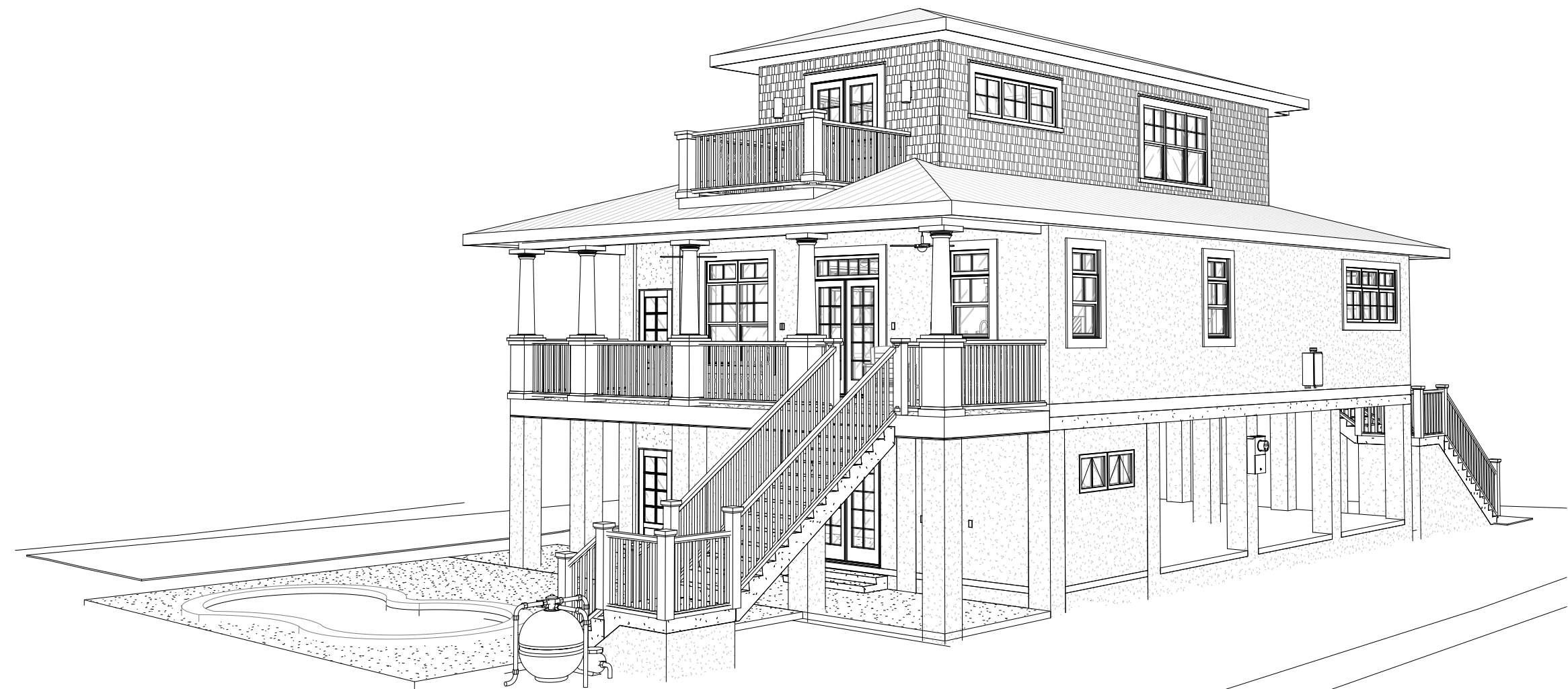




1 THREE-DIMENSIONAL VIEW - FRONT 01



2 THREE-DIMENSIONAL VIEW - FRONT 02



3 THREE-DIMENSIONAL VIEW - REAR

PALAZZOLO FAMILY RESIDENCE

TOWN OF LONGBOAT KEY - MANATEE COUNTY CONSTRUCTION DOCUMENTS

SHEET INDEX

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- A0.01 GENERAL NOTES AND LEGENDS
- A0.40 ARCHITECTURAL SITE PLAN
- A1.01 GROUND FLOOR PLAN AND NOTES
- A1.02 MAIN FLOOR PLAN AND NOTES
- A1.03 TOP FLOOR PLAN AND NOTES
- A1.21 REFLECTED CEILING PLAN AND NOTES
- A1.40 ROOF PLAN AND NOTES
- A1.51 FINISHES FLOOR PLAN AND NOTES
- A2.00 EXTERIOR ELEVATIONS
- A2.10 EXTERIOR SPECIFICATIONS
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- A9.03 CEMENTITIOUS SIDING MANUFACTURER INSTALLATION
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- S-1.1 FOUNDATION DETAILS
- S-2 GROUND FLOOR PLAN
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- S-8 STRUCTURAL DETAILS
- S-9 STRUCTURAL DETAILS

PROJECT DESCRIPTION

THE CREATION OF A NEW ELEVATED SINGLE FAMILY RESIDENCE IN THE TOWN OF LONGBOAT KEY, FLORIDA.

ZONING:R-6SF (RESIDENTIAL SINGLE-FAMILY 6)

OVERLAYS:CEA,CPA

FLOOD ZONE:AE (BFE 8 FT)

WIND BORNE DEBRIS REGION:YES

*COMPLIANCE METHOD IS PROTECTED IMPACT RESISTANT DOORS & WINDOWS

CONTACT INFORMATION

CONTRACTOR:

KROTH CONSTRUCTION LLC

7820 PORTOSUENO AVE

BRADENTON, FL 34209

PHONE: 941-705-6924

CGC1536029

ARCHITECT:

OFFICE J.RAMEAU

1911 ELK AVENUE

SARASOTA, FL 34235

PHONE: 941-444-1291

AR99707

STRUCTURAL:

MCCALL ENGINEERING, LLC

6849 ENERGY COURT

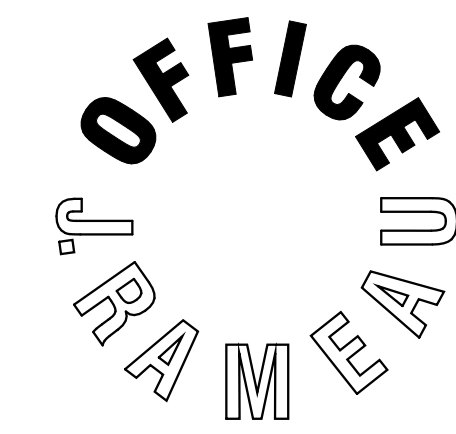
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FL REG NO. 84555



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PROJECT LOCATION:

NEW CONSTRUCTION
660 RUSSELL STREET
LONGBOAT KEY, FLORIDA 34228

PALAZZOLO FAMILY RESIDENCE

TOWN OF LONGBOAT KEY - MANATEE COUNTY
CONSTRUCTION DOCUMENTS

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Jonathan A
Rameau

Digitally signed by
Jonathan A Rameau

Date: 2025.06.23

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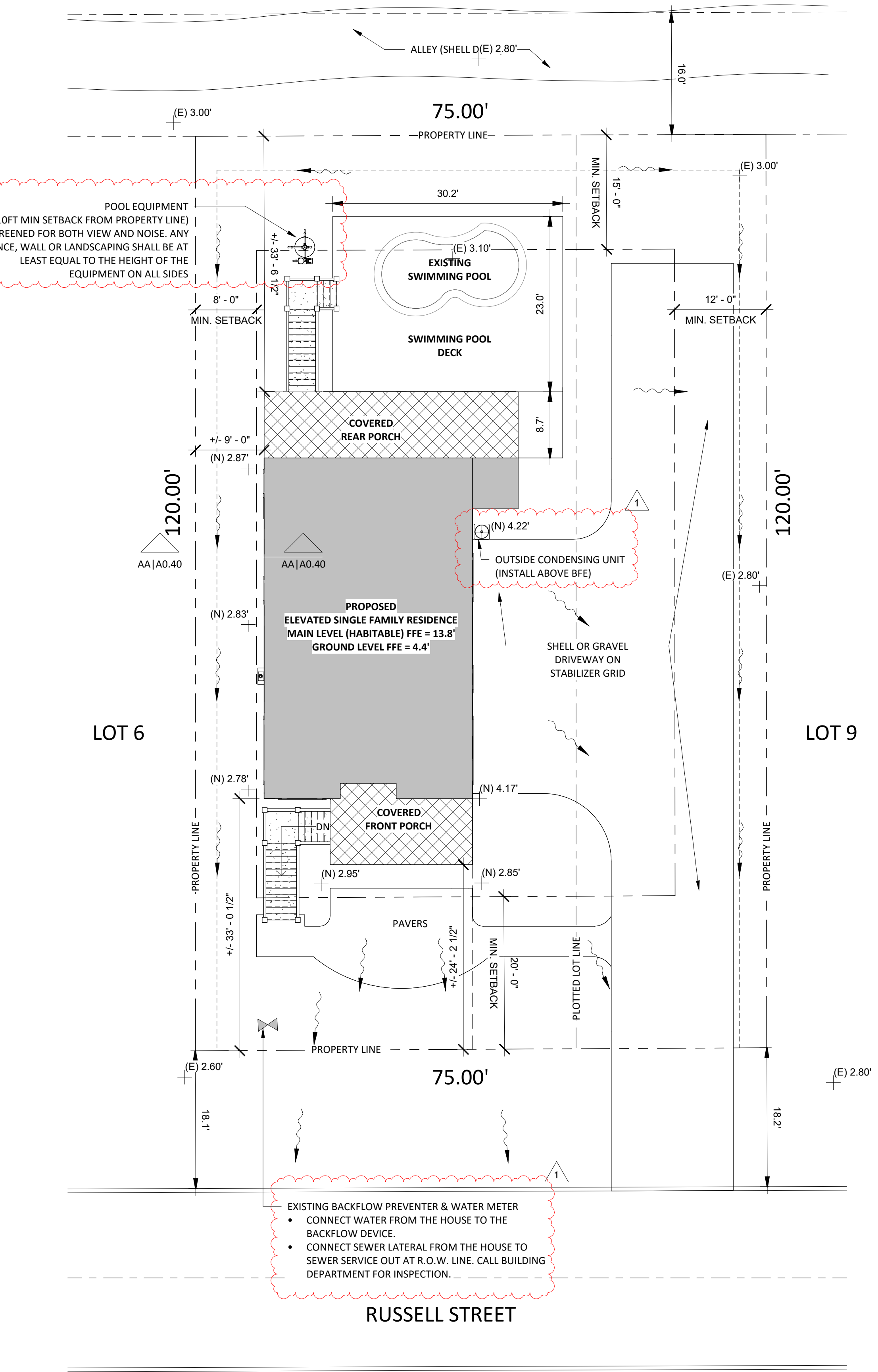
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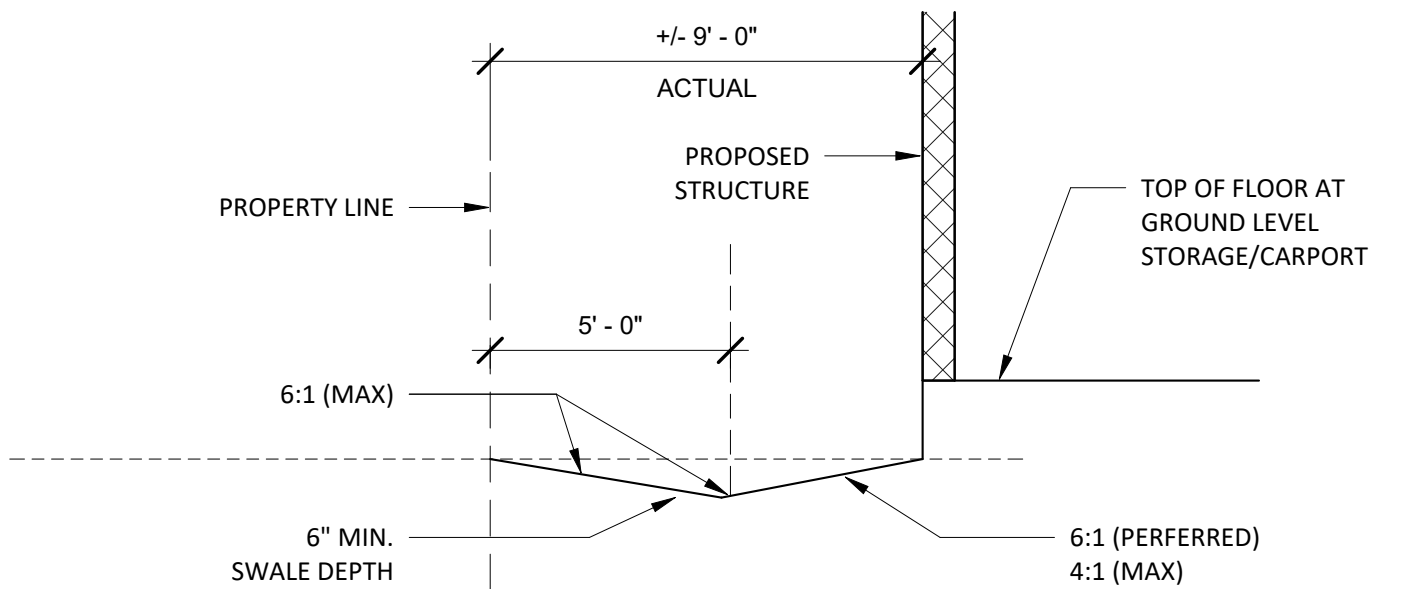
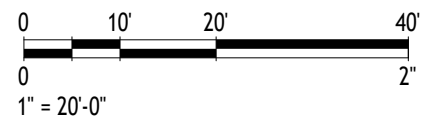
COVER SHEET AND
CONTENTS

A0.00



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

FOR INFORMATION ONLY:
SITE BOUNDARY, BUILDING LOCATION PER OWNER PROVIDED SURVEY



AA SIDE YARD DRAINAGE DETAIL
1/4" = 1'-0"

LOCAL ZONING CODE SUMMARY

SITE INFORMATION PER COUNTY PROPERTY APPRAISER:

- PARCEL: 779200007
- ZONING: R-6SF (RESIDENTIAL SINGLE-FAMILY 6)
- OVERLAYS: CEA,CPA
- FLOOD ZONE: AE (BFE 8 FT)
- TOTAL LOT AREA: 9,000 SQFT

TOWN OF LONGBOAT KEY - R-6SF STANDARDS:

YARDS (MINIMUM FEET)

- STREET YARD 20 FT MIN.
- SIDE YARD (SINGLE) 8 FT MIN.
- SIDE YARD (TOTAL) 20 FT MIN.
- REAR YARD 15 FT MIN.

BULK (MAXIMUM)

- HEIGHT 30 FT MAX.

MAX. BUILDING COVERAGE

- (RESIDENTIAL) 30% MAX.
- BUILDING FOOTPRINT + ABOVE GRADE SWIMMING POOL = 1885.68 SQFT
- (1886 / 9000) X 100 = 21% (PROPOSED)

MIN. OPEN SPACE

- (RESIDENTIAL) 50% MAX = 4,500 SQFT MIN.
- 9000 - 2962 = 6,038 SQFT (>50% PROVIDED)

IMPERVIOUS LOT COVERAGE

NAME	AREA
BUILDING FOOTPRINT	1704.08 SF
CONCRETE STAIRS	158.78 SF
HARDSCAPE	353.92 SF
SWIMMING POOL (>6" ABOVE GRADE)	181.60 SF
SWIMMING POOL DECK	562.70 SF
TOTAL LOT COVERAGE	2961.08 SF

158.094 - YARD REGULATIONS

(A) GENERALLY:

- EVERY PART OF A REQUIRED YARD MUST BE OPEN TO THE SKY AND UNOBSTRUCTED FROM THE GROUND UPWARD.
- EXCEPTIONS INCLUDE:
 - UNROOFED, OPEN, AND UNENCLOSED STEPS.
 - ORDINARY PROJECTIONS OF SILLS, BELT COURSES, CORNICES, AND OTHER ORNAMENTAL FEATURES PROJECTING NO MORE THAN 4 INCHES FROM THE BUILDING LINE.
 - ROOF OVERHANGS NO GREATER THAN 2 FEET WIDE, MEASURED FROM THE EXTERIOR BUILDING LINE.
- RESTRICTIONS APPLY TO ITEMS OFFERED FOR SALE, DISPLAY, RENTAL, OR HIRE, INCLUDING BUT NOT LIMITED TO:
 - BOATS, MOTORS, VEHICLES, BICYCLES, CARTS, RECREATIONAL ITEMS, SUNDRIES, VENDING MACHINES, AND ITEMS OF A SIMILAR NATURE.

(1) VILLAGE STUDY OVERLAY AREA - PORCHES:

- AREA DEFINED: APPENDIX 9(A) DEFINES "THE VILLAGE STUDY OVERLAY AREA."
- APPLICABLE PORTION: APPENDIX 9(B) ILLUSTRATES THE PORTION OF THE AREA ZONED R-6SF, CHARACTERIZED BY SMALL AND NARROW LOTS.

(A) PORCHES:

- A SINGLE-STORY PORCH ACCESSED FROM THE FIRST LIVABLE FLOOR, MEASURED FROM THE EXTERIOR BUILDING WALL, IS PERMITTED TO ENCROACH UP TO 10 FEET INTO THE STREET YARD SETBACK FOR EACH PRINCIPAL BUILDING.

"PORCH." A ROOFED EXTENSION OF A BUILDING THAT IS ATTACHED OR PART OF AND HAS DIRECT ACCESS TO THE BUILDING. A PORCH MAY BE SCREENED BUT NOT AIR CONDITIONED OR HEATED. EACH WALL OF A PORCH MAY NOT BE ENCLOSED BY MORE THAN 50 PERCENT.

POOL TYPE (ELEVATION AND POOL CAGE)

- STREET YARD SETBACK: PER ZONE DISTRICT
- MIN. REAR YARD SETBACK: 8 FEET
- MIN. SIDE YARD SETBACK: 8 FEET
- MIN. WATERFRONT YARD SETBACK:
 - GULF/PASS: 100 FEET
 - CANAL: 15 FEET
 - BAY: 20 FEET
- POOLS COUNT TOWARD MAX. LOT (BLDG.) COVERAGE: NO

ALL OTHER POOL TYPES

≤ 6 INCHES ABOVE FINISHED GRADE WITH A POOL CAGE; OR > 6 INCHES ABOVE FINISHED GRADE WITH OR WITHOUT A POOL CAGE

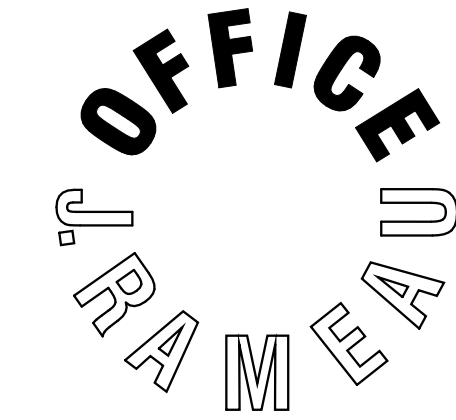
- STREET YARD SETBACK: PER ZONE DISTRICT
- MIN. REAR YARD SETBACK: PER ZONE DISTRICT
- MIN. SIDE YARD SETBACK: PER ZONE DISTRICT
- MIN. WATERFRONT YARD SETBACK: PER ZONE DISTRICT
- POOLS COUNT TOWARD MAX. LOT (BLDG.) COVERAGE: YES
- PER ZONE DISTRICT, PLUS 5%

DRAINAGE NOTES

- OUTFLOW SURFACE SLOPES SHALL NOT EXCEED ONE FOOT (1') VERTICAL IN SIX FEET (6') HORIZONTAL DISTANCE WITHIN FIVE FEET (5') OF ANY PROPERTY LINE. A SLOPE RATIO OF FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL IS ALLOWED IN AREAS MORE THAN FIVE FEET (5') FROM THE PROPERTY LINE.
- THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DIRECTED BY SWALES OR OTHER SYSTEMS TO A STREET, DRAINAGE EASEMENT, GREENBELT, OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF THE ADJUTING PARCELS OF LAND.
- SITE DRAINAGE MUST CONSISTENT WITH SUBDIVISION STORM WATER MANAGEMENT PLAN.
- EXISTING DRAINAGE TO BE MAINTAINED OR IMPROVED.
- SWALE SLOPES WILL BE MINIMUM OF 0.2% LONGITUDINAL SLOPE.
- OPEN DOWNSPOUTS SHALL BE AT LEAST 10' AWAY FROM PROPERTY LINE AND NOT DIRECTED TOWARD ADJUTING PROPERTY.

DRAINAGE LEGEND

- (E) X.XX EXISTING ELEVATION
- (N) X.XX PROPOSED ELEVATION
- FLOW DIRECTION
- FLOW LINE (0.2 MIN SLOPE)



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LONGBOAT KEY, FLORIDA 34228

PALAZZOLO FAMILY
RESIDENCE

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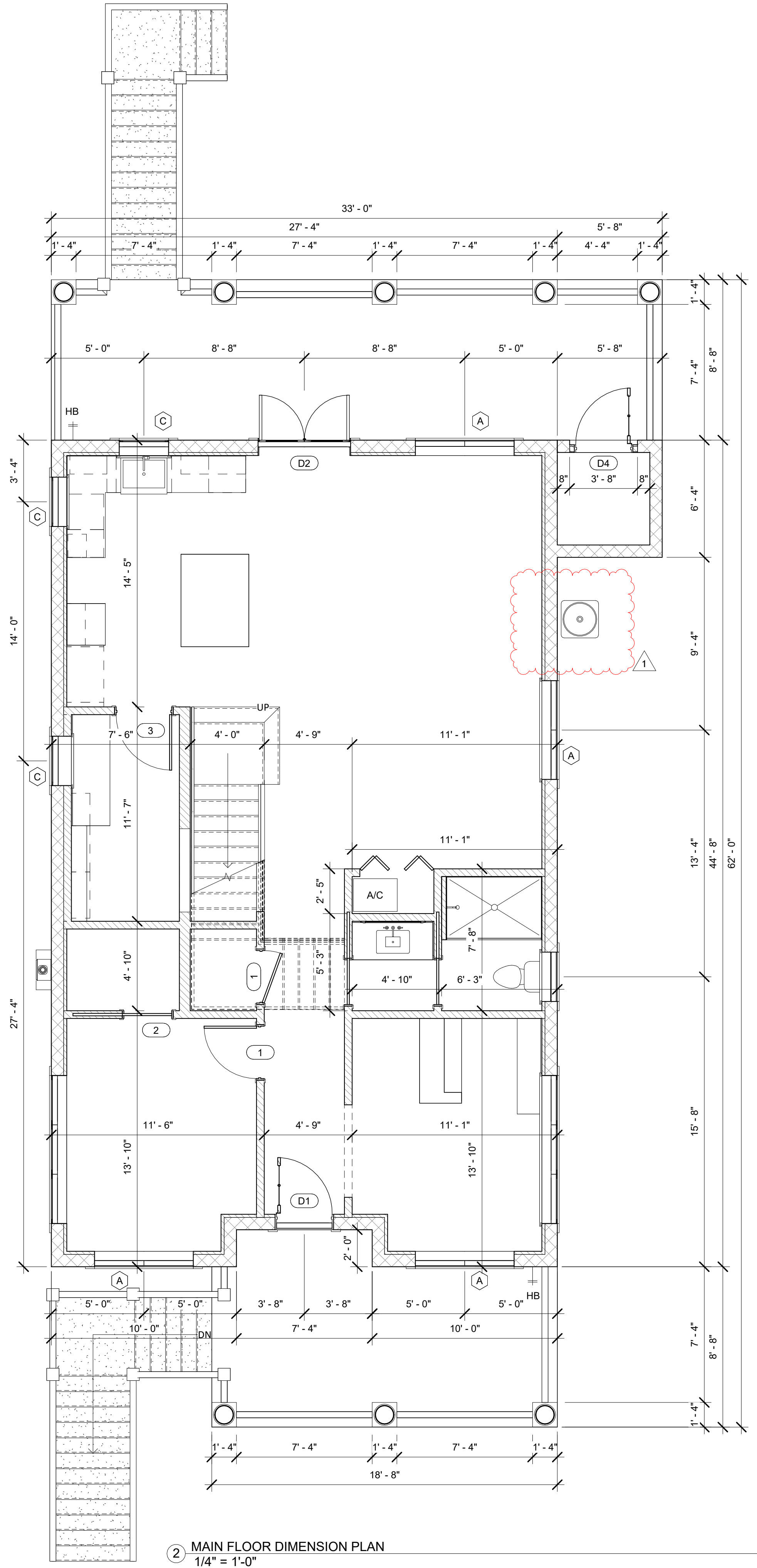
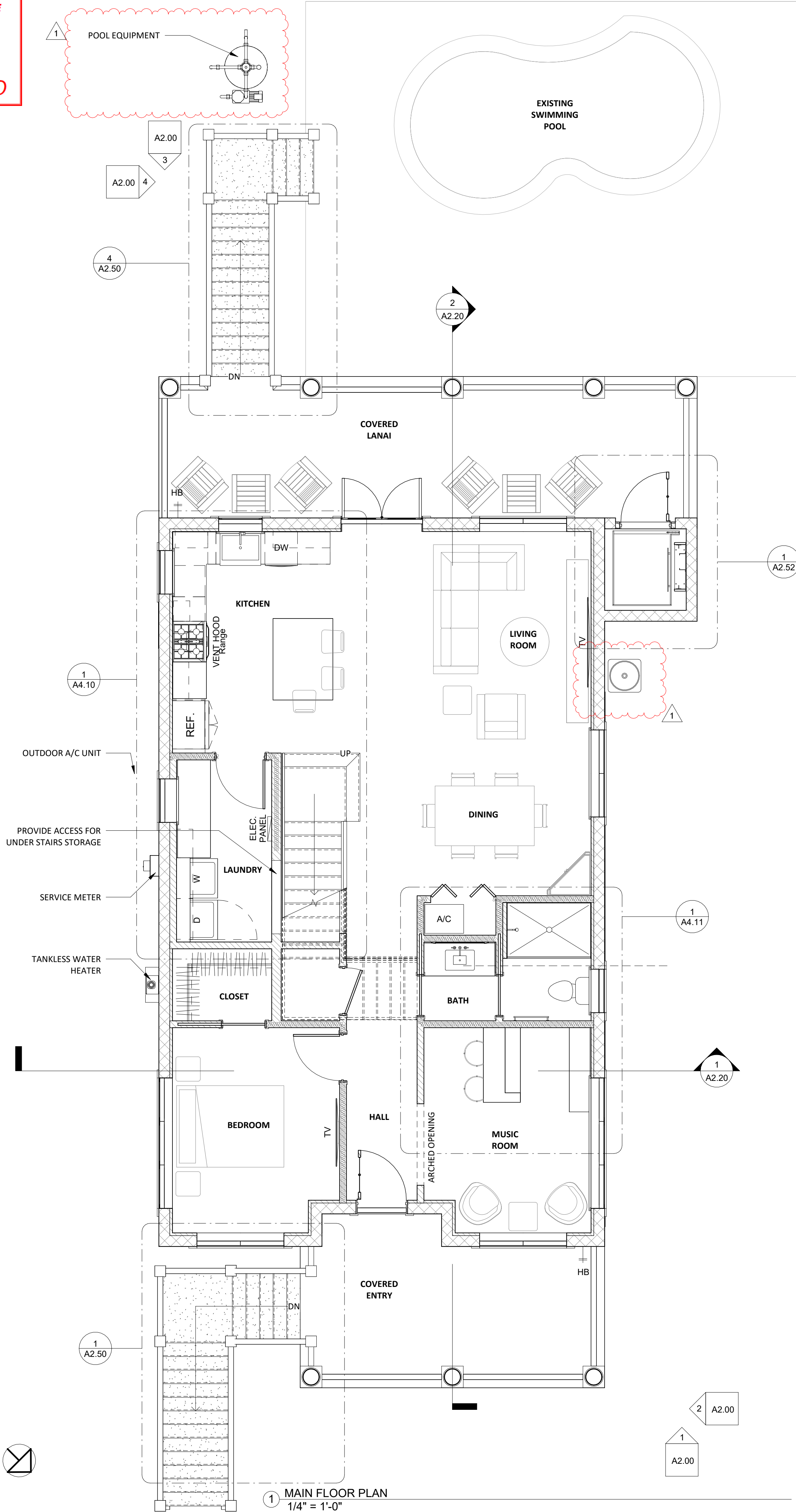
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ARCHITECTURAL SITE
PLAN

A0.40

1. SEE SHEET A1.21 FOR REFLECTED CEILING PLAN.
2. PROVIDE LIGHT BROOM FINISH ON ALL EXTERIOR CONCRETE SLABS.
3. A 40" HIGH (BALCONY) AND 36" HIGH (STAIR) RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH ANY POINT.



FLOOR PLAN WALL LEGEND

- CMU WALL
- CMU WALL WITH GWB ON 1X FURRING AT 16" O.C. WITH INSULATION AS SCHEDULED
- EXTERIOR STUD WALL
- INTERIOR WALL: GWB ON 2X4 STUD FRAMING AT 16" O.C., WITH SOUND BATT, SEE A4.00, WALL SECTION 1
- INTERIOR WALL: GWB ON 2X4 STUD FRAMING AT 16" O.C., SEE A4.00, WALL SECTION 2

FLOOR PLAN LEGEND

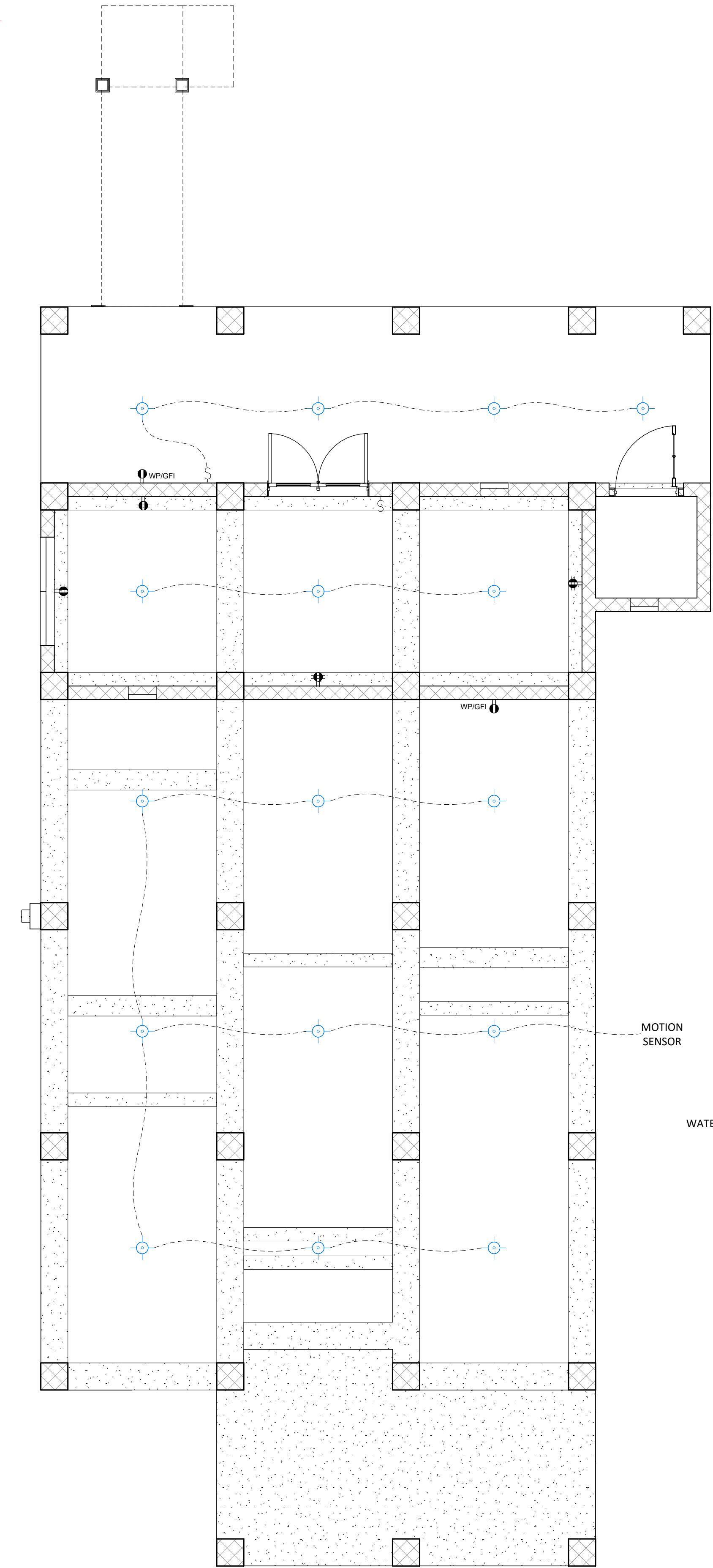
- EXTERIOR OPENING TYPE, SEE SHEET A3.00
- INTERIOR OPENING TYPE, SEE SHEET A1.02
- HOSE BIBB

- NOTE:
- SEE SHEET A1.21 FOR REFLECTED CEILING PLAN.
 - PROVIDE LIGHT BROOM FINISH ON ALL EXTERIOR CONCRETE SLABS.
 - A 40" HIGH (BALCONY) AND 36" HIGH (STAIR) RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT.

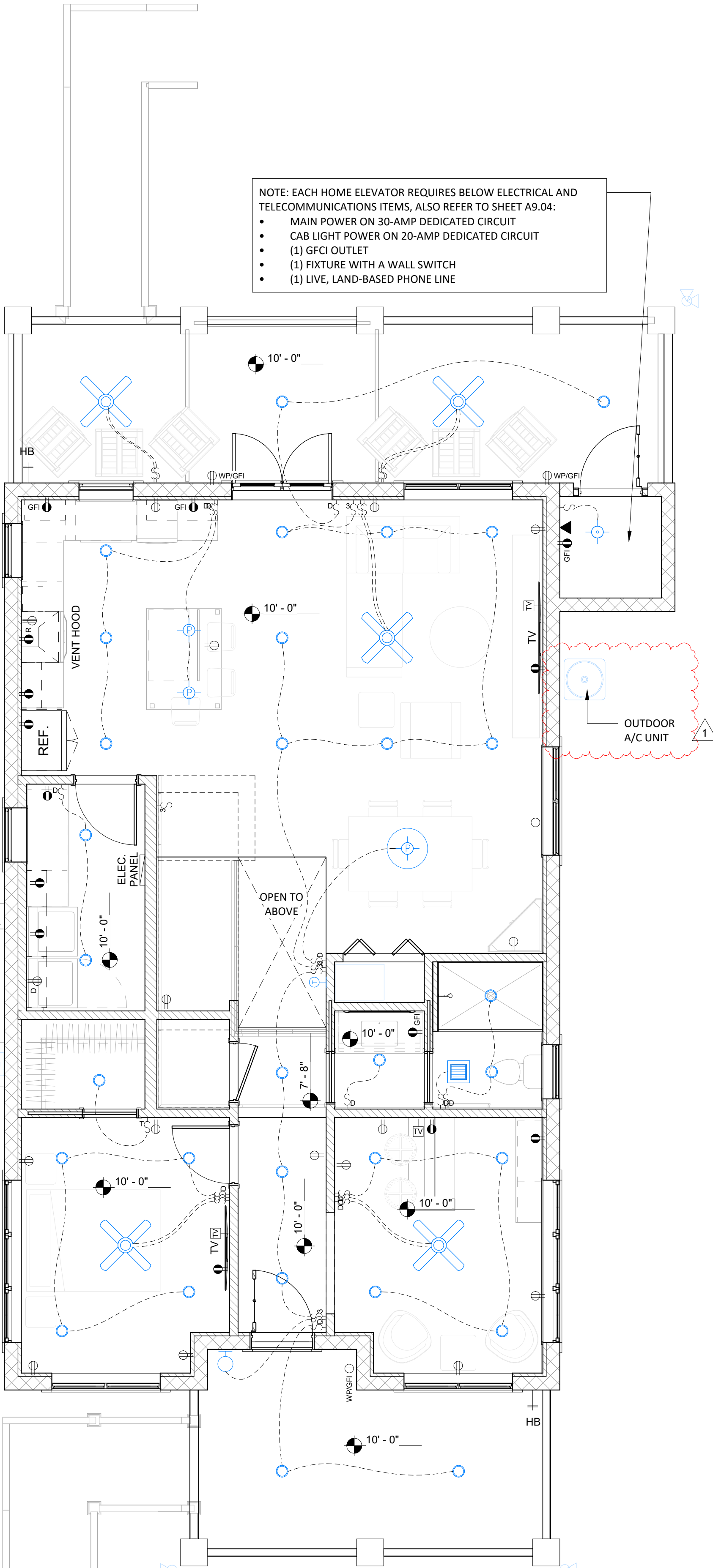
INTERIOR OPENING SCHEDULE

#	DESCRIPTION	WIDTH	HEIGHT
1	SWING DOOR	34"	80"
2	POCKET DOOR	32"	80"
3	SWING DOOR	36"	80"
4	SWING DOOR	32"	80"
5	POCKET DOOR	30"	80"
6	BIFOLD DOOR	48"	80"

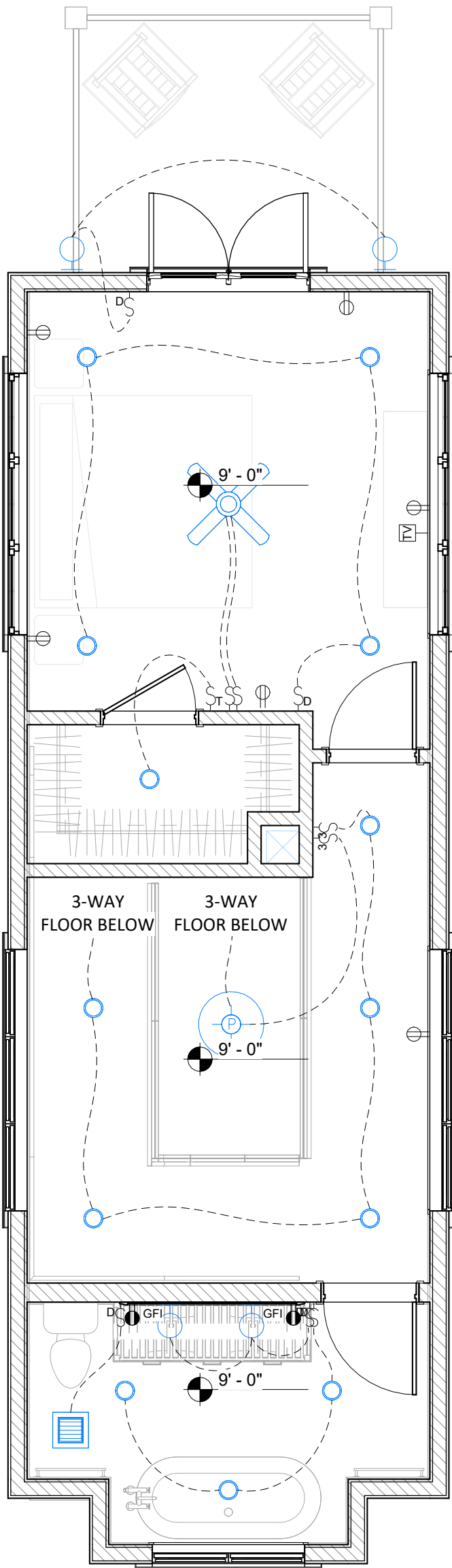
- NOTE:
- INTERIOR MOLDED DOORS IN PRE-HUNG WOOD FRAME. EQUAL TO MASONITE - WINSLOW 3-PANEL. CONTRACTOR TO CONFIRM INTERIOR DOOR STYLE WITH OWNER.
 - AT ELEVATOR, SOLID CORE DOOR, MINIMUM 1.75" THICKNESS REQUIRED. SEE SHEET A9.04 FOR ADDITIONAL REQUIREMENTS.
 - SEE SHEET A3.00 FOR EXTERIOR OPENING SCHEDULE.



1 REFLECTED CEILING PLAN - GROUND FLOOR
1/4" = 1'-0"



2 REFLECTED CEILING PLAN - MAIN LEVEL
1/4" = 1'-0"



3 REFLECTED CEILING PLAN - TOP LEVEL
1/4" = 1'-0"

REFLECTED CEILING LEGEND

	RECESSED LIGHT FIXTURE		SURFACE MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED FIXTURE		DECORATIVE PENDANT MOUNTED FIXTURE
	WALL MOUNTED LIGHT FIXTURE		FLOOD LIGHT
	CEILING FAN		EXHAUST FAN
	THERMOSTAT		

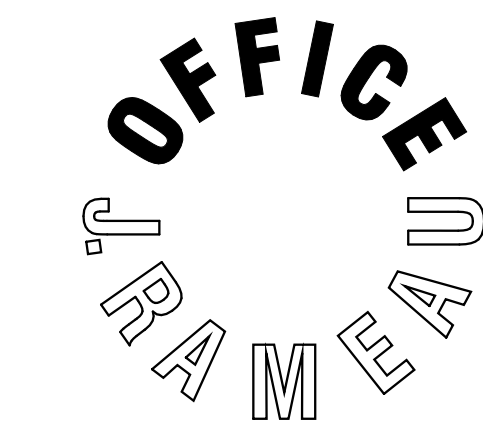
SD SMOKE DETECTOR POWERED BY 10-YEAR NON-REMOVABLE, NON-REPLACEABLE BATTERIES WITHIN 10 FT OF ROOMS USED FOR SLEEPING PURPOSES. THE ALARM DEVICES SHALL BE WIRELESSLY INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT.

NOTE:
1. PROVIDE UNDER CABINET LIGHTING AT KITCHEN.

POWER / SYSTEMS PLAN LEGEND

	DUPLEX OUTLET		WALL SWITCH
	GROUND FAULT INTERRUPTED OUTLET		WALL DIMMER
	DUPLEX OUTLET, MOUNT AT 42" AFF OR AT COORDINATED GREATER HEIGHT		THREE-WAY WALL SWITCH
	WEATHERPROOF GROUND FAULT INTERRUPTED OUTLET		TIMER WALL SWITCH
	QUAD OUTLET, MOUNT ABOVE BASE FLOOR ELEVATION		CABLE TV OUTLET
	RANGE OUTLET		FLOOR OUTLET
	DRYER OUTLET		DATA OUTLET

NOTE:
1. PROVIDE ARC FAULT PROTECTION AS REQUIRED PER CURRENT NEC.
2. PROVIDE UNDER CABINET LIGHTING AT KITCHEN.
3. PRIOR TO ROUGH-IN, CONTRACTOR AND OWNER TO VERIFY LOCATION OF SWITCHES AND OUTLETS.
4. SHALLOW BOXES SHALL BE USED AT ALL CMU & CONCRETE COLUMNS. CMU/CONCRETE SHALL NOT BE CUT. ADDITIONAL BOXES SHALL BE PROVIDED AS REQUIRED.
5. PROVIDE HARDWIRE CONNECTION OR OUTLET FOR ALL INSTALLED EQUIPMENT PER MANUFACTURER INSTALLATION REQUIREMENTS. INCLUDING BUT NOT LIMITED TO: EXHAUST RANGE HOOD VENT, LIGHTED VANITY MIRROR(S).
6. MEET ALL FEMA REQUIREMENTS FOR ELEVATING ALL ELECTRICAL ABOVE THE BASE FLOOD ELEVATION.



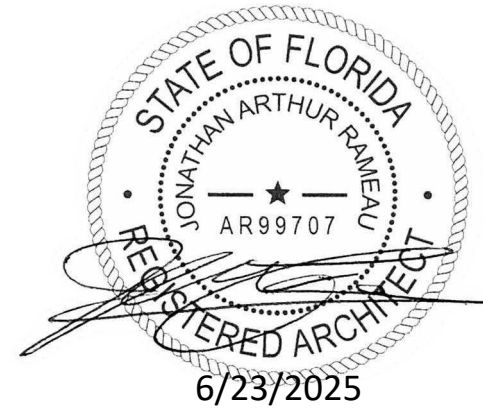
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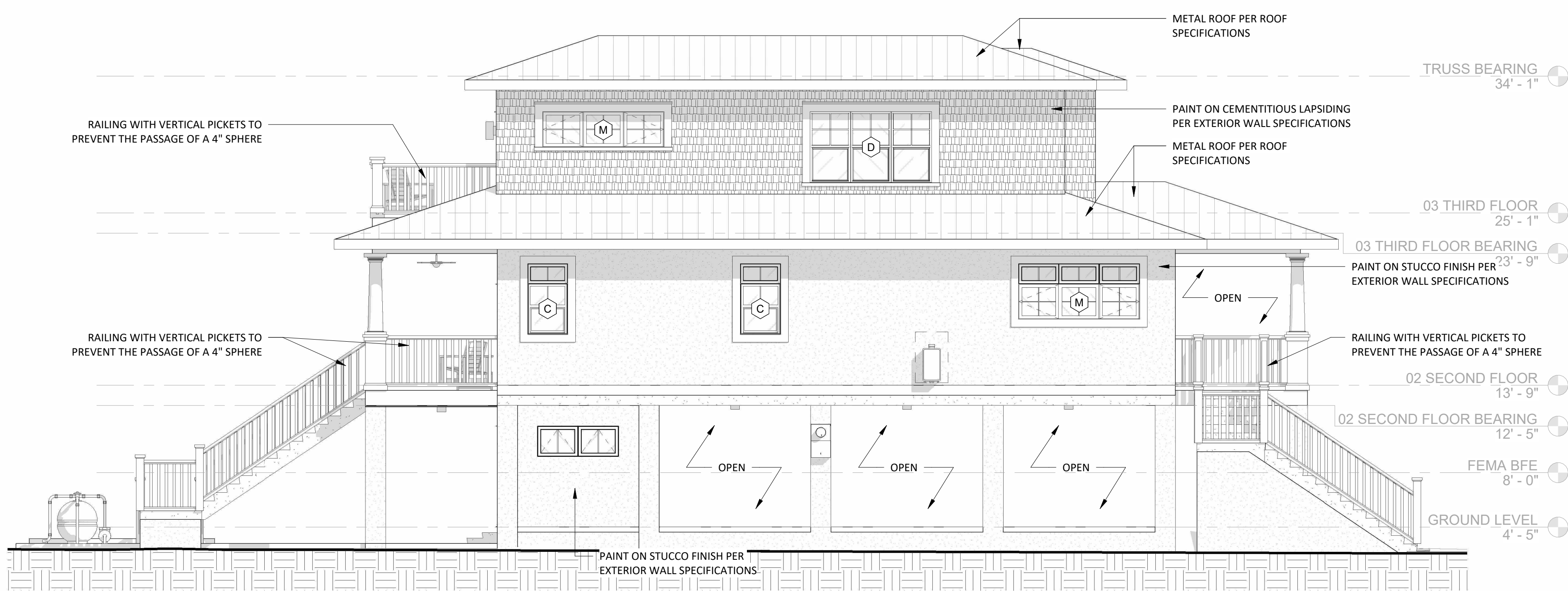
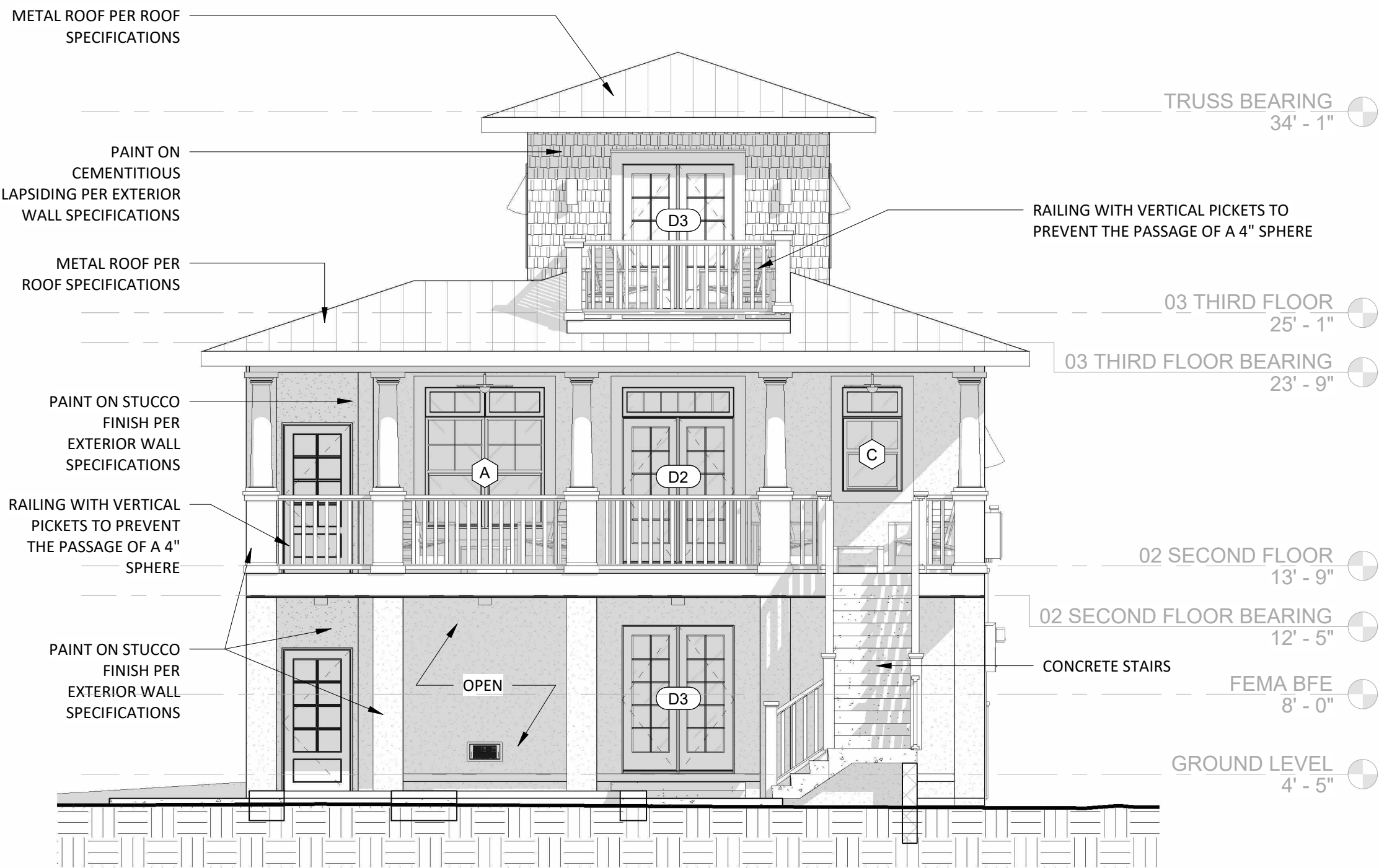
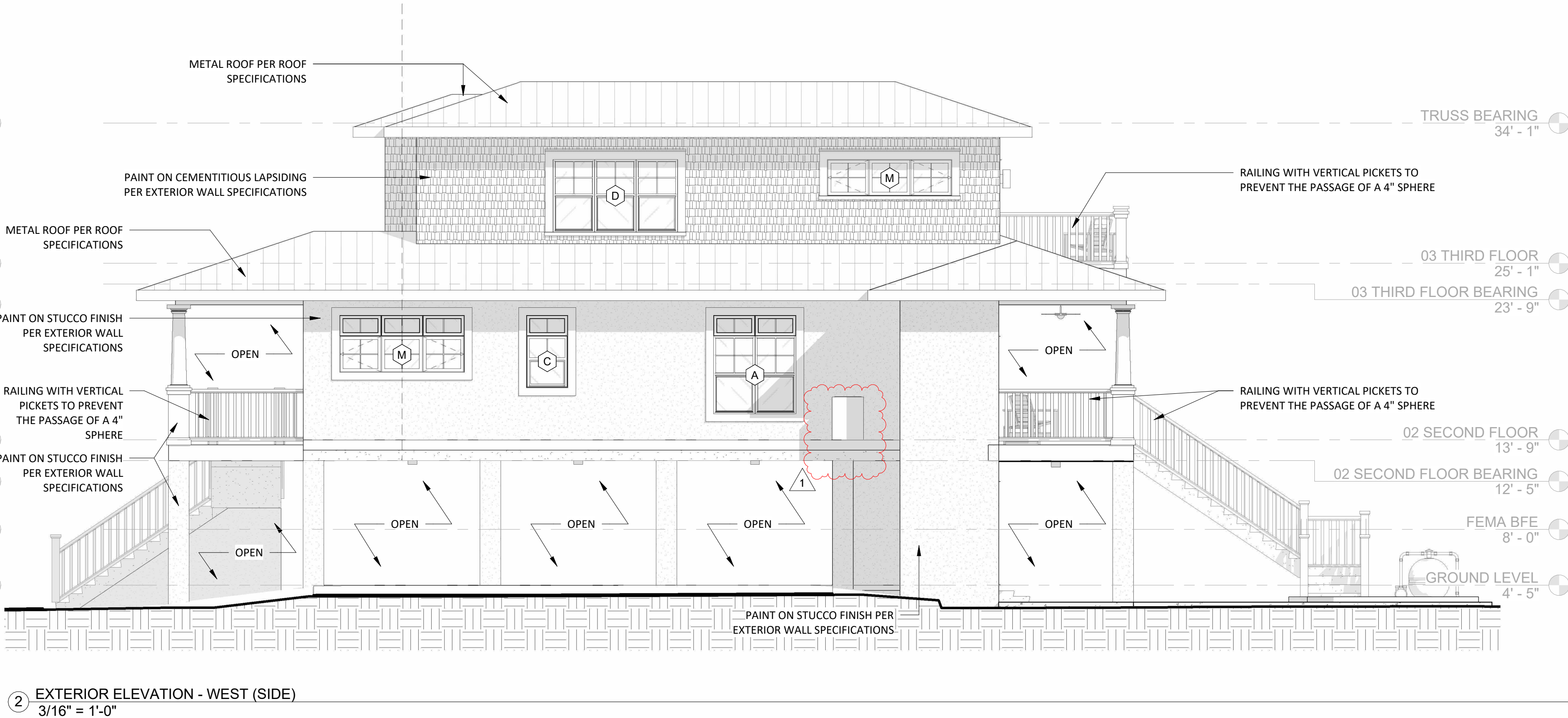
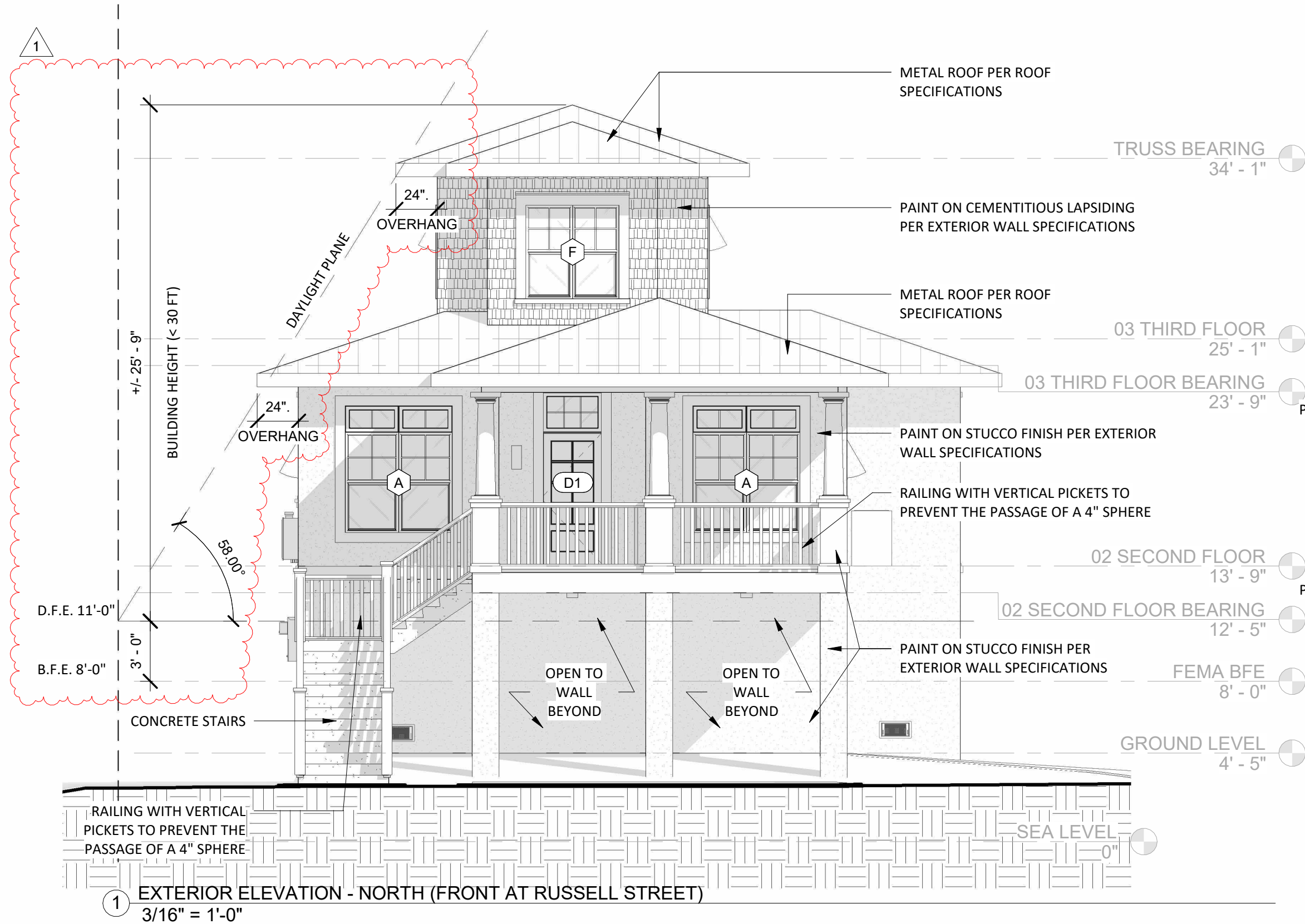
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REFLECTED CEILING
PLAN AND NOTES

A1.21



ELEVATION NOTES:

1. PROVIDE MINIMUM 3" ADDRESS NUMBERS ON FRONT ELEVATION, VISIBLE FROM THE STREET.
2. SEE A2.10 AND A2.2X FOR BUILDING SECTIONS AND EXTERIOR BUILDING SYSTEM SPECIFICATIONS.

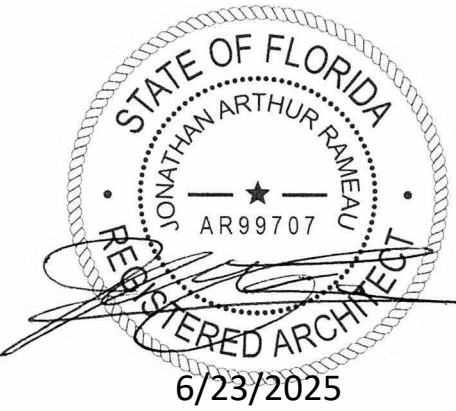
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EXTERIOR ELEVATIONS

A2.00