

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME Taylor Woodrow Homes	POLICY NUMBER
STREET ADDRESS (including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER 3578 FAIR OAKS WAY	COMPANY NAIC NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.) Lot 94 Manchester Bay	
CITY Longboat Key	STATE Florida
	ZIP CODE 34228

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
125126	0010	B	May 18, 1992	A-13	12

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement 7/22/96

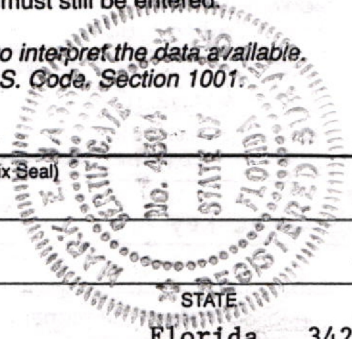
SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1–A30, AE, AH, A (with BFE), V1–V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

Reference level diagrams 6, 7 and 8 - Distinguishing Features—If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

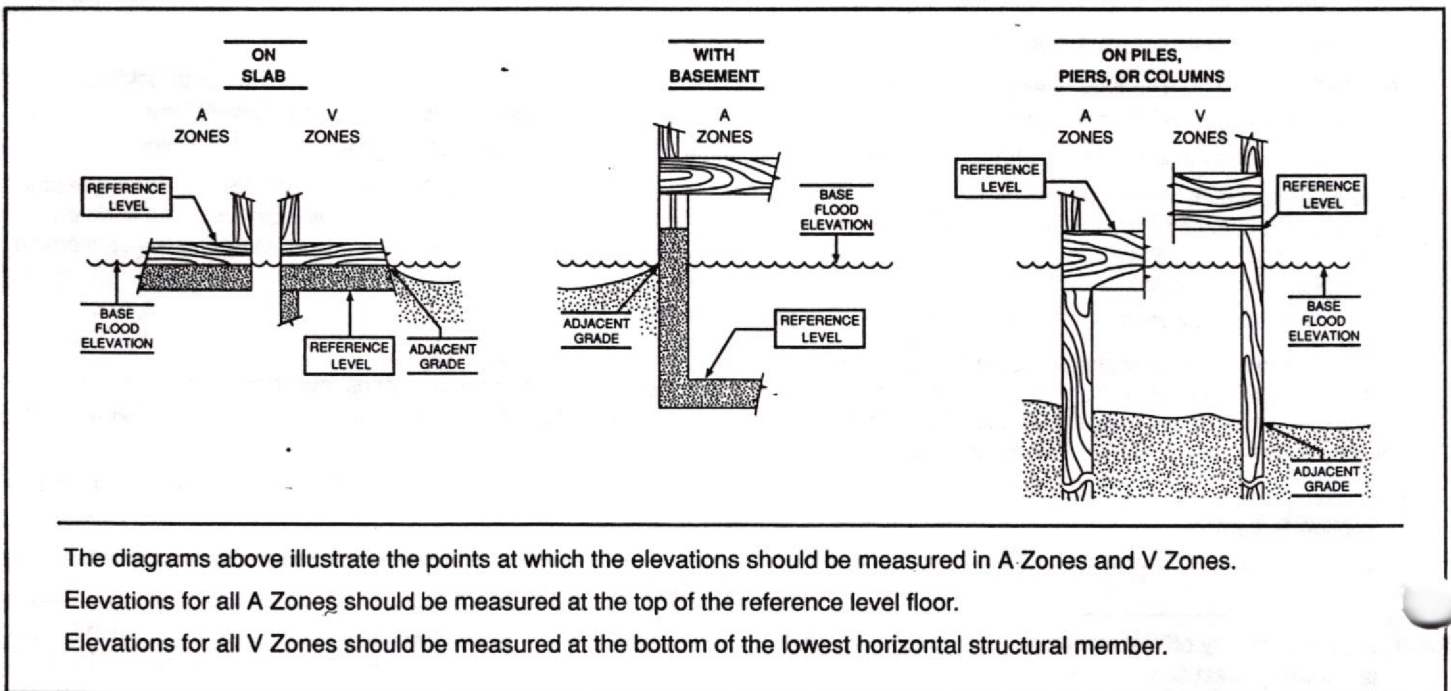
I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME		LICENSE NUMBER (or Affix Seal)	
Mark E. Bassett		4394	
TITLE		COMPANY NAME	
Professional Land Surveyor		Bishop & Associates	
ADDRESS		CITY	STATE ZIP
78 Sarasota Center Boulevard		Sarasota	Florida 34228
SIGNATURE		DATE	PHONE
<i>Mark E. Bassett</i>		9/10/96	(813) 371-6362



Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

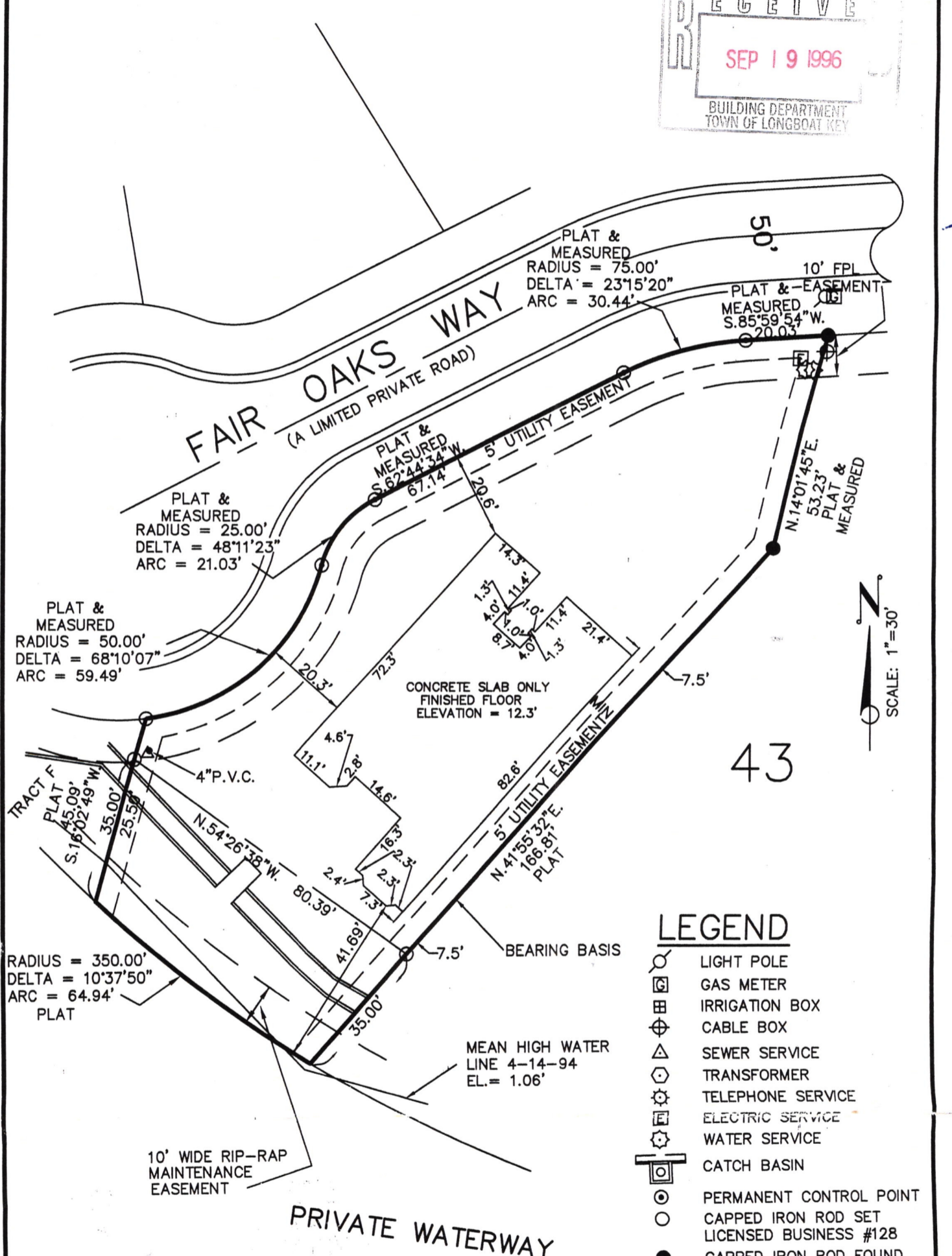
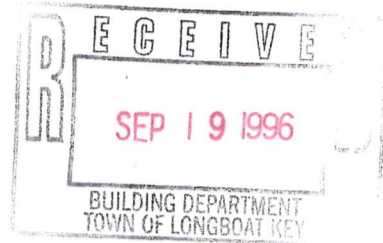
COMMENTS: _____



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones.
 Elevations for all A Zones should be measured at the top of the reference level floor.
 Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

BOUNDARY SURVEY FOR LOT 44, QUEENS HARBOUR

(FORMERLY MANCHESTER BAY)
(RECORDED IN PLAT BOOK 33, PAGE 47, PUBLIC RECORDS OF
SARASOTA COUNTY, FLORIDA)



LEGEND

- LIGHT POLE
- GAS METER
- IRRIGATION BOX
- CABLE BOX
- SEWER SERVICE
- TRANSFORMER
- TELEPHONE SERVICE
- ELECTRIC SERVICE
- WATER SERVICE
- CATCH BASIN
- PERMANENT CONTROL POINT
- CAPPED IRON ROD SET
LICENSED BUSINESS #128
- CAPPED IRON ROD FOUND
LICENSED BUSINESS #128

P.K. 9/9/96 SPOT SURVEY
P.K. 6/19/96 REVISE BUILDING

LOT SQUARE FOOTAGE = 14,025 ±

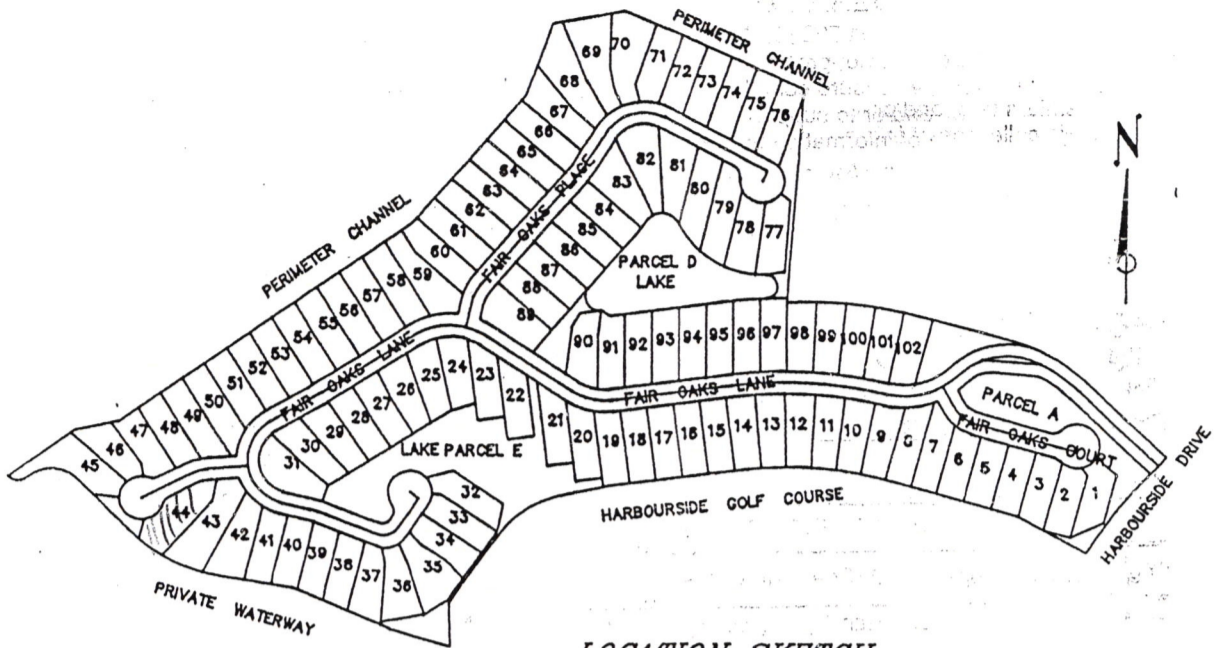
JOB NO. TWC-02
FOR:
DATE: 5-17-94
ACAD:
DISK:
BY: R.A.K.



BISHOP & ASSOCIATES

Consulting Engineers • Surveyors

78 SARASOTA CENTER BLVD. SARASOTA, FLORIDA 34240
813/371-6362 • Fax 813/378-3215



LOCATION SKETCH
(NOT TO SCALE)

BOUNDARY SURVEY

CERTIFIED TO

LOT 44 QUEENS HARBOUR (PLATTED AS MANCHESTER BAY SUBDIVISION) AS RECORDED IN PLAT BOOK 33, PAGE 47 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

TAYLOR WOODROW COMMUNITIES

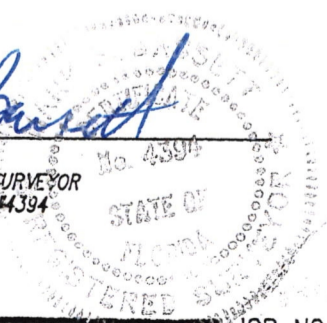
NOTES

1. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT NECESSARILY INDICATE ALL ENCUMBRANCES AFFECTING SUBJECT PROPERTY.
2. THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN. FOUNDATIONS BENEATH THE SURFACE OF THE GROUND THAT MAY ENCROACH HAVE NOT BEEN LOCATED.
3. THE LOCATION AND EXISTANCE OF UNDERGROUND UTILITIES AND UNDERGROUND FOUNDATIONS OR ANY OTHER PERTINENT ATTRIBUTES TO SUBJECT PROPERTY (IF ANY) NOT ABSTRACTED AS PART OF THIS SURVEY, EXCEPT AS SHOWN.
4. BEARINGS BASED ON PLAT LINE AS SHOWN.
5. SUBJECT TO ALL RESTRICTIONS, RIGHTS OF WAY AND EASEMENTS OF RECORD, IF ANY.
6. REUSE OF DOCUMENTS: THIS DOCUMENT IS AN INSTRUMENT OF SERVICE IN RESPECT OF THE PROJECT TO WHICH IT APPLIES AND ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY BISHOP AND ASSOCIATES (B & A) FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO B & A AND USER SHALL INDEMNIFY AND HOLD HARMLESS B & A FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEYS FEES ARISING OUT OF OR RESULTING THEREFROM. ANY SUCH VERIFICATION OR ADAPTATION WILL ENTITLE B & A TO FURTHER COMPENSATION AT RATES TO BE AGREED UPON BY USER AND B & A.
7. PROPERTY LIES IN FLOOD ZONE A13, EL. 12' AS SCALED FROM FLOOD INSURANCE RATE MAP PANEL No. 125126 0010 B (DATED AUGUST 15, 1983), INDEX REVISED MAY 18, 1992.
8. ELEVATIONS ARE BASED ON USC&G W-92 (1942) ELEV. 11.667' (NATIONAL GEODETIC VERTICAL DATUM OF 1929) LOCATED ON N.E. WING WALL NEW PASS BRIDGE.
9. MEAN HIGH WATER LINE SHOWN WAS LOCATED ON 4-14-94. PRELIMINARY PROCEDURE APPROVAL RECEIVED FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF SURVEY AND MAPPING ON MARCH 1, 1994.

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY REPRESENTS A FIELD SURVEY PERFORMED ON 6-1-1994 UNDER MY DIRECTION AND THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 61G17-6

BISHOP & ASSOCIATES
(LICENSED BUSINESS #128)
78 SARASOTA CENTER BLVD.
SARASOTA, FLORIDA 34240

Mark E. Bassett
MARK E. BASSETT
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATE #4394



"THIS SURVEY NOT VALID UNLESS IMPRINTED WITH AN EMBOSSED SEAL AND SIGNED IN INK."



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813/371-6362 • Fax 813/378-3216

JOB NO. TWC-03
FOR:
DATE: 3-23-94
ACAD:
DISK:
BY: D.B.