

# ELEVATION CERTIFICATE

## FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No 3067-0077  
Expires May 31, 1993

**ATTENTION:** Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR).  
**Instructions for completing this form can be found on the following pages.**

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME <b>YALE PROPERTIES - L'AMBIANCE, A FLORIDA GENERAL PARTNERSHIP</b>		POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER <b>415 Longboat Club Road <u>415 L'ambiance Dr.</u></b>		COMPANY NAIC NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.) <b>Parcel B, Unit No. 6, Longboat Key Club Subdivision - Southerly Building</b>		
CITY <b>Longboat Key</b>	STATE <b>FL</b>	ZIP CODE <b>34228</b>

### SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
125126	0010	B	August 15, 1983	V 17	13

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE):  NGVD '29  Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: \_\_\_\_\_ feet NGVD (or other FIRM datum—see Section B, Item 7).

### SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 7.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of \_\_\_\_\_ feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of 6.1 feet NGVD (or other FIRM datum—see Section B, Item 7).  
*SEE COMMENTS*
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is \_\_\_\_\_ feet above  or below  (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is \_\_\_\_\_ feet above  or below  (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations:  NGVD '29  Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM:  Yes  No (See Instructions on Page 4)
5. The reference level elevation is based on:  actual construction  construction drawings  
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: 6.2\* feet NGVD (or other FIRM datum—see Section B, Item 7).

### SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: \_\_\_\_\_ feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement \_\_\_\_\_

**SECTION E CERTIFICATION**

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

Reference level diagrams 6, 7 and 8 - Distinguishing Features—If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

*I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available.  
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

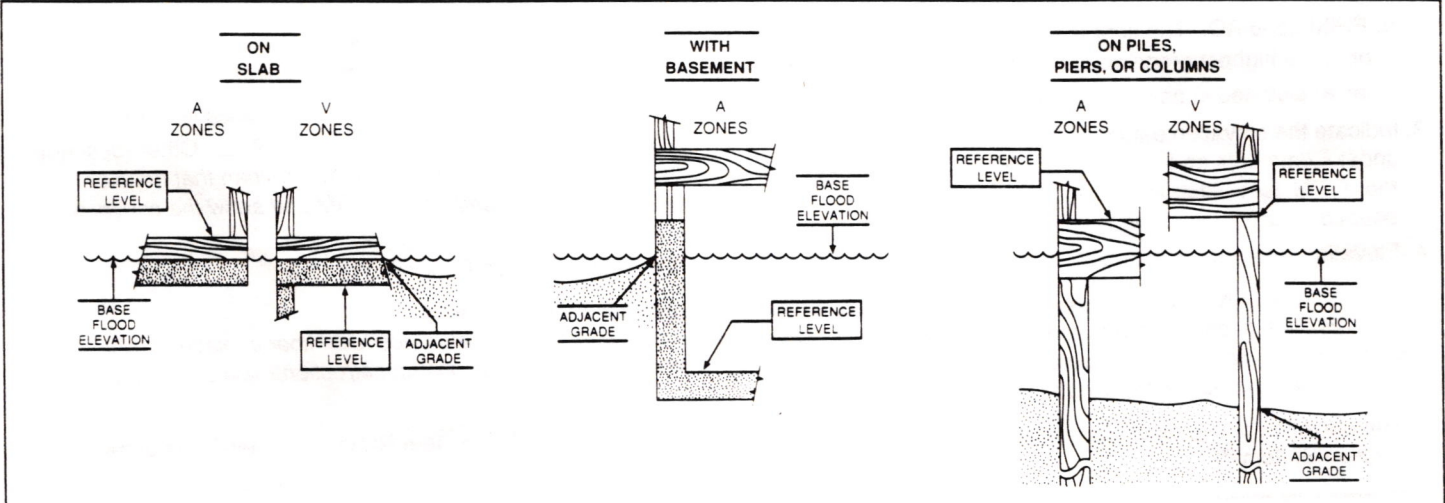
CERTIFIER'S NAME <b>John R. Gargis</b>		LICENSE NUMBER (or Affix Seal)	
TITLE <b>Project Surveyor</b>	COMPANY NAME <b>Smally, Wellford &amp; Nalven</b> <b>A Division of Wilson, Miller, Barton &amp; Peek, Inc.</b>		
ADDRESS <b>133 South McIntosh Road</b>	CITY <b>Sarasota</b>	STATE <b>FL</b>	ZIP <b>34232</b>
SIGNATURE <i>John R. Gargis</i>	DATE <b>November 18, 1992</b>	PHONE <b>813/371-3690</b>	

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

**COMMENTS:** Elevations are NGVD 29 based on tidal bench mark established by William F. Bishop & Associates, Inc. on survey dated July 28, 1988.

\*Final grading is not complete and elevation of lowest grade is per elevations taken on May 15, 1992. Top of "Grade Slab" is 7.0' and bottom of lowest structural member of "1st Floor" is 15.3'.

Breakaway walls confirmed by structural engineer per his letter to the certifier dated October 30, 1992, attached hereto for reference.



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones.  
Elevations for all A Zones should be measured at the top of the reference level floor.  
Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

415 L'ambiance Drive

V-ZONE CONSTRUCTION CERTIFICATE

Name L'Ambiance, A Condominium (south bldg. Policy No. 2)  
Street Address 415 Longboat Club Road, Town of Longboat Key, Florida  
Other Description Southerly Main Building, Parcel B, Unit No 6 Longboat Key Club  
City Longboat Key Subdivision, Plat Book, 32, Pages 30/30A, Sarasota County, Florida  
State FL Zip Code 34228

Section I - Flood Insurance Rate Map Information

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (on AD Zone, see sheet)	COMMUNITY ESTIMATED BASE FLOOD ELEVATION ESTABLISHED FOR ZONE A OR ZONE V, IF AVAILABLE
125126	0010	B	5-18-92	V17	13	n/a

Section II - Elevation Information

- Bottom of the Lowest Horizontal Structural Member..... 6.1\* ft.
- Base Flood Elevation..... 13 ft.
- Elevation of Highest Adjacent Grade..... 18.7 ft.
- Elevation of Lowest Adjacent Grade..... 6.7 ft.
- Elevation of Bottom of Pilings on Foundation..... -39.7 ft.

SECTION III - V Zone Certification Statement

\* This is the bottom of the garage floor slab. The bottom of the support beams for the first floor is 15.3".

[ NOTE: This section must be completed by a registered engineer or architect. ]

I certify that based upon development and/or review of structural design, specifications, and plans for construction including consideration of the hydrostatic, hydrodynamic and impact loading involved, that the design and methods of construction are in accordance with accepted standards of practice for meeting the following provisions:

- The bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated to or above the base flood elevation;
- The pile or column foundation and structure attached thereto is anchored to resist flotation, collapse and lateral movement due to the effects of wind and water loads acting simultaneously on all building components.

SECTION IV - Breakaway Wall Certification Statement

[ NOTE: This section must be completed by a registered engineer or architect when breakaway walls are used which exceed a design safe loading resistance of 20 pounds per square foot. ]

I certify that based upon development and/or review of structural design, specifications, and plans for construction that the design and methods of construction of the breakaway walls are in accordance with accepted standards of practice for meeting the following provisions:

- Breakaway collapse shall result from a water load less than that which would occur during the base flood;
- The elevated portion of the building and supporting foundation system shall not be subject to collapse, displacement, or other structural damage due to the effects of wind and water loads acting simultaneously on all building components;
- The space below the lowest floor is useable solely for parking of vehicles, building access and storage.

SECTION V - Certification

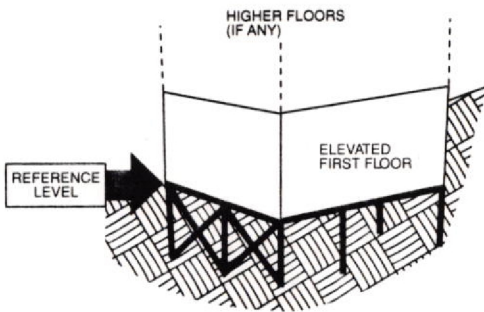
Check one: Section III \_\_\_\_\_, Section IV \_\_\_\_\_, Sections III and IV X  
Certifier's Name Richard D. Wilson  
Title Managing Principal License No. 37784  
Company Name Jenkins & Charland, Inc.  
Street Address 1800 Second Street, Suite 757  
City Sarasota State FL Zip 34236  
Signature Richard D. Wilson Telephone 813/952-1717

Note: In all A Zones, the reference level is the top of the lowest floor; in V Zones the reference level is the bottom of the lowest horizontal structural member (see diagram on page 2). Agents should refer to the Flood Insurance Manual for instruction on lowest floor definition.

### DIAGRAM NUMBER 5

ALL BUILDINGS, INCLUDING MANUFACTURED (MOBILE) HOMES ELEVATED ON PIERS, POSTS, COLUMNS, SHEAR WALLS, WITH OR WITHOUT PARKING AREA BELOW ELEVATED FLOOR.

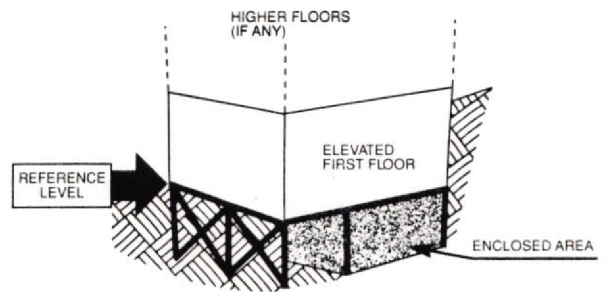
**Distinguishing Feature** - For all zones, the area below the elevated floor is open, with no obstruction to the flow of flood waters (open wood lattice work or readily removable insect screening is permissible).



### DIAGRAM NUMBER 6

ALL BUILDINGS, INCLUDING MANUFACTURED (MOBILE) HOMES ELEVATED ON PIERS, POSTS, COLUMNS, SHEAR WALLS, WITH OR WITHOUT PARKING AREA BELOW ELEVATED FLOOR.

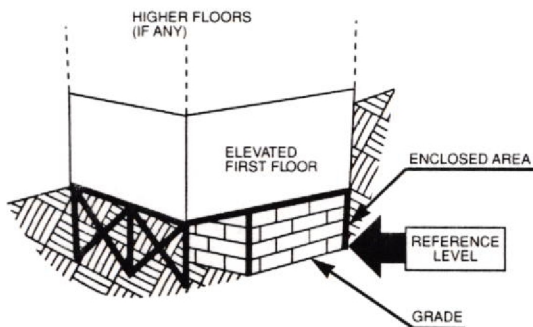
**Distinguishing Feature** - For V Zones only, the area below the elevated floor is enclosed, either partially or fully, by solid breakaway walls.\*\* When enclosed area is greater than 300 square feet or contains equipment servicing the building, use Diagram Number 7; this will result in a higher insurance rate. The enclosed area can be used for parking, building access or limited storage.



### DIAGRAM NUMBER 7

ALL BUILDINGS, INCLUDING MANUFACTURED (MOBILE) HOMES ELEVATED ON PIERS, POSTS, COLUMNS, SHEAR WALLS, SOLID NON-BREAKAWAY WALLS, WITH OR WITHOUT PARKING AREA BELOW ELEVATED FLOOR.

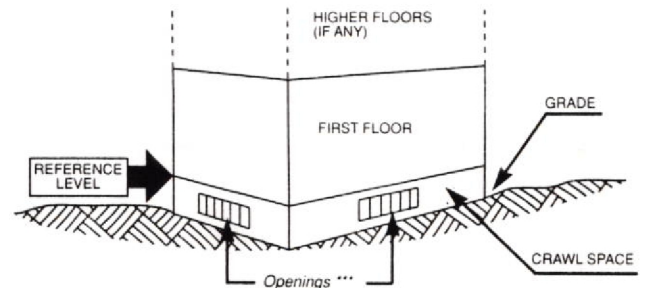
**Distinguishing Feature** - For all zones, the area below the elevated floor is enclosed, either partially or fully, by solid non-breakaway walls, or contains equipment servicing the building. For V Zones only, the area is enclosed, either partially or fully, by solid breakaway walls\*\* having an enclosed area greater than 300 square feet. For A Zones only, with an area enclosed by solid walls having proper openings,\*\*\* and used only for parking, building access, or limited storage, use Diagram Number 8 to determine the reference level.



### DIAGRAM NUMBER 8

ALL BUILDINGS CONSTRUCTED ABOVE AN UNFINISHED SPACE, INCLUDING CRAWL SPACE.

**Distinguishing Feature** - For A Zones only, the area below the first floor is enclosed by solid or partial perimeter walls, is unfinished, and contains no equipment servicing the structure. The area can be used for parking, building access, or limited storage.



- \* Under the National Flood Insurance Program's risk classification and insurance coverage, a floor that is below ground level (grade) on all sides is considered a basement even though the floor is used for living purposes, or as an office, garage, workshop, etc.
- \*\* Solid breakaway walls are walls that are not an integral part of the structural support of a building and are intended through their design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation. An area so enclosed is not secure against forceable entry.
- \*\*\* If the area below the lowest floor is fully enclosed, then a minimum of two openings are required with a total net area of at least one square inch for every square foot of area enclosed with the bottom of the openings no more than one foot above grade. Alternatively, certification may be provided by a registered professional engineer or architect that the design will allow equalization of hydrostatic flood forces on exterior walls. If neither of these criteria are met, then the reference level is the lowest grade adjacent to the structure.

October 30, 1992

Mr. John R. Gargis  
Professional Land Surveyor  
c/o Smally, Wellford & Nalven,  
A Division of Wilson, Miller, Barton & Peek, Inc.  
133 South McIntosh Road  
Sarasota, Florida 34232

SUBJECT: Structural Certification for the Southerly Building to the  
Federal Emergency Management Agency, National Insurance  
Program, Elevation Certificate for Proposed L'Ambiance, A  
Condominium located on Parcel B, Unit No. 6, Longboat Key  
Club, Town of Longboat Key, Florida

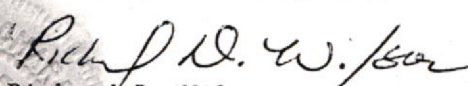
Dear Mr. Gargis:

In accordance with your request we have reviewed our structural design  
for the main southerly building of the above subject condominium.

We wish to certify, under seal, that the walls located on the garage  
level of this building are solid breakaway walls that are not an  
integral part of the structural support of the southerly building  
and are intended through their design and construction to collapse  
under specific lateral loading forces, without causing damage to the  
elevated portion of the building or its supporting foundation.

Very truly yours,

JENKINS & CHARLAND, INC.

  
Richard D. Wilson, P.E.  
Managing Principal

  
RDW/jp  
Professional Engineer, Florida Registration 0037784