

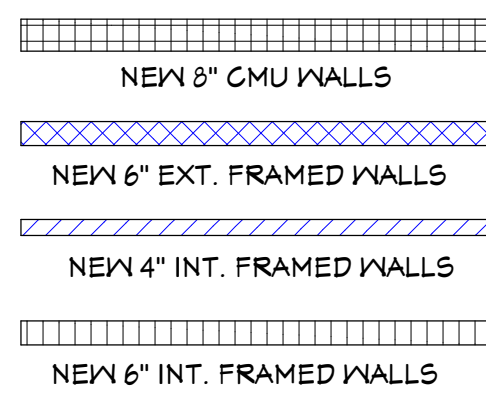
NOTE:

- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
- ALL DAMAGED COMPONENTS TO BE REMOVED AND REPAIRED OR UPGRADED PER DETAILS AND NOTES, TO CODE
- PROVIDE TEMPORARY SUPPORT FOR BUILDING COMPONENTS UNTIL WORK IS COMPLETED (AS REQUIRED)
- ALL MATERIALS UNDER FLOOD ELEVATION, MUST BE PRESSURE TREATED & WATER PROOF MATERIALS
- IF ANY EXISTING DIFFERENT CONDITION IS FOUND DURING CONSTRUCTION CONTACT R&S ENGINEERING FOR FURTHER INSTRUCTIONS

WINDOW / DOOR WIND PRESSURES:

0 SQ. FT. - 19 SQ. FT.	=	+59.4 PSF, -64.5 PSF
20 SQ. FT. - 49 SQ. FT.	=	+56.8 PSF, -61.8 PSF
50 SQ. FT. - 99 SQ. FT.	=	+53.2 PSF, -58.3 PSF
100 SQ. FT. +	=	+50.5 PSF, -55.5 PSF

WALL LEGEND



ROOF NOTES:

- FBC APPROVED ANCHORS CAPABLE OF MEETING UPLIFT REQUIREMENTS AS PROVIDED IN SEALED LAYOUT AT EACH TRUSS TO PROVIDE CONTINUOUS TRANSFER OF UPLIFT LOADS FROM TRUSSES TO FOUNDATION.
- TRUSS MANUFACTURER SHALL SUBMIT PROFILES & PLANS, PRIOR TO FABRICATION TO THE CONTRACTOR FOR APPROVAL. SAID PLANS SHALL BEAR THE SEAL OF A REGISTERED FLORIDA ENGINEER.
- ENGINEERED TRUSS DRAWINGS INDICATING BEARING POINTS, GRAVITY LOADS UPLIFT LOADS AND REQUIRED CONNECTORS ARE BASED ON THE FBC 2023 CODE. MANUFACTURER'S CALCULATIONS FOR THESE ITEMS MAY BE GREATER THAN THOSE SHOWN HEREIN DUE TO ASSUMING DESIGN LOADS GREATER THAN SPECIFIED IN CODE. ANY DISCREPANCIES IN TRUSS LAYOUT SHALL BE DIRECTED TO THE EOR BEFORE PROCEEDING.
- PROVIDE 1 - # 5 IN VERTICAL CELL FILLED W/ 3000 P.S.I. CHATMIX AT ALL GIRDER TRUSS BEARINGS.
- ROOF TO BE VENTED

FOUNDATION NOTES:

- PRESUMPTIVE SOIL BEARING: 2000 PSF
LATERAL SLIDING RESISTANCE: 0.25
FOR 5W/5P, 5M, 5C, 5M AND 5C
PER FBC-2023 8TH EDITION TABLE 1806.2
- WATER TABLE PER FBC-2023 8TH EDITION 1803.5.4
- IF ANY DIFFERENT FOUNDATION CONDITION IS FOUND DURING CONSTRUCTION CONTACT R&S ENGINEERING FOR FURTHER INSTRUCTIONS
- ALL GRADING AND FILL TO COMPLY FBC-2023 8TH EDITION SECTION 1804

ELECTRICAL NOTES:

- ALL EXTERIOR OUTLETS TO BE WP-GFCI
- ALL GARAGE, KITCHEN COUNTER, AND RESTROOM VANITY OUTLETS TO BE GFCI
- ALL OUTLETS TO BE ARC-FAULT INTERRUPTER PROTECTED
- SMOKE DETECTORS TO BE HARD WIRED INSIDE ALL BEDROOMS AND ONE WITHIN 8' OUTSIDE OF BEDROOMS
- SMOKE DETECTOR TO BE AT ALL ENCLOSED STAIRWELLS
- SERVICE OUTLET TO BE LOCATED WITHIN 10' OF A/C
- ALL ELECTRICAL TO BE 12" ABOVE BFE

ELECTRICAL NOTES:

- CONTRACTOR SHALL REVIEW THESE DRAWINGS PRIOR TO BIDDING AND / OR PERMITTING. PERMITTING SHALL BE COVERED BY CONTRACTOR.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND SHOULD ONLY BE USED AS A REFERENCE. PURSUANT TO FLORIDA STATUTES 2023 CHAPTER 471.003 (20(h)), THE LICENSED CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR WORK PERFORMED, USING THIS DESIGN. LIGHTING FIXTURES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS, CONDITIONS & PROPERTY SETBACKS PRIOR TO CONSTRUCTION
- ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL BUILDING CODES & ORDINANCES AS WELL AS ESTABLISHED BUILDING PRACTICES
- ALL MATERIALS BELOW B.F.E. MUST BE WATER RESISTANT, P.T. LUMBER & DUROCK DRYWALL, TYP. PER FBC - 2023 8TH EDITION 322.1.8.
- ALL RAILINGS TO BE 34" - 38" HIGH & BALUSTERS SPACED SO A 4" SPHERE WILL NOT PASS THROUGH
- PLUMBING CONTRACTOR TO VERIFY ALL DIMENSIONS FOR FIXTURES & STUB-OUTS

PLUMBING NOTES:

- PLUMBING CONTRACTOR SHALL REVIEW THESE DRAWINGS PRIOR TO BIDDING AND / OR PERMITTING. PERMITTING SHALL BE COVERED BY CONTRACTOR.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND SHOULD ONLY BE USED AS A REFERENCE. PURSUANT TO FLORIDA STATUTES 2023 CHAPTER 471.003 (20(h)), THE LICENSED CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR WORK PERFORMED, USING THIS DESIGN.

NOTES:

- STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION. FBC 2023 - 8TH EDITION RESIDENTIAL - SECTION R322.1.2, FEMA TB #9, NFIP CFR 44 sec 60.3(a)(3) AND ASCE 24

DESIGN CRITERIA:

- ALL CONSTRUCTION TO BE IN CONFORMANCE w/ FBC - 2023 8TH EDITION, FOR RISK FACTOR II PER SECTION 1804
- EXPOSURE "D"
- VULT = 150 MPH
- VASD = 116 MPH
- VULT DESIGN PRESSURE = psf
- DESIGN AS ENCLOSED / OPEN
- FLOOD ZONE: AE 8
- LOADS: FLOOR: LL: 45 PSF
DL: 10 PSF
ROOF: LL: 45 PSF
DL: 10 PSF
DECK: LL: 60 PSF
DL: 15 PSF

- DESIGN METHOD: ASD
- LEVEL OF CORROSION RESISTANCE
- MEDIUM
(ALL EXPOSURE COMPONENTS MUST BE GALVANIZED MIN.)

REFERENCED STANDARDS

- 2023 FLORIDA BUILDING CODE
- 2023 FLORIDA MECHANICAL CODE
- 2023 FLORIDA PLUMBING CODE
- 2023 FLORIDA ENERGY CODE
- AGI 318-19
- ANSI/APA NDS - 2018 & SUPPLEMENT
- AISC 360-16
- ASCE/SEI T-22
- NFPA 70 - NEC 2020
- NFPA 101 - 2021 (IF APPLICABLE)
- ALL ADDITIONAL REFERENCES PER FBC 2023 8TH EDITION, BUILDING CODE CHAPTER 35

POST SCHEDULE:

- C1 16" X 16" CONC. BLK. COLUMN
W/ (4) #5 VERT. REBAR
(SEE POST DETAIL)
- C2 6" X 6" P.T. WOOD POST
(SEE POST DETAIL)

BEAM SCHEDULE:

- B1 8F24 11TB PRECAST LINTEL
(SEE "BEAM DETAILS")
- B2 (2) PLY 2" X 12" WOOD BEAM
(SEE "BEAM DETAILS")

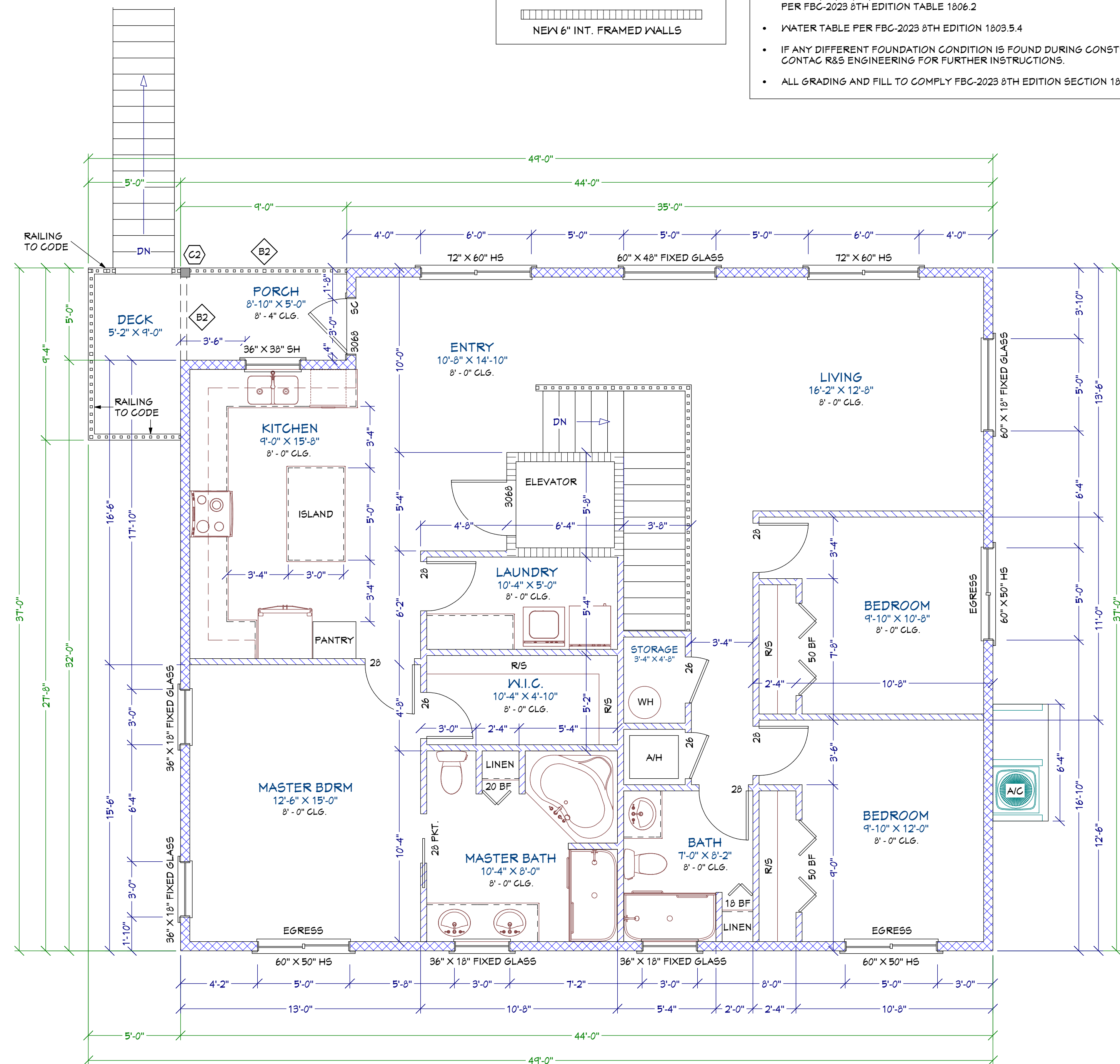
CONTRACTOR INFORMATION:

TONY GMEINDER, INC.
26315 83rd AVENUE EAST
MYAKKA CITY, FL 34251
TONYGMEINDER@AOL.COM
441-713-5411
LICENSE #: CGC1523013

REVISION NOTES: NOVEMBER 21, 2025

- 1 ADDED DAYLIGHT PLANE ANGLE
-- PAGE #2 --

DATE:	AUGUST 22, 2025
REV:	NOVEMBER 21, 2025
PROJECT STATUS:	FINAL
DRAWN BY:	JEREMIAH Z.
JOB #:	24333
SHEET:	1 of 9



PROPOSED FLOOR PLAN VIEW (2nd FLOOR)

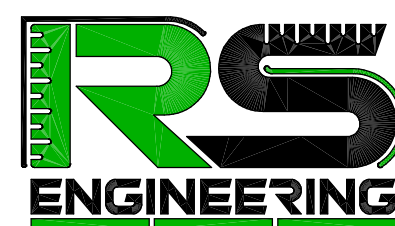
SCALE: 1/4" = 1'

- INDICATES FLOW THRU VENTS
- SMART VENTS
- MIN (2) VENTS REQUIRED

FLOW THRU VENT CALC.
FLOW THRU VENT AREA REQ: 258 SQ. IN.
(2) SMART VENTS @ 200 SQ. IN. = 400 SQ. IN.
TOTAL FLOW THRU AREA = 400 SQ. IN.

BUILDING AREA:			
FIRST FLOOR:		SECOND FLOOR:	
ENTRY AREA	258 sq. ft.	LIVING AREA	1,584 sq. ft.
CARPORT AREA	1,042 sq. ft.	PORCH AREA	44 sq. ft.
PORCH AREA	374 sq. ft.	DECK AREA	46 sq. ft.
TOTAL AREA	1,674 sq. ft.	TOTAL AREA	1,674 sq. ft.
TOTAL LIVING AREA	1,584 sq. ft.		
TOTAL GROSS AREA	3,348 sq. ft.		

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PH: 941-417-2034 E-MAIL: PED@PEDFL.COM
LUIS A. ROSARIO, P.E. FL# 61828

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Digitally signed by
Luis A Rosario
Date: 2025.11.21
13:00:25 -05'00'

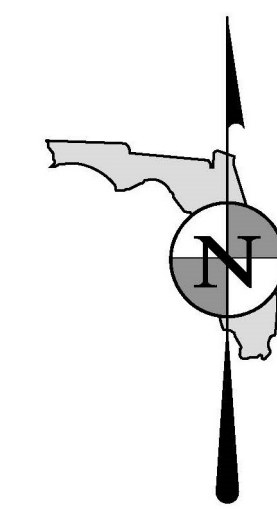
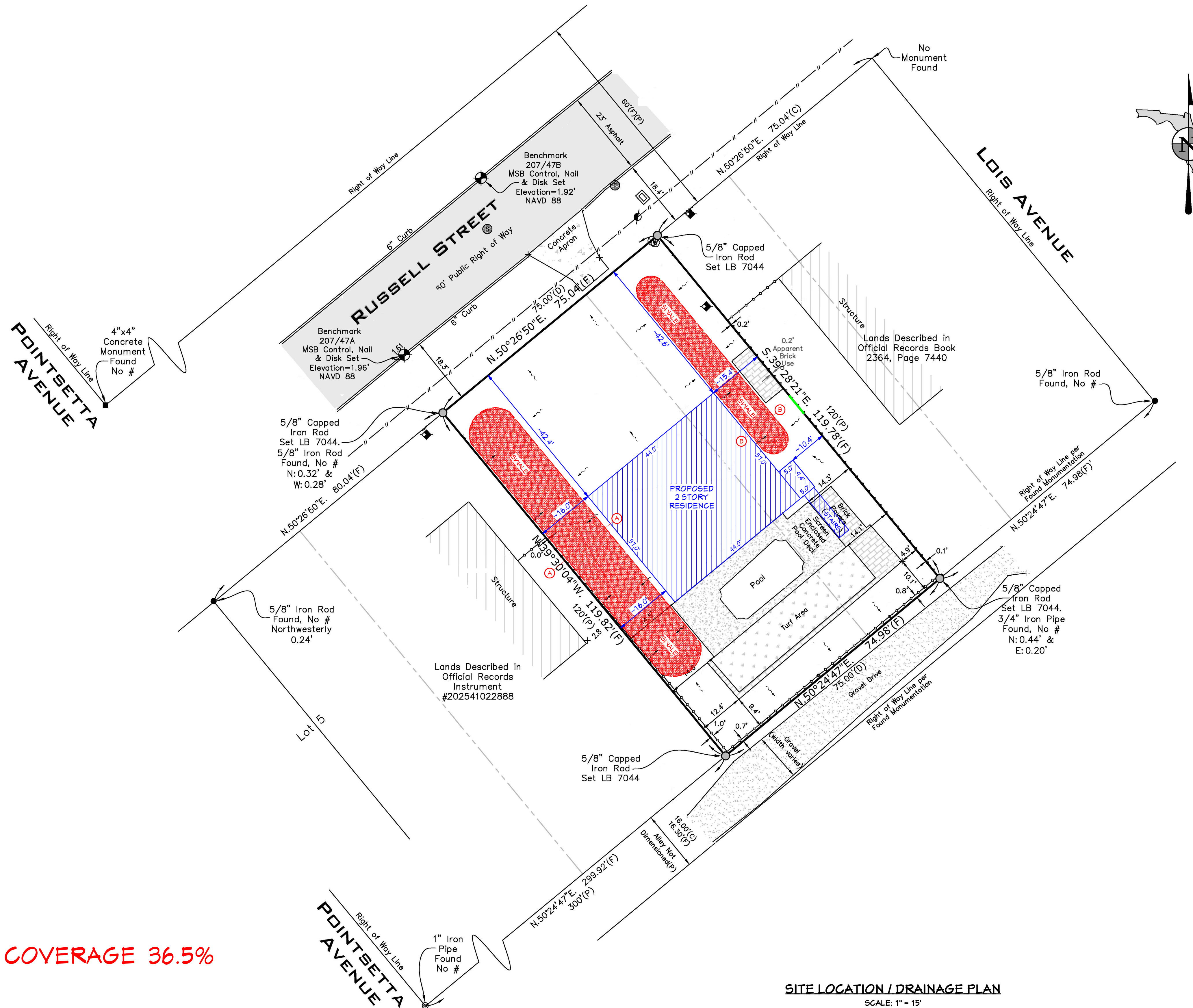
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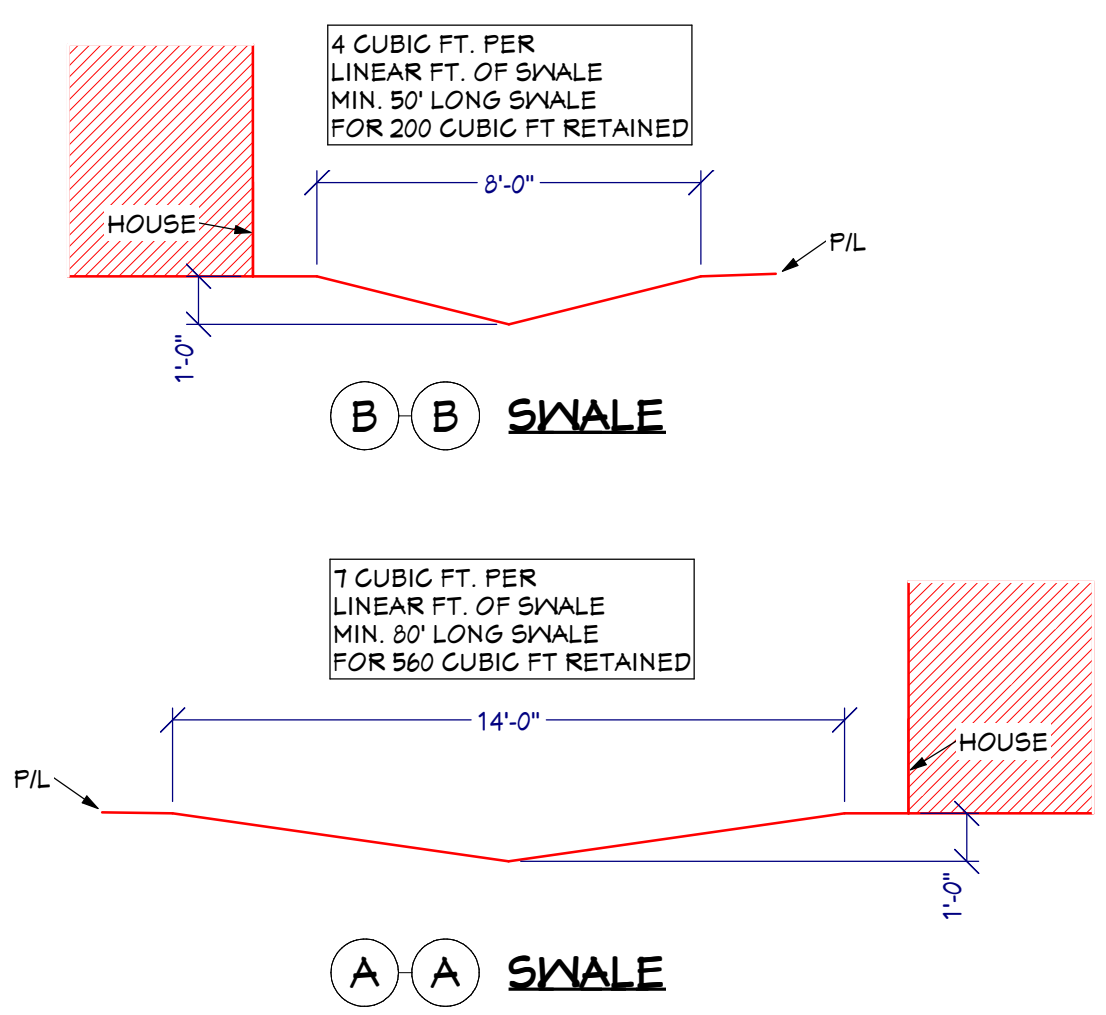
KAGI RESIDENCE

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DRAINAGE CALC:
LOT AREA = APROX. 9000 SQ. FT.
VOLUME OF WATER TO BE RETAINED:
1" OF RAIN WATER X LOT AREA:
9000 SQ. FT. X (1/12) FT. = 750 CUBIC FT
SWALE SECTION AREA:
SWALE (A-A)
7 CUBIC FT. PER LINEAR FT. OF SWALE
MIN. 80' LONG SWALE = 560 CUBIC FT RETAINED
SWALE (B-B)
4 CUBIC FT. PER LINEAR FT. OF SWALE
MIN. 50' LONG SWALE = 200 CUBIC FT RETAINED
MIN. TOTAL WATER RETAINED = 760 CUBIC FT



PROPOSED LOT COVERAGE 36.5%

SITE LOCATION / DRAINAGE PLAN
SCALE: 1" = 15'

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SHEET:	1a of 9

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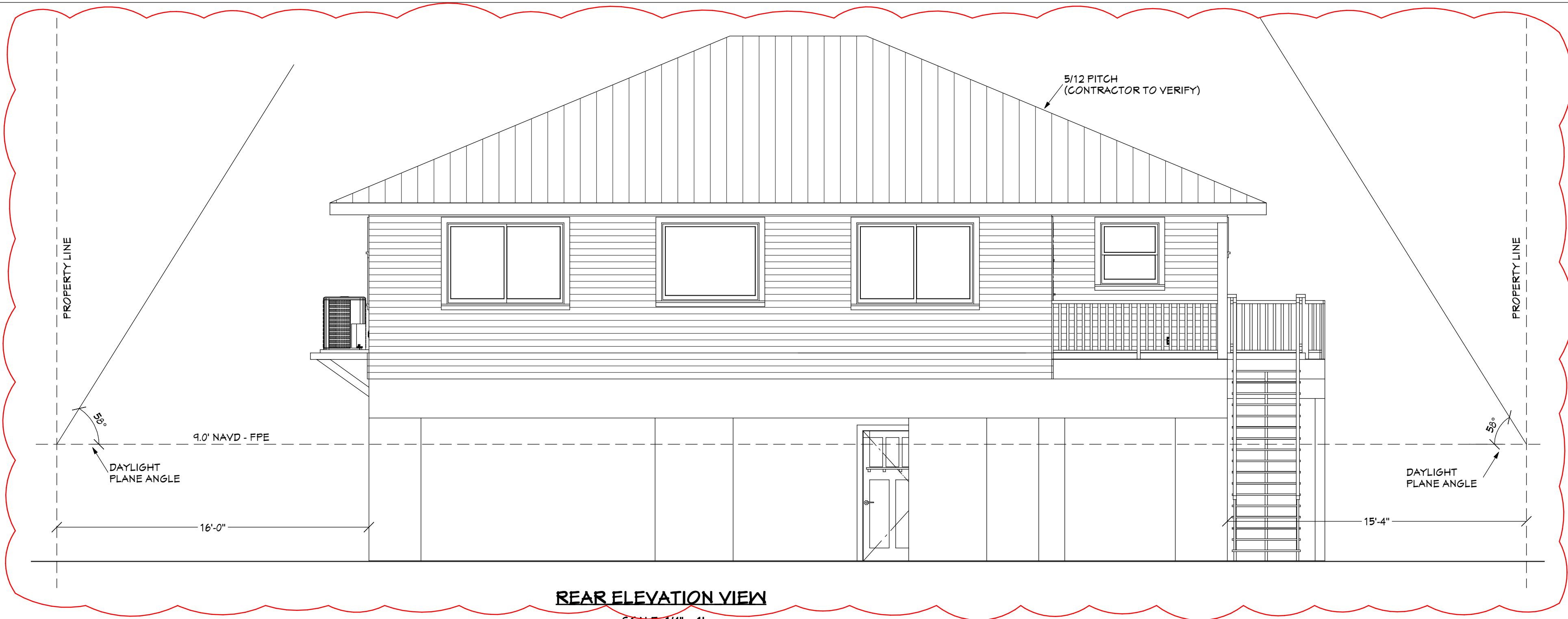
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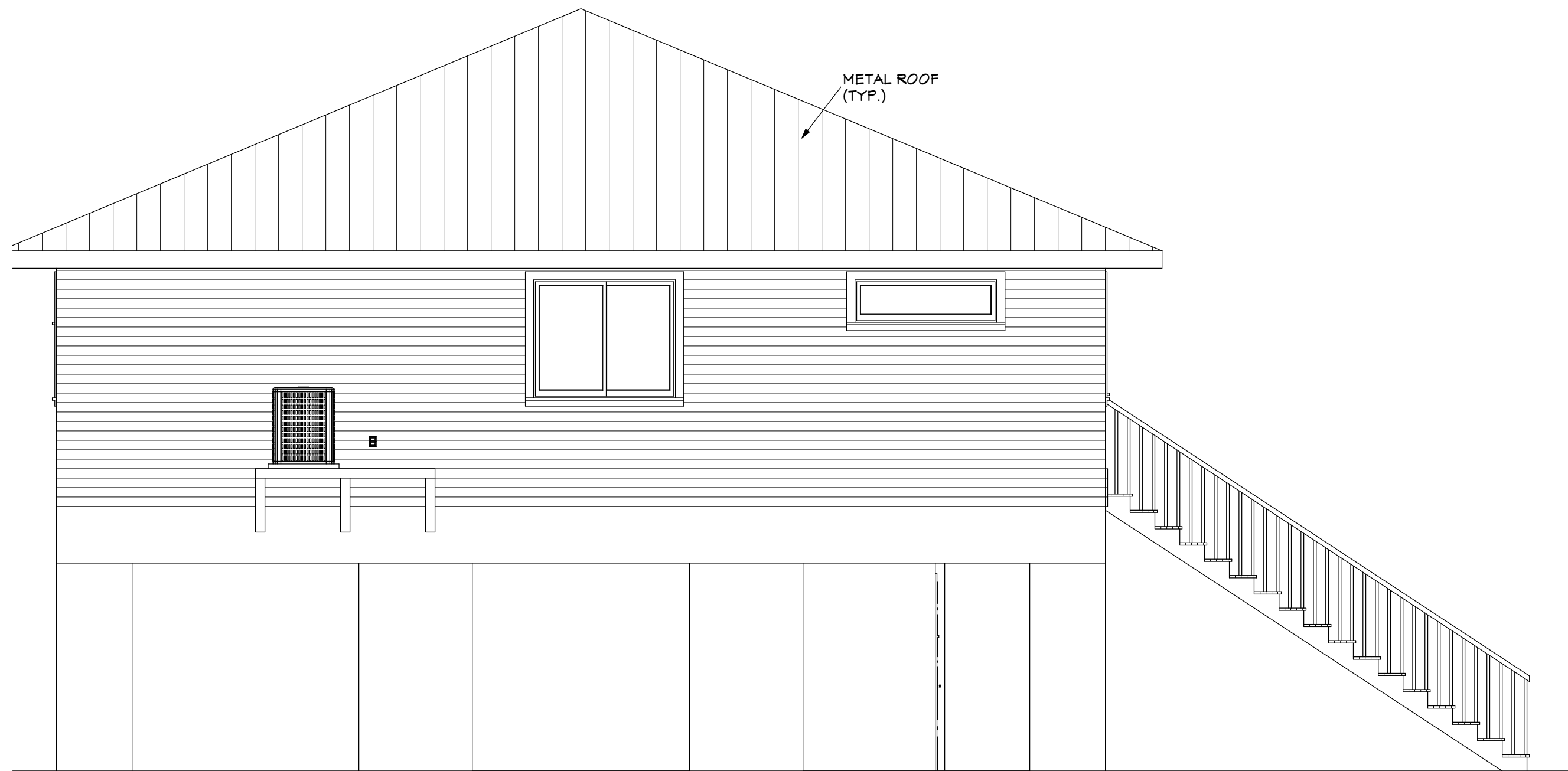
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LEFT ELEVATION VIEW
SCALE: 1/4" = 1'



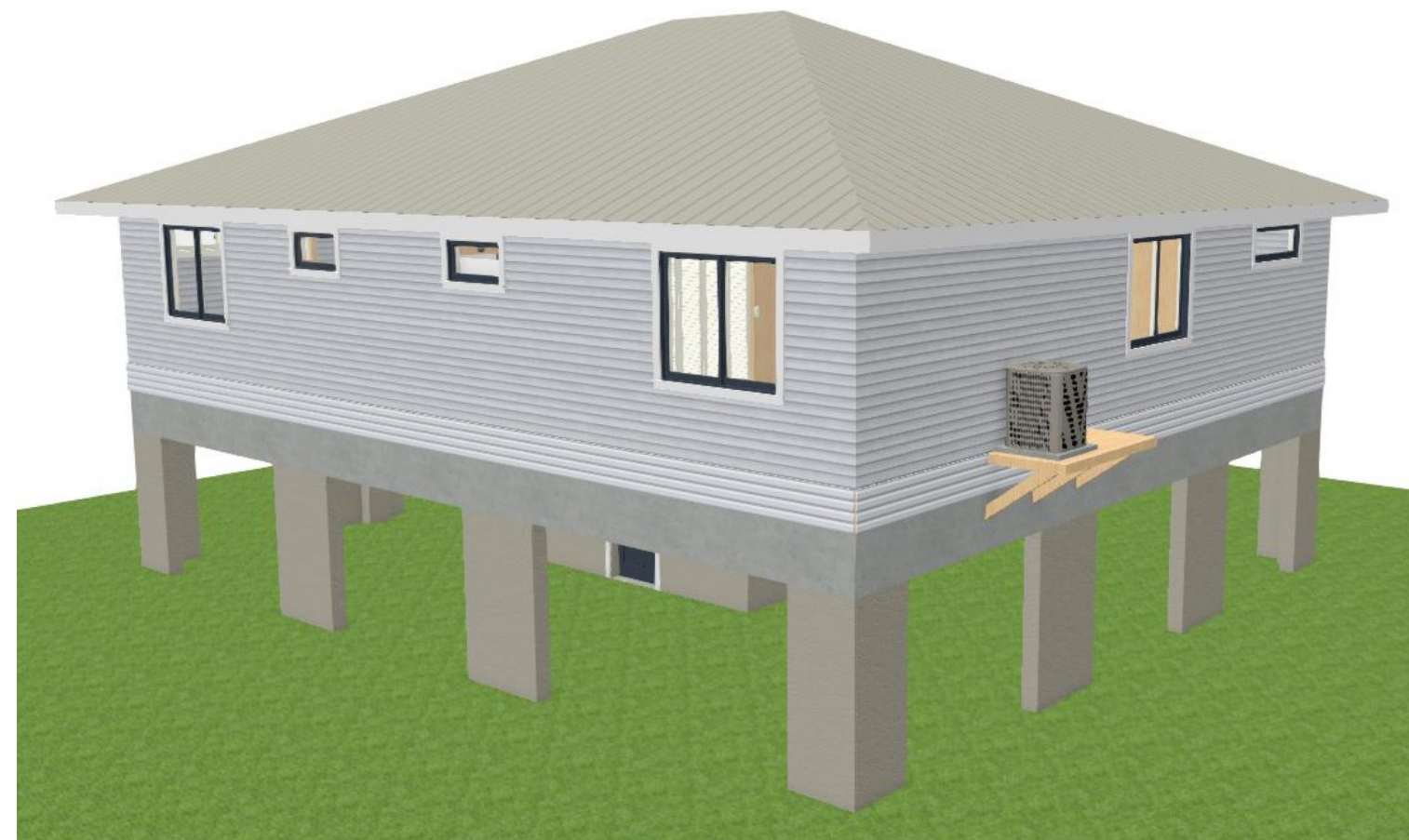
REAR ELEVATION VIEW
SCALE: 1/4" = 1'



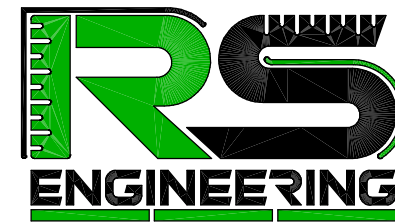
RIGHT ELEVATION VIEW
SCALE: 1/4" = 1'



FRONT ELEVATION VIEW
SCALE: 1/4" = 1'

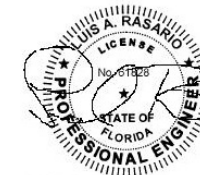


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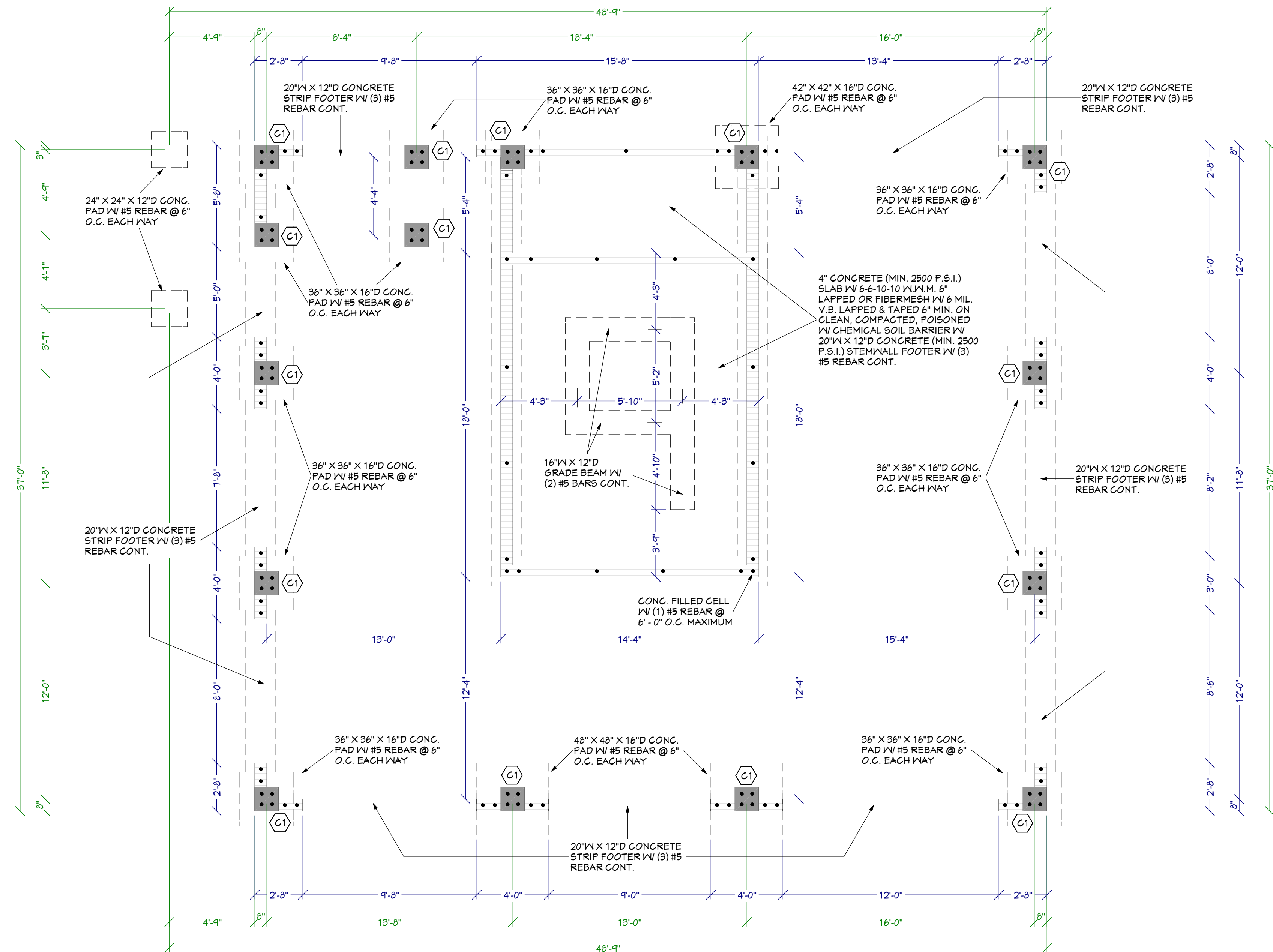
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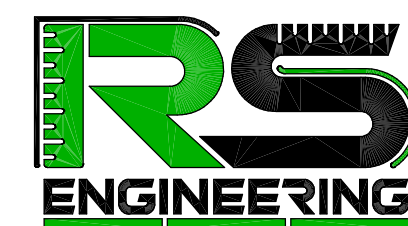


FOUNDATION PLAN VIEW

SCALE: 1/4" = 1'

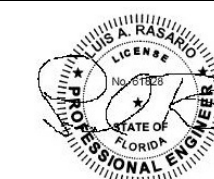
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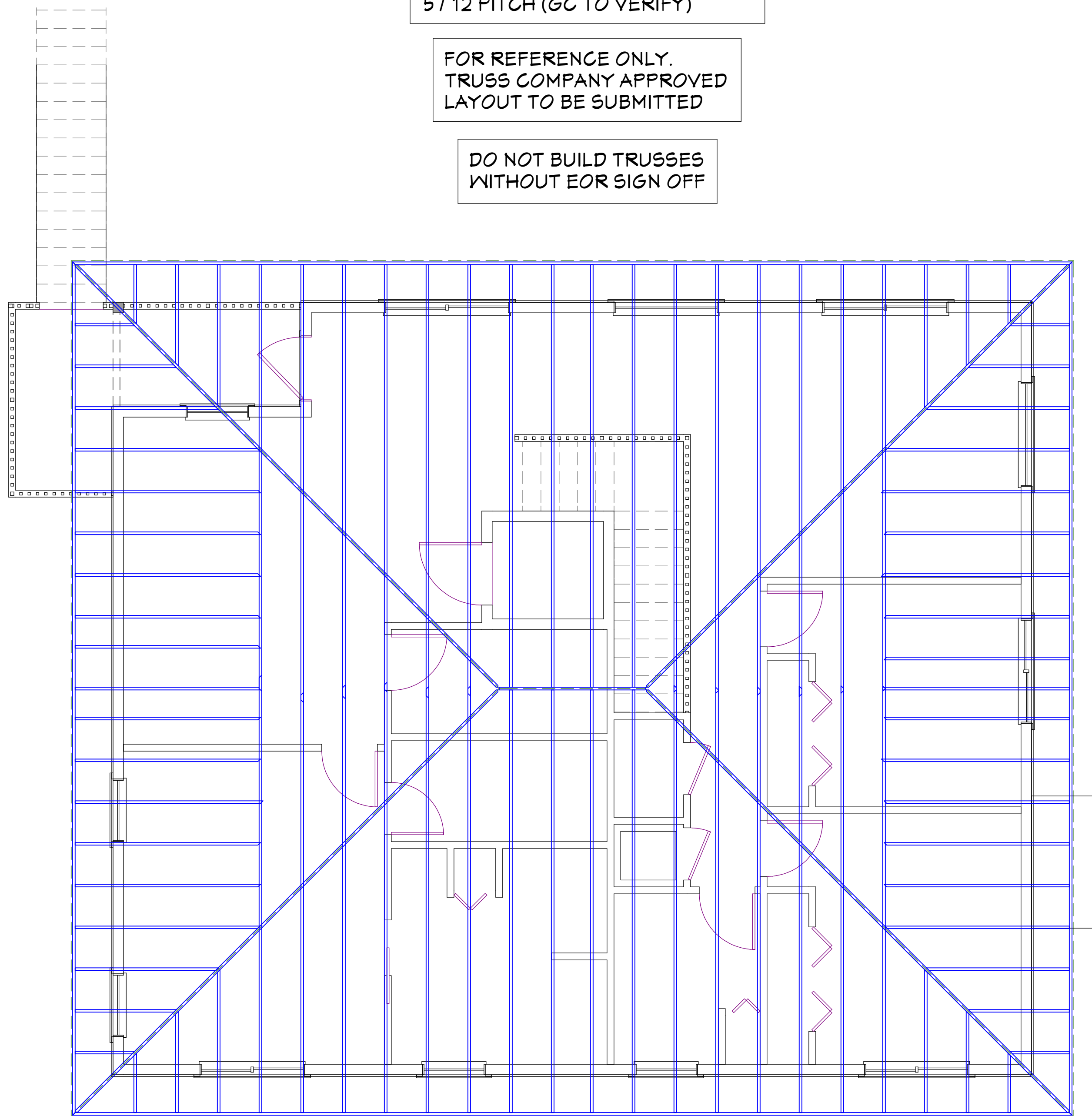
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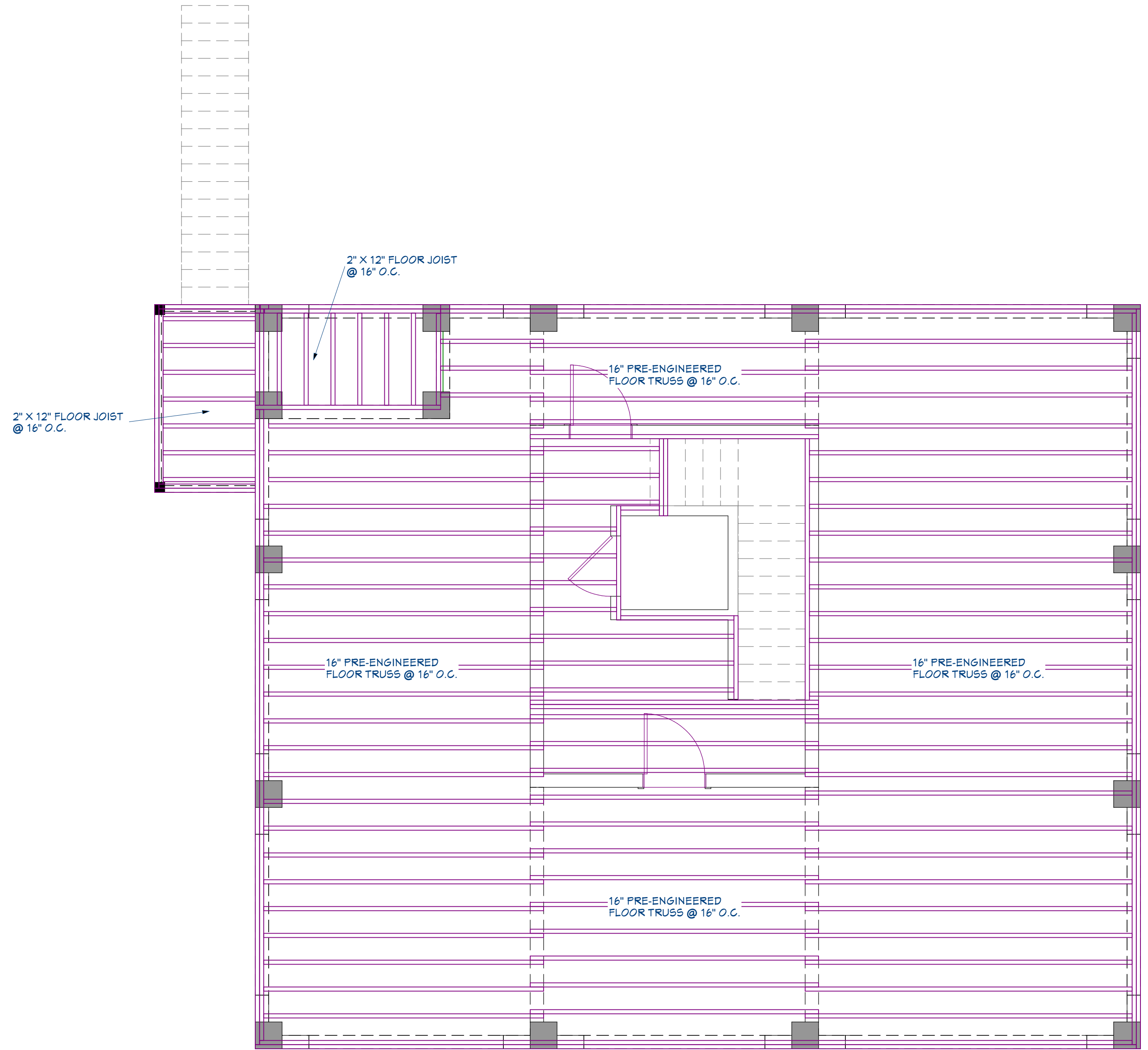
PRE-ENGINEERED TRUSSES
@ 24" O.C.
24" OVERHANGS (GC TO VERIFY)
5 / 12 PITCH (GC TO VERIFY)

FOR REFERENCE ONLY.
TRUSS COMPANY APPROVED
LAYOUT TO BE SUBMITTED

DO NOT BUILD TRUSSES
WITHOUT EOR SIGN OFF



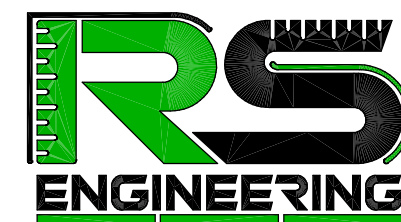
ROOF FRAMING PLAN VIEW (2nd FLOOR)
SCALE: 1/4" = 1'



FLOOR FRAMING PLAN VIEW (1st FLOOR)
SCALE: 1/4" = 1'

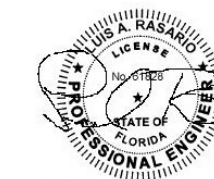
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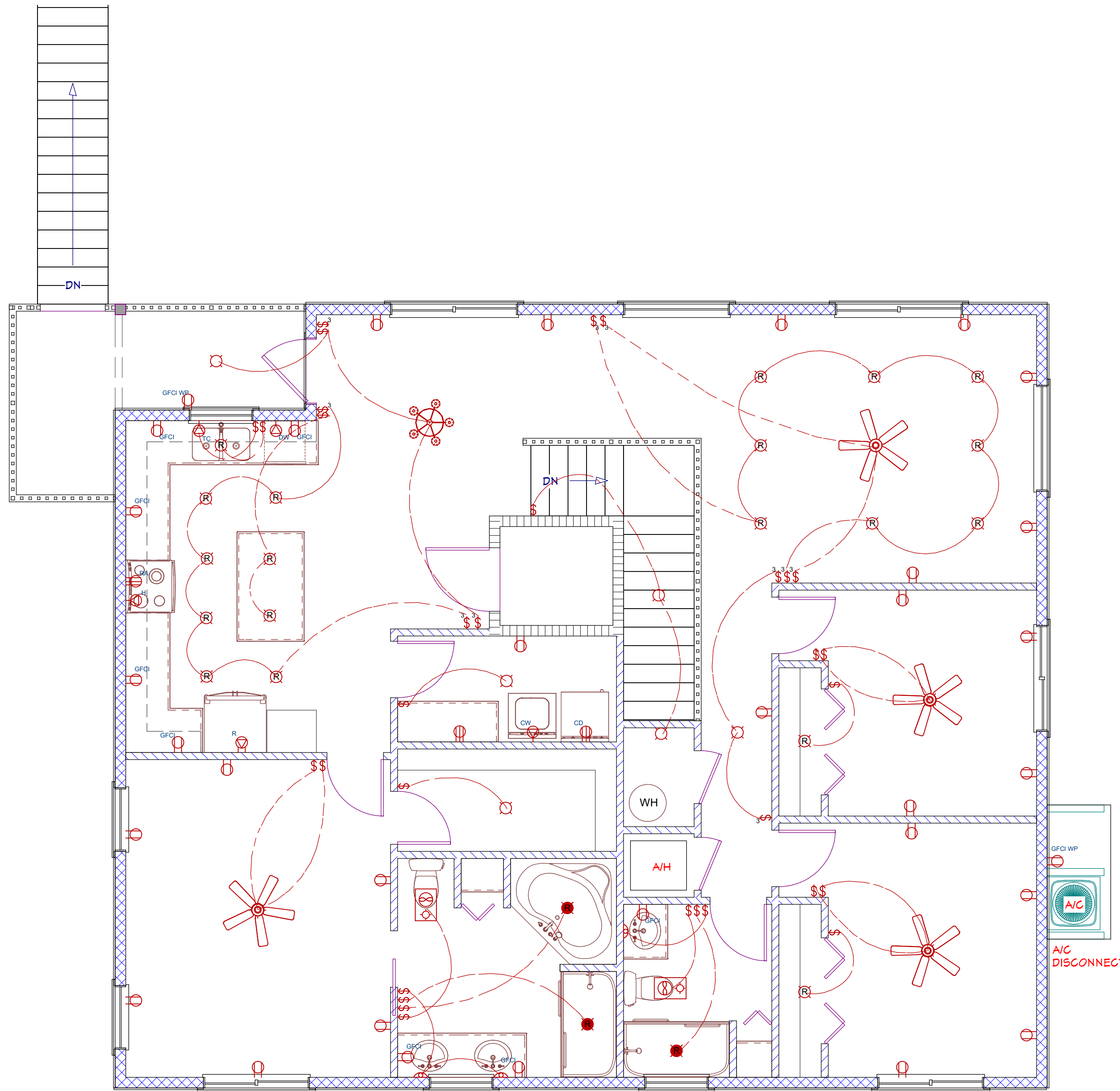
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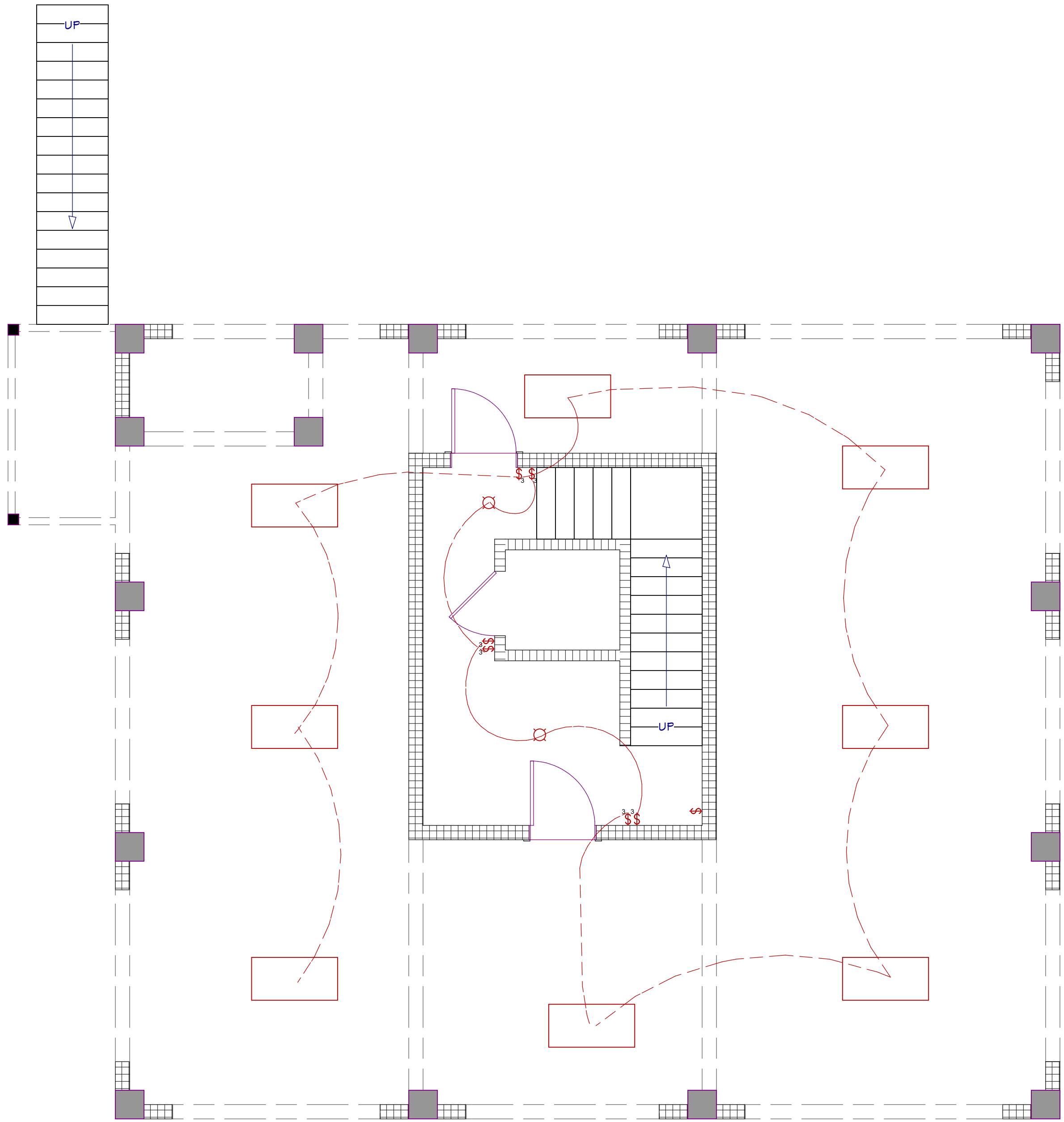
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN W/ LIGHT
	RECESSED FLUORESCENT LIGHT FIXTURE
	RECESSED (CAN) LIGHT FIXTURE
	CEILING LIGHT FIXTURE
	EMERGENCY LIGHT
	EXIT SIGN
	WALL LIGHT FIXTURE
	ELECTRICAL PANEL
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	THREE GANG SWITCH
	110V DUPLEX RECEPTACLE
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLEX RECEPTACLE WEATHERPROOF COVER
	110V FLOOR MOUNTED DUPLEX RECEPTACLE
	220V RECEPTACLE
	220V FLOOR MOUNTED RECEPTACLE
	TELEPHONE JACKS
	SMOKE DETECTOR
	CO DETECTOR
	INTER-CONNECTED CO / SMOKE DETECTOR
	EXHAUST FAN
	INTER-CONNECTED EXHAUST FAN AND LIGHT



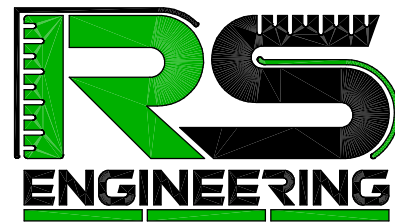
ELECTRICAL PLAN VIEW (2nd FLOOR)
SCALE: 1/4" = 1'



ELECTRICAL PLAN VIEW (1st FLOOR)
SCALE: 1/4" = 1'

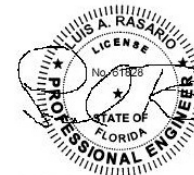
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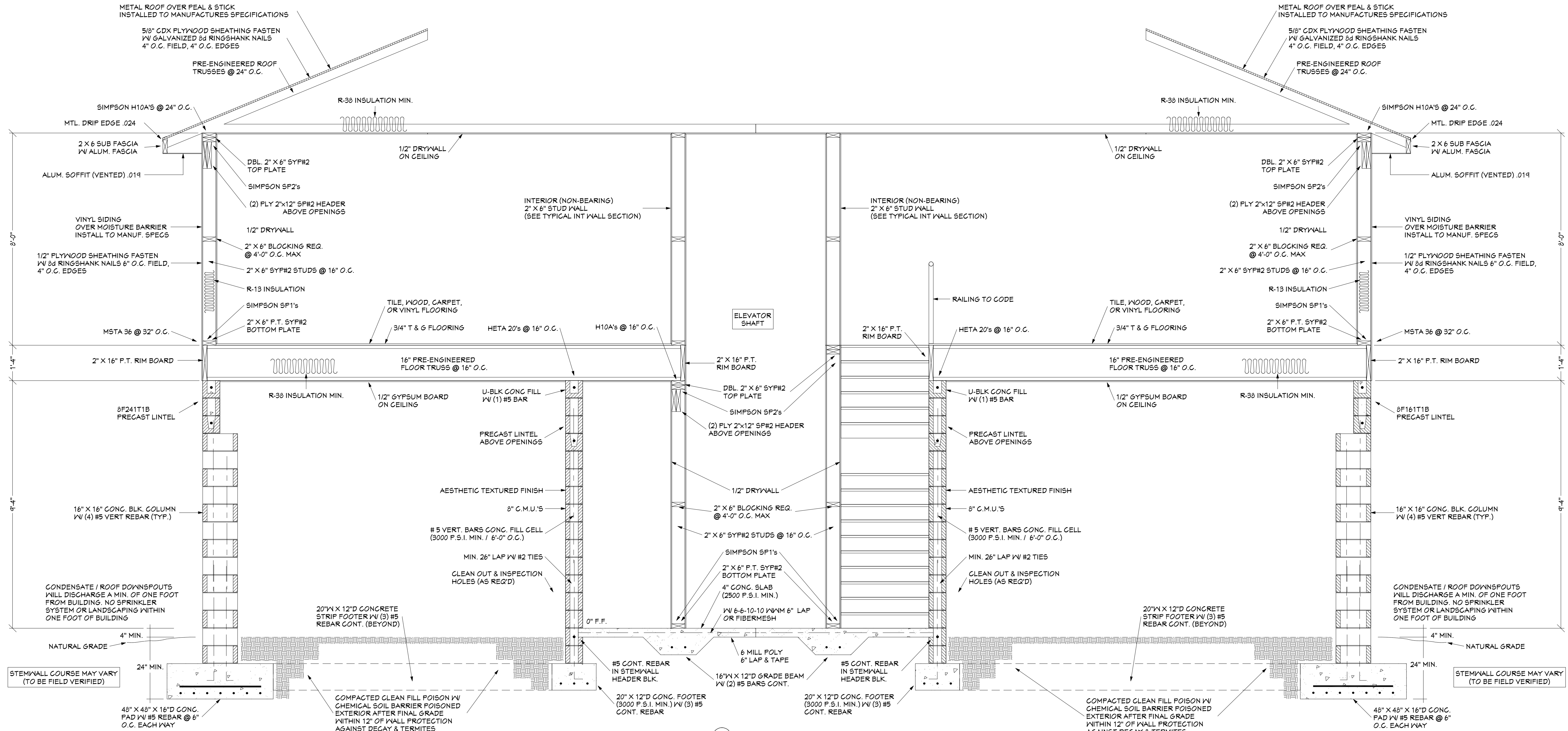
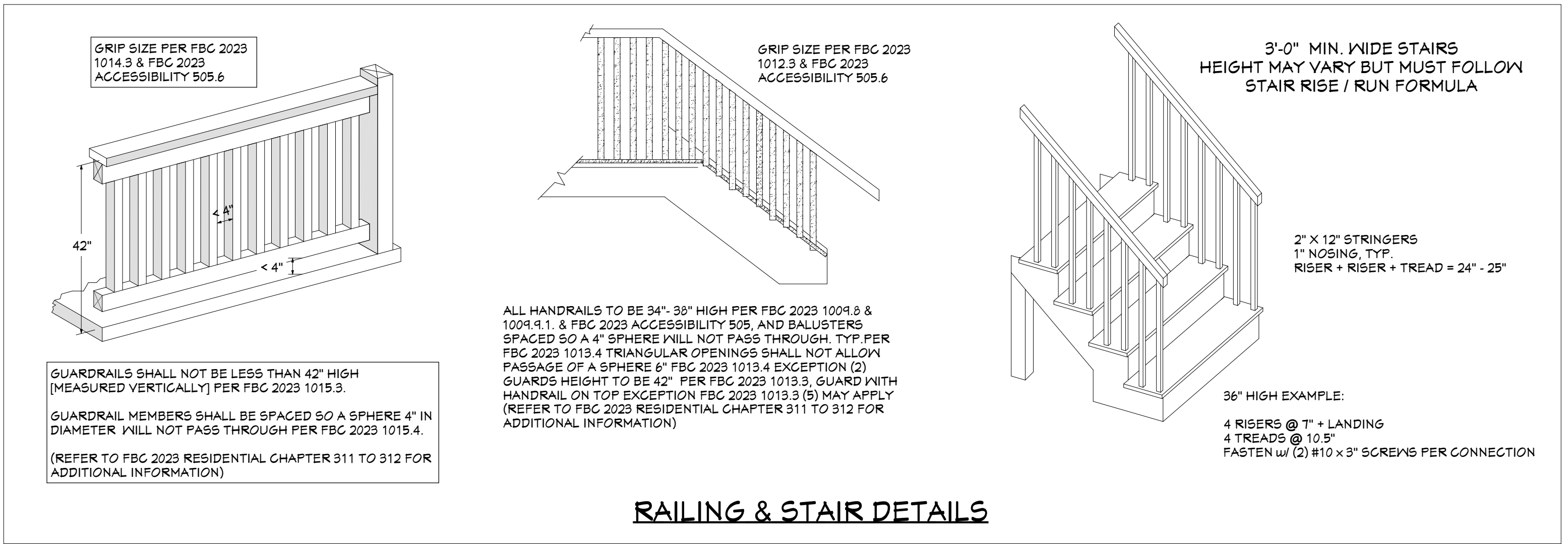
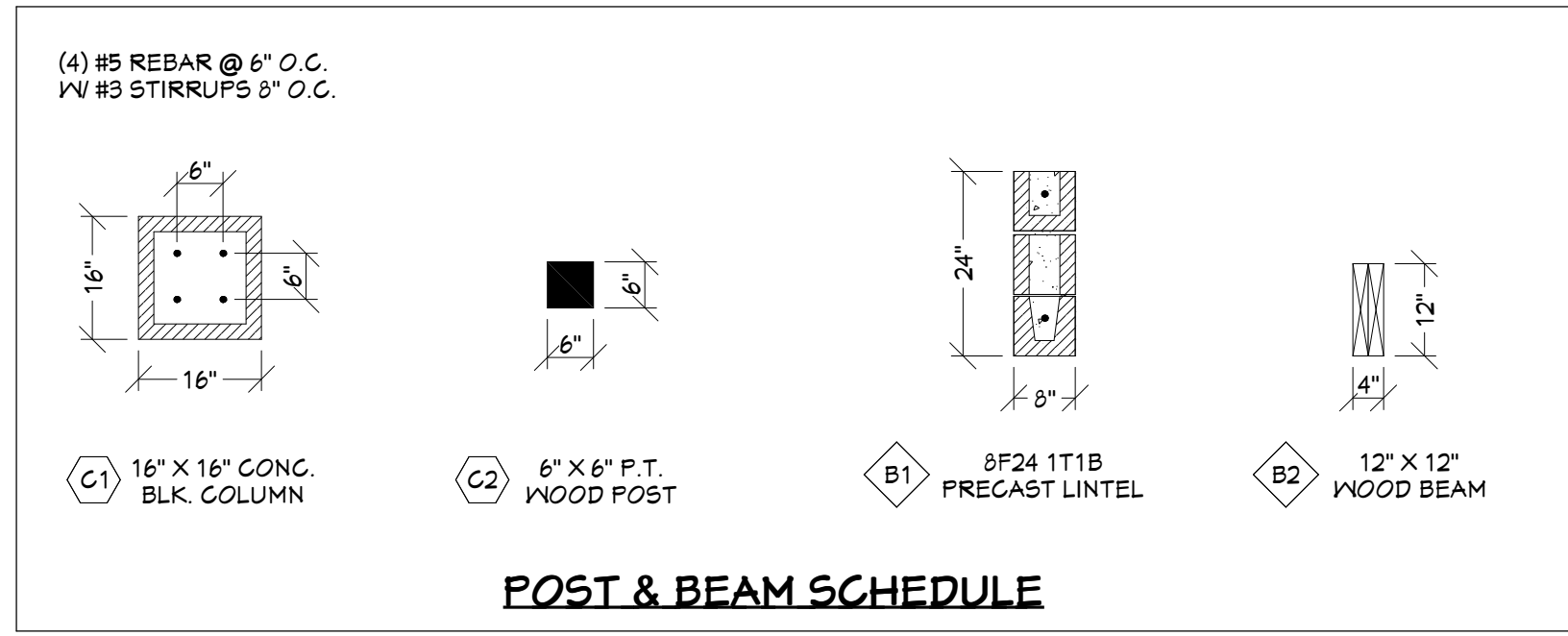
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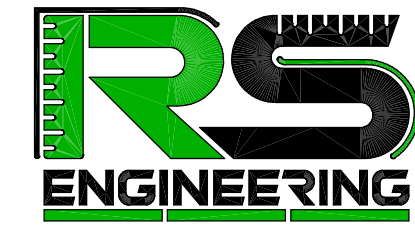
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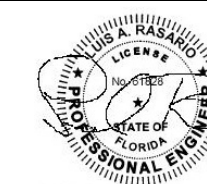
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New House Plan For:

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-  **INTERIOR ZONES**
ROOF - ZONE 1 / WALL - ZONE 4
 -  **END ZONES**
ROOF - ZONE 2 / WALL - ZONE 5
 -  **CORNER ZONES**
ROOF - ZONE 3

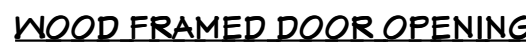
- ROOF & WALL SHEATHING TO BE WOOD STRUCTURAL PANEL 15/32" OR GREATER (PLYWOOD OR EQUAL OSB) U.N.O.
- ENGINEERED ROOF TRUSSES @ 24" O.C. MAXIMUM
- ALL GABLE ENDS TO BE NAILED 4" O.C. @ ALL EDGES, BLOCKING, SUPPORT, FIELD, ETC.

ZONE 1 = 6" O.C. MAX INTERMEDIATE, 6" O.C. MAX PANEL EDGES
ZONE 2 = 6" O.C. INTERMEDIATE AND 4" O.C. PANEL EDGES
ZONE 3 = 4" O.C. INTERMEDIATE AND EDGES
ZONE 4 = 8" O.C. MAX INTERMEDIATE, 6" O.C. MAX PANEL EDGES
ZONE 5 = 6" O.C. INTERMEDIATE AND EDGES

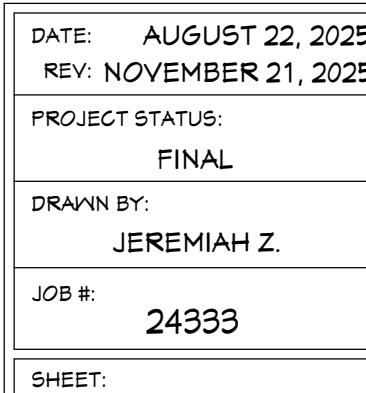
"A" DIMENSION = 40% OF EAVE HEIGHT OR 10% OF LEAST HORIZONTAL DIMENSION, WHICHEVER IS LESS, BUT NOT LESS THAN EITHER 4% OF THE LEAST HORIZONTAL DIMENSION OR 3' MINIMUM

"Design Wind Pressures (asd) for Component & Cladding (PSF)										
Tributary Area [sf]	Wind speed (mph) 150				Exposure Category Exp D		Building height in feet 15			
	Roof						Walls, Windows & Doors			
	Zone 1		Zone 2		Zone 3		Zone 4		Zone 5	
	POS	NEG	POS	NEG	POS	NEG	POS	NEG	POS	NEG
	10	20.57	-32.68	20.57	-56.88	20.57	-84.12	35.70	-38.73	35.70
20	18.85	-31.81	18.85	-52.56	18.85	-78.93	33.00	-36.00	33.00	-42.34
50	16.25	-30.52	16.25	-46.08	16.25	-71.15	29.39	-32.38	29.39	-35.11
100	16.00	-29.65	16.00	-41.76	16.00	-65.96	26.63	-29.65	26.63	-29.65

Tributary Area [sf]	Garage Door Pressures				Roof Overhang Pressures			
	POS/NEG				Zone 1&2		Zone 3	
					NEG		NEG	
10					-72.01		-117.40	
20					-72.01		-107.02	
50	24.85	-28.12			-72.01		-91.46	
100	23.80	-26.48			-72.01		-81.09	

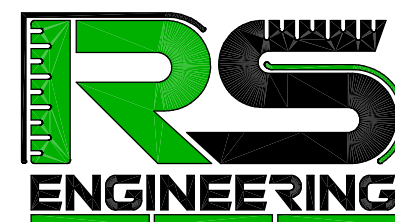


OPENING FRAMING DETAIL



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920 PALM AVENUE, ELLENTON, FL 34222
PH: 941-417-2034 E-MAIL: PED@PEDFL.COM
LUIS A. ROSARIO, P.E. FL# 61828



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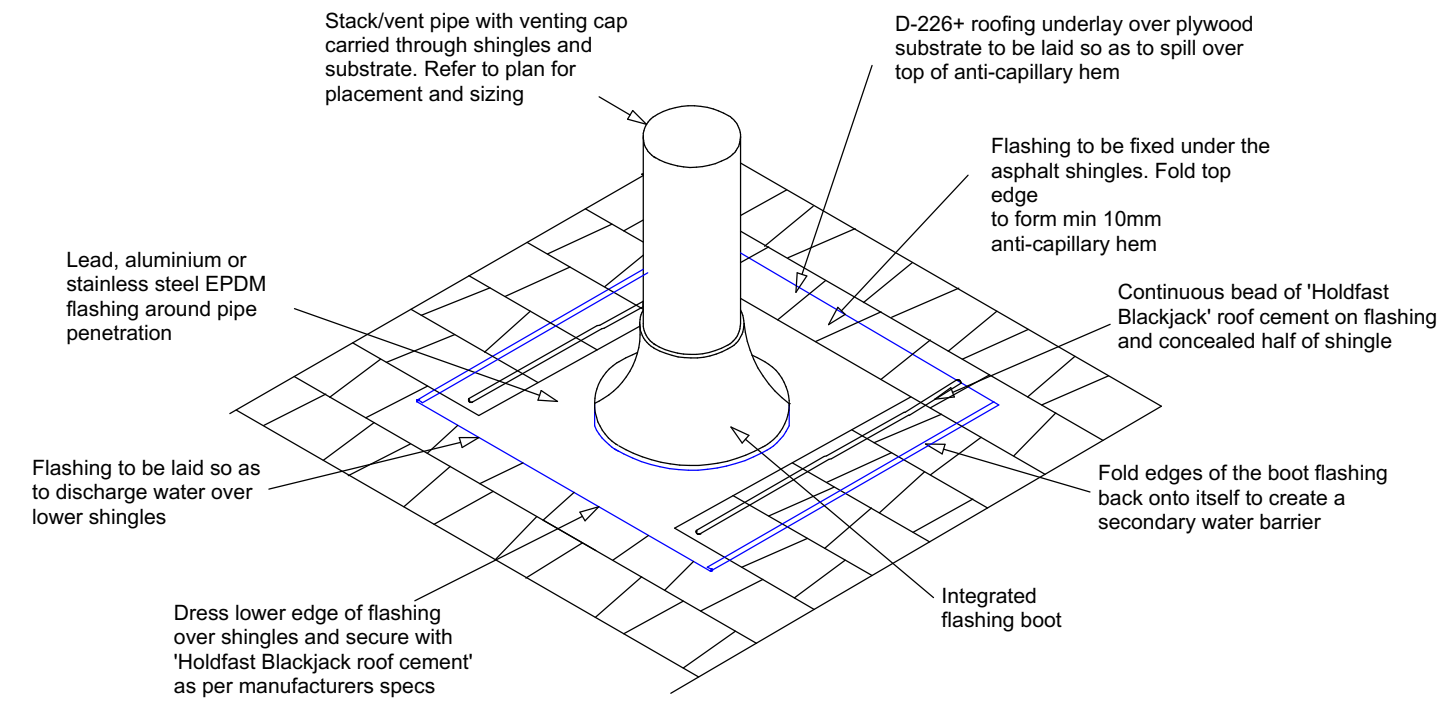
SEAL

New House Plan For:

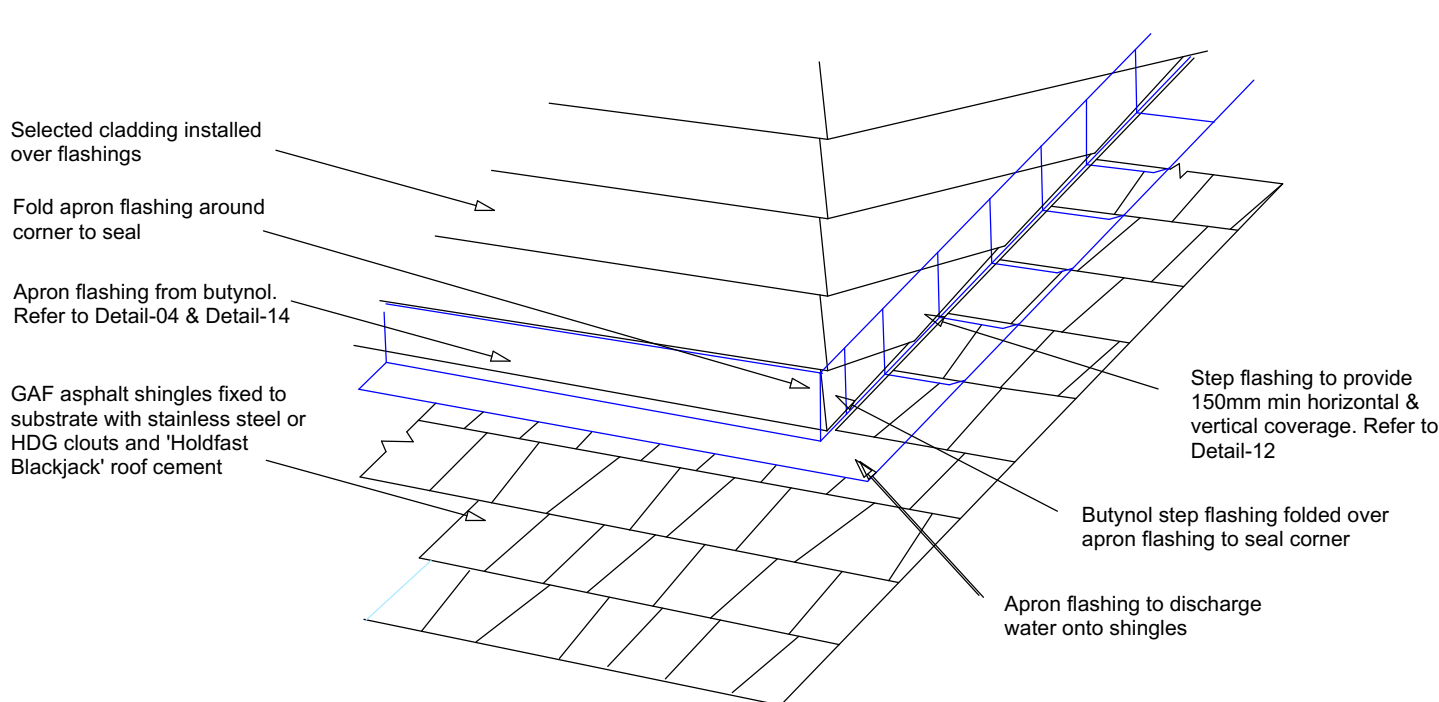
KAGI RESIDENCE

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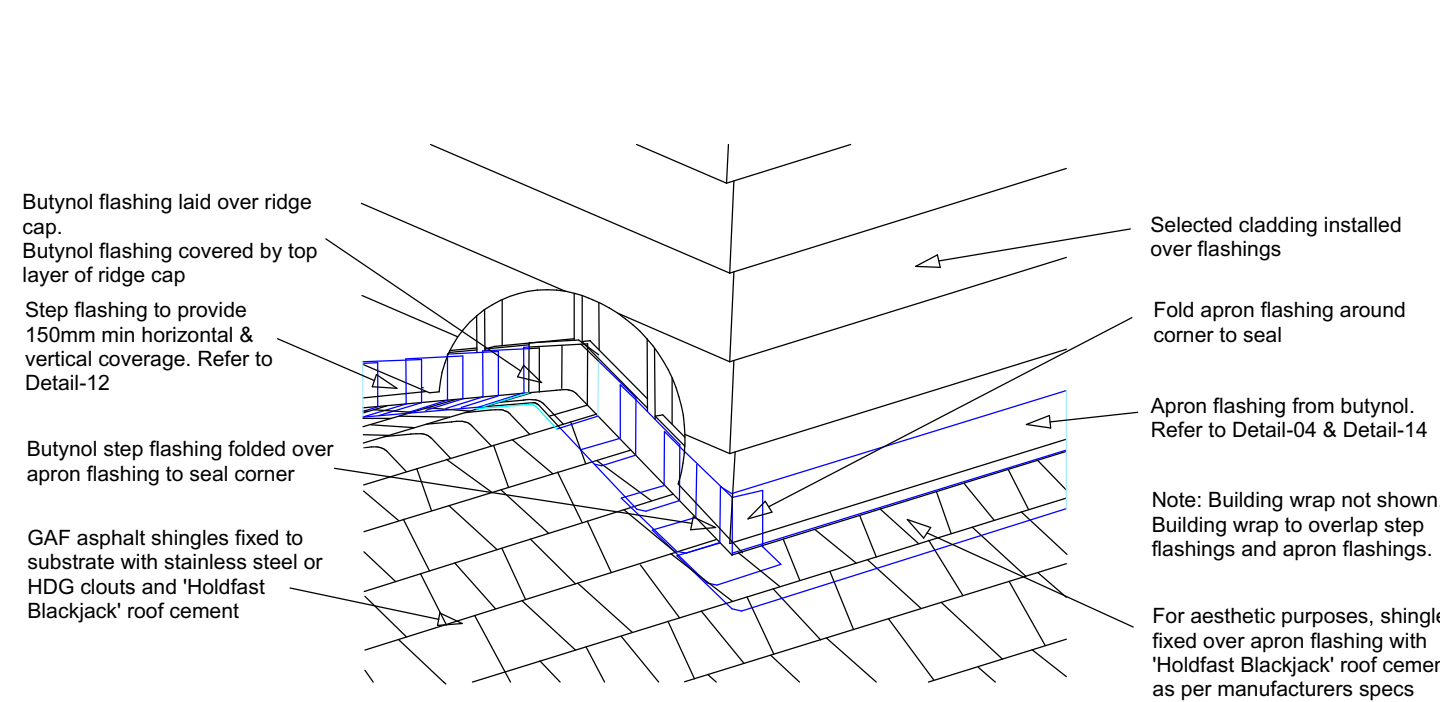
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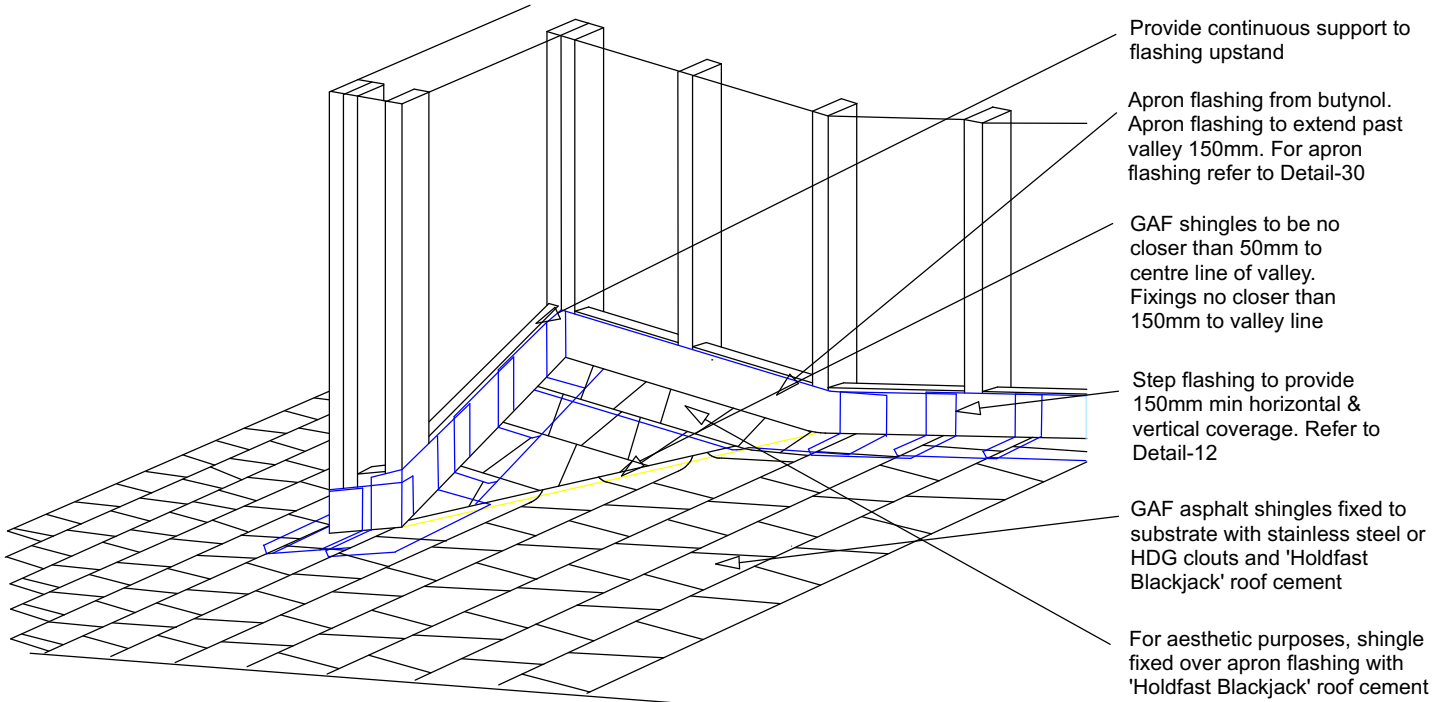
GAF Asphalt Shingles
Pipe penetration (NTS)



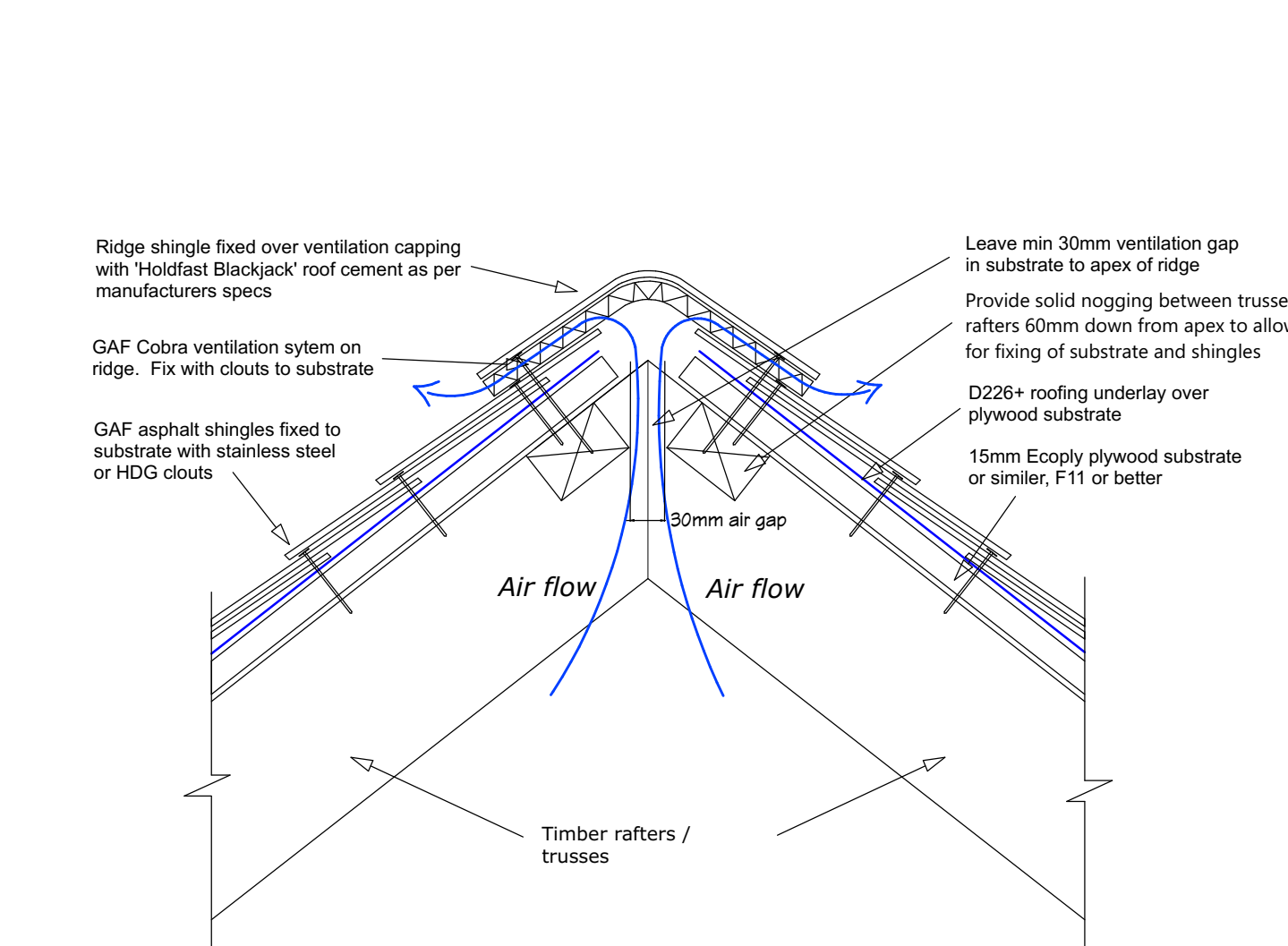
GAF Asphalt Shingles
Roof to wall flashings (NTS)



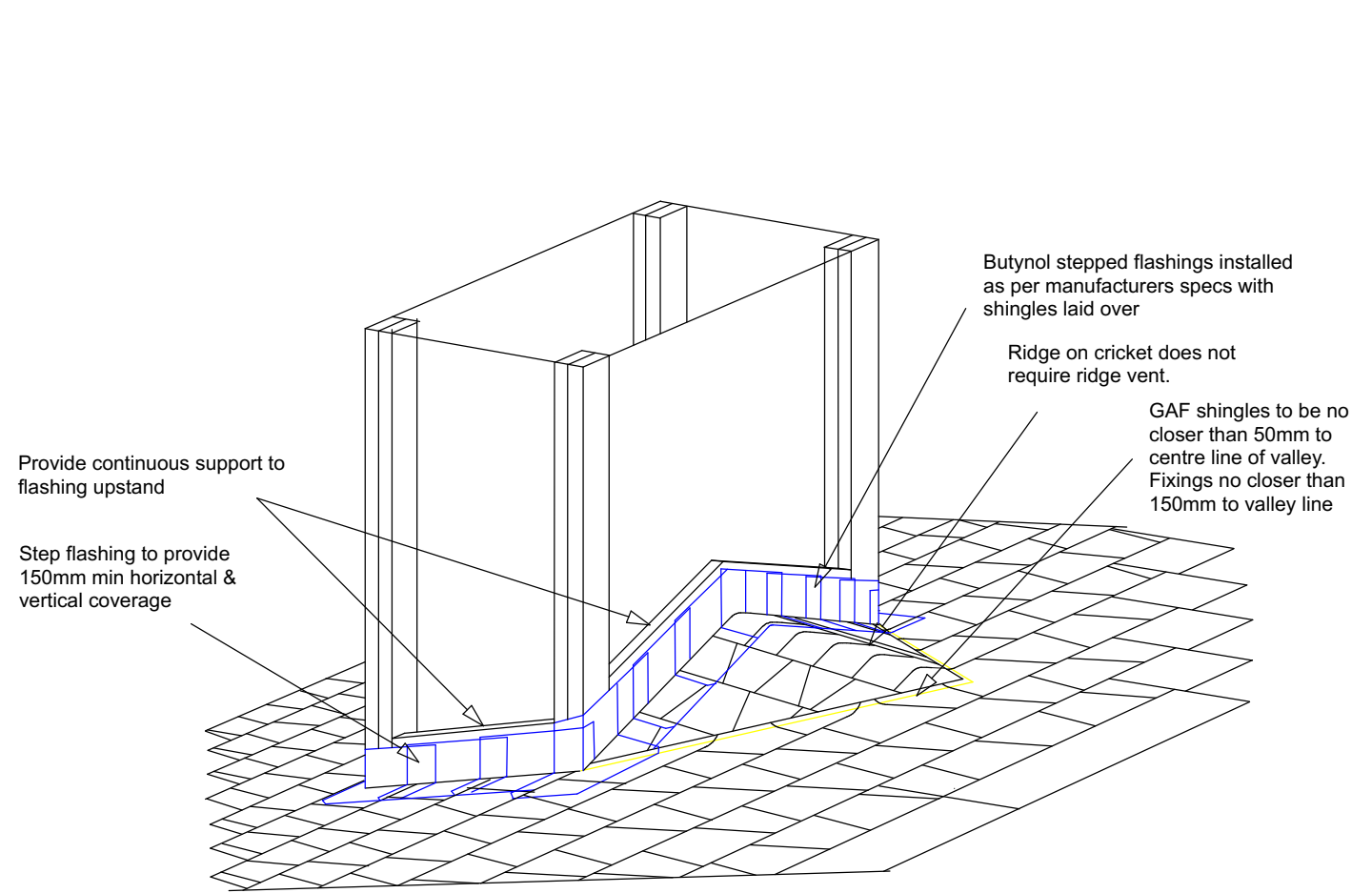
GAF Asphalt Shingles
Ridge to wall (NTS)



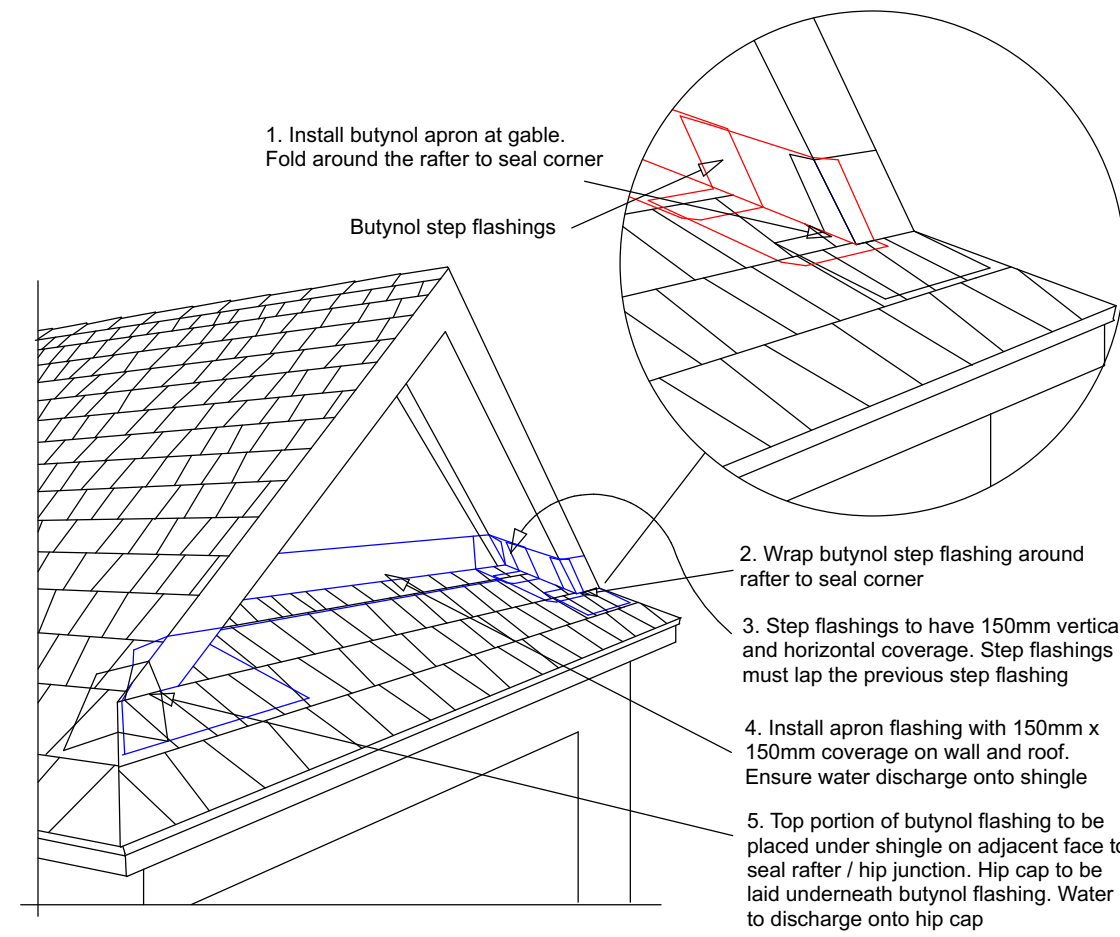
GAF Asphalt Shingles
Internal vally / cricket (NTS)



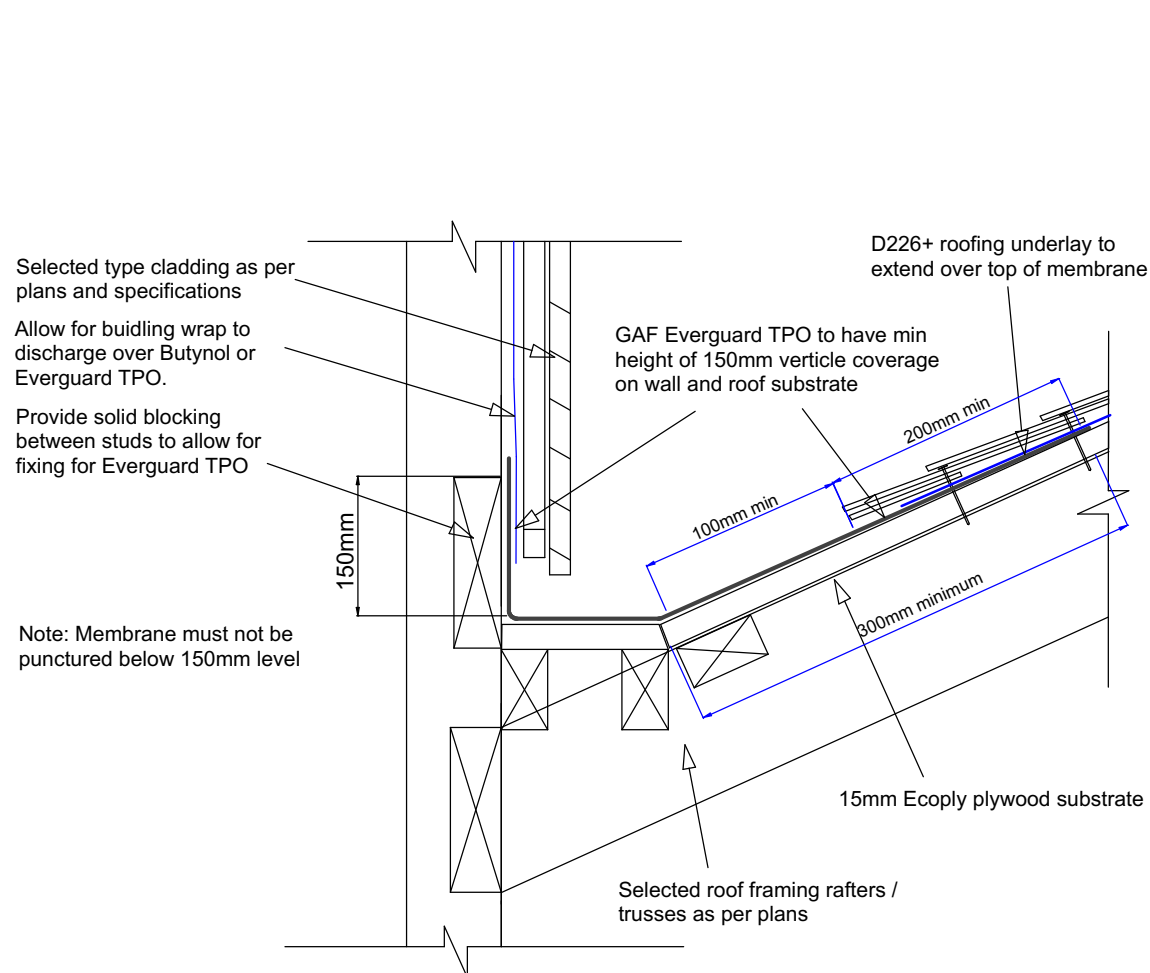
GAF Asphalt Shingles
Ridge cladding (NTS)



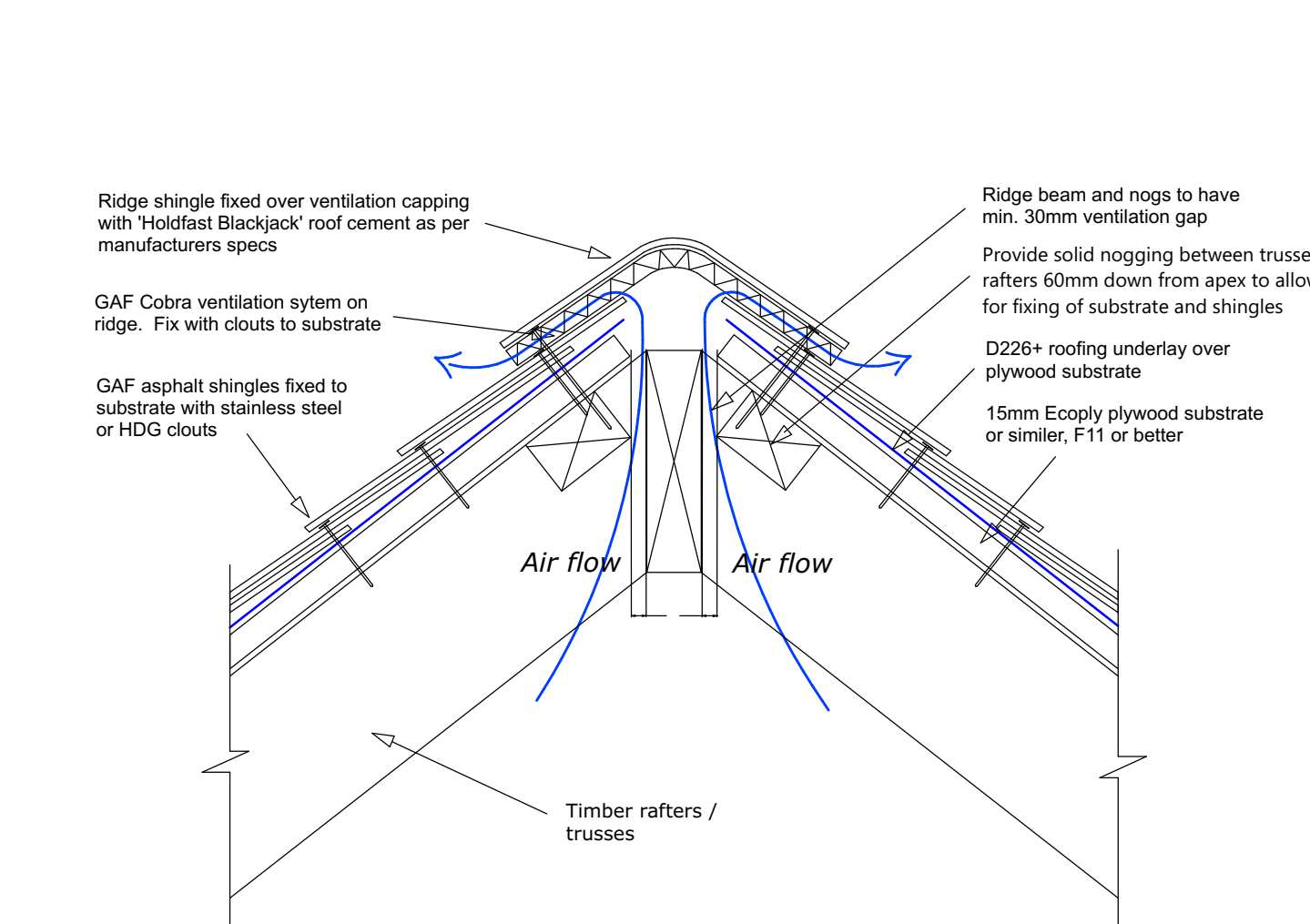
GAF Asphalt Shingles
Chimney cricket (NTS)



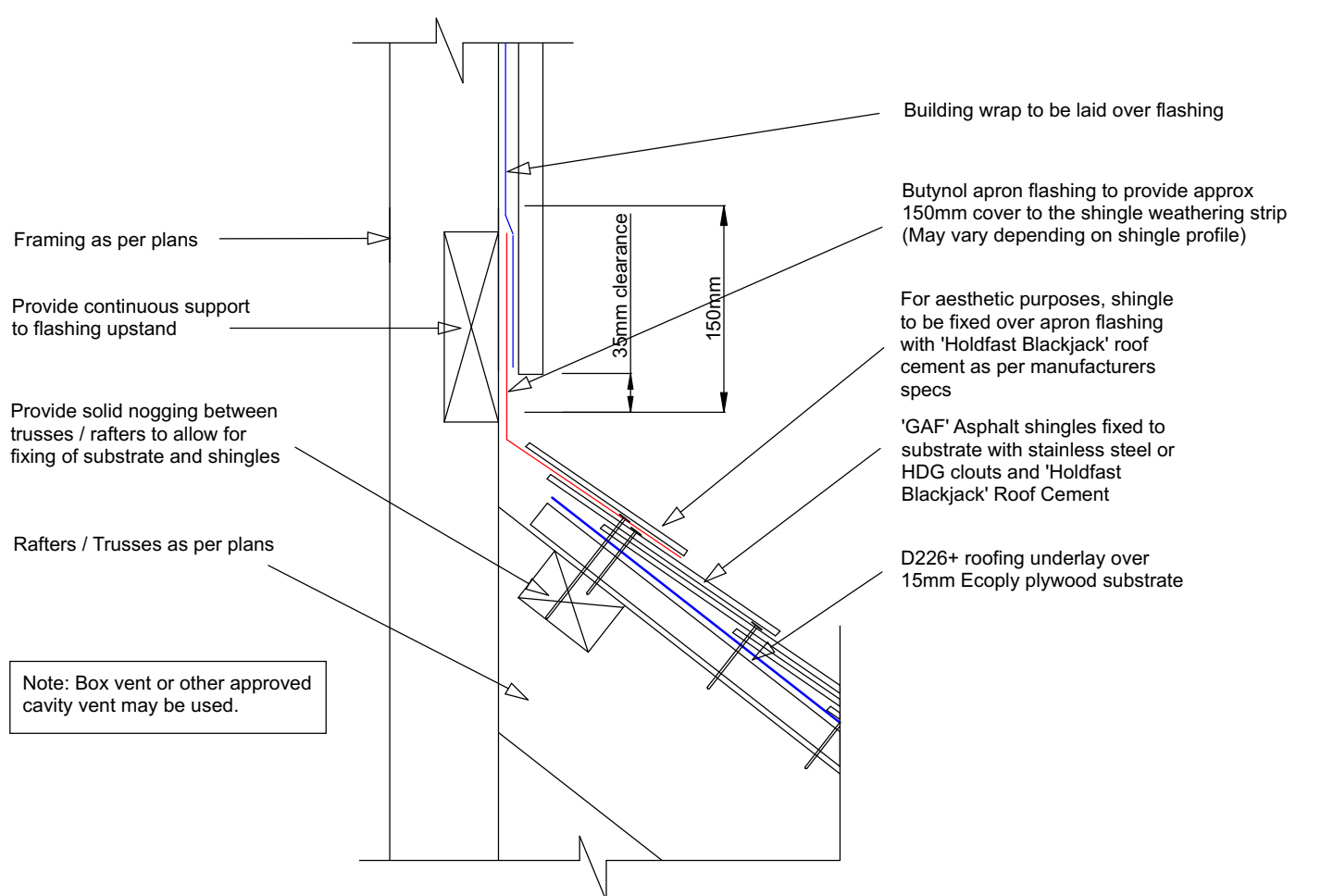
GAF Asphalt Shingles
Dutch gable (NTS)



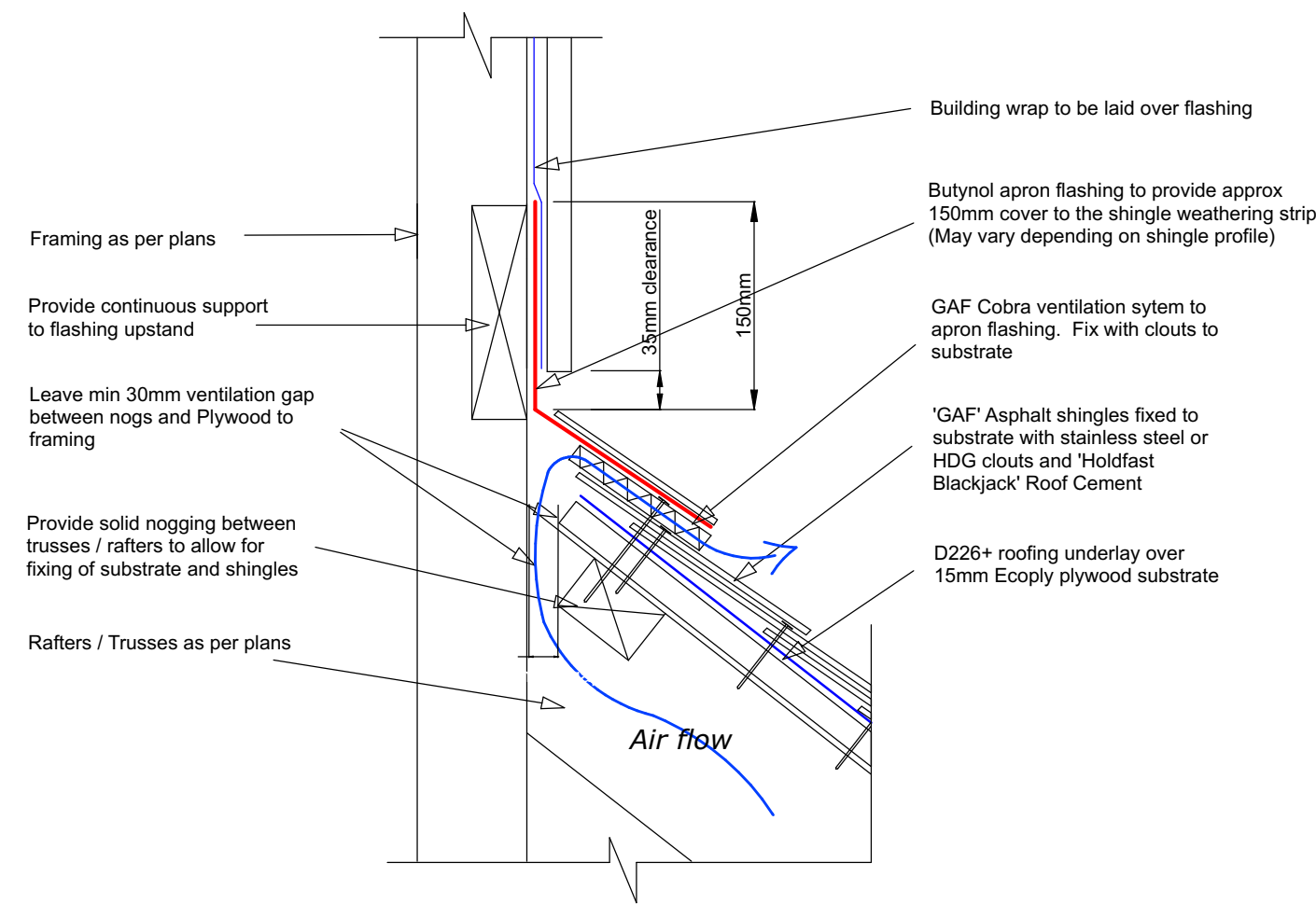
GAF Asphalt Shingles
Slope to wall (NTS)



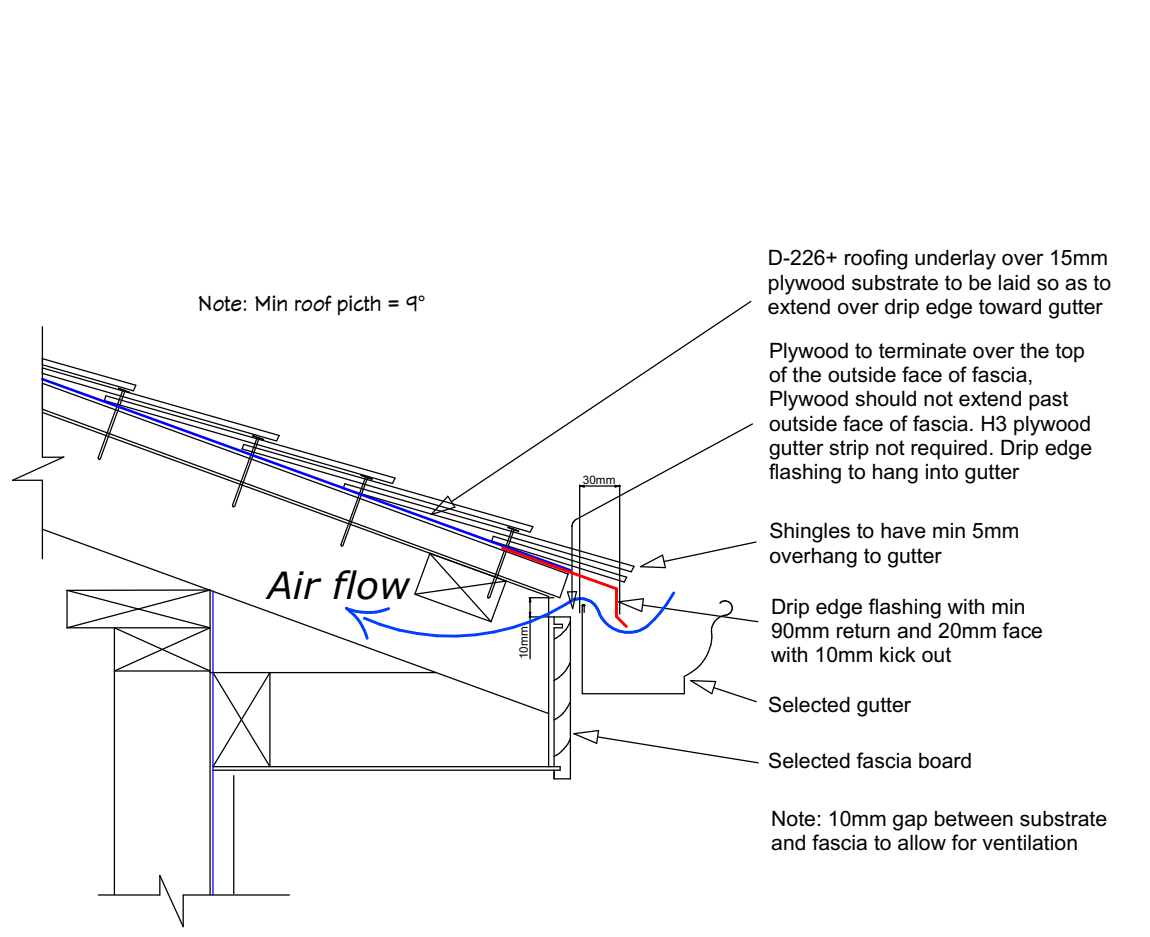
GAF Asphalt Shingles
Ridge beam cladding (NTS)



GAF Asphalt Shingles
Apron Flashing - Transverse (NTS)



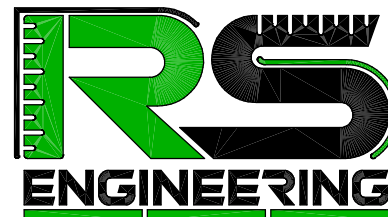
GAF Asphalt Shingles
Apron flashing
vented- transverse (NTS)



GAF Asphalt Shingles
Eave Detail (NTS)

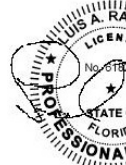
GAF FLASHING DETAILS

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DATE:	AUGUST 22, 2025
REV:	NOVEMBER 21, 2025
PROJECT STATUS:	FINAL
DRAWN BY:	JEREMIAH Z.
JOB #:	24333
SHEET:	9 of 9