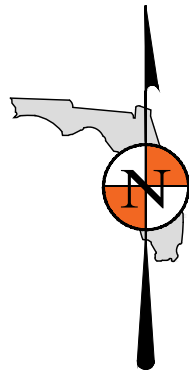


TOPOGRAPHIC SURVEY

Section 21, Township 36 South, Range 17 East

525 Ketch Lane, Longboat Key, Florida 34228



SCALE: 1"=20'

DESCRIPTION: (Per Official Records Instrument #2023167521)

Lot 5, Block C, COUNTRY CLUB SHORES, Unit 1, according to the plat thereof recorded in Plat Book 16, Page 22, of the Public Records of Sarasota County, Florida.

REPORT OF SURVEY

Accuracy:
Horizontal – The accuracy obtained by measurement and calculation of a closed geometric figure was found to be 1 foot in 21,178 feet.

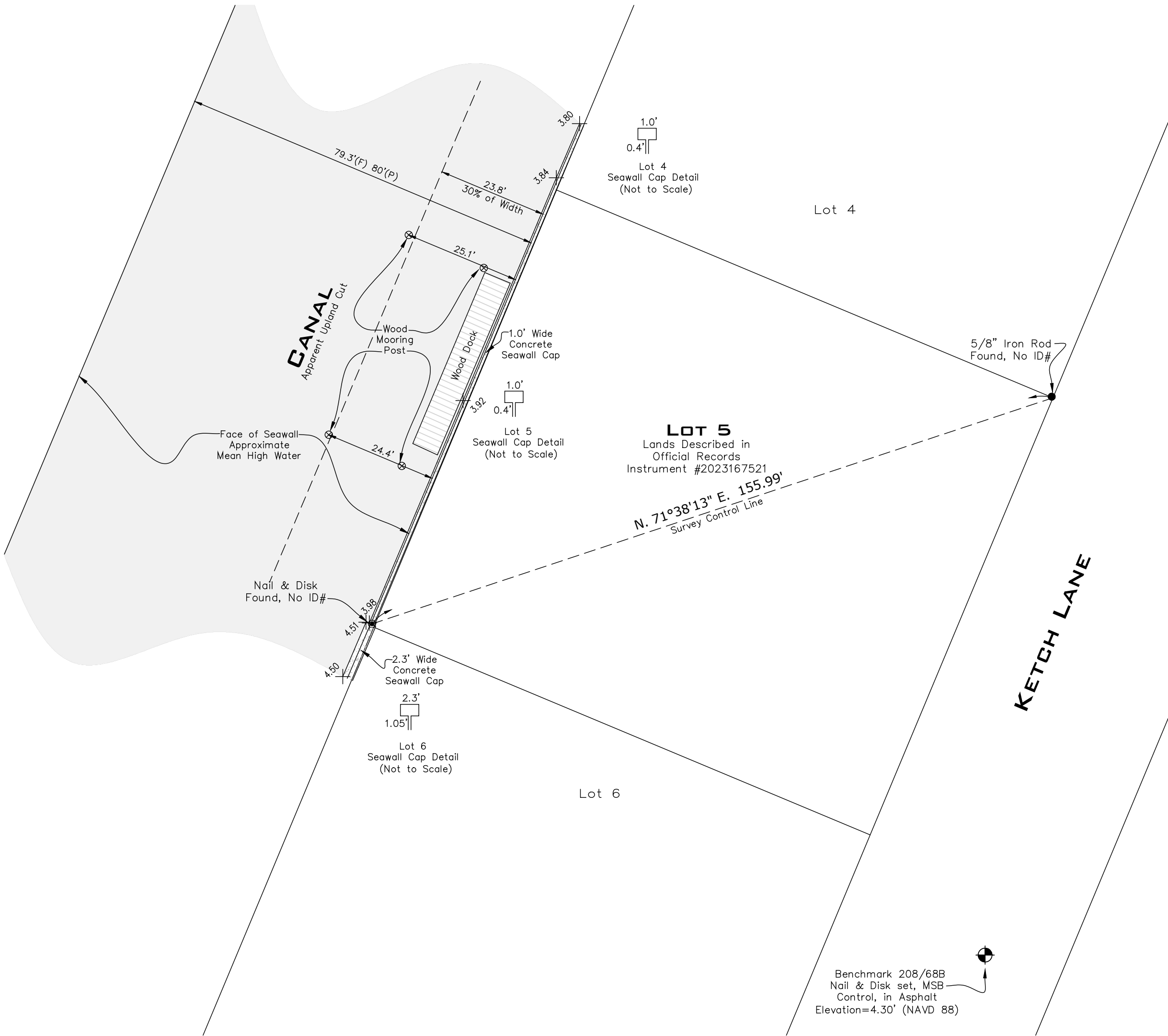
Vertical – The accuracy obtained by a closed level loop, based on National Geodetic Survey Benchmark # 872 6089 B, produced a vertical unadjusted error of 0.01'.

- Data Sources:
1. Plat of Country Club Shores, Unit No 1 recorded in Plat Book 16, Page 22, Public Records of Sarasota County, Florida.
 2. Warranty Deed recorded in Official Records Instrument #2023167521, Public Records of Sarasota County, Florida.
 3. Benchmark data was researched from the Land Boundary Information System internet web site (www.labins.org).
 4. Tidal data was furnished by Florida Department of Environmental Protection, Tidal Water Survey Procedural Approval Sheet, Dated: 7/17/2025.
 5. Sarasota County Property Appraiser's web site – www.sc-pa.com.
 6. No other information was researched or furnished.

Apparent Physical Upland Use:
Residential

- Easements:
1. Easements shown per plat of record:
 2. No other easements were furnished.

- Notes:
1. This map represents an Topographic Survey for the purpose of satisfying the building requirements for a new seawall per the Town of Longboat Key.
 2. Horizontal datum is based on the North American Datum (NAD) of 1983 (2011 adjustment), Florida State Plane, West Zone, and was derived from real-time kinematic GPS observations utilizing the Florida Permanent Reference Network (FPRN) producing a bearing of N.71°38'13"E., along the Survey Control Line of Lot 5.
 3. Elevations shown hereon are in feet and decimals referenced to NAVD 88 and are based on National Geodetic Survey Benchmark # 872 06089 B, published elevation is 2.98'.
 4. There may exist other underground fixed interior improvements that are not visible and are not a part of this survey.
 5. This map has been prepared without the benefit of a Commitment for Title Insurance or a Title Policy.



Legend

- ⊕+ –Denotes Top of Seawall Cap Elevation
(P) –Denotes Plat Data
(F) –Denotes Field Measurement

536 INTERSTATE COURT
SARASOTA, FLORIDA 34240
PHONE NO.: (941) 341-9935
CERTIFICATE OF AUTHORIZATION NO. L.B. 7044
DRAWN BY: SWB



Digitally signed by Martin S
Britt
Date: 2025.08.07 12:38:09
-0400'



MARTIN S. BRITT,
REGISTERED SURVEYOR & MAPPER, FLA. CERT. NO. LS 5538
NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
OR ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CERTIFIED TO: Richard and Darin Davis

DATE OF SURVEY 07/29/2025 FIELD BOOK/PAGE: 210/40
250711
JOB NUMBER