	12 ¾	3.8	9	8.5	20 ¾	7.2	17 ¾
36	12.1	29	8.9	21 ¾	6.4	15 ¾	4.5	10 ¾	10.2	24 ¾	8.6	20 ¾

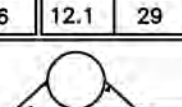
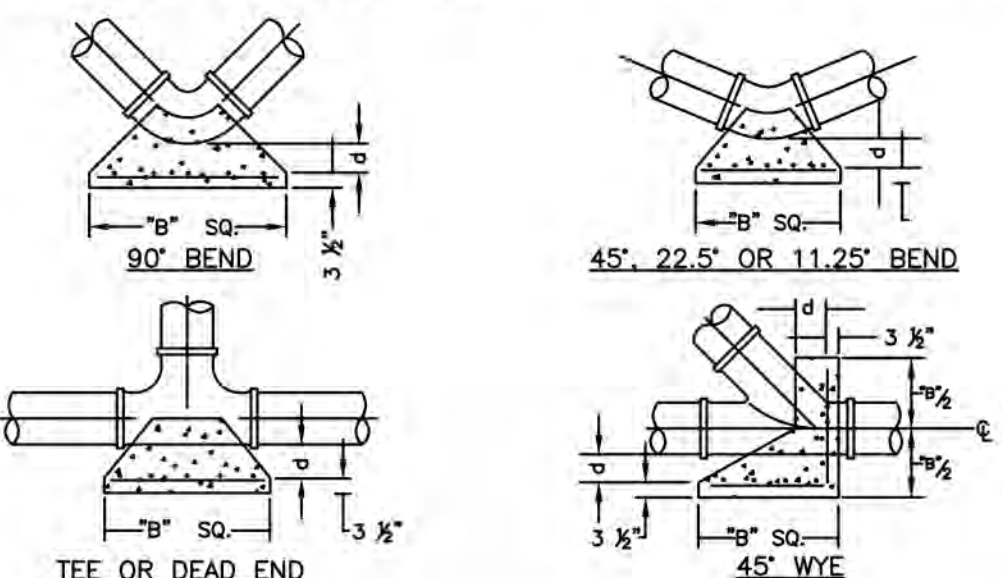


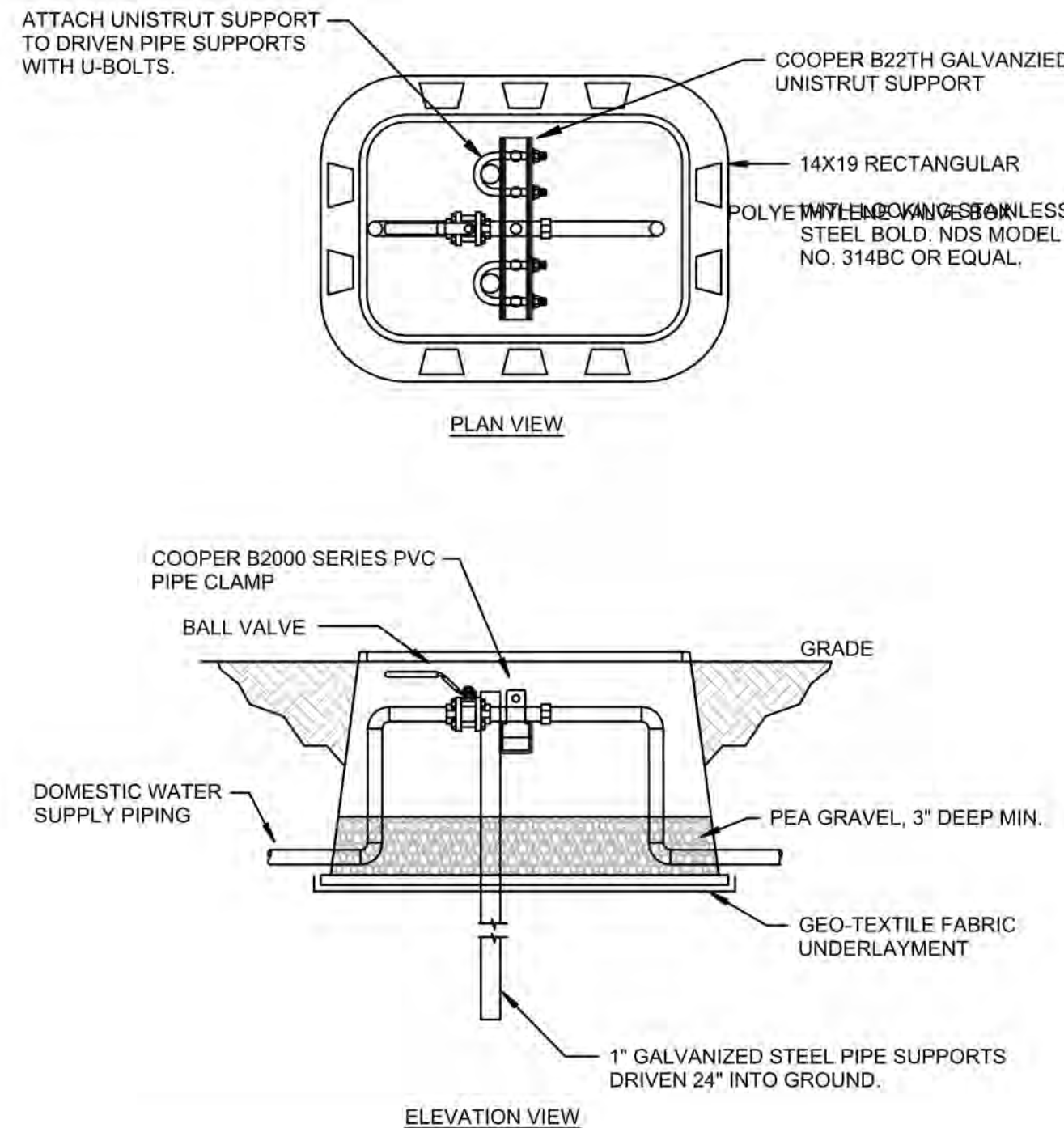
Diagram illustrating the dimensions of a thrust block: B (width) and d (depth).

### REINFORCEMENT MAT SCHEDULE

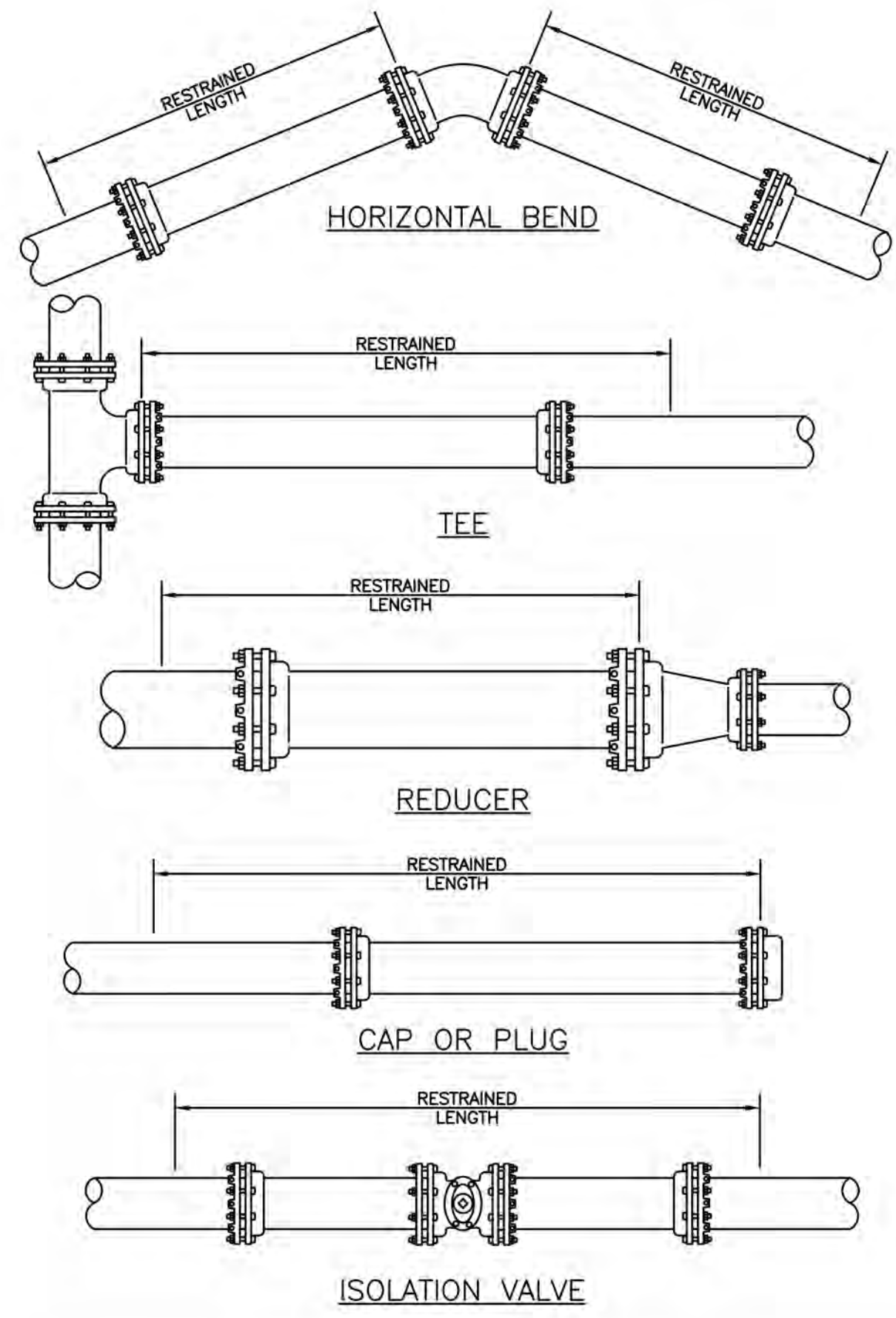
FOR DIM. "B" BETWEEN 5.75' & 12.5' USE #4 @ 8" EACH WAY  
FOR DIM. "B" LESS THAN 5.75' USE #3 @ 8" EACH WAY



Concrete Thrust Blocks  
N.T.S.



Water Service Shut-Off Valve @ Bldg.  
N.T.S.



Reastained Lengths For Pipe  
N.T.S.

Submitted For:

Design By: Drawn By: Checked By:  
JEC TMF JEC  
Drawing Scale: Drawing Date:  
1" = 30' 1/20/22

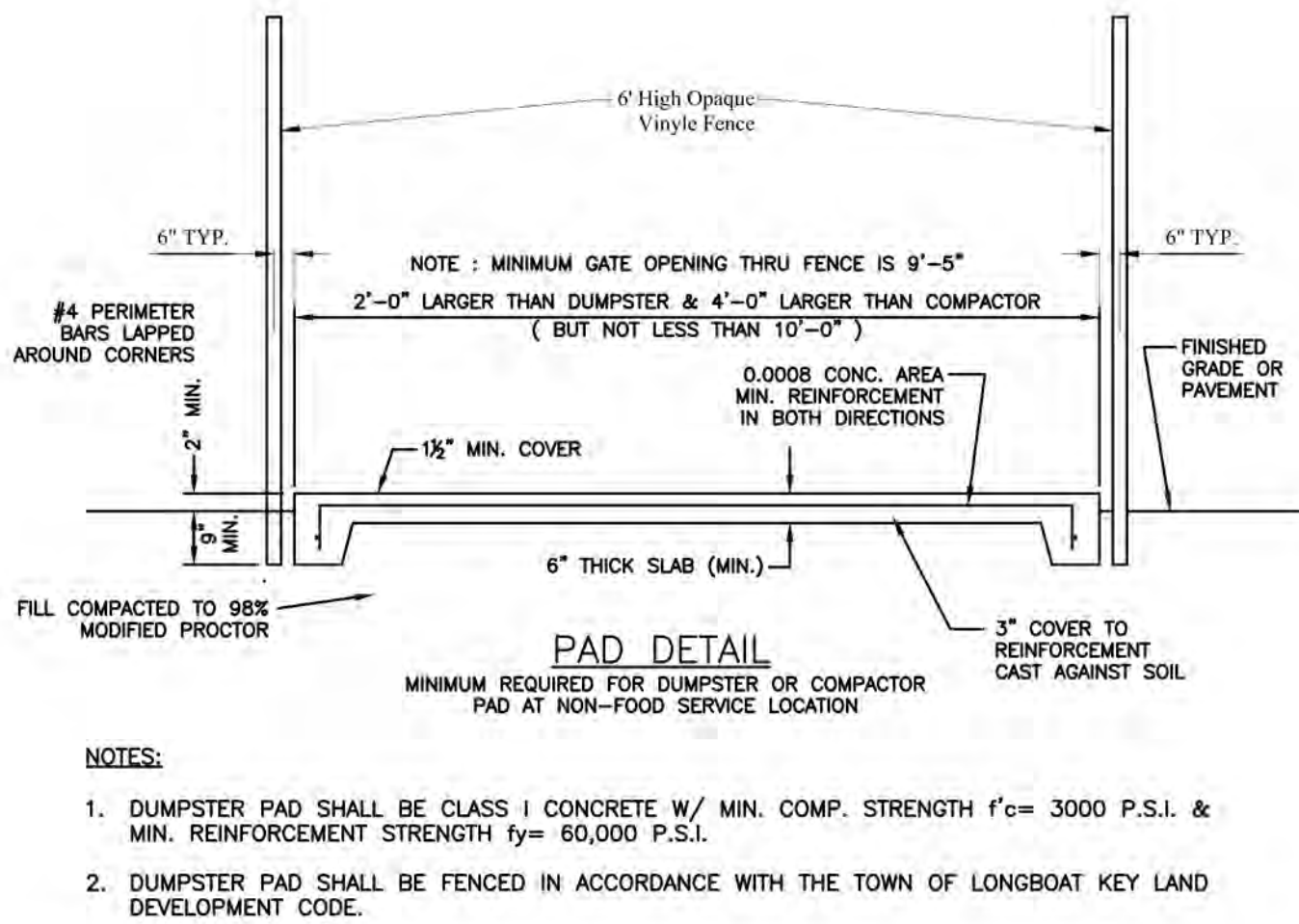
Water Details  
For  
Brista Homes

Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-14



F:\PROJECTS\26300 DND & Battenwood Dr Property\CAD\Plan Set\13 26300 SANITARY DETAILS.dwg February 03, 2022 - 5:34pm



- NOTES:
- DUMPSTER PAD SHALL BE CLASS I CONCRETE W/ MIN. COMP. STRENGTH  $f'_c$ = 3000 P.S.I. & MIN. REINFORCEMENT STRENGTH  $f_y$ = 60,000 P.S.I.
  - DUMPSTER PAD SHALL BE FENCED IN ACCORDANCE WITH THE TOWN OF LONGBOAT KEY LAND DEVELOPMENT CODE.

### Dumpster Detail

N.T.S.

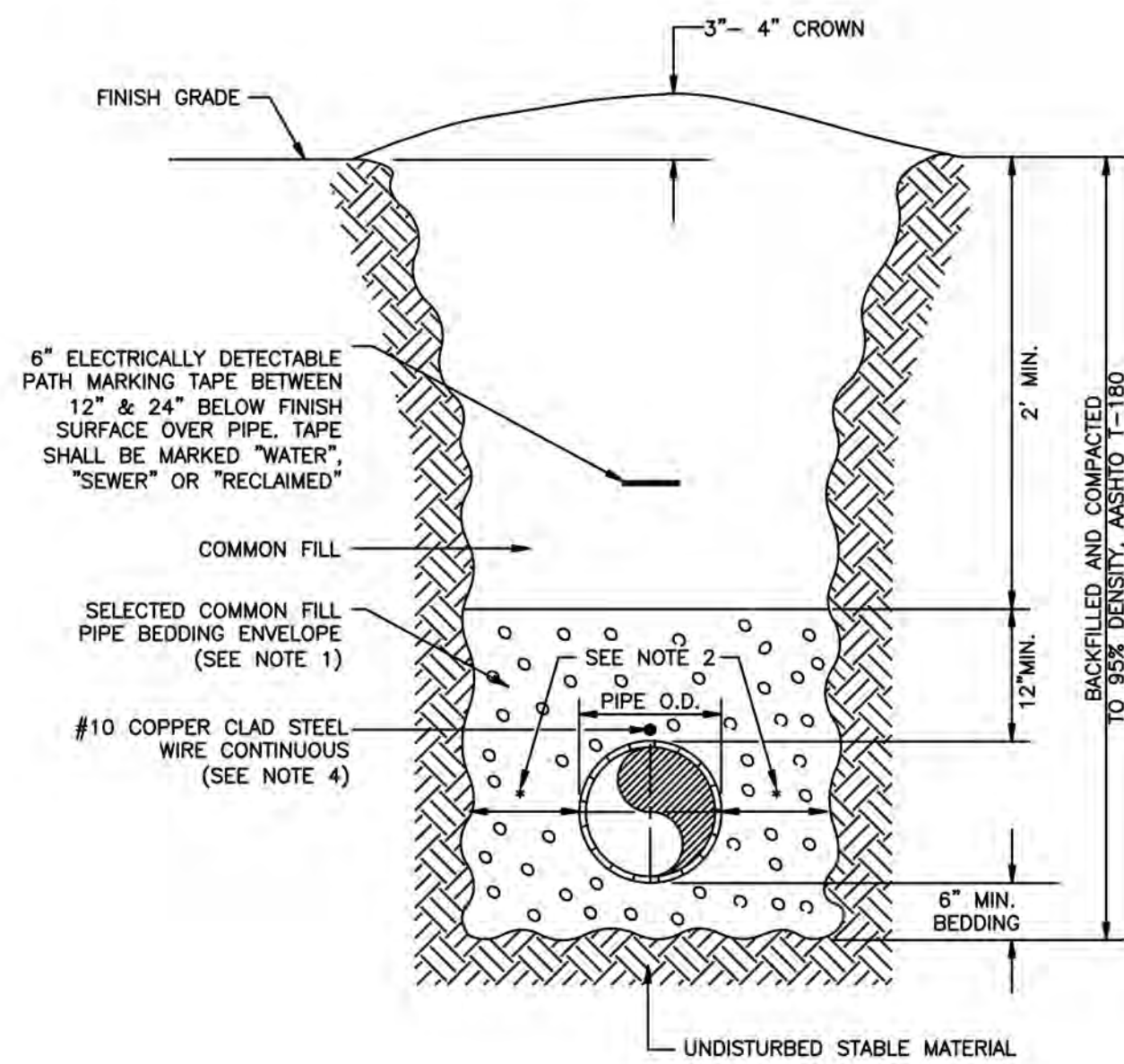
- WHERE SANITARY SEWER CROSSES WITHIN 18" VERTICALLY OF A POTABLE WATERMAIN, RECLAIMED WATERMAIN OR STORM DRAIN, THE SEWER MAINS AND/OR WATERMAINS SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE. WHEN A SANITARY SEWER MAIN PARALLELS A RECLAIMED WATERMAIN, A MINIMUM OF 5 FEET HORIZONTAL SEPARATION (CENTER TO CENTER) AND 3 FEET ( OUTSIDE TO OUTSIDE) IS REQUIRED.
- MANHOLES SHALL BE CONSTRUCTED COATED AND INSTALLED ACCORDANCE WITH MANATEE COUNTY SPECIFICATIONS
- ALL P.V.C. PIPING SHALL BE COLOR CODED (METHOD ESTABLISHED BY M.C.P.W.D. DIRECTIVE) IN THE FOLLOWING COLORS:
- ALL CLEAN OUT COVERS SHALL BE MARKED "S" FOR SEWER. ALL I.P.S. PLUGS FOR C.O. SHALL BE RAISED NUT SOLID PLUGS.
- P.V.C. PIPE (GRAVITY SEWER) FITTINGS AND JOINTS SHALL MEET A.S.T.M. STANDARDS. POLYVINYL CHLORIDE (PVC) GRAVITY SEWER PIPE AND FITTINGS, 4" TO 15" INCHES IN DIAMETER, SHALL BE SDR 26, MEETING THE REQUIREMENTS OF ASTM D 3034. JOINING OF PIPE SECTIONS AND FITTINGS SHALL BE BY WATER-TIGHT PUSH-ON JOINTS USING ELASTOMERIC GASKETS IN ACCORDANCE WITH ASTM D 3212 & COLOR CODED (METHOD ESTABLISHED BY M.C.P.W.D. DIRECTIVE) IN THE COLOR GREEN. ALL PIPE MUST BE MARKED WITH APPLICABLE STANDARDS AND SO CERTIFIED.

### Sanitary Sewer Notes

N.T.S.

Source: SDE

- NOTES:
- USE OF TYPE A-2 AND A-3 PIPE BEDDING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
  - PROVIDE ADEQUATE CLEARANCE TO PLACE AND COMPACT STAGE 1 BEDDING MATERIAL IN TRENCH AREA BELOW PIPE SPRINGLINE. PIPE EMBEDMENT MUST BE COMPACTED OUT TO THE TRENCH WALL OR 2.5 TIMES THE PIPE OD, WHICHEVER IS LESS.
  - PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - TRACER WIRE NOT REQUIRED FOR GRAVITY SEWERS.

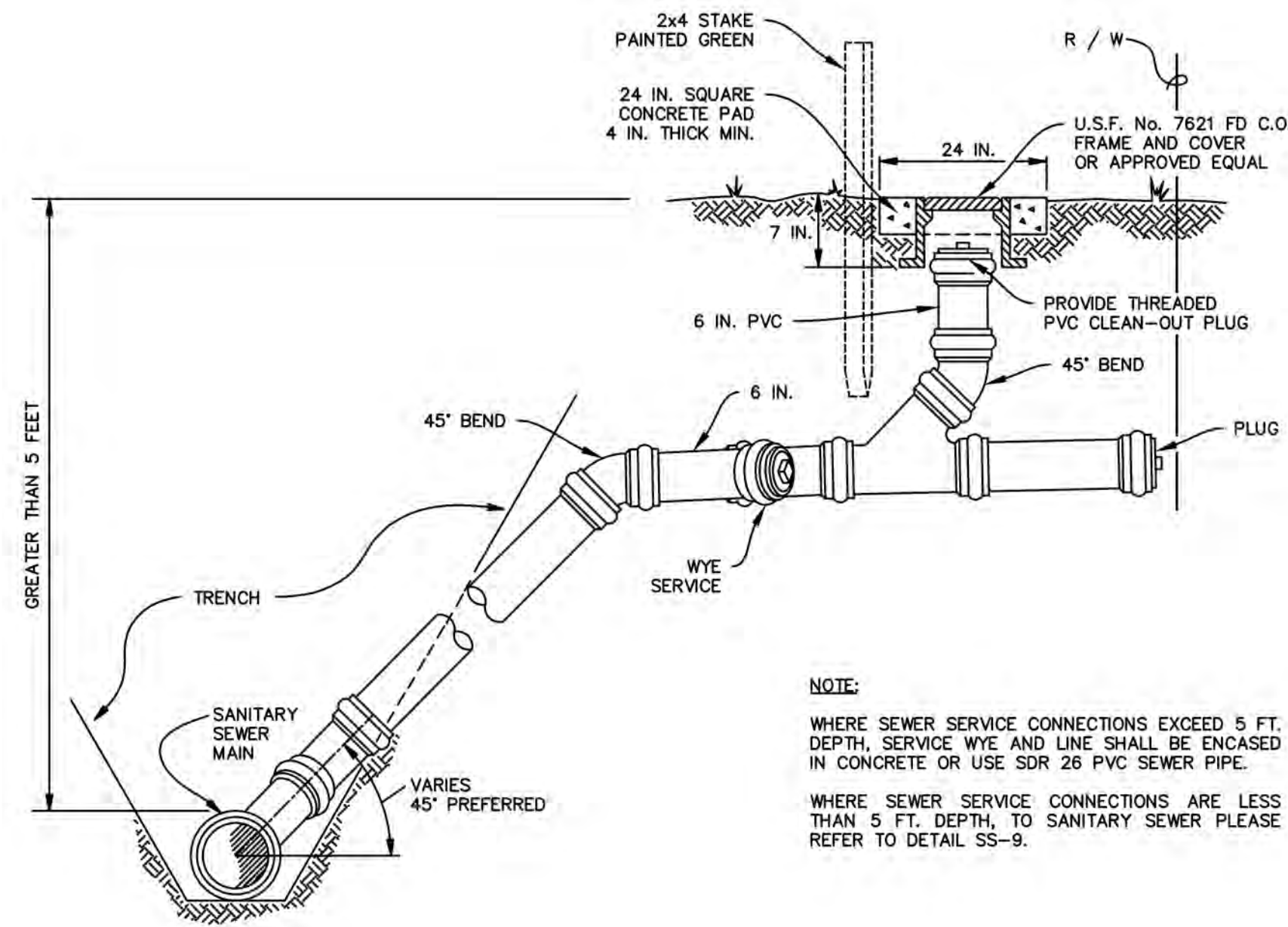


### Trench With Unimproved Surface Type A-1 Pipe Bedding

N.T.S.

Source: Manatee County

UG-11

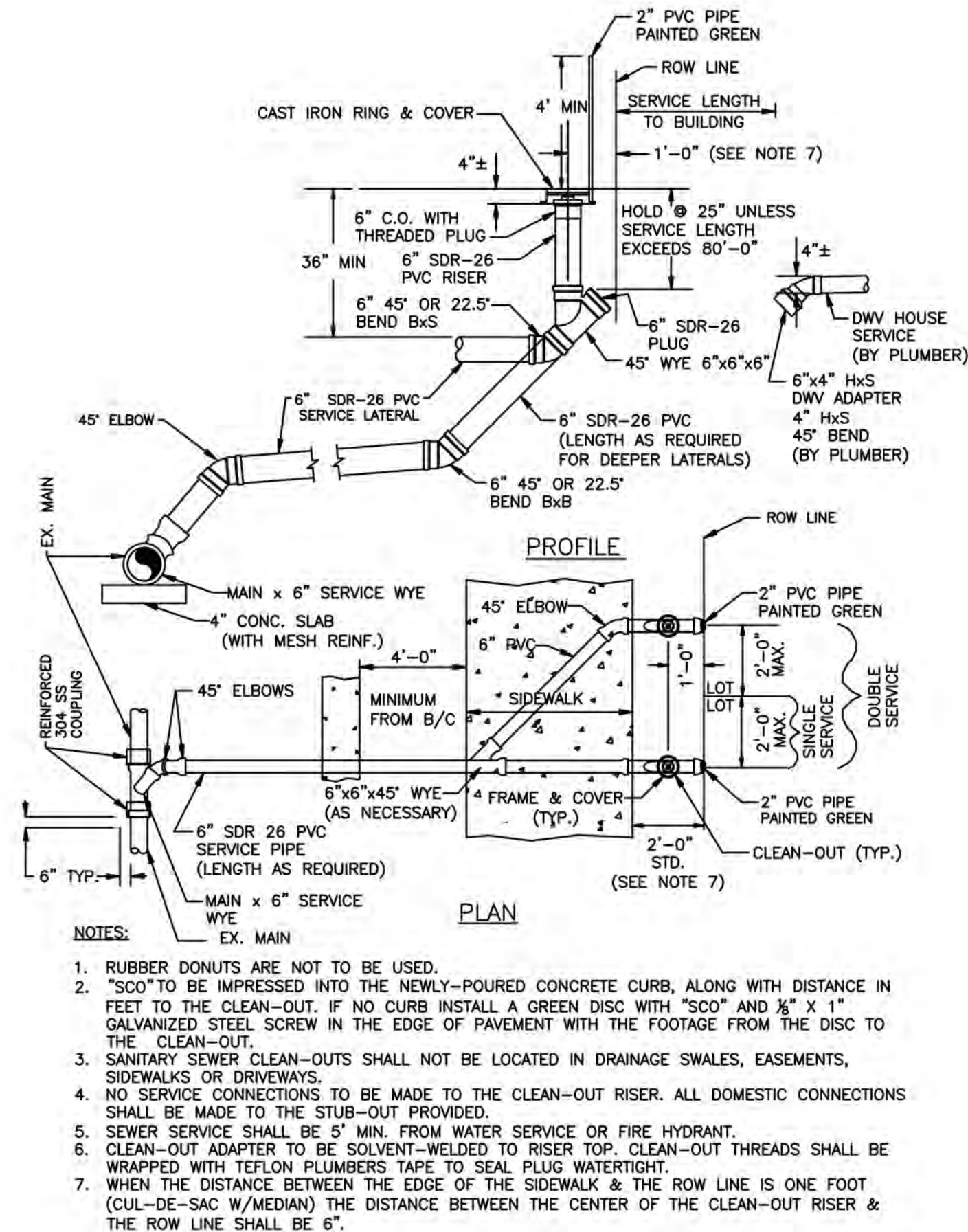


### Sanitary Sewer Deep Service Line Clean-out Installation

N.T.S.

Source: SDE

01/02/17



- NOTES:
- RUBBER DONUTS ARE NOT TO BE USED.
  - "SCO" TO BE IMPRESSED INTO THE NEWLY-POURED CONCRETE CURB, ALONG WITH DISTANCE IN FEET TO THE CLEAN-OUT. IF NO CURB INSTALL A GREEN DISC WITH "SCO" AND  $\frac{3}{8}$ " X 1" GALVANIZED STEEL SCREW IN THE EDGE OF PAVEMENT WITH THE FOOTAGE FROM THE DISC TO THE CLEAN-OUT.
  - SANITARY SEWER CLEAN-OUTS SHALL NOT BE LOCATED IN DRAINAGE SWALES, EASEMENTS, SIDEWALKS OR DRIVEWAYS.
  - NO SERVICE CONNECTIONS TO BE MADE TO THE CLEAN-OUT RISER. ALL DOMESTIC CONNECTIONS SHALL BE MADE TO THE STUB-OUT PROVIDED.
  - SEWER SERVICE SHALL BE 5' MIN. FROM WATER SERVICE OR FIRE HYDRANT.
  - CLEAN-OUT ADAPTER TO BE SOLVENT-WELDED TO RISER TOP. CLEAN-OUT THREADS SHALL BE WRAPPED WITH TEFLON PLUMBERS TAPE TO SEAL PLUG WATER TIGHT.
  - WHEN THE DISTANCE BETWEEN THE EDGE OF THE SIDEWALK & THE ROW LINE IS ONE FOOT (CUL-DE-SAC W/MEDIAN) THE DISTANCE BETWEEN THE CENTER OF THE CLEAN-OUT RISER & THE ROW LINE SHALL BE 6".

### Cut-In Single and Double Service Wyes

N.T.S.

Source: Manatee County

US-13B

Submitted For:

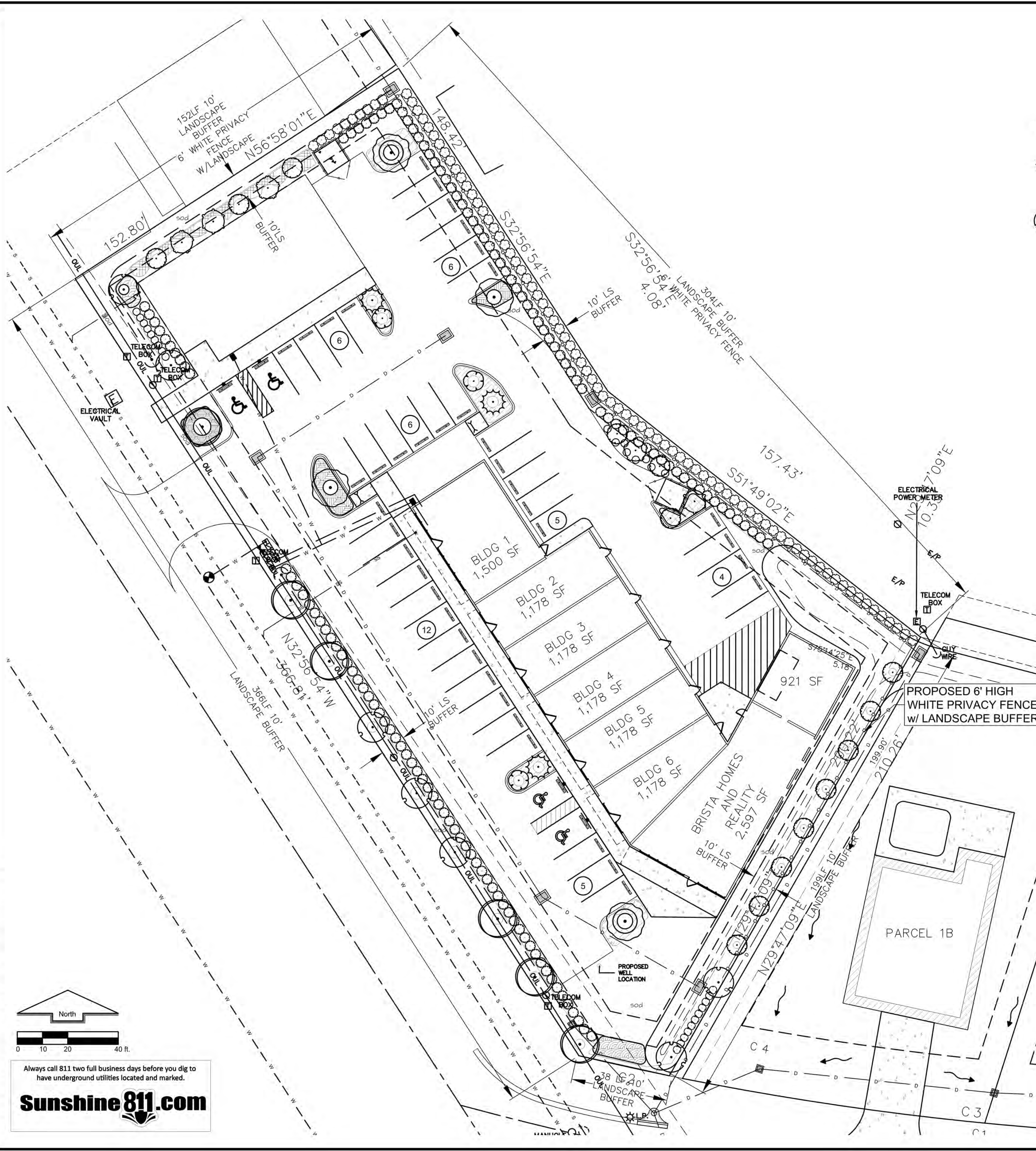
Design By: Drawn By: Checked By:  
JEC TMF JEC  
Drawing Scale: Drawing Date:  
1" = 30' 1/20/22

Sanitary Details  
For  
Brista Homes  
Section 7, Township 36 S, Range 17 E  
Town of Longboat Key, Florida

FSP-15



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### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	QV	4	Quercus virginiana / Southern Live Oak	B & B	2"Cal	10' Ht.	5' ct., 6' spd., single leader, Native, drought tolerant
PALMS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	SS15	14	Sabal palmetto / Cabbage Palmetto	B & B	N/A	15' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	SP18	3	Sabal palmetto / Cabbage Palmetto	B & B	N/A	18' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	SS20	2	Sabal palmetto / Cabbage Palmetto	B & B	N/A	20' Ht.	Remove boots, hurricane cut, 10' clear trunk, native
	WB	3	Wodyetia bifurcata / Foxtail Palm	B & B			5'gw
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	CS2	6	Conocarpus erectus sericeus / Silver Buttonwood	B & B	1.5"Cal	6' Ht.	4' spd, MLT
	CW	7	Cordia alliodora 'White Geiger' / Anacahuita	45 gal	1.5"Cal	6' Ht.	4' spd, Single leader
	LI	3	Lagerstroemia indica / Crape Myrtle	B & B	MLT	8' Ht.	4' spd, MLT, 5' spread
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	MC2	17	Muhlenbergia capillaris / Pink Muhly Grass	3 gal			Full, Native
	NC	87	Nerium oleander 'Calypso' / Calypso Oleander	3 gal			36"ht, 4' oc
	IG	132	Scaveola plumetia / Inkberry	3 gal			24" ht, 18" spd
	VA	11	Viburnum odoratissimum awabuki / Awabuki Viburnum	25 gal			24" spd, 6' ht
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	IS	15	Ilex vomitoria 'Schillings' / Schillings Yaupon Holly	3 ga.			30" o.c. 14"ht, 12" spd, Native, drought tolerant
	ND	42	Nerium oleander 'Dwarf' / Dwarf Oleander	3 ga.			36" o.c.
	SR	12	Serenca repens / Saw Palmetto	3 gal			36" o.c.
	TF2	38	Tripsacum dactyloides / Fakahatchee Grass	3 ga.			30" o.c. Full, Native
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
	JP	39	Juniperus chinensis 'Parsoni' / Parsoni Juniper	3 ga.			30" o.c. 10"ht, 14" spd, drought tolerant
	MC	37	Muhlenbergia capillaris / Pink Muhly Grass	3 ga.			36" o.c. Full, Native
	TF	50	Tripsacum dactyloides / Fakahatchee Grass	3 ga.			36" o.c. full, native

### LANDSCAPE NOTES:

- In the event of variation between quantities shown of the plant list and the plans, the plans shall control. Improvisations made by the Landscape Contractor shall be no cause for additional costs to the owner. Sod, mulch, and topsoil quantity takeoffs shall be the responsibility of the contractor.
- No substitutions shall be made without the written consent of the Owner or Landscape Architect.
- Fertilizer shall be applied to all new planting areas at a rate of 1 1/4 lbs. actual nitrogen, 1 1/4 lbs. actual phosphorus, and 1 1/4 lbs. actual potash per 1,000 sq. ft. of planting area. The fertilizer shall also contain all minor trace elements suitable for the area where it is to be used.
- All shrub bed soil mixtures shall contain 2/3 best of on-site topsoil and 1/3 peat, with 8 oz. of super-absorbent mixed in with each cubic yard. Shrub beds shall be uniformly amended to a depth of 12". Ph levels within planting beds shall be between 6.5 and 7.5 following plant installation. It shall be the Landscape Contractor's responsibility to achieve the proper pH level.
- Topsoil material, when called for on the plans, shall be free of sticks, stones larger than 1" dia., plants, or any other debris which would be toxic or otherwise harmful to plant growth. Topsoil should be fertile, friable, and of a naturally loamy character.
- The Landscape Contractor shall take all necessary precautions to protect all existing structures on the site and shall be held responsible for any damage caused by his operations.
- It shall be the Landscape Contractor's financial responsibility to prevent plants and trees from falling or being blown over, and to replace all plants which are damaged at no additional cost to the owner for sustained winds of less than 65 MPH.
- Maintenance shall begin after each plant has been installed and shall continue until final acceptance by the Landscape Architect. Maintenance shall include pruning, mulching, weeding, replacement of sick or dead plants, watering (including cost of equipment such as a water-truck) and any other care which is needed for the proper growth of the plant material.
- Excess waste material shall be removed daily from the site.
- All plant materials used shall conform to the standards for Florida No. 1 or better as described in "Grades and Standards for Nursery Plants", State of Florida, Department of Agriculture and Consumer Services, Division of Plant Industry, 2015 edition or equal thereto as approved by the Landscape Architect.
- All shrub beds and hedges shall be top-dressed with 2" of washed shell mulch unless otherwise stated on the plans or plant schedule. Mulch shall be pulled back 4" from tree trunks and reduced to one inch depth next to woody shrubs.
- It shall be the responsibility of the Landscape Contractor to coordinate activities with other contractors on the job site.
- All plant materials shall be fully guaranteed for a period of one (1) year following final acceptance by the owner.
- Planting beds for hedges shall be 3' wide unless otherwise specified.
- Unit prices for all plant material shall be provided to the Landscape Architect or Owner upon request.
- All landscape materials installed within the public right of way shall be installed to meet all State and Local codes and regulations.
- The Landscape contractor shall not include sod for retention areas into bid (ie. Lake banks and dry retention ponds). This work shall be the responsibility of the general contractor. Sodding of swales shall be the landscape contractors responsibility. Landscape contractor shall use Bahia sod for all other areas unless otherwise specified on the plans.
- Contractor shall install an automatic irrigation system which provides 100% coverage of all landscaped areas, including the tree/shrub buffer as shown on plan. All irrigation shall use the lowest quality water available which adequately and safely meets the needs of the system. Storm water reuse, reclaimed water use, grey water irrigation systems and/or shallow wells shall not be used. The use of potable water for irrigation will not be allowed.
- All B & B or Field Grown material (except palms) shall be obtained from "Roots Plus" certified nurseries.
- All trimming of existing trees shall be conducted or overseen by a certified arborist. Contractor shall contact sunshine state one call of florida system at 811
- 1-800-432-4770 for the location of underground utilities/facilities. Contractor shall verify the exact locations of said facilities prior to excavation and shall assume any and all liability for damages which may occur due to the contractor's failure to locate and preserve said facilities.
- Removal of all nuisance, exotic plant species from upland portions of the site shall be completed prior to the first Certificate of Occupancy issuance, and continue to be removed during the life of the project in accordance with LDC Section 701.4 (715.4). Once nuisance and exotic plant species are removed, additional plantings may be required in areas without vegetation cover to meet requirements in Section 701 of the LDC.
- Plantings shall maintain minimum separation from water meters and There shall be 3' minimum clearance from landscape plants from the edge of the meter slab for meters less than 3" and 6' for meters larger than 3", and for fire line backflow prevention assemblies.
- There shall be 10' min. clearance between trees and meter assemblies, meter assembly slabs, and fire line backflow prevention assemblies.
- There must be a clearance of 7.5' minimum from the front and both sides, and 4' to the rear of all fire hydrants and above grade obstructions including posts, fences, trees, etc. per the Florida Fire Prevention Code.
- Street side of meter assemblies and fire line backflow prevention assemblies shall remain open and free of landscaping.
- Trees shall not be planted or located within 10 feet of any potable water main, reclaimed water main, sanitary force main, gravity sanitary sewer main, sanitary cleanouts, or potable/reclaimed / force main appurtenances such as meters, hydrants, backflow prevention assemblies, etc.
- Roadway buffers are not located in potential Right of Way reservation setbacks.
- Trees and shrubs shall not be placed within the middle two thirds of any drainage swale or within 3' measured horizontally from the centerline of the swale, whichever is greater.



DESIGNED: RG/VK  
DATE: JANUARY 2022  
DRAWN: RG/VK  
JOB NO.: 22-1386  
SCALE: 1"= 20'

REVISIONS:

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BRISTA HOMES PLAZA

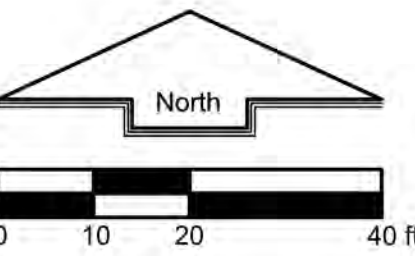
LOCATED AT:  
SECTION 7  
TOWNSHIP 36 SOUTH  
RANGE 17 EAST  
TOWN OF LONGBOAT KEY, FLORIDA

PRINTED COPIES OF ELECTRONICALLY SIGNED SEALED PLANS ARE NOT VALID WITHOUT A RAISED SEAL.



**FINAL LANDSCAPE PLAN, NOTES**

**L.1**



Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**



1/24/2022 4:48:03 PM 808 GAUSE F:\305\12-1306-Brista Homes\_Plan\ACAD\03-Details\BristaHomes-Planting-L.dwg

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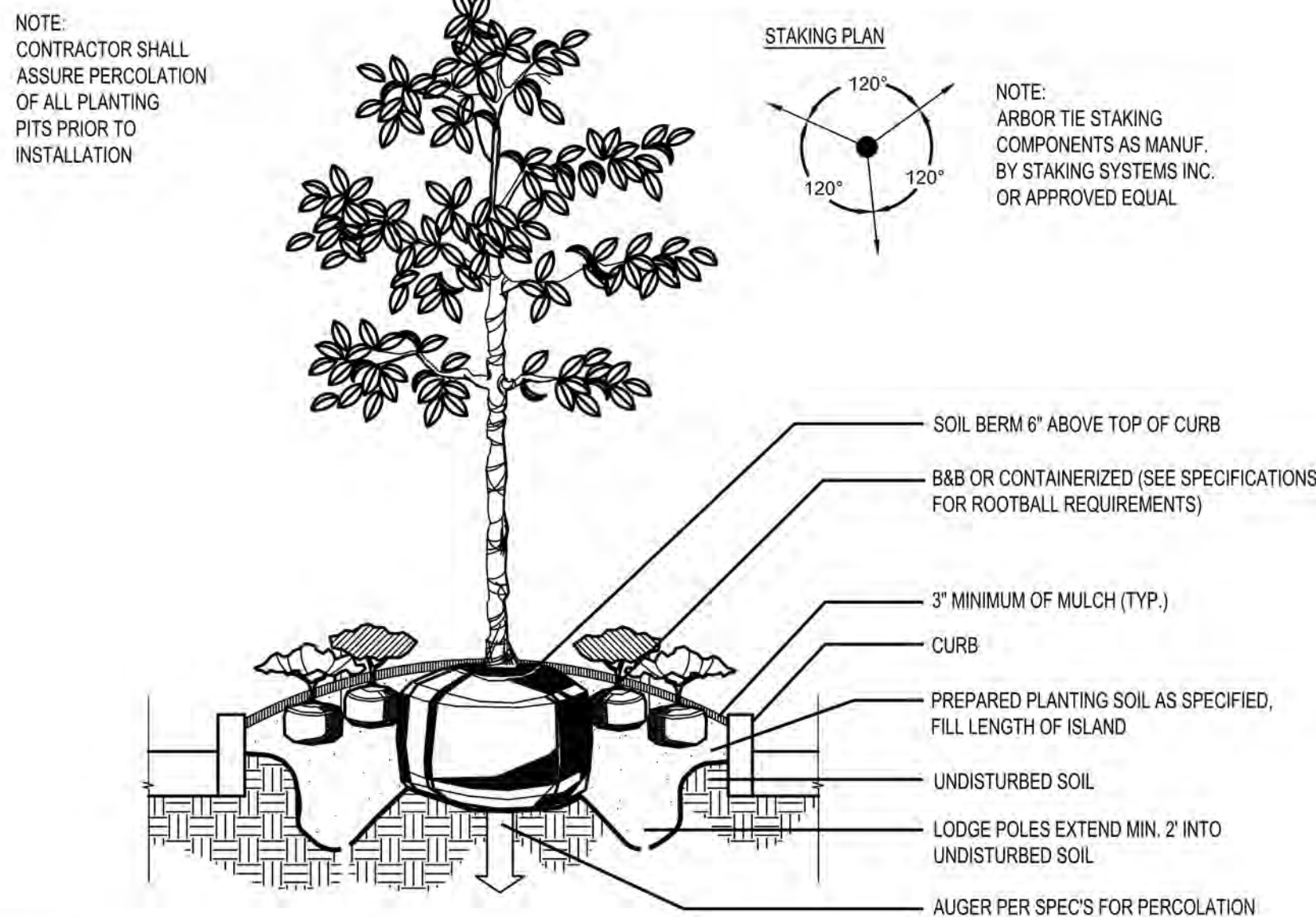
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TOWNSHIP 36 SOUTH  
RANGE 17 EAST  
TOWN OF LONGBOAT KEY, FLORIDA

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PLANS ARE NOT VALID WITHOUT A RAISED SEAL.



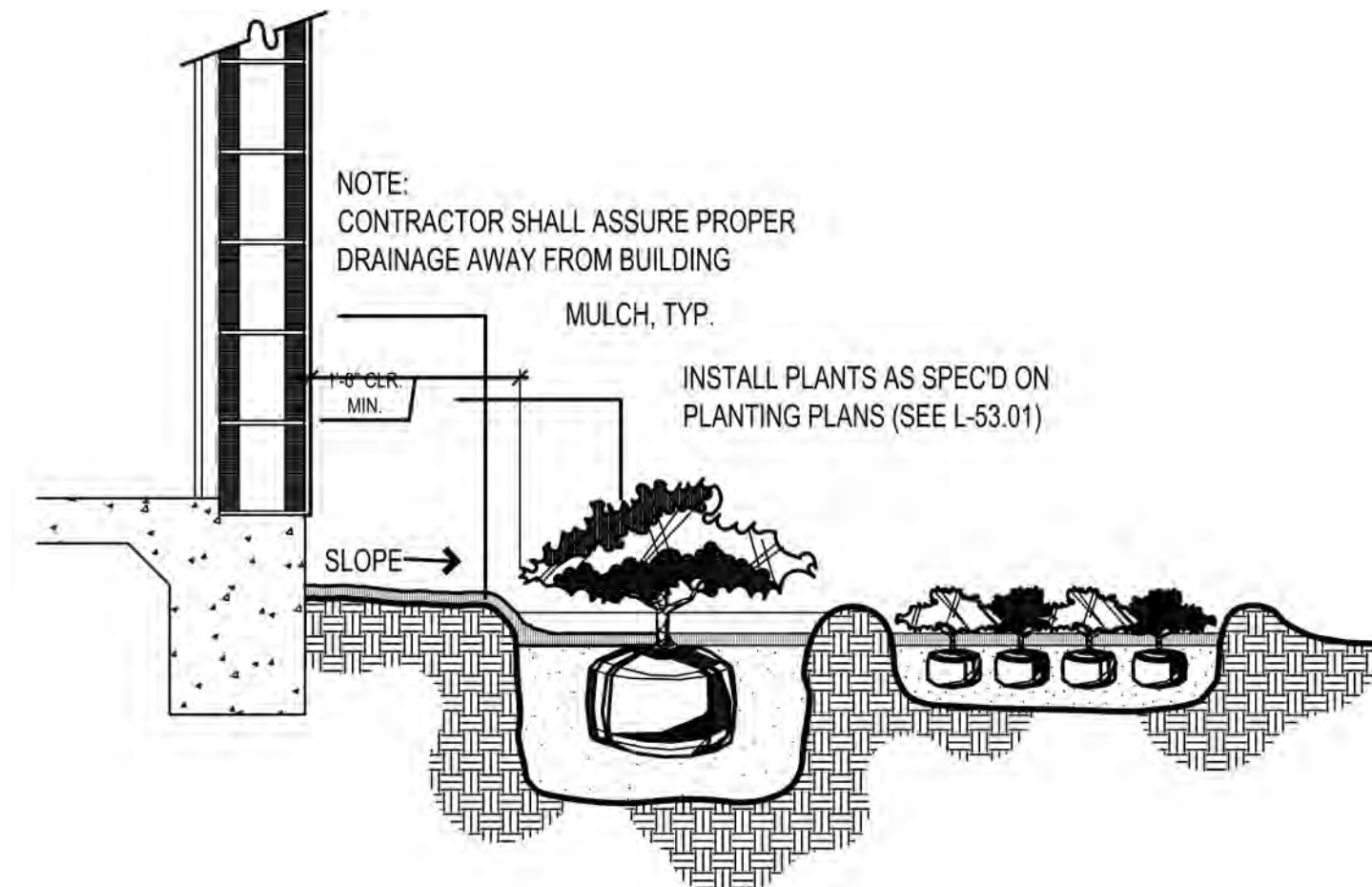
**FINAL  
LANDSCAPE  
DETAILS**

**L.2**



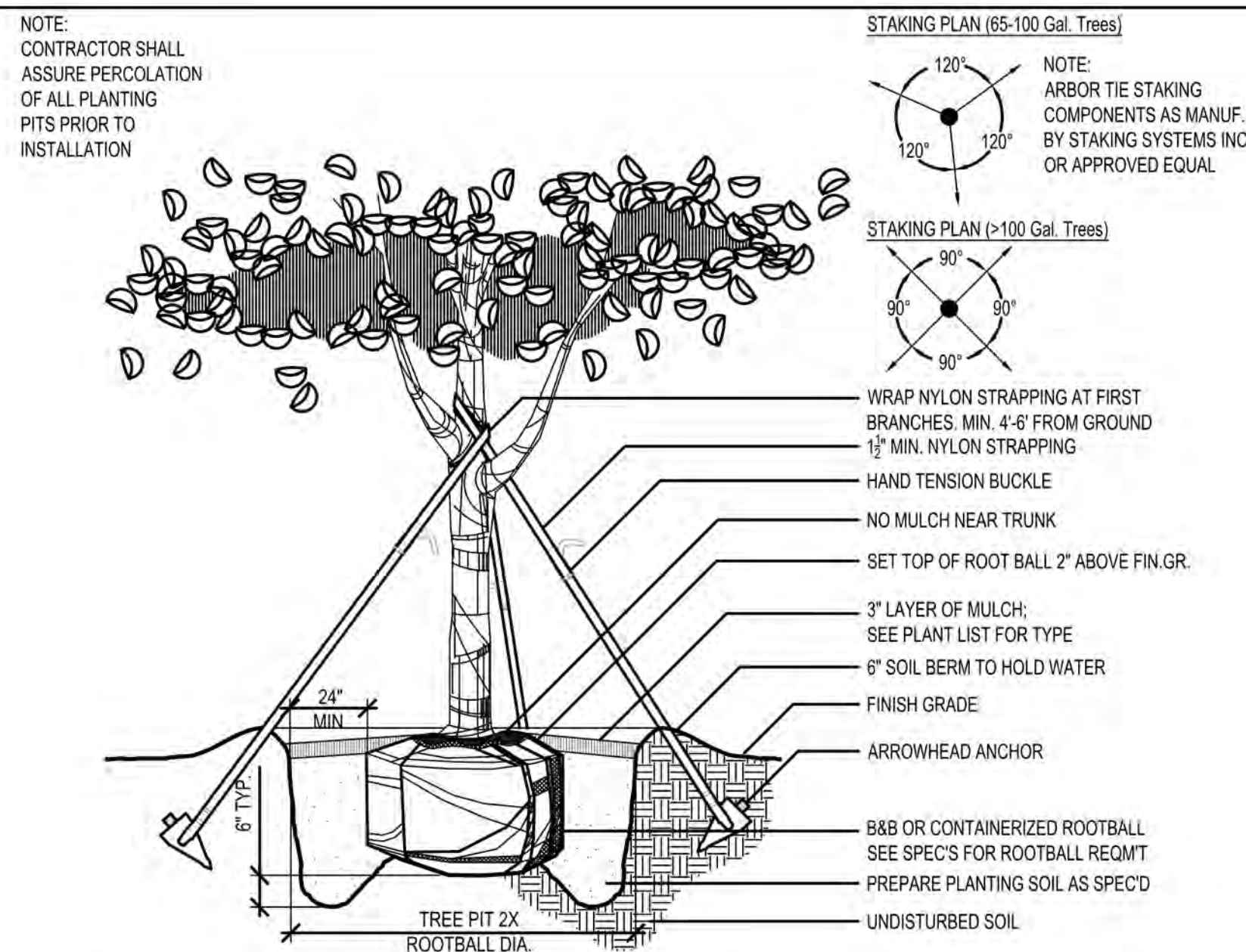
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Scale: N.T.S.



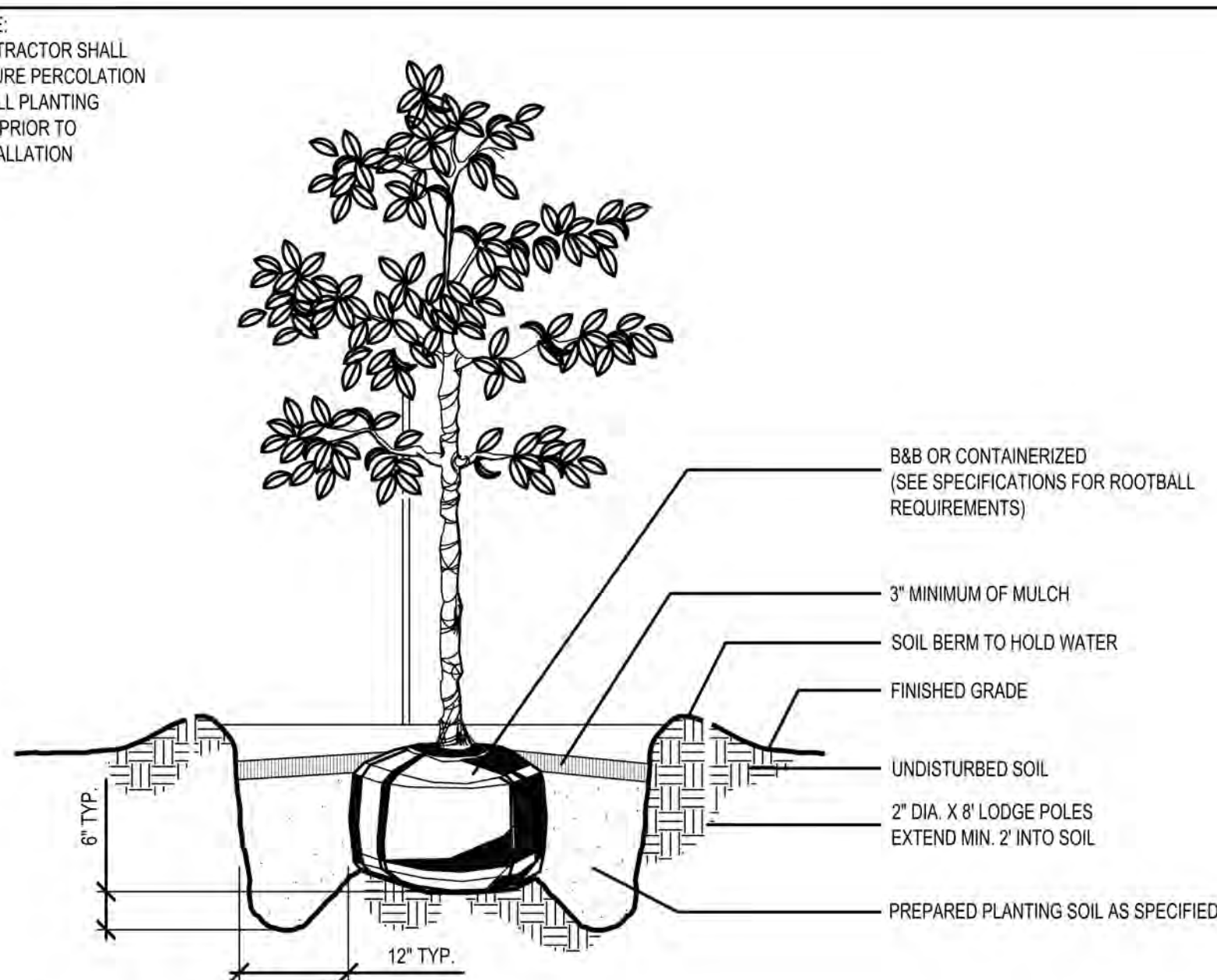
2 Foundation Planting

Scale: N.T.S.



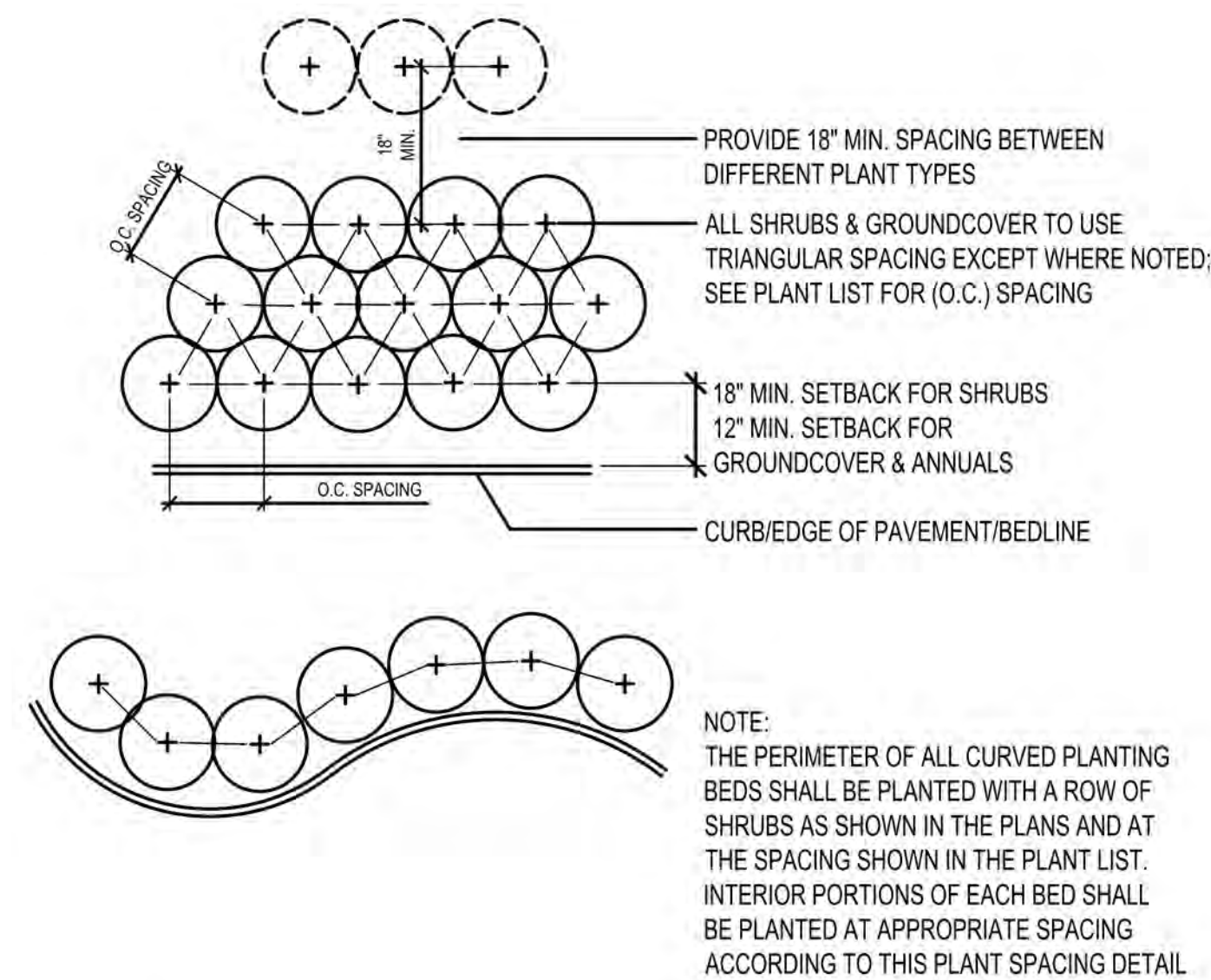
3 Tree Planting (65-100 Gal.)

Scale: N.T.S.



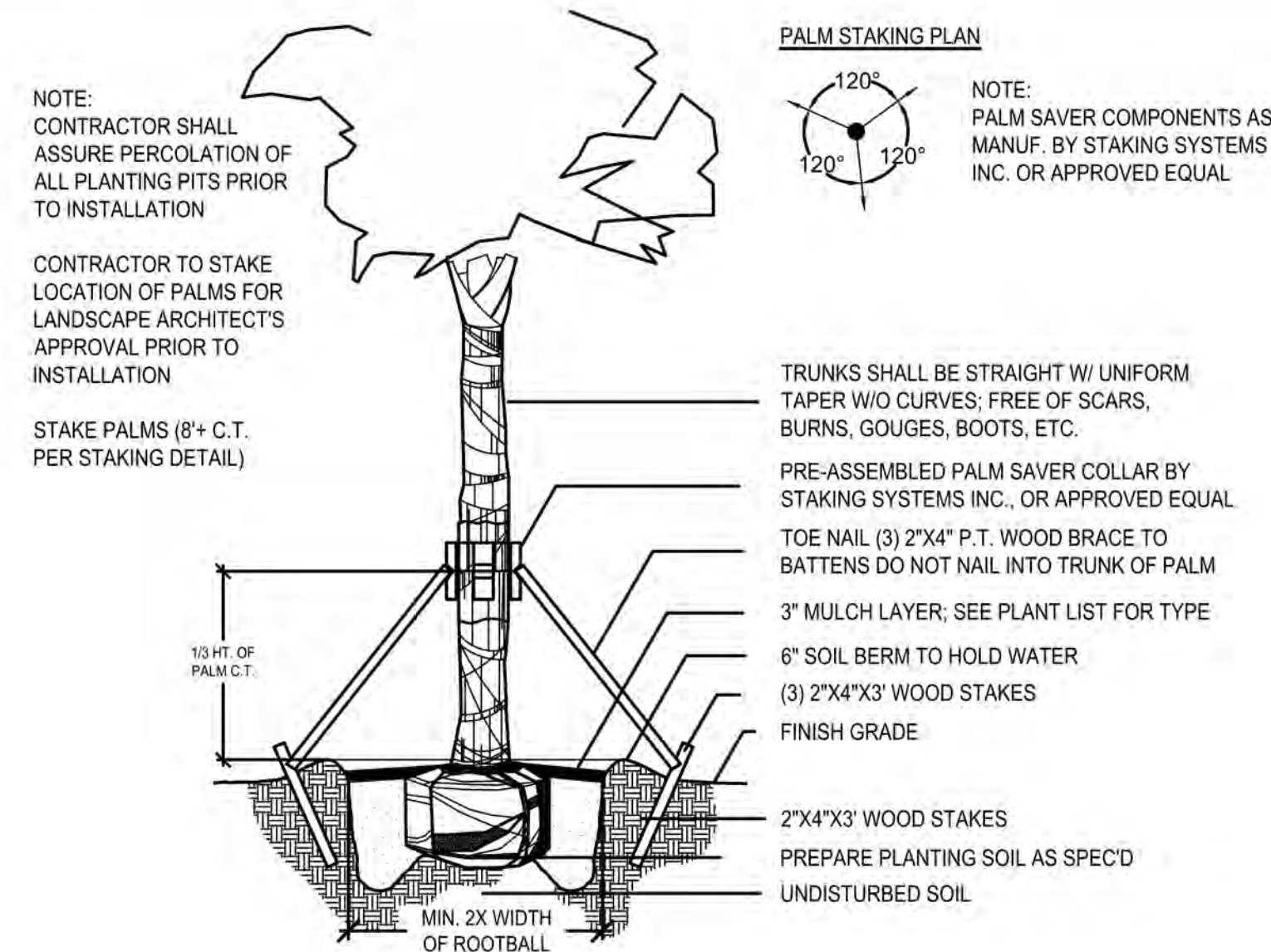
4 Tree Planting (15-45 Gal.)

Scale: N.T.S.



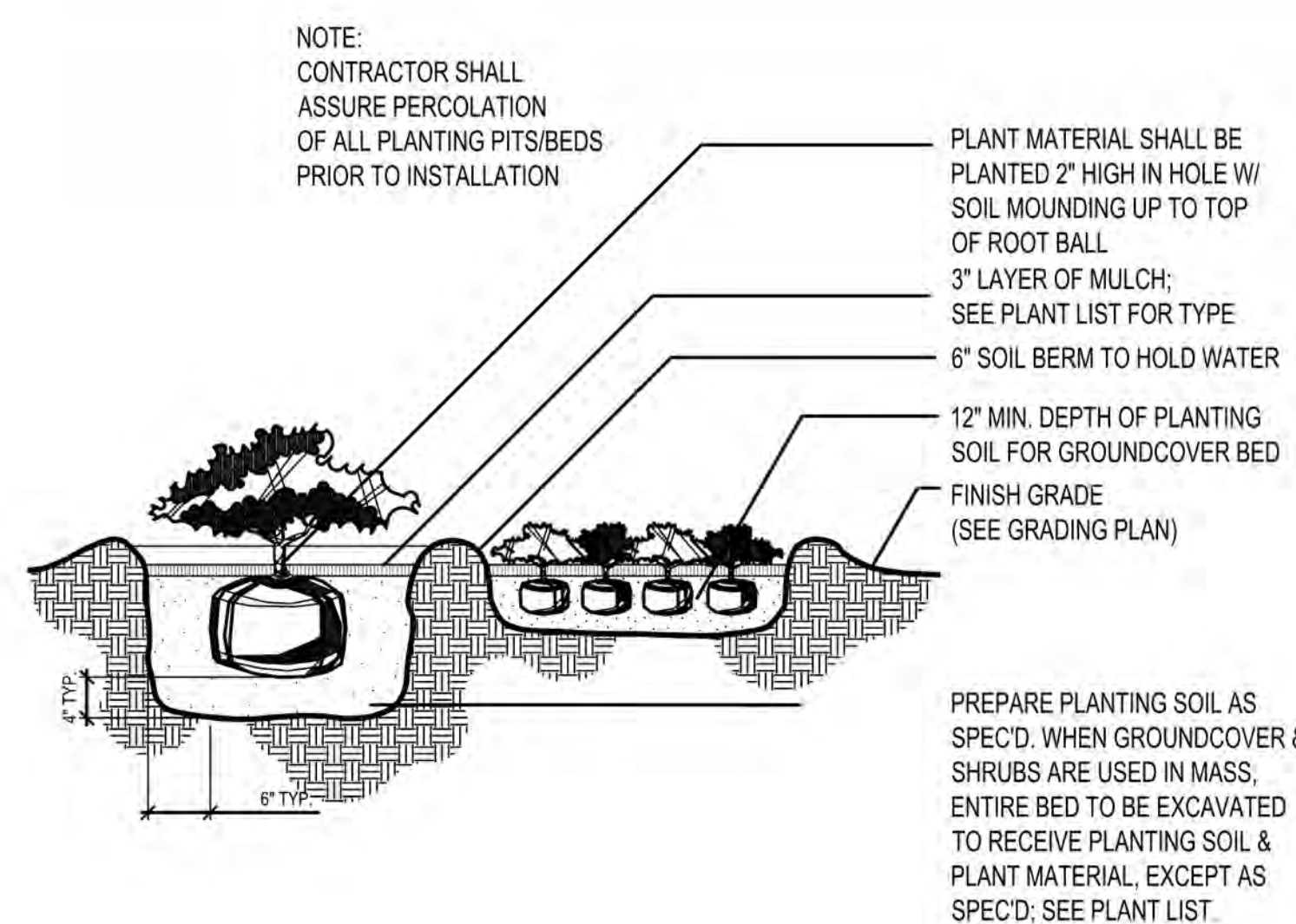
5 Shrub and Groundcover Spacing

Scale: N.T.S.



6 Sabal Palm Planting

Scale: N.T.S.



7 Shrub & Groundcover Planting

Scale: N.T.S.

Always call 811 two full business days before you dig to  
have underground utilities located and marked.

**Sunshine811.com**







**TOWN OF LONGBOAT KEY  
PLANNING AND ZONING STAFF REPORT**

**Proposal:** Development of A Vacant Property with Two Commercial Buildings

**Applicant:** Jason Coates, Shroyer Drapala Engineering, LLC

**Landowner:** Mark Ursini, 3150 GMD, LLC

**Application:** Site Development Application, pursuant to Section 158.030 of the Town Zoning Code.

**Public Hearing:** Planning and Zoning Board

**Date and Time:** April 19, 2022, 9:15 am

**Meeting Location:** Town Hall Commission Chambers  
501 Bay Isles Road Longboat Key, FL 34228

**Report Date:** April 7, 2022

**Attachments:** Site Development Plan Order 2022-03

**Application Request**

The Applicant is seeking approval of a Site Development Plan to allow for the construction of two commercial buildings, totaling 14,408 square feet on a currently vacant 1.38 acre commercially zoned site. The subject site is located at 3150 Gulf of Mexico Drive, north of the intersection of Buttonwood Drive and Gulf of Mexico Drive.



**Project Information Summary**

**PROJECT NAME:**.....3150 Gulf of Mexico Drive Commercial

**APPLICANT:** .....Jason Coates, Shroyer Drapala Engineering, LLC

**SITE AREA:** .....60,029 square feet

**EXISTING USE:** .....Vacant

**FUTURE LAND USE:**.....CL (Limited Commercial Established Area)

**ZONING DISTRICT:**.....C-1 (Limited Commercial District)

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**PROPOSED USE(S):**.....

**LOT COVERAGE:**.....14,408 square feet (24%)

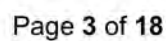
**NON-OPEN SPACE:**.....43,124.4 square feet (71.74%)

**OPEN SPACE:** .....16,998 square feet (28%)

**PARKING REQUIRED** .....37 parking spaces

**PARKING PROVIDED** .....43 parking spaces







## **Location and Map Series**

The site is located at 3150 Gulf of Mexico Drive.





## Zoning Map





## Aerial Map





**Background and Summary**

The property, 3150 Gulf of Mexico Drive, is located on the east side of Gulf of Mexico Drive, north of Buttonwood Drive. The property is zoned C-1, "Limited Commercial" District and has a Future Land Use designation of CL, "Limited Commercial Established Area". The 1.38-acre site is currently undeveloped and vacant.

**Proposed Development Summary****Site Character**

The subject property is located immediately south of and adjacent to an existing commercial plaza. The commercial plaza has a Michael Saunders real estate office, a Swim City retail store, and a restaurant. The subject site is also immediately adjacent to a 5' strip of land to the south of the subject site, owned by the Buttonwood Harbor Homeowner's Association. The property to the south of the 5' strip of land, with frontage directly on Buttonwood Drive, is owned by the same property owner as the subject site and is currently undergoing a Zoning and Future Land Use change to be developed as two residential homes (P&Z Board recommended approval on March 15, 2022).

The proposed Site Development Plan project primarily consists of two commercial buildings and associated parking. The applicant is proposing to construct two commercial buildings that, as currently designed, will accommodate eight tenants, construct associated parking for the commercial uses, connect the adjacent property to the north with a driveway, and enhance the stormwater management by providing for conveyance of offsite stormwater through the subject site, to the north and out to Buttonwood Harbor via the undeveloped Monroe Street right-of-way. The applicant does not know the exact uses of each unit within the commercial buildings, however, they have included potential uses in their parking calculations. The developer and future tenants will be required to demonstrate that parking for any future uses are met on-site.

The proposed Site Development Plan is attached and shown on the following page (buildings are highlighted in yellow and outlined in red).



Proposed Site Plan (Building and Outdoor Dining Locations)





**Parking and Access**

Section 158.100(D) contains standards for number of required parking spaces based on uses. The applicant has indicated that they have not identified the specific uses for each commercial tenant space within the buildings. Parking has been calculated based upon the Zoning Code requirement for the commercial development meeting the standards for, "stand-alone structures of less than 10,000 sq. ft. or in a multi-use center of at least 4 different uses". Under this standard, the applicant is required to provide 1 parking space per each 400 sq. ft. of building area. There is also a requirement to provide 0.1 bicycle spaces per required automobile space. Section 158.100(E) has additional parking requirements for handicapped accessible parking spaces. The number of required accessible parking spaces is based upon the parking required for the use on the property.

Based upon the Zoning Code requirements, the Applicant is required to provide a minimum of 37 parking spaces (including four parking spaces required to meet accessible parking space requirement) and two bicycle spaces. The Applicant has provided 43 parking spaces (including four accessible spaces) and a bike rack with at least two spaces.

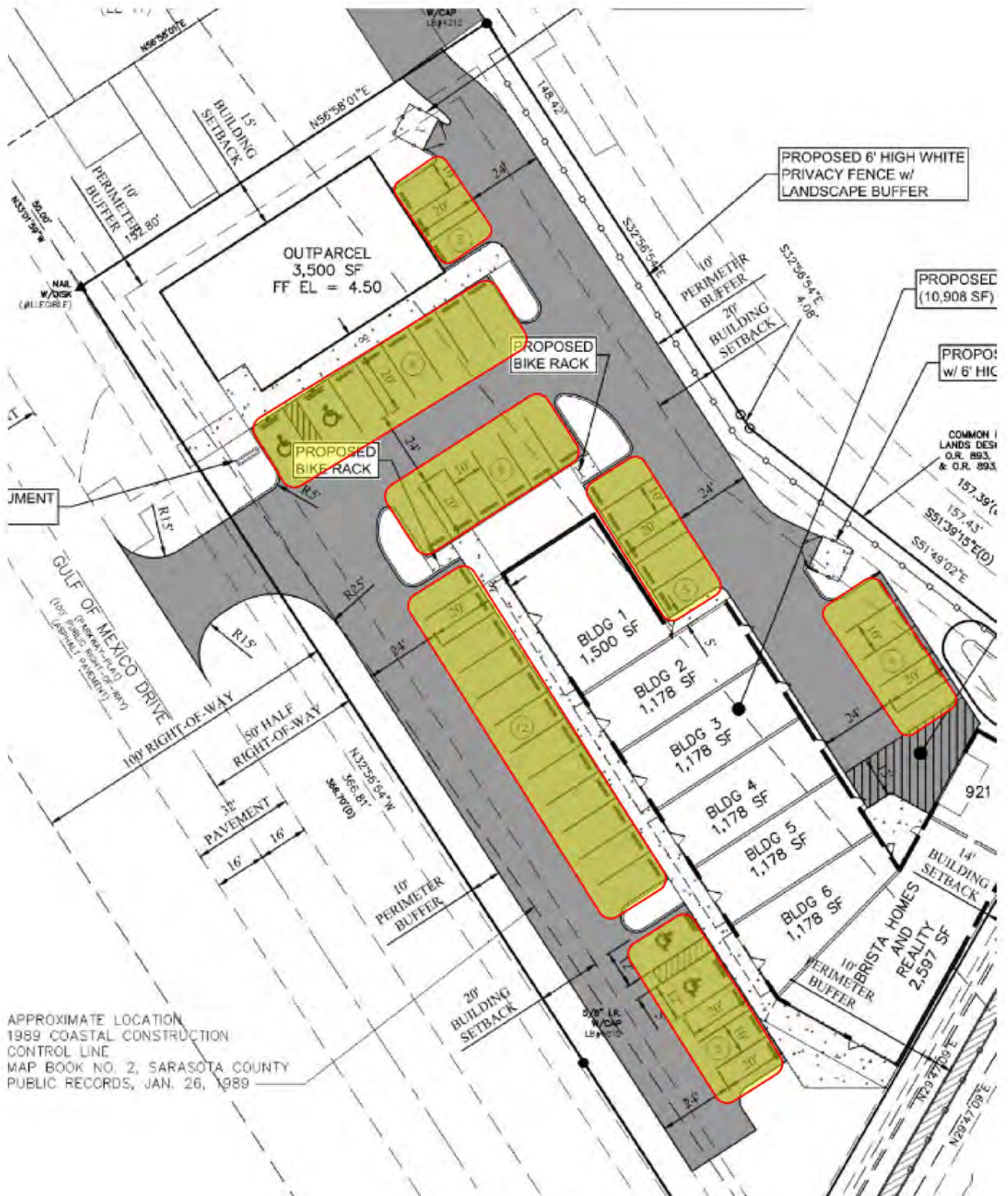
The site will be accessed by a 33'-wide driveway entrance toward the northern end of the property and a pedestrian sidewalk from Gulf of Mexico Drive. The applicant is also proposing to connect the site to the property to the north by a constructing a driveway connection on the northeast corner of the site.

Section 158.100(I) also has requirements for utilization of yards for parking. The Code requires that the parking take up no more than a maximum of 70% of a street yard. There are also required setbacks that the parking must meet. Specifically, section 158.100(J) requires that 15% of the interior of the parking lot be landscaped. The site is also required to provide a park-like atmosphere, with landscape buffers, mature tree placement and landscaped islands. The proposed plan meets all of these requirements.

The parking plan is shown on the following page (parking areas highlighted in yellow and outlined in red).



## Parking Plan:





## Traffic Impact Analysis

Section 158.030(D)(1)(a) states:

*“A proposed development or redevelopment that generates more than 100 net new trips per day. Such development shall maintain a level of service C for peak season, peak hour for local and collector roads, and level of service E for peak season, peak hour conditions along Gulf of Mexico Drive. All intersections on Gulf of Mexico Drive within the Town will operate at level of service E or better in the peak season peak hour. All other intersections within the Town will operate at level of service D or better in the peak season peak hour. The peak season adjustment factor will be determined annually through coordination with the FDOT, District 1 Office. The trip generation rate shall be based on the most recent edition of the "Institute of Transportation Engineers Trip Generation Manual", unless a qualified traffic engineer demonstrates that unique development characteristics will result in substantially different rates.”*

The proposed development required the submission of a Traffic Impact Analysis (TIA), which was prepared by Palm Traffic, per the requirement set forth in Section 158.030 (D) (Performance Standards for Site and Development Plans, Traffic Impacts). The TIA provides a statement and data showing that the project would operate at level of service E or better in the peak season peak hour.

The TIA used an anticipated buildout date of 2024 and utilized the following uses in their analysis in order to calculate the estimated project traffic counts for the property:

- Medical Office: 3,500 square feet
- Restaurant: 1,500 square feet
- Office: 5,874 square feet
- Retail: 3,535 square feet

The TIA findings indicate that the proposed project would generate a total of 1,079 daily trips. 95 of the 1,079 vehicle trips would occur in the AM peak hour and 111 of the 1,079 trips would occur in the PM peak hour.

The TIA also provides an intersection analysis of Gulf of Mexico Drive and found that the proposed project does not warrant a northbound right turn lane.

As part of the project's review, the Town engaged Florida Transportation Engineering (FTE) to conduct a Peer Review of the TIS. The Peer Review conclusions supported the findings in the TIA.

## Building Elevations

The proposed one-story buildings will face Gulf of Mexico Drive. The proposed building elevations are shown on the following pages.



## Front Elevation



## Building Rendering Near the Driveway Entrance (Looking East)



## Building Rendering (Looking North)





**Open Space and Lot Coverage**

Section 158.069(C) requires that properties in C-1 zoning districts provide a minimum of 20% open space. Additionally, Section 158.069(C) limits C-1 properties to a maximum lot (building) coverage of 30%. Project specific Lot Coverage and Open Space requirement figures are provided below:

**Proposed Project Open Space Data:**

- Total Site Area: 60,112 square feet
- Total Lot (Building Coverage): 23.96%% (14,408 square feet)
  - +11,103 (Proposed Commercial Building)
  - +3,305 (Proposed "Outparcel" Building)
- Total Non-Open Space (Building and Impervious Surface): 71.74% (43,124.4 square feet)
  - +14,408 (Commercial Buildings)
  - +28,716.4 (Parking Lot)
- Total Open Space: 28% (16,998.4 square feet)

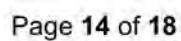
**Landscaping**

The project meets the landscaping requirements set forth in Zoning Code Section 158.030(E)(5) and Section 158.100(J). The Zoning Code requires the placement of six trees (one mature tree placement for each five parking spaces), and the Applicant has proposed to plant 42 trees on the site. The Zoning Code also requires that at least 15% of the interior parking lot be suitably landscaped, and the proposed plan meets this Code requirement.

The proposed buffer is ten feet wide along Gulf of Mexico Drive. The proposed buffer along the residential properties to the east and south of the proposed property is also ten feet wide, and will also include a 6' privacy fence to enhance the buffer. The proposed buffers include trees, palms, understory trees and shrubs.

The landscaping plan is shown, in close-up segments, on the following pages.







**Stormwater Drainage**

The applicant has proposed to construct a stormwater pipe and dry retention treatment to manage the stormwater on the property. They have also proposed offsite drainage and conveyance to pickup stormwater from Gulf of Mexico Drive to Buttonwood Drive, in order to help the existing flooding on Buttonwood Drive.

The proposed stormwater drainage is dependent upon two drainage easements. The first drainage easement utilizes property to the south, owned by the Buttonwood Homeowner's Association. The second drainage easement is shown on the Monroe Street right-of-way, which is a Town right-of-way. The Monroe Street right-of-way is located immediately north of the commercial property to the north of the subject site. Conditions of approval have been included in the Site Development Order that require the applicant to provide proof that the drainage easements have been recorded prior to issuance of building permits. In addition, usage of the Monroe Street right-of-way for stormwater conveyance will be subject to Town Commission approval of the granting an easement for this purpose.



## Analysis of Applications

### Site Development Plan Analysis

Zoning Code Section 158.031 provides review standards for Site Development Plan applications. The following is an analysis of the Findings of Fact standards for Site Development Plan Amendment approval.

#### Findings of Fact

- A. *In what respects the plan is or is not consistent with the comprehensive plan and the purpose and intent of the zoning district in which it is located.*

**Staff Analysis:** Section 158.069 states that the intent of the C-1 district is that, “to provide essential tourist or household services in locations highly accessible to residential areas.” The proposed project is located on Gulf of Mexico Drive, and will provide a destination to surrounding tourists and households and will provide for the development and activation of an existing vacant commercial property. See Comprehensive Plan Evaluation on page 18 of the Staff Report.

- B. *In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.*

**Staff Analysis:** The proposed project meets all required setbacks, lot coverage and open space requirements, and all other applicable regulations of the C-1 zoning district.

- C. *In what respects the plan is or is not in conformance with the town's subdivision regulations, chapter 157, and all other applicable town requirements, including the design, adequacy and construction of streets, drainage, utility facilities and other essential services.*

**Staff Analysis:** The plan is in conformance with the regulations of chapter 157.

- D. *In what respects the plan is or is not consistent with good design standards in respect to all external relationships, including, but not limited to, relationship to adjoining properties; internal circulation, both vehicular and pedestrian; disposition and use of open space, provision of screening and buffering, and preservation of existing natural features, including trees; size and apparent bulk of structures; and building arrangements both between buildings in the proposed development and those adjoining the site.*

**Staff Analysis:** The project may be found to be consistent with good design standards, as the project has been designed to provide enhanced buffering from residential properties, buffering along Gulf of Mexico Drive, improved circulation between the site and the adjacent commercial site to the north, and enhanced building arrangement with the proposed commercial buildings.



- E. In what respects the plan is or is not in conformance with town policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantees for continued maintenance.*

**Staff Analysis:** The proposed plan is in conformance with town policy in respect to sufficiency of ownership and guarantees for completion of all improvements.

**Site Development Plan Amendment Staff Recommendation**

Based on Staff's analysis, the project meets the standards of **APPROVAL**. Staff recommends approval of the Site Development Plan (Site Development Plan Order 2022-03) with the following conditions:

1. The provisions of the Site Development Plan application for the above referenced subject Property, dated and received by the Town on January 7, 2022, February 8, 2022 and March 10, 2022 shall be complied with unless waived or modified by the following conditions or by written agreement between the Town and the Owner or amended pursuant to Code.
2. Prior to issuance of any building permits for the Project, the Owner shall record and provide proof of all necessary drainage easements for stormwater management. These easements include, but are not limited to:
  - (1) Easement along the five (5) foot strip (currently owned by others) to accommodate stormwater management system improvements for Gulf of Mexico Drive ("GMD") runoff by-pass and a portion of the onsite dry retention.
  - (2) Easement(s) between the residential lots and the commercial development to allow for a joint-use stormwater management system in perpetuity.
3. All Southwest Florida Water Management District ("SWFWMD") and FDOT Drainage and Driveway permits shall be obtained and copies provided to the Town for the record file.
4. The development/construction plans shall conform to all applicable Town codes and ordinances and all other applicable regulations, including but not limited to, FEMA standards/regulations, accessibility, fire code, and life/safety requirements.
5. In accordance with Section 158.029(E) of the Town Code, an approved Site Development Plan becomes null and void if:
  - (1) The Applicant shall abandon the plan or the Section thereof that has been finally approved, and shall so notify the Town; or
  - (2) Within 24 months of the date of approval of an application for Site Development Plan review, a complete application for Building Permit has not been submitted to the Town and a Building Permit issued; or



- (3) A final Certificate of Occupancy for all phases of the project has not been issued within three years from the date set for receipt of a complete application for Building Permit for the final building or development phase of the project.
6. A licensed surveyor shall verify the Lot Coverage and Non-Open Space calculations upon completion of the project. Certification of the calculations shall be signed and sealed on an as-built survey and submitted to the Town prior to issuance of a Certificate of Occupancy.
7. Approval of the proposed Site Development Plan shall be subject to payment of all staff review charges. Such charges shall be paid prior to issuance of Building Permit.

### Comprehensive Plan Evaluation

The project has been evaluated to ensure that the application is consistent with the Comprehensive Plan, and based on Final Site Development Plan review criteria set forth in Section 158.031(A). The following Comprehensive Plan Elements have been evaluated for consistency with the proposed project:

- Future Land Use (FLU) Element
- Mobility Element

COMPREHENSIVE PLAN, GOAL, OBJECTIVE AND POLICY	STAFF EVALUATION
1. FLU Goal 1. To preserve and enhance the character of the Town of Longboat Key by the following: 1) ensuring that the location, density, intensity, and character of land uses are responsive to the social and economic needs of the community and are consistent with the support capabilities of the natural and manmade systems; and 2) maintaining an environment that is conducive to the health, safety, welfare, and property values of the community.	The development of the site with commercial uses, enhanced buffering, and enhanced stormwater management is consistent with the goal of maintaining an environment that does not compromise the health, safety and welfare of the community.
2. MOBILITY Policy 1.2.1: Ensure new development and redevelopment provides a mixture of complimentary land uses and designs that promote internal trip capture, all alternative modes of travel (pedestrian, bicycle, local and regional transit, trolley, etc.)	The proposed project will be providing bike racks, a pedestrian path, and parking for automobiles, in an effort to provide access to the site for bicyclists, pedestrians, and motorists.





TOWN OF LONGBOAT KEY

# **Site Development Plan Order 2022-03**

## **3150 Gulf of Mexico Drive**

Planning and Zoning Board Public Hearing

April 19, 2022





TOWN OF LONGBOAT KEY

# Application Request

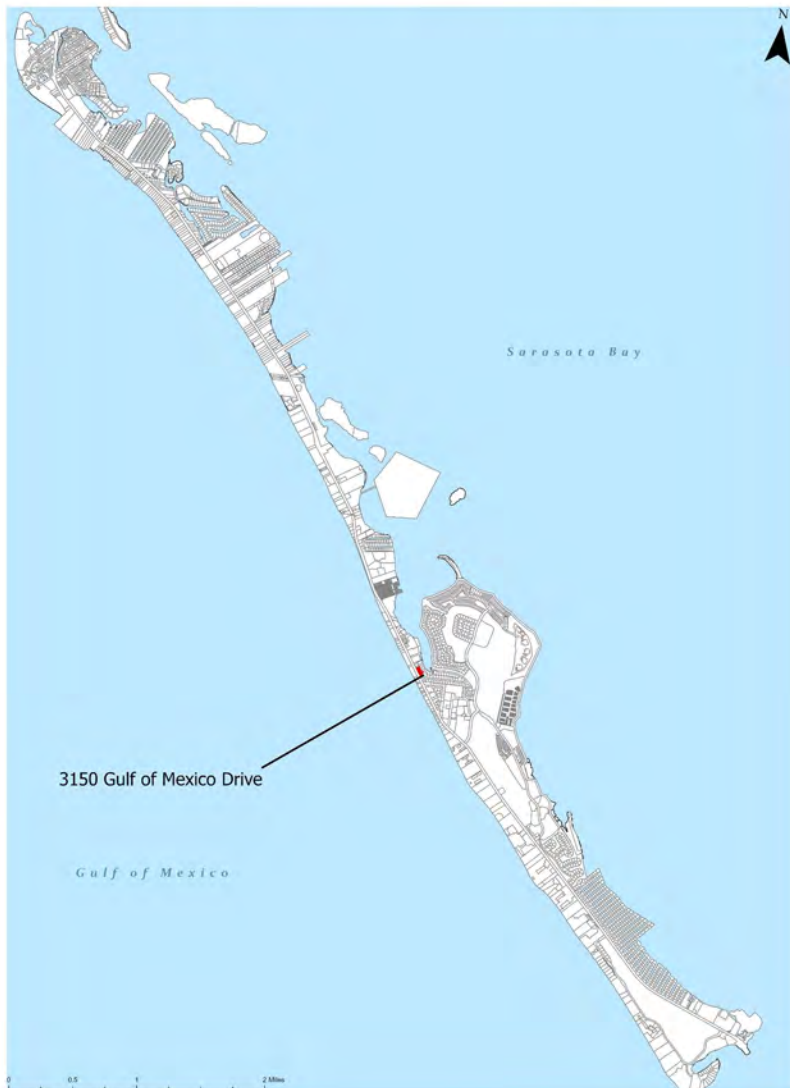
- Site Development Plan to request approval of:
  - Construction of two commercial buildings, totaling 14,408 square feet on a currently vacant 1.38 acre commercially zoned site.





TOWN OF LONGBOAT KEY

# 3150 Gulf of Mexico Drive







TOWN OF LONGBOAT KEY

# Background

<b>PROJECT NAME:</b>	3150 Gulf of Mexico Drive Commercial
<b>APPLICANT:</b>	Jason Coates, Shroyer Drapala Engineering, LLC
<b>SITE AREA:</b>	60,029 square feet
<b>EXISTING USE:</b>	Vacant, Undeveloped
<b>FUTURE LAND USE:</b>	CL (Limited Commercial Established Area)
<b>ZONING DISTRICT:</b>	C-1 (Limited Commercial District)





TOWN OF LONGBOAT KEY

# Background

<b>LOT COVERAGE:</b>	14,408 square feet (24%)
<b>NON-OPEN SPACE:</b>	43,124.4 square feet (71.74%)
<b>PARKING REQUIRED:</b>	37 parking spaces*
<b>PARKING PROVIDED:</b>	43 parking spaces

\*Based on 1 parking space per each 400 sq. ft. of building area (stand-alone structures of less than 10,000 sq. ft. or in a multi-use center of at least 4 different uses: office, retail, medical, restaurant).





TOWN OF LONGBOAT KEY

# Zoning



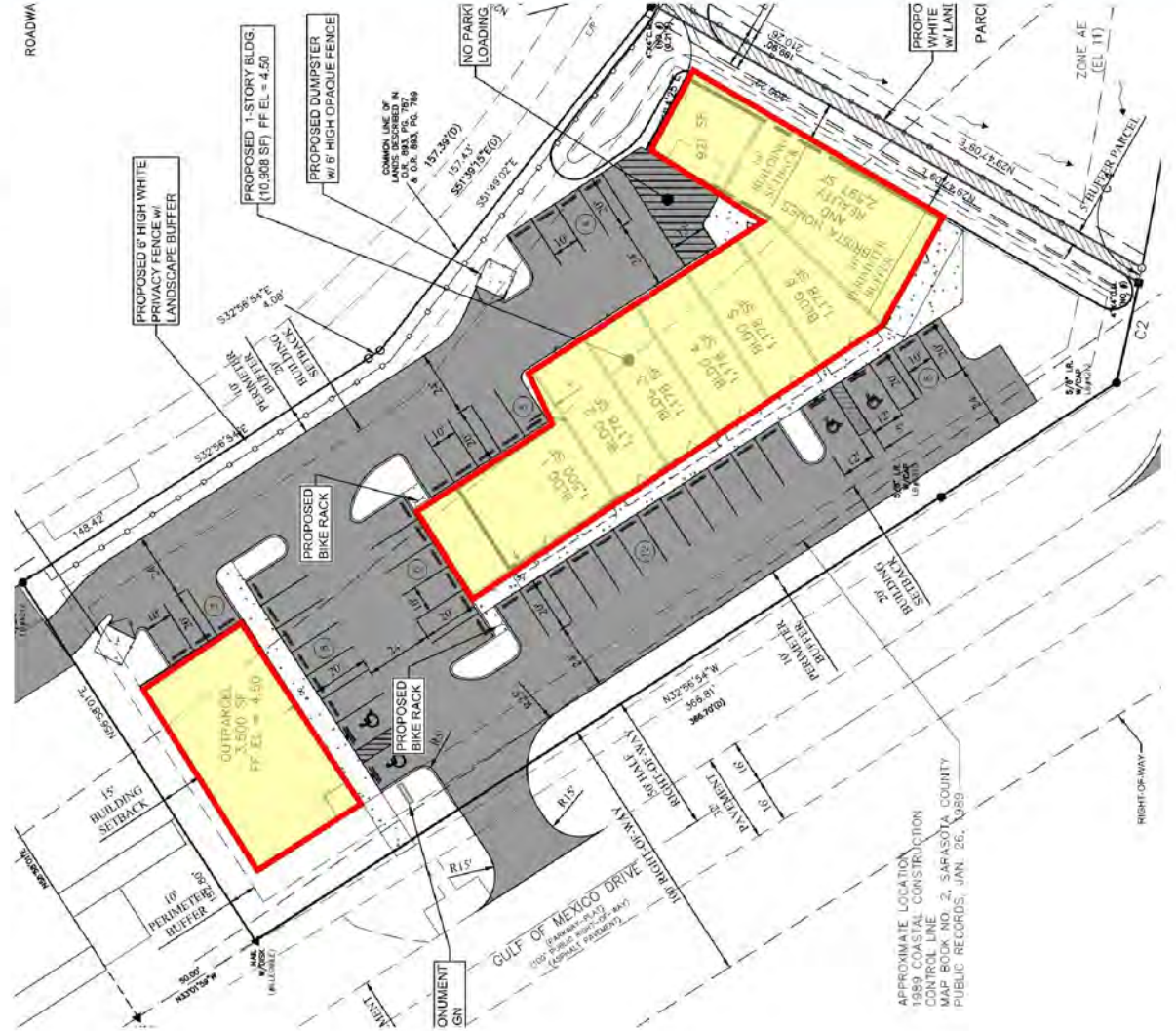
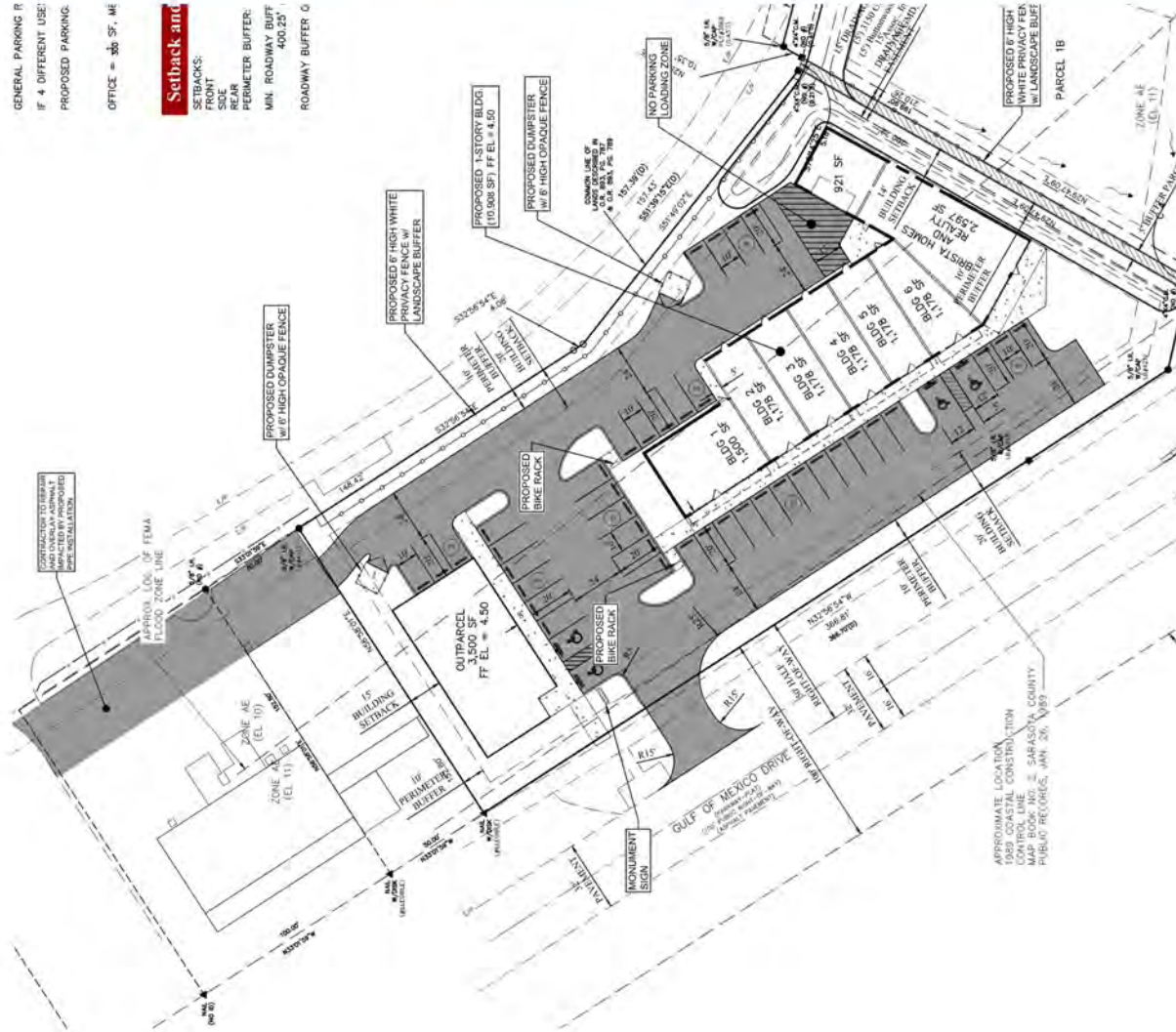




# TOWN OF LONGBOAT KEY

## Site Plan

GENERAL PARKING R  
IF 4 DIFFERENT USE  
PROPOSED PARKING  
OFFICE = 305 SF, ME  
**Setback and**  
SETBACKS:  
FRONT  
SIDE  
REAR  
PERMETER BUFFER:  
MIN. ROADWAY BUFF:  
400.20'  
ROADWAY BUFFER 0







# Parking and Access

- Parking: *1 parking space per each 400 sq. ft. of building area (stand-alone structures of less than 10,000 sq. ft. or in a multi-use center of at least 4 different uses).*
  - + 0.1 bicycle spaces per required automobile space
  - + accessible parking spaces
- Required Parking: minimum of 37 parking spaces
  - Including 4 parking spaces required to meet accessible parking space requirement
  - Two bicycle spaces.





TOWN OF LONGBOAT KEY

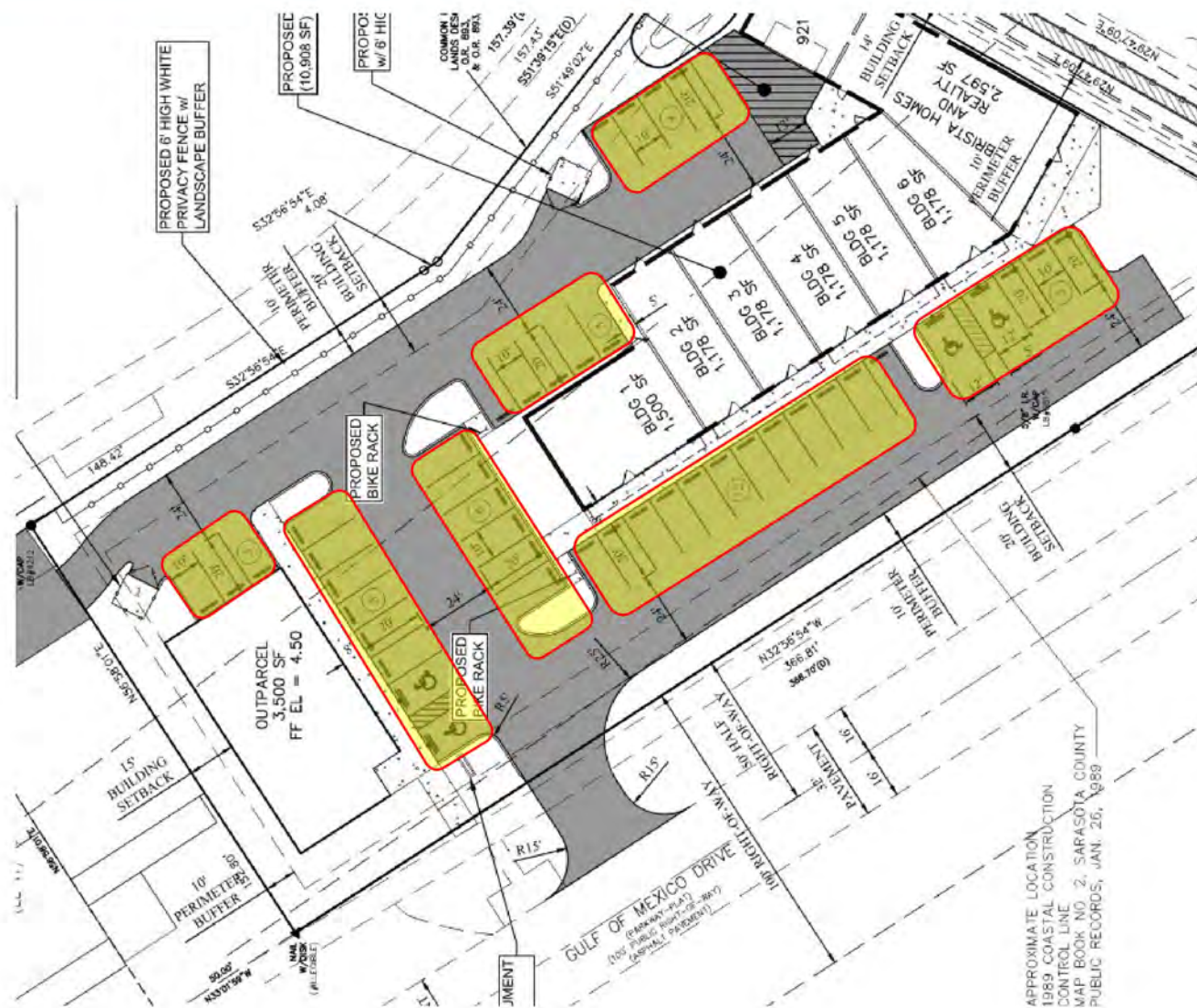
# Parking and Access

- 33'-wide driveway entrance toward the northern end of the property and a pedestrian sidewalk from Gulf of Mexico Drive.
- Connection to the property to the north by a constructing a driveway connection on the northeast corner of the site.





# Parking and Access







TOWN OF LONGBOAT KEY

# Traffic Impacts

“A proposed development or redevelopment that generates more than 100 net new trips per day. Such development shall maintain a level of service C for peak season, peak hour for local and collector roads, and **level of service E for peak season, peak hour conditions along Gulf of Mexico Drive. All intersections on Gulf of Mexico Drive within the Town will operate at level of service E or better in the peak season peak hour.** All other intersections within the Town will operate at level of service D or better in the peak season peak hour. The peak season adjustment factor will be determined annually through coordination with the FDOT, District 1 Office. The trip generation rate shall be based on the most recent edition of the "Institute of Transportation Engineers Trip Generation Manual", unless a qualified traffic engineer demonstrates that unique development characteristics will result in substantially different rates.”





TOWN OF LONGBOAT KEY

# Traffic Impacts

- Traffic Impact Analysis (TIA) was prepared by Palm Traffic
- TIA used an anticipated buildout date of 2024 and utilized the following uses in their analysis in order to calculate the estimated project traffic counts for the property:
  - Medical Office: 3,500 square feet
  - Restaurant: 1,500 square feet
  - Office: 5,874 square feet
  - Retail: 3,535 square feet





TOWN OF LONGBOAT KEY

# Traffic Impacts

- 1,079 new vehicle trips per day
  - 95 of the 1,079 vehicle trips would occur in the AM peak hour
  - 111 of the 1,079 trips would occur in the PM peak hour.
- Intersection analysis of Gulf of Mexico Drive
  - Proposed project does not warrant a northbound right turn lane.
- Town engaged Florida Transportation Engineering (FTE) to conduct a Peer Review of TIA.
- Peer Review conclusions supported the findings in the TIA
  - No off-site improvements warranted





TOWN OF LONGBOAT KEY

# Building Elevations



FRONT ELEVATION

## Building Rendering Near the Driveway Entrance (Looking East)







TOWN OF LONGBOAT KEY

# Building Elevations

Building Rendering (Looking North)







TOWN OF LONGBOAT KEY

# Open Space and Lot Coverage

Minimum Required Open Space: 20% | Maximum Lot Coverage: 30%

## **Proposed:**

- Total Site Area: 60,112 square feet
- Total Lot (Building Coverage): 23.96%% (14,408 square feet)
  - +11,103 (Proposed Commercial Building)
  - +3,305 (Proposed "Outparcel" Building)
- Total Non-Open Space (Building and Impervious Surface): 71.74% (43,124.4 square feet)
  - +14,408 (Commercial Buildings)
  - +28,716.4 (Parking Lot)
- Total Open Space: 28% (16,998.4 square feet)





TOWN OF LONGBOAT KEY

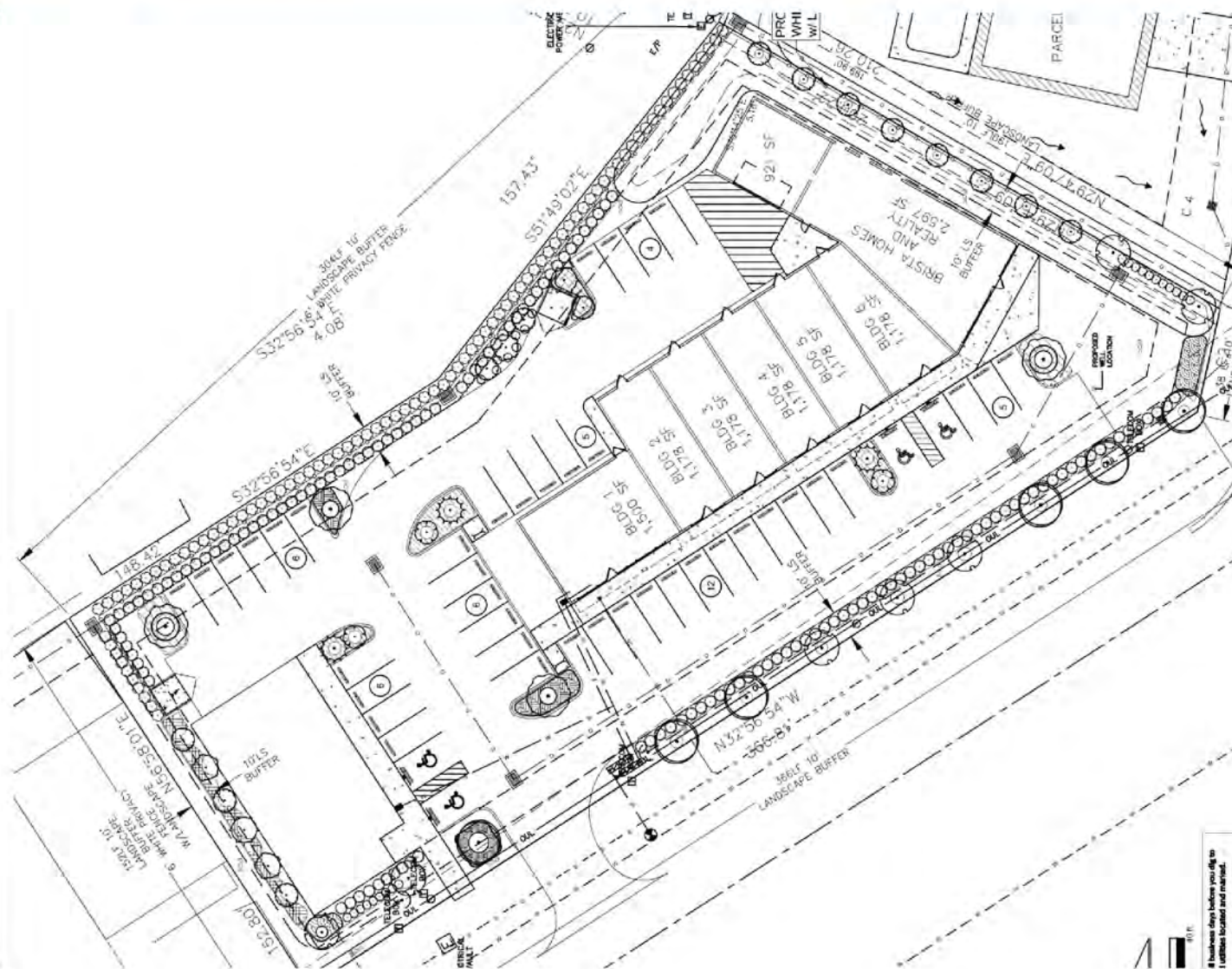
# Landscaping

- Zoning Code requires the placement of six trees (one mature tree placement for each five parking spaces)
  - 42 proposed trees on the site.
- 15% of the interior parking lot must be suitably landscaped
  - proposed plan meets this Code requirement.
- Proposed buffer ten feet wide along Gulf of Mexico Drive.
- Proposed buffer along the residential properties to the east and south of the proposed property is also ten feet wide, and will also include a 6' privacy fence to enhance the buffer.





# Landscaping Plan







TOWN OF LONGBOAT KEY

# Stormwater Drainage

- Proposal to construct a stormwater pipe and dry retention treatment to manage the stormwater on the property.
- Proposed offsite drainage and conveyance to pickup stormwater from Gulf of Mexico Drive to Buttonwood Drive, in order to help the existing flooding on Buttonwood Drive.
- Proposed stormwater drainage is dependent upon two drainage easements.
  1. Property owned by the Buttonwood Homeowner's Association.
    - Located immediately south of the subject site.
  2. Monroe Street right-of-way (Town right-of-way).
    - Located immediately north of the commercial property to the north of the subject site.





TOWN OF LONGBOAT KEY

# Stormwater Drainage

- Conditions of approval have been included in the Site Development Order that require the applicant to provide proof that the drainage easements have been recorded prior to issuance of building permits.
- Usage of Monroe Street right-of-way for stormwater conveyance will be subject to Town Commission approval of the granting an easement for this purpose.





# Staff Recommendation

## Site Development Plan Recommendation:

### **NOTE: Findings of Fact available in Staff Report**

- Staff recommends **APPROVAL** of Site Development Plan Order 2022-03 to allow for the construction of two commercial buildings, totaling 14,408 square feet on a currently vacant 1.38 acre commercially zoned site, with conditions of approval.
- Seven Conditions of Approval
  - Five conditions are standard (#1, 4, 5, 6, 7)





TOWN OF LONGBOAT KEY

# Site Development Plan Conditions

## Condition #2:

*Prior to issuance of any building permits for the Project, the Owner shall record and provide proof of all necessary drainage easements for stormwater management. These easements include, but are not limited to:*

- (1) Easement along the five (5) foot strip (currently owned by others) to accommodate stormwater management system improvements for Gulf of Mexico Drive ("GMD") runoff by-pass and a portion of the onsite dry retention.*
- (2) Easement(s) between the residential lots and the commercial development to allow for a joint-use stormwater management system in perpetuity.*

## Condition #3:

*All Southwest Florida Water Management District ("SWFWMD") and FDOT Drainage and Driveway permits shall be obtained and copies provided to the Town for the record file.*



## Applicant's Powerpoint Presentation

Presented at the April 19, 2022 P&Z Board Meeting





BRISTA  
HOMES  
1656 Main St, Sarasota, FL 34236

B  
941.373.0500 | BRISTAHOMES.COM  
LIC. #CBCC059465

Parking Data	
GENERAL PARKING REQUIRED:	14,408/300 = 49 SPA. (4 ADA)
IF 4 DIFFERENT USES:	14,408/400 = 37 SPA. (3 ADA)
PROPOSED PARKING:	43 SPA. (4 ADA)

- Building Usage - 9 UNITS TOTAL
- DENTAL / MEDICAL
  - REALTOR
  - BUILDING CONSTRUCTION
  - WAREHOUSE / GARAGE
  - INSURANCE
  - RESTAURANT / RETAIL

Construction Material

CMU / CONCRETE / METAL / STUCCO

FEBRUARY 10, 2022





**B** 941.373.0500 | BRISTAHOMES.COM  
LIC. #CB059465

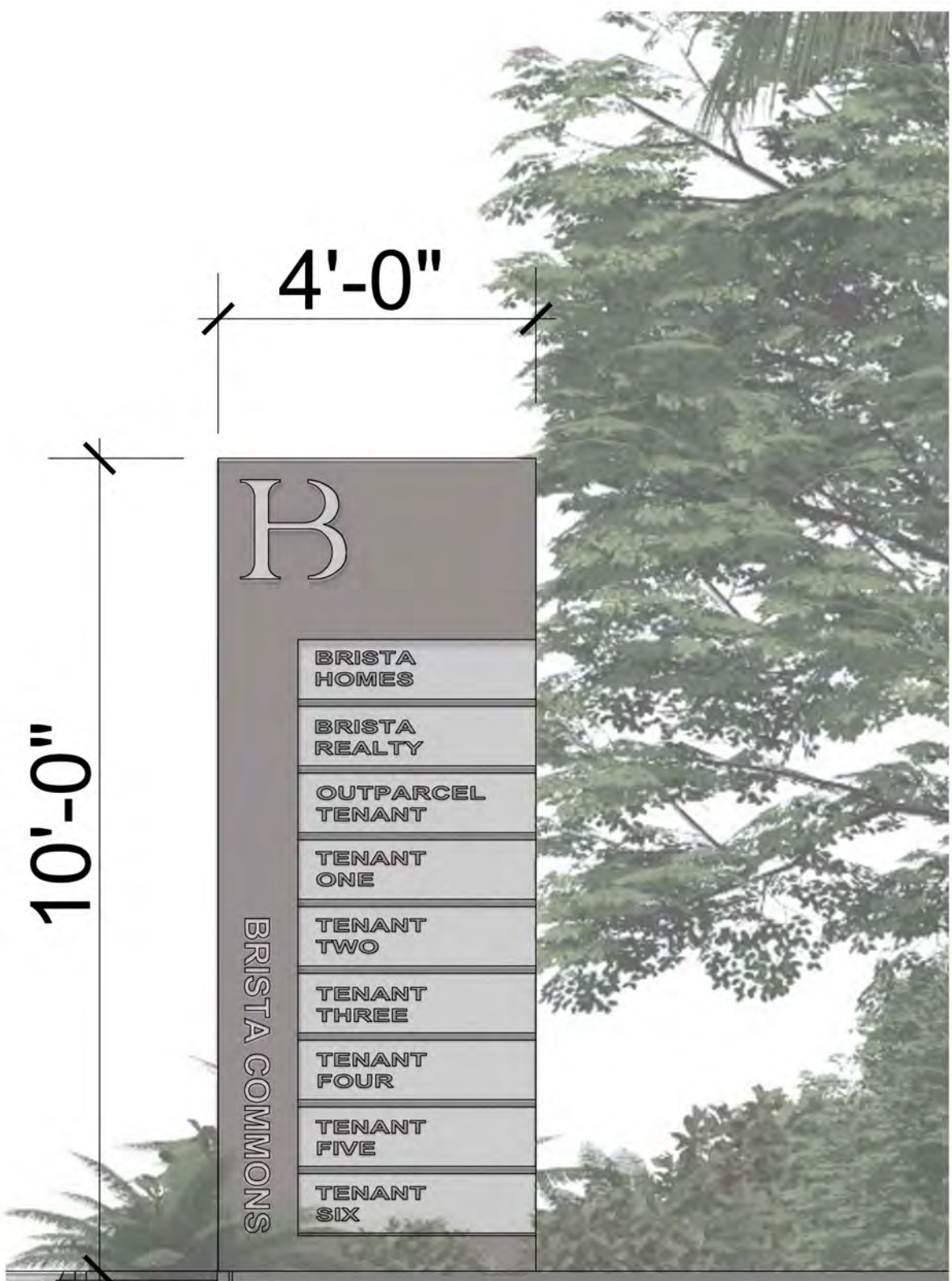
Construction Material

CMU / CONCRETE / METAL / STUCCO

FEBRUARY 10, 2022



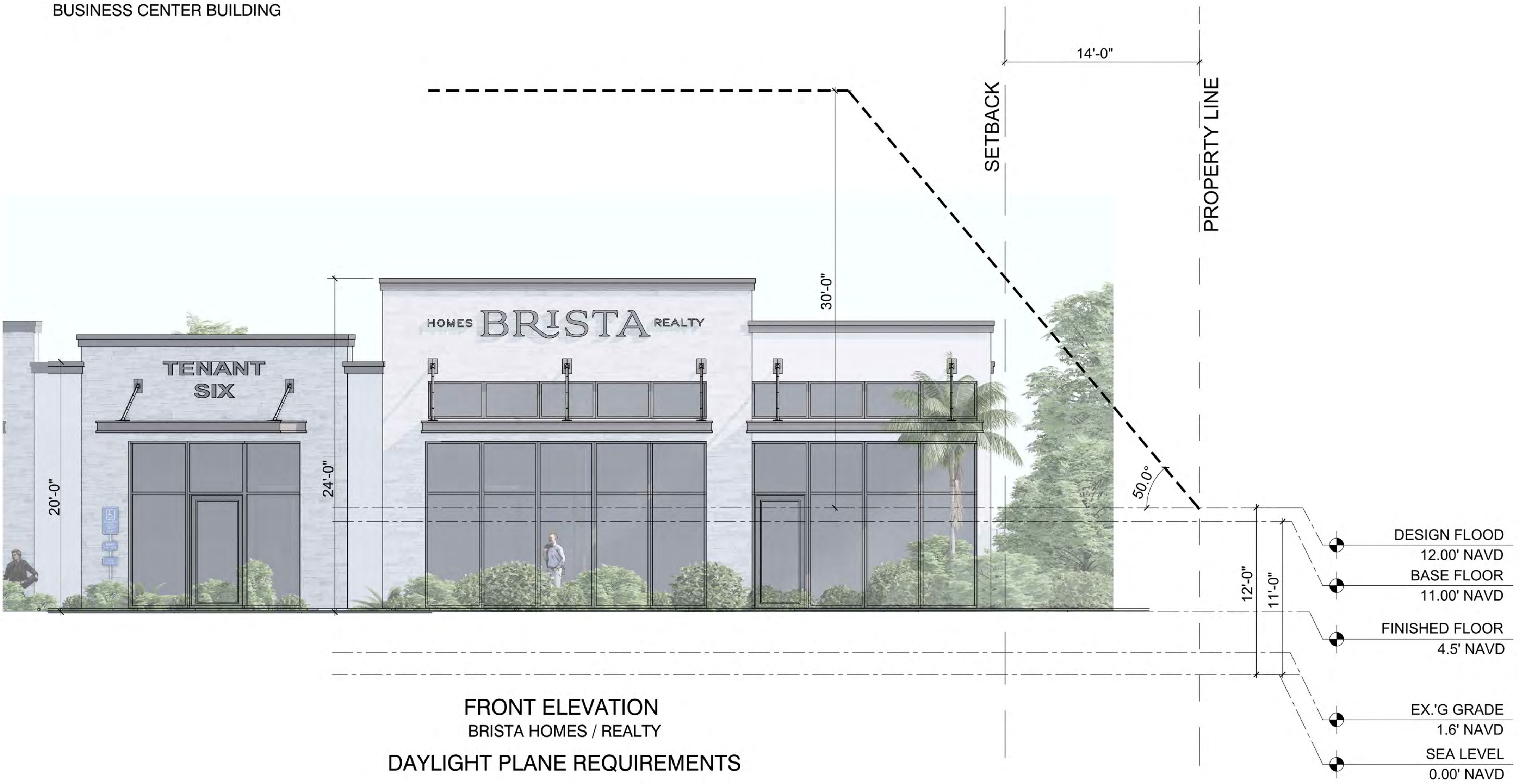
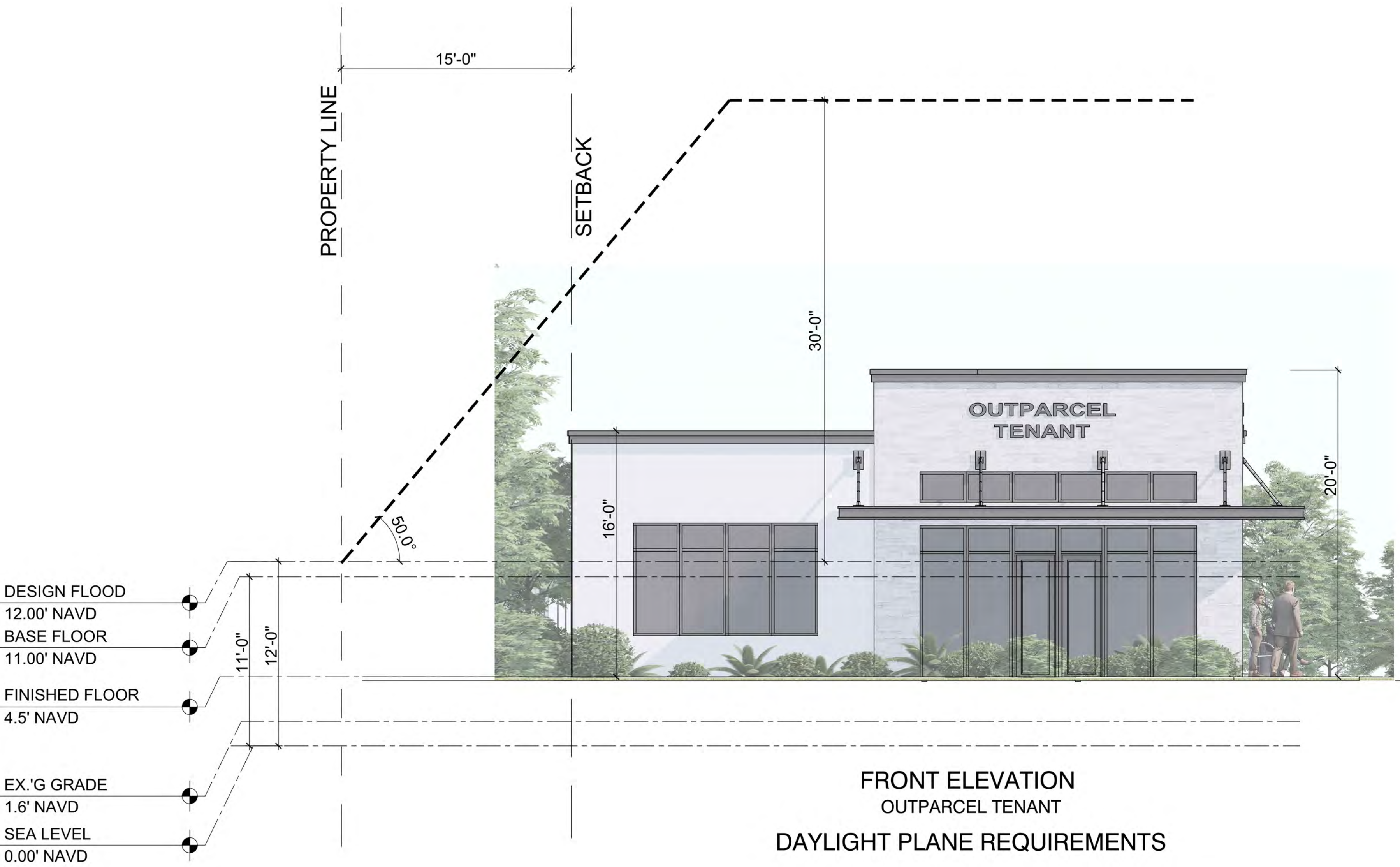
LEFT SIDE ELEVATION  
OUTPARCEL TENANT



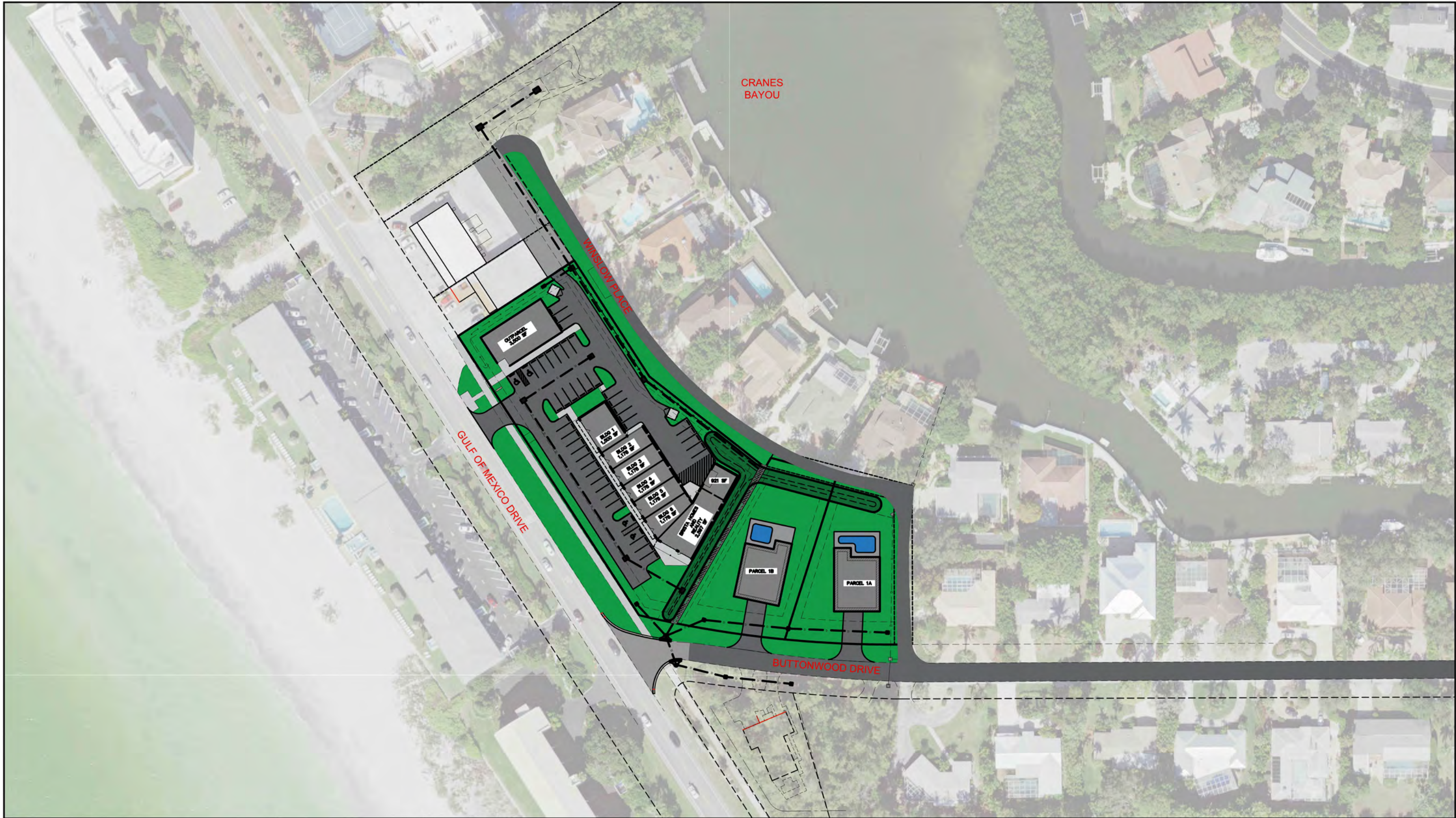
ENTRY SIGN



FRONT ELEVATION  
BUSINESS CENTER BUILDING







**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282 1111 3rd Ave. W., Suite 210  
Bradenton, FL 34206 Bradenton, FL 34205

E-Mail

SteveS@ShroyerDrapala.com MikeD@ShroyerDrapala.com  
JasonC@ShroyerDrapala.com



0 50 100 Feet

**Drainage Exhibit**  
For  
**Brista Homes and Realty**

Sections 16 & 17, Township 35 South, Range 17 East  
Manatee County, Florida

**REVISIONS**


Design By:	Drawn By:	Checked By:	Sheet
JEC	JEC	SJS	1 Of 1
Drawing Scale:		Drawing Date:	
1' = 100'		December 17, 2015	
Submitted For:			
Steve Shroyer PE No. 32052 Date: 02/10/16			





**Shroyer Drapala  
Engineering, LLC**

P.O. Box 9282 1111 3rd Ave. W., Suite 210  
Bradenton, FL 34206 Bradenton, FL 34205

E-Mail

SteveS@ShroyerDrapala.com MikeD@ShroyerDrapala.com  
JasonC@ShroyerDrapala.com



0 30 60 Feet

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Design By:	Drawn By:	Checked By:	Sheet
JEC	JEC	SJS	1 of 1
Drawing Scale:		Drawing Date:	
1' = 100'		December 17, 2015	
Submitted For:			
Steve Shroyer PE No. 32052 Date: 02/10/16			







# LOCALiQ

The Gainesville Sun | The Ledger  
Daily Commercial | Ocala StarBanner  
News Chief | Herald-Tribune

PO Box 631244 Cincinnati, OH 45263-1244

## PROOF OF PUBLICATION

Town Of Longboat Key/Legal  
Town Of Longboat Key/Legal  
501 Bay Isles RD  
Longboat Key FL 34228-3142

STATE OF FLORIDA, COUNTY OF Sarasota

The Herald-Tribune, a newspaper printed and published in the city of Sarasota, and of general circulation in the Counties of Sarasota, Manatee, and Charlotte, State of Florida and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issues dated or by publication on the newspaper's website, if authorized, on:

04/12/2022

and that the fees charged are legal.  
Sworn to and subscribed before on 04/12/2022

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Notary, State of WI, County of Brown

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SARAH BERTELSEN  
Notary Public  
State of Wisconsin

TOWN OF LONGBOAT KEY  
NOTICE OF PUBLIC HEARING  
APRIL 19, 2022

SITE DEVELOPMENT PLAN  
(QUASI-JUDICIAL)

Please take notice that a public hearing of the Town of Longboat Key's Planning & Zoning Board will be held at the request of Jason Coates, Authorized Agent, on behalf of Mark Ursini, Property Owner. Specifically, the applicant is requesting:

A Site Development Plan to allow for the construction of two commercial buildings and associated parking at 3150 and 3120 Gulf of Mexico Drive. The applicant is proposing to construct one 10,908 square foot commercial building and one 3,500 square foot commercial building. The applicant is proposing to include the following uses on the property: medical office, restaurant, office and retail.

The quasi-judicial public hearing before the Planning and Zoning Board on the Applicant's Site Development Plan request will be held on April 19, 2022, at 9:15 a.m., or as soon thereafter as may be heard, in the Town Commission Chambers at Town Hall, 501 Bay Isles Road, Longboat Key, Florida. This hearing will be held in accordance with established quasi-judicial procedures.

All interested persons may appear and be heard with respect to the request for Site Development Plan submitted by the Applicant. Copies of the Applicant's proposal and related material associated with the request may be viewed at the Planning, Zoning & Building Department, 501 Bay Isles Road, between 8:30 a.m. and 5:00 p.m. weekdays prior to the hearing. Questions may be directed to the Planning, Zoning & Building Department at 316-1966.

No verbatim record by a certified court reporter is made of these proceedings. Accordingly, any person who may seek to appeal any decision involving the matters noticed herein will be responsible for making a verbatim record of the testimony and evidence of these proceedings upon which any appeal is to be based (see Section 286.0105, Florida Statutes). In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons needing a special accommodation to participate in this proceeding should contact the Town Clerk's office at 941-316-1999 forty-eight (48) hours in advance of this proceeding. If you are hearing impaired, please call 941-316-8719.

David Green, Chair,  
Planning & Zoning Board  
Published: 4-12-2022 (7141207)



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David Green, Chair,  
Planning & Zoning Board



CERTIFIED MAIL LIST  
Owners within 500 ft. of 3150 Gulf of Mexico Drive

PRIMARY LOCATION	OWNER NAME	OWNER NAME 2	MAILING ADDRESS	MAILING ADDRESS 2	CITY	STATE	ZIP	COUNTRY
7 WINSLOW PL	LAMENTINE LLC		34650 US HIGHWAY 19 N		PALM HARBOR	FL	34684	
599 BUTTONWOOD DR	SUE A CARLSON TRUST	CARLSON SUE A (TTEE)	599 BUTTONWOOD DR		LONGBOAT KEY	FL	34228	
3105 GULF OF MEXICO DR	PRICE BEN E	PRICE BARBARA	3105 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228-2912	
3174 GULF OF MEXICO DR	FOX 41 LLC		PO BOX 49973		SARASOTA	FL	34230	
610 LONGVIEW DR	GREEN HERON DEVELOPMENTS LLP		3440 GULF OF MEXICO DR UNIT 5		LONGBOAT KEY	FL	34228	
605 BUTTONWOOD DR	WINTER JOACHIM	WINTER FRANCESCA	HEINRICH KAUL PLATZ 9		64569 NAUHEIM			GERMANY
3037 GULF OF MEXICO DR	INDENTURE OF TRUST OF MARY KAY TRULASKE	TRULASKE MARY KAY (TTEE)	3037 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228-2910	
3251 BAYOU SOUND	LORRAINE C KAPLAN REVOC TR	KAPLAN LORRAINE C (TTEE)	3251 BAYOU SOUND		LONGBOAT KEY	FL	34228-3009	
5 WINSLOW PL	KOLODZIESKI EDWARD J	KOLODZIESKI TERRY A	560 BAY ISLES RD # 8821		LONGBOAT KEY	FL	34228	
3055 GULF OF MEXICO DR	SARASOTA COUNTY		PO BOX 8		SARASOTA	FL	34230-0008	
602 BUTTONWOOD DR	ERKER ROBERT A	ERKER CAROL A	602 BUTTONWOOD DR		LONGBOAT KEY	FL	34228-2904	
555 MAYFIELD TER	ARVIDA/J M B PARTNERS		ATTN MARY KURBAT		CHICAGO	IL	60611-6522	
3170 GULF OF MEXICO DR	JUDY JOHNSON LLC		4526 MCASHTON ST		SARASOTA	FL	34233-2202	
3030 GULF OF MEXICO DR	SHIMEK RICHARD D	SHIMEK JENNIFER A	3030 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228	
3020 GULF OF MEXICO DR	RUSSELL ROBERT S		1211 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228	
3060 GULF OF MEXICO DR	STUBBS NEAL A	STUBBS DEBORAH A	3060 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228-2911	
3080 GULF OF MEXICO DR	YEAGER BONNIE A		3080 LYNDALe CT		EDGEWOOD	KY	41017	
3040 GULF OF MEXICO DR	POST JOSEPH	POST BONNIE L	3040 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228-2911	
LONGVIEW DR	BALK BRUCE		610 LONGVIEW DR		LONGBOAT KEY	FL	34228-3004	
3 GULF OF MEXICO DR	BUTTONWOOD HARBOUR ASSN INC		610 BUTTONWOOD DR		LONGBOAT KEY	FL	34228-2904	
3100 GULF OF MEXICO DR	PASELSKY NADIA M		422 E 72ND ST # 14D		NEW YORK	NY	10021	
8 WINSLOW PL	KNIGHT JAMES D II	KNIGHT ALLISON K	2184 WOOD RIDGE DR		WADSWORTH	OH	44281	
N/A	BAY ISLES ASSOCIATION INC		9031 TOWN CENTER PKWY		BRADENTON	FL	34202	
600 BUTTONWOOD DR	MAXSON WARD W	MAXSON PATRICIA D	600 BUTTONWOOD DR		LONGBOAT KEY	FL	34228	
603 BUTTONWOOD DR	POWERS JAMES N	POWERS KATHY J	603 BUTTONWOOD DR		LONGBOAT KEY	FL	34228-2922	
1 WINSLOW PL	NELSON GOLDNER REVOCABLE TRUST	GOLDNER NELSON (TTEE)	1 WINSLOW PL		LONGBOAT KEY	FL	34228-2919	
601 BUTTONWOOD DR	CIMINO CARRIE	SZAKAL PATRICIA	4401 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228	
597 BUTTONWOOD DR	3150 GMD LLC		1656 MAIN ST		SARASOTA	FL	34236	
3 WINSLOW PL	SLG REAL ESTATE LLC		8341 WEST WADORA CIR.		NORTH CANTON	OH	44720	
1 WINSLOW PL	BRACHT BEREND	BRACHT SILKE BRINKMANN	310 EARLEY LN		WESTLAKE	OH	44145	
500 BUTTONWOOD DR	ADAMS KYLE	ADAMS SHANON L	PO BOX 9258		LONGBOAT KEY	FL	34228	
4 WINSLOW PL	WILSON JASON	WILSON NANCY	1209 YUMA DR		FRISCO	TX	75033	
550 BUTTONWOOD DR	VARLEY FAMILY TRUST		50 PINE ST		WINDERMERE	FL	34786	
6 WINSLOW PL	NOVETZKE RICHARD C JR		163 THOMPSON DR SE		CEDAR RAPIDS	IA	52403	
604 BUTTONWOOD DR	NIKOLICH GRACIANO	NIKOLICH SHERRY L	604 BUTTONWOOD DR		LONGBOAT KEY	FL	34228	
5 WINSLOW PL	DENINO RALPH LORENZO		5 WINSLOW PL		LONGBOAT KEY	FL	34228-2919	
3200 GULF OF MEXICO DR	PRESIDENT	LONGBOAT BAY CLUB CONDO ASSN INC	C/O CUNNINGHAM PROPERTY MGMT CORP	1030 SEASIDE DR	SARASOTA	FL	34242-2523	
3200 GULF OF MEXICO DR	SECRETARY	LONGBOAT BAY CLUB CONDO ASSN INC	C/O CUNNINGHAM PROPERTY MGMT CORP	1030 SEASIDE DR	SARASOTA	FL	34242-2523	
0 GULF OF MEXICO DR	PRESIDENT	PORTOBELLO OWNERS ASSOCIATION, INC.	C/O LIGHTHOUSE PROPERTY MANAGEMENT	4134 GULF OF MEXICO DR STE 203	LONGBOAT KEY	FL	34228	
0 GULF OF MEXICO DR	SECRETARY	PORTOBELLO OWNERS ASSOCIATION, INC.	C/O LIGHTHOUSE PROPERTY MANAGEMENT	4134 GULF OF MEXICO DR STE 203	LONGBOAT KEY	FL	34228	
3155 GULF OF MEXICO DR	PRESIDENT	THE DIPLOMAT ASSOCIATION, INC.	9031 TOWN CENTER PKWY		BRADENTON	FL	34202	
3155 GULF OF MEXICO DR	SECRETARY	THE DIPLOMAT ASSOCIATION, INC.	9031 TOWN CENTER PKWY		BRADENTON	FL	34202	
0 GULF OF MEXICO DR	PRESIDENT	THE LONGBOAT KEY YACHT CLUB, INC.	1000 MARKET STREET BUILDING ONE		PORTSMOUTH	NH	3801	
0 GULF OF MEXICO DR	SECRETARY	THE LONGBOAT KEY YACHT CLUB, INC.	1000 MARKET STREET BUILDING ONE		PORTSMOUTH	NH	3801	
0 GULF OF MEXICO DR	PRESIDENT	TRITON COVE CONDOMINIUM ASSOCIATION INC	3040 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228	
0 GULF OF MEXICO DR	SECRETARY	TRITON COVE CONDOMINIUM ASSOCIATION INC	3040 GULF OF MEXICO DR		LONGBOAT KEY	FL	34228	



CERTIFIED MAIL LIST  
Owners within 500 ft. of 3150 Gulf of Mexico Drive

PRIMARY LOCATION	OWNER NAME	OWNER NAME 2	MAILING ADDRESS	MAILING ADDRESS 2	CITY	STATE	ZIP	COUNTRY
N/A	PRESIDENT	LONGBOAT KEY YACHT & TENNIS CLUB ASSOC INC	C/O ARGUS PROPERTY MGMT	2477 STICKNEY POINT RD STE 118A	SARASOTA	FL	34231-4067	
	SECRETARY	LONGBOAT KEY YACHT & TENNIS CLUB ASSOC INC	C/O ARGUS PROPERTY MGMT	2477 STICKNEY POINT RD STE 118A	SARASOTA	FL	34231-4067	



7020 0640 0002 0620 8113

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com).  
Longboat Key, FL 34228

Certified Mail Fee	\$3.75	0300
\$	\$3.05	06
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage	\$7.38	
\$		
Sent To	CARLSON SUE A (TTEE)	
Street and Apt.	599 BUTTONWOOD DR	
City, State, ZIP	LONGBOAT KEY, FL 34228	

7020 0640 0002 0620 8137

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com).  
Sarasota, FL 34230

Certified Mail Fee	\$3.75	0300
\$	\$3.05	06
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage	\$7.38	
\$		
Sent To	FOX 41 LLC	
Street and Apt.	PO BOX 49973	
City, State, ZIP	SARASOTA FL 34230	

7020 0640 0002 0620 8106

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com).  
Palm Harbor, FL 34684

Certified Mail Fee	\$3.75	0300
\$	\$3.05	06
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage	\$7.38	
\$		
Sent To	LAMENTINE LLC	
Street and Apt.	34650 US HIGHWAY 19 N	
City, State, ZIP	PALM HARBOR, FL 34684	

7020 0640 0002 0620 8120

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com).  
Longboat Key, FL 34228

Certified Mail Fee	\$3.75	0300
\$	\$3.05	06
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage	\$7.38	
\$		
Sent To	PRICE BARBARA	
Street and Apt.	3105 GULF OF MEXICO DR.	
City, State, ZIP	LONGBOAT KEY, FL 34228-2912	



7020 0640 0002 0620 8151

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$  
Total Postage\$  
Sent To

Street and Apt

City, State, Zi

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0620 8175

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$  
Total Postage\$  
Sent To

Street and Apt

City, State, Zi

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0620 8144

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$  
Total Postage\$  
Sent To

Street and Apt

City, State, Zi

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0620 8168

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$  
Total Postage\$  
Sent To

Street and Apt

City, State, Zi

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

TRUHASKE MARY KAY (TTEE)  
3037 GULF OF MEXICO DR  
LONGBOAT KEY FL 34228-2910

GREEN HERON DEVELOPMENTS  
LLP  
3440 GULF OF MEXICO DRIVE  
UNIT 5  
LONGBOAT KEY, FL 34228

KOŁODZIESKI EDWARD J  
KOŁODZIESKI TERRY A  
560 BAY ISLES RD #8821  
LONGBOAT KEY FL 34228

KAPLAN LORRAINE (TTEE)  
3251 BAYOU SOUND  
LONGBOAT KEY, FL 34228-  
3009



7020 0640 0002 0620 8199

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and Ap

City, State, Zi

04/01/2022  
ERKER ROBERT A  
ERKER CAROL A  
602 BUTTONEOOD DR  
LONGBOAT KEY, FL 34228-2904

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0621 8921

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

North Canton, OH 44720

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Pos

\$

Sent To

Street an

City, State,

04/01/2022  
SLG REAL ESTATE LLC  
8341 WEST WADORA CIR.  
NORTH CANTON, OH 44720

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0620 8182

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Sarasota, FL 34230

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Post

\$

Sent To

Street and

City, State,

04/01/2022  
SARASOTA COUNTY  
PO BOX 8  
SARASOTA, FL 34230-0008

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0621 8914

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Westlake, OH 44145

Certified Mail Fee \$3.75  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$3.05  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and A

City, State, z

04/01/2022  
BRACHT BEREND  
BRACHT SILKE BRINKMANN  
310 EARLY LN  
WESTLAKE OH 44145

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7202 0640 0002 0620 1374



7020 0640 0002 0621 8860

Longboat Key, FL 34228

0300  
06

**See Reverse for Instructions**

2020 0640 0002 0620 1480

Windermere, FL 34786

0300  
06

100

**See Reverse for Instructions**

0202 0440 0002 0627. 8822

Sarasota, FL 34231

0300  
06

100

**See Reverse for Instructions**

0202 0447 0002 0627 8884

Longboat Key, FL 34228

0300  
06

1. *Chlorophyll a* (Chl a) is the primary photosynthetic pigment in most plants and algae. It is a green pigment that absorbs light energy in the blue and red regions of the visible spectrum. Chl a is essential for the light-dependent reactions of photosynthesis, where it converts light energy into chemical energy in the form of ATP and NADPH.

**See Reverse for Instructions**

LONGBOAT KEY YACHT & TENNIS CLUB  
ASSOCIATION  
C/O ARGUS PROPERTY MGMT  
2477STICKNEY POINT RD STE 118A  
SARASOTA FL 34231-4067



7020 0640 0002 0620 8212

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee	\$3.75
\$	\$3.05
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and Apt.

City, State, ZIP

04/01/2022  
BUTTONWOOD HARBOUR  
ASSN INC  
610 BUTTONWOOD DR  
LONGBOAT KEY FL 3428-2904

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

7020 0640 0002 0620 8298

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Chicago, IL 60611

Certified Mail Fee	\$3.75
\$	\$3.05
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and Apt.

City, State, ZIP

04/01/2022  
ARVIDA/J M B PARTNERS  
ATTN MARY KURBAT  
CHICAGO, IL 60611-6522  
555 MAYFIELD TER

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

7020 0640 0002 0620 8229

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee	\$3.75
\$	\$3.05
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and Apt.

City, State, ZIP

04/01/2022  
BALK BRUCE  
610 LONGVIEW DR  
LONGBOAT KEY FL 34228-  
3004

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

7020 0640 0002 0620 8205

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

New York, NY 10021

Certified Mail Fee	\$3.75
\$	\$3.05
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and Apt.

City, State, ZIP

04/01/2022  
BASELSKY NADIA M  
422 E 72<sup>ND</sup> ST #14D  
NEW YORK, NY 10021

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here



2020 0640 0002 0620 8236



7020 0640 0002 0620 8304

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

FRISCO, TX 75033

Certified Mail Fee \$3.75  
\$3.05  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$0.00  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and A

City, State, Z

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

WILSON JASON  
WILSON NANCY  
1209 YUMA DR  
FRISCO TX 75033

7020 0640 0002 0621 8891

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$3.05  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$0.00  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

\$

Total Postage

\$

Sent To

Street and A

City, State, Z

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

ADAMS KYLE  
ADAMS SHANON J  
PO BOX 9258  
LONGBOAT KEY, FL 34228

7020 0640 0002 0620 8274

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75  
\$3.05  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$0.00  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage

\$

Total Postage

\$

Sent To

Street and A

City, State, Z

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

SHIMEK RICHARD D  
SHIMEK JENNIFER A  
3030 GULF OF MEXICO DRIVE  
LONGBOAT KEY FL 34228

7020 0640 0002 0621 8281

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Sarasota, FL 34233

Certified Mail Fee \$3.75  
\$3.05  
Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$0.00  
☐ Return Receipt (electronic) \$0.00  
☐ Certified Mail Restricted Delivery \$0.00  
☐ Adult Signature Required \$0.00  
☐ Adult Signature Restricted Delivery \$0.00

Postage

\$

Total Postage

\$

Sent To

Street and A

City, State, Z

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

JUDY JOHNSON LLC  
4526 MCASHTON ST  
SARASOTA FL 34233-2202



7020 0640 0002 0621 8839

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Longboat Key, FL 34228

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage

\$0.58

\$

Total Pos

\$

Sent To

Street and

City, State

Postmark Here

0300 06

04/01/2022

TRITON COVE CONDOMINIUM

ASSOCIATION INC

3040 GULF OF MEXICO DR

LONGBOAT KEY FL 34228

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0621 8846

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Portsmouth, NH 03801

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage

\$0.58

\$

Total Pos

\$

Sent To

Street and

City, State

Postmark Here

0300 06

04/01/2022

THE LONGBOAT KEY YACHT

CLUB INC

1000 MARKET STREET BUILDING

ONE

PORTSMOUTH MH 3801

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0621 8808

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Bradenton, FL 34202

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage

\$0.58

\$

Total Postage and

\$

Sent To

Street and Apt. No.

City, State, ZIP+4®

Postmark Here

0300 06

04/01/2022

BAY ISLES ASSOCIATION INC

9031 TOWN CENTER PKWY

BRADENTON FL 34202

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0640 0002 0621 8815

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Wadsworth, OH 44281

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage

\$0.58

\$

Total Postage

\$

Sent To

Street and

City, State

Postmark Here

0300 06

04/01/2022

KNIGHT JAMES D II

KNIGHT ALLISON K

2184 WOOD RIDGE DR

WADSWORTH, OH 44281

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0640 0002 0621 8877

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Sarasota, FL 34242

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total \$7.38

LONGBOAT BAY CLUB CONDO ASSN INC  
CUNNINGHAM PROPERTY MGMT CORP  
1030 SEASIDE DR  
SARASOTA FL 34242-2523

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

7020 0640 0002 0620 1473

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Cedar Rapids, IA 52403

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage \$7.38

NOVETZKE RICHARD C JR  
163 THOMPSON DR SE  
CEDAR RAPIDS, IA 52403

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

0300  
06Postmark  
Here

04/01/2022

7020 0640 0002 0621 8853

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Bradenton, FL 34202

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total \$7.38

THE DIPLOMAT ASSOCIATION  
INC  
9031 TOWN CENTER PKWY  
BRADENTON FL 34202

PS Form 3800, April 2015 PSN 7530-02-000-9047

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# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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Longboat Key, FL 34228

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage \$7.38

NIKOLICH GRACIANO  
NIKOLICH SHERRY L  
604 BUTTONWOOD DR  
LONGBOAT KEY FL 34228

PS Form 3800, April 2015 PSN 7530-02-000-9047

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